



110 E 3RD STREET | KANSAS CITY, MISSOURI  
DEVELOPMENT PLAN SUBMITTAL | 18 JULY 2022

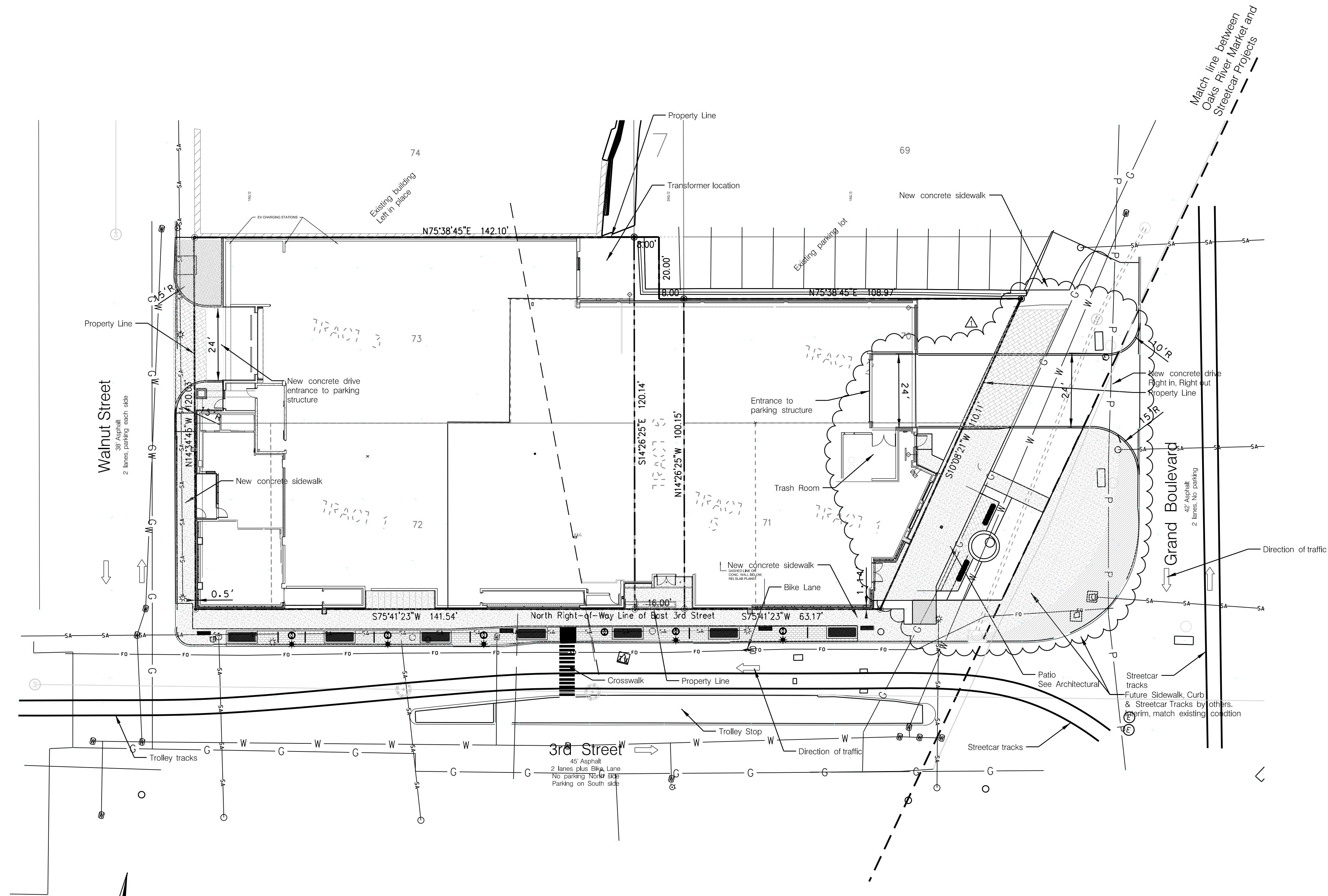
OWNER:	ARCHITECT:	LANDSCAPE:	STRUCTURAL:	MEP:	CIVIL:	INTERIORS:	CONTRACTOR:	ENVELOPE:	GOVERNMENT:
OAKS PROPERTIES LLC 3550 EAST 46TH ST., SUITE 120 MINNEAPOLIS, MN 55406 P. (612) 630-5943	NSPJ ARCHITECTS, P.A. 3515 W. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 P. (913) 831-1415 F. (913) 831-1563	NSPJ ARCHITECTS, P.A. 3515 W. 75TH ST., SUITE 201 PRAIRIE VILLAGE, KS 66208 P. (913) 831-1415 F. (913) 831-1563	BOB C. CAMPBELL & CO., INC. 4338 BELLEVUE KANSAS CITY, MO 64111 P: (816) 531-4144 F: (913) 531-8572	RTM ENGINEERING CONSULTANTS 9225 INDIAN CREEK PKWY, SUITE 1075 OVERLAND PARK, KS 66210 P: (913) 322-1400	CFE ENGINEERS 1421 E 104TH STREET, STE 100 KANSAS CITY, MO 64131 P. (816) 333-4477	TBD	KAUSMANN CONSTRUCTION 4800 MAIN STREET, SUITE 108A KANSAS CITY, MO 64112 P. (402) 438-3230	INTERTEK BUILDING SCIENCE SOLUTIONS 11826 BORMAN DRIVE ST. LOUIS, MO 63146	CITY OF KANSAS CITY, MISSOURI CITY PLANNING AND DEVELOPMENT 414 E. 12TH STREET, 15TH FLR P. (816) 513-1500
PROJECT CONTACT:	PROJECT CONTACT:	PROJECT CONTACT:	PROJECT CONTACT:	PROJECT CONTACT:	PROJECT CONTACT:	PROJECT CONTACT:	PROJECT CONTACT	PROJECT CONTACT	PROJECT CONTACT
JEFF MCMAHON P. (913) 313-8806 E. JM-Kramerica@outlook.com	IRIS ABRAMOF P. (913) 831-1415 E. IABRAMOF@NSPJARCH.COM	BRAD HUS P. (913) 831-1415 E. BHUS@NSPJARCH.COM	MIKE FALBE P. (816) 531-4144 E. MFALBE@BDC-ENGRS.COM	JIM BASQUETTE P. (913) 322-1400 E. JIM.BASQUETTE@RTMEC.COM	LANCE SCOTT P. (816) 333-4477 E. LSCOTT@CFSE.COM	JEFF NICKLAS P. (816) 260-5788 E. JEFFN@KAUSMANNCONSTRUCTION.COM	BRANDON FISHER P. (31) 896-1224 E: BRANDON.FISHER@INTERTEK.COM	PLANNING@KCMO.ORG KANSAS CITY, MO 64106	

DATE  
07.18.2022  
JOB NO.  
720022  
DRAWN BY:  
CEE / IA / AAP / NSO/  
CPC  
SHEET NO.

## DEVELOPMENT PLAN

A0.00





Legal Description

TRACT 1  
ALL OF THE EASTERLY 60 FEET OF LOT 72, MEASURED AT RIGHT ANGLES TO THE NORTHEASTERLY OR ALLEY LINE OF LOT 72, AND ALL OF THE SOUTHEASTERLY 40 FEET OF THE EASTERLY 40' OF LOT 72, MEASURED PARALLEL TO AND AT RIGHT ANGLES TO THE NORTHEASTERLY OR ALLEY LINE OF LOT 73, IN BLOCK 7, ON THE PLAT OF THE TOWN OF KANSAS, COMMONLY CALLED OLD TOWN, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT 2  
ALL OF LOT 71, EXCEPT THE WEST 23 FEET, IN BLOCK 7, ON THE PLAT OF THE TOWN OF KANSAS, COMMONLY CALLED OLD TOWN, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT 3  
ALL OF THE EAST 57 1/2 FEET OF THE WEST 82 FEET OF LOT 72, BLOCK 7, ON THE PLAT OF THE TOWN OF KANSAS, COMMONLY CALLED OLD TOWN, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT 4  
ALL OF LOT 70, EXCEPT THE NORTH 20 FEET THEREOF, BLOCK 7, ON THE PLAT OF THE TOWN OF KANSAS, COMMONLY CALLED OLD TOWN, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT 5  
THE WEST 24.5 FEET OF LOT 72 AND THE SOUTH 40 FEET OF WEST 102 FEET OF LOT 73 AND THE NORTH 20 FEET OF LOT 73, BLOCK 7, ON THE PLAT OF THE TOWN OF KANSAS, COMMONLY CALLED OLD TOWN, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT 6  
THE RIGHT-OF-WAY OWNED BY THE KANSAS CITY SOUTHERN RAILWAY COMPANY IN THE SOUTH 40 FEET OF LOT 70, AND IN LOTS 71, 72, AND 73, BLOCK 7, ON THE PLAT OF THE TOWN OF KANSAS, COMMONLY CALLED OLD TOWN, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT 7  
THE WEST 23 FEET OF LOT 71, BLOCK 7, ON THE PLAT OF THE TOWN OF KANSAS, COMMONLY CALLED OLD TOWN, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT 8  
ALL OF THE PLATTED ALLEY BETWEEN LOTS 70 TO 73, BLOCK 7, AS SHOWN ON THE PLAT OF THE TOWN OF KANSAS, COMMONLY CALLED OLD TOWN, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI, DESCRIBED AS FOLLOWS:  
BEGINNING ON THE WEST LINE OF LOT 70, BLOCK 7, 20 FEET SOUTH OF THE NORTHWEST CORNER; THENCE SOUTH, ALONG THE WEST LINE OF LOTS 70 AND 71, TO THE SOUTHWEST CORNER OF LOT 71 AND A POINT ON THE NORTH RIGHT-OF-WAY OF WEST 3RD STREET; THENCE WEST, ALONG THE NORTH RIGHT-OF-WAY OF WEST 3RD STREET, TO THE SOUTHWEST CORNER OF LOT 72; BLOCK 7; THENCE NORTH, ALONG THE EAST LINE OF LOTS 72 AND 73, TO THE NORTHEAST CORNER OF LOT 73; THENCE EAST 8 FEET, PERPENDICULAR TO THE EAST LINE, TO THE CENTERLINE OF THE PLATTED ALLEY; THENCE SOUTH, ALONG THE CENTERLINE, TO A POINT 8 FEET WEST OF A POINT 20 FEET SOUTH OF THE WEST LINE AND THE NORTHWEST CORNER OF LOT 70; THENCE EAST 8 FEET, PERPENDICULAR TO THE WEST LINE, TO THE POINT OF BEGINNING.

BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback	0	0		
Front Setback	0	0		
Side Setback	0	0		
Side Setback (abutting street)	0	0		
Height		75' (7 Stories)		

88-420 - PARKING	Vehicle Spaces		Bike Spaces		Alternatives Proposed? (See 88-420-16)
	Required	Proposed	Required	Proposed	
Proposed Use(s)					
Mixed Use	0	106	11 Short Term	18 Short Term	
Multi-family and Commercial/Retail	0	106	34 Long Term	36 Long Term	
TOTAL	0	106	11 Short Term	18 Short Term	
			34 Long Term	36 Long Term	

SITE DATA	Existing	Proposed	Deviation Requested?	Approved
Zoning	DC-15, M-5, UR			
Gross Land Area				
in square feet	27,698	27,698		
in acres	0.636 Acres	0.636 Acres		
Right-of-way Dedication				
in square feet	0	0		
in acres	0	0		
Net Land Area				
in square feet	27,698	27,698		
in acres	0.636 Acres	0.636 Acres		
Building Area (sq. ft.)	0	24,579		
Floor Area Ratio	0%	89%		
Residential Use Info				
Total Dwelling Units				
Detached House				
Zero lot line House				
Cottage House				
Semi-detached House				
Townhouse				
Two-unit House				
Multi-unit House				
Colonnade				
Multiplex				
Multi-unit Building	0	102		
Total Lots				
Residential				
Public/Civic				
Commercial/Parking				
Industrial				
Other				

DEVIATION NOTE:  
There are no deviations requested for this project.

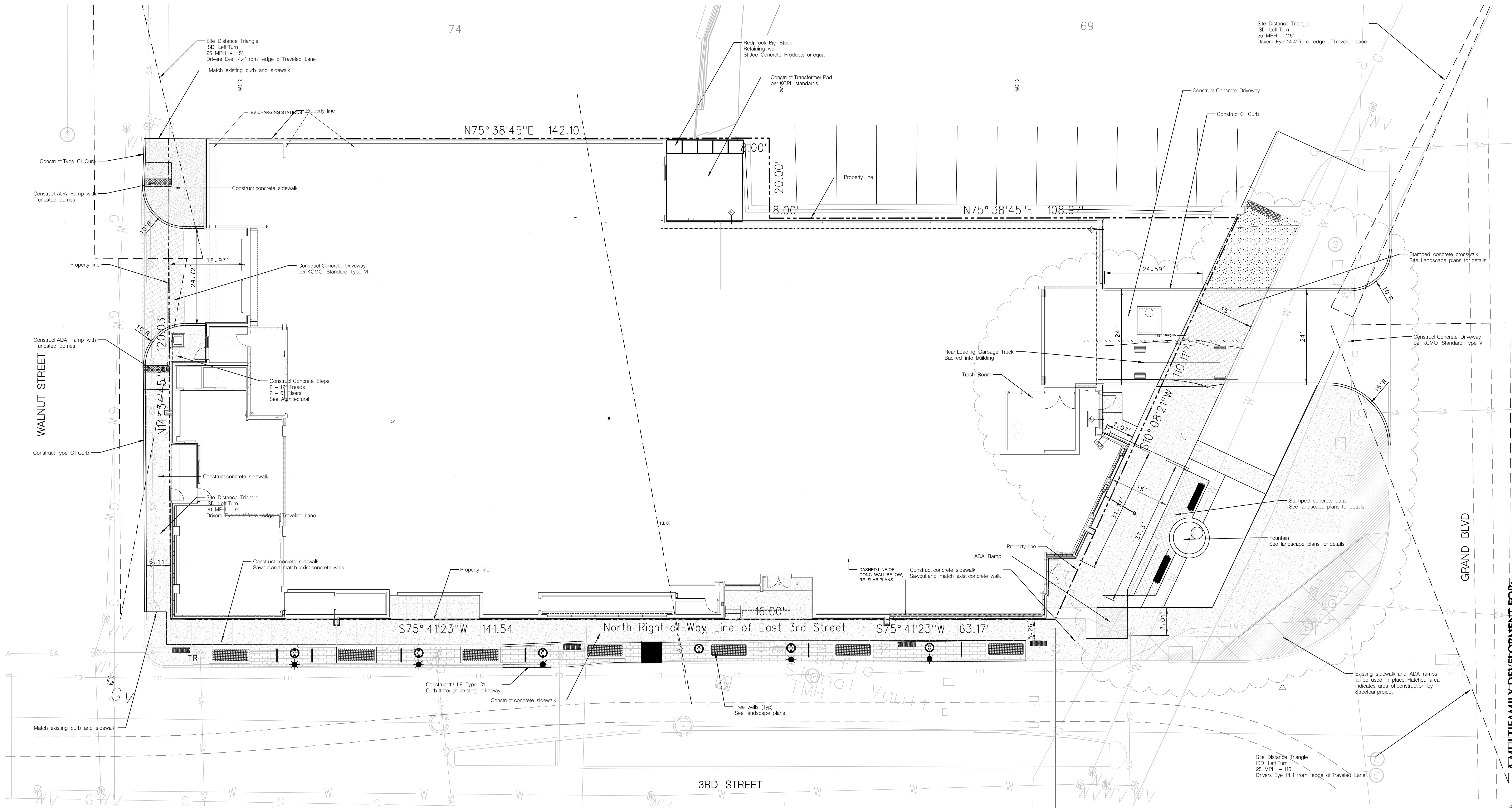
A MULTIFAMILY DEVELOPMENT FOR:  
**OAKS - River Market**  
110 E. 3rd St,  
Kansas City, Missouri

DRAWING RELEASE LOG  
09.05.2022-CITY COMMENTS

REVISIONS

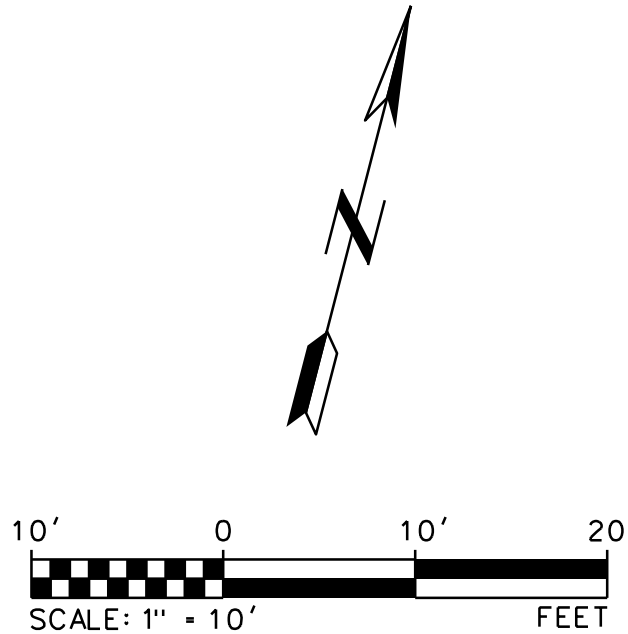
DATE  
07.18.2022  
JOB NO.  
571115  
DRAWN BY:  
CEE / AAP / NSO  
SHEET NO.





NOTES:

1. ALL PARKING LOT DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
3. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS BETWEEN NEW ENTRANCE DRIVES AND EXISTING STREETS.
4. CONTRACTOR SHALL MATCH EXISTING CURB & GUTTER IN GRADE, SIZE, TYPE, AND ALIGNMENT AT CONNECTIONS TO EXISTING STREETS.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO: GRAVE UTILITIES, PAVEMENT, STRIPING, CURB, ETC., AND TO INCLUDE ANY WORK IN DOT R.O.W. AND/OR CITY R.O.W. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
6. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S SITEWORK SPECIFICATIONS AND/OR GEOTECHNICAL REPORT.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS PRECISE BUILDING DIMENSIONS, SIDEWALK AND SPECIFIC BUILDING AREA TREATMENTS AND IMPROVEMENTS.
8. ALL DIMENSIONS SHOWN ON BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
9. CONTRACTOR SHALL PROTECT BUILDING CORNERS, TRANSFORMERS, AND ALL OTHER APPLICABLE STRUCTURES WITH BOLLARDS. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
10. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL SPECIFICATIONS AND GEOTECH REPORT.
11. PARKING LOT STRIPING SHALL BE ACCORDING TO KCMO STANDARDS. ALL STRIPING IS TO HAVE TWO COATS OF PAINT (MIN.).
12. ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF KANSAS CITY, MISSOURI STANDARDS AND SPECIFICATIONS.
13. ALL ACCESSIBLE PARKING SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA REQUIREMENTS).
14. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A LIST OF ALL SUB-CONTRACTORS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OPERATIONS.
15. ALL CURB AND GUTTER SHALL BE TYPE CG-1 UNLESS OTHERWISE NOTED.
16. ALL WORK SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND DESIGN CRITERIA OF THE METROPOLITAN CHAPTER OF APWA AND THE CITY OF KANSAS CITY, MISSOURI IN CURRENT USAGE EXCEPT AS NOTED.
17. ALL RADIARE 4' AT BACK OF CURB UNLESS NOTED OTHERWISE.
18. SHOP DRAWINGS OF EACH STRUCTURE WILL BE SUBMITTED TO THE CONSULTANT FOR THE CONSULTANT'S APPROVAL. ONCE ALL STRUCTURES ARE APPROVED BY THE CONSULTANT THE CONTRACTOR SHALL SUBMIT THE SHOP DRAWINGS TO THE SUPERVISOR OF INSPECTIONS FOR CITY APPROVAL.
19. THE UNDERGROUND DETENTION SYSTEM AND BMP CONSTRUCTION WILL BE PERMITTED BY THE LAND DEVELOPMENT DIVISION UNDER THE PUBLIC AND PRIVATE SEWER PLANS.



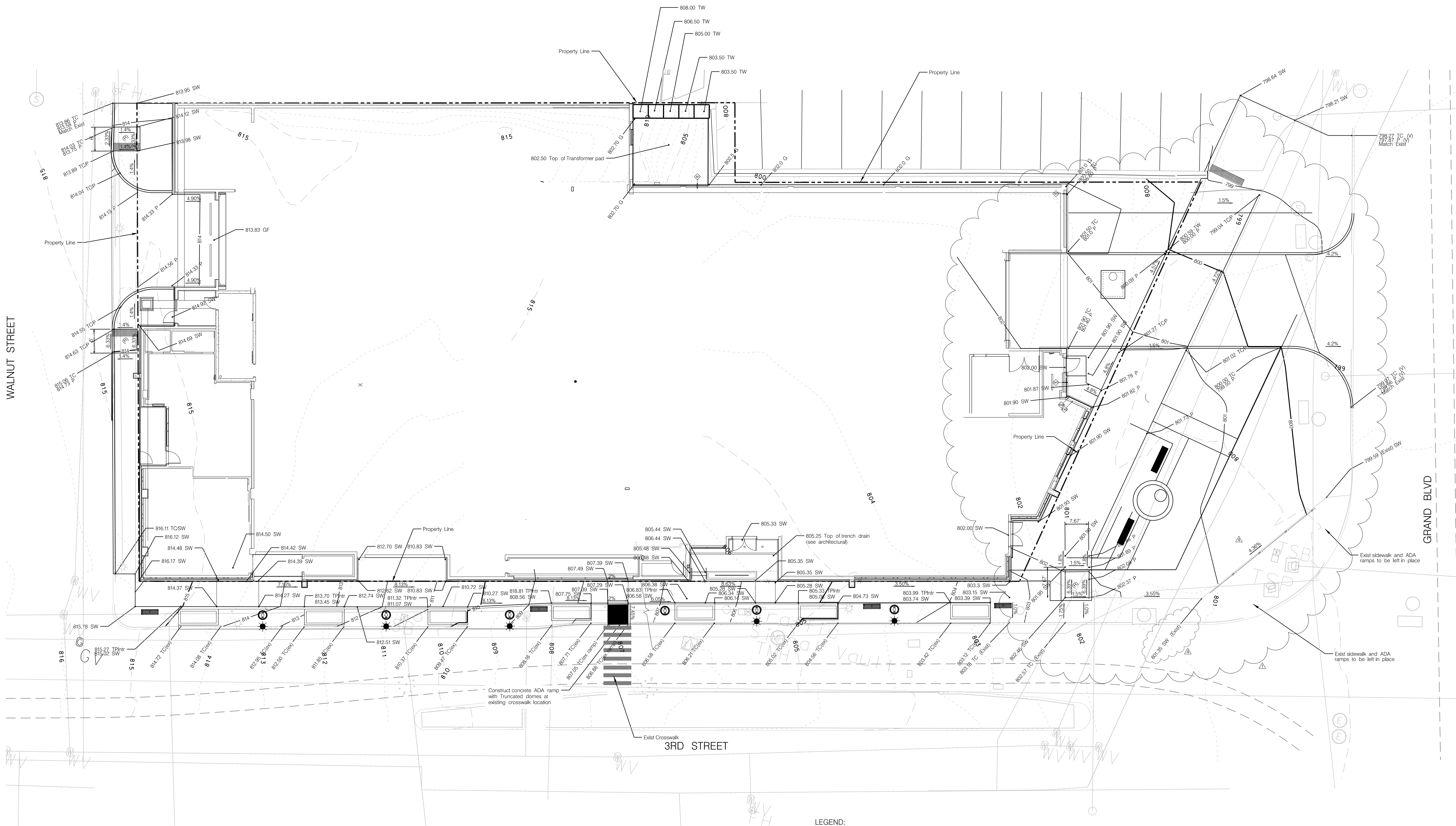
Street Lighting Note:

STREET LIGHTING INFORMATION ON THIS DRAWING SET IS NOT PERMITTED ALONG WITH THE BUILDING DRAWINGS AND IS TO BE PERMITTED THROUGH A SEPARATE STREET LIGHTING CITY SUBMITTAL.

REVISIONS

DATE  
07.18.2022  
JOB NO.  
571115  
DRAWN BY:  
CEE / AAP / NSO  
SHEET NO.





GRADING NOTES:

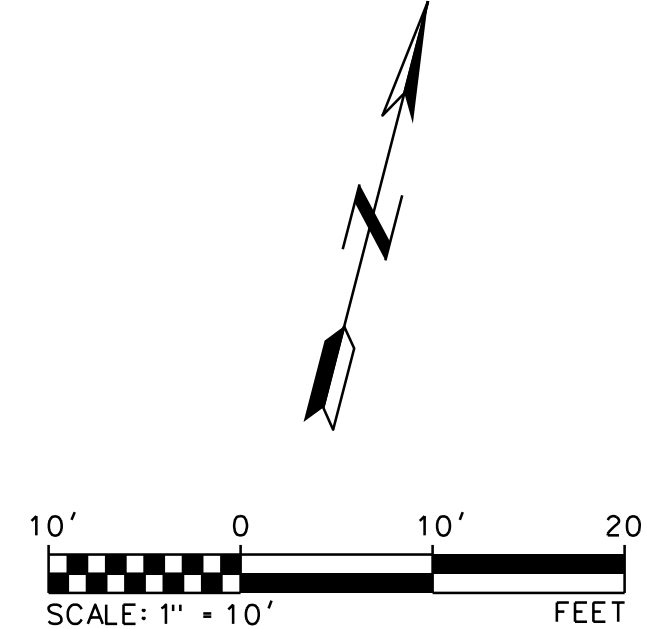
1. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING CURBS, ETC. AND TO INCLUDE ANY WORK IN STATE RIGHT OF WAY AND/OR CITY RIGHT OF WAY. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
3. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT ONE FOOT (1') INTERVALS AND ARE REFERENCED TO KCMO DATUM. THE FINISH CONTOUR LINES SHOWN ARE TO FINISH GRADE FOR TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLAB UNLESS OTHERWISE SHOWN, REFER TO TYPICAL SECTIONS FOR PAVING SLAB AND AGGREGATE BASE THICKNESS TO ADJUST FOR GRADING LINE ELEVATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE NECESSARY PERMITS FOR THE COMPLETION OF EARTHWORK AS SHOWN AND FOR HAULING BORROW MATERIAL IN AND WASTE MATERIAL OFF OF THE SITE.
5. AREAS OF PROPOSED CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION AND TOPSOIL TO A DEPTH OF SIX INCHES (6") OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. THE TOPSOIL SHALL BE STOCKPILED AND REDISTRIBUTED PER THE SPECIFICATIONS. TOPSOIL SHALL NOT BE USED FOR STRUCTURAL FILL IN BUILDING AND PAVEMENT AREAS.
6. TESTING AND INSPECTION OF EARTHWORK SHALL BE PROVIDED BY A TESTING LABORATORY SELECTED BY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF TESTING.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD ADJUST THE TOPS OF ALL MANHOLES AND VALVE/METER BOXES AS NECESSARY TO MATCH THE FINISH GRADE OF ADJACENT AREAS. NO SEPARATE OR ADDITIONAL COMPENSATION SHALL BE MADE TO THE OWNER FOR MAKING FINAL ADJUSTMENTS TO MANHOLES AND BOXES.
8. SOIL FOR FILLING SHOULD BE GRADED AS IT ARRIVES.
9. GRADING SHALL NOT EXCEED A 3% HORIZONTAL TO A 1% VERTICAL SLOPE.
10. THE CONTRACTOR SHALL NOT GRADE OUTSIDE THE PROPERTY LINE UNTIL APPROVED FROM APPROPRIATE REGULATORY AGENCIES.

11. REMOVE FROM THE SITE MATERIAL ENCOUNTERED IN GRADING OPERATIONS THAT, IN THE OPINION OF THE OWNER OR OWNER'S REPRESENTATIVE, IS UNSUITABLE OR UNDESIRABLE FOR BACKFILLING SUBGRADE OR FOUNDATION PURPOSES. SHALL BE DISPOSED OF IN A MANNER SATISFACTORY TO THE OWNER. BACKFILL AREAS WITH LAYERS OF SUITABLE MATERIAL SHALL BE COMPACTED AS SPECIFIED.
12. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, REMOVE TREES, SHRUBS, GRASS, OTHER VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION. REMOVAL INCLUDES DIGGING OUT STUMPS AND ROOTS. DO NOT REMOVE ITEMS ELSEWHERE IN SITE OR PREMISES UNLESS SPECIFICALLY INDICATED.
13. STRIP TOPSOIL TO WHATEVER DEPTHS ENCOUNTERED TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER OBJECTIONABLE MATERIAL. CUT HEAVY GROWTHS OF GRASS FROM AREAS BEFORE STRIPPING. TOPSOIL SHALL CONSIST OF SANDY CLAY SURFICIAL SOIL FOUND IN DEPTH OF NOT LESS THAN 6" SATISFACTORY TOPSOIL IS REASONABLY FREE OF SUBSOIL, CLAY, LUMPS, STONES, AND OTHER OBJECTS OVER 2" IN DIAMETER, WEEDS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
14. STOCKPILE TOPSOIL IN STORAGE PILES IN AREAS SHOWN OR WHERE DIRECTED. CONSTRUCT STORAGE PILES TO FREELY DRAIN SURFACE WATER. COVER STORAGE PILES IF REQUIRED TO PREVENT WIND-BLOWN DUST, DISPOSE OF UNSUITABLE WASTE MATERIAL EXCESS TOPSOIL SHALL BE REMOVED FROM THE SITE BY THE OWNER UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. STOCKPILE SLOPES SHALL NOT EXCEED 3:1. PROTECT LOW-SIDE PERIMETER WITH SEGMENT FENCE PER ESC-10.
15. COMPLETELY REMOVE STUMPS, ROOTS, AND OTHER DEBRIS BELOW PROPOSED SUBGRADE ELEVATION. FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL, UNLESS FURTHER EXCAVATION OR EARTHWORK IS REQUIRED.
16. REMOVE EXISTING SOL ABOVE AND BELOW GRADE IMPROVEMENTS AND ABANDON UNDERGROUND PIPING OR CONDUIT NECESSARY TO PERMIT CONSTRUCTION AND OTHER WORK.

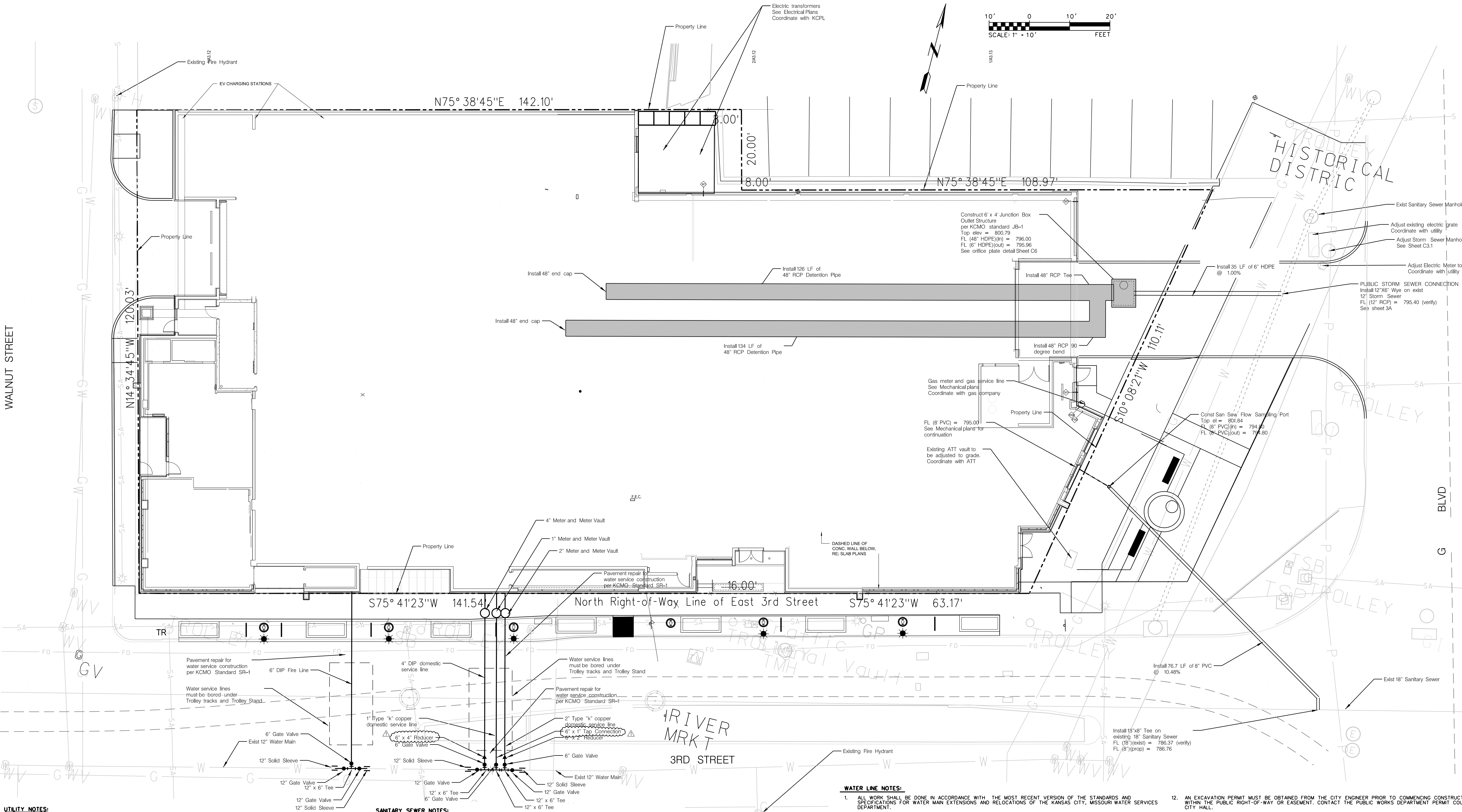
17. UNLESS SPECIFICALLY INDICATED OTHERWISE ON THE DRAWINGS OR IN THE SOIL INVESTIGATION REPORT, AREAS EXPOSED BY EXCAVATION OR STRIPPING AND ON WHICH SUBGRADE PREPARATIONS ARE TO BE PERFORMED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 8" AND COMPACTED TO A MINIMUM OF 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, IN ACCORDANCE WITH ASTM D 698, AT A MOISTURE CONTENT OF NOT LESS THAN 2% BELOW AND NOT MORE THAN 2% ABOVE THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE STANDARD PROCTOR. THESE AREAS SHALL THEN BE PROCTORROLLED TO DETECT ANY AREAS OF INSUFFICIENT COMPACTION. PROCTORROLLING SHALL BE ACCOMPLISHED BY MAKING TWO (2) COMPLETE PASSES WITH A FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUIVALENT, IN EACH OF THE TWO PERPENDICULAR DIRECTIONS UNDER THE SUPERVISION AND DIRECTION OF A FIELD GEOTECHNICAL ENGINEER. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS STATED ABOVE.
18. UNLESS SPECIFICALLY INDICATED OTHERWISE ON THE DRAWINGS, FILL MATERIALS USED IN PREPARATION OF SUBGRADE SHALL BE PLACED IN LIFTS OR LAYERS, NOT TO EXCEED 8" LOOSE MEASURE AND COMPACTED TO A MINIMUM DENSITY OF 95% OF THE STANDARD PROCTOR DRY DENSITY, IN ACCORDANCE WITH ASTM D 698, AT A MOISTURE CONTENT OF NOT LESS THAN 2% BELOW AND NOT MORE THAN 2% ABOVE THE OPTIMUM MOISTURE CONTENT. THE COMPACTION SHOULD BE INCREASED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY IN THE UPPER 24 INCHES OF FILL SUPPORTED PAVEMENT AREAS.
19. ALL GRADING SHALL COMPLY WITH THE GEOTECHNICAL REPORT.
20. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL IN ACCORDANCE WITH THE APPROVED LAND DISTURBANCE PERMIT ISSUED BY THE CITY OF KANSAS CITY, MISSOURI CITY PLANNING AND DEVELOPMENT DEPARTMENT, DEVELOPMENT SERVICES, LAND DEVELOPMENT DIVISION.

LEGEND:

- |        |                              |
|--------|------------------------------|
| (R)    | RAMP                         |
| TC     | TOP OF CURB                  |
| P      | PAVEMENT                     |
| TW     | TOP OF WALL                  |
| SW     | SIDEWALK                     |
| TPIntr | TOP OF PLANTER               |
| TI     | TOP OF INLET                 |
| TCP    | TOP OF CURB AND PAVING FLUSH |
| GF     | GARAGE FLOOR                 |
| (ex)   | EXISTING                     |







- UTILITY NOTES:**
- CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION ADJUSTMENT. OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS. ANY DEVIATION FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, DOMESTIC AND FIRE PROTECTION, WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE.
  - CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING OF TIE-INS/CONNECTION TO THEIR FACILITIES.
  - THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND RELOCATIONS AS REQUIRED WITH THE RESPECTIVE UTILITY COMPANY/OWNER.
  - THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED FOR UTILITY SERVICE CONNECTIONS.
  - ALL WORK SHALL CONFORM TO THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND DESIGN CRITERIA OF THE CITY OF KANSAS CITY, MISSOURI, IN CURRENT USAGE EXCEPT AS NOTED.
  - THE CONTRACTOR SHALL COORDINATE LOCATIONS AND SIZES OF UTILITY SERVICE CONNECTIONS AT THE BUILDING WITH THE ARCHITECTS, MECHANICAL, PLUMBING PLANS AND DETAILS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  - ALL STORM SEWER STRUCTURES SHALL CONFORM TO THE KANSAS CITY METROPOLITAN CHAPTER OF APWA STORM SEWER STANDARDS AND SPECIFICATIONS. ALL INLETS GREATER THAN 7' DEPTH SHALL BE SPECIALLY DESIGNED BY THE PRE-CAST MANUFACTURER. SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MISSOURI. ALL DIMENSIONS ARE INSIDE OF WALL UNLESS OTHERWISE NOTED.
  - ALL STORM SEWER PIPE SHALL BE HDPE, UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ELECTRICAL SERVICE AND TRANSFORMER PAD WITH THE POWER COMPANY.
  - THE CONTRACTOR SHALL COORDINATE LOCATION AND CONSTRUCTION OF GAS SERVICE LINE AND GAS METER WITH THE GAS COMPANY.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL SANITARY SEWER SERVICE LINES FROM THE BUILDINGS TO THE PUBLIC LINE. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND PLUMBING PLANS FOR SPECIFIC LOCATIONS AND ELEVATIONS OF THE SERVICE LINES AT THE BUILDING CONNECTION. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF KANSAS CITY, MISSOURI.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS AND EQUIPMENT AND INSTALLATION OF ELECTRICAL, POWER, TELEPHONE AND GAS SERVICE FROM A POINT OF CONNECTION FROM THE PUBLIC UTILITY LINES TO THE BUILDING STRUCTURES. THIS WILL INCLUDE ALL CONDUITS, SERVICE LINES, METERS, CONCRETE BASES AND ALL OTHER INCIDENTALS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM AS REQUIRED BY THE OWNER AND THE PUBLIC UTILITIES. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SIZE OF UTILITIES SPECIFIC LOCATION OF SERVICE AND ENTRANCE DETAILS OF THE BUILDINGS.
  - THE CONTRACTOR SHALL COORDINATE WITH THE PHONE COMPANY FOR LOCATION AND INSTALLATION OF PHONE SERVICE TO BUILDING. ALL PIPES ENTERING THE STORM SEWER STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTIONS AT STRUCTURES ARE WATERTIGHT.
  - PRIOR TO INSTALLING THE PIPE ALL STORM SEWER PIPE SHALL BE INSTALLED IN A TRENCH CONDITION. CONTRACTOR SHALL FILL EIGHTEEN (18) INCHES MINIMUM ABOVE THE TOP OF THE PIPE.
  - A RIGHT-OF-WAY WORK PERMIT AND/OR STREET EXCAVATION PERMIT SHALL BE OBTAINED BY THE CONTRACTOR TO COMPLETE UTILITY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
  - ALL SANITARY SEWER CLEANOUTS SHALL BE TRAFFIC RATED.

- SANITARY SEWER NOTES:**
- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CURRENT "CITY STANDARD" SPECIFICATIONS AND DEVELOPMENT DIVISION, KANSAS CITY, MISSOURI EXCEPT AS NOTED.
  - BOUNDARY INFORMATION EXISTING UTILITIES, AND TOPOGRAPHIC FEATURES SHOWN ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. HOWEVER, ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXISTING TOPOGRAPHIC FEATURES AND EXISTING UTILITY LOCATIONS AND REPORT ANY DISCREPANCIES TO THE OWNER REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
  - THE BASE DRAWINGS, INCLUDING EXISTING FEATURES AND TOPOGRAPHIC INFORMATION WAS PROVIDED TO THE ENGINEER BY THE DEVELOPER. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR DISCREPANCIES FROM DRAWINGS GENERATED.
  - ALL UTILITIES SHOWN OR NOT SHOWN DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
  - ALL APPLICABLE PERMITS MUST BE OBTAINED FROM THE CITY ENGINEER PRIOR TO COMMENCING CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY.
  - THE CONTRACTOR SHALL CONTACT THE KCMO PERMITS SECTION NO LESS THAN 24 HOURS PRIOR TO STARTING WORK ON THIS JOB, ANY CURB WORK AND FOR A FINAL INSPECTION BEFORE LEAVING THE JOB SITE.
  - ALL MANHOLES SHALL HAVE BOLT DOWN LIDS.
  - CONTRACTOR TO PROVIDE AS-BUILT MARKUPS AND A LETTER CERTIFYING THE MARKUPS TO BE AS CONSTRUCTED TO THE ENGINEER AFTER CONSTRUCTION.
  - PIPE LENGTHS SHOWN ARE MEASURED CENTER TO CENTER OF MANHOLE IN THE HORIZONTAL DIRECTION.
  - PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. PRECAST SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MISSOURI. UPON APPROVAL, THESE SHOP DRAWINGS SHALL BE SUBMITTED TO THE SUPERVISOR OF INSPECTORS FOR CITY APPROVAL.
  - DEGRADATION PERMIT, EXCAVATION PERMIT, TRAFFIC CONTROL AND STREET CLOSURE PERMITS WILL BE REQUIRED FROM PUBLIC WORKS PRIOR TO CONSTRUCTION CONTACT 513-2678 FOR PERMIT REQUIREMENTS.
  - PRIOR TO CONNECTION TO THE PUBLIC SANITARY SEWER MAIN A SECC2 AUTHORIZATION TO CONNECT PERMIT, AN EXCAVATION PERMIT AND A WATER INSPECTION PERMIT WILL BE REQUIRED.

**WATER LINE NOTES:**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS OF THE KANSAS CITY, MISSOURI WATER SERVICES DEPARTMENT.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL FITTINGS REQUIRED TO PROVIDE PROPER HORIZONTAL AND VERTICAL ALIGNMENT FOR NEW WATER MAINS, CONNECTIONS TO EXISTING WATER MAINS AND INSTALLATION OF FIRE HYDRANTS AT THE PROPER LOCATION AND ELEVATION. WHETHER OR NOT THE FITTINGS ARE CALLED OUT ON THESE DRAWINGS, INCLUDING MODIFICATION OF EXISTING INFRASTRUCTURE REQUIRED TO MAKE ALL OF THE WORK CONFORM TO CURRENT WSD STANDARDS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY BLOW-OFF ASSEMBLIES, FITTINGS, THRUST BLOCKING, AND RESTRAINING DEVICES REQUIRED FOR TEMPORARY CONNECTIONS FOR FLUSHING, PRESSURE TESTING, CHLORINATION, AND DE-CHLORINATION OF THE NEW WATER MAINS. PRIOR TO PLACING NEW MAINS IN SERVICE, THE CONTRACTOR SHALL REMOVE ANY CORROSION COCKS USED FOR TESTING OR CHLORINATION AND REPLACE THEM WITH TAPERED BRASS PLUGS.
- THE CONTRACTOR SHALL INSTALL POLYETHYLENE ENCASEMENT ON ALL WATER MAINS, VALVES, FITTINGS, AND OTHER APPURTENANCES FOR THE FULL LENGTH OF THE PROJECT IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS OF THE KANSAS CITY, MISSOURI WATER SERVICES DEPARTMENT.
- SCHEDULING OF WATER MAIN SHUTS AND CONNECTION TO EXISTING MAINS SHALL BE AT THE DISCRETION OF THE WATER SERVICES DEPARTMENT.
- ALL FIRE HYDRANT BRANCHES SHALL BE RESTRAINED USING APPROVED RESTRAINING DEVICES. HYDRANTS SHALL BE INSTALLED SO THAT THE CENTERLINE OF THE OUTLET NOZZLE IS BETWEEN EIGHTEEN AND TWENTY-ONE INCHES (18" - 21") ABOVE FINISHED GRADE, AND SO THAT THERE IS A MINIMUM CLEAR AREA OF 5' IN EACH DIRECTION TO ALLOW OPERATION OF THE HYDRANT.
- SECTIONS OF WATER MAIN REQUIRING MULTIPLE BENDS, SUCH AS CUL-DE-SACS, SHALL BE RESTRAINED WITH APPROVED JOINT RESTRAINING DEVICES AND STRADDLE BLOCKS IN LIEU OF BACKING BLOCKS.
- THE LOCATION OF EXISTING UTILITIES, AS SHOWN, ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL COMPLY WITH STATE LAW REQUIRING ANY PERSON OR FIRM DOING EXCAVATION ON THE PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO AND OBTAINING INFORMATION FROM THE UTILITY COMPANIES.
- STREETS AND PARKING AREAS ARE TO BE TO GRADE AND CURBS IN PLACE PRIOR TO CONSTRUCTION OF WATER MAINS. WATER MAINS SHALL BE INSTALLED WITH A MINIMUM GROUND COVER OF 42 INCHES BELOW FINISHED GRADE. SIXTEEN (16)-INCH AND LARGER WATER MAINS SHALL BE INSTALLED WITH MINIMUM GROUND COVER OF 60 INCHES BELOW FINISHED GRADE.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET, HORIZONTALLY FROM ANY SEWER WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET. A WATER MAIN MAY BE LAID CLOSER THAN 10 FEET TO A SEWER, PROVIDED THAT THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER, AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 24 INCHES ABOVE THE TOP OF THE SEWER. WATER MAINS SHALL BE LAID SUCH THAT THERE IS A MINIMUM OF 24 INCHES CLEARANCE BETWEEN THE PIPE WALL AND THE EXTERIOR OF ANY MANHOLE AND/OR INLET ON THE SEWER LINE.

WHENEVER A WATER MAIN MUST CROSS ABOVE A SEWER, A VERTICAL SEPARATION OF 24 INCHES BETWEEN THE BOTTOM OF THE WATER MAIN AND THE TOP OF THE SEWER SHALL BE MAINTAINED. WHENEVER A WATER MAIN MUST CROSS UNDER A SEWER, A VERTICAL SEPARATION OF 24 INCHES BETWEEN THE BOTTOM OF THE SEWER AND THE TOP OF THE WATER MAIN SHALL BE MAINTAINED. A FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ON THE SEWER TO BE CROSSED SO THAT THE JOINTS WILL BE EQUALLY DISTANT FROM THE SEWER AND AS FAR AWAY AS POSSIBLE. THE 24 INCH VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN 10 FEET, HORIZONTALLY, OF ANY SEWER IT CROSSES.

WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL SEPARATION AS STIPULATED ABOVE, OR WHEN THE WATER MAIN MUST CROSS UNDER THE SEWER, THE SEWER MUST BE RECONSTRUCTED OF DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF SECTION 02618 OF THE STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS. PRE-STRESSED CONCRETE CYLINDER PIPE MEETING THE REQUIREMENTS OF SECTION 02618 OR PVC PRESSURE PIPE CONFORMING TO AWWA C-900 OR C-905, SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING. THE REQUIRED LENGTH OF THE SEWER TO BE REPLACED OR RECONSTRUCTED OF PRESSURE PIPE WILL BE THE LENGTH NECESSARY TO ACHIEVE 10 FEET HORIZONTAL SEPARATION.

WHEN THESE CONDITIONS CANNOT BE MET, THE WATER SERVICE DEPARTMENT SHALL BE CONSULTED AS TO THE PRECAUTIONS TO BE TAKEN TO PROTECT THE PUBLIC WATER SUPPLY.

- AN EXCAVATION PERMIT MUST BE OBTAINED FROM THE CITY ENGINEER PRIOR TO COMMENCING CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR EASEMENT. CONTACT THE PUBLIC WORKS DEPARTMENT PERMIT COUNTER AT CITY HALL.
- A STREET CLOSURE PERMIT MAY BE REQUIRED FOR THIS WORK. CONTACT THE STREET AND TRAFFIC DIVISION OF THE PUBLIC WORKS DEPARTMENT AT CITY HALL.
- ALL WORK SHALL CONFORM TO THE LATEST REVISION OF THE KANSAS CITY, MISSOURI EROSION AND SEDIMENT CONTROL SPECIFICATIONS WHICH ARE MADE A PART HEREOF BY REFERENCE. EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER, PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE START OF THIS PROJECT.
- SERVICE LINES SHALL HAVE A COVER OF NOT LESS THAN FOUR (4) FEET NOT MORE THAN FIVE (5) FEET, UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR CLEARANCE.
- ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

REVISIONS

DATE  
07.18.2022  
JOB NO.  
571115  
DRAWN BY:  
CEE / AAP / NSO  
SHEET NO.

UTILITY PLAN C4

A MULTIFAMILY DEVELOPMENT FOR:

**OAKS - River Market**  
110 E. 3rd St,  
Kansas City, Missouri

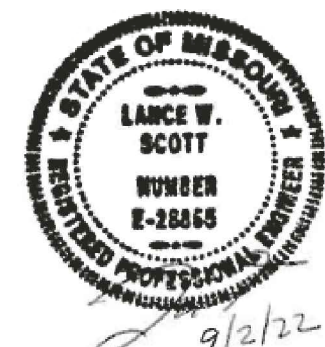
DRAWING RELEASE LOG  
▲ 09.05.2022-CITY COMMENTS

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
INTERIORS  
ENERGY SERVICES

**NSPJ**

ARCHITECTS<sup>PA</sup>  
3515 W. 75TH ST., SUITE 201  
PRAIRIE VILLAGE, KS 66208

P. 913.831.1415  
F. 913.831.1563  
NSPARCH.COM





PLANT LIST

Common Name	Botanical Name	Size	Notes
<b>Deciduous Trees</b>			
JTL	Japanese Tree Lilac	2" cal.	B&B
SCM	Sugar Cone Sugar Maple	2" cal.	B&B
ZEL	Musashino Columnar Zelkova	2" cal.	B&B
<b>Evergreen Shrubs</b>			
BXW	'Sprinter' Boxwood	5 Gal.	24" min.
GMC	'Gold Mop' Cypress	5 Gal.	24" min.
HXY	Hicksii Yew	5 Gal.	48" min.
<b>Deciduous Shrubs</b>			
LHS	'Little Henry' Sweetpire	2 Gal.	24" min.
RDR	Red Drift Rose	2 Gal.	
<b>Grasses</b>			
KFG	'Karl Foerster' Grass	2 Gal.	
PDS	'Prairie Dropseed	2 Gal.	
VLR	'Variegated Linopae'	6" pot	
<b>Perennials</b>			
CRB	'Carmel Peach Parfait' Coral Bells	1 Gal.	
HOS	'Frances William' Hosta	1 Gal.	
MNS	'May Night' Salvia	1 Gal.	
<b>Vines</b>			
IVY	'Hedera Helix 'Batika'	6" pot	

LANDSCAPE REQUIREMENTS

STREET TREES (88-425-R1):

1. 1 TREE PER 30 LF OF STREET FRONTAGE.  
WALNUT ST. = +/-120 LF/30 LF = 4 TREES  
REQUIRED: 4 TREES  
PROVIDED: 0 TREES\*\*

\*\*SITE CONDITIONS PREVENT THE SAFE AND EQUITABLE USE OF STREET TREES IN THE QUANTITIES REQUIRED.

STREET TREES (RIVER MARKET STREETSCAPE + AMENITIES PLAN):

1. MARKET DISTRICT: TREES 30FT O.C. WITH BEDS ON ENDS STARTING 5FT FROM ENDS OF BUILDING.  
E. 3RD ST. 7 TREES  
GRAND BLVD. 4 TREES



7 SPECIALTY PAVING

NTS



6 PLANTER POT

NTS



5 SEATING ELEMENT

NTS



4 BIKE RACK

NTS



3 LITTER RECEPCTACLE

NTS



2 PEDESTRIAN LIGHT FIXTURE

NTS

NOTE: ALL PLANTING SOIL FILL ON PODIUM COURTYARD TO BE A SOIL WEIGHT OF 120PCF OR LESS (WHEN FULLY SATURATED). PROVIDE MIX DESIGN PERCENTAGES OF CLAY/SHALE, PEAT, SAND, AND ORGANIC COMPOST. SUBMIT PRODUCT INFO. TO LANDSCAPE ARCHITECT FOR APPROVAL.

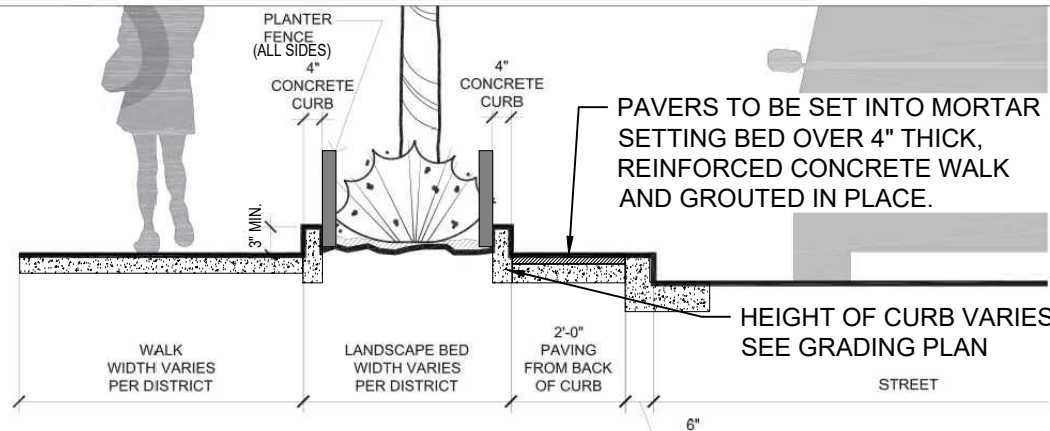
PARKLAND DEDICATION REQUIREMENTS WILL BE MET VIA 88-408-C. PAYMENT IN LIEU OF LAND DEDICATION.

3RD STREET STREETSCAPE PRODUCT LIST:

- PEDESTRIAN LIGHT FIXTURE:  
POLE - AAL: PR4 14" POLE (BLACK)  
BASE - AAL: BC5 24" HT. 2 PIECE DECORATIVE BASE COVER (BLACK)  
LITTER RECEPTACLE:  
VICTOR STANLEY: 36-GAL. ES-142 (BLACK WITH DOME LID)  
BIKE RACK:  
VICTOR STANLEY: BRBS-103 (BLACK) - OR APPROVED EQUAL  
SEATING ELEMENT:  
VICTOR STANLEY: 4' CR-10 WITH MID-RAIL (BLACK)  
SPECIALTY PAVING:  
4'x8' ENDICOTT (ROSE BLEND)  
PLANTER POT:  
VICTOR STANLEY: 18 GAL. S-24 (BLACK)



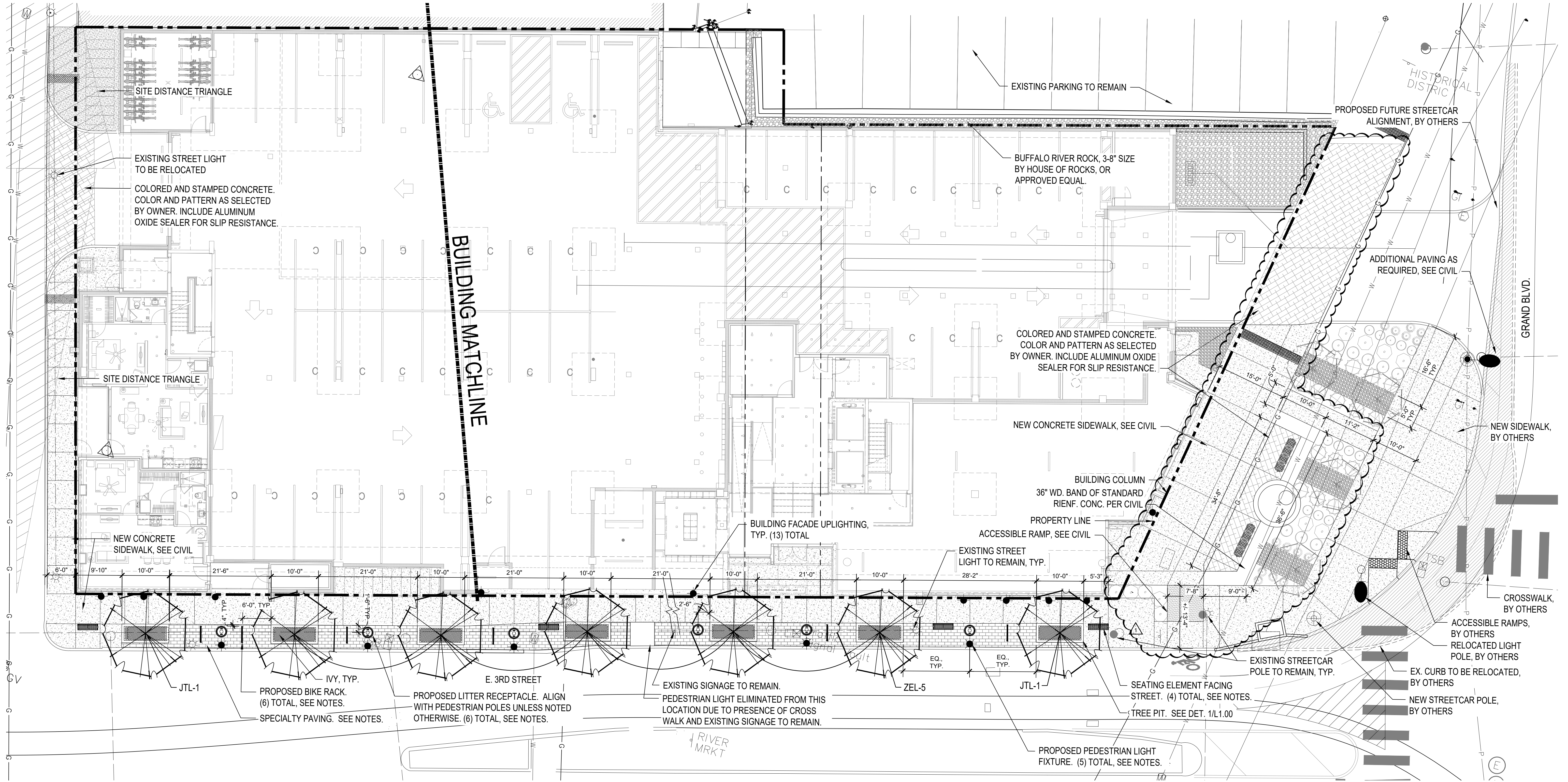
PLANTER FENCE:  
Existing (Black)



LANDSCAPE BED:  
4" Poured in Place Concrete Curb Edge (Gray) with Planter Fence

1 TYP. TREE PIT DETAIL

NTS



GENERAL NOTES:

- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
- THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:  
A. CREEPING GROUND COVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.  
B. ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.  
C. ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.  
D. ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
- NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES. SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
- REFER TO L1.00 SERIES SHEETS FOR LANDSCAPE PLANTINGS & ROCK MATERIALS.
- REFER TO L2.00 SERIES SHEETS FOR SITE AMENITIES.
- REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.

- IN THE EVENT OF WORK IN OR ON THE SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
- ROCK BEDS SHALL BE MEXICAN BEACH PEBBLES. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.

STREETSCAPE PLAN

SCALE 1"=10'-0"



DATE  
09.02.2022  
JOB NO.  
720022  
DRAWN BY:  
CEE/JAN/AAP/NSO/  
CPC/BNH  
SHEET NO.

DEVELOPMENT PLAN

L1.00

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
INTERIORS  
ENERGY SERVICES  
P. 913.831.1415  
F. 913.831.1563  
NSPIARCH.COM  
© COPYRIGHT 2023



07.02.2022

A MULTIFAMILY DEVELOPMENT FOR:  
**OAKS - River Market**  
110 E 3rd St,  
Kansas City, Missouri

DRAWING RELEASE LOG  
● 07.18.2022 - DEVELOPMENT PLAN  
● 09.02.2022 - DEVELOPMENT PLAN  
RESUBMITTAL

REVISIONS  
▲ 09.02.2022 - DEVELOPMENT  
PLAN RESUB





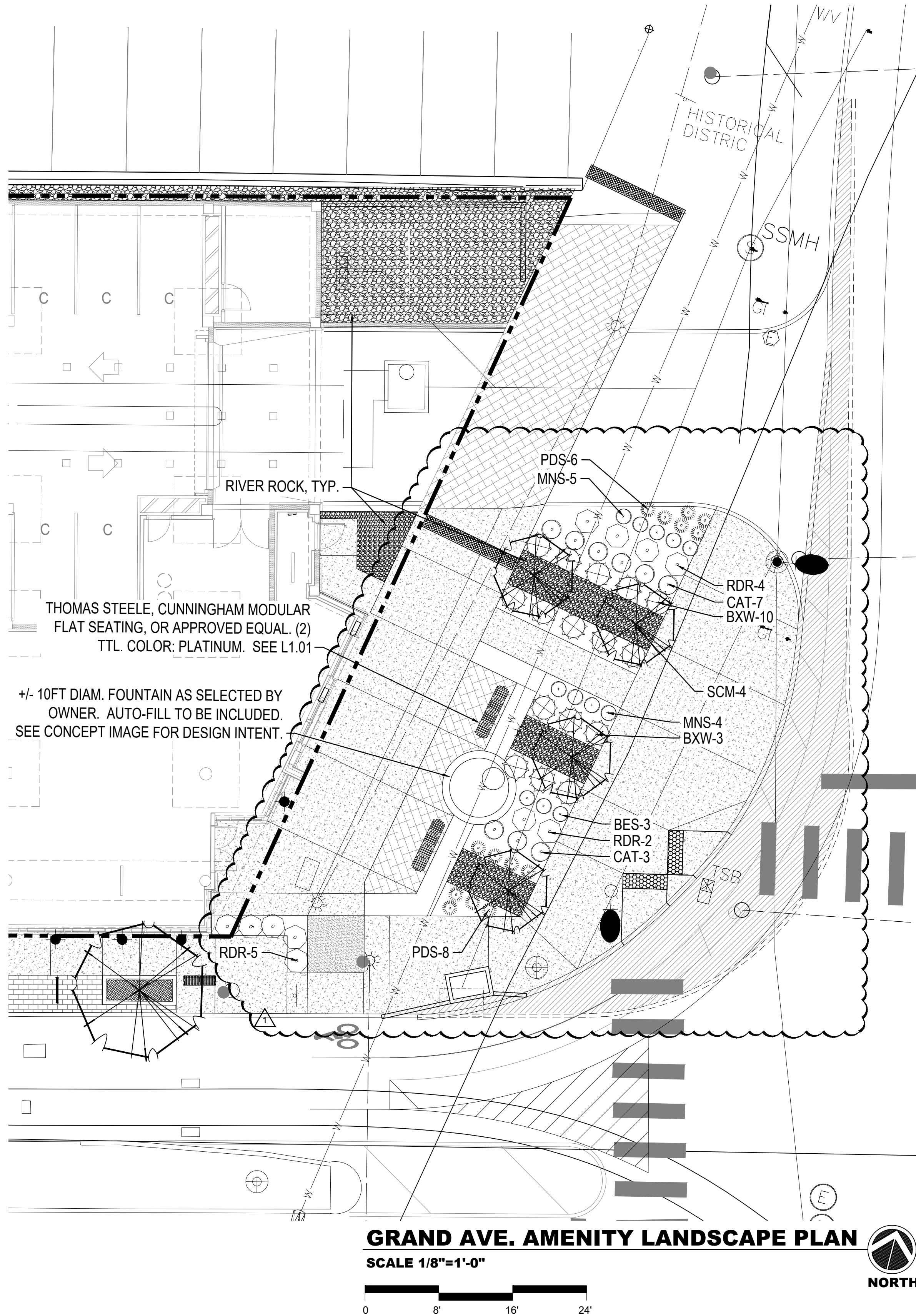
2 PATIO FOUNTAIN - CONCEPT IMAGE  
NTS



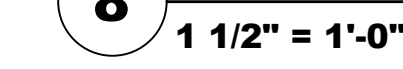
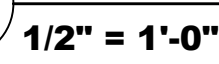
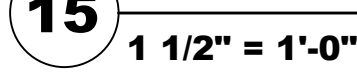
1 PATIO BENCH - CONCEPT IMAGE  
NTS

Common Name	Botanical Name	Size	Notes
<b>Deciduous Trees</b>			
JTL Japanese Tree Lilac	Syringba reticulata 'Ivory Silk'	2" cal.	B&B
SCM Sugar Cone Sugar Maple	Acer saccharum 'Sugar Cone'	2" cal.	B&B
CEL Muscadine Cucumber Tree	Zelkova serotina 'Muscadine'	2" cal.	B&B
<b>Evergreen Shrubs</b>			
BXW Sprinter Boxwood	Buxus microphylla 'Sprinter'	5 Gal.	24" min.
GMC Gold Mop Cypress	Chamaecyparis pisifera 'Yellow Thread Branch'	5 Gal.	24" min.
HXY Hickel Yew	Taxus x media 'Hickel'	5 Gal.	48" min.
<b>Deciduous Shrubs</b>			
LHS Little Henry Sweetspire	Itea virginica 'Little Henry's Garnet'	2 Gal.	24" min.
RDR Red Drift Rose	Rosa 'Meigalpo'	2 Gal.	
<b>Grasses</b>			
KFS Karl Foerster Grass	Calamagrostis x acutiflora 'Karl Foerster'	2 Gal.	
PDS Prairie Dropseed	Sporobolus heterolepis	2 Gal.	
VLR Variegated Linope	Liriope muscari 'Variegata'	6" pot	
<b>Perennials</b>			
CRB Carnival Peach Parfait Coral Bells	Heuchera 'Carnival Peach Parfait'	1 Gal.	
HOS Frances William Hosta	Hosta 'Frances William'	1 Gal.	
MNS May Night Salvia	Salvia sylvestris 'May Night'	1 Gal.	
<b>Vines</b>			
IVY Hedera Helix 'Baltica'	English Ivy	6" pot	

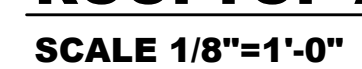
- GENERAL NOTES:
- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
  - THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
    - A CREEPING GROUND COVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
    - ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
    - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
    - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
  - NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES. SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS FOR IRRIGATION SYSTEM DESCRIPTION.
  - REFER TO L1.00 SERIES SHEETS FOR LANDSCAPE PLANTINGS & ROCK MATERIALS.
  - REFER TO L2.00 SERIES SHEETS FOR SITE AMENITIES.
  - REFER TO L3.00 SERIES SHEETS FOR PLANTING DETAILS & SPECIFICATIONS.
  - IN THE EVENT OF WORK IN OR ON THE SANITARY MAIN, ANY TREES OR PLANTINGS PLACED WITHIN THE SEWER EASEMENT MAY BE REMOVED WITHOUT REPLACEMENT OR COMPENSATION THERE OF AND SHALL BE REPLACED BY THE PROPERTY OWNER AS REQUIRED BY THE CITY.
  - ROCK BEDS SHALL BE MEXICAN BEACH PEBBLES. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.



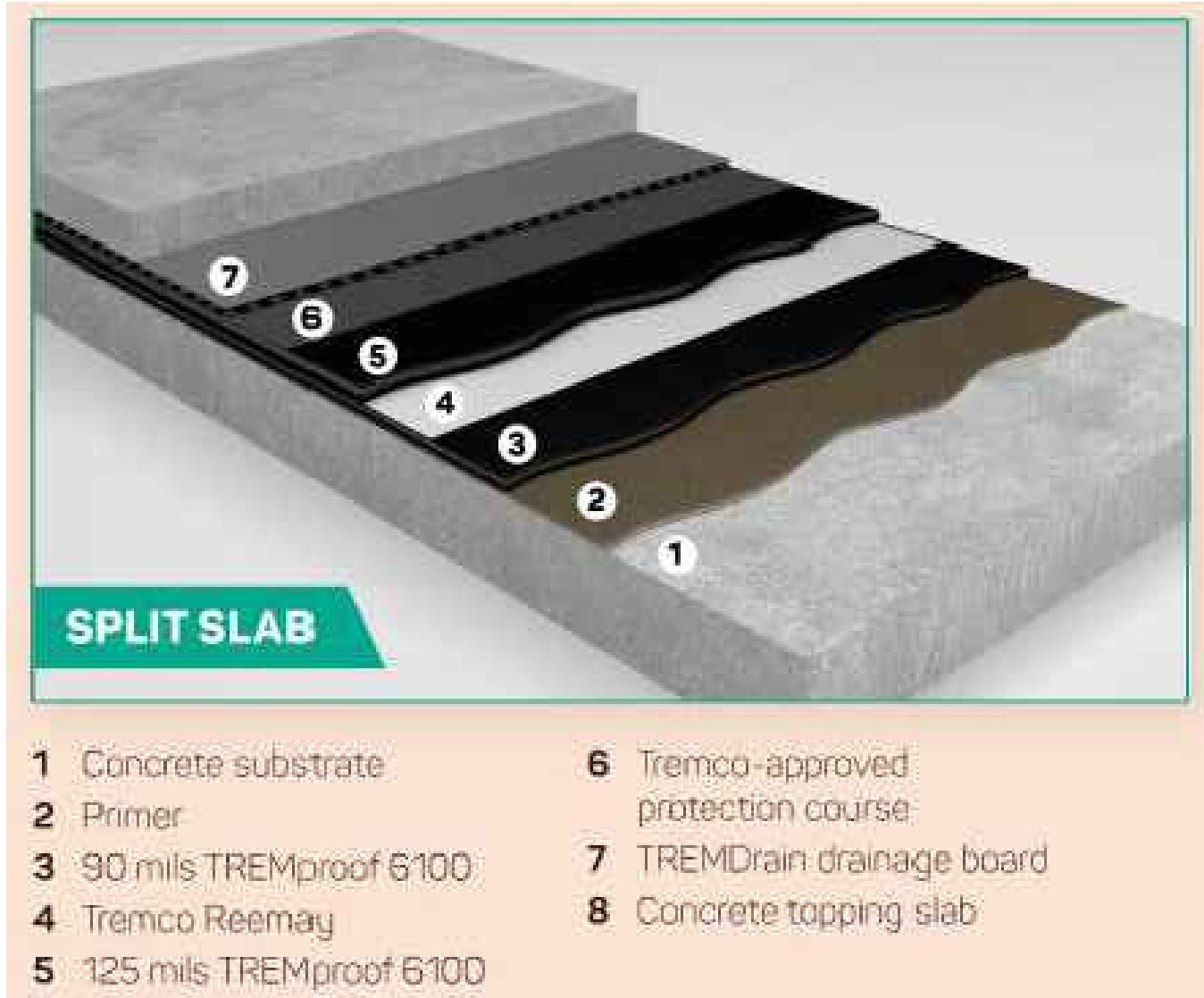




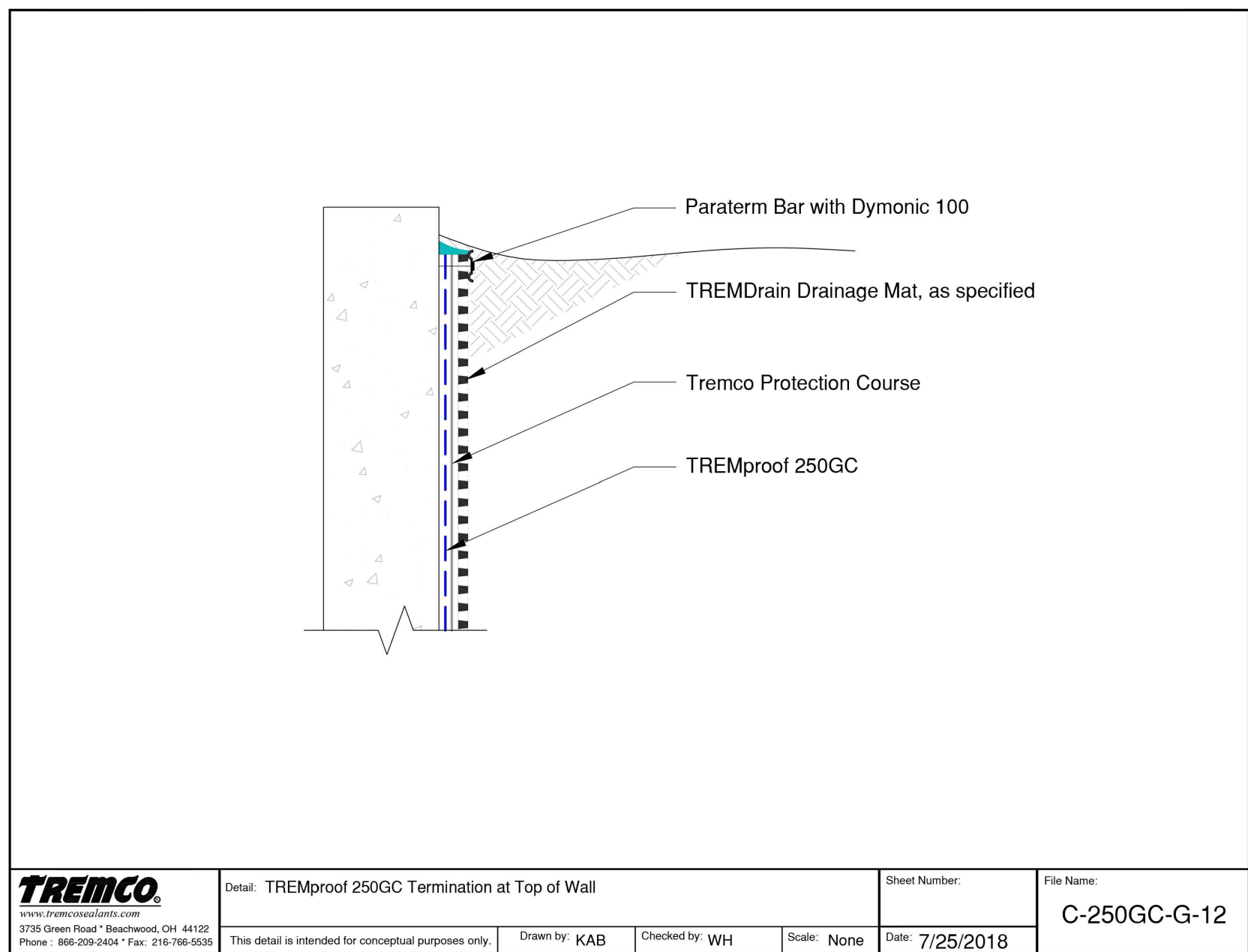
- 19 SLAB DRAIN & DRAIN RISER ASSEMBLY - REFER TO MEP PLANS.
- 20 DRAIN GRATE/COVER PER MEP PLANS
- 21 RIVER ROCK PER SPECS, 12" DIAM. AROUND ALL DRAINS OR AS SHOWN IN PLAN. ALL LANDSCAPE BEDS, TYP.
- 22 REINFORCE ALL WATER PROOFING/DRAINAGE AT ALL CORNERS
- 23 WALL BELOW, SEE ARCH.
- 24 SHEET METAL FLASHING. TIE TO EXISTING BUILDING PER MANUF. WRAP OVER END OF WATERPROOFING. SEE ARCH. FOR SIM. COLOR AS SELECTED BY OWNER
- 25 EXISTING BUILDING TO REMAIN
- 26 SITE FENCE, SEE SHEET L2.00. LOCATE POSTS TO CONC. PER MANUF. SPECS
- 27 SYNTHETIC TURF, SEE 6/L2.00. USE 3/8-1/2" CLEAN, ANGULAR GRAVEL FOR DRAINAGE BELOW. THICKNESS OF GRAVEL TO BE SUCH THAT SURFACE OF SYN. TURF IS FLUSH TOP OF TOPPING SLAB.
- 28 BRONZE COLORED SHEET METAL FLASHING. WRAP OVER END OF WATERPROOFING AND/OR WALL VENEER. SEE ARCH. FOR SIM.
- 29 SLEEVE FOR IRRIG. & ELECTRICAL. RE: MEP/ARCH. PIPE PEN. DTLS.
- 30 NYLON ZIPTIE OR SS CLAMP
- 31 3-HOUR STOPPING ASSEMBLY, TYP.
- 32 CLEAN GRAVEL DRAINAGE LAYER AT BOTTOM OF PLANTERS. 6" DEPTH, TYP.
- 33 TAPERED INSULATION, SLOPE TO DRAIN.
- 34 APPLY WATER PROOFING AROUND NAILER BOARD AND ANCHORS.



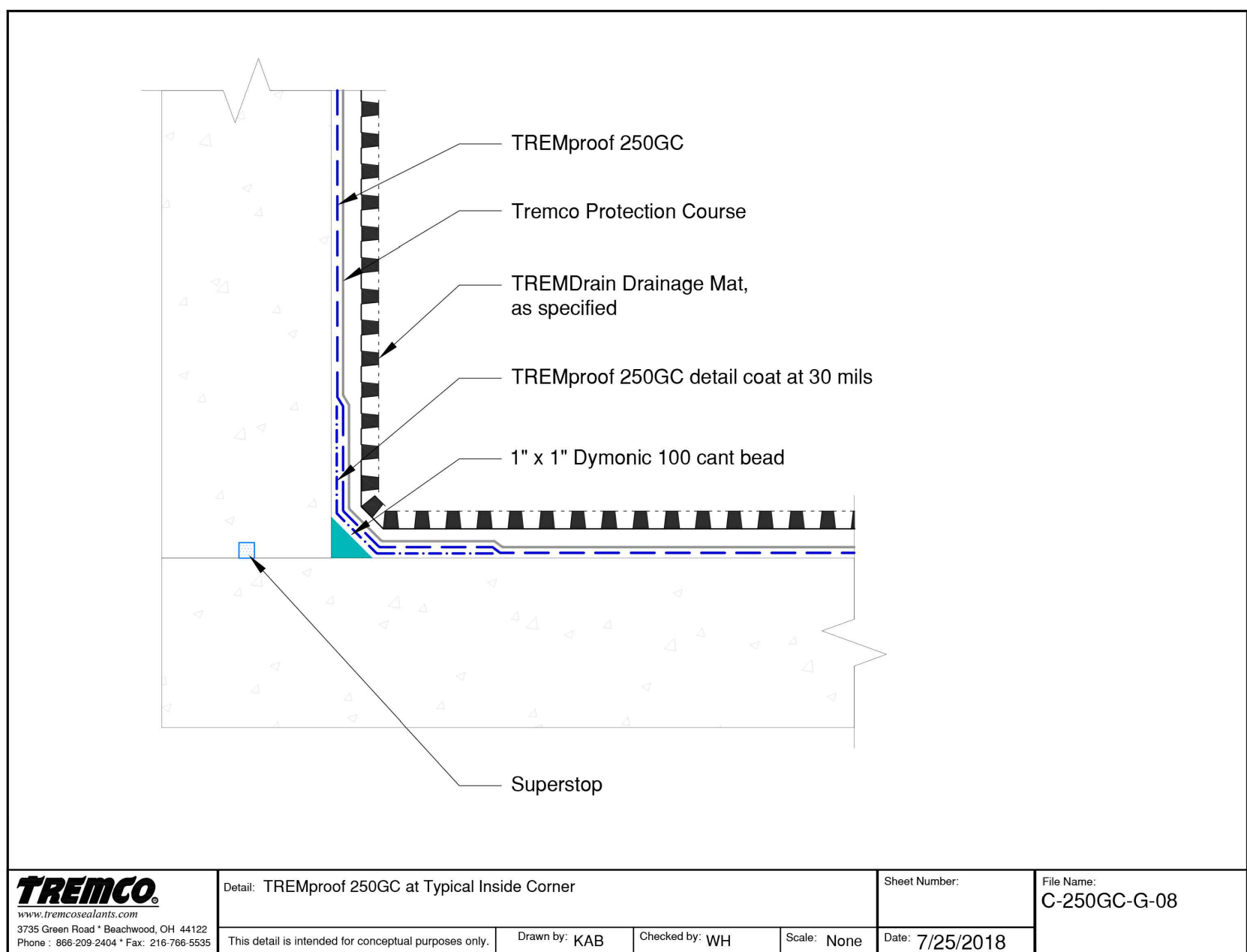




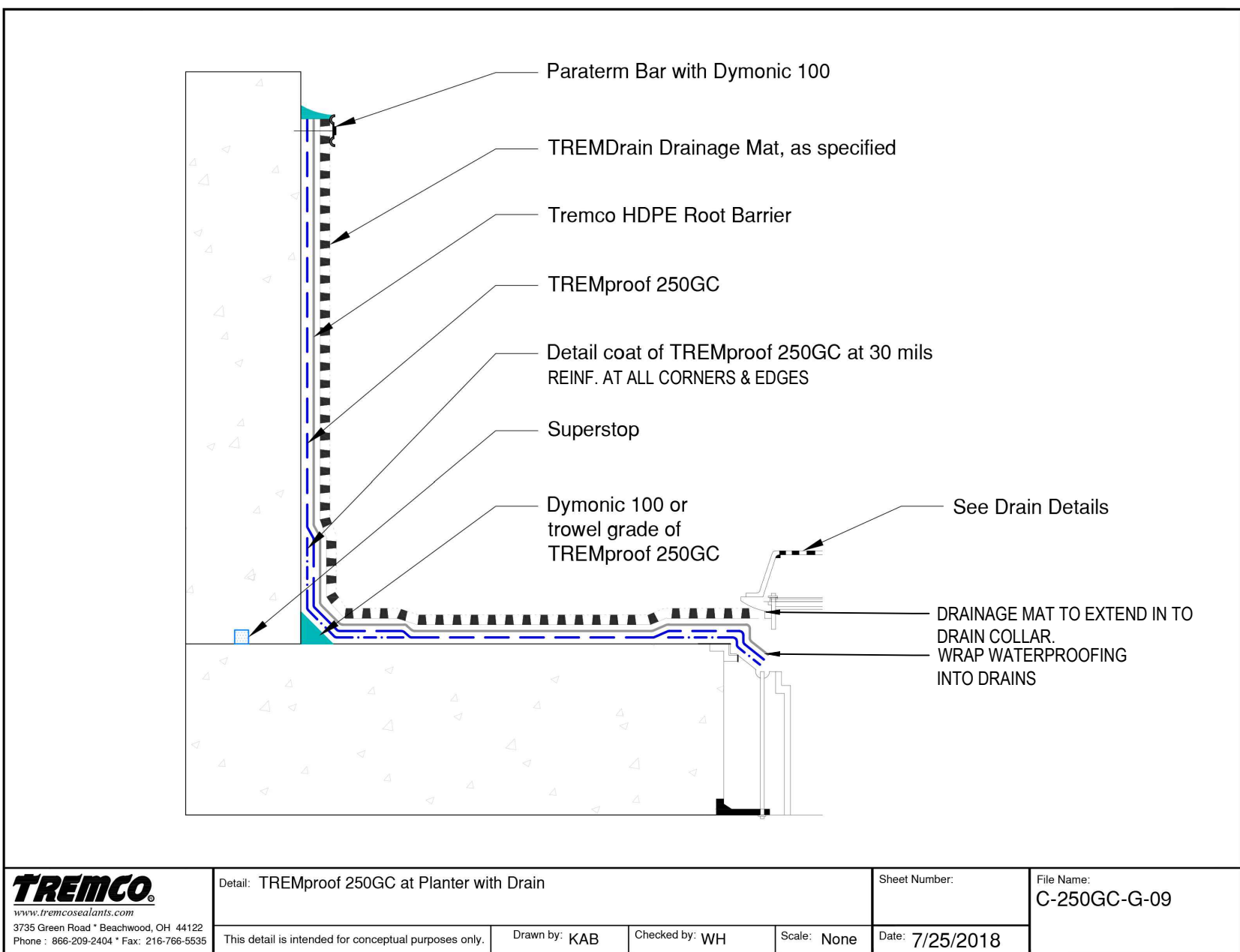
4 **TREMCO WATERPROOFING & DRAINAGE**  
NTS



3 **TYP. TERMINATION AT TOP OF WALL**  
NTS

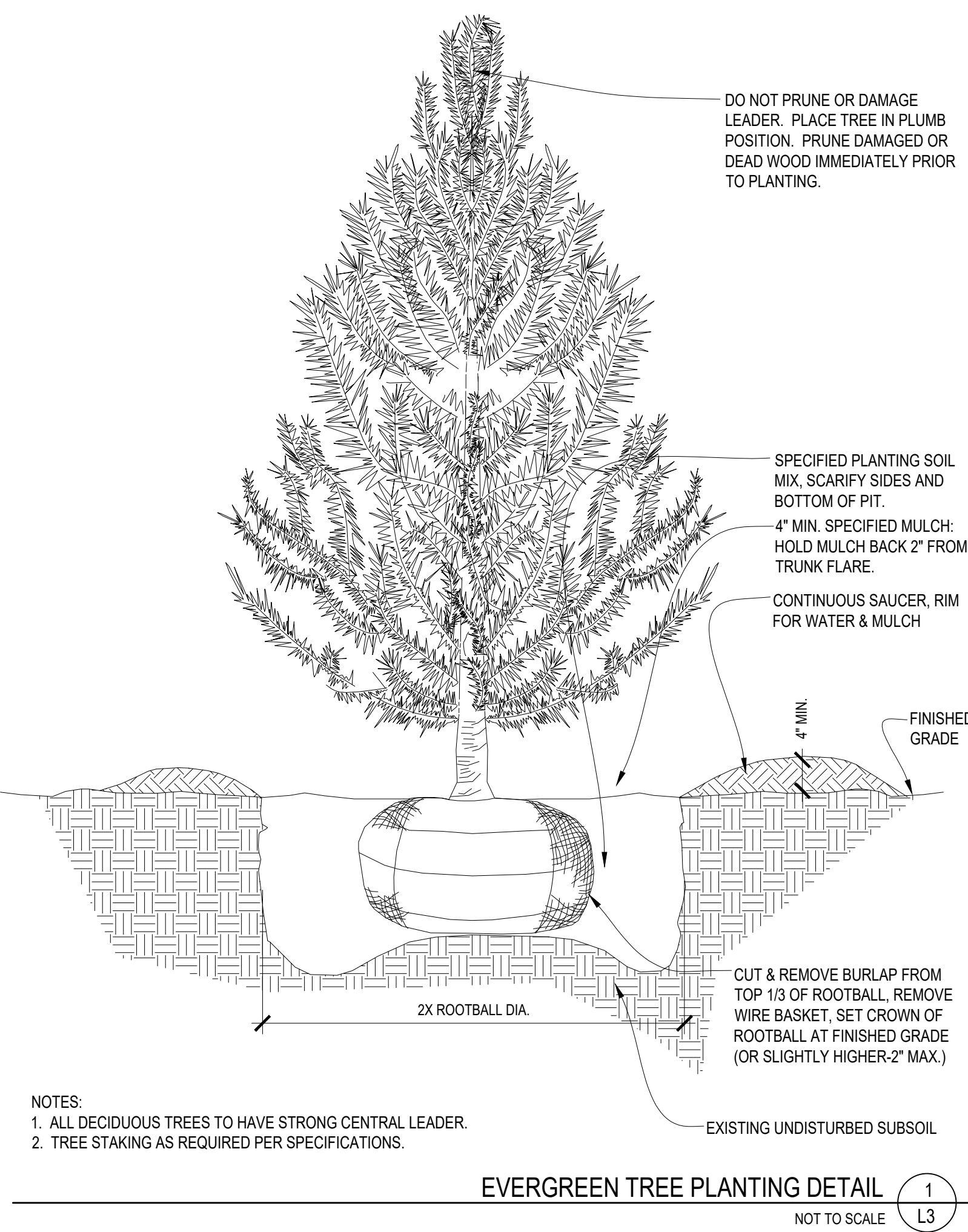
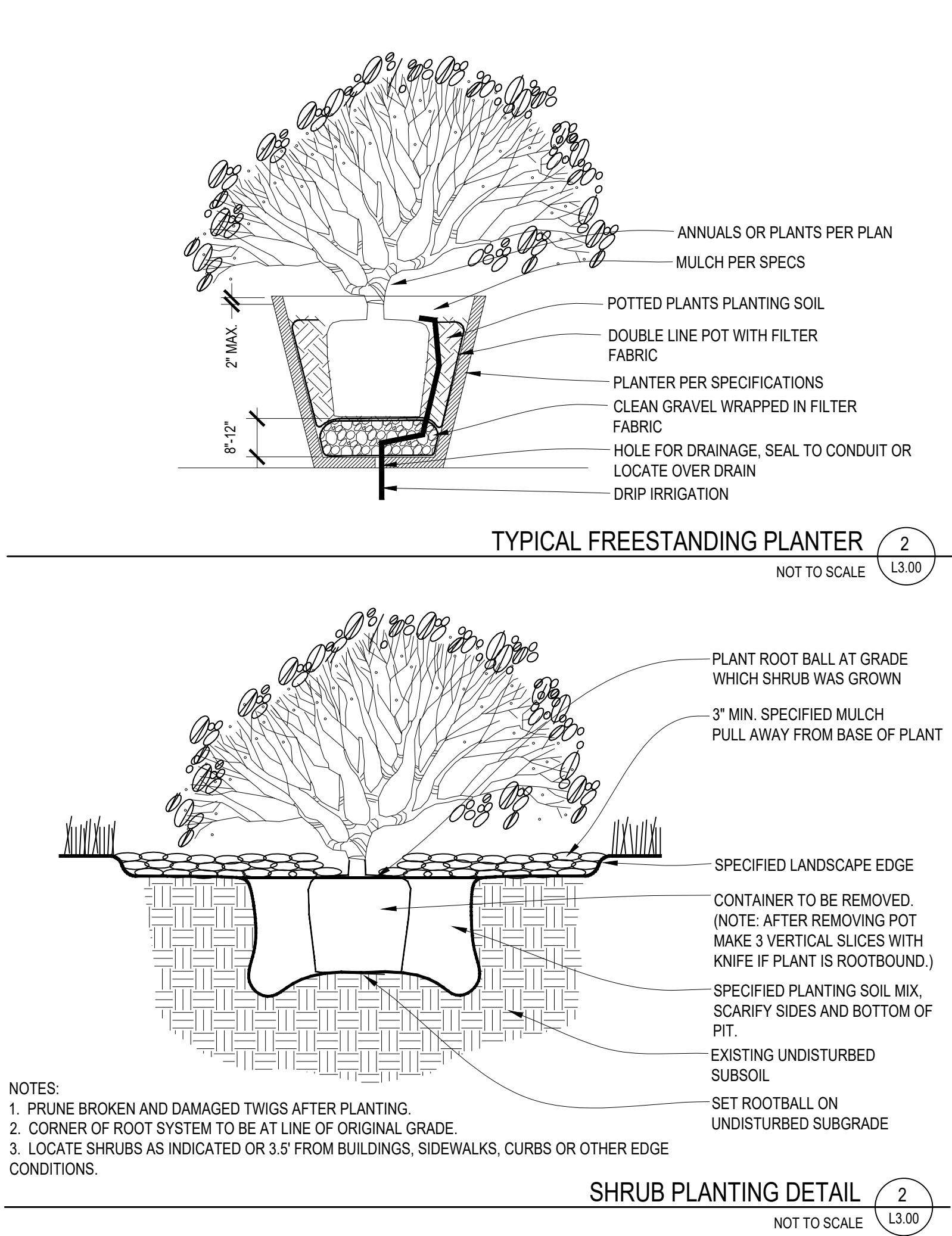
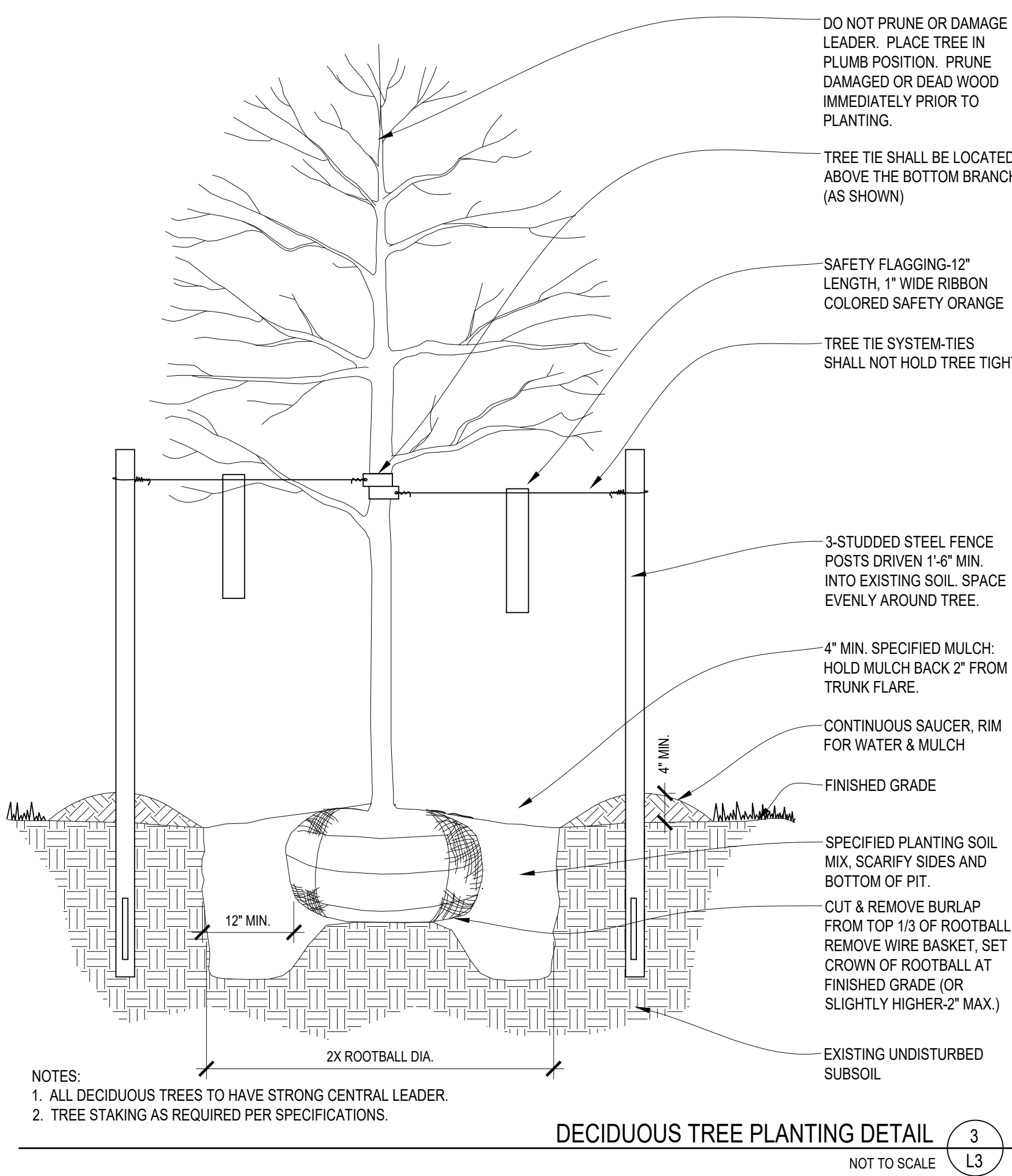
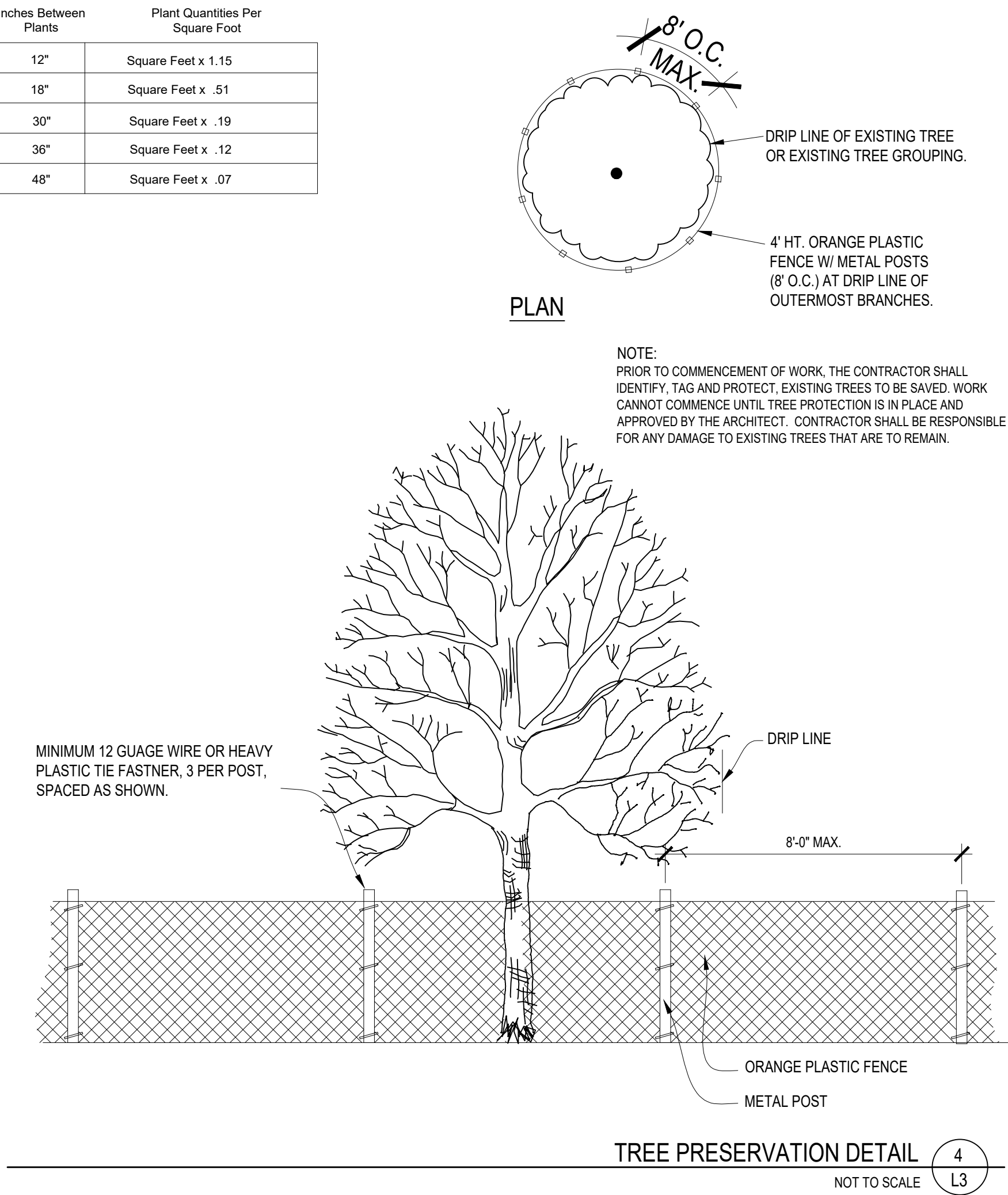
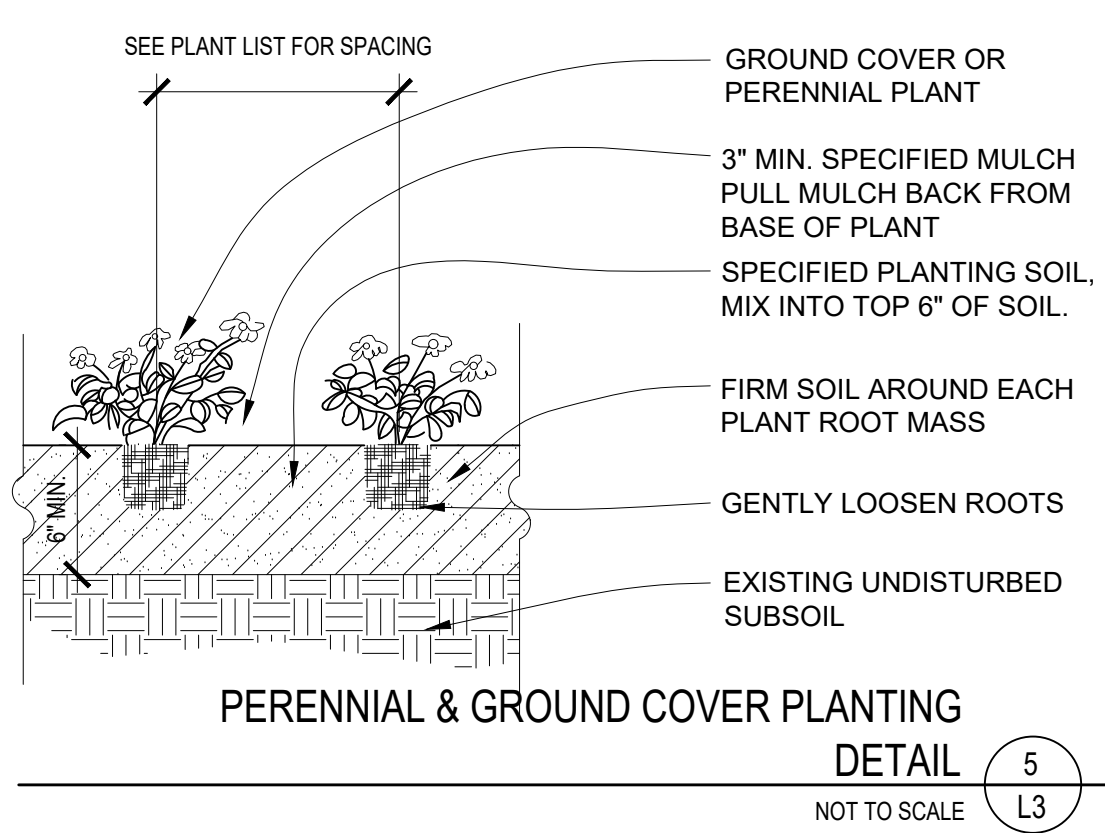
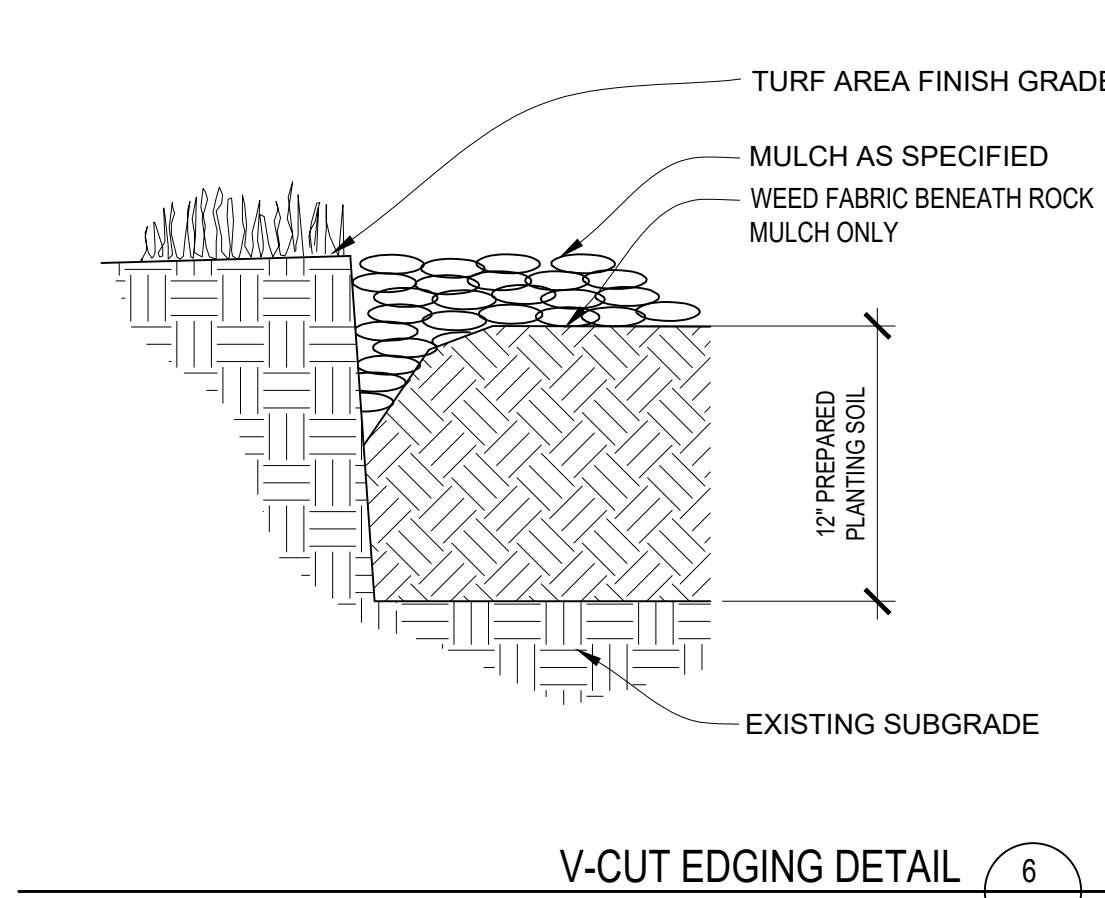
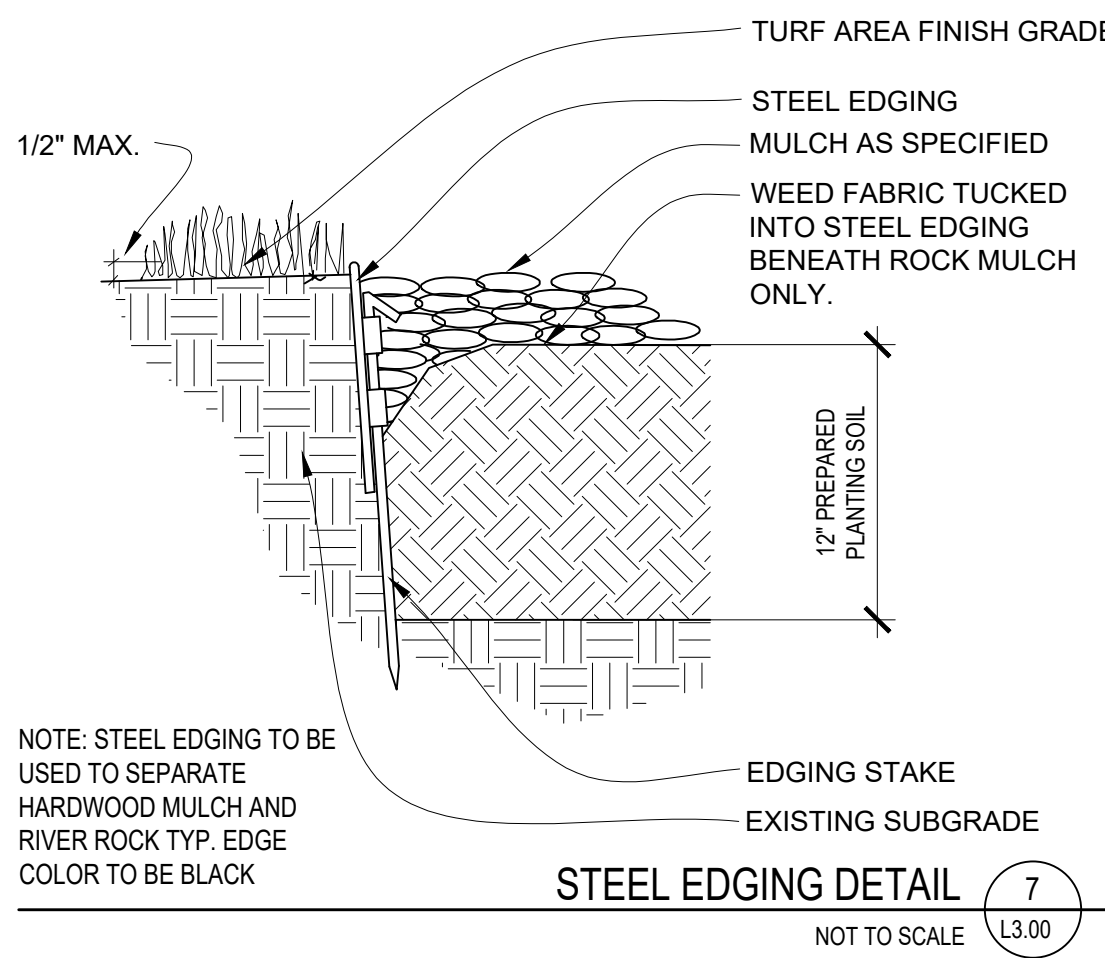
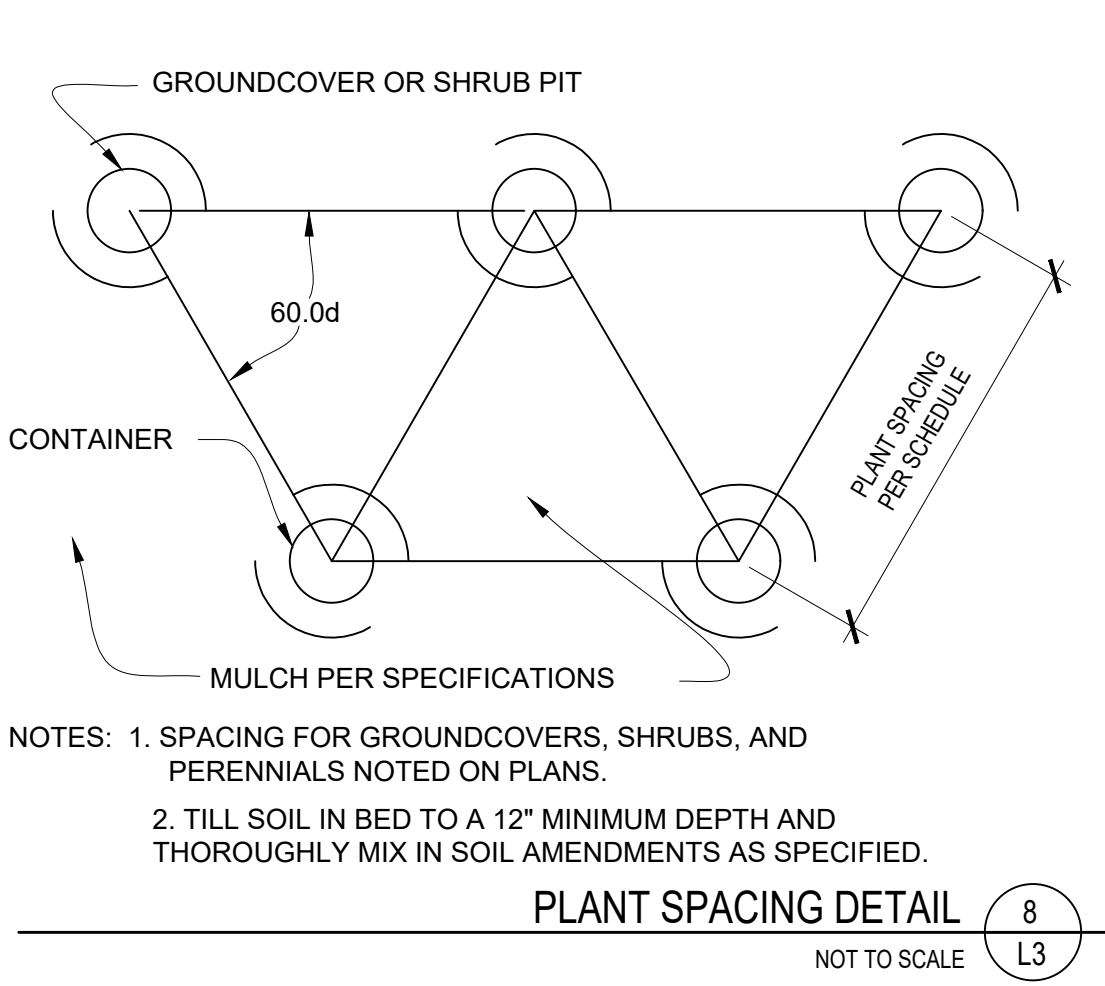


2 **TYP. PLANTER CORNER**  
NTS



1 **TYP. PLANTER W/ DRAIN WATERPROOFING**  
NTS





- GENERAL NOTES:**
- EACH BIDDER SHALL VISIT THE SITE OF THE PROPOSED WORK AND EXAMINE THE SITE CONDITIONS. HE SHALL ALSO CAREFULLY EXAMINE THE DRAWINGS FOR THE PROPOSED WORK AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS, WHICH MAY AFFECT THE PROPOSED WORK.
  - THE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSING. EACH PLANT SPECIES MASSING SHALL BE PLACED IN THE FIELD TO UTILIZE GREATEST COVERAGE OF GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS.
    - CREeping GROUND COVER SHALL BE A MINIMUM OF 6" FROM PAVING EDGE.
    - ALL TREES SHALL BE A MINIMUM OF 3' FROM PAVING EDGE.
    - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED APART AND PLACED FOR BEST AESTHETIC VIEWING.
    - ALL SHRUBS SHALL BE A MINIMUM OF 2' FROM PAVED EDGE.
  - NOTIFY LANDSCAPE ARCHITECT 1 WEEK PRIOR TO ANTICIPATED START OF PLANT MATERIAL INSTALLATION. LANDSCAPE CONTRACTOR SHALL STAKE ALL PROPOSED PLANTING BED EDGES, SET OUT SHRUBS IN INTENDED LOCATIONS, AND STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY AND ALL PLANT MATERIALS PROPOSED FOR USE ON THE PROJECT.
  - CONTRACTOR WILL BE RESPONSIBLE FOR PLANTING ALL PLANT MATERIAL INDICATED ON THE PLANS. PLANT SCHEDULE IS FOR SUMMARY ONLY. VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING.
  - CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF EXISTING TREES & PLANT MATERIALS AS INDICATED ON PLAN AND AS DIRECTED BY LANDSCAPE ARCHITECT. RELOCATE PERENNIALS & SHRUBS TO LOCATION INDICATED ON PLAN AND AS DIRECTED BY LANDSCAPE ARCHITECT.
  - REPORT ANY DISCREPANCIES FOUND WITH REGARD TO EXISTING CONDITIONS OR PROPOSED DESIGN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHERE IT IS FOUND THAT KNOWN DISCREPANCIES EXIST. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER RELATED SITE WORK BEING PERFORMED TO ACCOMPLISH SITE CONSTRUCTION OPERATIONS.
  - THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
  - PLANT MATERIAL SHALL BE MAINTAINED AND GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED AT LANDSCAPE CONTRACTOR'S EXPENSE PRIOR TO ACCEPTANCE.
  - THE PROJECT MAY BE AWARDED COMPLETION IN PHASES BUT IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER & LANDSCAPE ARCHITECT WHEN A PHASE IS COMPLETE & A FINAL WALK THROUGH CAN TAKE PLACE. CONTRACTOR SHALL IDENTIFY ON THE PLANS THE LIMITS OF COMPLETED WORK AND/OR PHASES PRIOR TO THE WALK THROUGH.
  - LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE, AT WHICH POINT THE ONE YEAR GUARANTEE BEGINS.
- MATERIALS:**
- PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF DISEASE AND INSECTS AS PER AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
  - PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED TO UNIFORMITY.
  - SHREDDED BARK MULCH SHALL BE FINELY CHIPPED AND SHREDDED DARK BROWN HARDWOOD CHIPS CONSISTING OF PURE WOOD PRODUCTS AND FREE OF ALL FOREIGN SUBSTANCES.
  - CONTRACTOR SHALL USE AN APPROVED TREE TIE SYSTEM THAT IS EASILY ADJUSTABLE, STRONG IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. ROPE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES. PROVIDE THE FOLLOWING OR APPROVED EQUAL: "CINCH TIES" BY J. LICHTENTHALER, "ADJ-A-TYPE" BY HEAVYWEIGHT ONLY, A PLASTIC CHAIN TWIST TIE, OR "PLASTIC BINDER TIE" A TIE WITH TAPERED BEADS THAT SNAP LOCK BY A.M. LEONARD AND SONS.
  - SOD SHALL BE CERTIFIED TURFGRASS SOD COMPLYING WITH ASPA SPECIFICATIONS FOR MACHINE-CUT THICKNESS, SIZE, STRENGTH, MOISTURE CONTENT, AND MOVED HEIGHT, AND FREE OF WEEDS AND UNDERSIRABLE NATIVE GRASSES. SOD SHALL BE A BLEND OF NOT LESS THAN 3 IMPROVED KENTUCKY BLUEGRASS (POSPHATENSIS) VARIETIES, A NATIVE MIXTURE OF JOINTED REBEL, OR FALCON, FINE LEAFED TALL FESCUE (FESTUCA ARUNDINACEA), AND RYE (LOLIUM MULTIFLORUM AND PERENE DOMESTICA). IT SHALL BE A MIX OF 20% KENTUCKY BLUEGRASS, 70% FINE LEAFED TALL FESCUE, AND 10% RYE. SOD SHALL BE WELL ROOTED, 2 YEAR OLD STOCK, HARVESTED IN ROLLS, FERTILIZED 2-3 WEEKS PRIOR TO CUTTING. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT). MAXIMUM TIME FROM STRIPPING TO PLANTING SHALL BE 24 HOURS.
  - ALL NEW PLANT BED AREAS TO BE IRRIGATED. REFER TO SPECIFICATIONS.
  - ROCK BEDS SHALL BE MEXICAN BEACH PEBBLES, OR APPROVED EQUAL. ALL ROCK BED AREAS SHALL HAVE FILTER FABRIC & BE 4" MIN. DEPTH.
- INSTALLATION:**
- ALL PLANTING BEDS SHALL BE AMENDED WITH 1 CUBIC YARD OF COTTON BOLL COMPOST PER 1,000 SQUARE FEET. TILL COTTON BOLL INTO SOIL TO A 6" DEPTH. A 10-10-10 FERTILIZER SHALL BE SPREAD OVER ALL PLANTING AREAS PRIOR TO PLANTING, AT A RATE OF 50 POUNDS PER 2,000 SQUARE FEET.
  - AFTER PLANTS HAVE BEEN INSTALLED, ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE PRIOR TO MULCH APPLICATION.
  - PLANT PIT BACKFILL FOR TREES AND SHRUBS SHALL BE 25% COTTON BOLL COMPOST, AND 25% TOPSOIL, AND 50% EXISTING SOIL. TOPSOIL SHALL BE NATURAL FERTILE, FRABLE SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE PRODUCTIVE SOILS IN THE AREA. SOIL SHALL NOT BE EXCESSIVELY ACID, ALKALINE, OR TOXIC THAT MAY BE HARMFUL TO PLANT GROWTH. ALSO, FREE OF CLAY LUMPS, STONES, STUMPS, ROOTS OR SUBSTANCE 2" OR MORE IN DIAMETER.
  - PLANTED BED EDGES SHALL BE IN STRAIGHT LINES OR GENTLE FLOWING CURVES. SUDDEN CURVES OR SHARP ANGLES SHOULD BE AVOIDED.
  - V-CUT EDGE SHALL BE DUG TO 6" DEPTH WITH ANGLED EDGE ON LANDSCAPE BED SIDE, AND VERTICAL EDGE ON TURF SIDE. BACKFILL V-CUT EDGE WITH SHREDDED HARDWOOD MULCH TO GRADE.
  - MULCH ALL PLANTING BED AREAS TO A MINIMUM DEPTH OF 3". MULCH INDIVIDUAL TREES TO A MINIMUM DEPTH OF 4".
- IRRIGATION PERFORMANCE SPECIFICATIONS:**
- PROVIDE 100% COVERAGE COMPLETE WORKING IRRIGATION SYSTEM FOR THE NEW SOD & PLANTING BEDS AREAS. INCLUDE ELECTRICAL CONNECTION AND IRRIGATION SLEEVES AS NECESSARY. DRIP IRRIGATE ALL PLANTING BEDS. PRIOR TO INSTALLATION, PROVIDE PLAN SHOWING ALL IRRIGATION MATERIALS INCLUDING ALL EQUIPMENT SIZES AND DETAILS TO LANDSCAPE ARCHITECT FOR APPROVAL. COMPLY WITH REQUIREMENTS OF AUTHORITY WITH JURISDICTION FOR IRRIGATION SYSTEMS & BACKFLOW PREVENTOR. CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO LANDSCAPE ARCHITECT & OWNER AFTER FINAL INSTALLATION AND PRIOR TO FINAL ACCEPTANCE, INCLUDING ALL HEAD & EQUIPMENT LOCATIONS & MAINTENANCE DATA FOR ALL EQUIPMENT PROVIDED. CONTRACTOR SHALL PROVIDE AN ON-SITE WALK THROUGH OF THE SYSTEM AND FULLY DESCRIBE ITS OPERATION WITH OWNER. CONTRACTOR SHALL ACHIEVE FINAL ACCEPTANCE WHEN SYSTEM IS FULLY OPERATIONAL, AND APPROVED BY OWNER, AND AS-BUILT DRAWINGS AND PROJECT MANUALS HAVE BEEN ACCEPTED AND APPROVED.
- PIPING SPECIFICATIONS:**
- MINIMUM WORKING PRESSURE RATINGS:
    - PRESSURE PIPING: 150 PSIG (1035 KPA)
    - CIRCUIT AND DRAIN PIPING: 100 PSIG (689 KPA)
  - MAIN LINE TO BE GL-200 POLYVINYL CHLORIDE PIPE OR ASTM D 1785, PVC 1120, SCHEDULE 40, SOCKET-TYPE FITTINGS, AND SOLVENT-CEMENTED JOINTS OR APPROVED EQUAL.
    - PIPE UP TO AND INCLUDING 2-1/2 INCHES IN DIAMETER SHALL HAVE BELL AND SOCKET JOINTS.
    - PIPE GREATER THAN 2-1/2 INCHES IN DIAMETER SHALL HAVE SNAP CONNECTIONS WITH RUBBER GASKET JOINTS.
    - THRUST BLOCKS SHALL BE REQUIRED IN CONJUNCTION WITH RUBBER GASKET JOINT PIPE.
  - LATERAL LINES TO BE GL-200 PVC PIPE OR APPROVED EQUAL.
  - DRIP TUBING: POLY TUBING OR APPROVED EQUAL.
  - SLEEVES: MINIMUM DIAMETER OF 2 TIMES LARGER THAN THE PIPE OR PIPE(S) SCHEDULED TO PASS THROUGH THEM. SLEEVES SHALL BE A MINIMUM OF 2 INCH DIAMETER AND SHALL BE SCHEDULE 40 PVC PIPE.
  - PLASTIC FITTINGS:
    - UTILIZED THROUGHOUT THE SYSTEM (MAINS AND LATERALS) IN WARM CLIMATES AND MAIN LINES IN COLDER CLIMATES: SCHEDULE 40 PVC PIPE.
    - UTILIZED FOR LATERALS OR FLEXIBLE POLYETHYLENE PIPE, TYPE 1 PVC INSERT FITTINGS DESIGNED FOR USE WITH THIS TYPE OF PIPE CONFORMING TO ASTM D 2609.
    - PIPE AND FITTINGS SHALL BE JOINED WITH STAINLESS STEEL LOCKING PINCH CLAMPS OR STAINLESS STEEL SCREW CLAMPS.
  - MINIMUM COVER:
    - IN LAWN AND PLANTING AREAS:
      - MAINS: MINIMUM 18 INCHES BELOW FINISH GRADE.
      - LATERALS AND CONTROL VALVES: MINIMUM 12 INCHES BELOW FINISH GRADE.
    - ROADWAYS OR PARKING AREAS: MINIMUM 24 INCHES BELOW FINISH GRADE.
  - CLEARANCES: MINIMUM OF 3-INCHES BETWEEN PARALLEL LINES IN THE SAME TRENCH OR VERTICAL CLEARANCE BETWEEN LINES CROSSING AT ANGLES.

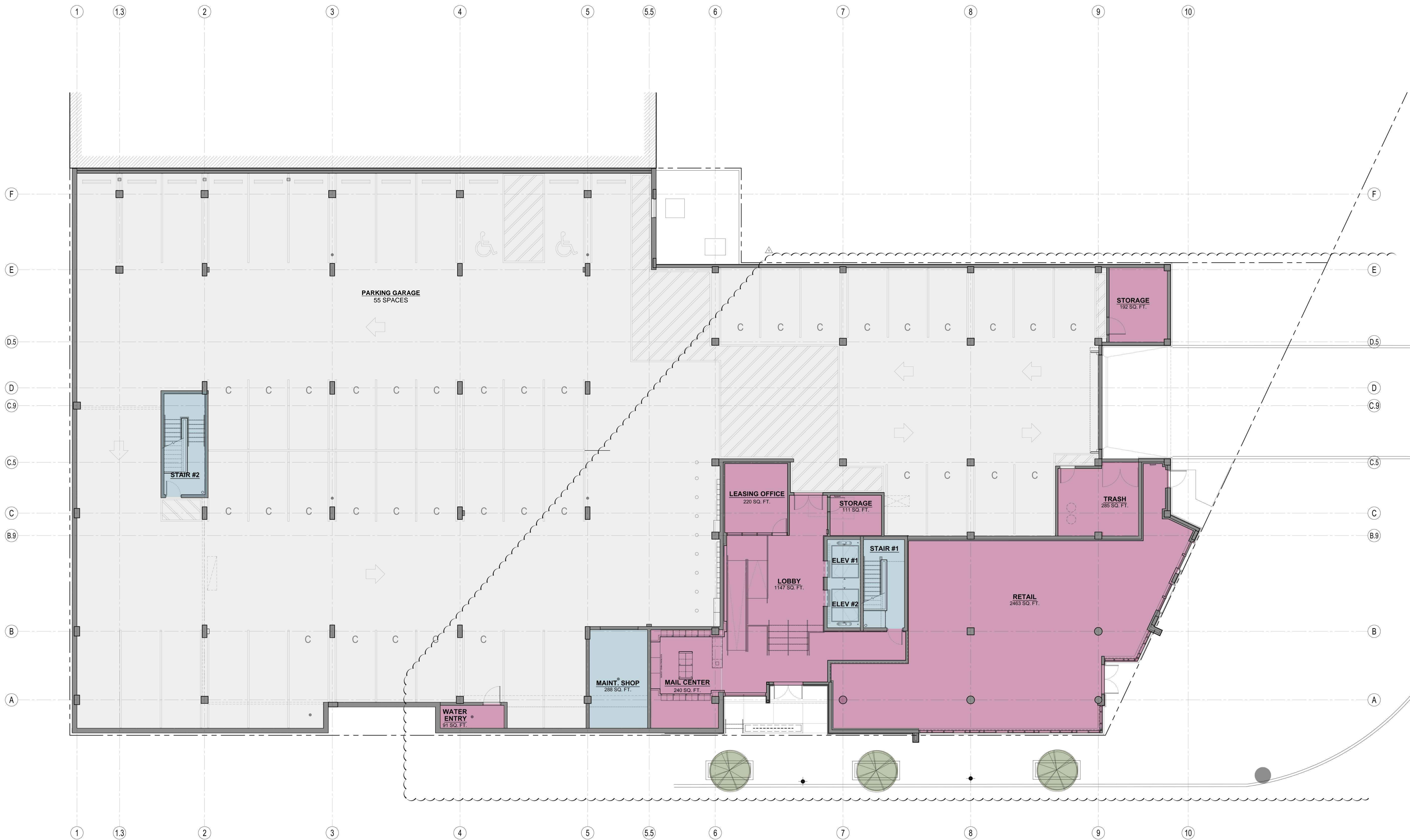
REVISIONS

DATE  
09.02.2022  
JOB NO.  
720022  
DRAWN BY:  
CEE / JAV / AAP / NSO/  
CPC / BNH  
SHEET NO.

DEVELOPMENT PLAN

L3.00

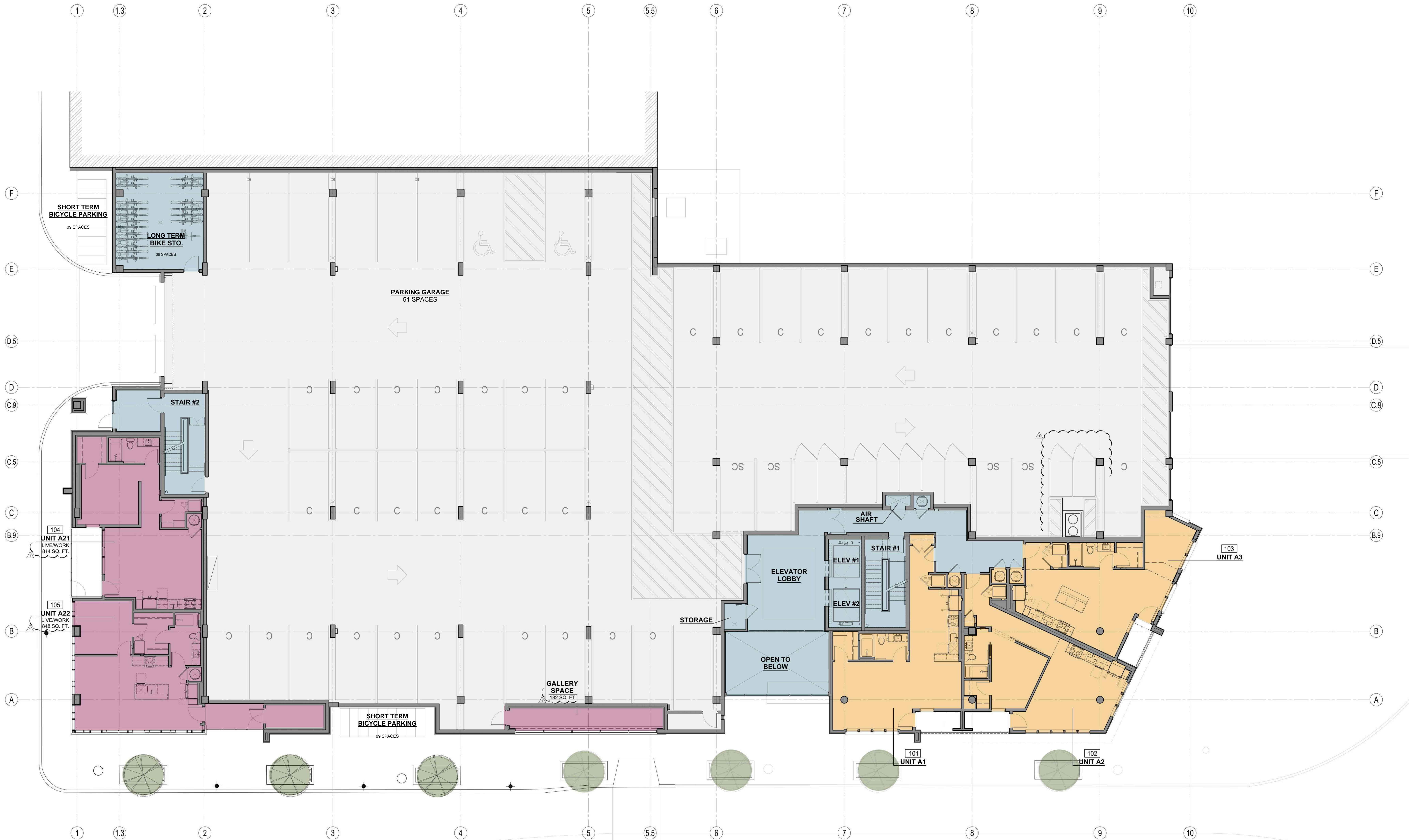




FLOOR PLAN  
LOWER LEVEL  
1  
1/8" = 1'-0"

- RESIDENTIAL UNITS
- RESIDENTIAL COMMON AREA
- COMMERCIAL
- PARKING GARAGE





1 FLOOR PLAN  
FIRST FLOOR  
1/8" = 1'-0"

- RESIDENTIAL UNITS
- RESIDENTIAL COMMON AREA
- COMMERCIAL
- PARKING GARAGE

REVISIONS	
09.05.2022	DEVELOPMENT PLAN SUBMITTAL

DATE  
07.18.2022  
JOB NO.  
720022  
DRAWN BY:  
CEE / JAI / AAP / NSO/  
CPC  
SHEET NO.

A MULTIFAMILY DEVELOPMENT FOR:

# OAKS - River Market

110 E 3rd St,  
Kansas City, Missouri

DRAWING RELEASE LOG  
07.18.2022 - DEVELOPMENT PLAN





FLOOR PLAN  
SECOND FLOOR  
1  
1/8" = 1'-0"

- RESIDENTIAL UNITS
- RESIDENTIAL COMMON AREA
- COMMERCIAL
- PARKING GARAGE
- DOG RUN



REVISIONS	DATE	DESCRIPTION
1	07.18.2022	DEVELOPMENT PLAN
2	09.05.2022	RESUBMITTAL

DATE  
07.18.2022  
JOB NO.  
720022  
DRAWN BY:  
CEE / IA / AAP / NSO/  
CPC  
SHEET NO.

A MULTIFAMILY DEVELOPMENT FOR:

# OAKS - River Market

110 E 3rd St,  
Kansas City, Missouri

DRAWING RELEASE LOG  
07.18.2022 - DEVELOPMENT PLAN





FLOOR PLAN  
THIRD THROUGH SIXTH FLOORS  
1 1/8" = 1'-0"

- RESIDENTIAL UNITS
- RESIDENTIAL COMMON AREA
- COMMERCIAL
- PARKING GARAGE





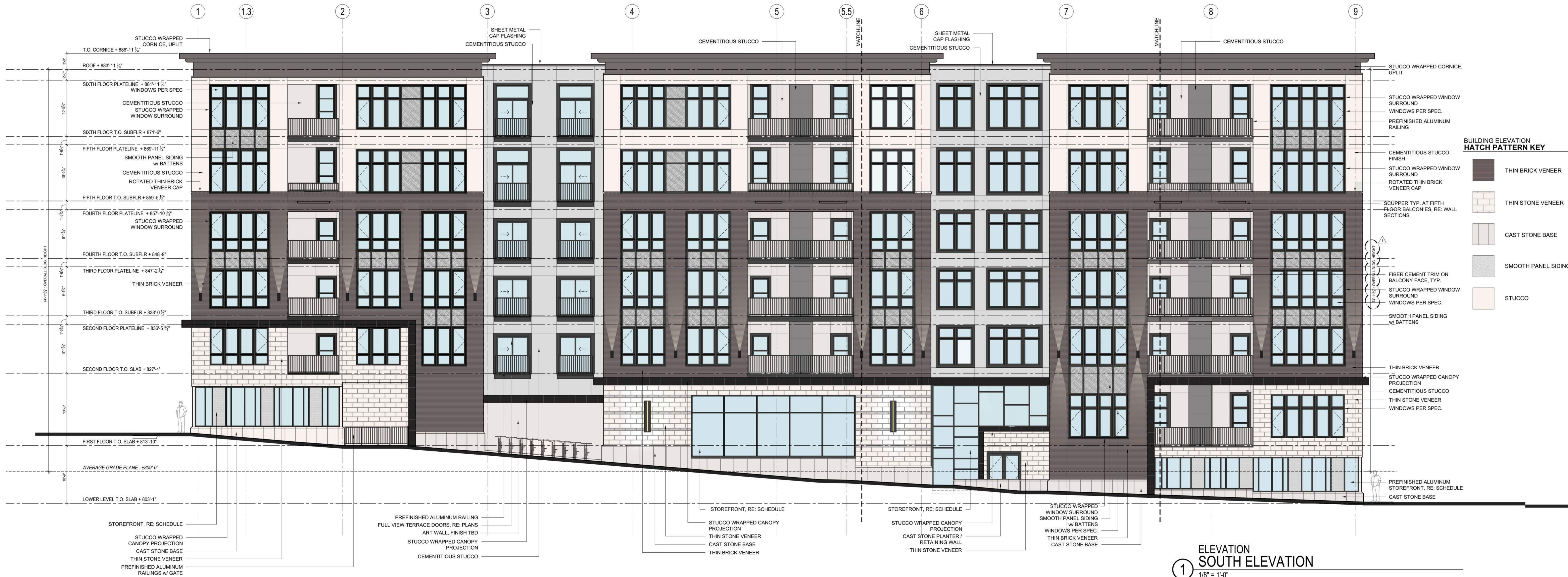
- BUILDING ELEVATION GENERAL NOTES**
- A. RETURN ALL SIDING AND CLADDING MATERIALS TO INSIDE CORNERS.
  - B. REFER TO WINDOW SCHEDULE FOR WINDOW FRAME MATERIAL AND COLOR.
  - C. SEE HATCH LEGEND BELOW FOR ELEVATION MATERIALS.
  - D. WALL MOSAIC TILE AT SHORT TERM BICYCLE PARKING TO BE FINAL SELECTION BY OWNER/ ARCHITECT.
  - E. ALL JOINT SEALANTS TO BE COLOR MATCHED TO ADJACENT MATERIALS. SUBMIT COLOR CARD TO ARCHITECT FOR FINAL SELECTION AND APPROVAL.
  - F. ALL SIDING PANEL FASTENERS TO BE FILLED AND SANDED SMOOTH PRIOR TO HAVING PAINT APPLIED.
  - G. REFER TO WALL SECTIONS AND DETAILS FOR LOCATIONS OF HEMMED EDGE AND COLOR MATCHED SHEET METAL FLASHINGS.
  - H. STOREFRONT AT LEASING OFFICE TO BE FRONT SET STYLE.
  - I. ALL TRIM TO BE FIBER CEMENT MATERIAL, TYP. UNLESS NOTED OTHERWISE. SIZE OF TRIM TO BE SPECIFIED IN BLDG DETAILS.

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
INTERIORS  
ENERGY SERVICES

**NSPJ**

ARCHITECTS<sup>SM</sup>  
3515 W. 75TH ST., SUITE 201  
PRAIRIE VILLAGE, KS 66208

P. 913.831.1415  
F. 913.831.1563  
NSPJARCH.COM  
© COPYRIGHT 2022



- BUILDING ELEVATION HATCH PATTERN KEY**
- THIN BRICK VENEER
  - THIN STONE VENEER
  - CAST STONE BASE
  - SMOOTH PANEL SIDING
  - STUCCO

A MULTIFAMILY DEVELOPMENT FOR:

**OAKS - River Market**

110 E 3rd St,  
Kansas City, Missouri

DRAWING RELEASE LOG  
07.18.2022 - DEVELOPMENT PLAN

REVISIONS

09.05.2022	DEVELOPMENT PLAN RESUBMITTAL
------------	------------------------------

DATE  
07.18.2022  
JOB NO.  
720022  
DRAWN BY:  
CEE / JAA / AAP / NSO/  
CPC  
SHEET NO.

DEVELOPMENT PLAN

**A3.01**





ELEVATION  
WEST TERRACE ELEVATION  
1/8" = 1'-0"



ELEVATION  
EAST TERRACE ELEVATION  
1/8" = 1'-0"



ELEVATION  
NORTH ELEVATION  
1/8" = 1'-0"

**BUILDING ELEVATION HATCH PATTERN KEY**

	THIN BRICK VENEER
	THIN STONE VENEER
	CAST STONE BASE
	SMOOTH PANEL SIDING
	STUCCO

- BUILDING ELEVATION GENERAL NOTES**
- RETURN ALL SIDING AND CLADDING MATERIALS TO INSIDE CORNERS.
  - REFER TO WINDOW SCHEDULE FOR WINDOW FRAME MATERIAL AND COLOR.
  - SEE HATCH LEGEND BELOW FOR ELEVATION MATERIALS TO BE FINAL SELECTION BY OWNER/ ARCHITECT
  - WALL MOSAIC TILE AT SHORT TERM BICYCLE PARKING TO BE FINAL SELECTION BY OWNER/ ARCHITECT
  - ALL JOINT SEALANTS TO BE COLOR MATCHED TO ADJACENT MATERIALS. SUBMIT COLOR CARD TO ARCHITECT FOR FINAL SELECTION AND APPROVAL
  - ALL SIDING PANEL FASTENERS TO BE FILLED AND SANDED SMOOTH PRIOR TO HAVING PAINT APPLIED
  - REFER TO WALL SECTIONS AND DETAILS FOR LOCATIONS OF HEMMED EDGE AND COLOR MATCHED SHEET METAL FLASHINGS
  - STOREFRONT AT LEASING OFFICE TO BE FRONT SET STYLE
  - ALL TRIM TO BE FIBER CEMENT MATERIAL, TYP. UNLESS NOTED OTHERWISE. SIZE OF TRIM TO BE SPECIFIED IN BLDG DETAILS

A MULTIFAMILY DEVELOPMENT FOR:

**OAKS - River Market**

110 E 3rd St,  
Kansas City, Missouri

DRAWING RELEASE LOG  
07.18.2022 - DEVELOPMENT PLAN

REVISIONS  
09.05.2022 DEVELOPMENT PLAN RESUBMITTAL

DATE  
07.18.2022  
JOB NO.  
720022  
DRAWN BY:  
CEE / JAA / AAP / NSO/  
CPC  
SHEET NO.

DEVELOPMENT PLAN

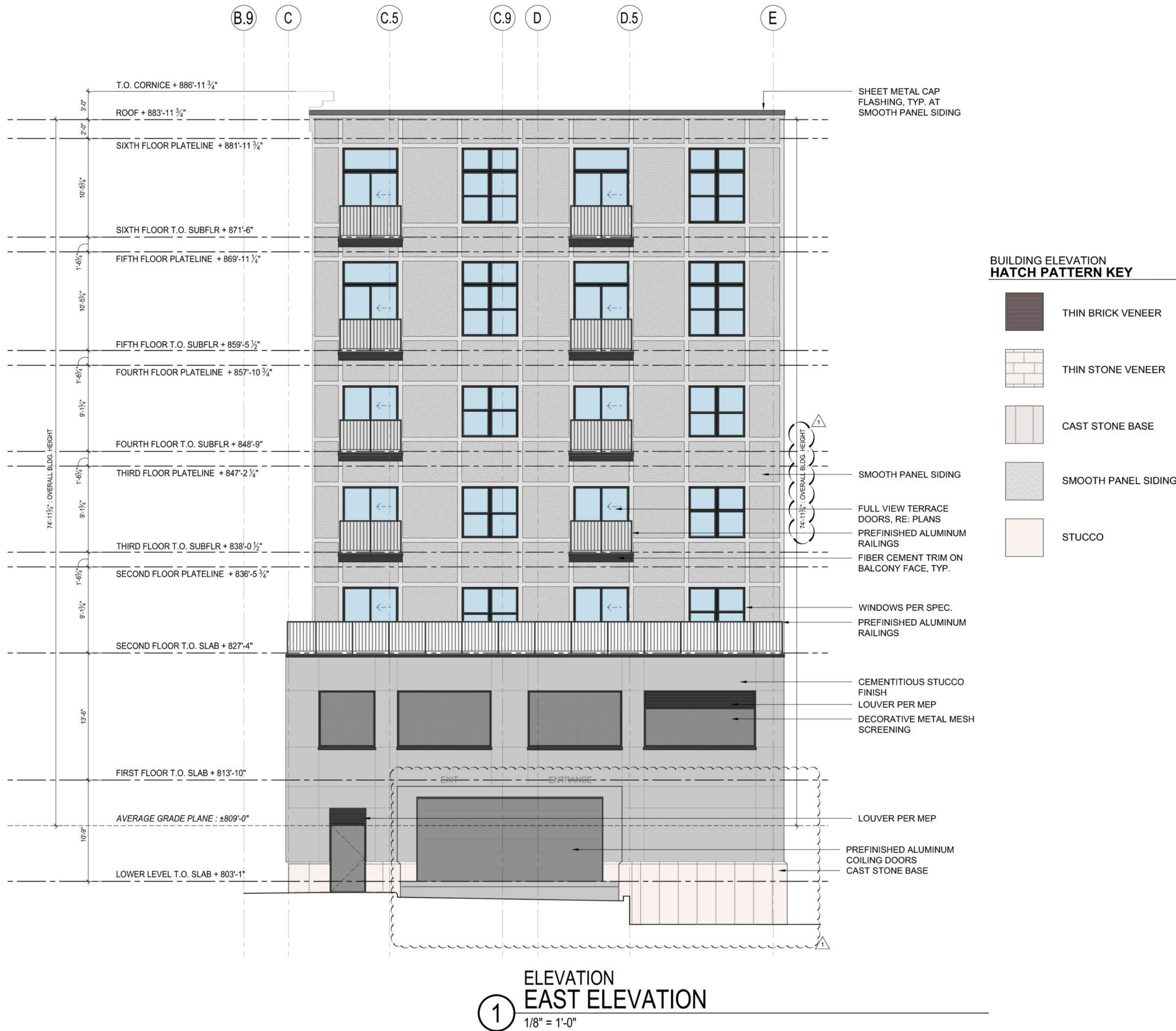
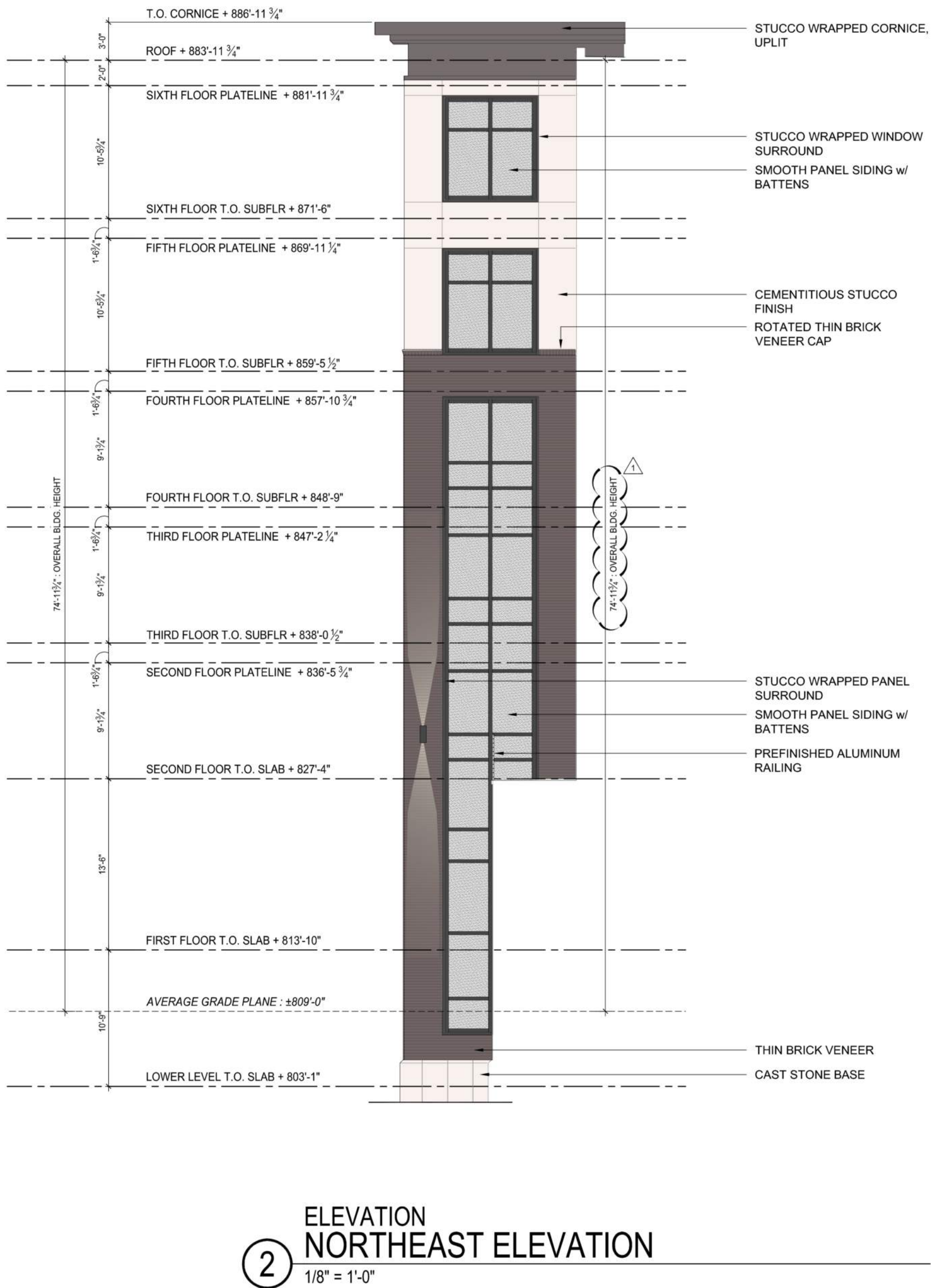
**A3.02**

ARCHITECTURE  
LANDSCAPE  
ARCHITECTURE  
INTERIORS  
ENERGY SERVICES  
**NSPJ**  
ARCHITECTS  
3515 W. 75TH ST., SUITE 201  
PRAIRIE VILLAGE, KS 66208  
P: 913.831.1415  
F: 913.831.1563  
NSPJARCH.COM  
© COPYRIGHT 2022



BUILDING ELEVATION  
GENERAL NOTES

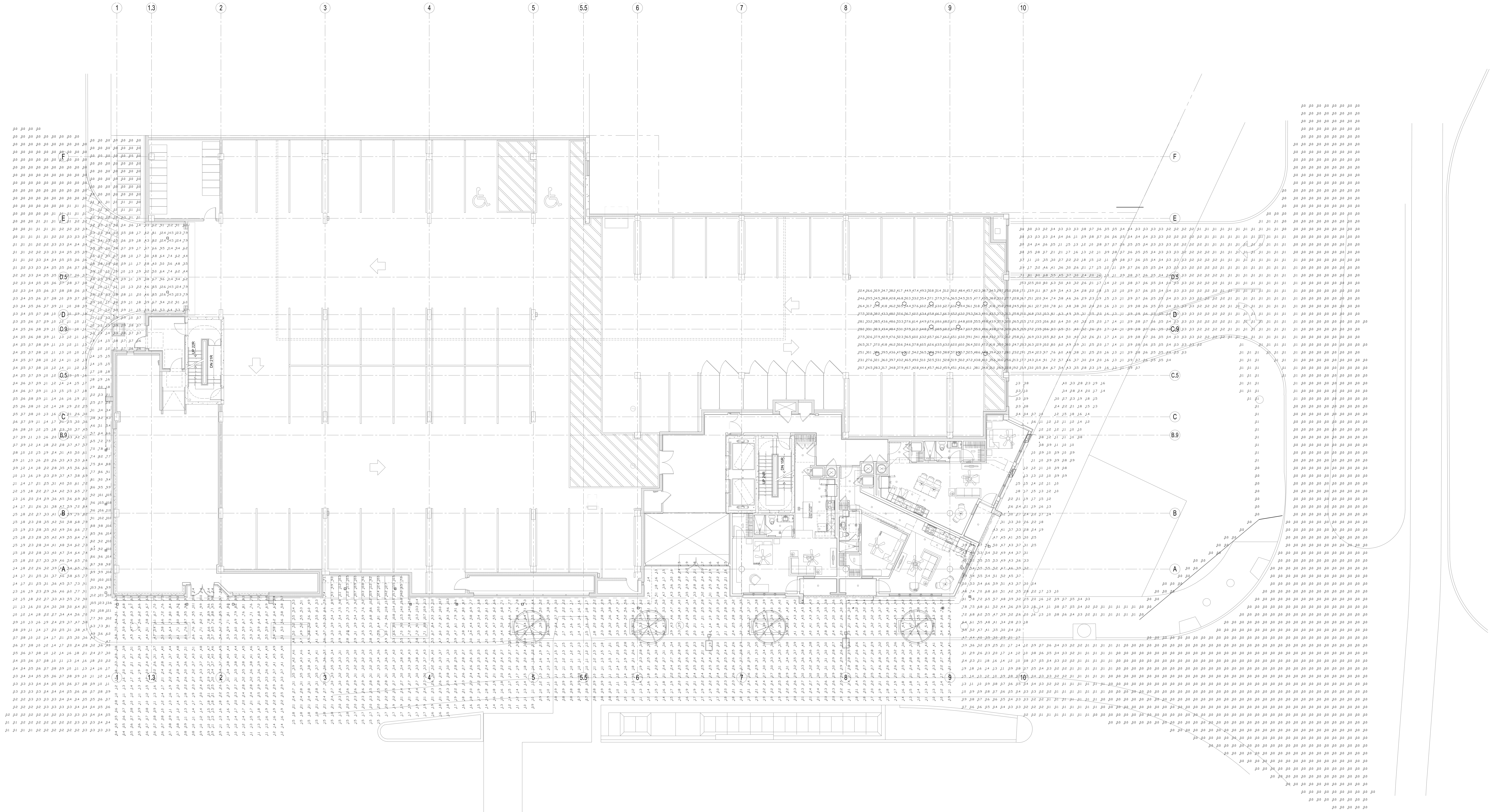
- A. RETURN ALL SIDING AND CLADDING MATERIALS TO INSIDE CORNERS.
- B. REFER TO WINDOW SCHEDULE FOR WINDOW FRAME MATERIAL AND COLOR.
- C. SEE HATCH LEGEND BELOW FOR ELEVATION MATERIALS.
- D. WALL MOSAIC TILE AT SHORT TERM BICYCLE PARKING TO BE FINAL SELECTION BY OWNER/ARCHITECT.
- E. ALL JOINT SEALANTS TO BE COLOR MATCHED TO ADJACENT MATERIALS. SUBMIT COLOR CARD TO ARCHITECT FOR FINAL SELECTION AND APPROVAL.
- F. ALL SIDING PANEL FASTENERS TO BE FILLED AND SANDED SMOOTH PRIOR TO HAVING PAINT APPLIED.
- G. REFER TO WALL SECTIONS AND DETAILS FOR LOCATIONS OF HEMMED EDGE AND COLOR MATCHED SHEET METAL FLASHINGS.
- H. STOREFRONT AT LEASING OFFICE TO BE FRONT SET STYLE.
- I. ALL TRIM TO BE FIBER CEMENT MATERIAL, TYP. UNLESS NOTED OTHERWISE. SIZE OF TRIM TO BE SPECIFIED IN BLDG DETAILS.



BUILDING ELEVATION  
HATCH PATTERN KEY

[Pattern]	THIN BRICK VENEER
[Pattern]	THIN STONE VENEER
[Pattern]	CAST STONE BASE
[Pattern]	SMOOTH PANEL SIDING
[Pattern]	STUCCO





1 SITE PHOTOMETRIC PLAN  
FF1.01 SCALE: 3/32" = 1'-0"

