

CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri City Panning & Development Department <u>www.kcmo.gov/cpc</u>

July 6, 2021

Project Name 29 Belle

Docket #2 Request

.a - CD-CPC-2021-0030 Area Plan Amendment. .b - CD-CPC-2020-00186 Rezoning with plan. .c - CD-CPC-2021-0085 Tax Incentive Plan.

Applicants

Tyler Asby, Exact Architects Robert Long, KC EDC

Owner

Caleb & Nichole Buland

Location 913 W 29th Street Area About 0.65 acre Zoning R-2.5/ R-6 Council District 4th County Jackson School District KCMO

Surrounding Land Uses

North: zoned R-6, single family residences.
South: zoned R-2.5, industrial.
East: zoned R-6, single family residences.
West: zoned R-6, single family residences.

Major Street Plan

The City's Major Street Plan does not classify W. 29th Street or Belleview Avenue at this location.

Land Use Plan

The Greater Downtown Area Plan recommends Residential Low Density land use for the subject property. The proposed plan is not consistent with the future land use recommendation which necessitates an area plan amendment.

APPROVAL PROCESS



NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

Notice of the public hearing was sent to Westside Neighborhood Association, Westside Planning Committee, Sacred Hearth Homes Association and surrounding properties within 300 feet.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. The developer held public engagement meetings on June 7 and June 27, 2021, of which a summary is attached.

EXISTING CONDITIONS

The project site is a 0.65-acre vacant parcel located at the southeast corner of W. 29th Street and Belleview Avenue. The property is heavily vegetated. Both W. 29th Street and Belleview Avenue are improved public streets with curbs and gutter, but in a state of disrepair. The site also has a 30 foot change in grad from the east to the west.

SUMMARY OF REQUEST

The applicant is seeking approval of The 29 Belle Urban Renewal Plan, an Area Plan amendment and approval of a rezoning from R-2.5 and R-6 to UR (Urban Redevelopment) in order to build a 9unit multifamily townhome.

Surrounding land uses include single family residences on the north, east and west. The property to the south is an industrial building in district R-2.5.

PURPOSE

Applicant is proposing to build nine multi-family units on about 0.65 acres at the southeast corner of W. 29th Street and Belleview Avenue.

PROFESSIONAL STAFF RECOMMENDATION

Docket #2a.Recommendation – Approval without condition.Docket #2b.Recommendation – Approval with condition.Docket #2c.Recommendation – Approval without condition.

CONTROLLING CASE

There is no prior CPC case on this site.



PLAN REVIEW

The request is to consider approval of The 29 Belle Urban Renewal Plan, an Area Plan amendment and approval of a rezoning from R-2.5 and R-6 to UR (Urban Redevelopment) in order to build a 9-unit multifamily townhome. The project site is a 0.65-acre vacant parcel located at the southeast corner of W. 29th Street and Belleview Avenue. The site is currently vacant.

Case No. CD-CPC-2021-00085 is a request to consider approval of The 29 Bell Urban Renewal Plan and declare the area blighted and insanitary and in need of redevelopment and rehabilitation as required by the Land Clearance for Redevelopment Authority Law of Missouri, Section 99.300.

AREA PLAN:

The site is within the Greater Downtown Area Plan which recommends Low Density Residential land use for the subject property. The proposed development plan is not in conformance with the Area Plan land use recommendation which necessitates the accompanying area plan amendment. This incentive plan also has an accompanying UR development plan as required by the zoning and development code.

INCENTIVE REQUEST:

The property owners may seek a tax abatement which provides for abatement for a period of time. Abatement for projects within the redevelopment area shall be subject to the provisions of Second Committee Substitute for Ordinance No. 160383, As Amended, and as may be further amended from time to time, which was adopted by the City Council on or about October 6, 2016.

Eminent Domain:

The LCRA has the statutory right to exercise the power of eminent domain to acquire any real property it deems necessary for a project. The Authority does not believe that it will be necessary to exercise its power of eminent domain within The 29 Belle Urban Renewal Area to further the purposes and intent of the Plan.

BLIGHT ANALYSIS:

City Staff does not comment on whether the site is blighted or not, however a blight analysis prepared by Development Initiatives determines that the plan area is blighted.

CD-CPC-2021-00030 is a request to consider amending the Greater Downtown Area Plan by changing the recommended land use from Residential Urban Low to Residential Medium-High land use designation on about 0.65 acres. The Residential Urban Low Density land use designation allows for a density between 4 and 8.7 units per acre is appropriate for single-family detached developments. This land use classification generally corresponds to the R-5, R-6, R-7.5 and R-10 zoning categories within the Zoning and Development Code. The Residential Medium High land use designation includes small lot single-family development, town homes, duplexes and apartments up to 17.4 units per acre and corresponds to the R2.5 zoning category within the Zoning and Development Code. Staff is supportive of this amendment as the proposed density.

Case No. CD-CPC-2020-00186 is a request to consider rezoning the 0.65-acre tract of land from R-2.5 and R-6 to UR (Urban Redevelopment) in order to build a 9-unit multifamily townhome. The development proposes a single two story townhouse development with parking garages on the first floor. The submitted elevations show the building to be constructed primarily of vertical cement fiber lapsiding (two-tone) and Stucco. All parking for this development is in the first floor garages and on the driveways. The plan also shows the building terraced due to the change in grade. The storm water detention is on the east side of the building on a higher elevation. The egress windows are also located in this area.

Requested Deviations

The plan does not stipulate or request any deviation.

Use-Specific (88-300) and Development Standards (88-400)

Standards	Applicability	Meets	More Information
Boulevard and Parkway Standards (88-323)	NO		
Parkland Dedication (88-408)	YES		
Parking and Loading Standards (88-420)	YES		WILL REVIEW WITH FINAL UR PLAN
Landscape and Screening Standards (88-425)	YES		WILL REVIEW WITH FINAL UR PLAN
Outdoor Lighting Standards (88-430)	YES		WILL REVIEW WITH FINAL UR PLAN
Sign Standards (88-445)	YES		WILL REVIEW WITH FINAL UR PLAN
Pedestrian Standards (88-450)	YES		WILL REVIEW WITH FINAL UR PLAN

PLAN ANALYSIS

This UR plan also acts as a preliminary plat. This project will require platting and potential further subdivision to allow for individual sale of the unit. Staff recommends that the plat clearly stipulate any tract for bmps and any private open space in lieu of parkland dedication. Staff recommends that the plat should show all building setbacks along the public right of way and cross access easements.

Parkland Dedication (88-408)

Residential uses are proposed therefore parkland dedication or payment in-lieu of dedication is required. A total of 9 residential dwelling units are proposed. Pursuant to this section a total of 0.11 acres must be dedicated for parkland purposes per calculation below.

The development is providing a need for the following:

9 multi-family lots x 2 x 0.006 = 0.108 acres

0.11 acres x \$48,801.37 = \$5,270.55

That the developer can either dedicate 0.11 acres of parkland or \$5,270.55 in lieu of parkland dedication for the 35 multifamily units in satisfaction of Chapter 88-408 of the Zoning and Development Code.

Zoning Review Criteria (88-515-08)

In reviewing and making decisions on proposed zoning map amendments, the city planning and development director, city plan commission and city council must consider at least the following factors:

88-515-08-A. conformance with adopted plans and planning policies;

The proposed zoning is consistent with the Greater Downtown Area Plan future land use recommendation subject to approval of the area plan amendment.

88-515-08-B. zoning and use of nearby property;

Nearby properties are primarily residential single family homes except for the parcel to the south. The proposed 2-story townhomes will be comparable in height.

88-515-08-C. physical character of the area in which the subject property is located; This is a fairly low density residential area and the proposed 2-story building will be comparable with the existing character of the neighborhood.

88-515-08-D. whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment; Utilities and infrastructure will be brought to City Standards, subject to the conditions in the attached report.

88-515-08-E. suitability of the subject property for the uses to which it has been restricted under the existing zoning regulations;

The current zoning designation is R-2.5 and R-6 and the development could be done on the R-2.5 portion of the parcel.

88-515-08-F. length of time the subject property has remained vacant as zoned; The applicant did not state how long the property has been vacant.

88-515-08-G. the extent to which approving the rezoning will detrimentally affect nearby properties; and The rezoning is not expected to detrimentally affect nearby properties.

88-515-08-H. the gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application. A denial of the application would not allow the developer to utilize the proposed LCRA tax incentives, limiting the ability of the developer to complete this project.

UR Development Plan Review Criteria (88-516-05)

In order to be approved, the plan must comply with all of the following criteria:

88-516-05-A. The plan must comply with all standards of this zoning and development code and all other applicable city ordinances and policies.

The plan complies with the zoning and development code and the Grater Downtown Area Plan recommendations subject to approval of the area plan amendment..

88-516-05-B. The proposed use must be allowed in the district in which it is located. The proposed use is a permitted use in part of the existing zoning districts and the proposed UR district.

88-516-05-C. Vehicular ingress and egress to and from the site, and circulation within the site, must provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways. The plan provides for adequate vehicular connection.

88-516-05-D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site. The plan provided for private and public sidewalks.

88-516-05-E. The plan must provide for adequate utilities based on City standards for the particular development proposed. There are adequate utilities subject to Water Services Department approval.

88-516-05-F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties. The applicant has engaged the neighborhood representatives to ensure that the proposed design is compatible. Staff will continue to work with the applicant to ensure that it is compliant. This will be reviewed at the time of final UR approval.

88-516-05-G. Landscaping, berms, fences and/or walls must be provided to buffer the site from undesirable views, noises, lighting or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The plan is compliant and subject to further review with the final UR plan.

88-516-05-H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The plan is compliant.

88-516-05-I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

There are significant trees on the site and the applicant is working to save some along the eastern property line.

PROFESSIONAL STAFF RECOMMENDATION

2a. - Staff recommends Approval without conditions.

2b. - Staff recommends Approval Subject to the Corrections and Conditions as reflected in the attached Plan Correction Report and Plan Conditions Report.

2c. - Staff recommends Approval without conditions.

Respectfully Submitted,

EAghi;

Olofu Agbaji Planner



Plan Conditions, Corrections, & Recommendations Report

Recommended to City Plan Commission Recommended by Development Review Committee

Report Date: July 02, 2021

Case Number: CD-CPC-2020-00186

Project: 29 Belle

Plan Conditions

Condition(s) by City Planning and Development Department. Contact Kambiz Zoraghchi at (816) 513-1582 / Kambiz.Zoraghchi@kcmo.org with questions.

 Buildings shall comply with all requirements of wall rating and opening protection per 602 and 705.8 of International Building Code 2018 edition with respect to property lines and lot lines. (1/04/2021)

Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at 816-513-8815 / Olofu.Agbaji@kcmo.org with questions.

- 2. That the developer submit a Final UR Plan for each phase of the development to the Director of City Planning and Development prior to issuance of a building permit. The Final UR Plan shall meet the development standards of Chapter 88-400 including; plan information; property uses; setback distances; lighting (with a photometric study); landscaping, including information on (i) species, planting size, and spacing of all trees and shrubbery; (ii) buildings and dumpster elevation drawings; (iii) fencing, if utilized, identifying material, color, height, setback and type, with an elevation drawing of a section; streetscaping; signage (including elevations); and architectural characteristics. (4/27/2021)
- The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations. This is the Final Plat (land plat) to create Lot 1 and Tract A, allow for further subdivision via minor subdivision per 88-535. (4/27/2021)
- 4. The developer shall cause the area to be further subdivided via minor subdivision pursuant to 88-535 to create individual units prior to transfer of each unit. This will allow for up to 9 units. (4/27/2021)
- The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy. (4/27/2021)

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

- The developer must grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits. (12/30/2020)
- 7. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division. (12/30/2020)
- 8. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Land Development Division prior to recording the plat. (12/30/2020)
- 9. That the east half of Belleview Avenue shall be improved to Residential Local standards as required by Chapter 88, to current standards, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first. (12/30/2020)

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

- 10. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits. (12/30/2020)
- The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval for the maintenance of private open space and enter into a covenant agreement for the maintenance of any stormwater detention area tracts, prior to recording the plat. (12/30/2020)
- 12. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required. (12/30/2020)
- 13. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations. (12/30/2020)
- 14. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first. (12/30/2020)

Condition(s) by Parks & Recreation. Contact Justin Peterson at 816-513-7599 / Justin.Peterson@kcmo.org with questions.

- 15. The developer is responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the (2021) acquisition rate of (\$48,801.37) per acre. This requirement shall be satisfied prior to certificate of occupancy. (1/04/2021)
- 16. The developer shall provide street trees in accordance with 88-425-03-C with 1 tree per 30 lineal feet. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way. (1/04/2021)

Condition(s) by Water Services Department. Contact Heather Massey at / heather.massey@kcmo.org with questions.

17. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations.

https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Service-Lines.pdf (12/30/2020)

Condition(s) by Water Services Department. Contact Jerald Windsor at 816-513-2904 / Jerald. Windsor@kcmo.org with questions.

18. The developer shall submit an analysis by a registered Professional Engineer in Missouri to verify adequate capacity of the existing water mains and verify fire flow capacity prior to the issuance of new water service permits. Depending on adequacy of the existing water mains systems, making other improvements may be required. (12/30/2020)

Public Meeting Notice

 Please join: Exact Architects on behalf of Remez Partners, LLC

 for a meeting about: Update regarding 29 Belle Townhouses

 case number: CD-CPC-2020-00186 (rezoning) & CD-CPC-2021-00030 (area plan amend)

 proposed for the following address:
 913 W. 29th Street

 Kansas City, MO 64108

 Meeting Date:
 Monday, June 7, 2021

 Meeting Time:
 6:00pm CST

 Meeting Location:
 Zoom Meeting (virtual)

 Meeting No.:
 242 833 5671

Project Description:

New 9-unit townhouse project on vacant, corner lot (SEC of 29th Street & Belleview)

If you have any questions, please contact:

Name: Patrick Sterrett

Phone: (816) 686-9559

Email: psterrett@sterretturban.com

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at kcmo.gov/publicengagement



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at Compasskc.kcmo.org. You may search by project type and address/case number to find project details.

Sincerely,

Patrick Sterrett

Aviso de reunión pública

Únase a: Exact Architects en nombre de Remez Partners, LLC					
para una reunión sobre: Actualización sobre 29 Belle Townhouses					
número de caso: CD-CPC-2020-00186 (rezonificación) y CD-CPC-2021-00030					
(modificación del plan de	<u>e área)</u>				
propuesto para la siguiente dirección: 913 W. 29 th Street					
	Kansas City, MO 64108				
Fecha de la reunión:	lunes 7 de junio de 2021				
Hora de encuentro:	6:00 pm CST				
Ubicación de la reunión:	Zoom Meeting (virtual) No de reunión: 242 833 5671 Código de acceso: 4321				

Descripción del Proyecto:

Nuevo proyecto de casa adosada de 9 unidades en un lote de esquina vacante (SEC de 29 th Street y Belleview)

Si tiene alguna pregunta, comuníquese con:

Nombre: Patrick Sterrett

Teléfono: (816) 686-9559

Correo electrónico: psterrett@sterretturban.com

Recibirá este aviso de acuerdo con el código de la ciudad que requiere una reunión pública con los vecindarios para ciertos tipos de proyectos de desarrollo. Puede leer más sobre los requisitos del proceso en kcmo.gov/publicengagement



Si desea obtener más información sobre este proyecto propuesto, visite el sistema de planificación y permisos de la ciudad, Compass KC, en Compasskc.kcmo.org. Puede buscar por tipo de proyecto y dirección / número de caso para encontrar los detalles del proyecto.

Attentamente,

Patrick Sterrett

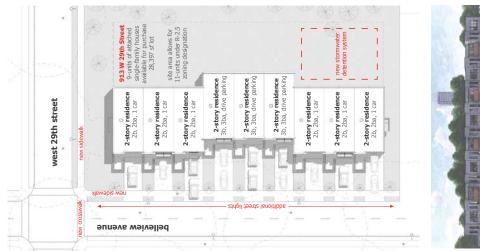
design evolution

29 Belle Residences

6 for sale townhouses + 3 for sale universal units (21 bedrooms) private driveways (2 cars) + 1-car garage option (24 car capacity) new landscaping + street lights, new sidewalks, and detention pond

Design Iteration 3.0 (Spring 2021) Following neighborhood meetings and feedback

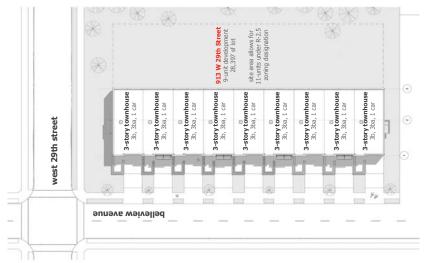




9 rental residential units (27 total bedrooms) short private driveways with 1-car garage required street trees + new concrete sidewalks

Design Iteration 2.0 (Fall 2020) Coordination with HEDC and Pedro Zamora





11 rental residential units (33 total bedrooms)
 22 stall asphalt surface parking lot (2 per unit)
 perimeter landscaping + new concrete sidewalks

Design Iteration 1.0 (Summer 2016) Discussion with KCMO Staff per current zoning

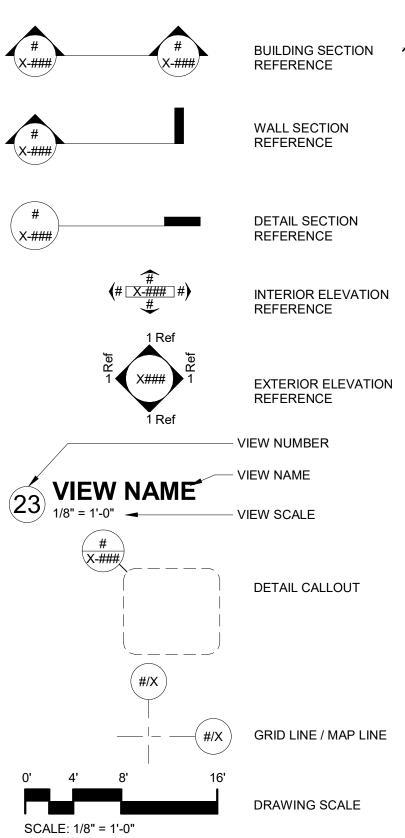


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	DIMENSION LINE
	VERTICAL ELEVATION REFERENCE
	WINDOW TAG
	CEILING HEIGHT TAG
	DOOR TAG
	INTERIOR PARTITION TYPE
	ASSEMBLY TYPE REFERENCE
	KEYNOTE REFERENCE
	FLOOR FINISH TAG
	WALL FINISH TAG
	LIGHTING FIXTURE TAG
	PLUMBING FIXTURE TAG
	SPECIALTY EQUIPMENT TAG
	CASEWORK TAG
	NOTE AND LEADER
	CENTERLINE
	SMOKE AND CO2 DETECTOR
	STAIR RISER TAG
	NORTH ARROW
)	REVISION CLOUD AND TAG

SHEET INDEX

01-ARCHITECTURAL

A0-00	COVER
A1-00	EXISTING SITE SURVE

- A1-01 PRELIMINARY PLAT
- SITE PLAN ARCHITECTURAL A1-02 A1-03
- LANDSCAPE PLAN FLOOR PLAN, TYPICAL A2-01
- EXTERIOR ELEVATIONS A3-01
- A3-02 EXTERIOR ELEVATIONS (COLORED) EXTERIOR DESIGN RENDERING A3-03

02-CIVIL	
C1	DIMENSIONED SITE PLAN
C2	SITE GRADING PLAN
C3	UTILITY PLAN
C4	EROSION CONTROL
C5	APWA STANDARD DETAILS
04-MPE	

MPE-02 MPE SITE PLAN

A.F.F. ARCH. BM. B.O. CAB. CLR. CMU COL. CONC. CONT. CONTR.	ABOV ARCH BEAM BOTT CABIN CLEAI CONC COLU CONC CONT
DIA.	DIAME
DWGS.	DRAW
ELEC.	ELEC
ELEV.	ELEV/
EXT.	EXTEN
FD	FLOO
F.G. BATT	FIBER
FTG.	FOOT
FLR.	FLOO
FLR'G	FLOO
FT.	FLOO
GA	GUAG
GALV.	GALV/
GL.	GLAS
GWB	GYPS
HORIZ.	HORIZ
HT.	HEIGH
HVAC	HEAT
INSUL.	INSUL
INT.	INTER

CODE INFORMATION

ARCHITECT OF RECORD CALEB BULAND, AIA EXACT ARCHITECTS

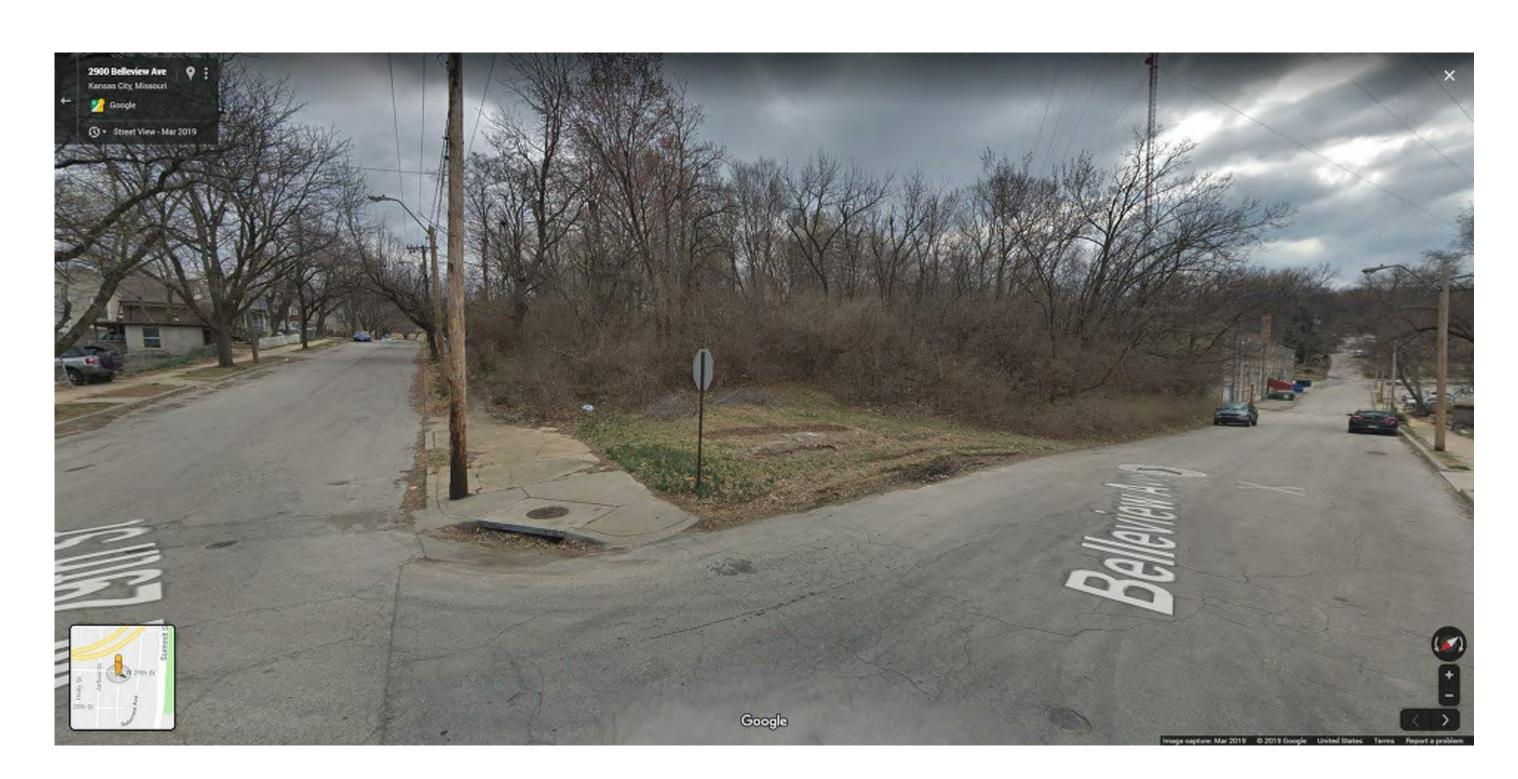
<u>GENERAL DATA</u> PROJECT NAME: PROJECT ADDRESS:

PROPOSED USE: JURISDICTION:

ADOPTED CODES: BUILDING DATA OCCUPANCY TYPE: ZONING TYPE: SPRINKLER: CONSTRUCTION: BUILDING AREA: BUILDING HEIGHT:

CONSTRUCTION DAT

FIREBLOCKING:



ABBREVIATIONS

VE FINISHED FLOOR
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AR ICRETE MASONRY UNIT
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LAVATORY MECHANICAL MANUFACTURER MINIMUM MIRROR METAL OVER ON CENTER PERFORATED PERIMETER PLYWOOD PAINTED QUANTITY REFER REINFORCED REQUIRED **ROUGH OPENING** SQUARE FEET SIMILAR SQUARE STEEL STRUCTURAL TONGUE AND GROOVE TOP OF TEMPERED TYPICAL THERMOPLASTIC POLYOLEFIN UNLESS OTHERWISE NOTED VERTICAL WITH WOOD

29 BELLE DEVELOPMENT 913 W 29TH STREET

KANSAS CITY MO 64108 SINGLE-FAMILY RESIDENTIAL CITY OF KANSAS CITY MISSOURI JACKSON COUNTY

2018 INTERNATIONAL RESIDENTIAL CODE, INCLUDING CITY CODE OF ORDIANCES AND AMEND.

LAV

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MIN.

MIR.

MTL.

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STRUCT.

RE.

GROUP R (RESIDENTIAL) R-2.5 , R-6 (EXISTING) / UR (PROPOSED) NO; OWNER DECLINED PER AMENDMENT SECTION R313

TYPE 5 TOTAL: 10,753.73 SF BUILDING PAD (1 BUILDING) ; EACH: +/- 1,400 SF (2-STORY) VARIES ; APPROX. 22'-9" AT HIGH POINT

TΑ	<u>.</u>	
	EXTERIOR WALLS : N/A - ALL WALLS SET	BACK MIN 5'-0" FROM PROPERTY LINE
	UNIT TO UNIT DEMISING WALLS	2 HOURS
	UNIT TO GARAGE SEPERATION WALLS	1 HOURS
	BEARING WALLS (INTERIOR)	0 HOURS
	NON-BEARING WALLS (INTERIOR)	0 HOURS
	FLOOR + SECONDARY MEMBERS	0 HOURS
	ROOF + SECONDARY MEMBERS	0 HOURS

CODE APPROVED MATERIALS INSTALLED PER IRC R302.11. DRAFTSTOPPING NOT REQUIRED.

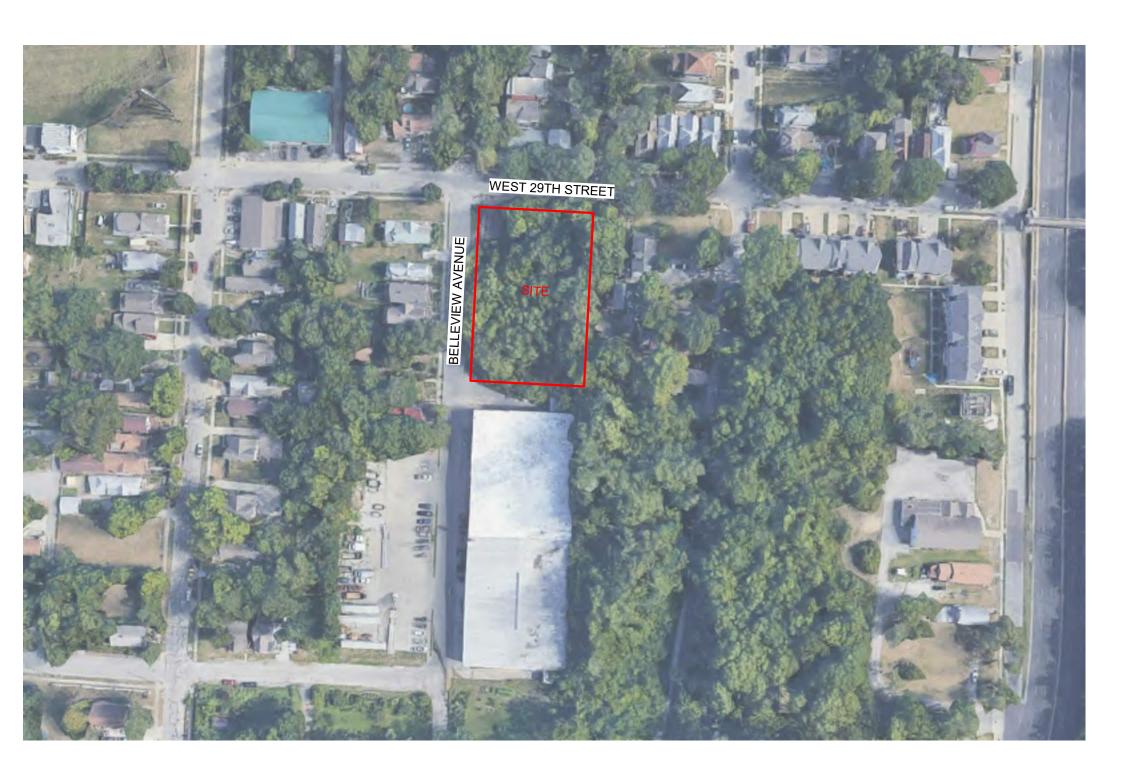
EGRESS WINDOWS: INSTALLED IN ALL 2ND BEDROOMS. OPERABLE WINDOWS TO INCLUDE AN OPENING CONTROL DEVICE PER IRC R312.2.2

ENERGY EFFICIENCY: EXTERIOR WALLS CONCRETE SLAB FLOOR OVER UNCONDITIONED SPACE CEILING WINDOWS

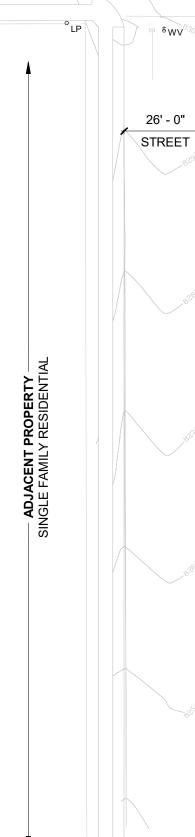
OPAQUE DOORS FULL-LITE DOORS

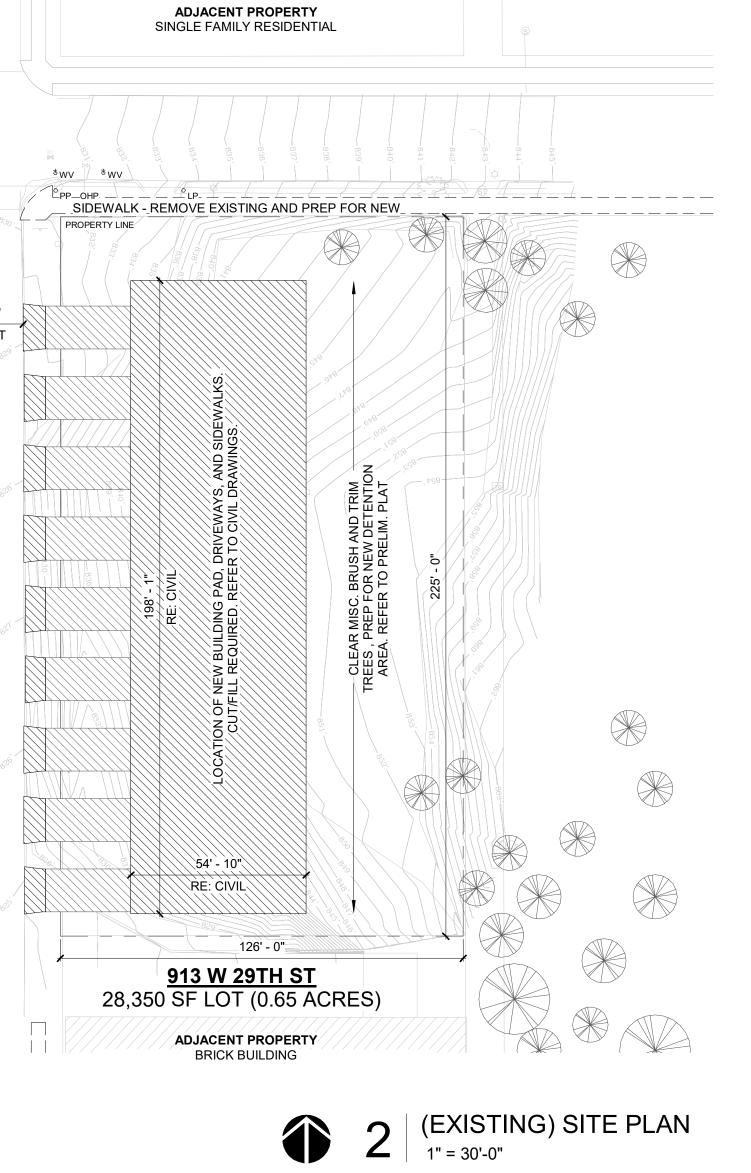
R-20 (MIN.) R-10 (MIN.) R-19 (MIN.) R-38 (N1102.2.1) U-0.21 (MAX) SHGC 0.40 (MAX) U-0.21 (MAX) U-0.32 (MAX) SHGC 0.30 (MAX)

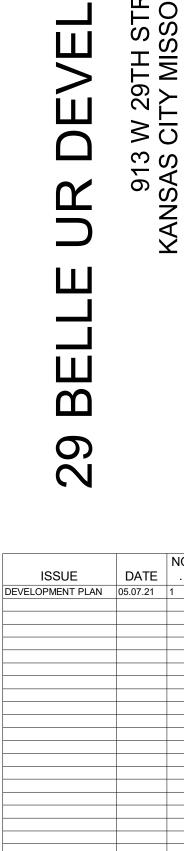
EXISTING SITE PHOTO











CALEB BULAND, ARCHITECT | MO 2009005509

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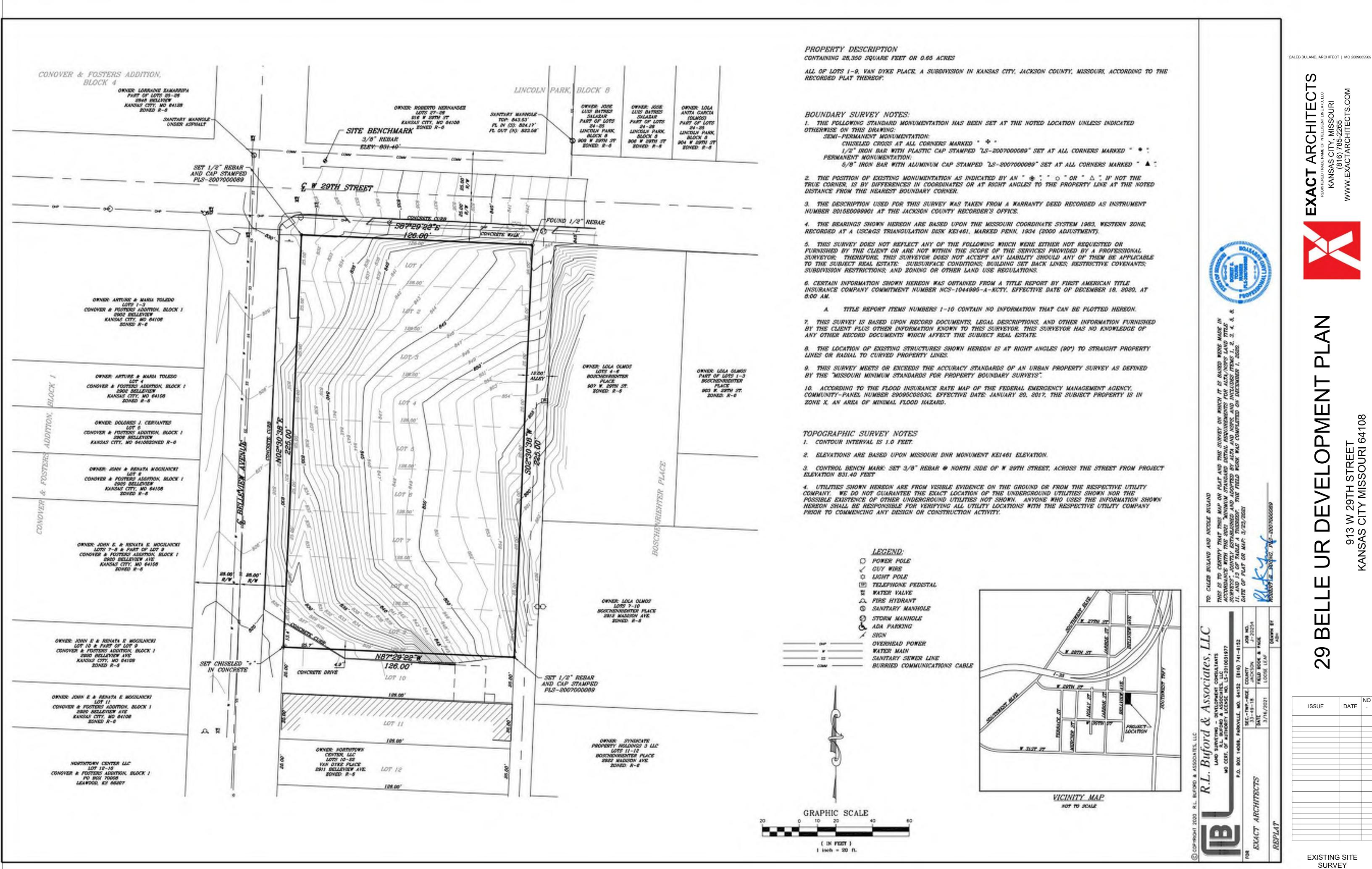




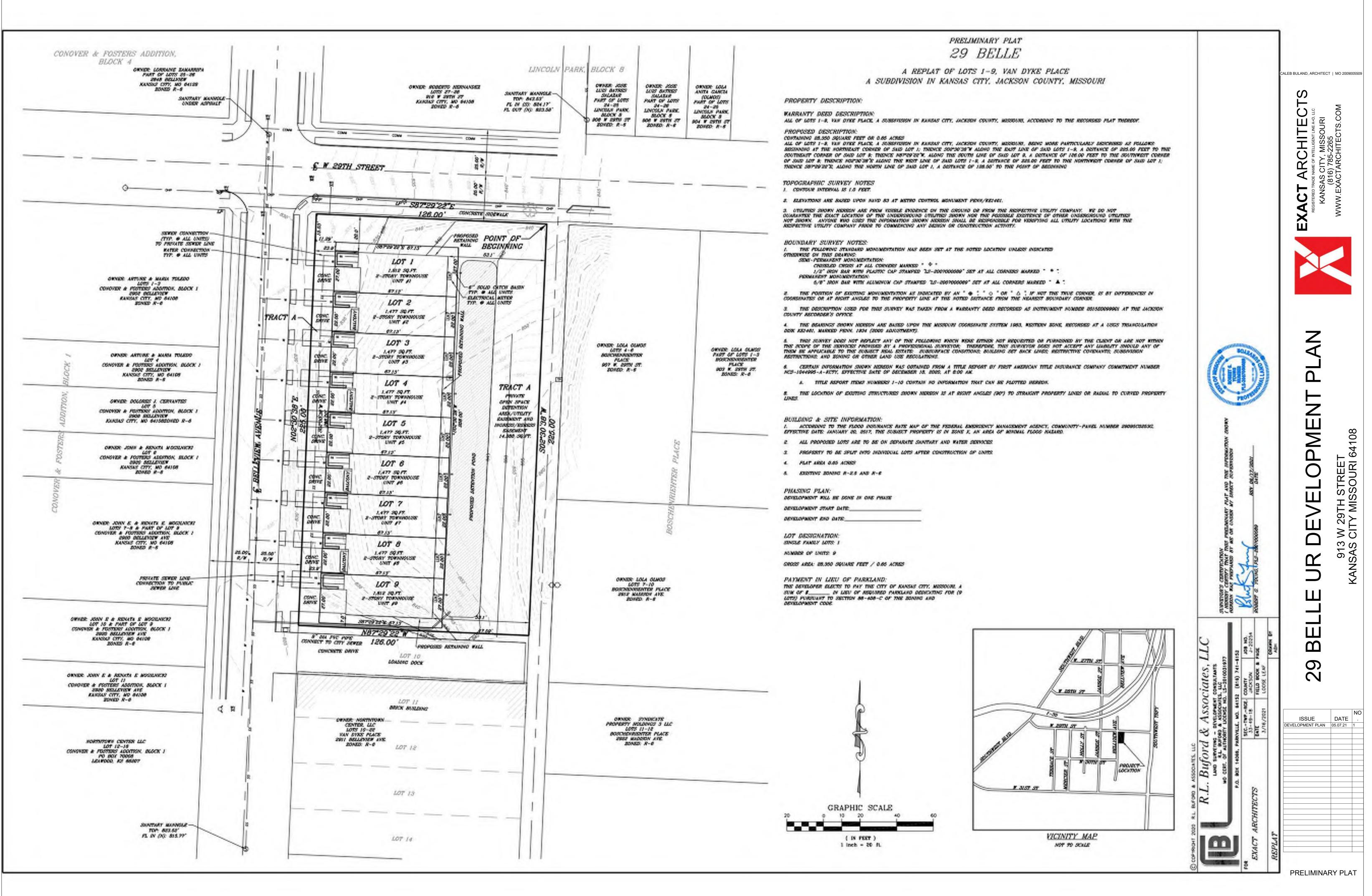
LEGAL DESCRIPTIONS (BRIEF):

PARCEL #29-910-11-14-01-0-00-000 VAN DYKE PLACE---LOTS 1 THRU 9

VICINITY MAP



A1-00



'17/2021 12:54:36 PN

A1-01

GENERAL SITE & LANDSCAPE NOTES:

- 1. VERIFY ALL SITE PARAMETERS (PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION. 2 NEW WORK INCLUDES NEW CURBS ALONG BOTH FOREST AND 29TH STREET. COORDINATE WORK WITH NEW APPROACHES AND DEMOLITION OF EXISTING
- SIDEWALKS. INSPECT CONDITION OF ALL CURBS, STRUCTURES, SURFACES, AND OTHER 3. SITE ITEMS SCHEDULED TO REMAIN. NOTIFY ARCHITECT OF DISCREPANCIES
- OR WHERE REPAIR OR REPLACEMENT IS REQUIRED. 4. CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO
- DEMOLITION. REMOVE ALL BRUSH AND OVERGROWTH INCLUDING MISCELLANEOUS DEBRIS AND TRASH THROUGHOUT THE SITE. PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 5% MINIMUM 6. SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE SLAB AND FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
- MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE 7. BACKFILL. IMPROPER BACKFILL COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
- DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION 8 SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. INCLUDE PRECAST CONCRETE SPLASH BLOCK AT ALL DOWNSPOUT TERMINATION POINTS. RE: CIVIL DRAWINGS FOR HARD-PIPED DRAINS.
- NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF 9. ANY FOUNDATION PLANTINGS. 10. INSTALL PERIMETER STEEL EDGING STRIPS AT ALL LANDSCAPE BEDS
- INCLUDING ALL TRANSITIONS BETWEEN (MULCH TO CONCRETE AND MULCH TO GRASS)
- 11. REFER TO PLANS AND ELEVATIONS FOR ANY AND ALL WORK ASSOCIATED WITH THE BUILDING EXTERIOR.
- 12. PREPARE ALL AREAS OF NEW PLANTING OR SOFTSCAPE WITH TOP SOIL, IN CONDITION FOR CONTINUED AND HEALTHY PLANT GROWTH.
- 13. NEW CONCRETE CURBS, SIDEWALKS, AND DRIVEWAYS SHALL MATCH PROFILE, HEIGHT, AND DEPTH OF EXISTING SITE WORK, WHERE THEY MEET EXISTING SURFACES SCHEDULED TO REMAIN.
- 14. ALL BUILDING BASE TO DRIVEWAY OR PATIO TRANSITIONS SHALL BE DOWELED AND CONTAIN NEW EXPANSION JOINT AND BACKER ROD INSTALLED BETWEEN MATERIALS, TYPICAL. JOINT SHALL HAVE A MINIMUM OF 1/2" WIDE BITUMINOUSE JOINT FILLER. RE: CIVIL AND STRUCTURAL. 15. ALL DASHED LINE ITEMS IE: SIDEWALKS, WALLS, AND TREES TO BE DEMOED

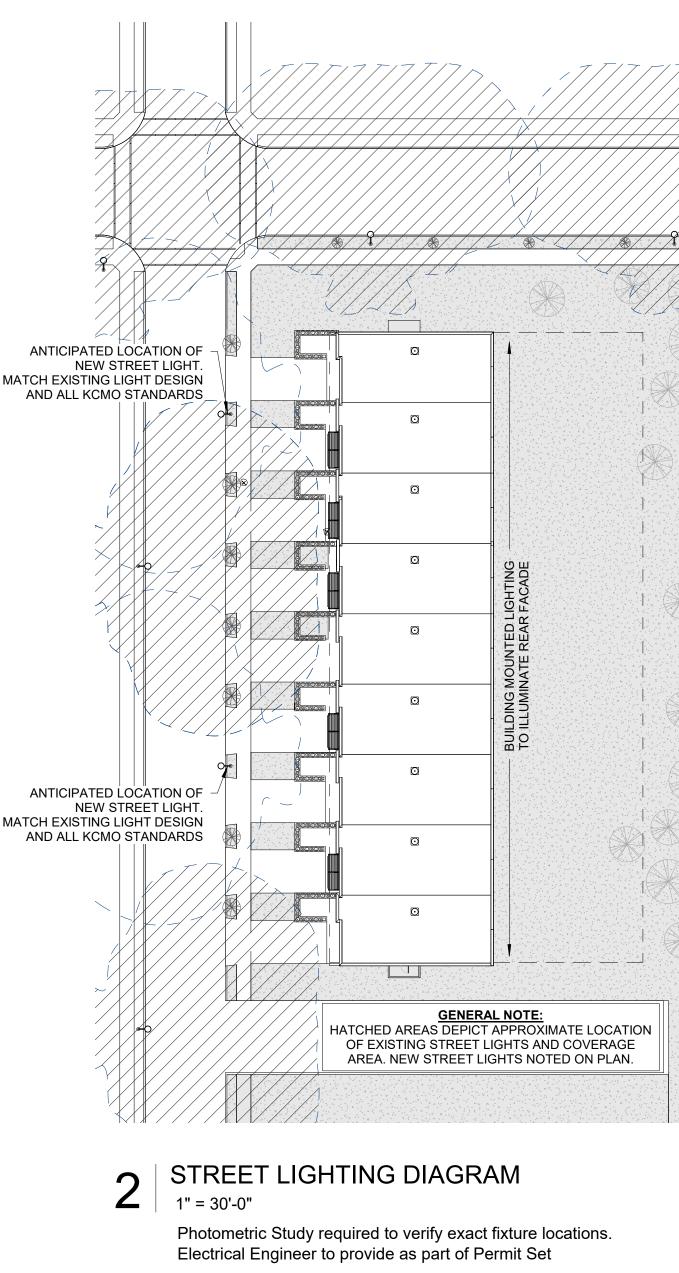
SIDEWALKS, CURBS, DRIVEWAYS (ALL NEW):

ALL EXISTING SIDEWALKS WILL BE REMOVED AND REPLACED WITH NEW. BELLEVIEW WILL REQUIRE NEW CURB + DRIVEWAYS + SIDEWALKS - NONE EXIST.

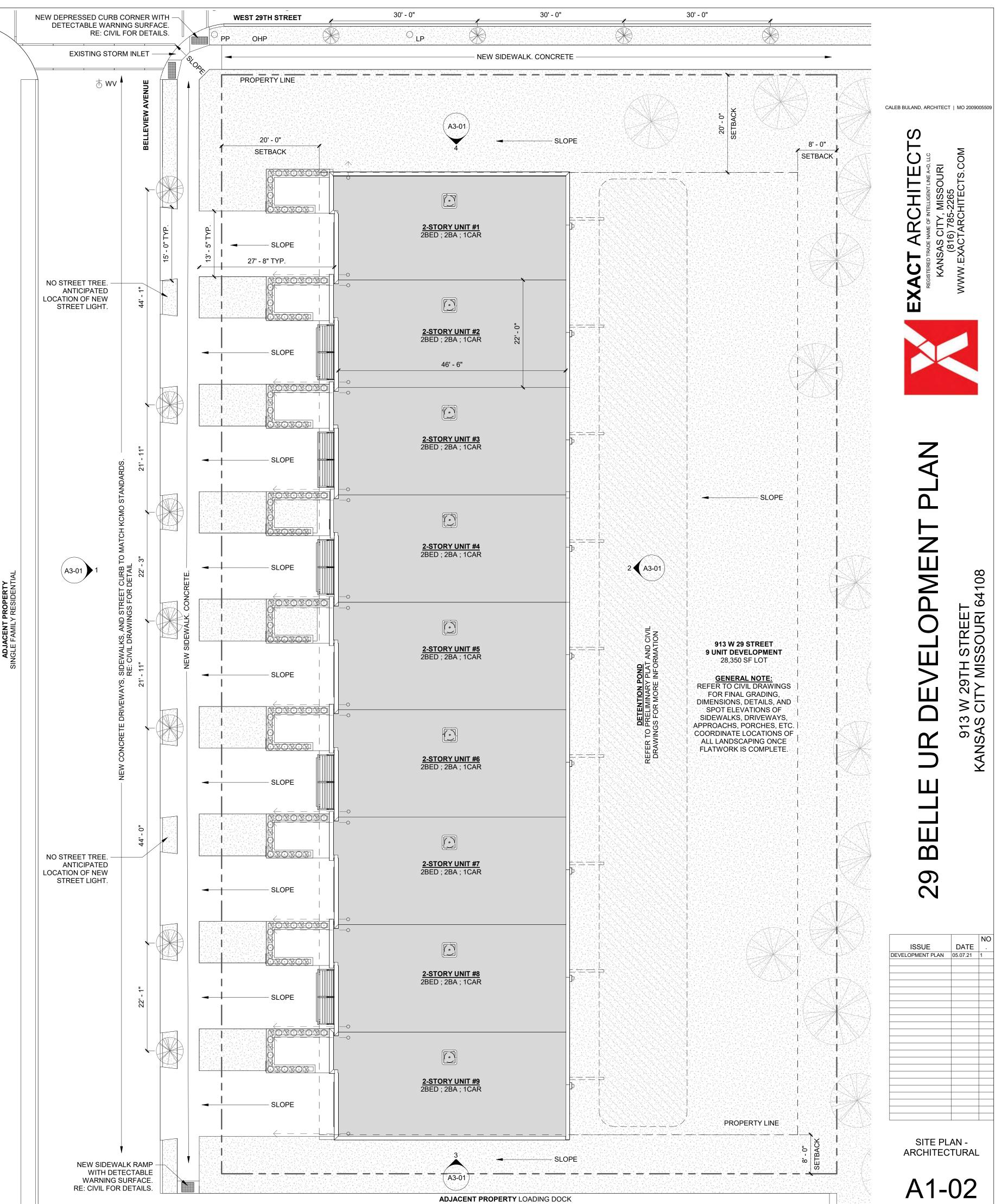
- 1. FILED WALK REQUIRED TO UNDERSTAND FULL SCOPE OF WORK REGARDING NEW OR DEMOLITION WORK. FINAL REVIEW PRIOR TO 'CO' AND REPAIR WORK SHALL IDENTIFY AND REPAIR AND/OR REPLACE AS DEFINED BY PUBLIC WORKS DEPARTMENT'S "OUT OF
- REPAIR CRITERIA FOR SIDEWALKS, DRIVEWAY AND CURB" REVISED 11/5/2013, AND BASED ON COMPILE WITH CHAPTERS 56 AND 64 OF THE CODE ORDINANCES. WORK SHALL INCLUDE REPLACEMENT OF ANY SIDEWALK SQUARE CRACKED
- OR MISSING A PIECE 1/2" OR MORE WIDE, ADJOINING SQUARE DIFFERING VERTICALLY 1/2" OR MORE, WITH SURFACES NOT OF CONTIGUOUS CONCRETE, AND THE ADJOINING CURB OF THAT WALK OR SHARING THAT CRITERIA OR HAVING A GUTTER 4" BELOW STREET, OR IMPEDING THE FLOW OF WATER.
- REPLACE; ANY CURB HAVING A MEASURED HEIGHT OF 2 1/2" OR LESS ABOVE THE STREET SURFACE, ANY CURB HAVING A GUTTER SECTION OF 4" OR MORE BELOW THE STREET SURFACE, ANY CURB THAT OBSTRUCTS THE INTENDED FLOW OF WATER. SHALL BE REPLACED TO THE NEAREST JOINTS. THE VERTICAL TRANSITION FROM THE NEW CURB TO THE EXISTING CURB SHALL NOT EXCEED A SLOPE OF 1/2" PER FOOT.

DEVELOPMENT SUMMARY TABLE ZONING (EXISTING): R-2.5 AND R-6 ZONING (PROPOSÉD): UR (URBAN REDEVELOPMENT) - LCRA APPROVED TOTAL LAND AREA: 28,350 SF / 0.65 ACRES SINGLE-FAMILY RESIDENTIAL (TOWNHOUSES) PROPOSED USE: HEIGHT / STORIES: 22' - 0" (WEST ELEVATION) / 2 STORIES BUILDING AREA: 1ST 4,825 SF (TOTAL OF ALL UNITS) 2ND 9,250 SF (TOTAL OF ALL UNITS) 14,075 SF TOTAL UNIT COUNT: 9-UNITS (TOWNHOUSES) BUILDING COVERAGE: 9,250 SF / 28,350 SF = 0.326 FLOOR AREA RATIO: 14,075 SF / 28,350 SF = 0.496 GROSS DENSITY: 28,350 SF / 9 UNITS = 3,150 SF / UNIT NET DENSITY: 13,962 SF (LOT 1 ONLY) / 9 UNITS = 1,551 SF / UNIT REFER TO PRELIMINARY PLAT FOR LOT 1 AREA VS TRACT A (PRIVATE OPEN SPACE). PARKING: 3 PER UNIT / 27 TOTAL OFF-STREET CAR STALLS EACH UNIT HAS 2-CAR LONG DRIVEWAY + 1-CAR GARAGE BICYCLE STALLS: GARAGE STORAGE ALLOWS FOR MIN. 3 BIKES PER **UNIT - TENANT DISCRETION.** PHASING: SINGLE PHASE CONSTRUCTION

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LANDSCAPE PLAN NOTES:

1. Existing underground (u/g), overhead (o.h.) utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the contractors to verify existence and location of all utilities before starting any work. 2. No substitutions for variety or cultivars shall be accepted without first obtaining written approval from

Owner's Representative. 3. All plant material shall be of excellent quality, free of disease and infestation, and true to type, variety, size specified, and form per American Nursery Association Standards (z60.1).

4. All plants shall receive 3" minimum of shredded hardwood mulch as detailed, unless otherwise noted. In landscape beds, mulch shall be a consistent 3" depth throughout. For trees planted in turf areas, a ring of mulch shall be formed into a saucer in a minimum ring twice the diameter of the rootball from the trunk. Elevation of top of mulch shall be 1/2" below any adjacent pavement.

5. Contractor shall thoroughly water in each plant immediately following installation. 6. Contractor shall be responsible for calculating all areas of sod and seed and the amounts of each needed

for optimum coverage. Quantities on this plan are for reference only. 7. Contractor shall install seed in all areas disturbed during construction not otherwise designated as another material. Seeded areas greater than 4:1 slope shall have erosion control blanket installed over the seed and fastened with sod staples, per manufacturer's recommended spacing. Seed shall be Excaliber Turf-type Tall

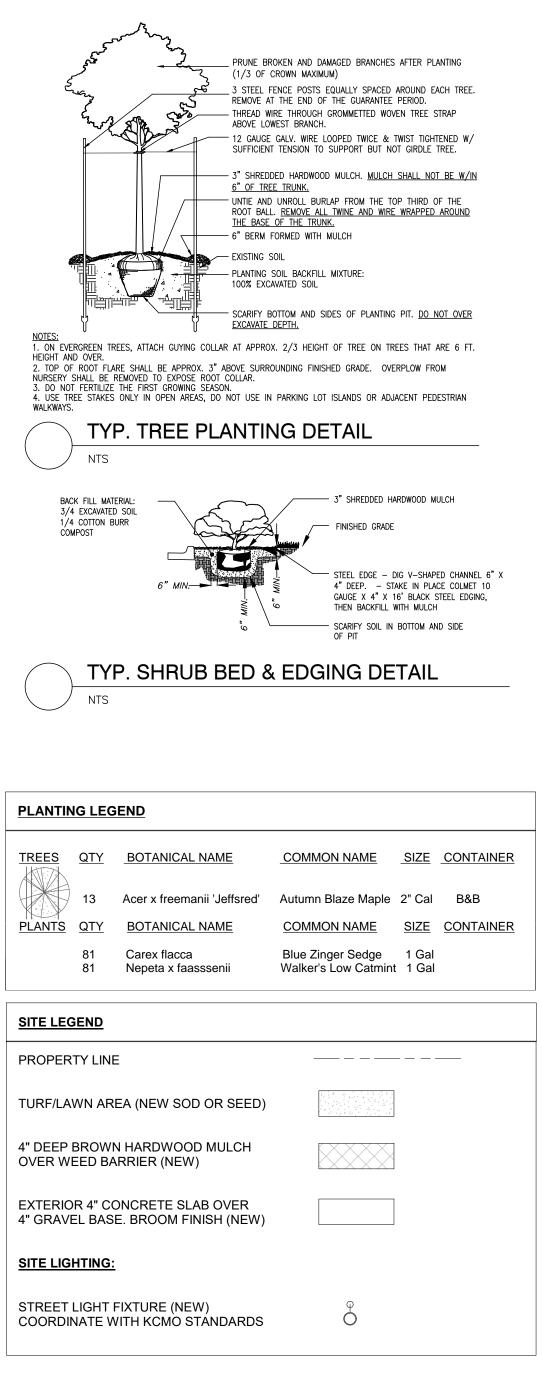
Fescue Blend (or approved equal) applied at recommended seeding rate for new lawns. Starter fertilizer shall also be applied at time of seeding that contains a moisture management agent in it. 8. Proposed trees shall not be placed over existing or proposed utility service lines. It is the contractor's responsibility to understand utility locations and have them marked during tree planting operations. If utility is

damaged during planting, contractor is responsible for notifying the general contractor and owner of utility and paying for repair of the damaged utility. 9. A fully automated irrigation system will be supplied for this project by the Contractor. Design shall be provided by the contractor and approved by the landscape architect prior to ordering materials or installing any

aspect of the irrigation system. Irrigation system shall consist of tap, blackflow, smart controller, heads, pipe, valves, wire, flow sensing, weather station, and any other feature to give the most efficient and comprehensive system as deemed necessary by the owner and landscape architect. System shall cover all areas designated as turf or landscape beds. Turf, trees and shrubs shall all be on separate zones so that they can be watered at different rates. Submit all irrigation plans to

the landscape architect for approval.

10. Plant materials which exhibit evidence of insect pests, disease and/or damage must be appropriately treated. Dead plants must be promptly removed and replaced.



Chad D. Weinand, PLA, ASLA

15173 W. 157th Terrace, Olathe, Kansas 66062 913.484.3738 - cweinand74@gmail.com

Landscape Architecture

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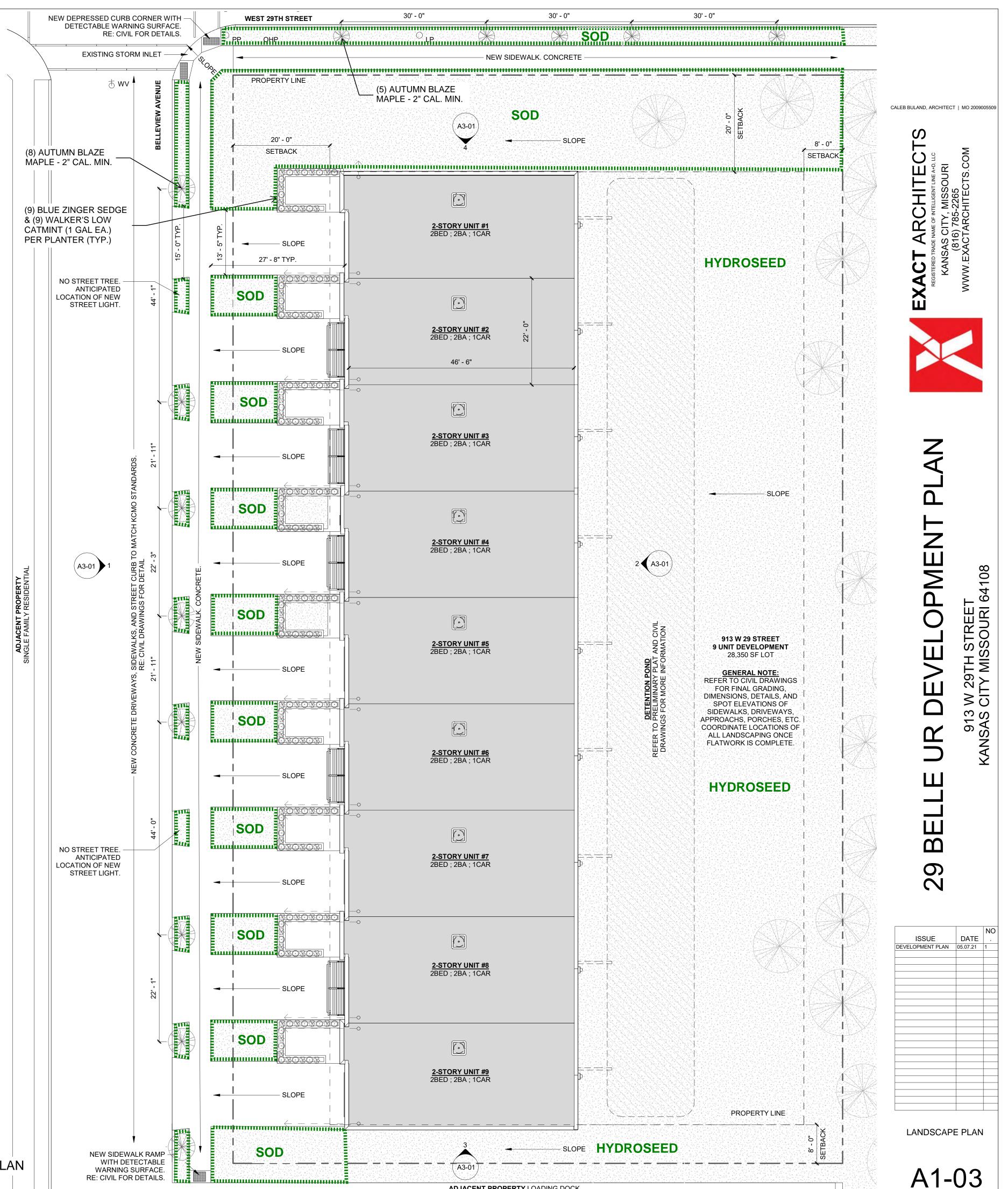
STREET TREE REQUIREMENTS

88.425.03 - STREET TREES

C.1 - 1 TREE PER 30 FEET OF FRONTAGE BELLEVIEW (WEST) - 225' / 30 = 7.5 TREES REQ'D - 8 PROVIDED 29TH ST (NORTH) - 126' / 30 = 4.2 TREES REQ'D - 5 PROVIDED



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LANDSCAPE PLAN 3/32" = 1'-0"



ADJACENT PROPERTY LOADING DOCK

GENERAL FLOOR PLAN NOTES:

- A. ALL INTERIOR WALLS ARE TYPE 1 2x4 WOOD STUDS WITH 1/2" TYPE 'X' GYPSUM BOARD ON BOTH SIDES, UNO. REFER TO ASSEMBLY SHEET FOR
- ADDITIONAL WALL TYPES. B. INSTALL NON-EXPANDING SPRAY FOAM INSULATION AT ALL WINDOW & EXTERIOR DOOR FRAMES AND BLOCKING. SEAL ALL JOINTS, GAPS, HOLES, MEP PENETRATIONS, LIGHT FIXTURES, ETC. WITH EXPANDING FOAM AND CAULK TO MINIMIZE AIR LEAKAGE.
- C. GYPSUM BOARD WITHIN KITCHENS, BATHROOMS,
- LAUNDRY CLOSET, D. GARAGE, AND MECHANICAL ROOM SHALL BE TYPE
- 'XP' TO RESIST MOLD AND MILDEW. E. INSTALL WOOD BLOCKING AS REQUIRED BY CLOSET DETAILS AND AT
- ALL CABINETS, HANDRAILS, TOILET ACCESSORIES, ETC. F. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERPROOF, WATERPROOF,
- AND AIRTIGHT PERFORMANCE. COORDINATE CAULK COLORS WITH ARCHITECT. G. ALL WOOD STUDS IN CONTACT WITH CONCRETE
- FOUNDATION WALL SHALL BE TREATED TYPE. H. UTILIZE SAFETY GLAZING AT ALL LOCATIONS
- REQUIRED BY 2018 IRC. NOT USED
- J. ALL COLOR SELECTIONS TO BE COORDINATED WITH ARCHITECT VIA MANUFACTURERS FULL RANGE OF STANDARD OPTIONS.
- K. REFER TO DOOR SCHEDULE FOR ALL DOOR TYPES, INCLUDING
- TYPICAL DOOR STYLES, HARDWARE, AND FINISHES. SEAL ALL CONCRETE TO REMAIN EXPOSED, L. INCLUDING FLOORS AND WALLS
- IN ACCORDANCE WITH THE FINISH SCHEDULE. M. THE DESIGN INTENT OF EACH UNIT IS A COORDINATED, COMPLETE, AND FULLY FUNCTIONAL LIVING UNIT WITH CONCEALED AND ORDERLY MECHANICAL, ELECTRICAL AND PLUMBING ROUTING AND COORDINATED FIXTURE INSTALLATION WITH EACH DISCIPLINE.

FLOOR FINISH LEGEND:

PRODUCTS ARE BASIS OF DESIGN, ALTERNATES MUST BE REVIEWED AND APPROVED BY ARCHITECT.

TRANSITION STRIP: INSTALL MANNINGTON | FUSION IN METALLIC GRAY BETWEEN ALL DISSIMILAR MATERIALS.

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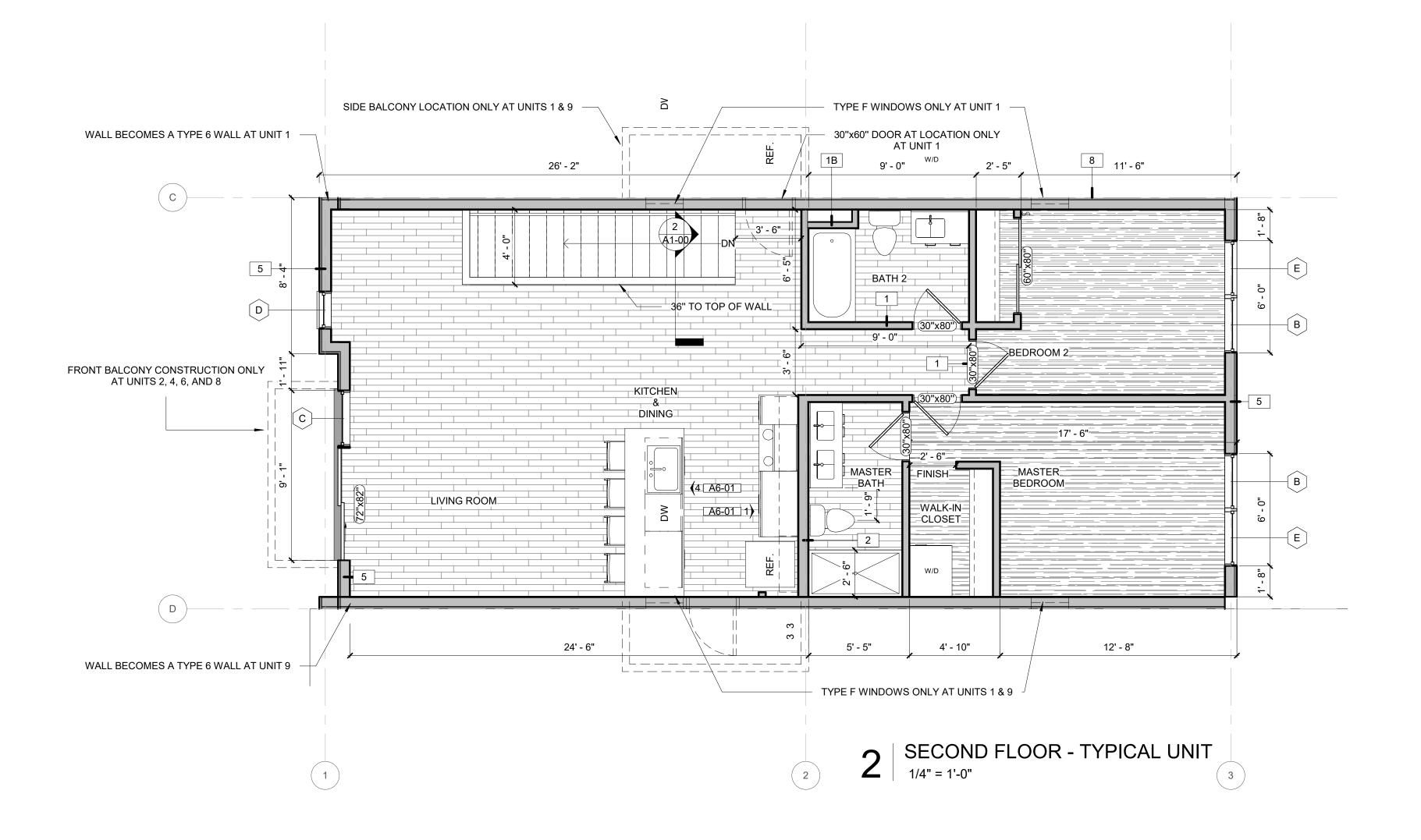
CONCRETE, SEALED EAGLE GLOSS COAT, CLEAR TWO COAT APPLICATION

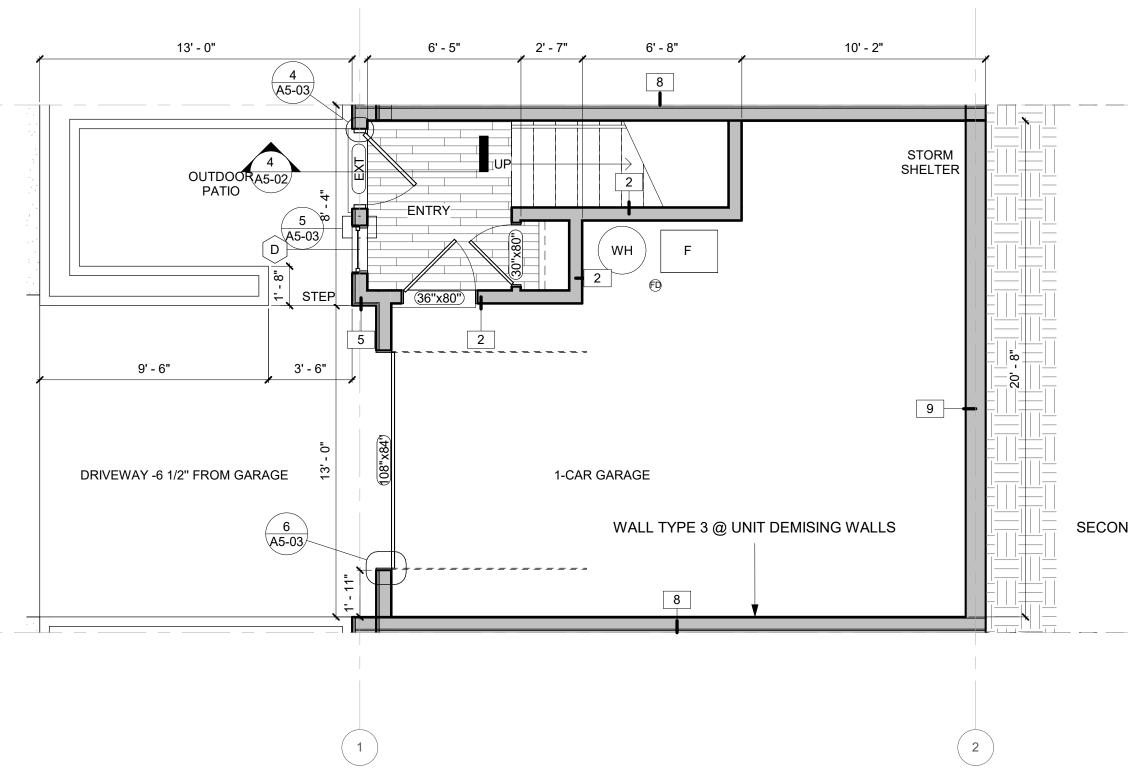
VINYL PLANK MANNINGTON - SPACIA FIRST 20 WHITE OAK | RANDOM STAGGER

CARPET

MANNINGTON - BROADLOOM ENTWINED | MOSO SORREL

A1 - AREA SCHEDULE					
NAME	AREA				
FIRST FLOOR					
GARAGE	407 SF				
ENTRY	82 SF				
SECOND FLOOR					
FINISHED	974 SF				
PATIO	31 SF				





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SECOND FLOOR, SLAB ON GRADE ABOVE. REFER TO SECTION

1 FIRST FLOOR - TYPICAL UNIT

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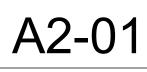
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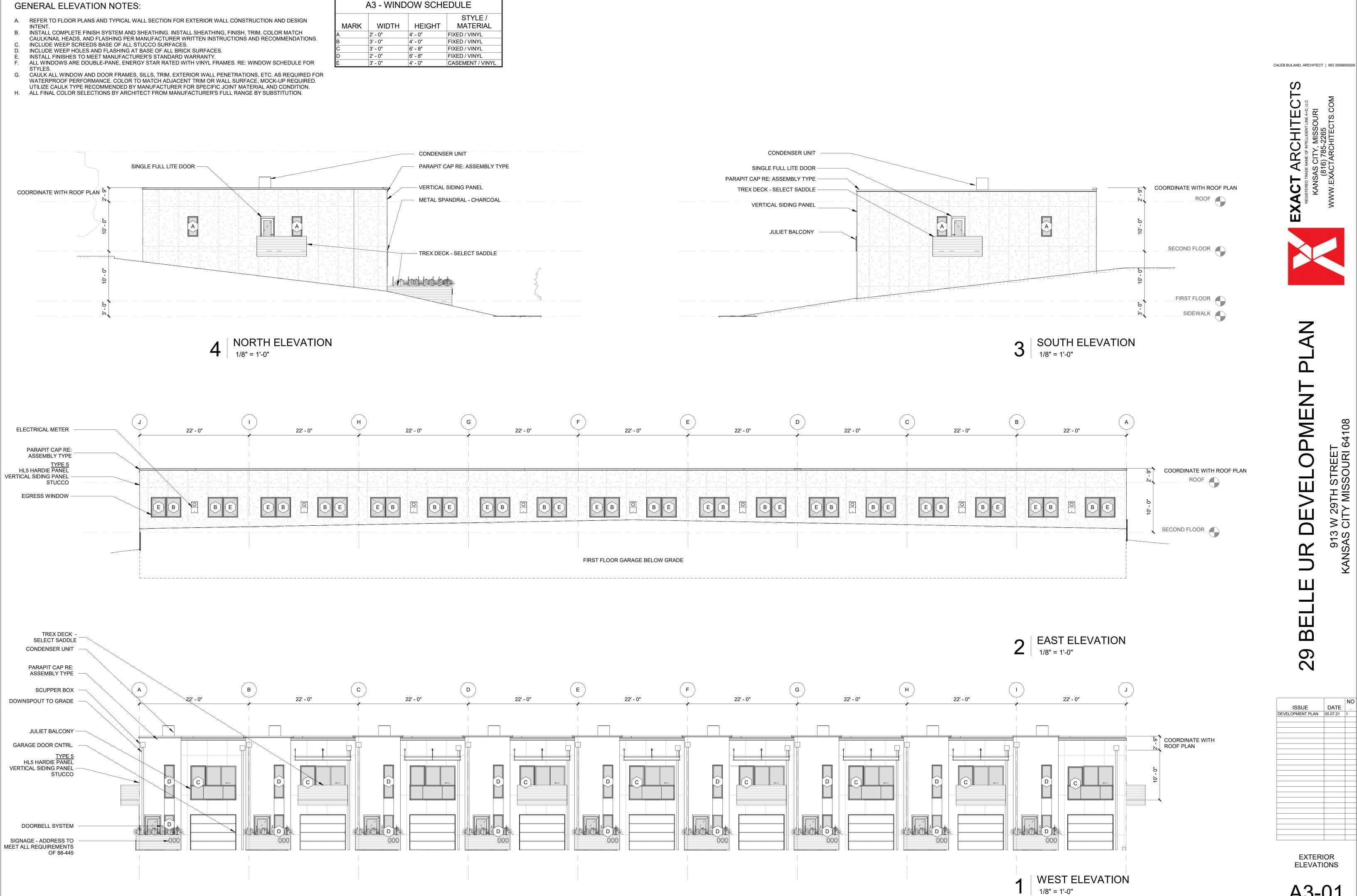
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ENLARGED PLAN -UNIT, TYPICAL





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EXTERIOR ELEVATIONS

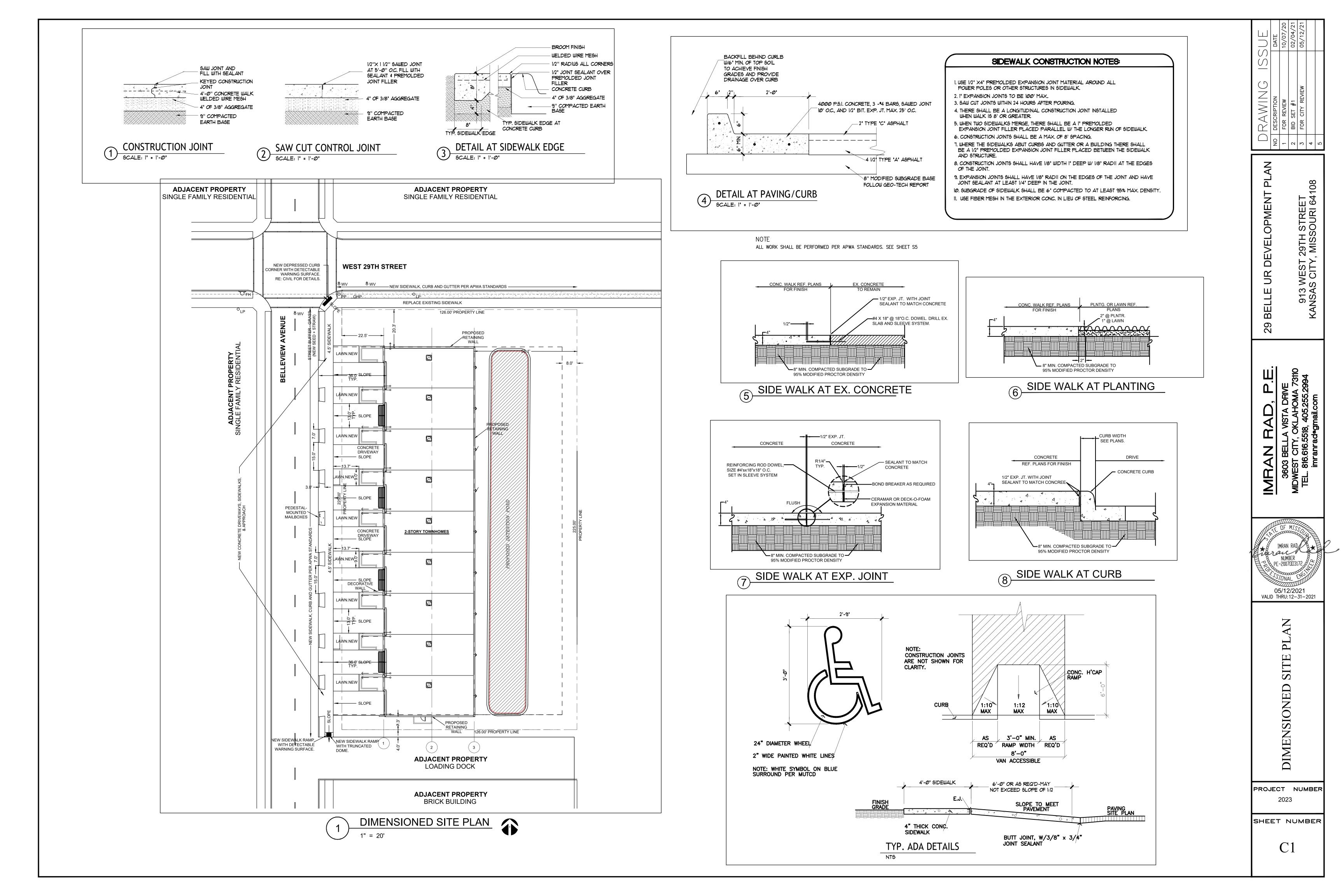


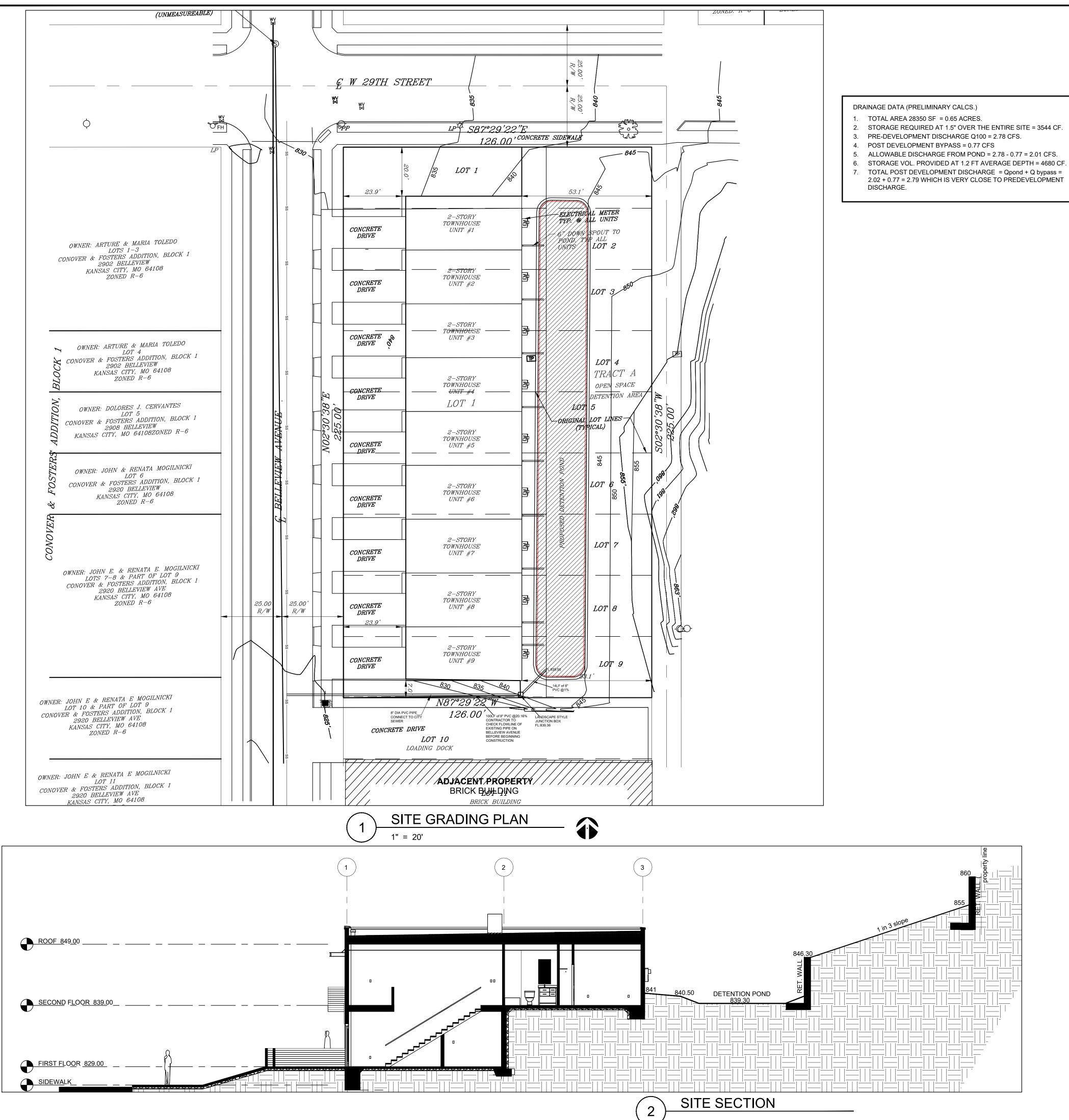






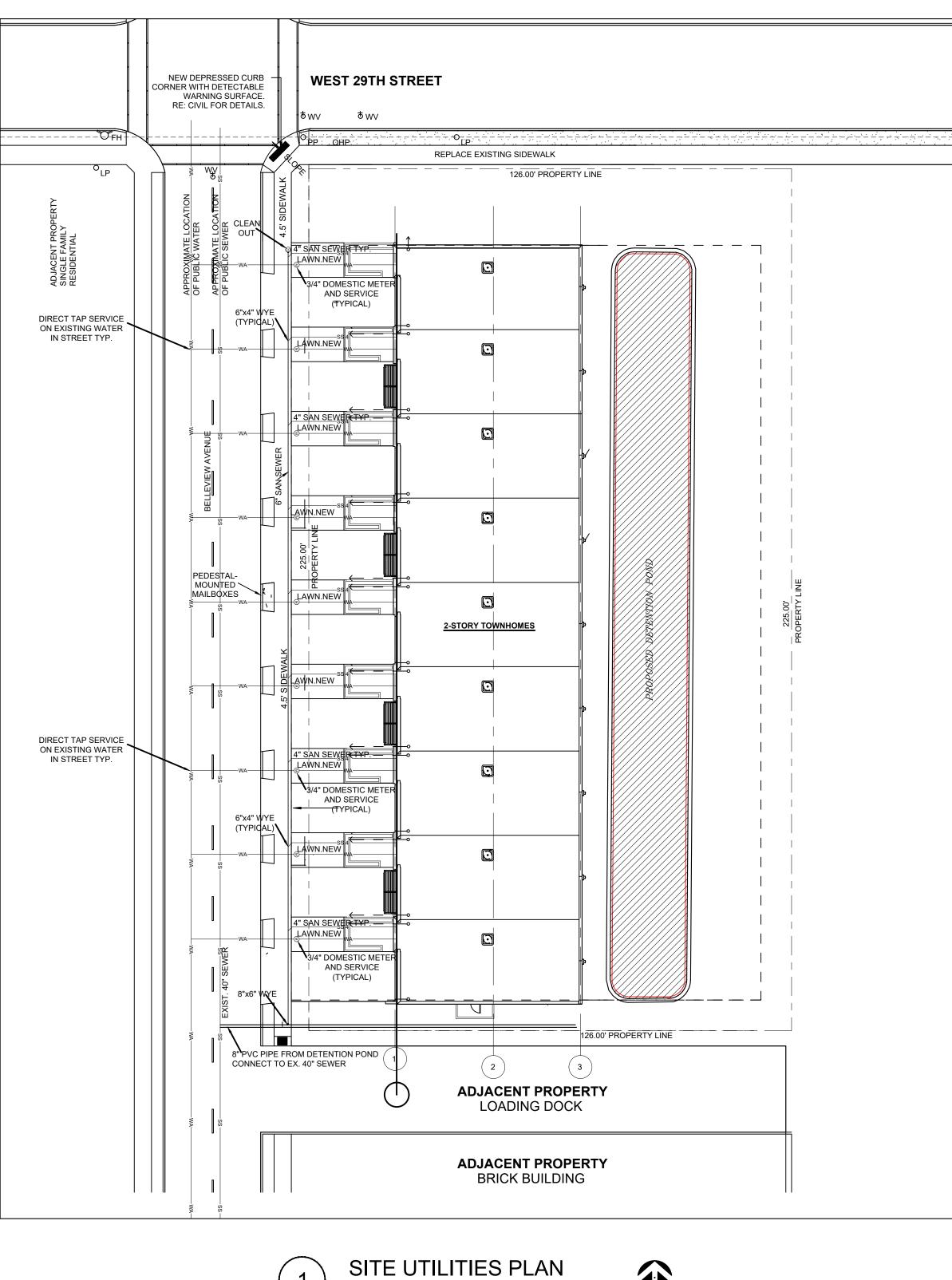
EXTERIOR DESIGN RENDERING





- 5. ALLOWABLE DISCHARGE FROM POND = 2.78 0.77 = 2.01 CFS.
- 2.02 + 0.77 = 2.79 WHICH IS VERY CLOSE TO PREDEVELOPMENT

	/21
	SSUE DATE 10/07/ 02/04/
 GENERAL NOTES 1. LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION. 2. CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION. 3. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT. 4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY. 5. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND 	DRAWING No description 2 bid set #1 3 for city review 5 for city review
 CONSTRUCTION SPECIFICATIONS, LATEST EDITION. EXISTING UTLITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK. ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING. ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING. ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING. AFTER NEW INLERS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS. CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING SEQUIREMENTS BY "FPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE MISSOURI DIVISION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED. A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE MISSOURI UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE MISSOURI DIVESTION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE MISSOURI ONE-CALLS YSTEM AT 800-344-7483 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED. CONTRACTOR SHALL LOCATED. CONTRACTOR NO DE NEXCHICE AT LOCATION TO ENSURE THAT ANY EXISTING UTILITIE	29 BELLE UR DEVELOPMENT PLAN 913 WEST 29TH STREET KANSAS CITY, MISSOURI 64108
 GRADING PLAN NOTES THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGES TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PROPERTY DAMAGES TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PROPERTIES OF THE PROJECT. THE CONTRUCTION PHASE OF THE PROJECT. THE CONTRUCTION WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONSTRUCTION PROSE OF THE PROJECT. THE CONTRUCTION PHASE OF THE PROJECT. THE CONTRUCTION WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTRUCTION PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTRUCT ING DURING THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB STIL. INCLUDING SAFETY FOR ALL PRESPONSIBLE FOR CONDITIONS ON THE SOLENCE ON THE UNDER SA ARE TO PLACEMENT. CONSTRUCTION REVIEW. INSPECTION, AND OBSERVATION OF THE CONSTRUCTION PRACTORS. CONSTRUCTION REVIEW. INSPECTION, AND OBSERVATION OF THE ADDECK OR OTHOR OF THE ADDECK OR OTHOR OF THE ADDECK OF THE ADDICTION OF REMIT. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM ADTHORMENCEMENT OF CONTRACTOR SHALL BEREPRINE TO MORMAL WORK AND AUTHORTIES AND REGULATORY AGENCIES FROM TO COMPLEX BUTH THE DURING FROM THE FUNCTION OF REMIT. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM ADDITION OF AND SECONDACTOR AND TO ADDITIONS FROM THE PLANS. TRAFFIC: MINIMASE INTERFERINGE WITH ADJOINI	MINICAL RAD, P.E.
 INSTALL DETECTABLE WARNING TAPE ABOVE CONSTRUCTED UTILITIES DETECTABLE WARNING TAPE IS DETIRED AS: ACID. AND ALXAL RESISTANT. POLYETHYLEME FILM WARNING TAPE MANUFACTURED FOR MARKING AND DIENTIFYUNG UNDERGROUND UTILITIES. A MINIMUM of 6 INCHES WIDE AND A MILS THICK, CONTINUOUSLY INSCRIED WITH A DESCRIPTION OF THE UTILITY, WITH METALLIC CORE ENCASED IN A PROTECTIVE JACKET FOR CORROSION PROTECTION, DETECTABLE BY METAL DETECTOR WHEN TAPE IS BURIED UP TO 30 INCHES DEEP; COLORED AS FOLLOWS: a. RED. ELECTRIC. b. YELLOW: GAS, OIL, STEAM, AND DANGEROUS MATERIALS. c. ORANGE: TELEPHONE AND OTHER COMMUNICATIONS d. BLUE: WATER SYSTEMS. GREEN: SEWER SYSTEMS. GREEN: SEWER SYSTEMS. GREEN: SEWER SYSTEMS. PROTECT STRUCTURES, UTILITES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETLEMENT, LATERAL MOVEMENT, UNDERMINNG, WASHOUT, AND OTHER HAZARDS CREATED BY EARTH MOVING OPERATIONS. PROTECT STRUCTURES, UTILITES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETLEMENT, LATERAL MOVEMENT, UNDERMINNG, WASHOUT, AND OTHER HAZARDS CREATED BY EARTH MOVING OPERATIONS. PROTECT SUBGRADES AND FOUNDATION SOILS FROM FREEZING TEMPERATURES AND FROST. REMOVE TEMPORARY PROTECTION BEFORE PLACING SUBSEQUENT MATERIALS. FECKAVATED MATERIALS INTENDED FOR FILL AND BACKFILL INCLUDE UNSATISFACTORY SOIL MATERIALS AND ROCK, REPLACE WITH SATISFACTORY SOIL MATERIALS. EKCAVATED MATERIALS AND ROCK, REPLACE WITH SATISFACTORY SOIL MATERIALS. EKCAVATED NONJCATED DELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR IMMUST INCH. IF APPLICABLE, EXTEND EXCAVATIONS & SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE PROMINGN, FOR INSTALLINGS SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS. EKCAVATED INDUCATED BELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS ON INNOCH, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND	NUMBER PE-2007UIJ3172 JUNAL D5/12/2021 VALID THRU: 12-31-2021
 USE MECHANICAL EQUIPMENT THAT RIPS, TEARS, OR PULLS ROOTS. 19. GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. a. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES. b. CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES. 20. SITE ROUGH GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING. 	PROJECT NUMBER 2023 SHEET NUMBER C2



GENERAL NOTES . LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION. CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT. . CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY. 5. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION. 6. EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE. 7. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK. 8. ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING. 9. ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING. 10. AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL. 11. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS. 12. CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM 13. CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE MISSOURI DIVISION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY. 14. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE MISSOURI UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE MISSOURI ONE-CALL SYSTEM AT 800-344-7483 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED. 15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY. 16. TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. 17. EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.

1" = 20'

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DRAWINGISSUENODESCRIPTIONDATE1FOR REVIEW10/07/20	2 BID SET #1 02/04/21 3 FOR CITY REVIEW 05/12/21 4 05/12/21 5 05/12/21	
29 BELLE UR DEVELOPMENT PLAN	913 WEST 29TH STREET KANSAS CITY, MISSOURI 64108	
IMRAN RAD, P.E. 3603 BELLA VISTA DRIVE	MIDWEST CITY, OKLAHOMA 73110 TEL. 816.616.5518, 405.255.2994 imranrad®gmail.com	
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PROJECT 2023 SHEET N	3 IUMBER	

4. ALL UTILITIES SHALL TERMINATE 4' FROM THE BUILDING UNLESS OTHERWISE NOTED. 5. SEE THE MECHANICAL PLANS FOR WATER AND SANITARY CONNECTION 4' FROM THE BUILDING. 6. ALL UTILITY PIPE BEDDING SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF THE CITY. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE

UTILITY PLAN NOTES

FOR REMOVAL FROM DAMAGE.

REGULATORY AGENCIES.

PERFORMED PER THE REQUIREMENTS OF THE CITY. THE CITY DEPARTMENT OF ENGINEERING MUST BE NOTIFIED 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, OR WORK IMPACTING CITY UTILITIES.

CONTRACTOR SHALL PROTECT EXISTING UTILITIES NOT DEEMED

ALL UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE

REQUIREMENTS OF THE SPECIFICATIONS, AND APPLICABLE

3. SEE THE DETAILS SHEET AND CONTRACT SPECIFICATIONS FOR

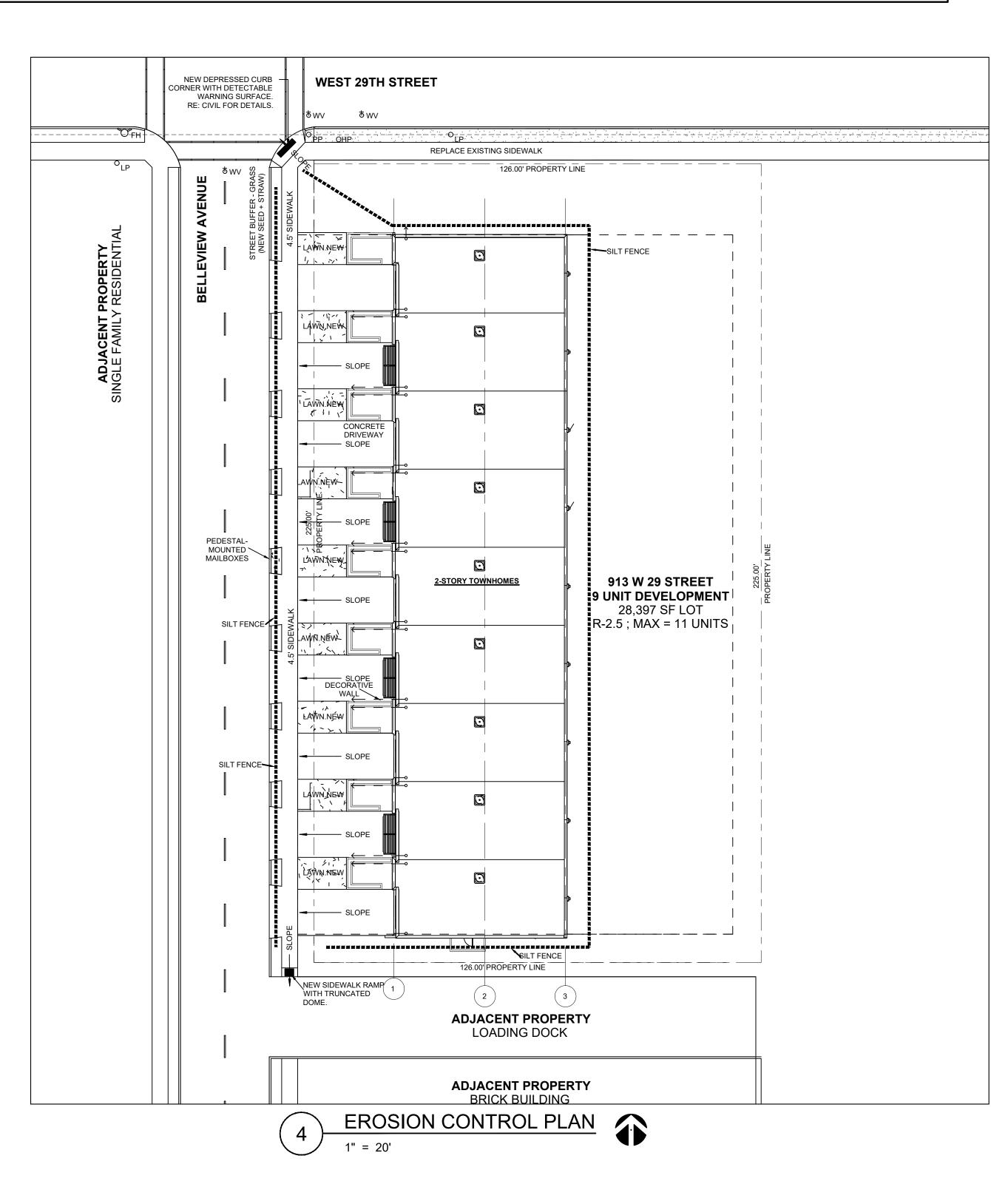
SPECIFIC UTILITY DETAILS AND UTILITY SERVICE DETAILS.

- 8. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THE SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
- 9. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. 10. REFER TO THE GEOTECHNICAL REPORT FOR SUBSURFACE CONDITIONS.

EROSION CONTROL NOTES

- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE A MINIMUM OF 4-INCHES OF TOPSOIL AND 2-INCHES OF COMPOST (FOR A TOTAL OF 6-INCHES) AND SOD OR SEED (AS INDICATED). THESE AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL THE SOD OR SEED IS GROWING IN A HEALTHY MANNER. SEE LANDSCAPE PLANS FOR MORE REQUIREMENTS.
 THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS
- 2. THE CONTRACTOR SHALL TARE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THE PROJECT.
- 3. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. THESE DEVICES AND THEIR PLACEMENT SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
- 4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DUTY OF THE OWNER (OR OWNER'S REPRESENTATIVE) TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
 BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR
- SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT

- ALL POINTS OF VEHICLE EXIT FROM THE SITE. SAID ROCK ENTRANCE PADS SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
 EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND THE PROJECT DETAILS.
 EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON COMPLETION OF CLEARING AND GRUBBING.
 ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
 SOLID WASTE MUST BE DISPOSED OF PROPERLY AND COMPLY WITH THE GOVERNING AGENCY'S DISPOSAL REQUIREMENTS.
 EXTERNAL WASHING OF CONSTRUCTION VEHICLES MU BE LIMITED TO A DEFINED AREA OF THE SITE. THE AREA MUST BE IN A CONTAINED LOCATION WITH A LINER. WASHOUT TO BE REMOVE AND PROPERLY DISPOSED OF
- THE INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS: a. INSTALL SILT FENCE AROUND THE PERIMETER OF THE SITE, AND THE ROCK CONSTRUCTION ENTRANCE(S).
- b. INSTALL SILT FENCE AND INLET PROTECTION AROUND, AND WITHIN, ALL STRUCTURES.
- c. CLEAR AND GRUB. d. SURFACE FEATURE REMOVALS.
- e. ROUGH GRADING OF THE SITE.
- f. STABILIZE DENUDED AREAS AND STOCKPILES.g. FINE GRADING OF THE SITE
- h. INSTALL TOPSOIL, COMPOST AND SEED.
- i. REMOVE ACCUMULATED SEDIMENT FROM STRUCTURES.
- j. WHEN ALL CONSTRUCTION ACTIVITIES ARE COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL WITHIN 30-DAYS OF FINAL
- STABILIZATION. THE LOCATION OF THE AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.



UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABII IZED 12. SOLID WASTE MUST BE DISPOSED OF PROPERLY AND COMPLY WITH THE GOVERNING AGENCY'S DISPOSAL REQUIREMENTS. 13. EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. THE AREA MUST BE IN A CONTAINED LOCATION WITH A LINER. WASHOUT TO BE REMOVE AND PROPERLY DISPOSED OF FOLLOWING ALL APPLICABLE REGULATIONS. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE ALLOWED TO WASH OFF FRESH CONCRETE IN THE STREET OR IN ANY AREA WHERE THE WASHOUT MATERIAL WILL ENTER A WETLAND OR DRAINAGEWAY. CONCRETE WASHOUT WATER SHALL NOT BE DISCHARGED INTO WATER/STORM SYSTEMS. 14. NO ENGINE DEGREASING IS ALLOWED ON SITE. 15. SILT FENCE REQUIRED MAINTENANCE SHALL BE AS FOLLOWS: *WHEN SEDIMENT REACHES 1/3 THE HEIGHT

OF THE SILT FENCE FABRIC. THE SEDIMENT MUST BE REMOVED WITHIN 24-HOURS. *REPAIR OR REPLACE DYSFUNCTIONAL SILT FENCE WITHIN 24-HOURS.
16. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THIS SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
17. AFTER CONSTRUCTION BEGINS, SOIL SURFACE STABILIZATION SHALL BE APPLIED WITHIN 7-DAYS TO ALL DISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN UNDISTURBED FOR PERIODS LONGER THAN AN ADDITIONAL 21 CALENDAR DAYS.
18. WITHIN 7-DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, PERMANENT OR TEMPORARY

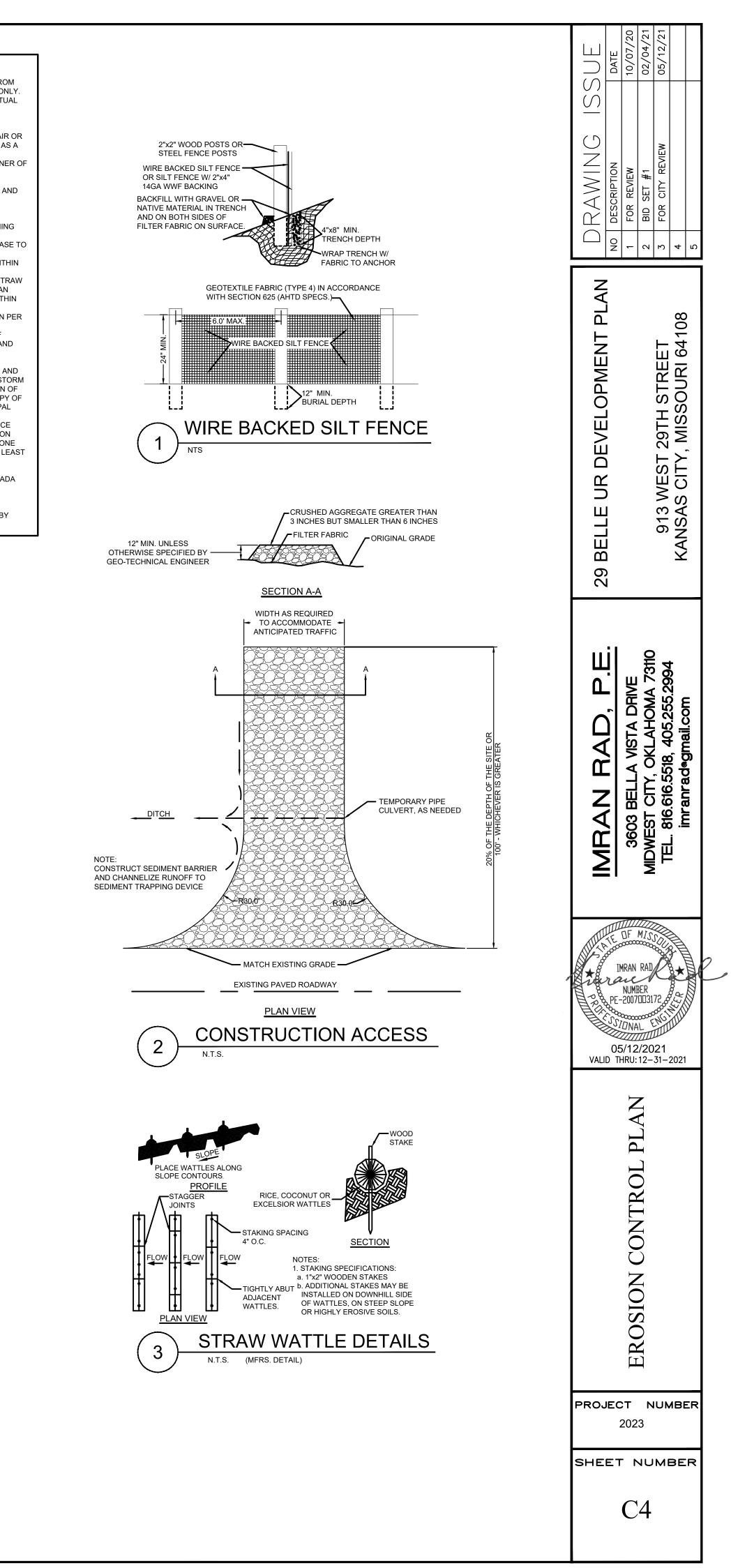
SOIL SURFACE STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS AND SOIL STOCKPILES.
19. ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS OR MORE MUST BE STABILIZED BY SEEDING, SODDING OR MULCHING. TYPE OF SLOPE DAYS TO STABILIZE STEEPER THAN 3:1 7 DAYS 10:1 TO 3:1 7 DAYS FLATTER

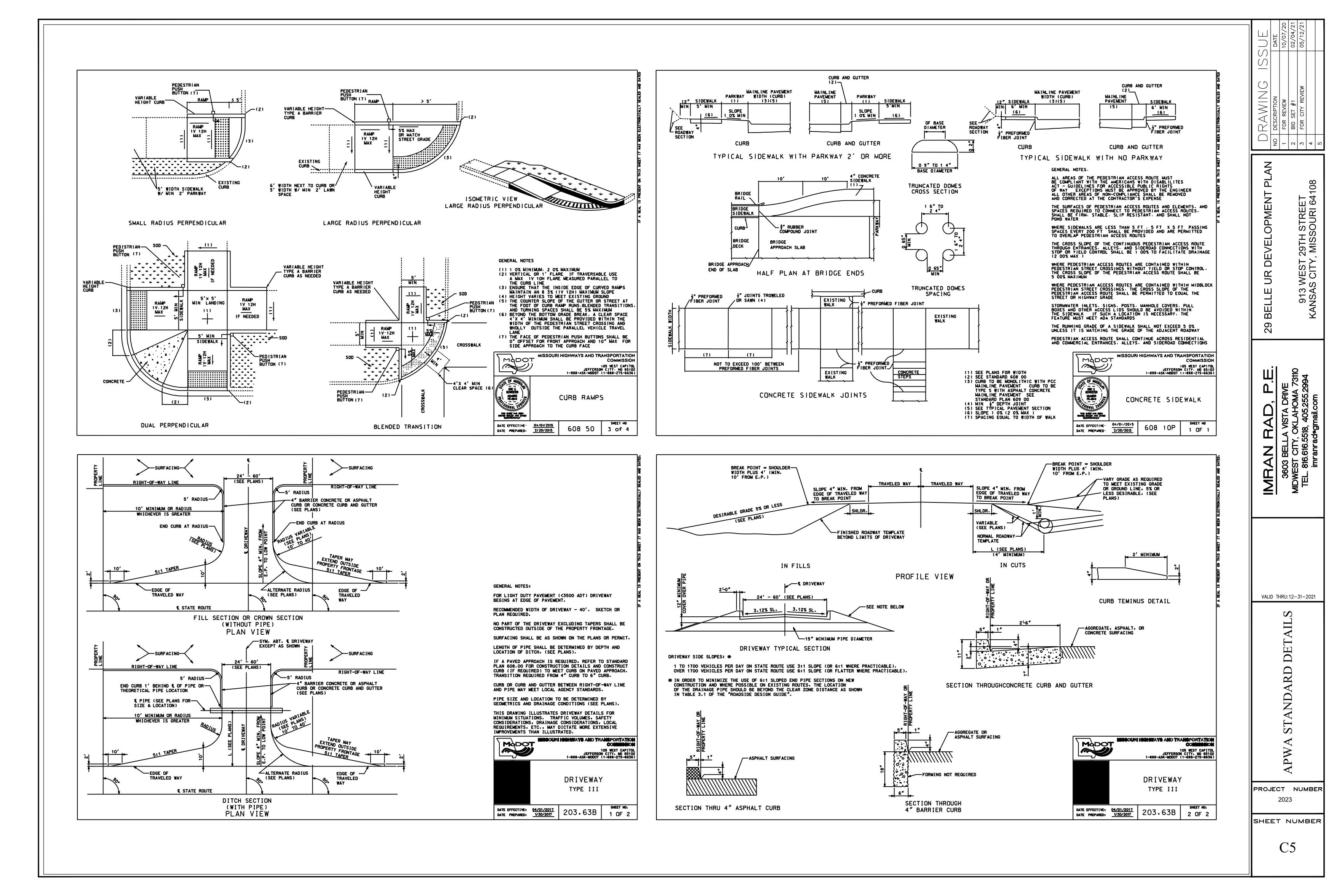
THAN 10.1 7 DAYS

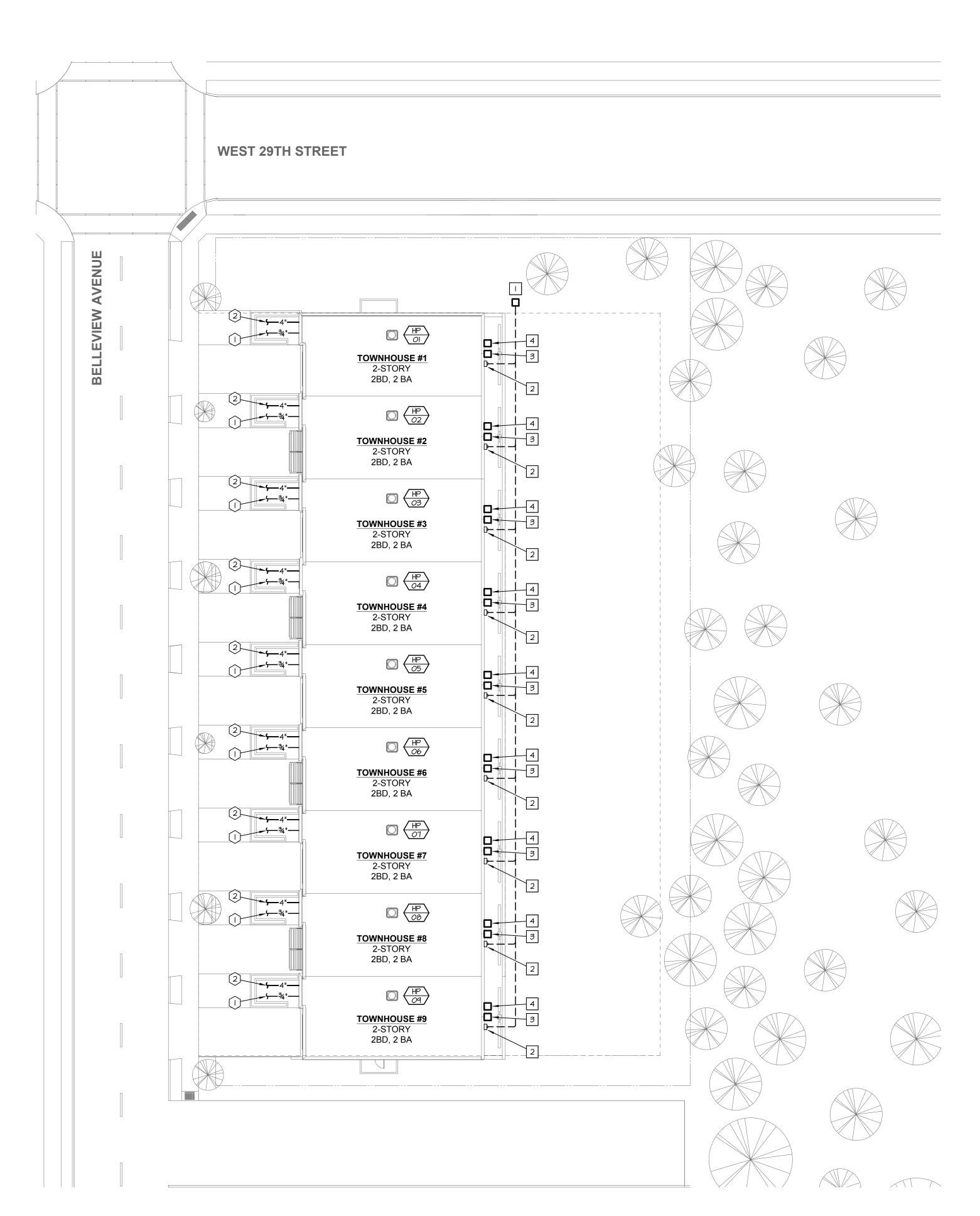
- 20. WHEN STABILIZATION MEASURES ARE STOPPED DUE TO SNOW COVER OR ARID CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE. SOIL STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO SURFACE ROUGHENING, TEMPORARY OR PERMANENT VEGETATION, MULCHING,
- SODDING, LANDSCAPING AND EROSION CONTROL BLANKETS.
 21. STABILIZATION MEASURES TO BE USED SHALL BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS AND ESTIMATED DURATION OF USE.
- EXISTING TURF OUTSIDE OF THE CONSTRUCTION LIMITS SHALL NOT BE DISTURBED. ANY TURF SHALL BE RE-ESTABLISHED.
 ALL STREETS AND PARKING LOTS ADJACENT TO THE
- ALL OTREE TO AND FARMING LOTO ADJACENT TO THE SITE SHALL BE CLEANED AND/OR SWEPT AT THE END OF EACH WORKING DAY.
 WHEN STABILIZATION MEASURES ARE STOPPED DUE TO
- SNOW COVER, STABILIZATION MEASURES SHALL BE RE-INITIATED AS SOON AS POSSIBLE. STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO: TEMPORARY OR PERMANENT VEGETATION, MULCHING, SODDING, LANDSCAPING AND EROSION CONTROL BLANKETS.
- 25. TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING THE CONSTRUCTION PHASE AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
- 26. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL PERMANENT REVEGETATION IS ESTABLISHED.
 27. CONTRACTOR TO LOCATE A CONCRETE WASHOUT AREA ON THE PROJECT SITE PRIOR TO BEGINNING WORK.

GENERAL NOTES

- . LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
- 2. CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
- 3. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
- CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
 ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN
- ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
 EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED CRADE
- PROPOSED GRADE.7. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
- 8. ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
- 9. ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
- AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
 CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
- CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM
 CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE MISSOURI DIVISION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL
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 14. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE MISSOURI UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE MISSOURI ONE-CALL SYSTEM AT 800-344-7483 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY
- EXISTING UTILITIES CAN BE LOCATED. 15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY.
- TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
- EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.







1 | SITE PLAN 1/16" = 1'-0"

PLUMBING PLAN NOTES: 3/4" DOMESTIC WATER SERVICE LINE. REFER TO CIVIL DRAWINGS

FOR CONTINUATION. 2. 4" SANITARY DRAIN LINE. REFER TO CIVIL DRAWINGS FOR CONTINUATION.

ELECTRICAL PLAN NOTES:

- PROPOSED ELECTRIC UTILITY TRANSFORMER. PROVIDE TRANSFORMER PAD PER LOCAL UTILITY REQUIREMENTS. REFER TO ELECTRICAL RISER DIAGRAM FOR EACH RESPECTIVE BUILDING FOR MORE INFORMATION. IMMEDIATELY AFTER BEING AWARDED CONTRACT, NOTIFY ELECTRIC UTILITY OF WORK ON SITE TO BE PERFORMED BY ELECTRIC UTILITY. ROUTING OF ELECTRIC UTILITY WORK IS DIAGRAMMATIC AND FOR COORDINATION PURPOSES ONLY.
- 2. PROVIDE METER FOR ELECTRICAL SERVICE ON THE EXTERIOR OF THE TOWNHOUSE AT THIS LOCATION. REFER TO ELECTRICAL RISER DIAGRAM.
- 3. TOWNHOUSE CABLE TELEVISION CONNECTION BOX. 4. TOWNHOUSE TELEPHONE CONNECTION BOX.

GENERAL NOTES:

- A. THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF THE WORK. PROVIDE MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS COMPLETE AND PER APPLICABLE CODES INCLUDING ALL NECESSARY OFFSETS, FITTINGS AND SPECIAL RADIUS OR MITERED ELBOWS WHICH ARE REQUIRED DUE TO SPACE CONSTRAINTS OR OTHER CONDITIONS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL PULL BOXES, JUNCTION BOXES AND INCIDENTAL MATERIALS AND LABOR FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM.
- B. COORDINATE THE INSTALLATION OF THE DUCTWORK AND EQUIPMENT WITH THE WORK OF ALL OTHER TRADES. VERIFY ALL CLEARANCES PRIOR TO THE FABRICATION OF ANY SYSTEM COMPONENTS.
- C. DUCTWORK AND PIPING SHALL NOT BE LOCATED OVER ELECTRICAL EQUIPMENT OR PANELS. PROVIDE THE CODE REQUIRED WORKING CLEARANCE AROUND ALL ELECTRICAL EQUIPMENT AND PANELS.
- D. PROVIDE ALL MISCELLANEOUS SUPPORTING STEEL, ETC. FOR THE PROPER INSTALLATION OF ALL MECHANICAL SYSTEMS. E. COORDINATE FLOOR, WALL, ROOF PENETRATIONS, LOUVER
- SIZES, PAD LOCATIONS, ETC. WITH THE ARCHITECTURAL TRADES. F. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS AND WALL ELEVATIONS FOR EXACT LOCATION OF GRILLES,
- REGISTERS, AND DIFFUSERS. G. BRANCH DUCTWORK TO DIFFUSERS, REGISTERS OR GRILLES
- SHALL BE NECK SIZE UNLESS NOTED OTHERWISE. H. ALL RUNOUTS TO SUPPLY DIFFUSERS SHALL BE PROVIDED WITH BALANCING DAMPERS. PROVIDE CONCEALED DAMPER OPERATORS WHERE LOCATED ABOVE HARD CEILINGS.
- I. ALL DUCTWORK DIMENSIONS INDICATE THE INSIDE CLEAR DIMENSION.
- J. PROVIDE ACCESS DOORS IN HARD CEILING AREAS FOR ACCESS TO TERMINAL UNITS, BALANCING DAMPERS, TERMINAL UNIT HEATING COIL PIPING, ETC. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES. COORDINATE WITH THE ARCHITECTURAL TRADES.
- K. REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATIONS OF PLUMBING FIXTURES.
- L. COORDINATE THE INSTALLATION OF PLUMBING AND PIPING WITH THE WORK OF ALL OTHER TRADES.
- M. THE CONTRACTOR SHALL NOT LOCATE PIPING BELOW DUCT MOUNTED AIR TERMINAL UNITS, TERMINAL HEATING COILS, OR OTHER EQUIPMENT.
- N. PROVIDE SUPPLEMENTARY STEEL AS REQUIRED FOR THE PROPER SUPPORT OF ALL PLUMBING SYSTEMS.
- O. PLUMBING VENT PIPING THROUGH THE ROOF SHALL BE LOCATED A MINIMUM OF 10'-0" AWAY FROM ANY FRESH AIR INTAKE LOCATION AND A MINIMUM OF 18" CLEAR FROM THE INSIDE FACE OF THE PARAPET.
- P. PROVIDE THE CODE REQUIRED CLEARANCE FOR ALL
- CLEANOUTS INSTALLED IN SANITARY WASTE AND VENT PIPING. Q. MINIMUM UNDERGROUND PIPE SIZE SHALL BE 2".
- R. COORDINATE THE EXACT LIGHT FIXTURE LOCATIONS WITH THE ARCHITECTURAL DRAWINGS.
- 5. PROVIDE SEPARATE NEUTRALS FOR DIMMING CIRCUITS. T. ALL ELECTRICAL BRANCH CIRCUITS SERVING OUTLETS AND LIGHTING IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
- U. PROVIDE FIRESTOPPING ON CONDUITS PASSING THROUGH FIRE RATED WALLS AND FLOORS. COORDINATE LOCATION AND RATINGS OF WALLS WITH ARCHITECTURAL DRAWINGS.
- V. MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND HAVE ONE COVER PLATE.
- W. ELECTRICAL CONTRACTOR SHALL DE-RATE CONDUCTORS AS REQUIRED BY THE N.E.C. WHEN GROUPED IN COMMON RACEWAYS. X. VERIFY REQUIREMENTS OF ALL MECHANICAL EQUIPMENT WITH
- CONTRACTOR PROVIDED SUBMITTALS. NOTIFY ENGINEER OF ANY CONFLICTS BETWEEN THE SUBMITTALS AND ELECTRICAL DRAWINGS.
- Y. CONTRACTOR SHALL OFFSET OUTLET BOXES ON OPPOSITE SIDES OF A COMMON WALL TO PREVENT SOUND TRANSMISSION BETWEEN ADJOINING ROOMS. BOXES SHALL BE A MINIMUM OF 12" APART, AND MUST BE INSTALLED IN SEPARATE STUD CAVITIES.
- Z. ALL LOW VOLTAGE WIRES NOT ROUTED IN CONDUIT SHALL BE PROVIDED AS PLENUM RATED CABLES.
- AA. PROVIDE JUNCTION BOXES AND 3/4" CONDUIT WITH PULL-STRINGS UP TO ACCESSIBLE LOCATION IN PLENUM AT ALL VOICE AND DATA OUTLET LOCATIONS.
- AB. WHERE BOXES ARE INSTALLED IN CONCRETE BLOCK WALLS, THE BOX MOUNTING HEIGHT SHALL BE AT THE BLOCK JOINT AND THE DEVICES SHALL BE PROVIDED WITH A JUMBO COVERPLATE.
- AC. ALL WIRES RUN BELOW GRADE, IN CONCRETE THAT IS IN DIRECT CONTACT WITH THE EARTH, OR MASONRY THAT IS IN DIRECT CONTACT WITH THE EARTH SHALL BE WET LOCATION LISTED.
- AD. FURNITURE LAYOUTS ARE FOR REFERENCE ONLY. COORDINATE THE FINAL LOCATION OF ELECTRICAL DEVICES AND OUTLETS WITH ARCHITECT, OWNER AND FINAL FURNITURE PLANS PRIOR TO INSTALLATION.
- AE. PROVIDE LOCKING CLIPS ON ALL CIRCUIT BREAKERS SERVING TELECOMMUNICATION EQUIPMENT AND FIRE ALARM CONTROL PANELS.
- AF. E.C. TO PROVIDE ROUGH-IN BOXES AND CONDUIT FOR THERMOSTATS AS INDICATED.
- AG. REFER TO TELECOMMUNICATION DRAWINGS FOR DATA REQUIREMENTS.
- AH. ONE WAY 120 VOLT CIRCUIT LENGTH CONDUCTOR SIZING UP TO AND INCLUDING 100 LINEAL FEET SHALL BE #12 AWG, FROM 100 LINEAL FEET TO 150 LINEAL FEET SHALL BE #10 AWG AND FROM 150 LINEAL FEET TO 200 LINEAL FEET SHALL BE #8 AWG.





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