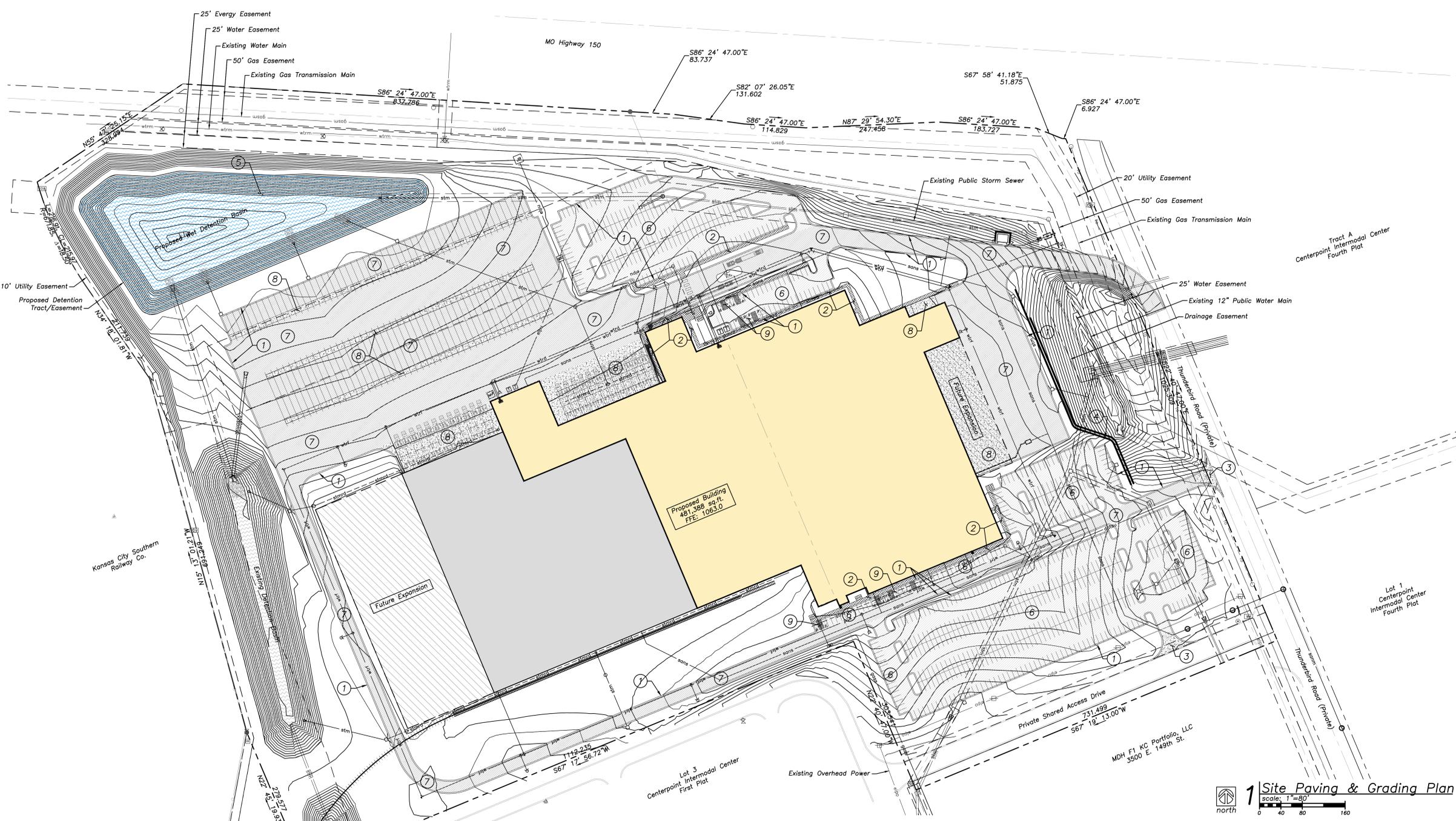


DOC. REL.#	DATE	DESCRIPTION
0	10/31/2022	DEVELOPMENT PLAN
	12/12/2022	DEVELOPMENT RE-SUBMITTAL



1 Site Paving & Grading Plan
 scale: 1"=80'
 north

Utility Legend	
	existing
	proposed

Linetypes	
	sanitary main
	sanitary service
	storm sewer (existing)
	storm sewer (solid wall, proposed)
	storm sewer (solid wall, proposed)
	storm sewer (perforated, proposed)
	water main
	water service (fire)
	water service (domestic)
	water service (irrigation)
	natural gas main
	natural gas service schematic
	underground primary electric
	underground secondary electric
	overhead electric
	underground cable/phone/data
	underground cable/phone/data service
	fence-chainlink
	fence-wood
	fence-barbed wire
	treeline

Symbols	
	sanitary manhole
	service cleanout
	force main release valve
	rectangular structure
	circular structure
	fire hydrant
	water valve
	water meter
	backflow preventer
	natural gas meter
	service transformer (pad mount)
	primary switch gear
	light pole
	cable/phone/data junction box
	street light
	pedestrian street light
	electric pole
	guy wire
	end section

Construction Legend	
	concrete pavement
	standard asphalt
	heavy duty asphalt
	concrete sidewalk
	standard curb & gutter
	standard dry curb & gutter
	temporary asphalt curb
	detention basin
	existing detention basin

Property Legend	
	right of way
	property lines
	easements
	setbacks

Grading Legend	
	existing minor contour
	existing major contour
	proposed minor contour
	proposed major contour

- Site Plan Notes:**
- Construct type "CG-1 dry" curb & gutter where indicated (see legend).
 - Construct concrete sidewalk per KCMO standard details.
 - Construct private concrete entrance.
 - Proposed location of new retaining wall.
 - Proposed wet detention basin.
 - Standard asphalt pavement.
 - Heavy duty asphalt pavement.
 - Heavy duty concrete pavement.
 - Proposed ADA ramps, parking stalls, striping and signage.

Legal Description:
 Lot 2A, Centerpoint Intermodal Center First Plat

Floodplain Note:
 According to "Flood Insurance Rate Map" community Panel No. 2909500510G, map revised January 20, 2017, as published by the Federal Emergency Management Agency, this property lies with flood zone "X" (areas of minimal flooding).

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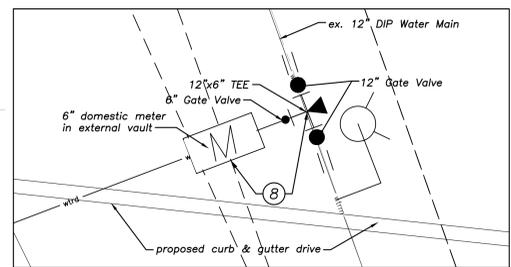
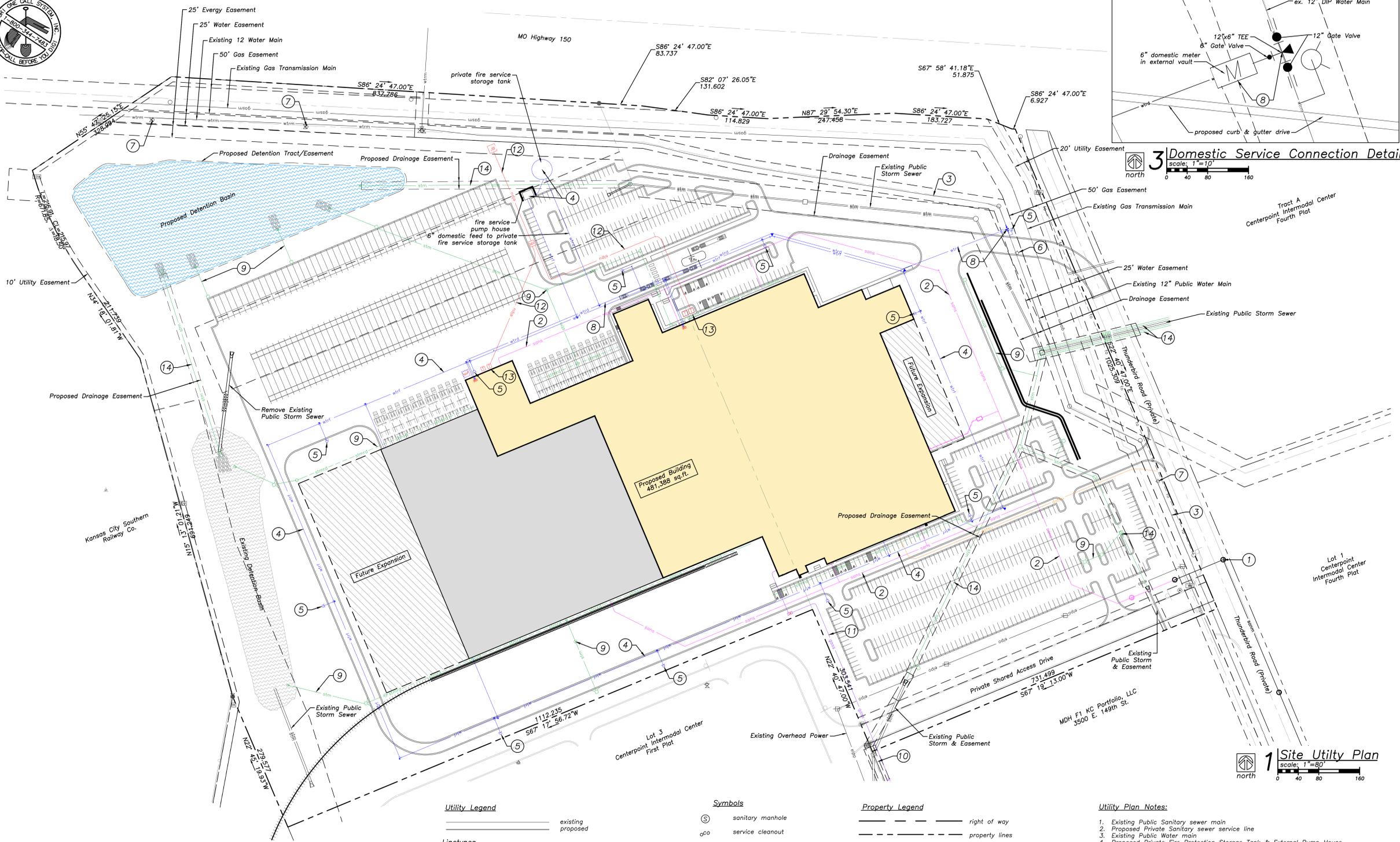
CORP. SEAL

A Development Plan For:
 Project Royal
 KC MO

Civil Site Paving + Grading Plan

NOT FOR CONSTRUCTION

JOB NUMBER	SHEET NUMBER
7934	C12



3 Domestic Service Connection Detail
Scale: 1"=10'
north

1 Site Utility Plan
Scale: 1"=80'
north

DOC. REL.#	DATE	DESCRIPTION
0	10/31/2023	DEVELOPMENT PLAN
0	12/12/2022	DEVELOPMENT RE-SUBMITAL



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A Development Plan For:
Project Royal
KC MO

Overall Site Utility Plan

JOB NUMBER	SHEET NUMBER
7934	C1.3

Utility Legend

	existing
	proposed
Linetypes	
	sanitary main
	sanitary service
	storm sewer (existing)
	storm sewer (solid wall, proposed)
	storm sewer (perforated, proposed)
	water main
	water service (fire)
	water service (domestic)
	water service (irrigation)
	natural gas main
	natural gas service schematic
	underground primary electric
	underground secondary electric
	overhead electric
	underground cable/phone/data
	underground cable/phone/data service
	fence-chainlink
	fence-wood
	fence-barbed wire
	trestle

Symbols

	sanitary manhole
	service cleanout
	force main release valve
	rectangular structure
	circular structure
	fire hydrant
	water valve
	water meter
	backflow preventer
	natural gas meter
	service transformer (pad mount)
	primary switch gear
	light pole
	cable/phone/data junction box
	street light
	pedestrian street light
	electric pole
	guy wire
	end section

Property Legend

	right of way
	property lines
	easements
	setbacks

Grading Legend

	existing minor contour
	existing major contour
	proposed minor contour
	proposed major contour

Utility Legend

	existing sanitary main
	existing water main
	existing storm sewer
	existing gas main
	existing underground electric
	existing overhead electric
	existing underground data
	proposed sanitary main
	proposed sanitary service
	proposed water main
	proposed fire line
	proposed water service
	proposed storm sewer
	proposed gas main
	proposed gas service
	proposed underground primary electric
	proposed underground secondary electric
	proposed overhead electric
	proposed underground data

Utility Plan Notes:

- Existing Public Sanitary sewer main
- Proposed Private Sanitary sewer service line
- Existing Public Water main
- Proposed Private Fire Protection Storage Tank & External Pump House.
- Proposed Private fire hydrant.
- Existing Public fire hydrant to be relocated.
- Existing Public fire hydrant.
- Proposed Domestic service line. 12"x12"x6" TEE on 12" main w/ 12" sleeves on the main and gate valves matching branch diameters. 6" meter in external vault
- Proposed Private storm sewer system
- Existing Gas main
- Proposed Gas Service
- Primary underground electrical service
- Secondary underground electrical service
- Proposed public storm sewer

Water Service Note:

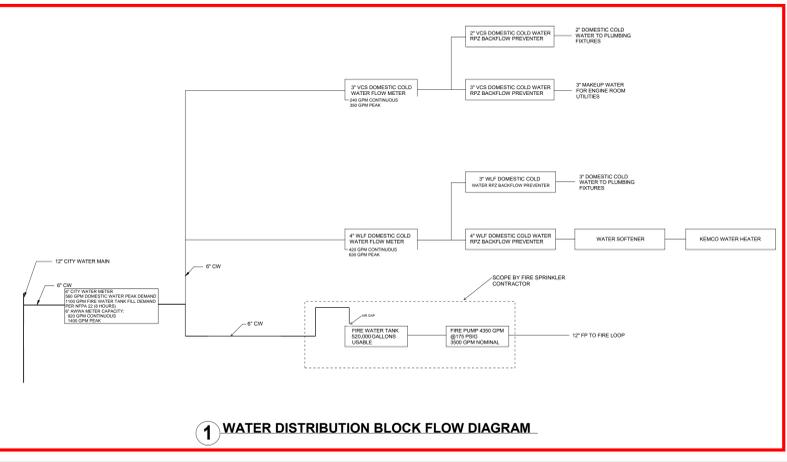
Fire Protection Note: Private Fire Protection Storage Tank will be filled via 6" domestic service tap connection on existing public 12" water main & 6" meter in external vault. No fire flow water service, including private fire hydrants, sprinkler systems, etc., will be drawn directly from the public main. See service schematic, this page.

Legal Description:

Lot 2A, Centerpoint Intermodal Center First Plat

Floodplain Note:

According to "Flood Insurance Rate Map" community Panel No. 29095C05100, map revised January 20, 2017, as published by the Federal Emergency Management Agency, this property lies within flood zone "X" (areas of minimal flooding).



1 WATER DISTRIBUTION BLOCK FLOW DIAGRAM

NOT FOR CONSTRUCTION

EXTERIOR MATERIALS & FINISHES

- VERTICAL METAL WALL PANELS:**
42" WIDE, KYNAR COATED INSULATED METAL WALL PANELS EQUAL TO METSPAN LIGHT MESA, COLOR "POLAR WHITE"
- ARCHITECTURAL INSULATED METAL WALL PANELS (FIELD):**
3" THICK, HORIZONTAL, SMOOTH ARCHITECTURAL INSULATED METAL WALL PANELS EQUAL TO CENTRIA FORMAWALL, COLOR "OFF-WHITE"
- ARCHITECTURAL INSULATED METAL WALL PANELS (ACCENT):**
3" THICK, HORIZONTAL, SMOOTH ARCHITECTURAL INSULATED METAL WALL PANELS EQUAL TO CENTRIA FORMAWALL, COLOR "XL MEDIUM GRAY"
- ARCHITECTURAL FORMED METAL WALL PANELS:**
FORMED METAL WALL PANELS WITH HORIZONTAL RIBS EQUAL TO CENTRIA CONCEPT SERIES, COLOR "XL SILVER"
- ARCHITECTURAL PRECAST STONE VENEER:**
LARGE FORMAT, BUFF LIMESTONE COLOR
- ALUMINUM WINDOW/DOOR FRAMING SYSTEM:**
STOREFRONT (UP TO 10' HIGH) EQUAL TO KAWNEER 451T, ANODIZED ALUMINUM FRAME, COLOR: BLACK
- CURTAINWALL (OVER 10' HIGH):** EQUAL TO KAWNEER 1800, ANODIZED ALUMINUM FRAME, COLOR: BLACK
- GLASS:** 1" INSULATED, LOW-E GLASS WITH ARGON FILL EQUAL TO SOLARBAN 60, TYP.
- SUNSHADES:** 30" DEEP EQUAL TO KAWNEER VERSOLEIL - OUTRIGGER SYSTEM, ANODIZED ALUMINUM, COLOR: BLACK
- EXTERIOR DOORS (HOLLOW METAL DOORS AND FRAMES):**
PAINTED TO MATCH ADJACENT WALL COLOR
- OVERHEAD DOORS, DOCK DOORS, FREEZER/COOLER DOORS:**
DOOR COLORS SELECTED FROM MANUFACTURER'S PREFINISHED COLORS (INTENT TO MATCH ADJACENT WALL COLORS, TYPICALLY WHITE, UNLESS NOTED OTHERWISE).
- TRUCK DOCK DOORS:** 10'x11' INSULATED SECTIONAL OVERHEAD DOCK DOOR POSITION WITH DOCK SHELTER, SHELTER COLOR BLACK.
- TRAIN RAIL DOCK DOORS:** 10'x11' INSULATED SECTIONAL OVERHEAD DOCK DOOR POSITION WITH INFLATABLE DOCK SHELTER, SHELTER COLOR BLACK.
- PREFINISHED METAL CAP FLASHINGS/COPINGS, GUTTERS, DOWNSPOUTS, SCUPPERS:**
COLOR TO MATCH ADJACENT WALL COLOR

DOC. REL.#	DATE	DESCRIPTION
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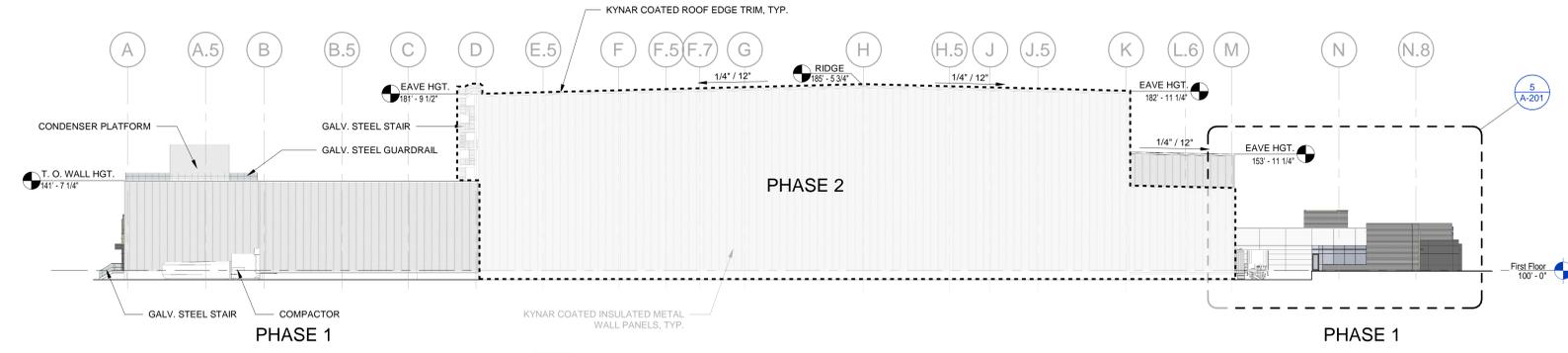
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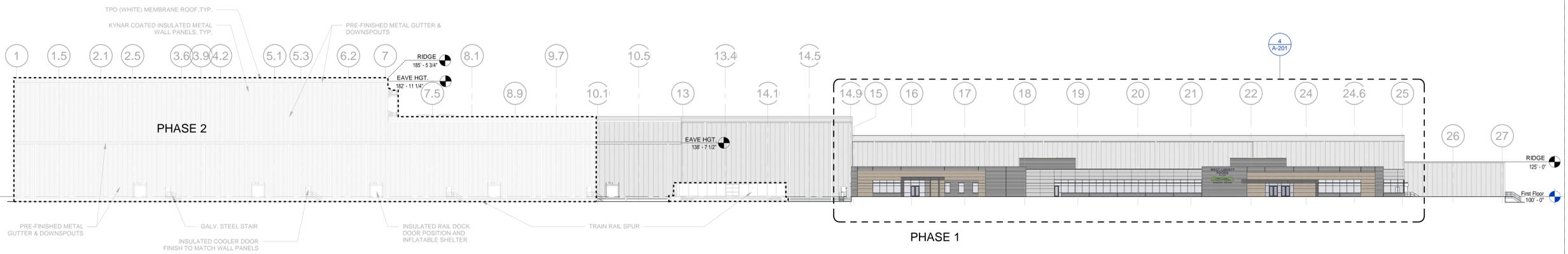
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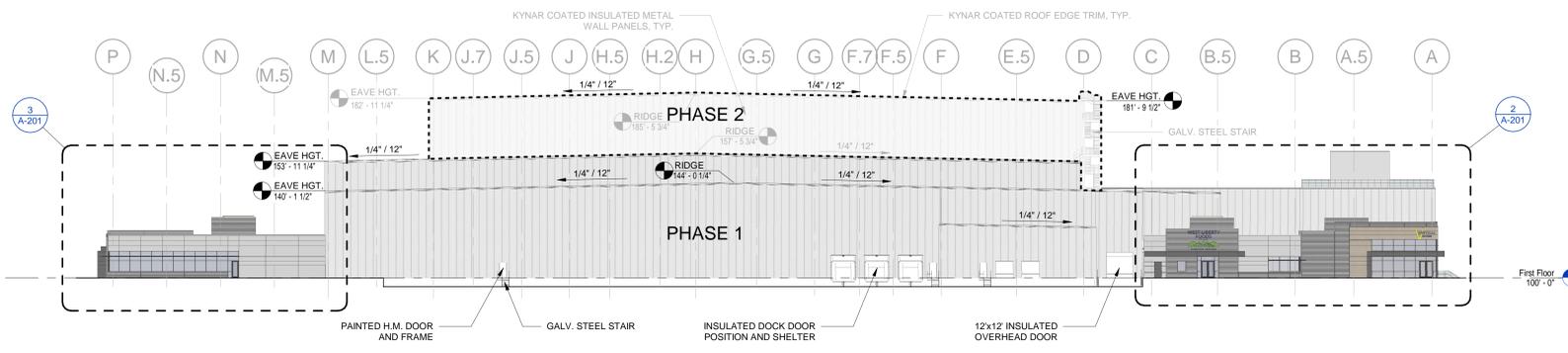
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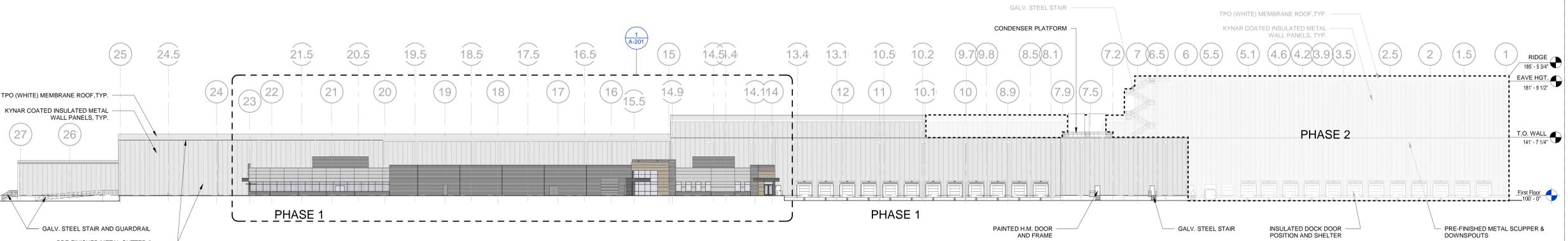
4 WEST ELEVATION - OVERALL
1/32" = 1'-0"



3 SOUTH ELEVATION - OVERALL
1/32" = 1'-0"



2 EAST ELEVATION - OVERALL
1/32" = 1'-0"



1 NORTH ELEVATION - OVERALL
1/32" = 1'-0"

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A Development Plan For:
Project Royal
KC MO

OVERALL EXTERIOR ELEVATIONS

JOB NUMBER	SHEET NUMBER
7934	A-200

EXTERIOR MATERIALS & FINISHES

- VERTICAL METAL WALL PANELS:**
42" WIDE, KYMAR COATED INSULATED METAL WALL PANELS EQUAL TO METSPAN LIGHT MESA, COLOR "POLAR WHITE"
- ARCHITECTURAL INSULATED METAL WALL PANELS (FIELD):**
3" THICK, HORIZONTAL, SMOOTH ARCHITECTURAL INSULATED METAL WALL PANELS EQUAL TO CENTRIA FORMAWALL, COLOR "OFF-WHITE"
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- ARCHITECTURAL FORMED METAL WALL PANELS:**
FORMED METAL WALL PANELS WITH HORIZONTAL RIBS EQUAL TO CENTRIA CONCEPT SERIES, COLOR "XL SILVER"
- ARCHITECTURAL PRECAST STONE VENEER:**
LARGE FORMAT, BUFF LIMESTONE COLOR
- ALUMINUM WINDOW/DOOR FRAMING SYSTEM:**
STOREFRONT (UP TO 10' HIGH) EQUAL TO KAWNEER 451T, ANODIZED ALUMINUM FRAME, COLOR: BLACK
- CURTAINWALL (OVER 10' HIGH) EQUAL TO KAWNEER 1600, ANODIZED ALUMINUM FRAME, COLOR: BLACK**
- GLASS:** 1" INSULATED, LOW-E GLASS WITH ARGON FILL EQUAL TO SOLARBAN 60, TYP.
- SUNSHADES:** 30" DEEP EQUAL TO KAWNEER VEROSEIL - OUTRIGGER SYSTEM, ANODIZED ALUMINUM, COLOR: BLACK
- EXTERIOR DOORS (HOLLOW METAL DOORS AND FRAMES):**
PAINTED TO MATCH ADJACENT WALL COLOR
- OVERHEAD DOORS, DOCK DOORS, FREEZER/COOLER DOORS:**
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COLOR TO MATCH ADJACENT WALL COLOR

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KC MO

ENLARGED EXTERIOR ELEVATIONS

JOB NUMBER	SHEET NUMBER
7934	A-201

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