



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

July 6, 2021

## Project Name

29 Belle

## Docket #2 Request

- .a - CD-CPC-2021-0030 Area Plan Amendment.
- .b - CD-CPC-2020-00186 Rezoning with plan.
- .c - CD-CPC-2021-0085 Tax Incentive Plan.

## Applicants

Tyler Asby, Exact Architects  
Robert Long, KC EDC

## Owner

Caleb & Nichole Buland

Location	913 W 29 <sup>th</sup> Street
Area	About 0.65 acre
Zoning	R-2.5/ R-6
Council District	4 <sup>th</sup>
County	Jackson
School District	KCMO

## Surrounding Land Uses

- North:** zoned R-6, single family residences.  
**South:** zoned R-2.5, industrial.  
**East:** zoned R-6, single family residences.  
**West:** zoned R-6, single family residences.

## Major Street Plan

The City's Major Street Plan does not classify W. 29<sup>th</sup> Street or Belleview Avenue at this location.

## Land Use Plan

The Greater Downtown Area Plan recommends Residential Low Density land use for the subject property. The proposed plan is not consistent with the future land use recommendation which necessitates an area plan amendment.

## APPROVAL PROCESS



## NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

Notice of the public hearing was sent to Westside Neighborhood Association, Westside Planning Committee, Sacred Hearth Homes Association and surrounding properties within 300 feet.

## REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. The developer held public engagement meetings on June 7 and June 27, 2021, of which a summary is attached.

## EXISTING CONDITIONS

The project site is a 0.65-acre vacant parcel located at the southeast corner of W. 29<sup>th</sup> Street and Belleview Avenue. The property is heavily vegetated. Both W. 29<sup>th</sup> Street and Belleview Avenue are improved public streets with curbs and gutter, but in a state of disrepair. The site also has a 30 foot change in grad from the east to the west.

## SUMMARY OF REQUEST

The applicant is seeking approval of The 29 Belle Urban Renewal Plan, an Area Plan amendment and approval of a rezoning from R-2.5 and R-6 to UR (Urban Redevelopment) in order to build a 9-unit multifamily townhome.

Surrounding land uses include single family residences on the north, east and west. The property to the south is an industrial building in district R-2.5.

## PURPOSE

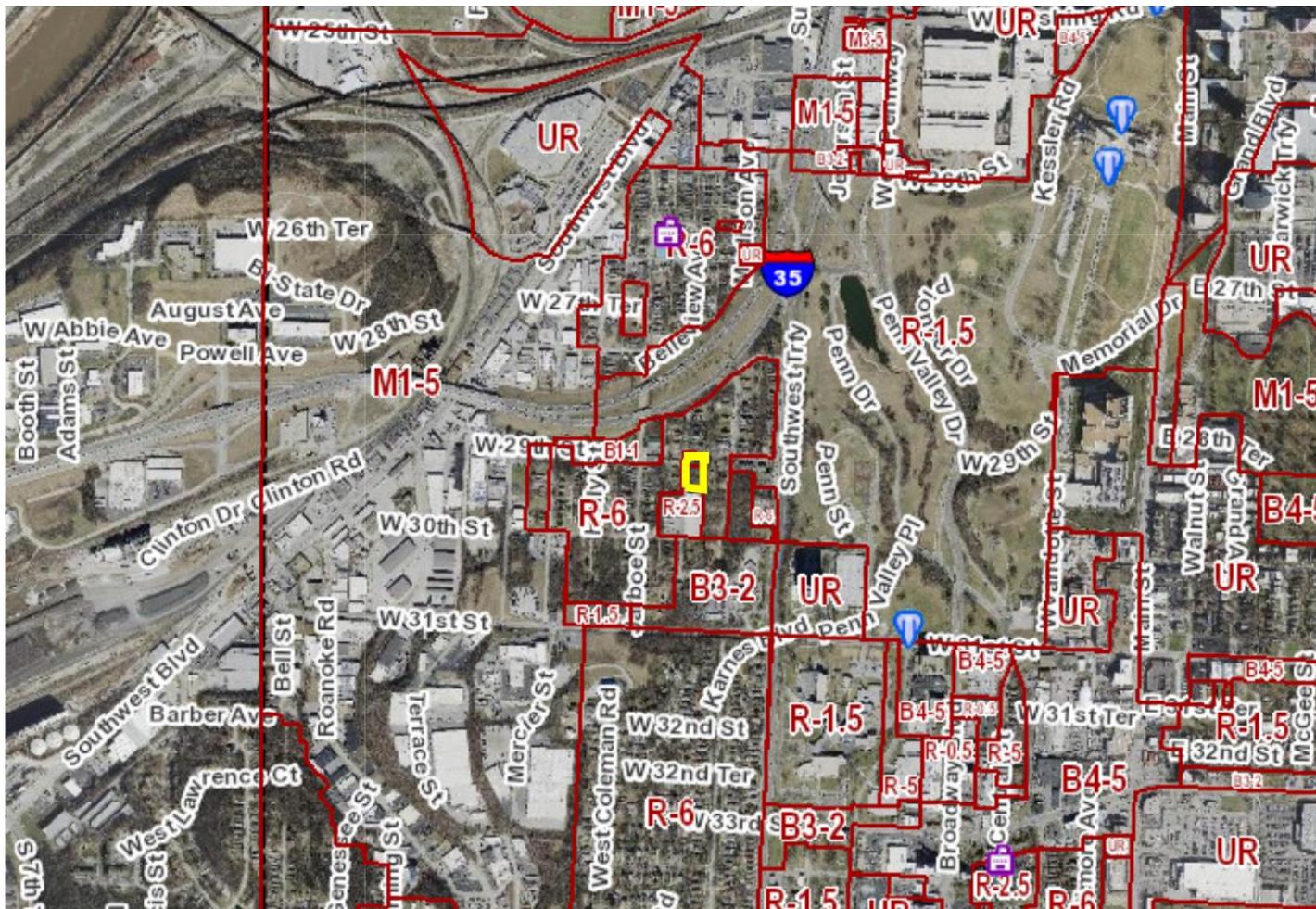
Applicant is proposing to build nine multi-family units on about 0.65 acres at the southeast corner of W. 29<sup>th</sup> Street and Belleview Avenue.

## PROFESSIONAL STAFF RECOMMENDATION

- Docket #2a. Recommendation – Approval without condition.  
Docket #2b. Recommendation – Approval with condition.  
Docket #2c. Recommendation – Approval without condition.

## CONTROLLING CASE

There is no prior CPC case on this site.



**PLAN REVIEW**

The request is to consider approval of The 29 Belle Urban Renewal Plan, an Area Plan amendment and approval of a rezoning from R-2.5 and R-6 to UR (Urban Redevelopment) in order to build a 9-unit multifamily townhome. The project site is a 0.65-acre vacant parcel located at the southeast corner of W. 29th Street and Bellevue Avenue. The site is currently vacant.

**Case No. CD-CPC-2021-00085** is a request to consider approval of The 29 Belle Urban Renewal Plan and declare the area blighted and insanitary and in need of redevelopment and rehabilitation as required by the Land Clearance for Redevelopment Authority Law of Missouri, Section 99.300.

**AREA PLAN:**

The site is within the Greater Downtown Area Plan which recommends Low Density Residential land use for the subject property. The proposed development plan is not in conformance with the Area Plan land use recommendation which necessitates the accompanying area plan amendment. This incentive plan also has an accompanying UR development plan as required by the zoning and development code.

**INCENTIVE REQUEST:**

The property owners may seek a tax abatement which provides for abatement for a period of time. Abatement for projects within the redevelopment area shall be subject to the provisions of Second Committee Substitute for Ordinance No. 160383, As Amended, and as may be further amended from time to time, which was adopted by the City Council on or about October 6, 2016.

**Eminent Domain:**

The LCRA has the statutory right to exercise the power of eminent domain to acquire any real property it deems necessary for a project. The Authority does not believe that it will be necessary to exercise its power of eminent domain within The 29 Belle Urban Renewal Area to further the purposes and intent of the Plan.

**BLIGHT ANALYSIS:**

City Staff does not comment on whether the site is blighted or not, however a blight analysis prepared by Development Initiatives determines that the plan area is blighted.

**CD-CPC-2021-00030** is a request to consider amending the Greater Downtown Area Plan by changing the recommended land use from Residential Urban Low to Residential Medium-High land use designation on about 0.65 acres. The Residential Urban Low Density land use designation allows for a density between 4 and 8.7 units per acre is appropriate for single-family detached developments. This land use classification generally corresponds to the R-5, R-6, R-7.5 and R-10 zoning categories within the Zoning and Development Code. The Residential Medium High land use designation includes small lot single-family development, town homes, duplexes and apartments up to 17.4 units per acre and corresponds to the R2.5 zoning category within the Zoning and Development Code. Staff is supportive of this amendment as the proposed density.

**Case No. CD-CPC-2020-00186** is a request to consider rezoning the 0.65-acre tract of land from R-2.5 and R-6 to UR (Urban Redevelopment) in order to build a 9-unit multifamily townhome. The development proposes a single two story townhouse development with parking garages on the first floor. The submitted elevations show the building to be constructed primarily of vertical cement fiber lapsiding (two-tone) and Stucco. All parking for this development is in the first floor garages and on the driveways. The plan also shows the building terraced due to the change in grade. The storm water detention is on the east side of the building on a higher elevation. The egress windows are also located in this area.

**Requested Deviations**

The plan does not stipulate or request any deviation.

**Use-Specific (88-300) and Development Standards (88-400)**

<b>Standards</b>	<b>Applicability</b>	<b>Meets</b>	<b>More Information</b>
<i>Boulevard and Parkway Standards (88-323)</i>	NO		
<i>Parkland Dedication (88-408)</i>	YES		
<i>Parking and Loading Standards (88-420)</i>	YES		WILL REVIEW WITH FINAL UR PLAN
<i>Landscape and Screening Standards (88-425)</i>	YES		WILL REVIEW WITH FINAL UR PLAN
<i>Outdoor Lighting Standards (88-430)</i>	YES		WILL REVIEW WITH FINAL UR PLAN
<i>Sign Standards (88-445)</i>	YES		WILL REVIEW WITH FINAL UR PLAN
<i>Pedestrian Standards (88-450)</i>	YES		WILL REVIEW WITH FINAL UR PLAN

**PLAN ANALYSIS**

This UR plan also acts as a preliminary plat. This project will require platting and potential further subdivision to allow for individual sale of the unit. Staff recommends that the plat clearly stipulate any tract for bmps and any private open space in lieu of parkland dedication. Staff recommends that the plat should show all building setbacks along the public right of way and cross access easements.

**Parkland Dedication (88-408)**

Residential uses are proposed therefore parkland dedication or payment in-lieu of dedication is required. A total of 9 residential dwelling units are proposed. Pursuant to this section a total of 0.11 acres must be dedicated for parkland purposes per calculation below.

The development is providing a need for the following:

9 multi-family lots x 2 x 0.006 = 0.108 acres

0.11 acres x \$48,801.37 = \$5,270.55

That the developer can either dedicate 0.11 acres of parkland or \$5,270.55 in lieu of parkland dedication for the 35 multifamily units in satisfaction of Chapter 88-408 of the Zoning and Development Code.

**Zoning Review Criteria (88-515-08)**

In reviewing and making decisions on proposed zoning map amendments, the city planning and development director, city plan commission and city council must consider at least the following factors:

**88-515-08-A.** conformance with adopted plans and planning policies;

*The proposed zoning is consistent with the Greater Downtown Area Plan future land use recommendation subject to approval of the area plan amendment.*

**88-515-08-B.** zoning and use of nearby property;

*Nearby properties are primarily residential single family homes except for the parcel to the south. The proposed 2-story townhomes will be comparable in height.*

**88-515-08-C.** physical character of the area in which the subject property is located;

*This is a fairly low density residential area and the proposed 2-story building will be comparable with the existing character of the neighborhood.*

**88-515-08-D.** whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;

*Utilities and infrastructure will be brought to City Standards, subject to the conditions in the attached report.*

**88-515-08-E.** suitability of the subject property for the uses to which it has been restricted under the existing zoning regulations;

*The current zoning designation is R-2.5 and R-6 and the development could be done on the R-2.5 portion of the parcel.*

**88-515-08-F.** length of time the subject property has remained vacant as zoned;

*The applicant did not state how long the property has been vacant.*

**88-515-08-G.** the extent to which approving the rezoning will detrimentally affect nearby properties; and

*The rezoning is not expected to detrimentally affect nearby properties.*

**88-515-08-H.** the gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

*A denial of the application would not allow the developer to utilize the proposed LCRA tax incentives, limiting the ability of the developer to complete this project.*

**UR Development Plan Review Criteria (88-516-05)**

In order to be approved, the plan must comply with all of the following criteria:

**88-516-05-A.** The plan must comply with all standards of this zoning and development code and all other applicable city ordinances and policies.

*The plan complies with the zoning and development code and the Greater Downtown Area Plan recommendations subject to approval of the area plan amendment..*

**88-516-05-B.** The proposed use must be allowed in the district in which it is located.  
*The proposed use is a permitted use in part of the existing zoning districts and the proposed UR district.*

**88-516-05-C.** Vehicular ingress and egress to and from the site, and circulation within the site, must provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways.  
*The plan provides for adequate vehicular connection.*

**88-516-05-D.** The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site.  
*The plan provided for private and public sidewalks.*

**88-516-05-E.** The plan must provide for adequate utilities based on City standards for the particular development proposed.  
*There are adequate utilities subject to Water Services Department approval.*

**88-516-05-F.** The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.  
*The applicant has engaged the neighborhood representatives to ensure that the proposed design is compatible. Staff will continue to work with the applicant to ensure that it is compliant. This will be reviewed at the time of final UR approval.*

**88-516-05-G.** Landscaping, berms, fences and/or walls must be provided to buffer the site from undesirable views, noises, lighting or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.  
*The plan is compliant and subject to further review with the final UR plan.*

**88-516-05-H.** The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.  
*The plan is compliant.*

**88-516-05-I.** The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.  
*There are significant trees on the site and the applicant is working to save some along the eastern property line.*

### **PROFESSIONAL STAFF RECOMMENDATION**

2a. - Staff recommends Approval without conditions.

2b. - Staff recommends Approval Subject to the Corrections and Conditions as reflected in the attached Plan Correction Report and Plan Conditions Report.

2c. - Staff recommends Approval without conditions.

Respectfully Submitted,



Olofu Agbaji  
Planner



## Plan Conditions, Corrections, & Recommendations Report

Recommended to City Plan Commission  
Recommended by Development Review Committee

Report Date: July 02, 2021

Case Number: CD-CPC-2020-00186

Project: 29 Belle

### Plan Conditions

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*Condition(s) by City Planning and Development Department. Contact Kambiz Zoraghchi at (816) 513-1582 / Kambiz.Zoraghchi@kcmo.org with questions.*

1. Buildings shall comply with all requirements of wall rating and opening protection per 602 and 705.8 of International Building Code 2018 edition with respect to property lines and lot lines. (1/04/2021)

*Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at 816-513-8815 / Olofu.Agbaji@kcmo.org with questions.*

2. That the developer submit a Final UR Plan for each phase of the development to the Director of City Planning and Development prior to issuance of a building permit. The Final UR Plan shall meet the development standards of Chapter 88-400 including; plan information; property uses; setback distances; lighting (with a photometric study); landscaping, including information on (i) species, planting size, and spacing of all trees and shrubbery; (ii) buildings and dumpster elevation drawings; (iii) fencing, if utilized, identifying material, color, height, setback and type, with an elevation drawing of a section; streetscaping; signage (including elevations); and architectural characteristics. (4/27/2021)
3. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations. This is the Final Plat (land plat) to create Lot 1 and Tract A, allow for further subdivision via minor subdivision per 88-535. (4/27/2021)
4. The developer shall cause the area to be further subdivided via minor subdivision pursuant to 88-535 to create individual units prior to transfer of each unit. This will allow for up to 9 units. (4/27/2021)
5. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy. (4/27/2021)

*Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.*

6. The developer must grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits. (12/30/2020)
7. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division. (12/30/2020)
8. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Land Development Division prior to recording the plat. (12/30/2020)
9. That the east half of Belleview Avenue shall be improved to Residential Local standards as required by Chapter 88, to current standards, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first. (12/30/2020)

*Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.*

10. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits. (12/30/2020)
11. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval for the maintenance of private open space and enter into a covenant agreement for the maintenance of any stormwater detention area tracts, prior to recording the plat. (12/30/2020)
12. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required. (12/30/2020)
13. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations. (12/30/2020)
14. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first. (12/30/2020)

*Condition(s) by Parks & Recreation. Contact Justin Peterson at 816-513-7599 / Justin.Peterson@kcmo.org with questions.*

15. The developer is responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the (2021) acquisition rate of (\$48,801.37) per acre. This requirement shall be satisfied prior to certificate of occupancy. (1/04/2021)
16. The developer shall provide street trees in accordance with 88-425-03-C with 1 tree per 30 lineal feet. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way. (1/04/2021)

*Condition(s) by Water Services Department. Contact Heather Massey at / heather.massey@kcmo.org with questions.*

17. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations.  
<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Service-Lines.pdf>  
(12/30/2020)

*Condition(s) by Water Services Department. Contact Jerald Windsor at 816-513-2904 / Jerald.Windsor@kcmo.org with questions.*

18. The developer shall submit an analysis by a registered Professional Engineer in Missouri to verify adequate capacity of the existing water mains and verify fire flow capacity prior to the issuance of new water service permits. Depending on adequacy of the existing water mains systems, making other improvements may be required. (12/30/2020)

## Public Meeting Notice

Please join: Exact Architects on behalf of Remez Partners, LLC

for a meeting about: Update regarding 29 Belle Townhouses

case number: CD-CPC-2020-00186 (rezoning) & CD-CPC-2021-00030 (area plan amend)

proposed for the following address: 913 W. 29<sup>th</sup> Street

Kansas City, MO 64108

**Meeting Date:** Monday, June 7, 2021

**Meeting Time:** 6:00pm CST

**Meeting Location:** Zoom Meeting (virtual)

Meeting No.: 242 833 5671 Passcode: 4321

Project Description:

New 9-unit townhouse project on vacant, corner lot (SEC of 29<sup>th</sup> Street & Belleview)

If you have any questions, please contact:

Name: Patrick Sterrett

Phone: (816) 686-9559

Email: [psterrett@sterretturban.com](mailto:psterrett@sterretturban.com)

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at [kcmo.gov/publicengagement](http://kcmo.gov/publicengagement)



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at [Compasskc.kcmo.org](http://Compasskc.kcmo.org). You may search by project type and address/case number to find project details.

Sincerely,

A handwritten signature in black ink that reads "Patrick Sterrett".

Patrick Sterrett

## Aviso de reunión pública

Únase a: Exact Architects en nombre de Remez Partners, LLC

para una reunión sobre: Actualización sobre 29 Belle Townhouses

número de caso: CD-CPC-2020-00186 (rezonificación) y CD-CPC-2021-00030

(modificación del plan de área)

propuesto para la siguiente dirección: 913 W. 29<sup>th</sup> Street

Kansas City, MO 64108

**Fecha de la reunión:** lunes 7 de junio de 2021

**Hora de encuentro:** 6:00 pm CST

**Ubicación de la reunión:** Zoom Meeting (virtual)  
No de reunión: 242 833 5671 Código de acceso: 4321

Descripción del Proyecto:

Nuevo proyecto de casa adosada de 9 unidades en un lote de esquina vacante (SEC de 29<sup>th</sup> Street y Belleview)

Si tiene alguna pregunta, comuníquese con:

Nombre: Patrick Sterrett

Teléfono: (816) 686-9559

Correo electrónico: psterrett@sterretturban.com

Recibirá este aviso de acuerdo con el código de la ciudad que requiere una reunión pública con los vecindarios para ciertos tipos de proyectos de desarrollo. Puede leer más sobre los requisitos del proceso en [kcmo.gov/publicengagement](http://kcmo.gov/publicengagement)

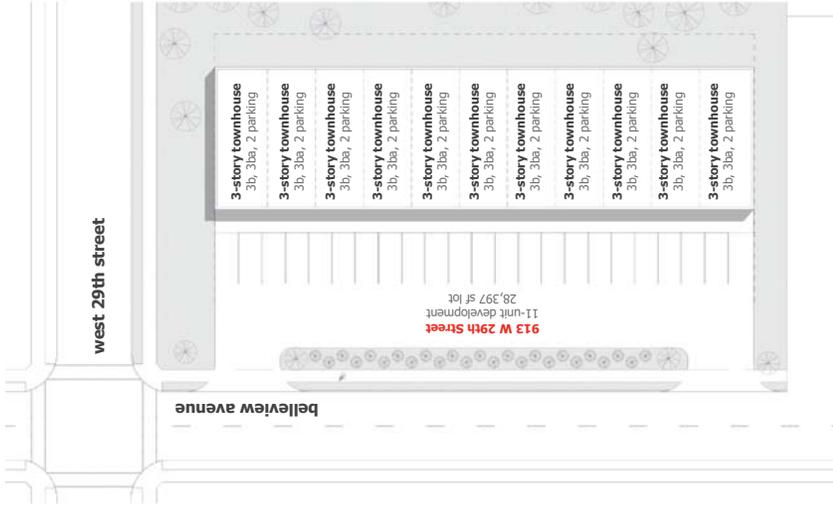


Si desea obtener más información sobre este proyecto propuesto, visite el sistema de planificación y permisos de la ciudad, Compass KC, en [Compasskc.kcmo.org](http://Compasskc.kcmo.org). Puede buscar por tipo de proyecto y dirección / número de caso para encontrar los detalles del proyecto.

**Attentamente,**

A handwritten signature in black ink that reads "Patrick Sterrett". The signature is written in a cursive, flowing style.

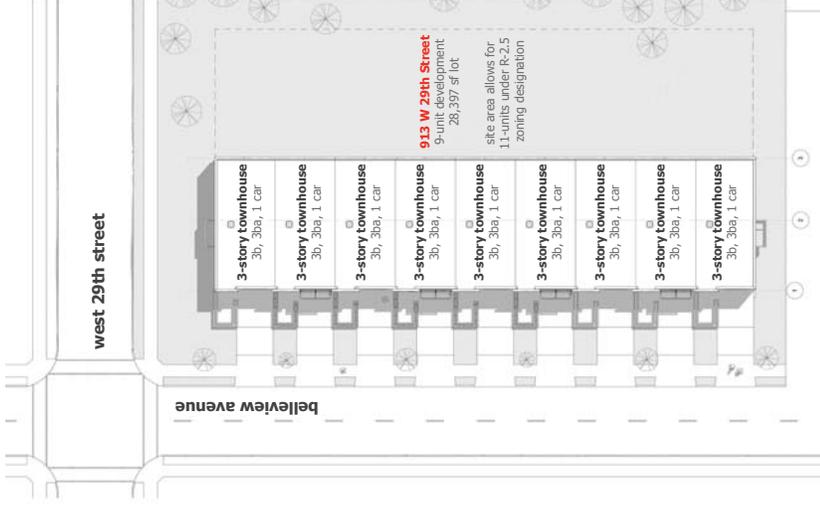
Patrick Sterrett



**Design Iteration 1.0 (Summer 2016)**

Discussion with KCMO Staff per current zoning

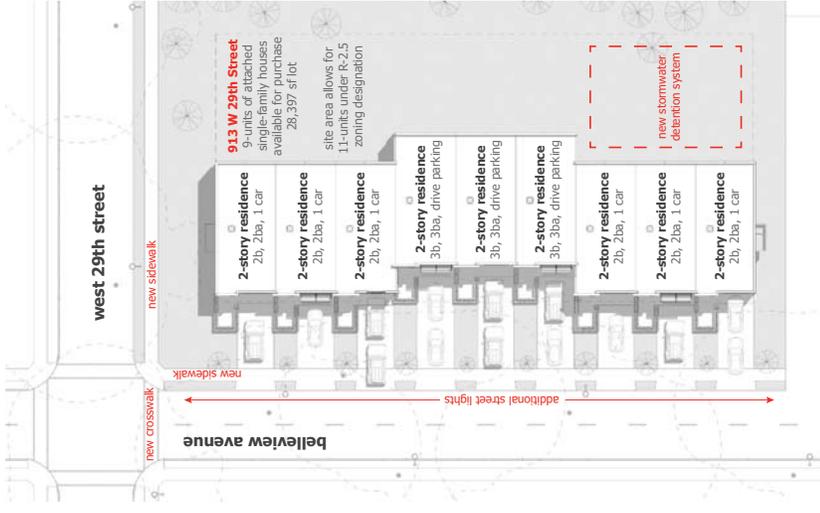
11 rental residential units (33 total bedrooms)  
22 stall asphalt surface parking lot (2 per unit)  
perimeter landscaping + new concrete sidewalks



**Design Iteration 2.0 (Fall 2020)**

Coordination with HEDC and Pedro Zamora

9 rental residential units (27 total bedrooms)  
short private driveways with 1-car garage  
required street trees + new concrete sidewalks



**Design Iteration 3.0 (Spring 2021)**

Following neighborhood meetings and feedback

6 for sale townhouses + 3 for sale universal units (21 bedrooms)  
private driveways (2 cars) + 1-car garage option (24 car capacity)  
new landscaping + street lights, new sidewalks, and detention pond



29 Belle Residences  
design evolution







6/17/2021 12:54:36 PM

CONOVER & FOSTERS ADDITION, BLOCK 4

OWNER: LORNAE E. BARNETT  
PART OF LOTS 25-28  
2908 BELLEVUE  
KANSAAS CITY, MO 64108  
ZONED R-6

OWNER: ROBERTO MORALES  
LOTS 27-28  
818 W 29TH ST  
KANSAAS CITY, MO 64108  
ZONED R-6

LINCOLN PARK, BLOCK 8

OWNER: JOSE LUIS BARRIOS  
SALASAR  
PART OF LOTS  
24-26  
LINCOLN PARK  
BLOCK 8  
804 W 29TH ST  
ZONED R-6

OWNER: JOSE LUIS BARRIOS  
SALASAR  
PART OF LOTS  
24-26  
LINCOLN PARK  
BLOCK 8  
804 W 29TH ST  
ZONED R-6

OWNER: LOLA ANITA GARCIA  
(DANIEL)  
PART OF LOTS  
24-26  
LINCOLN PARK  
BLOCK 8  
804 W 29TH ST  
ZONED R-6

PRELIMINARY PLAT  
29 BELLE

A REPLAT OF LOTS 1-9, VAN DYKE PLACE  
A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI

PROPERTY DESCRIPTION:

WARRANTY DEED DESCRIPTION:  
ALL OF LOTS 1-9, VAN DYKE PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDS PLAT THEREOF.

PROPOSED DESCRIPTION:

COMPRISING 28,300 SQUARE FEET OR 0.65 ACRES  
ALL OF LOTS 1-9, VAN DYKE PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 1, THENCE S00°20'28"W ALONG THE EAST LINE OF SAID LOTS 1-9, A DISTANCE OF 225.00 FEET TO THE  
SOUTHWEST CORNER OF SAID LOT 8; THENCE S87°09'22"W ALONG THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF 126.00 FEET TO THE SOUTHWEST CORNER  
OF SAID LOT 9; THENCE S00°20'28"W ALONG THE WEST LINE OF SAID LOTS 1-9, A DISTANCE OF 225.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 1;  
THENCE S87°09'22"W ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 126.00 FEET TO THE POINT OF BEGINNING.

TOPOGRAPHIC SURVEY NOTES:

- 1. CONTAIN INTERVAL IS 1.0 FEET.
2. ELEVATIONS ARE BASED UPON NAVD 83 AT METRO CONTROL MONUMENT PINK/RED/WT.
3. UTILITIES SHOWN HEREIN ARE FROM VISIBLE EVIDENCE OF THE GROUND OR FROM THE RESPECTIVE UTILITY COMPANY. WE DO NOT GUARANTEE THE EXACT LOCATION OF THE UNDERGROUND UTILITIES SHOWN NOR THE POSSIBLE EXISTENCE OF OTHER UNDISCOVERED UTILITIES NOT SHOWN. ANYONE WHO USES THE INFORMATION SHOWN HEREIN SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO COMMENCING ANY DESIGN OR CONSTRUCTION ACTIVITY.

BOUNDARY SURVEY NOTES:

- 1. THE FOLLOWING STANDARD MONUMENTATION MAY BE SET AT THE NOTED LOCATION UNLESS INDICATED OTHERWISE ON THIS DRAWING:
2. PERMANENT MONUMENTATION:
CONCRETE CORNER AT ALL CORNERS MARKED " \* "
1/2" IRON BAR WITH PLASTIC CAP STAMPED "LS-2007000000" SET AT ALL CORNERS MARKED " \* "
PERMANENT MONUMENTATION
5/8" IRON BAR WITH ALUMINUM CAP STAMPED "LS-2007000000" SET AT ALL CORNERS MARKED " \* "
2. THE POSITION OF EXISTING MONUMENTATION AS INDICATED BY AN " \* " OR " \* " OR " \* " IF NOT THE TRUE CORNER, IS BY DIFFERENCE IN COORDINATES OR AT RIGHT ANGLES TO THE PROPERTY LINE AT THE NOTED DISTANCE FROM THE NEAREST BOUNDARY CORNER.
3. THE DESCRIPTION USED FOR THIS SURVEY WAS TAKEN FROM A WARRANTY DEED RECORDED AS INSTRUMENT NUMBER 20150009961 AT THE JACKSON COUNTY RECORDER'S OFFICE.
4. THE BEARINGS SHOWN HEREIN ARE BASED UPON THE MISSOURI COORDINATE SYSTEM 1983, NAD83, BOSTON ZONE, REDUCED AT A LOCAL TRIANGULATION POINT 12440, MARKED PINK, 1204 (2005 ADJUSTMENT).
5. THIS SURVEY DOES NOT REFLECT ANY OF THE FOLLOWING WHICH REQUIRE EITHER NOT REQUIRED OR PROVIDED BY THE CLIENT OR ARE NOT WITHIN THE SCOPE OF THE SERVICES PROVIDED BY A PROFESSIONAL SURVEYOR. THEREFORE, THIS SURVEYOR DOES NOT ACCEPT ANY LIABILITY SHOULD ANY OF THEM BE APPLICABLE TO THE SUBJECT REAL ESTATE: SUBSURFACE CONDITIONS; BUILDING SET BACK LINES; RESTRICTIVE COVENANTS; JOBSHOP INSTRUCTIONS; AND ZONING OR OTHER LAND USE REGULATIONS.
6. CERTAIN INFORMATION SHOWN HEREIN WAS OBTAINED FROM A TITLE REPORT BY FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER NC2-104995-A-FCY, EFFECTIVE DATE OF DECEMBER 23, 2020, AT 8:00 AM.
A. TITLE REPORT ITEM NUMBER 1-10 CONTAINS INFORMATION THAT CAN BE PLOTTED HEREIN.
7. THE LOCATION OF EXISTING STRUCTURES SHOWN HEREIN IS AT RIGHT ANGLES (90°) TO STRAIGHT PROPERTY LINES OR RADIAL TO CURVED PROPERTY LINES.

BUILDING & SITE INFORMATION:

- 1. ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY-PANEL NUMBER 2203030303C, EFFECTIVE DATE: JANUARY 20, 2017, THE SUBJECT PROPERTY IS IN ZONE X, AN AREA OF MODERAL FLOOD HAZARD.
2. ALL PROPOSED LOTS ARE TO BE ON SEPARATE SANITARY AND WATER SERVICES.
3. PROPERTY TO BE SPLIT INTO INDIVIDUAL LOTS AFTER CONSTRUCTION OF LINES.
4. PLAT AREA 0.65 ACRES.
5. EXISTING ZONING R-2S AND R-6.

PHASING PLAN:

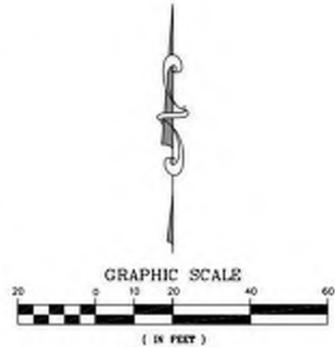
DEVELOPMENT START DATE:
DEVELOPMENT END DATE:

LOT DESIGNATION:

SINGLE FAMILY LOTS: 1
NUMBER OF LOTS: 9
GROSS AREA: 28,300 SQUARE FEET / 0.65 ACRES

PAYMENT IN LIEU OF PARKLAND:

THIS DEVELOPER AGREES TO PAY THIS CITY OF KANSAS CITY, MISSOURI, A SUM OF \$ 10,000.00 IN LIEU OF REQUIRED PARKLAND DESIGNATING FOR (9 LOTS) PURSUANT TO SECTION 88-408-C OF THE ZONING AND DEVELOPMENT CODE.



STATE OF MISSOURI
R.L. BUFORD & ASSOCIATES, LLC
LAND SURVEYING - DEVELOPMENT CONSULTANTS
R.L. BUFORD & ASSOCIATES, LLC
4000 W. 119TH ST. SUITE 100
OVERLAND PARK, MO 66204
P.O. BOX 14598, PARKVILLE, MO 64112 (816) 741-4152
SEC.-TRP.-REG. COUNTY JACKSON
DATE 3-11-19-18 FIELD BOOK & PAGE
DATE 3/18/2021 LOGS 12/1

R.L. Buford & Associates, LLC
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EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENTLINE, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



29 BELLE UR DEVELOPMENT PLAN
913 W 29TH STREET
KANSAS CITY MISSOURI 64108

Table with columns for ISSUE, DATE, and NO. Row 1: DEVELOPMENT PLAN, 05.07.21, 1.

PRELIMINARY PLAT

A1-01



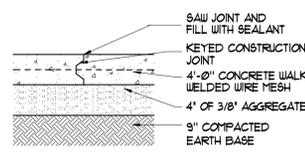




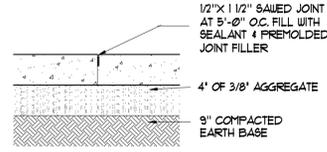




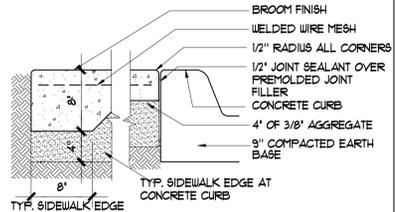




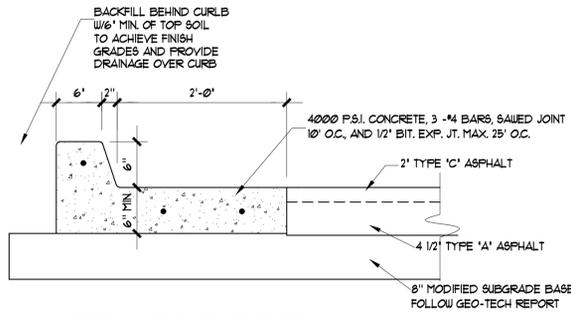
1 CONSTRUCTION JOINT  
SCALE: 1" = 1'-0"



2 SAW CUT CONTROL JOINT  
SCALE: 1" = 1'-0"



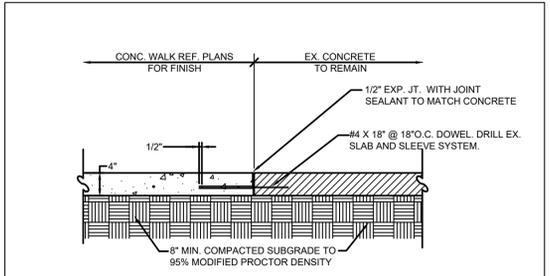
3 DETAIL AT SIDEWALK EDGE  
SCALE: 1" = 1'-0"



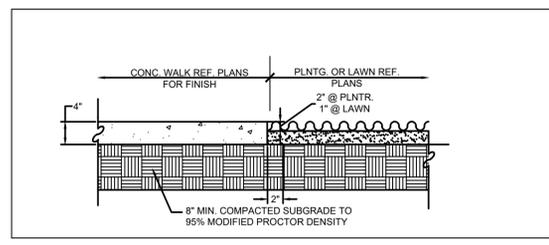
4 DETAIL AT PAVING/CURB  
SCALE: 1" = 1'-0"

- SIDEWALK CONSTRUCTION NOTES:**
1. USE 1/2" X 4' PREFORMED EXPANSION JOINT MATERIAL AROUND ALL FOUR POLES OR OTHER STRUCTURES IN SIDEWALK.
  2. 1' EXPANSION JOINTS TO BE 100' MAX.
  3. SAW CUT JOINTS WITHIN 24 HOURS AFTER POURING.
  4. THERE SHALL BE A LONGITUDINAL CONSTRUCTION JOINT INSTALLED WHEN WALK IS 8' OR GREATER.
  5. WHEN TWO SIDEWALKS MERGE, THERE SHALL BE A 1' PREFORMED EXPANSION JOINT FILLER PLACED PARALLEL W/ THE LONGER RUN OF SIDEWALK.
  6. CONSTRUCTION JOINTS SHALL BE A MAX. OF 8' SPACING.
  7. WHERE THE SIDEWALKS ABUT CURBS AND GUTTER OR A BUILDING THERE SHALL BE A 1/2' PREFORMED EXPANSION JOINT FILLER PLACED BETWEEN THE SIDEWALK AND STRUCTURE.
  8. CONSTRUCTION JOINTS SHALL HAVE 1/8" WIDTH 1' DEEP W/ 1/8" RADII AT THE EDGES OF THE JOINT.
  9. EXPANSION JOINTS SHALL HAVE 1/8" RADII ON THE EDGES OF THE JOINT AND HAVE JOINT SEALANT AT LEAST 1/4" DEEP IN THE JOINT.
  10. SUBGRADE OF SIDEWALK SHALL BE 6" COMPACTED TO AT LEAST 95% MAX. DENSITY.
  11. USE FIBER MESH IN THE EXTERIOR CONC. IN LIEU OF STEEL REINFORCING.

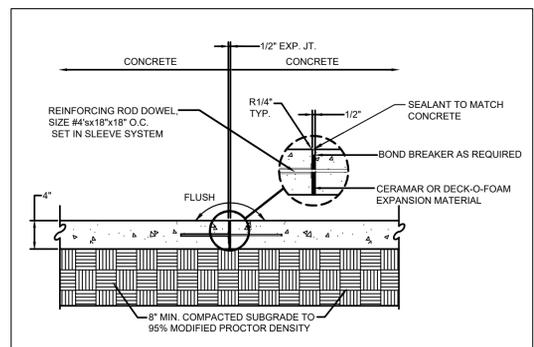
NOTE  
ALL WORK SHALL BE PERFORMED PER APWA STANDARDS. SEE SHEET S5



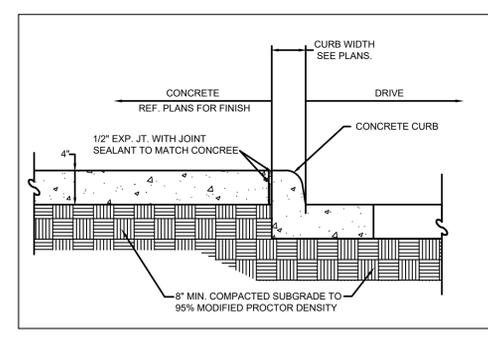
5 SIDE WALK AT EX. CONCRETE



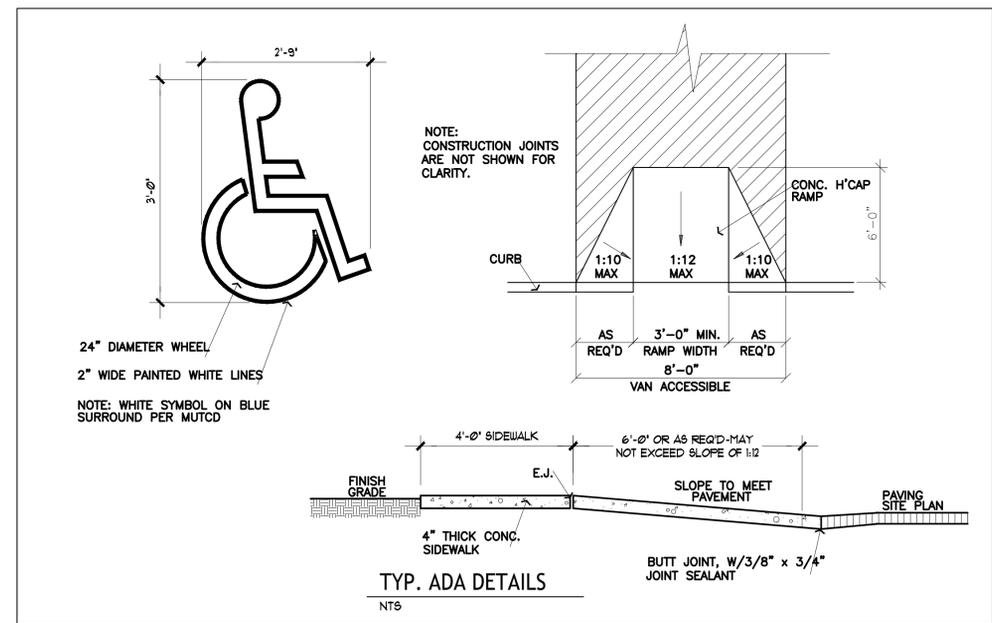
6 SIDE WALK AT PLANTING



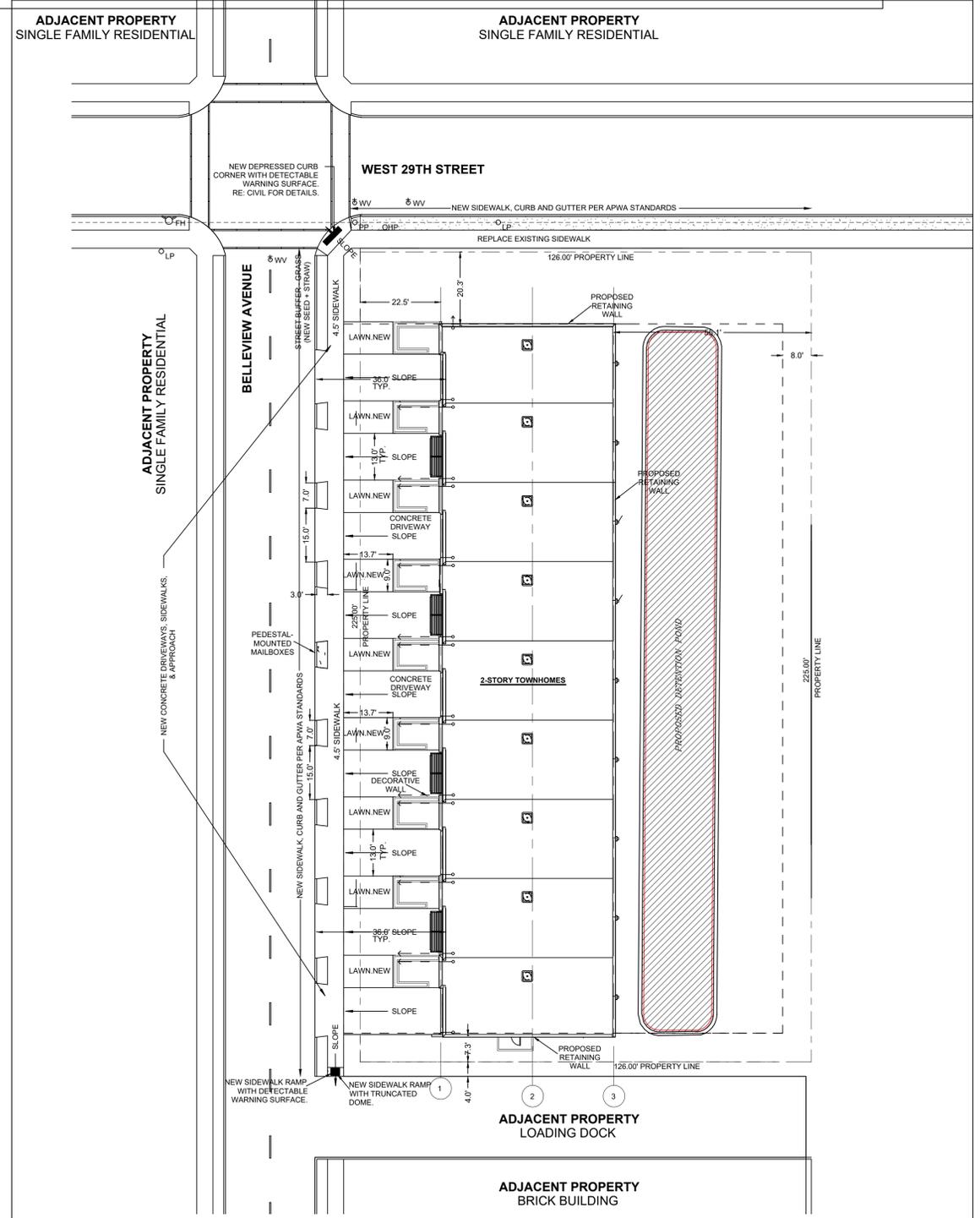
7 SIDE WALK AT EXP. JOINT



8 SIDE WALK AT CURB



TYP. ADA DETAILS  
NTS

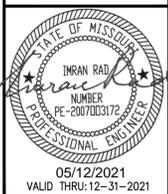


1 DIMENSIONED SITE PLAN  
1" = 20'

DRAWING ISSUE	
NO	DESCRIPTION
1	FOR REVIEW
2	BID SET #1
3	FOR CITY REVIEW
4	
5	

29 BELLE UR DEVELOPMENT PLAN  
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KANSAS CITY, MISSOURI 64108

**IMRAN RAD, P.E.**  
3603 BELLA VISTA DRIVE  
MIDWEST CITY, OKLAHOMA 73110  
TEL. 816.616.5516, 405.255.2994  
imranrad@gmail.com

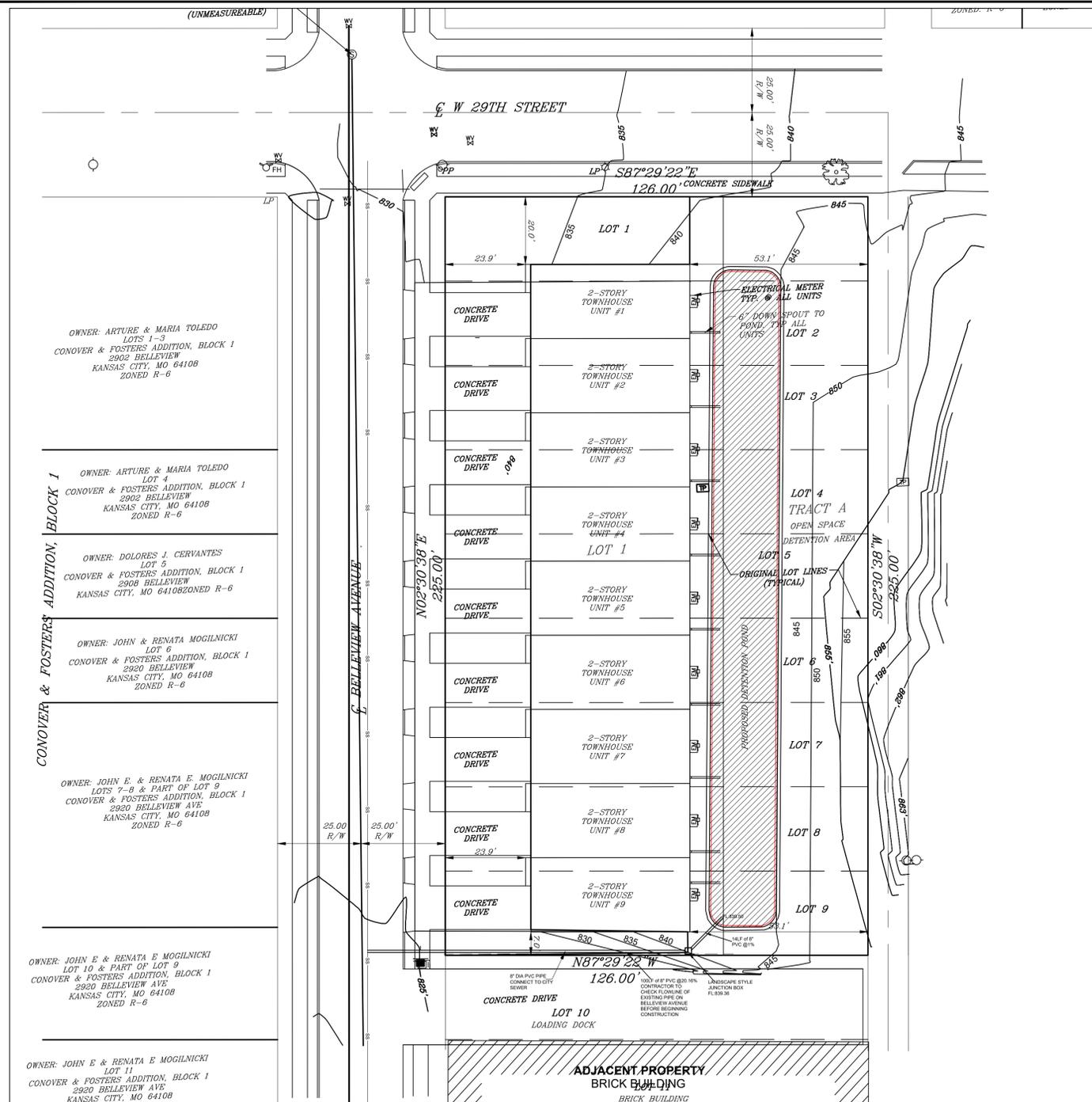


DIMENSIONED SITE PLAN

PROJECT NUMBER  
2023

SHEET NUMBER

C1



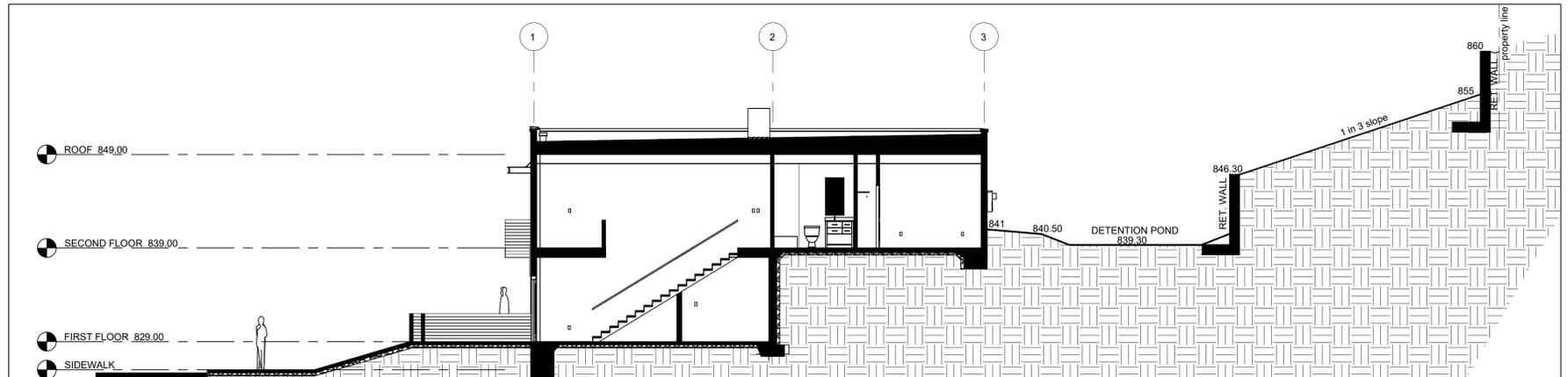
DRAINAGE DATA (PRELIMINARY CALCS.)

- TOTAL AREA 28350 SF = 0.65 ACRES.
- STORAGE REQUIRED AT 1.5' OVER THE ENTIRE SITE = 3544 CF.
- PRE-DEVELOPMENT DISCHARGE Q100 = 2.78 CFS.
- POST DEVELOPMENT BYPASS = 0.77 CFS
- ALLOWABLE DISCHARGE FROM POND = 2.78 - 0.77 = 2.01 CFS.
- STORAGE VOL. PROVIDED AT 1.2 FT AVERAGE DEPTH = 4680 CF.
- TOTAL POST DEVELOPMENT DISCHARGE = Qpond + Q bypass = 2.02 + 0.77 = 2.79 WHICH IS VERY CLOSE TO PREDEVELOPMENT DISCHARGE.

- GENERAL NOTES
- LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
  - CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
  - CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
  - CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
  - ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARDS PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
  - EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
  - CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
  - ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL. IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER, A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
  - ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL. IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER, A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
  - AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
  - CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
  - CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM
  - CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY EPA PHASE II STORM WATER REGULATIONS AS ADMINISTERED BY THE MISSOURI DIVISION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
  - CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE MISSOURI UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE MISSOURI ONE-CALL SYSTEM AT 800-344-3433 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
  - CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY.
  - TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
  - EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.

- GRADING PLAN NOTES
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THE PROJECT.
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
  - IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
  - CONSTRUCTION REVIEW, INSPECTION, AND OBSERVATION OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED AS A REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
  - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THIS SITE. AS REQUIRED, PRIOR TO BEGINNING WORK.
  - BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN AND/OR PERMIT.
  - THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
  - TRAFFIC: MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING EARTH MOVING OPERATIONS.
    - DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION.
    - PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY OWNER OR AUTHORITIES HAVING JURISDICTION.
  - DO NOT CONDUCT WORK ON ADJOINING PROPERTY UNLESS DIRECTED BY ENGINEER.
  - DO NOT COMMENCE EARTH-MOVING OPERATIONS UNTIL TEMPORARY EROSION- AND SEDIMENTATION-CONTROL MEASURES ARE IN PLACE.
  - INSTALL DETECTABLE WARNING TAPE ABOVE CONSTRUCTED UTILITIES. DETECTABLE WARNING TAPE IS AS: ACID- AND ALKALI-RESISTANT, POLYETHYLENE FILM WARNING TAPE MANUFACTURED FOR MARKING AND IDENTIFYING UNDERGROUND UTILITIES, A MINIMUM OF 6 INCHES WIDE AND 4 MILS THICK, CONTINUOUSLY INSCRIBED WITH A DESCRIPTION OF THE UTILITY, WITH METALLIC CORE ENCASED IN A PROTECTIVE JACKET FOR CORROSION PROTECTION. DETECTABLE BY METAL DETECTOR WHEN TAPE IS BURIED UP TO 30 INCHES DEEP. COLORED AS FOLLOWS:
    - RED: ELECTRIC
    - YELLOW: GAS, OIL, STEAM, AND DANGEROUS MATERIALS
    - ORANGE: TELEPHONE AND OTHER COMMUNICATIONS
    - BLUE: WATER SYSTEMS
    - GREEN: SEWER SYSTEMS
  - PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTH MOVING OPERATIONS.
  - PROTECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS DURING EARTH MOVING OPERATIONS.
  - PROTECT SUBGRADES AND FOUNDATION SOILS FROM FREEZING TEMPERATURES AND FROST. REMOVE TEMPORARY PROTECTION BEFORE PLACING SUBSEQUENT MATERIALS.
  - IF EXCAVATED MATERIALS INTENDED FOR FILL AND BACKFILL INCLUDE UNSATISFACTORY SOIL MATERIALS AND ROCK, REPLACE WITH SATISFACTORY SOIL MATERIALS.
  - EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
    - EXCAVATIONS FOR FOOTINGS AND FOUNDATIONS: DO NOT DISTURB BOTTOM OF EXCAVATION. EXCAVATE BY HAND TO FINAL GRADE JUST BEFORE PLACING CONCRETE REINFORCEMENT. TRIM BOTTOMS TO REQUIRED LINES AND GRADES TO LEAVE SOLID BASE TO RECEIVE OTHER WORK.
    - EXCAVATION FOR UNDERGROUND TANKS, BASINS, AND MECHANICAL OR ELECTRICAL UTILITY STRUCTURES: EXCAVATE TO ELEVATIONS AND DIMENSIONS INDICATED WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. DO NOT DISTURB BOTTOM OF EXCAVATIONS INTENDED AS BEARING SURFACES.
  - EXCAVATIONS AT EDGES OF TREE- AND PLANT-PROTECTION ZONES:
    - EXCAVATE BY HAND TO INDICATED LINES, CROSS SECTIONS, ELEVATIONS, AND SUBGRADES. USE NARROW-TINE SPADING FORKS TO COMB SOIL AND EXPOSE ROOTS. DO NOT BREAK, TEAR, OR CHOP EXPOSED ROOTS. DO NOT USE MECHANICAL EQUIPMENT THAT RIPS, TEARS, OR PULLS ROOTS.
  - GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTON REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
    - PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
    - CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
  - SITE ROUGH GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.

1 SITE GRADING PLAN  
1" = 20'



2 SITE SECTION

DRAWING ISSUE

NO	DESCRIPTION	DATE
1	FOR REVIEW	10/07/20
2	BID SET #1	02/04/21
3	FOR CITY REVIEW	05/12/21
4		
5		

29 BELLE UR DEVELOPMENT PLAN  
913 WEST 29TH STREET  
KANSAS CITY, MISSOURI 64108

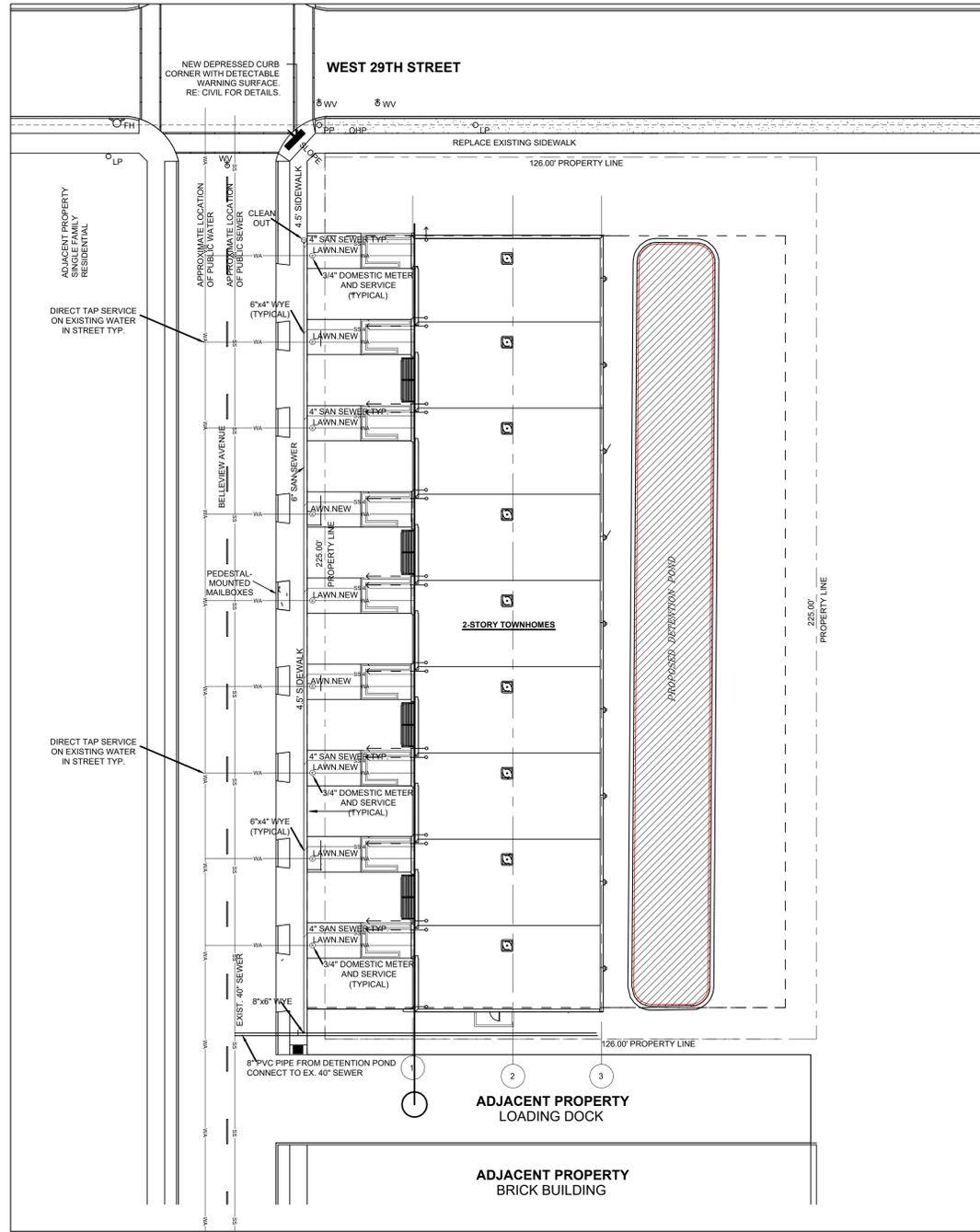
IMRAN RAD, P.E.  
3608 BELLA VISTA DRIVE  
MIDWEST CITY, OKLAHOMA 73110  
TEL. 816.616.5916, 405.255.2994  
imranrad@gmail.com



SITE GRADING PLAN

PROJECT NUMBER  
2023

SHEET NUMBER  
C2



1 SITE UTILITIES PLAN  
1" = 20'

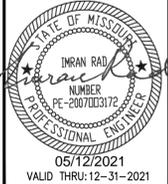
- GENERAL NOTES**
1. LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
  2. CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
  3. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
  4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
  5. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
  6. EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
  7. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
  8. ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
  9. ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
  10. AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
  11. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
  12. CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM.
  13. CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE MISSOURI DIVISION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
  14. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE MISSOURI UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE MISSOURI ONE-CALL SYSTEM AT 800-344-7483 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
  15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY.
  16. TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
  17. EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.

- UTILITY PLAN NOTES**
1. CONTRACTOR SHALL PROTECT EXISTING UTILITIES NOT DEEMED FOR REMOVAL FROM DAMAGE.
  2. ALL UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, AND APPLICABLE REGULATORY AGENCIES.
  3. SEE THE DETAILS SHEET AND CONTRACT SPECIFICATIONS FOR SPECIFIC UTILITY DETAILS AND UTILITY SERVICE DETAILS.
  4. ALL UTILITIES SHALL TERMINATE 4' FROM THE BUILDING UNLESS OTHERWISE NOTED.
  5. SEE THE MECHANICAL PLANS FOR WATER AND SANITARY CONNECTION 4' FROM THE BUILDING.
  6. ALL UTILITY PIPE BEDDING SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF THE CITY.
  7. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. THE CITY DEPARTMENT OF ENGINEERING MUST BE NOTIFIED 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, OR WORK IMPACTING CITY UTILITIES.
  8. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THE SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
  9. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY.
  10. REFER TO THE GEOTECHNICAL REPORT FOR SUBSURFACE CONDITIONS.

DRAWING ISSUE	
NO	DESCRIPTION
1	FOR REVIEW
2	BID SET #1
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5	

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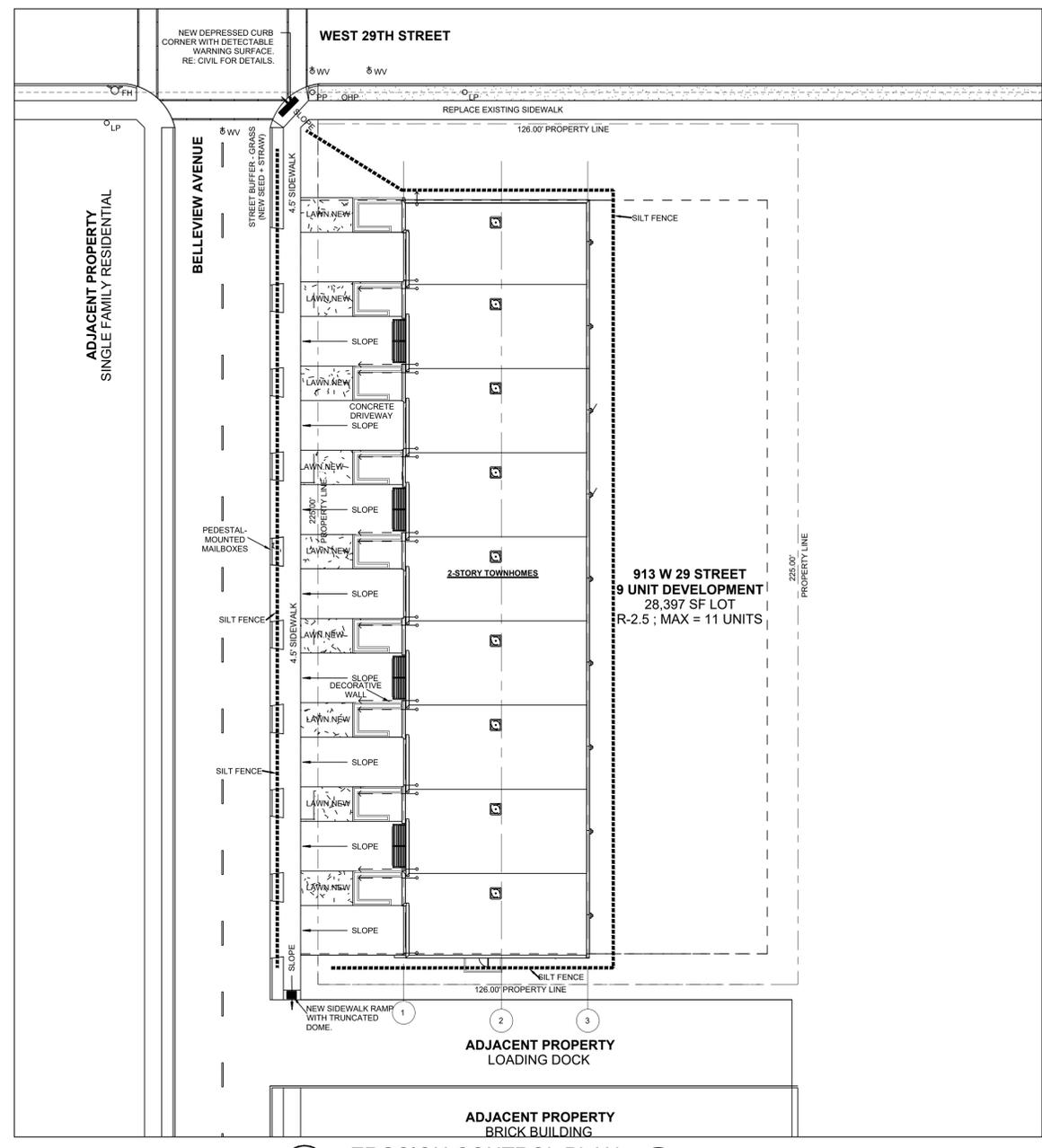


UTILITY PLAN

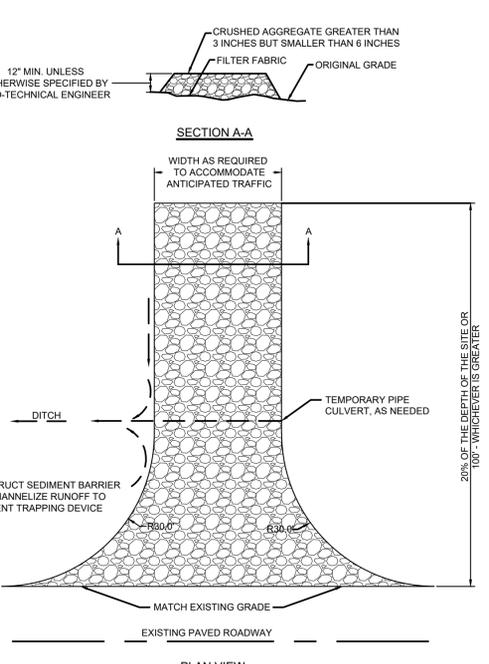
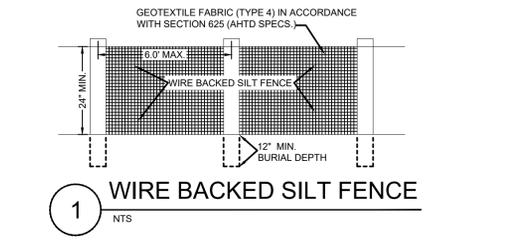
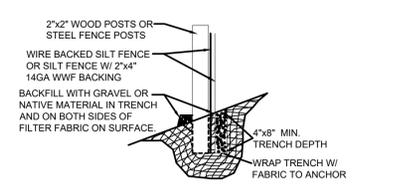
PROJECT NUMBER  
2023  
SHEET NUMBER  
C3

- EROSION CONTROL NOTES**
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE A MINIMUM OF 4-INCHES OF TOPSOIL AND 2-INCHES OF COMPOST (FOR A TOTAL OF 6-INCHES) AND SOO OR SEED (AS INDICATED). THESE AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL THE SOO OR SEED IS GROWING IN A HEALTHY MANNER. SEE LANDSCAPE PLANS FOR MORE REQUIREMENTS.
  - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THE PROJECT.
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. THESE DEVICES AND THEIR PLACEMENT SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
  - IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
  - THE DUTY OF THE OWNER (OR OWNER'S REPRESENTATIVE) TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
  - BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE SITE. SAID ROCK ENTRANCE PADS SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
  - EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND THE PROJECT DETAILS.
  - EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON COMPLETION OF CLEARING AND GRUBBING.
  - THE INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:
    - INSTALL SILT FENCE AROUND THE PERIMETER OF THE SITE, AND THE ROCK CONSTRUCTION ENTRANCE(S).
    - INSTALL SILT FENCE AND INLET PROTECTION AROUND, AND WITHIN, ALL STRUCTURES.
    - CLEAR AND GRUB.
    - SURFACE FEATURE REMOVALS.
    - ROUGH GRADING OF THE SITE.
    - STABILIZE DENuded AREAS AND STOCKPILES.
    - FINE GRADING OF THE SITE.
    - INSTALL TOPSOIL, COMPOST AND SEED.
    - REMOVE ACCUMULATED SEDIMENT FROM STRUCTURES.
    - WHEN ALL CONSTRUCTION ACTIVITIES ARE COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL WITHIN 30-DAYS OF FINAL STABILIZATION.
    - THE LOCATION OF THE AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
  - ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
  - SOLID WASTE MUST BE DISPOSED OF PROPERLY AND COMPLY WITH THE GOVERNING AGENCY'S DISPOSAL REQUIREMENTS.
  - EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. THE AREA MUST BE IN A CONTAINED LOCATION WITH A LINER. WASHOUT TO BE REMOVE AND PROPERLY DISPOSED OF FOLLOWING ALL APPLICABLE REGULATIONS. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE ALLOWED TO WASH OFF FRESH CONCRETE IN THE STREET OR IN ANY AREA WHERE THE WASHOUT MATERIAL WILL ENTER A WETLAND OR DRAINAGEWAY. CONCRETE WASHOUT WATER SHALL NOT BE DISCHARGED INTO WATER/STORM SYSTEMS.
  - NO ENGINE DEGREASING IS ALLOWED ON SITE.
  - SILT FENCE REQUIRED MAINTENANCE SHALL BE AS FOLLOWS: WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE SILT FENCE FABRIC, THE SEDIMENT MUST BE REMOVED WITHIN 24-HOURS. REPAIR OR REPLACE DYSFUNCTIONAL SILT FENCE WITHIN 24-HOURS.
  - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THIS SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
  - AFTER CONSTRUCTION BEGINS, SOIL SURFACE STABILIZATION SHALL BE APPLIED WITHIN 7-DAYS TO ALL DISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN UNDISTURBED FOR PERIODS LONGER THAN AN ADDITIONAL 21 CALENDAR DAYS.
  - WITHIN 7-DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, PERMANENT OR TEMPORARY SOIL SURFACE STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS AND SOIL STOCKPILES.
  - ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS OR MORE MUST BE STABILIZED BY SEEDING, SODDING OR MULCHING. TYPE OF SLOPE DAYS TO STABILIZE STEEPER THAN 3:1 7 DAYS 10:1 TO 3:1 7 DAYS FLATTER THAN 10:1 7 DAYS
  - WHEN STABILIZATION MEASURES ARE STOPPED DUE TO SNOW COVER OR ARID CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE. SOIL STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO SURFACE ROUGHENING, TEMPORARY OR PERMANENT VEGETATION, MULCHING, SODDING, LANDSCAPING AND EROSION CONTROL BLANKETS.
  - STABILIZATION MEASURES TO BE USED SHALL BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS AND ESTIMATED DURATION OF USE.
  - EXISTING TURF OUTSIDE OF THE CONSTRUCTION LIMITS SHALL NOT BE DISTURBED. ANY TURF SHALL BE RE-ESTABLISHED.
  - ALL STREETS AND PARKING LOTS ADJACENT TO THE SITE SHALL BE CLEANED AND/OR SWEEPED AT THE END OF EACH WORKING DAY.
  - WHEN STABILIZATION MEASURES ARE STOPPED DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE RE-INITIATED AS SOON AS POSSIBLE. STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO: TEMPORARY OR PERMANENT VEGETATION, MULCHING, SODDING, LANDSCAPING AND EROSION CONTROL BLANKETS.
  - TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING THE CONSTRUCTION PHASE AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
  - EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL PERMANENT VEGETATION IS ESTABLISHED.
  - CONTRACTOR TO LOCATE A CONCRETE WASHOUT AREA ON THE PROJECT SITE PRIOR TO BEGINNING WORK.

- GENERAL NOTES**
- LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
  - CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
  - CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
  - CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
  - ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
  - EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
  - CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
  - ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL. IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER, A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
  - ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL. IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER, A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
  - AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
  - CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
  - CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM.
  - CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE MISSOURI DIVISION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
  - CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE MISSOURI UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE MISSOURI ONE-CALL SYSTEM AT 800-344-7455 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
  - CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY.
  - TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
  - EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.



**4 EROSION CONTROL PLAN**  
1" = 20'

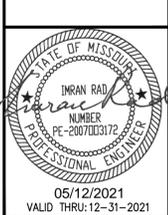


**DRAWING ISSUE**

NO	DESCRIPTION	DATE
1	FOR REVIEW	10/07/20
2	BID SET #1	02/04/21
3	FOR CITY REVIEW	05/12/21
4		
5		

**29 BELLE UR DEVELOPMENT PLAN**  
913 WEST 29TH STREET  
KANSAS CITY, MISSOURI 64108

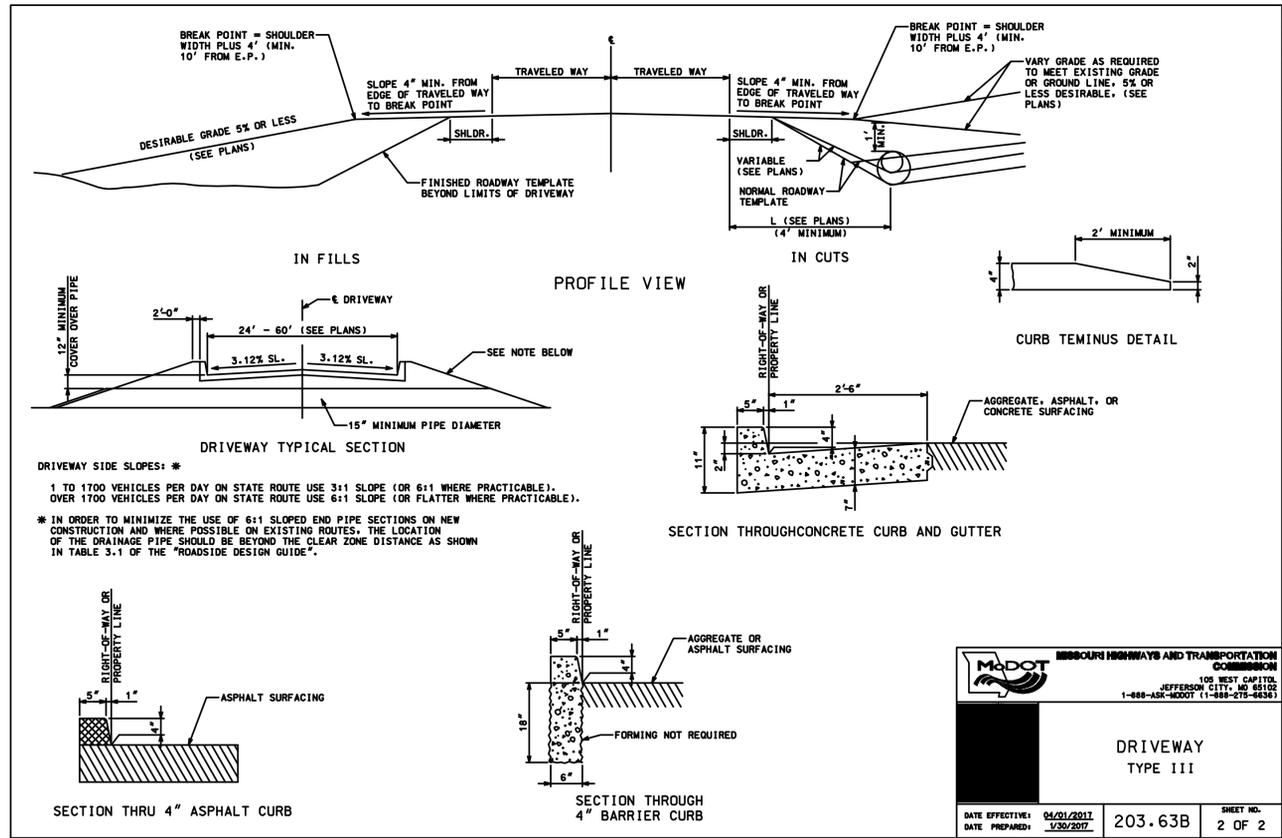
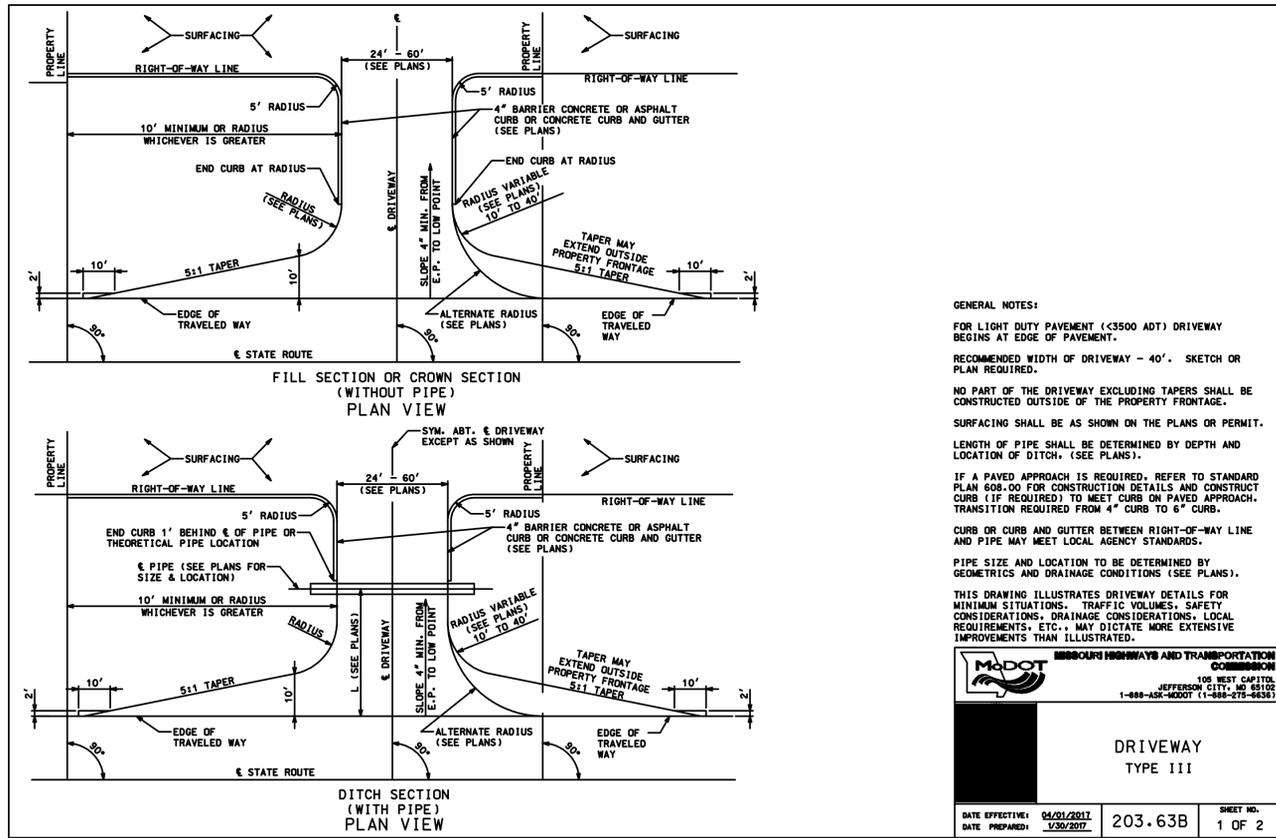
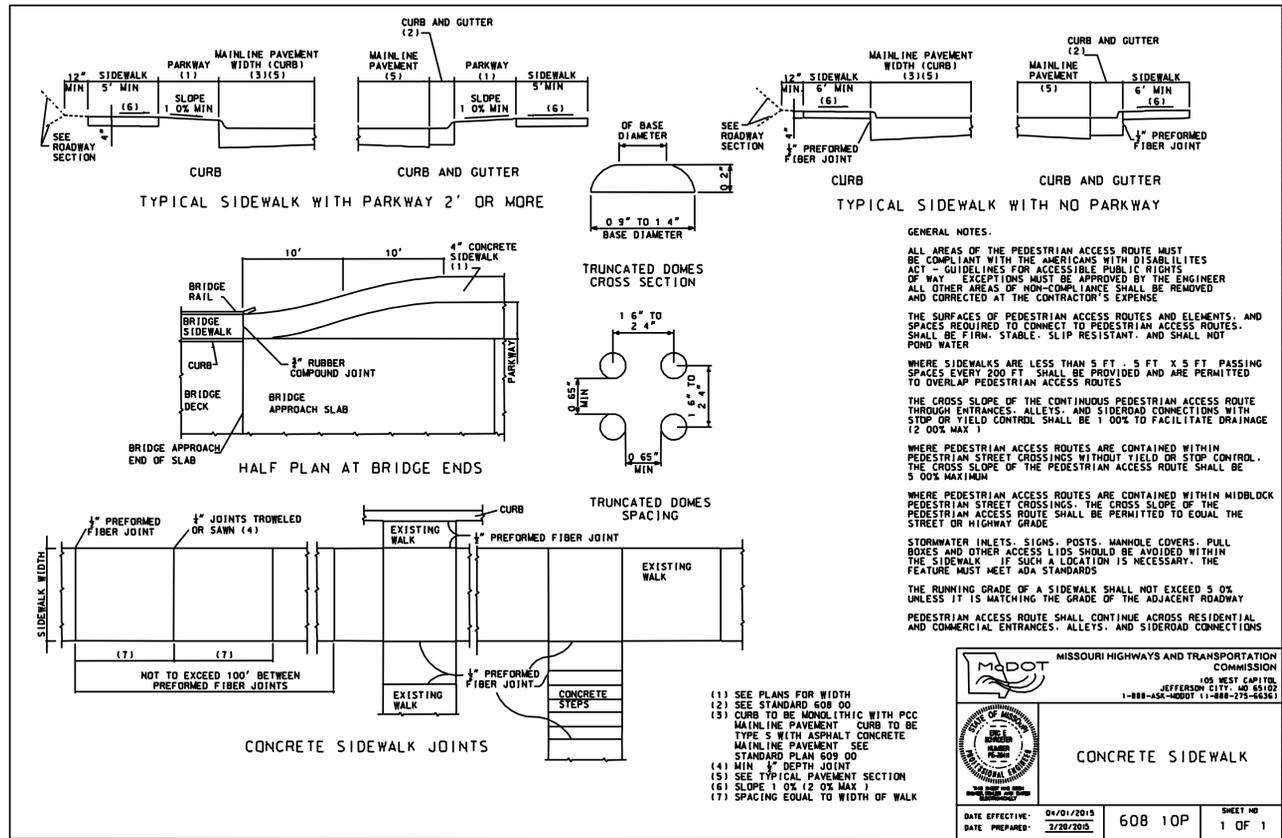
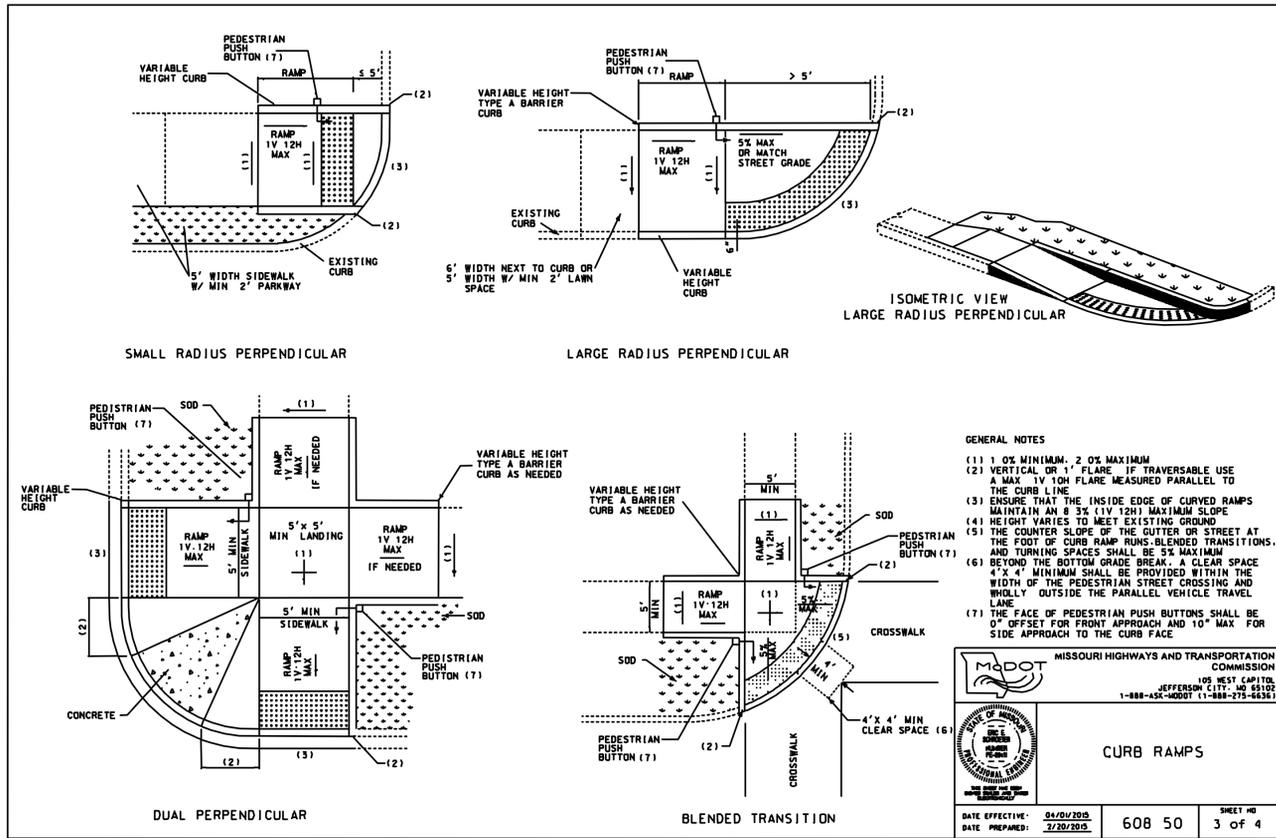
**IMRAN RAD, P.E.**  
3603 BELLA VISTA DRIVE  
MIDWEST CITY, OKLAHOMA 73110  
TEL. 816.616.5516, 405.255.2994  
imranrad@gmail.com



**EROSION CONTROL PLAN**

PROJECT NUMBER  
2023

SHEET NUMBER  
C4



DRAWING ISSUE	
NO.	DESCRIPTION
1	FOR REVIEW
2	BID SET #1
3	FOR CITY REVIEW
4	
5	
DATE	
10/07/20	
02/04/21	
05/12/21	

**29 BELLE UR DEVELOPMENT PLAN**

**913 WEST 29TH STREET**  
**KANSAS CITY, MISSOURI 64108**

**IMRAN RAD, P.E.**  
 3608 BELLA VISTA DRIVE  
 MIDWEST CITY, OKLAHOMA 73110  
 TEL. 816.616.5518, 405.255.2994  
 imranrad@gmail.com

VALID THRU:12-31-2021

**APWA STANDARD DETAILS**

PROJECT NUMBER  
2023

SHEET NUMBER  
C5

