F: 913.307.3710

913.307.3700

KATZ ON MAIN

APARTMENTS

CITY PLAN COMMISSION SUBMITTAL

DECEMBER 29, 2020

HOEFER WYSOCKI#: 109041



DEVELOPER

LUX LIVING LLC 1 N. TAYLOR AVE. ST. LOUIS, MO 63108 ARCHITECT

HOEFER WYSOCKI ARCHITECTURE 11460 TOMAHAWK CREEK PARKWAY, SUITE 400 LEAWOOD, KANSAS 66211 P: 913.307.3700 OWNERS REP.

CBRE 4520 MAIN STREET SUITE 600 KANSAS CITY, MO 64111 P: 816.756.3535 CONSTRUCTION MANAGER

GE JOHNSON 25 N. CASCADE AVE, SUITE 400 COLORADO SPRINGS, CO 80903 P: 719.473.5321 CONTRACTOR

HUTTON CONSTRUCTION 2229 S WEST ST WICHITA, KS 67213

P: 316.942.8855

CIVIL

BHC RHODES 6363 COLLEGE BLVD. SUITE 500 OVERLAND PARK, KS 66211 P: 913.663.1900 STRUCTURAL ENGINEER

BOB D. CAMPBELL AND CO. 4338 BELLEVIEW KANSAS CITY, MO 64111

P: 816.537.4144

MEP PEER REVIEW

HENDERSON ENGINEERS INC. 8345 LENEXA DRIVE LENEXA, KANSAS 66214 P: 913.742.5000

ALTA/NSPS Land Title Survey 3948 Main Street & 3949 Baltimore Avenue & 9 Westport Road Part of Lots 4, 5, 6, 7 8, 9 and A, Kearney Heights, a subdivision in the Southwest Quarter of Section 20, Township 49 North, Range 33 West, Kansas City, Jackson County, Missouri — San. Sewer Manhole #15503 Part of Lots 4, 5, 6 and 'A", in Kearney Heights, a subdivision of land in Kansas City, Jackson County, Missouri, more particularly described as Top Rim=948.27' In(SW) 10"VCP=931.87" Out(N) 12"VCP=931.77" FND CHIS. "X" CUT (2)TSB's & (2)PCL' -CTL SET 1/2" REBAR w/ OLSSON CAP (CP-101) ÉLEV.=947.97' (12)BUSHES IN LSA San. Sewer Manhole #15476 — FND CHIS. "X" CUT Missouri at Kansas City. Top Rim=952.07' E Out(NE) 10"VCP=938.87" -L=25.44' (AND) & 25.25'(M) (R=50.00' (AND) & (M) San. Sewer Manhole #15455 Top Rim=953.64' Δ=29°09'13" ITB=S85°26'40"E E Out(SW) 8"VCP=942.24' -San. Sewer Manhole #25861 Top Rim=949.84' In(SW) 12"PVC=944.79" Westport Road -[Out(SSE) 12"VCP=941.84" (Asph. pvmt. w/ Combination Conc. Curb & Walk FND. CHIS. "X" CUT (HELD) *−3*′x2.5' Curb Inlet #15603 4'x1' Curb Inlet #15038-Top Rim=951.62' Top Rim=948.36' T Qut(NE) 12"PVC=949.07" E Out(SW) 12"VCP=945.21" IN CONC. PLANTER ELECTRIC BIKE RENTAL RACK -BACK IN PARKING 5'x3' Curb Inlet #16005-Top Rim=947.05' S2°36'38"W ₱ Out(SW) 12"VCP=944.30' 185.77' (AND) & 185.71'(M) -4" SYCAMORE OLSSON BM#2-IN CONC. PLANTER ' (AND) & 298.61'(M) SET CHIS. SQUARE CÜT w/ METAL RAILS ON SE CORNER OF INLET Area of Surveyed Property 56,435 Sq. Ft. or 1.2956 Acres, m/l ELEV.=947.04' 2.5'x1.5' Curb Inlet #15306 — Tax Parcel I.D. No. Top Rim=945.64' F Out(SE) 12"PVC=942.24' -BACK IN PARKING & 30-230-05-03-00-0-00-00 Warranty Deed in Doc. No. 2011E0089694 ONLY SIGN FOUND MONUMENT CHIS. "X" CUT-*Parcel I* San. Sewer Manhole #15326 --Bldg. Cor.=13.16 Top Rim=945.53' E In(E) 12"VCP=940.68' E In(ENE) 12"VCP=939.88" [In(SW) 6"VCP=939.63'(Drop) 1-HOUR PARKING SIGN In(NE) 12"VCP=939.53'(Drop) Màin Street In(NW) 12"VCP=939.28" LÍNK FENCE AREA (Asph. pvmt. w/ Combination Conc. Curb & Walk In(NE) 8"VCP=934.23' (Public R/W - Width Varies) In(N) 8"VCP=934.23' Out(SW) 12"VCP = 9.34.18Asphalt Parkina Lot w/ Conc. & Brick -LTP w/ SCHOOL Asphalt Parking Lot CROSŚING WARNING -FND 3/8" REBAR IN 1-1/2" PIPE FND 3/8" REBAR-KCP&L Esmt (Width varies), <u>Lot Size</u> San. Sewer Manhole #16002 V/ SCHOOL CROSSING SIGNAL No. B-221925 Top Rim=952.50' In(NNW) 12"VCP=937.05" . 145.28' (AND) & (M) N5°02'35"E 171.21' (AND) & 171.23' (M)-—5"∖MAPLE IN Out(SSW) 12"VCP=936.95" <u>Setbacks:</u> Baltimore Avenue 'all=0.12' S. & 0.04' W. — -Storm Grate MH (Asph.\pvmt. w/ Conc. Curb (60'\wide Public R/W) End of UG Power — ~4" MAPLE IN CONC. PLANTER #25414 Line Markings ±/ w/ METAL RAILS Top Rim=952.44' 14.35' E. <u>Minimum Rear Setbacks:</u> #2 West 40th Street 1-HOUR PARKING SIGN KCP&L Esmt (Width varies), 3–Storv Brick -2-HOUR PARKING SIGN & Supply Co. 2 West 40th FF=951.81' Tract A KCMO 64111 146.45' (AND) 84.55' (AND) & (M) Cor. Wall=0.68' S. & 0.10' E MAPLE IN CONC. PLANTER Tract A Bldg. Cor.=13.54' E. w/ METAL RAILS GM w/ (4)SPB's **⊙⊙** Ø w/ OLSSON CAP (CP-102) Comb. Conc.\Sidewalk\ FND CHIS. "X" CUT (4'0/S) SE COR. WALL IS PROP. COR. PP-ELEV.=950.17 FŅD SMALL CHIS. "X" CUT-NÓ PARKING SIGN &-FND CHIS. "X" CUT (SKW) (4'0/S)-1-HOUR PARKING SIGN 15' wide Quit Claimed to Cor. Wall=0.06' S.-NO PARKING SIGN &-KCMO Vacated Alley in & 0.00' E. 1-HOUR PARKING SIGN Ordinance No. 14923, FND CHIS. "X" CUTrecorded in Doc. No. B-39032 & B-39033 -OLSSON BM#1 -CTL SET 1/2" REBAR SET CHIS. ŠQUARE w/ OLSSON CAP (CP-103) CUT ON CENTER ELEV.=951.86' West 40th Street FRONT FACE OF INLET ELEV.=946.71' -San. Sewer Manhole #25270 (Public R/W - Width Varies) Top Rim=951.17' 5'x3' Curb Inlet #25555 £ Out(S) 8"VCP=940.47" Top Rim=946.75' [Out(SW) 12"PVC=944.20" Top Rim=946.02' [In(W) 6"PVC=944.22" © Out(SE) 12"PVC=943.32" -San. Sewer Manhole #16001 Top Rim=945.50' In(NW) 12"VCP=940.15" In(NE) 12"VCP=939.30" In(NNE) 12"VCP=933.50 Out(S) 12"VCP=933.40' LEGEND FOUND REBAR (ORIGIN UNKNOWN SEWER CLEANOUT CONTROL POINT UNLESS OTHERWISE NOTED) STEEL PIPE BOLLARD CONTROL FOUND CHISELED "X" CUT GAS LINE DOCUMENT SET 1/2" X 24" REBAR W/ WATER LINE ELEVATION OLSSON CONTROL CAP UNDERGROUND POWER LINE ESMT. EASEMENT MEASURED DIMENSION - THIS SURVEY OVERHEAD POWER LINE FLOW LINE ANDERSON SURVEYING SANITARY SEWER LINE FINISH FLOOR ELEVATION -Ò FH FIRE HYDRANT -- SD --STORM LINE FND FOUND WATER VALVE \boxtimes wv E. Armour Blvd. FIBER OPTIC LINE KCMO KANSAS CITY, MISSOURI WM WATER METER GRATE INLET KANSAS CITY POWER & LIGHT °C FDC FIRE DEPARTMENT CONNECTION $\overline{}$ SIGN LSA LANDSCAPE AREA ⊠GV GAS VALVE NO PARKING SIGN MICROWAVE COMMUNICATIONS INCORPORATED GM GAS METER POWER POLE NO. \bowtie ELECTRIC CABINET ₩ LTP LIGHT POLE 0/S OFFSET EM ELECTRIC METER AIR CONDITIONER UNIT PROP. PROPERTY ELECTRIC METER DECIDUOUS TREE 39th Street PEDESTRIAN TRACTION PAD OELR ELECTRIC RISER/DROP ⊙BU BUSH POLYVINYL CHLORIDE PIPE O FOR FIBER OPTIC/COMMUNICATIONS RISER BUILDING LINE R/W RIGHT-OF-WAY TELEPHONE MANHOLE RBCP REBAR WITH CAP ASPHALT TRAFFIC SIGNAL MANHOLE SANITARY AT&T AMERICAN TELEPHONE & TELEGRAPH TRAFFIC SIGNAL POLE W/ MAST ARM 000 SPB STEEL PIPE BOLLARD BLDG. BUILDING PEDESTRIAN CROSSING LIGHT POLE UGUNDERGROUND BENCHMARK 1" = 30'43rd Street TRAFFIC SIGNAL BOX VITRIFIED CLAY PIPE CHIS. CHISELED Section 20, T49N, R33W TS TRAFFIC SIGNAL CABINET сомв. COMBINATION SANITARY SEWER MANHOLE VICINITY MAP NUMBER OF PARKING STALLS CONC. CONCRETE SCALE IN FEET STORM SEWER MANHOLE DENOTES OA BENCHMARK Scale: 1" = 2000'COR. CORNER ACCESSIBLE PARKING SPACE

TLE AND EASEMENT INFORMATION FURNISHED BY

Old Republic Title Company of St. Louis, Inc. 620 North McKnight Road St. Louis, Missouri 63132–4911 (314) 983-0300 Commitment No: 2006329 Effective Date: September 2, 2020 at 8:00 A.M.

PROPERTY DESCRIPTION AS FURNISHED

Beginning at a point in the West line 2351 feet South of the intersection of the Northerly prolongation of the West line of Main Street with the Easterly prolongation of the Southerly line of Westport Avenue as same is now established in Kansas City, Jackson County, Missouri; thence South along the West line of Main Street 185.77 feet to a point in the North line of a tract conveyed to the Neekoosa Paper Company by Deed in Book B795 at Page 97; thence Southwesterly along the Northerly line of said tract, which makes a Southwest angle of 65 degrees 25 minutes 30 seconds from the West line of Main Street 79.87 feet: thence in a Northwesterly direction along a line that makes a Northeast angle of 99 degrees 32 minutes from the last described course, 161.28 feet to a point in the Southerly line of Westport Avenue; thence in a Northeasterly direction along the Southerly line of Westport Avenue 166.97 feet to a point; thence in an Easterly direction along a curve to the right, the radius of which is 50 feet, 25.47 feet to the point of beginning, being the same property described in Warranty Deed dated December 30, 1932, from Ardmore Investment Company to Lydia S. Williams, recorded under Instrument No, A507472 in the Office of the Recorder of Deeds for Jackson County,

<u>Parcel 2:</u>
All that portion of Kearney Heights described as follows: Beginning at a point on the South line of Kearney Heights in Kansas City, Jackson County, Missouri, 171.75 feet West of the Southerly prolongation of the centerline of Main Street, North of Westport Avenue In said Kansas City; thence North along a line parallel to the Southerly prolongation of the centerline of said Main Street 109.6 feet to a point; thence in a Northwesterly direction along a line at right angles to the Easterly prolongation of the centerline of Westport Avenue in the Old Town of Westport 160 feet to a point in the Southerly line of Westport Avenue which is 11 feet from the centerline of the Easterly prolongation of Westport Avenue in the Old Town of Westport; thence in a Westerly direction along the Southerly line of said Westport Avenue which line is parallel to the Easterly prolongation of the centerline of said Westport Avenue in the Old Town of Westport 126.61 feet to a point; thence in a Westerly direction along the Southerly line of said Westport Avenue 123.39 feet to the Easterly line of the land owned by the St. Paul's Protestant Episcopal Church which point is 20.64 feet from the Easterly prolongation of the centerline of said Westport Avenue in the Old Town of Westport; thence In a Southeasterly direction along the Easterly line of land owned by St. Paul's Protestant Episcopal Church 115.36 feet to a point in the South line of said Kearney Heights; thence East along the South line of said Kearney Heights 226.65 feet to the point of beginning, in Kansas City, Jackson County, Missouri, EXCEPT that part lying West of Baltimore Avenue.

All that portion of Kearney Heights described as follows:

Beginning at a point in which Southerly line of Westport Avenue is intersected by Easterly line of land conveyed to Miss Barstow School Association by Deed in Book B725 at page 608, Document No, 348755; thence in a Southeasterly direction along the Easterly line of land of said Miss Barstow School Association 160 feet to a point which is 109.6 feet North of South line of said Kearney Heights and 171.75 feet West of East line of Northwest Quarter of Southwest Quarter of Section 20, Township 49, Range 33, which quarter quarter section line Is the center line of Main Street, from 39th Street to Westport Avenue; thence in a Northeasterly direction along line at right angles to tangent in Westerly line of said Main Street immediately South of Westport Avenue, 66.18 feet to a point the last described course making Northeast angle of 99 degrees 29 minutes 30 seconds with first described course; thence in a Northwesterly direction 170.9 feet to a point in the Southerly line of said Westport Avenue 64.57 feet from the point of beginning of said last described course making a Southwest angle of 90 degrees 14 minutes with Southerly line of said Westport Avenue; thence in a Southwesterly direction along said Southerly line of Westport Avenue 64.57 feet to point of beginning, except that part taken in the widening of Westport Avenue, all in Kansas City, Jackson County, Missouri.

SCHEDULE B, PART II - EXCEPTIONS

- 4. Ordinance in regards to Baltimore and Main Street as set forth in the instrument recorded as Document No. B39033. (Parcel 2) (Applies, Plotted)
- 5. Easement granted to Kansas City Power & Light Company as set forth in the instrument recorded as Document No. B221925. (Parcel 2)
- 6. Rights of tenants in possession under unrecorded and month-to-month leases

SURVEYOR'S NOTES

- 1. Basis of Bearings: Held West Right—of—Way Line of Main Street = S02°36'38"W, Missouri Coordinate System 1983, West Zone, State Plane Bearings, Local State Plane Coordinates, Ground Distances, US Survey Feet. This Survey meets or exceeds the current standards for "Urban" Class Property Surveys, as defined by the Department of Natural Resources 10 CSR 30-2.030 General Land Surveying Requirements.
- Subject Property lies within "Zone X Areas determined to be outside the 0.2% annual chance floodplain," according to FEMA Flood Insurance Rate Map, Map Number 29095C0262G, Map Revised January 20, 2017.
- 3. As Surveyed, the hereon shown properties contains a total of 56,435 Sq. Ft. or 1.2956 Acres, more or less. This survey meets or exceeds the Urban Property Accuracy Standard of Closure 1:20,000 as defined by the Department of Insurance, Financial Institutions and Professional Registration, Division 2030, Chapter 16, Title 20 CSR 2030—16—040 — Accuracy Standards for Property Boundary Surveys, Effective June 30,
- 4. No Zoning Report was provided to Olsson Associates, however online searches suggest that the surveyed premises is Zoned B3-2 (Community

Lot & Building Standards:

Minimum Lot Area (Square Feet) = None

Minimum Lot Area Per Unit (Square Feet) = In Single Purpose Residential Building = 750 Sq. Ft. Mixed Use Building = None. Only mixed—use buildings that comply with the ground—floor commercial space requirements of 88-120-07 are eligible to use the mixed—use building density and height provisions of Table 120—2. Floor Area Ratio Maximum = 2.2

Minimum Front Setbacks:

Abutting Residential District = Front setback required only when O- or B-zoned lot abuts R-zoned lot with frontage on the same street. In such cases, the O- or B-zoned lot must match the platted front setback of the abutting R-zoned lot. If there is no platted setback, the O- or B-zoned lot must provide at least 50% of the front setback that applies to the abutting R-zoned lot. Not Abutting Residential District = None.

Abutting Residential District = 25% of Lot Depth. Maximum Required = 30 feet.

Not Abutting Residential District = None. <u>Side Setbacks:</u> Abutting Residential District = Side setback required only when the side yard of an O- or B-zoned lot abuts R-zoned lots. In such cases, the O— or B—zoned lot must provide the same side setback as required for the abutting R—zoned lot. Not Abutting Residential District = None.

<u>Maximum Building Height:</u> — Mixed-Use Buildings = 50 feet. All Other Buildings = 45 feet.

- 5. Subject Property contains 74 regular parking stalls, and 1 handicap accessible parking stalls, for a total of 75 parking stalls. Parking stripes are very faded and hard to make out exact location. Used found concrete bumpers for verification in certain areas. There are also 10 off-street parking spots along the NW side of the the building along the South side of Westport Road.
- 6. There is NO evidence of recent and ongoing earth moving work, building construction, or building additions observed in the process of conducting the fieldwork. The SE corner of the property or the NE quadrant of 20th Street & Broadway there is utility construction in this area.
- 7. To the best of this surveyor's knowledge there are NO proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction. Evidence of recent street or sidewalk construction or repairs observed in the process of conducting
- 8. To the best of this surveyor's knowledge, we have included any plottable offsite (i.e., appurtenant) easements or servitudes disclosed in documents provided to or obtained by the surveyor as a part of the survey pursuant to Sections 5 and 6 (and applicable selected Table A items) (client to obtain necessary permissions).
- 9. The property described in the title commitment is the same property as depicted on this survey.
- 10. Subject Property has direct access to Main Street on the East, West 40th Street on the South and Westport Road on the Northwest side of the

UTILITIES NOTE:

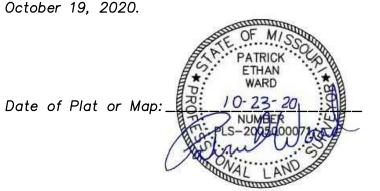
Utilities shown have been located from field survey information, together with obtained records. The Surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in—service or abandoned. The Surveyor further does not warrant that the utilities shown are in the exact location indicated. Locates are in compliance with Subsurface Utility Engineering Quality Level "B'

Utilities were ordered to be located through Missouri One—Call System per Ticket Number 202660652, 202660779 & 202751746. Companies listed on said Tickets are: AT&T Distribution; City of Kansas City Missouri Sewer Department; City of Kansas City Missouri Street & Traffic Department; City of Kansas City Missouri Water Department; Evergy (Formerly Kansas City Power & Light); Google Fiber; Spire Missouri West; Sprint Nextel; Unite Private Networks; Verizon (Formerly MCI Communications) & Westport Special Business District. No private utilities were located for this project.

CERTIFICATION

To: Lux Living, L.L.C., a Missouri limited liability company; Redeemer Fellowship, a Missouri nonprofit corporation and Old Republic Title Company of St. Louis, Inc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11, 13, 16, 17 and 19 of Table A thereof. The fieldwork was completed on



Patrick Ethan Ward, PLS-2005000077 Olsson, Inc., LC-366 pward@olsson.com

<u>Property Owners:</u> Redeemer Fellowship 3921 Baltimore Avenue Kansas City, Missouri 64111

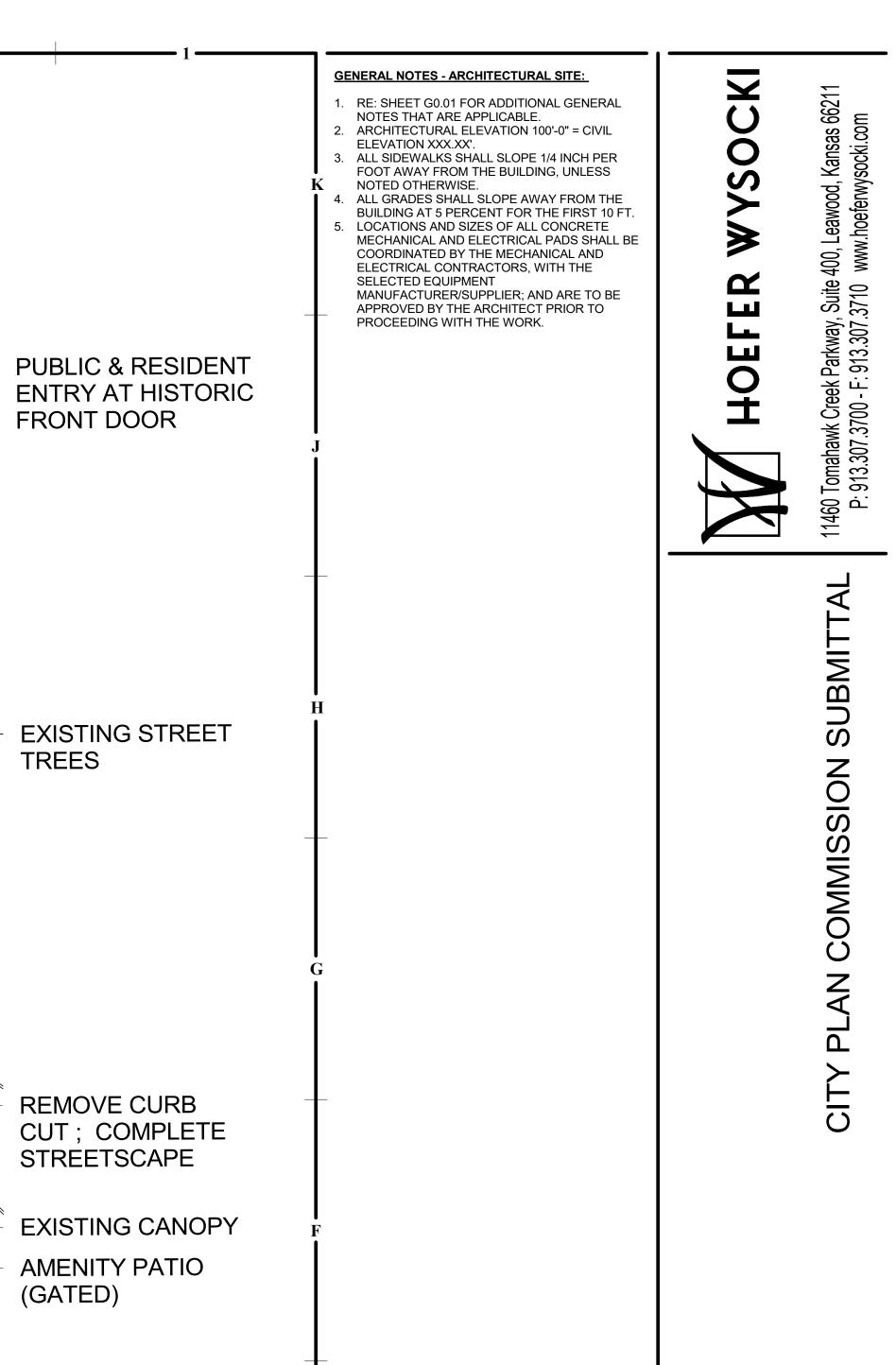
<u>Prepared For:</u> Shasta III LLC Attn: Vic Alston 1 North Taylor Avenue St. Louis, MO 63108 Phone: (314) 590-3991

<u>Prepared By:</u> 7301 West 133rd Street, Suite 200 Overland Park, KS 66213 Phone: (913) 381-1170 Fax: (913) 381-1174

9 and ection

approved by: QA/QC by: project no.: drawing no.: V XALT 202827.dwg

> SHEET 1 of 1

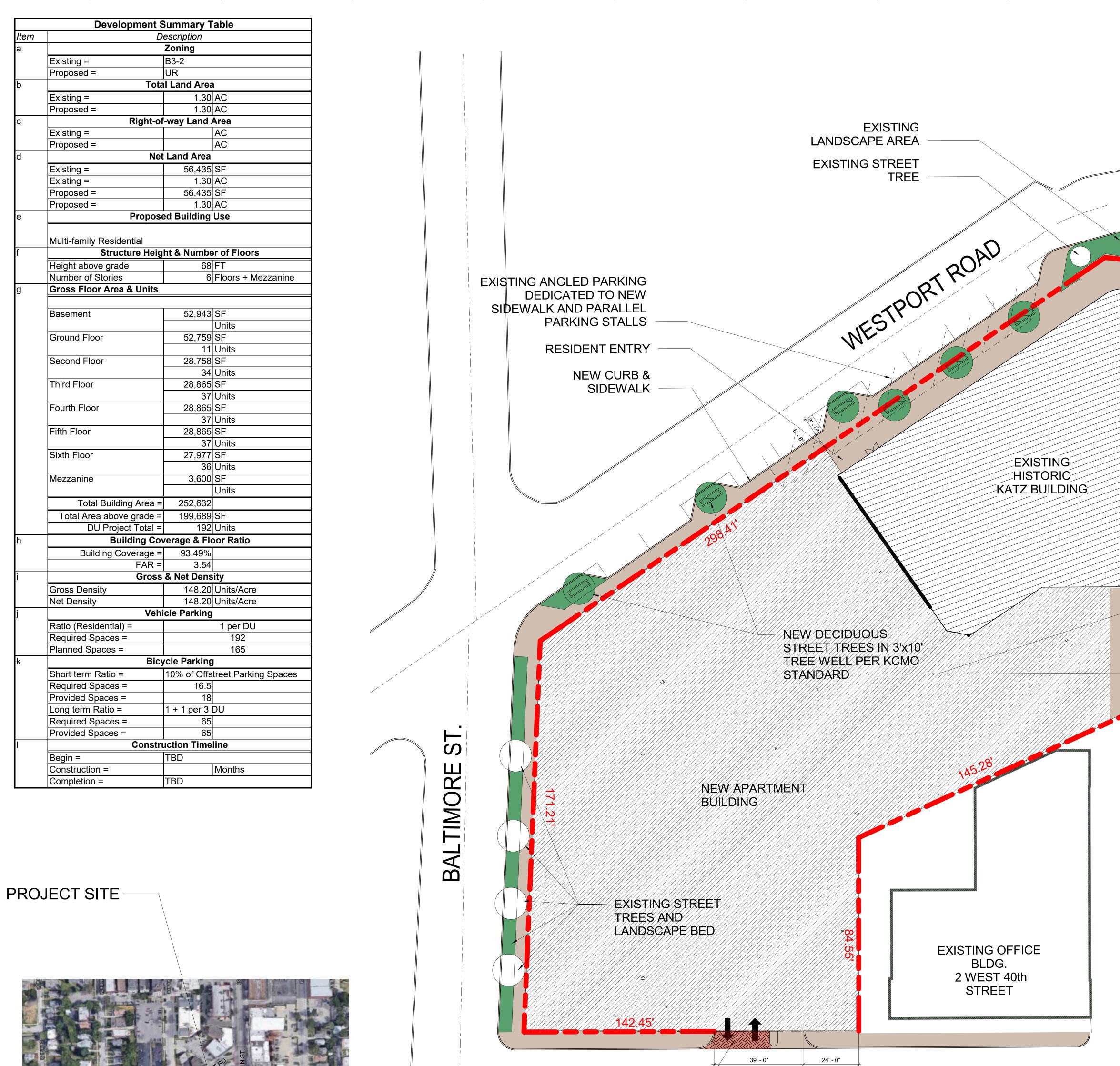


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PROFESSIONAL SEAL

ARCHITECTURAL & CONCEPTUAL

A1 SITE PLAN
1" = 20'-0"



GARAGE

PAVEMENT

WITH PATTERNED

WESTPORT DISTRICT KCMO

40TH ST.

LANDSCAPE SITE PLAN

GENERAL NOTES - FLOOR PLANS:

- RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 ARCHITECTURAL ELEVATION 100'-0" = CIVIL ELEVATION XXX.XX'
- ELEVATION XXX.XX'
 3. DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD/ WALL (FOG), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
- 4. NOTE: WALL THICKNESSES ARE NOMINAL DIMENSIONS, NOT ACTUAL DIMENSIONS. ALL STUD WALL THICKNESSES ARE 5 INCHES, UNLESS DIMENSIONED OTHERWISE. ALL MASONRY WALL THICKNESSES ARE 8 INCHES, UNLESS DIMENSIONED
- INCHES, UNLESS DIMENSIONED
 OTHERWISE.

 5. DOOR OPENINGS NOT LOCATED BY
 DIMENSION SHALL BE CENTERED IN WALL
 SHOWN OR LOCATED 4 INCHES FROM
 FINISH WALL TO HINGE SIDE OF THE DOOR,
 ALWAYS ALLOWING A MINIMUM OF 18" FROM
- SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO HINGE SIDE OF THE DOOR, ALWAYS ALLOWING A MINIMUM OF 18" FROM THE PULL SIDE (STRIKE SIDE) OF THE DOOR TO THE INTERSECTING WALL, OR OTHER PROTRUDING OBJECTS.
 ALL CLOSETS AND ALCOVES WITHOUT A
- J 6. ALL CLOSETS AND ALCOVES WITHOUT A
 SPACE IDENTIFICATION NUMBER SHALL
 HAVE THE SAME FINISHES AS THE
 ADJOINING SPACES.

 7. ALL PUBLIC SPACES: THE WALLS WILL BE
 FINISHED WITH 5/8" GYP. BD. TO A LEVEL 4
- FINISH AND PAINTED, UNLESS NOTED OR SPECIFIED OTHERWISE.

 8. RE: FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.

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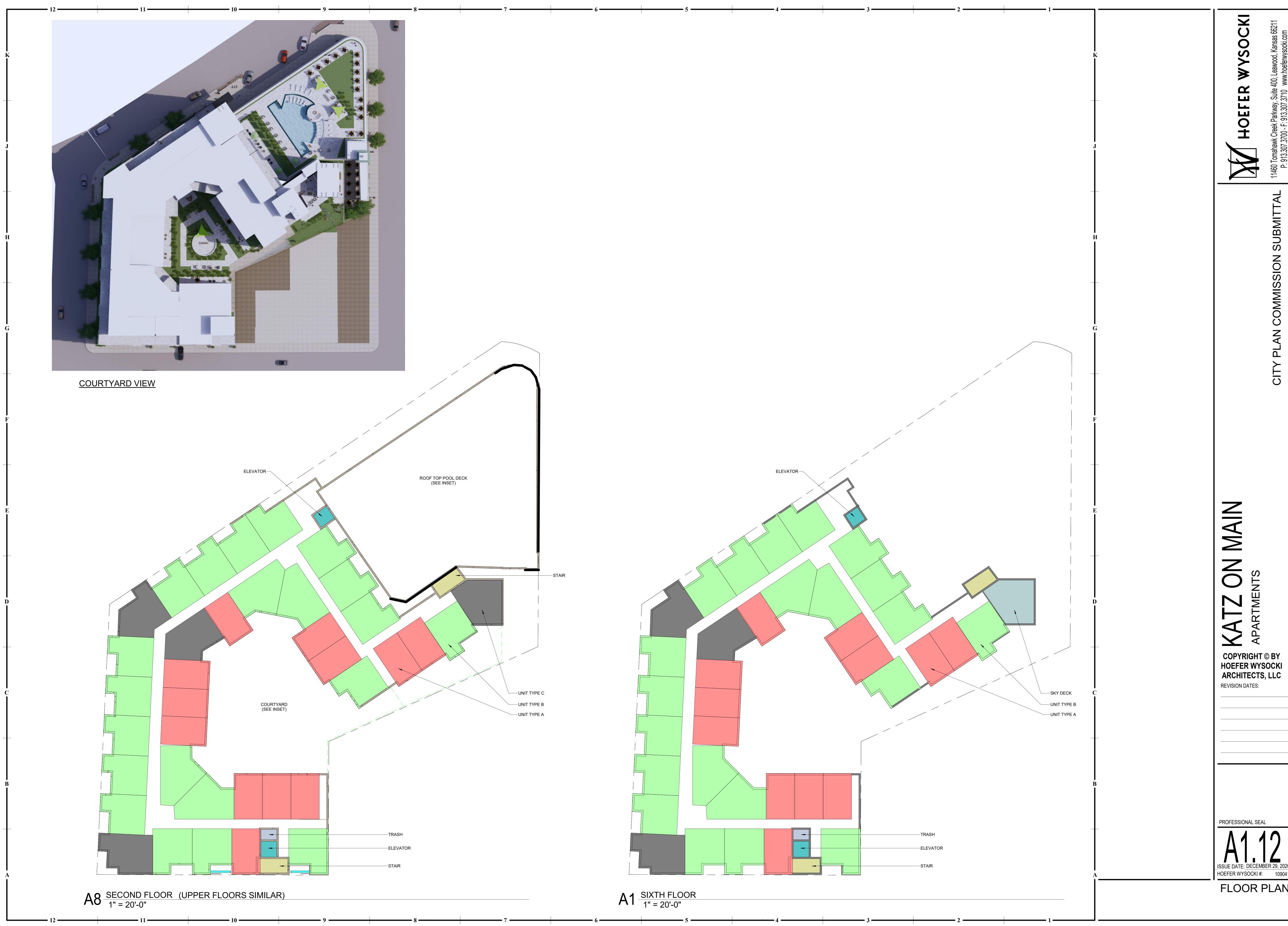
ARCHITECTS, LLC

REVISION DATES:

PROFESSIONAL SEAL

ISSUE DATE: DECEMBER 29, 2

FLOOR PLANS



PROFESSIONAL SEAL

FLOOR PLAN

43% - FIBER CEMENT

14% - METALS



EXISTING BRICK

EX1

EX2

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PROFESSIONAL SEAL

EXTERIOR ELEVATIONS



2 BALTIMORE STREET - WEST ELEVATION 3/32" = 1'-0"



1 WESTPORT ROAD - NORTH ELEVATION 3/32" = 1'-0"

43% - BRICK

43% - FIBER CEMENT

14% - METALS

EXISTING BRICK

B1

M2

EX1

EX2

EXTERIOR ELEVATIONS



 $2\frac{40\text{TH STREET - SOUTH ELEVATION}}{3/32" = 1'-0"}$



GENERAL NOTES – EXTERIOR WALL SECTIONS/ DETAILS:

RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 RE: FLOOR PLANS, ROOF PLAN AND ELEVATIONS FOR SECTION CUT LOCATIONS.
 ALL WINDOW AND DOOR OPENING DIMENSIONS ARE ROUGH OPENING DIMENSIONS, UNLESS NOTED OTHERWISE.
 DIMENSIONS SHOWN ON THE WALL SECTIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.

OTHERWISE.

5. PAINT ALL EXPOSED STEEL, INCLUDING STEEL LINTELS, ETC. (TYP.)

SKYDECK AMENITY



E1 westport entry



A1 WESTPORT & MAIN



G6 KATZ ON MAIN POOL

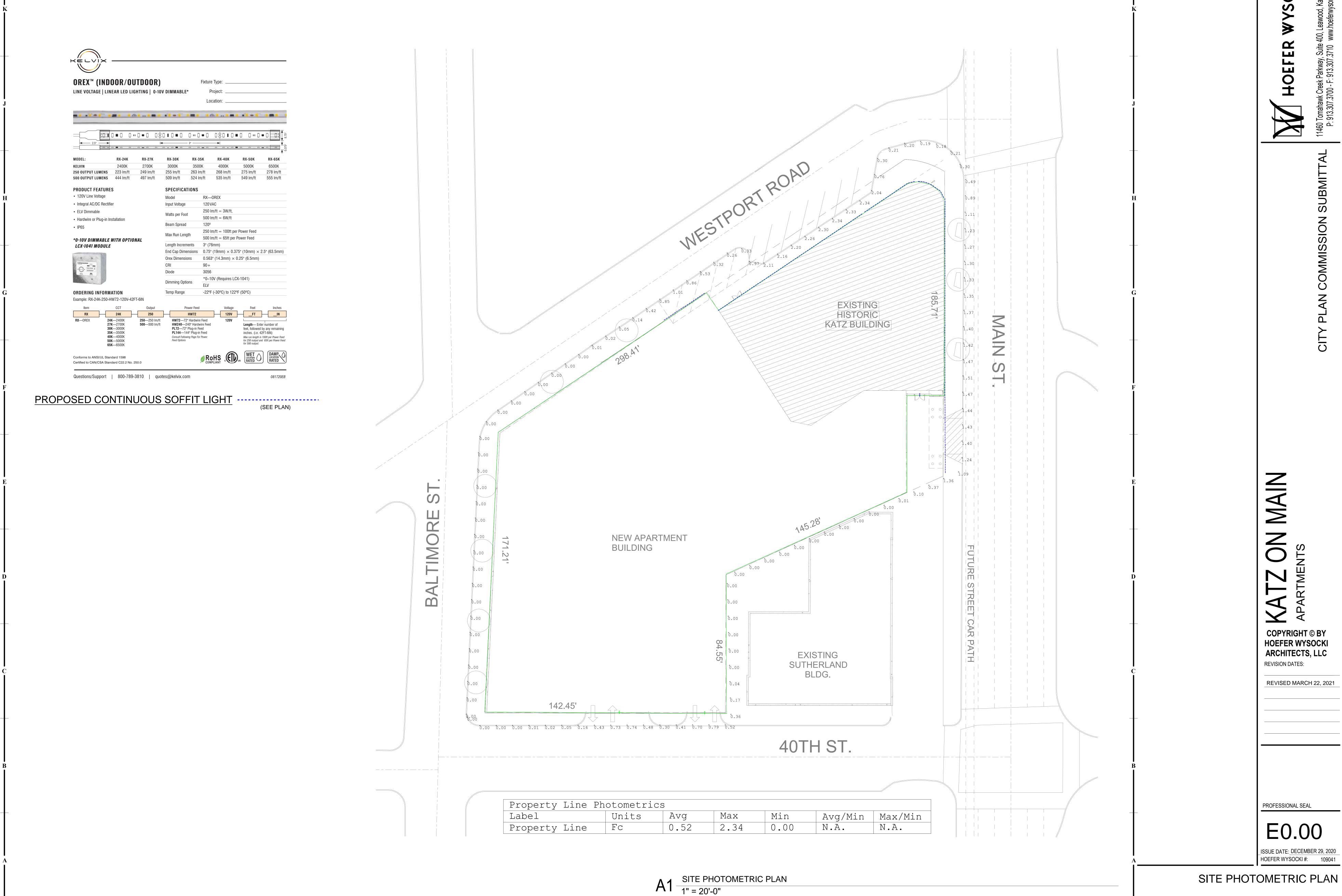




A6 BALTIMORE & WESTPORT

SUPPLEMENTAL RENDERED

VIEWS







Lighting concept discussed with neighborhood groups and proposed for consideration



