

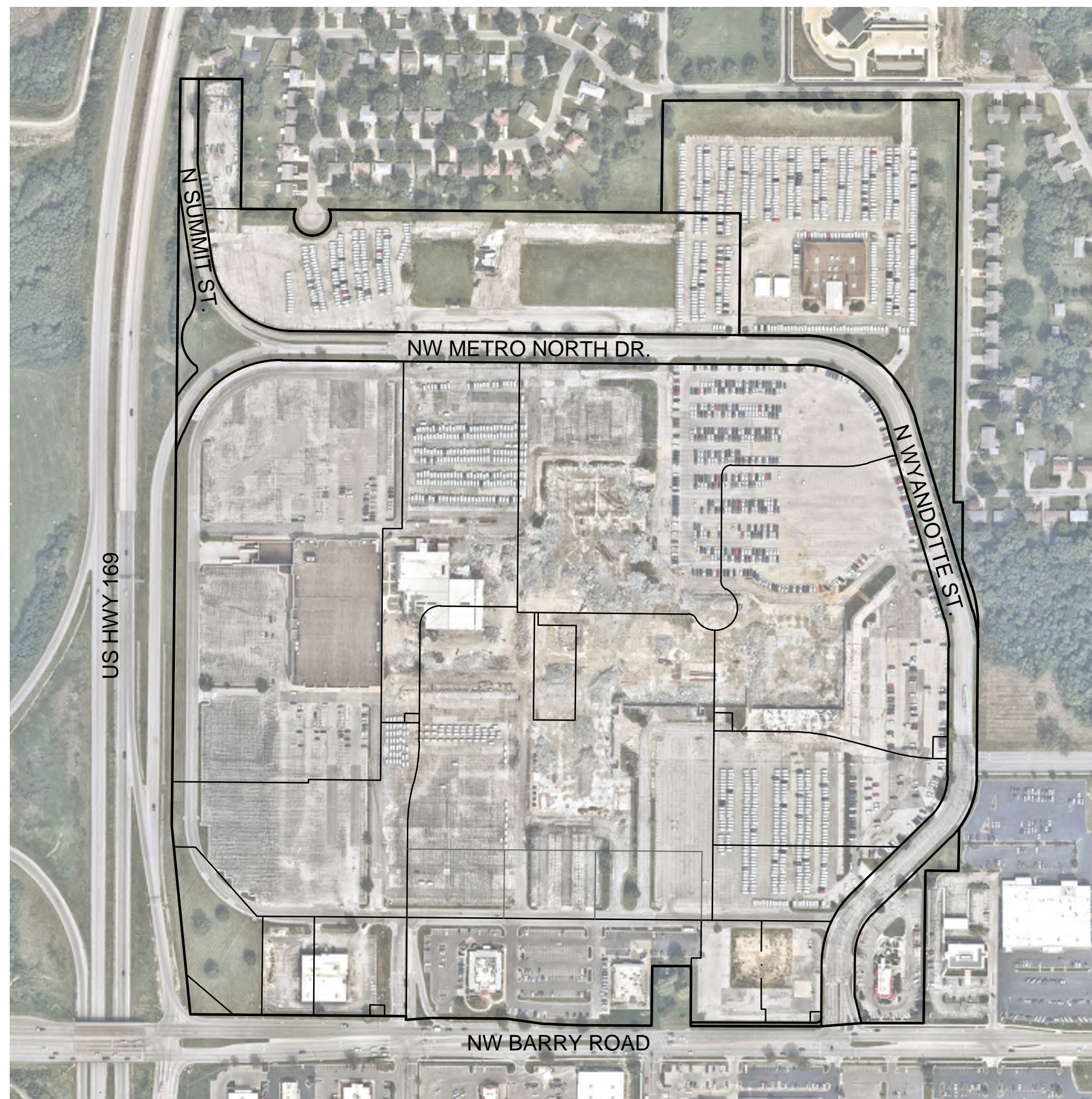
METRO NORTH CROSSING UR PLAN AMENDMENT

SECTIONS 10 & 11, TOWNSHIP 51N, RANGE 33W
IN KANSAS CITY, CLAY COUNTY, MO

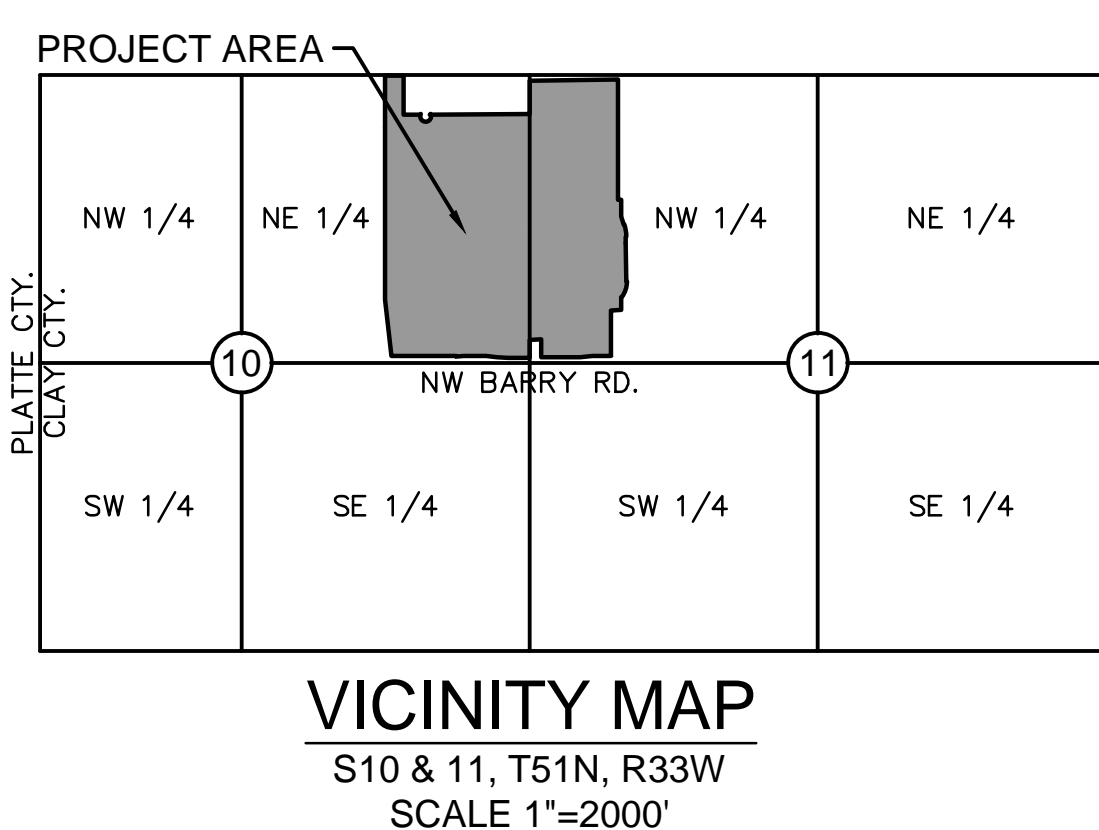
Case No. CD-CPC-2020-00176

CITY PLAN COMMISSION
RECOMMENDED
APPROVAL
SUBJECT TO CONDITIONS
Diane M. Binkley
ASSISTANT SECRETARY
DATE: 04-06-2021

PROJECT TEAM CONTACT LIST	
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ENGINEER	OLSSON 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: JOHN ERPELDING PHONE: 816.361.1177 EMAIL: JERPELDING@OLSSON.COM
SURVEYOR	OLSSON 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: JASON ROUBEUSH, P.L.S. PHONE: 816.361.1177 EMAIL: JROUBEUSH@OLSSON.COM



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PROPERTY DESCRIPTION:

A TRACT OF LAND LOCATED IN THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 10 AND THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 51 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN, IN KANSAS CITY, CLAY COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 10, THENCE SOUTH 89 DEGREES 33 MINUTES 22 SECONDS EAST ALONG THE NORTH LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 169.67 FEET; THENCE SOUTH 00 DEGREES 41 MINUTES 09 SECONDS WEST, A DISTANCE OF 355.01 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 04 SECONDS EAST, A DISTANCE OF 150.02 FEET; THENCE ALONG A NON-TANGENTIAL CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF SOUTH 26 DEGREES 13 MINUTES 33 SECONDS WEST, A RADIUS OF 50.00 FEET, AND AN ARC LENGTH OF 201.95 FEET; THENCE SOUTH 89 DEGREES 29 MINUTES 04 SECONDS EAST, A DISTANCE OF 909.60 FEET TO A POINT ON THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 10; THENCE CONTINUING SOUTH 89 DEGREES 29 MINUTES 04 SECONDS EAST, A DISTANCE OF 215.93 FEET; THENCE SOUTH 00 DEGREES 30 MINUTES 56 SECONDS WEST, A DISTANCE OF 333.25 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF METRO NORTH DRIVE; THENCE SOUTH 89 DEGREES 29 MINUTES 04 SECONDS EAST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID METRO NORTH DRIVE, A DISTANCE OF 177.54 FEET; THENCE ALONG A TANGENT CURVE TO THE RIGHT, BEING THE NORTHERLY RIGHT-OF-WAY LINE OF SAID METRO NORTH DRIVE AND THE EASTERLY RIGHT-OF-WAY LINE OF NORTH WYANDOTTE AVENUE, HAVING A RADIUS OF 320.00 FEET AND AN ARC LENGTH OF 101.72 FEET; THENCE SOUTH 00 DEGREES 30 MINUTES 56 SECONDS WEST, CONTINUING ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID NORTH WYANDOTTE AVENUE, A DISTANCE OF 351.29 FEET; THENCE ALONG A TANGENT CURVE TO THE RIGHT, BEING THE EASTERLY RIGHT-OF-WAY LINE OF SAID NORTH WYANDOTTE AVENUE, HAVING A RADIUS OF 240.00 FEET AND AN ARC LENGTH OF 152.29 FEET; THENCE SOUTH 00 DEGREES 41 MINUTES 09 SECONDS WEST, A DISTANCE OF 117.81 FEET; THENCE NORTH 89 DEGREES 46 MINUTES 07 SECONDS WEST, A DISTANCE OF 90.23 FEET; THENCE SOUTH 00 DEGREES 41 MINUTES 09 SECONDS WEST, A DISTANCE OF 416.95 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHWEST BARRY ROAD; THENCE NORTH 89 DEGREES 46 MINUTES 07 SECONDS WEST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHWEST BARRY ROAD, A DISTANCE OF 170.30 FEET TO THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF SAID NORTHWEST BARRY ROAD WITH THE EASTERLY RIGHT-OF-WAY LINE OF SAID NORTH WYANDOTTE AVENUE; THENCE SOUTH 85 DEGREES 05 MINUTES 35 SECONDS WEST, A DISTANCE OF 111.66 FEET TO THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF SAID NORTHWEST BARRY ROAD WITH THE WESTERLY RIGHT-OF-WAY LINE OF NORTHWEST BARRY ROAD, A DISTANCE OF 355.87 FEET; THENCE NORTH 00 DEGREES 41 MINUTES 09 SECONDS EAST, A DISTANCE OF 163.70 FEET; THENCE NORTH 89 DEGREES 46 MINUTES 07 SECONDS WEST, A DISTANCE OF 106.01 FEET TO A POINT ON THE WEST LINE OF THE WEST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 11; THENCE SOUTH 00 DEGREES 41 MINUTES 09 SECONDS WEST ALONG THE WEST LINE OF THE WEST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 11, A DISTANCE OF 163.70 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHWEST BARRY ROAD; THENCE NORTH 89 DEGREES 29 MINUTES 04 SECONDS WEST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHWEST BARRY ROAD, A DISTANCE OF 196.77 FEET; THENCE NORTH 87 DEGREES 45 MINUTES 58 SECONDS WEST CONTINUING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHWEST BARRY ROAD, A DISTANCE OF 100.05 FEET; THENCE NORTH 82 DEGREES 04 MINUTES 39 SECONDS WEST CONTINUING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHWEST BARRY ROAD, A DISTANCE OF 100.84 FEET; THENCE NORTH 89 DEGREES 29 MINUTES 04 SECONDS WEST CONTINUING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHWEST BARRY ROAD, A DISTANCE OF 207.50 FEET; THENCE SOUTH 85 DEGREES 52 MINUTES 03 SECONDS WEST CONTINUING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHWEST BARRY ROAD, A DISTANCE OF 67.82; THENCE NORTH 00 DEGREES 30 MINUTES 56 SECONDS EAST, A DISTANCE OF 9.50 FEET; THENCE NORTH 89 DEGREES 29 MINUTES 04 SECONDS WEST CONTINUING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF NORTHWEST BARRY ROAD, A DISTANCE OF 589.90 FEET; THENCE NORTH 05 DEGREES 38 MINUTES 11 SECONDS WEST, A DISTANCE OF 518.45 FEET TO A POINT ON THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 10; THENCE NORTH 00 DEGREES 40 MINUTES 22 SECONDS EAST ALONG THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 2042.60 FEET TO THE POINT OF BEGINNING.

CONTAINING 4,490,898 SQUARE FEET OR 103.097 ACRES, MORE OR LESS.

GENERAL NOTES:

- THIS PLAN SHALL SERVE AS AN AMENDMENT TO THE APPROVED UR REDEVELOPMENT PLAN & PRELIMINARY PLAT AS RECORDED IN ORDINANCE 180050 DATED FEBRUARY 1, 2018.
- EXISTING ZONING: UR (NO CHANGE PROPOSED)
- EXISTING USE: RETAIL
- PROPOSED USE: COMMERCIAL, OFFICE, RETAIL, RESTAURANT, HIGH DENSITY RESIDENTIAL, AND GOLF ENTERTAINMENT COMPLEX.
- METES AND BOUNDS AND LEGAL DESCRIPTION ARE AS DESCRIBED IN PLAN SET.
- EXISTING CONDITIONS AND UTILITIES ARE INDICATED ON EXISTING CONDITIONS PLAN.
- GENERAL CONFIGURATION OF PROPOSED LOTS, TRACTS, AND STREETS ARE AS INDICATED IN PLAN SET.
- LAYOUT OF STREETS AND SIDEWALKS ARE AS INDICATED ON PLAN AND/OR TYPICAL STREET SECTIONS. ALL PUBLIC SIDEWALKS ARE TO BE LOCATED WITHIN RIGHT-OF-WAY. ALL PRIVATE SIDEWALKS SHALL BE A MINIMUM OF 5' WIDE AND SHALL BE CONSTRUCTED OF CONCRETE.
- ALL PROPOSED RIGHT-OF-WAY WIDTHS AND ROADWAY CROSS-SECTIONS FOR PUBLIC STREETS WILL BE DESIGNED DURING FINAL PLAN PREPARATION.
- FINAL DEVELOPMENT PLAN AND BUILDING PERMIT PLANS TO INCLUDE FINAL DETAILS ON SIGNAGE, OPEN SPACE, BUILDING MATERIALS, BUILDING ELEVATIONS, LANDSCAPING, BICYCLE PARKING, AND A LIGHTING PLAN SHOWING NO DIRECT ILLUMINATION BEYOND THE PLAN BOUNDARY.
- SIGNAGE: ALLOWED PER KCMO ZONING ORDINANCE SECTION 88-445 OR AS MAY BE APPROVED BY THE CITY COUNCIL THROUGH A COUNCIL-APPROVED SIGNAGE PLAN PER CHAPTER 88-445-11.
- PARKING WILL BE PROVIDED AS REQUIRED IN SECTION 88-420 OF THE KCMO ZONING AND DEVELOPMENT CODE.
- PROPOSED PARKING SPACES PROVIDED MAY BE MODIFIED DURING THE FINAL PLAN PROCESS. REQUIRED PARKING PER LOT AND PHASE MAY BE ADJUSTED.
- STORMWATER DETENTION & BMPs SHALL BE PER APPROVED STORM DRAINAGE STUDY. STORMWATER STUDY WILL IDENTIFY DETENTION, VOLUME CONTROL, AND TREATMENT AREAS.
- PROPOSED CONTOURS, GRADES, AND UTILITIES ARE SUBJECT TO FINAL ENGINEERING DESIGN AND APPROVAL BY DEVELOPMENT SERVICES, PRIVATE UTILITY COMPANIES, AND BUILDING PERMIT PLAN APPROVAL.
- INGRESS AND EGRESS TO EACH LOT WILL BE FROM A DEDICATION PUBLIC STREET AND/OR ACCESS EASEMENT.
- PRIVATE EASEMENT AGREEMENTS THAT PROVIDE CROSS ACCESS AND CROSS PARKING AGREEMENTS TO EACH LOT IN THE VARIOUS PHASES OF THE DEVELOPMENT SHALL BE RECORDED AGAINST THE PROPERTY AS REQUIRED TO PROVIDE ACCESS.
- LOTS OR TRACTS ESTABLISHED BY THIS PLAN MAY BE FURTHER SUBDIVIDED BY APPLICATION FOR LOT SPLIT OR MINOR SUBDIVISION. PROVIDED BUILDING WALLS AND OPENINGS ON OR ADJACENT TO PROPERTY LINES SHALL BE CONSTRUCTED WITH THE APPROPRIATE FIRE-RESISTIVE RATINGS AS REQUIRED BY CHAPTER 18, KCMO BUILDING AND REHABILITATION CODE, CODE OF ORDINANCES.
- PROJECT PHASES IDENTIFYING BUILDING SEQUENCING ALONG THE COMMENCEMENT AND COMPLETION DATES WILL BE ESTABLISHED DURING THE FINAL PLAN PREPARATION. PHASING WILL BE PER MARKET DEMAND.
- THIS PLAN SHALL SERVE AS A PRELIMINARY PLAT.

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METRO NORTH CROSSING

BY: _____
CJM
CJM

REVISIONS DESCRIPTION

NO.	DATE	DESCRIPTION
1	2021.02.23	Revised per discussion with Staff
2	2021.03.05	Revised per discussion with Staff
3	2021.04.05	Revised per discussion with Staff

TITLE SHEET

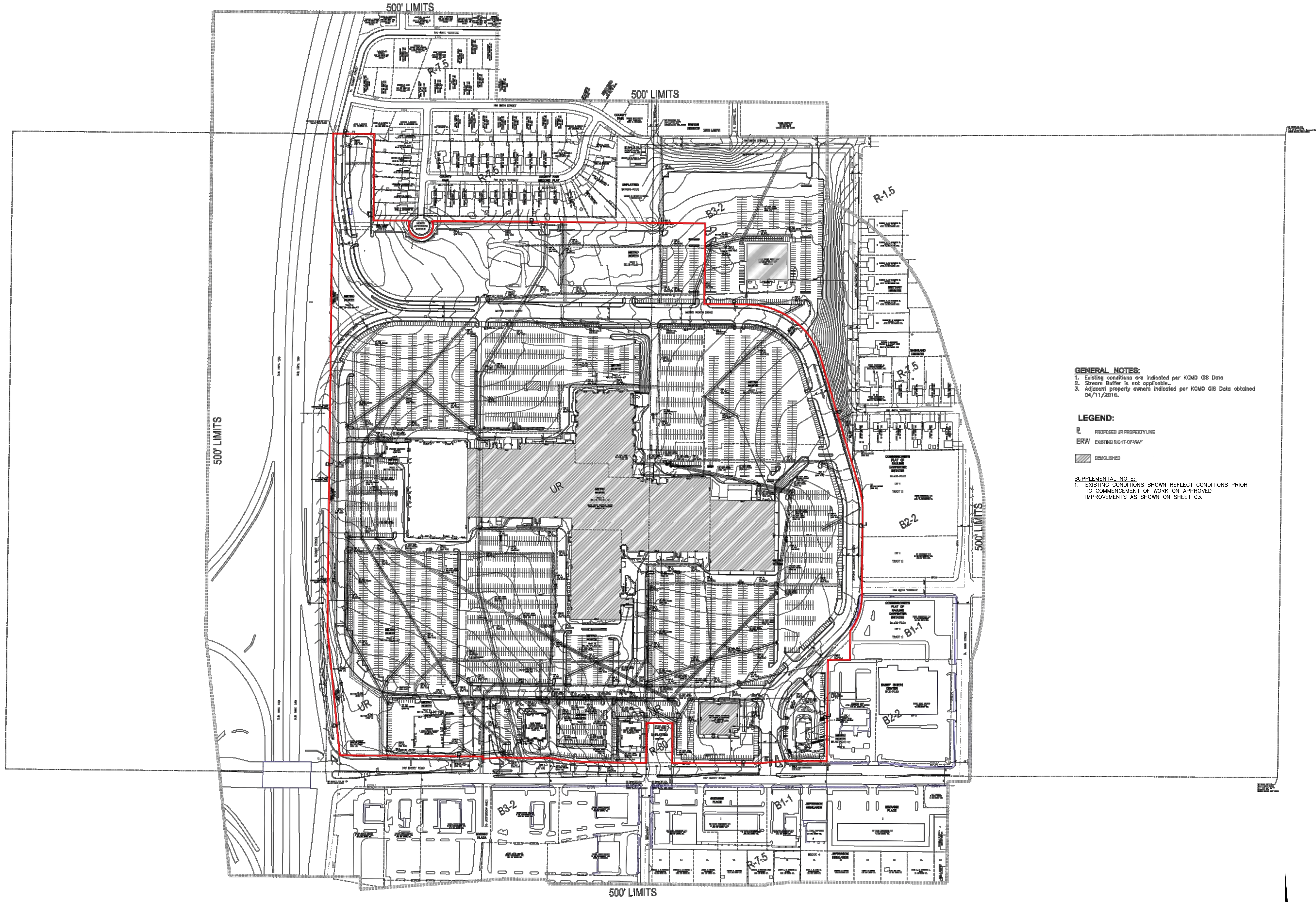
2019

METRO NORTH CROSSING
UR PLAN AMENDMENT

KANSAS CITY, MO

drawn by: _____
checked by: _____
designed by: _____
QA/QC by: _____
project no.: 018-0558-3
date: 2020.11.19

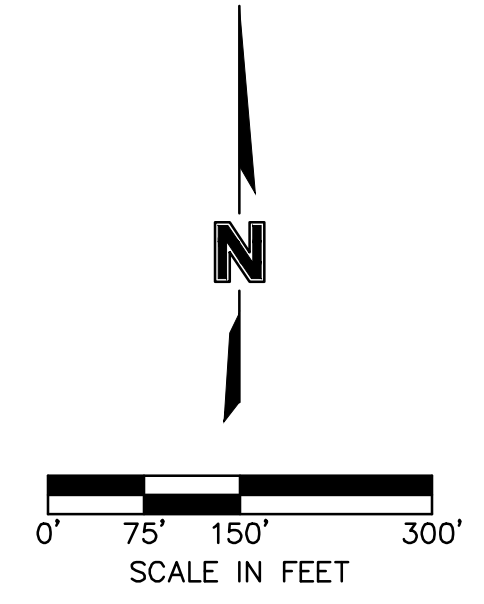
SHEET
01



GENERAL NOTES:
 1. Existing conditions are indicated per KCMO GIS Data
 2. Stream Buffer is not applicable.
 3. Adjacent property owners indicated per KCMO GIS Data obtained 04/11/2016.

LEGEND:
 [Red Line] PROPOSED UR PROPERTY LINE
 [Dashed Line] EXISTING RIGHT-OF-WAY
 [Hatched Area] DEMOLISHED

SUPPLEMENTAL NOTE:
 1. EXISTING CONDITIONS SHOWN REFLECT CONDITIONS PRIOR TO COMMENCEMENT OF WORK ON APPROVED IMPROVEMENTS AS SHOWN ON SHEET 03.



NO.	REV.	DATE	REVISIONS DESCRIPTION	BY
1		2021.02.23	Revised per discussion with Staff	CH
2		2021.06.09	Revised per discussion with Staff	CH
3		2021.06.09	Revised per discussion with Staff	CH

EXISTING CONDITIONS

METRO NORTH CROSSING
 UR PLAN AMENDMENT

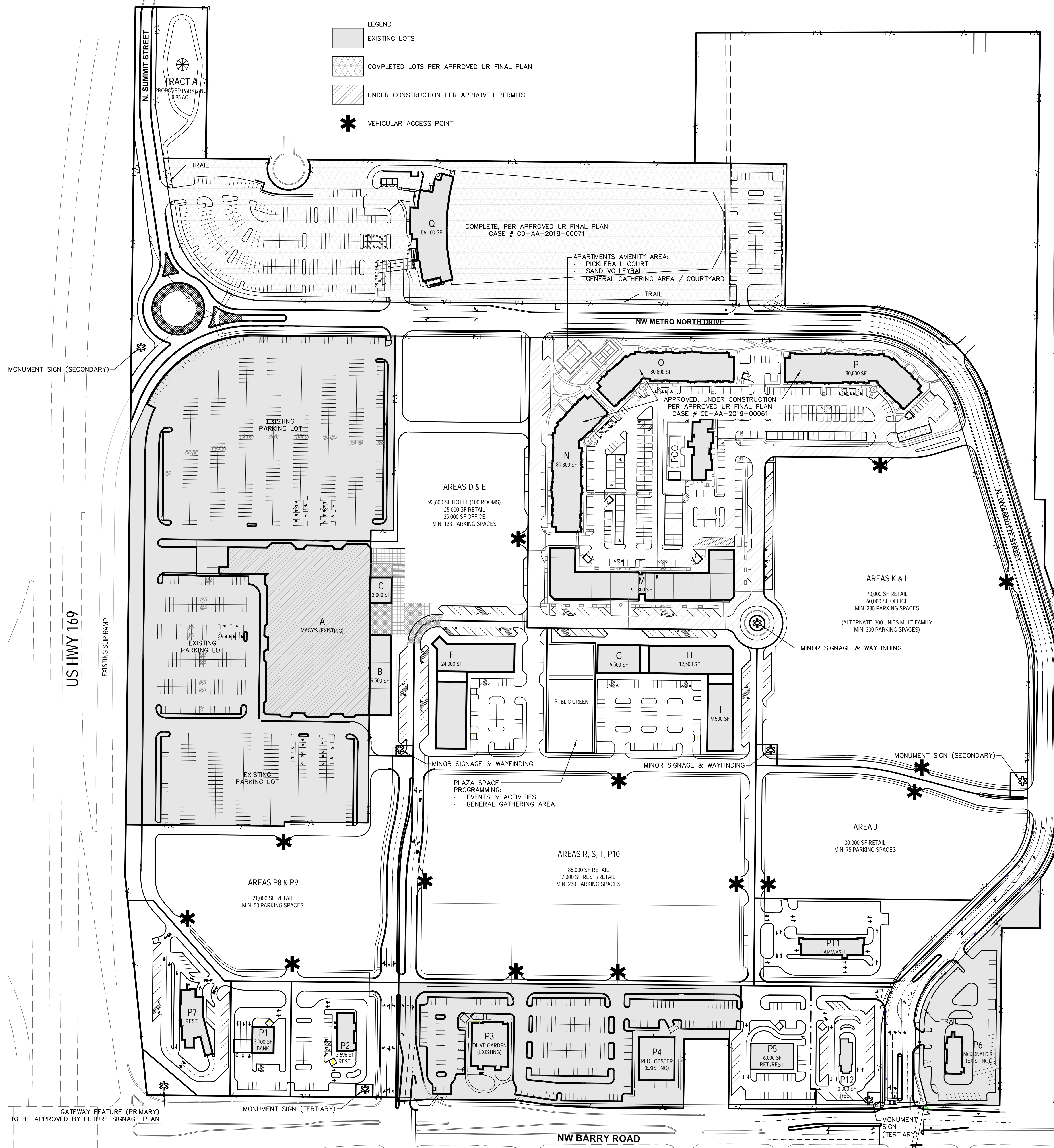
KANSAS CITY, MO

2019

REVISIONS

drawn by: CH
 checked by: JEF
 designed by: NE
 GADSDY by: JEF
 project no.: 018-0558-D
 date: 2020.11.19

SHEET 02



AREA SUMMARY - RETAIL/OFFICE

SPACE	DESCRIPTION	BLDG AREA (SF)	PARKING REQ.	PARKING PROV.	REQ. SHORT-TERM BIKE SPACES	PROV. SHORT-TERM BIKE SPACES	LOT AREA (SF/AC)	BLDG HEIGHT	PHASE
A	EXISTING MACY'S - 2 LEVELS	204,000	510	1164	84/22	42/11	659,590 / 15.14	40 FT	(EX)
B	RETAIL	9,500	24	45	5/2	3/1	255,817 / 5.87	50 FT	2
C	RETAIL	3,000	8	40	4/2	2/1	255,817 / 5.87	50 FT	2
D & E	LOWER LEVEL - RETAIL	25,000	63	63	7/4	4/2	255,817 / 5.87	100 FT	3
D & E	UPPER LEVEL - OFFICE	25,000	26	26	3/4	2/2	255,817 / 5.87	100 FT	3
F	RETAIL / RESTAURANT	24,000	60	67	7/4	4/2	628,448 / 14.38	50 FT	2
G	RETAIL / RESTAURANT	6,500	17	33	4/2	2/1	628,448 / 14.38	50 FT	2
H	RETAIL / RESTAURANT	12,500	32	47	5/3	3/2	628,448 / 14.38	50 FT	2
I	RETAIL / RESTAURANT	9,500	24	44	5/2	3/1	628,448 / 14.38	50 FT	2
J	RETAIL	30,000	75	75	8/4	4/2	174,247 / 4.00	50 FT	3
K & L	OFFICE (3 LEVELS)	60,000	60	60	6/7	3/4	437,181 / 10.04	90 FT	3
K & L	RETAIL	70,000	175	175	15/8	6/4	437,181 / 10.04	50 FT	3
M	LOWER LEVEL - RETAIL	30,000	77	79	8/5	4/3	499,942 / 11.48	50 FT	1
O	COMPLETED - 1-SHOT Z (3-STORY)	56,100	141	313	32/13	18/7	486,312 / 10.71	47 FT (175 FT NETS)	(COMP)
R, S, T	RETAIL	85,000	213	213	22/10	11/5	628,448 / 14.38	50 FT	3
TOTAL		650,700	1,504	2,443	216/92	112/48			

AREA SUMMARY - PADS

SPACE	DESCRIPTION	BLDG AREA (SF)	PARKING REQ.	PARKING PROV.	REQ. SHORT-TERM BIKE SPACES	PROV. SHORT-TERM BIKE SPACES	LOT AREA (SF/AC)	BLDG HEIGHT	PHASE
P1	BANK	3,000	8	18	2/2	1/1	48,922 / 1.12	20 FT	2
P2	RESTAURANT	3,696	37	40	4/2	2/1	70,933 / 1.63	20 FT	2
P3	EXISTING - OLIVE GARDEN	9,000	90	121	13/3	7/2	205,726 / 4.72	20 FT	(EX)
P4	EXISTING - RED LOBSTER	8,000	80	121	13/3	7/2	205,726 / 4.72	20 FT	(EX)
P5	RESTAURANT / RETAIL	6,000	15	54	6/4	3/2	51,290 / 1.18	20 FT	2
P6	EXISTING - MCDONALD'S	3,000	30	57	6/2	3/1	70,894 / 1.63	20 FT	(EX)
P7	RESTAURANT	4,055	41	33	4/2	2/1	59,665 / 1.37	20 FT	2
P8 & P9	RESTAURANT / RETAIL	21,000	53	53	6/5	3/3	113,268 / 2.60	20 FT	3
P10	RESTAURANT / RETAIL	7,000	18	18	2/2	1/1	59,933 / 1.38	20 FT	3
P11	CARWASH	7,000	0	3	1/3	1/2	84,398 / 1.94	20 FT	2
P12	RESTAURANT	3,000	30	30	3/2	2/1	48,726 / 1.12	20 FT	2
TOTAL		74,751	402	548	60/30	32/17			

AREA SUMMARY - HOTEL

SPACE	DESCRIPTION	ROOMS	BLDG AREA (SF)	PARKING REQ.	PARKING PROV.	REQ. SHORT-TERM BIKE SPACES	PROV. SHORT-TERM BIKE SPACES	LOT AREA (SF/AC)	BLDG HEIGHT	PHASE
D & E	HOTEL (4-STORY)	100	93,600	35	35	4/5	2/3	255,817 / 5.87	100 FT	3
TOTAL		100	93,600	35	35	4/5	2/3			

AREA SUMMARY - RESIDENTIAL

SPACE	DESCRIPTION	UNITS	BLDG AREA (SF)	PARKING REQ.	PARKING PROV.	REQ. SHORT-TERM BIKE SPACES	PROV. SHORT-TERM BIKE SPACES	LOT AREA (SF/AC)	BLDG HEIGHT	PHASE
M	RESIDENTIAL (2 LEVELS ABOVE RETAIL)	35	81,200	38	51	6/36	6/36	499,942 / 11.48	60 FT	1
N	RESIDENTIAL (4 LEVELS)	71	80,600	71	105	11/70	11/70	499,942 / 11.48	60 FT	1
O	RESIDENTIAL (4 LEVELS)	71	80,600	71	60	8/70	8/70	499,942 / 11.48	60 FT	1
P	RESIDENTIAL (4 LEVELS)	71	80,600	71	121	13/70	13/70	499,942 / 11.48	60 FT	1
TOTAL		249	303,000	249	357	38/246	38/246			

USE

USE	BLDG AREA (SF)	PARKING REQ.	PARKING PROV.	REQ. SHORT-TERM BIKE SPACES	PROV. SHORT-TERM BIKE SPACES
RETAIL	565,700	1,419	2,358	209/81	107/42
OFFICE	85,000	85	85	9/11	5/5
RESTAURANT / RETAIL PADS	74,751	402	548	60/30	32/17
HOTEL	93,600	35	35	4/5	2/3
RESIDENTIAL	303,000	249	357	38/246	38/246
TOTAL	1,222,051	2,190	3,383	320/373	164/134

- NOTES:**
- EXISTING ZONING: UR; PROPOSED ZONING: NO CHANGE
 - TOTAL LAND AREA: 103.097 ACRES.
 - EXISTING STREET RIGHT-OF-WAY: 8.19 AC.
 - PROPOSED STREET RIGHT-OF-WAY: 0.40 AC.
 - NET LAND AREA: 94.51 AC.
 - PROPOSED USES: RETAIL, HOTEL, RESTAURANTS, DRIVE-THROUGH RESTAURANTS, GOLF ENTERTAINMENT COMPLEX, AND RESIDENTIAL. REFER TO PRELIMINARY DEVELOPMENT DATA ABOVE FOR SPECIFIC USE FOR EACH BUILDING.
 - PRELIMINARY BUILDING HEIGHTS:
 - RETAIL: 50' (2-STORY)
 - HOTEL: 100' (4-STORY)
 - RESTAURANT: 20' (1-STORY)
 - GOLF ENTERTAINMENT COMPLEX: 47' (3-STORY)
 - RESIDENTIAL: 60' (4-STORY)
 - OFFICE: 60' (3-STORY)
 REFER TO SHEETS 08, 09, A-201 & A-202 AND THE TENANT CRITERIA HANDBOOK FOR PRELIMINARY BUILDING HEIGHTS.
 - GROSS BUILDING AREAS: REFER TO PRELIMINARY DEVELOPMENT DATA ABOVE.
 - TOTAL BUILDING COVERAGE: 605,651 SF (BUILDING FOOTPRINT COVERAGE); 1,126,651 SF (TOTAL FLOOR AREA)
 - TOTAL FLOOR AREA: 1,122,651 SF TOTAL FLOOR AREA / 4,116,611 SF NET LAND AREA = 0.27 F.A.R.
 - RESIDENTIAL DENSITY: N/A (INCLUDED IN OVERALL SITE DEVELOPMENT DATA)
 - PARKING REQUIREMENTS: (TOTAL PARKING PROVIDED IS PER THE PRELIMINARY DEVELOPMENT DATA ABOVE)
 - RETAIL SALES: 2.5 PER 1000 SF
 - EATING AND DRINKING ESTABLISHMENTS: (ALL OTHER): 10 PER 1000 SF
 - LODGING: (1-20 ROOMS = 1 PER ROOM)(21-40 ROOMS = 1 PER 4 ROOMS)(41+ ROOMS = 1 PER 6 ROOMS)
 - FOOD AND BEVERAGE RETAIL SALES: 2.5 PER 1000 SF
 - RESIDENTIAL: HOUSEHOLD LIVING (ALL OTHER): 1 PER DWELLING UNIT
 - OFFICE, ADMIN, PROFESSIONAL OR GENERAL: 1 PER 1000 SF
 - COMMENCEMENT AND COMPLETION DATES FOR EACH PHASE ARE DEPENDENT UPON MARKET DEMAND.
 - PARKLAND DEDICATION: (249 MULTI-FAMILY UNITS) x 2 x 0.006 = 2.988 AC. REQUIRED PROVIDED: TRACT A: 0.95 AC. TRAIL (EAST SIDE OF DEVELOPMENT ALONG N WYANDOTTE ST. & NW BARRY ROAD): 542 LF WHERE SUPPLEMENTING SIDEWALK = (542x50)/2 = 0.31 AC. TRAIL (NORTH SIDE OF NW METRO NORTH DR.): 334 LF + 1546 LF WHERE SUPPLEMENTING SIDEWALK = 334x50 + (1546x50)/2 = 1.27 AC.
 - TOTAL PARKLAND PROVIDED: 0.95+0.31+1.27 = 2.53 AC. PAYMENT IN-LIEU-OF REQUIRED: 2.988-(2.53) = 0.458 AC. 0.458 AC. x (\$39,619.47 PER ACRE) = \$18,145.72
 - FINAL PROGRAMMING OF PLAZA SPACE (LOCATED BETWEEN BUILDINGS F & G) SHALL BE IDENTIFIED ON UR FINAL PLAN. PRELIMINARY PROGRAMMING: EVENTS & ACTIVITIES, GENERAL GATHERING AREA.

USES:
NO USE SHALL BE ALLOWED THAT IS NOT PERMITTED IN THE B3 ZONING CATEGORY AS DESCRIBED IN SECTION 88-120-1 (TABLE 120-1) OF THE KCMO ZONING & DEVELOPMENT CODE, EXCEPT THAT GASOLINE AND FUEL SALES, MOTOR VEHICLE REPAIRS AND ARTISANAL FOOD AND BEVERAGE MANUFACTURING SHALL BE PERMITTED VIA UR FINAL PLAN AND NOT SUBJECT TO A SPECIAL USE PERMIT.

IN ADDITION, THE FOLLOWING USES ARE EXPRESSLY PROHIBITED:
ADULT MEDIA STORE, ADULT MOTION PICTURE THEATER, SEX SHOP, CHECK CASHING STORE, PAWN SHOP, RECREATIONAL VEHICLE PARK, BLOOD/PLASMA CENTER OR TATTOO SHOP AND LIGHT EQUIPMENT SALES/RENTAL OUTDOOR.

ALL USES IDENTIFIED AS A "SPECIAL USE" AREA WILL BE REQUIRED TO APPLY FOR A PERMIT THROUGH THE SPECIAL USE PERMIT PROCESS.

BICYCLE PARKING:
SHORT-TERM AND LONG-TERM BICYCLE PARKING WILL BE PROVIDED IN ACCORDANCE WITH 88-420-09 OF THE KCMO ZONING AND DEVELOPMENT CODE WITH THE FOLLOWING EXCEPTION: A 50% REDUCTION FOR REQUIRED SHORT-TERM AND LONG-TERM SPACES SHALL BE GRANTED FOR RETAIL/OFFICE USES. RESIDENTIAL USES SHALL MEET 100% OF THE REQUIREMENTS. BIKE RACK LOCATIONS SHALL BE IDENTIFIED ON UR FINAL PLAN AND BUILDING PERMIT PLANS.

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METRO NORTH CROSSING

BY: _____
DATE: _____

NO. REV. DATE DESCRIPTION

1	2021.02.23	Revised per discussion with Staff
2	2021.03.05	Revised per discussion with Staff
3	2021.06.05	Revised per discussion with Staff

PRELIMINARY SITE PLAN 01

METRO NORTH CROSSING
UR PLAN AMENDMENT

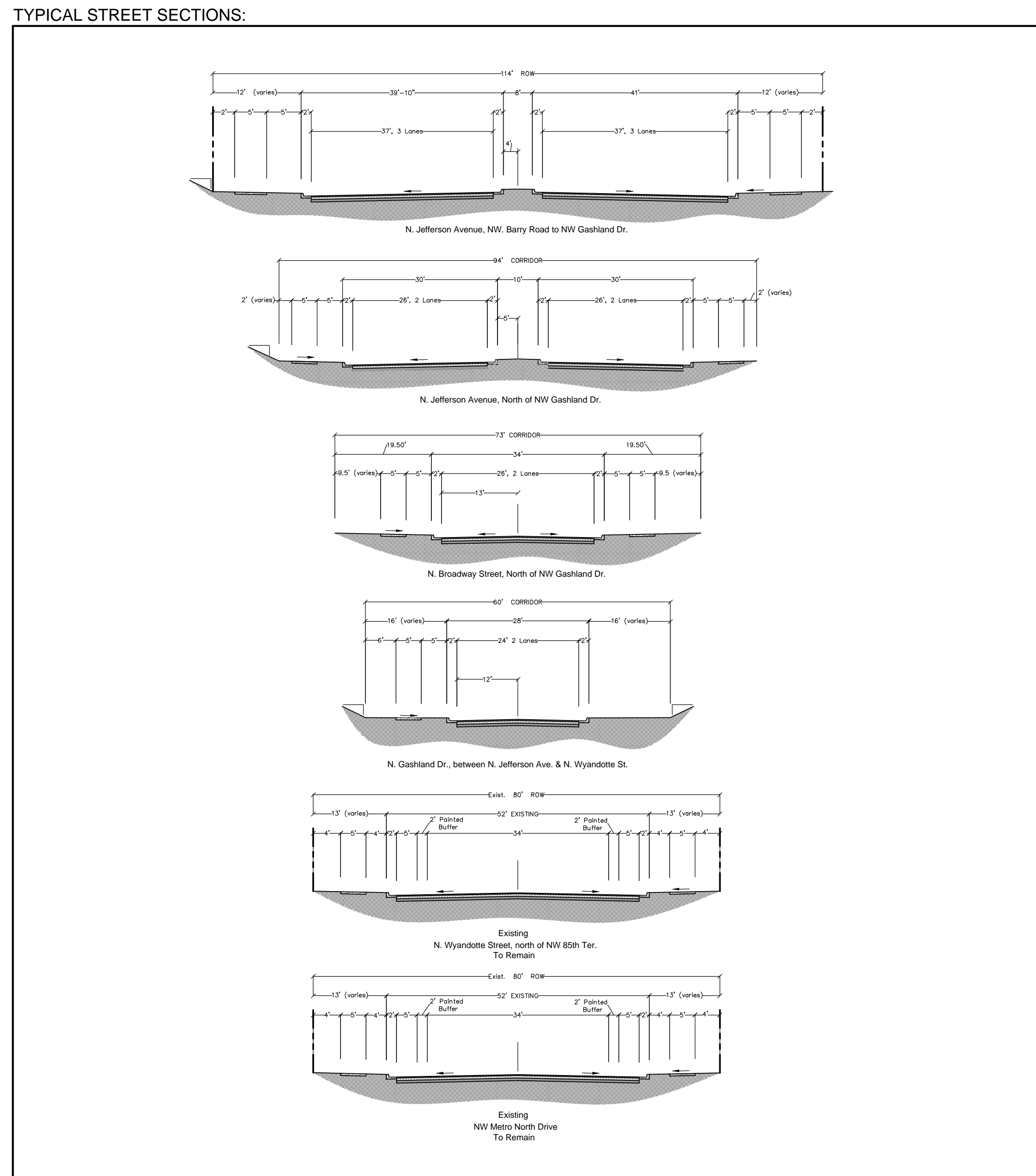
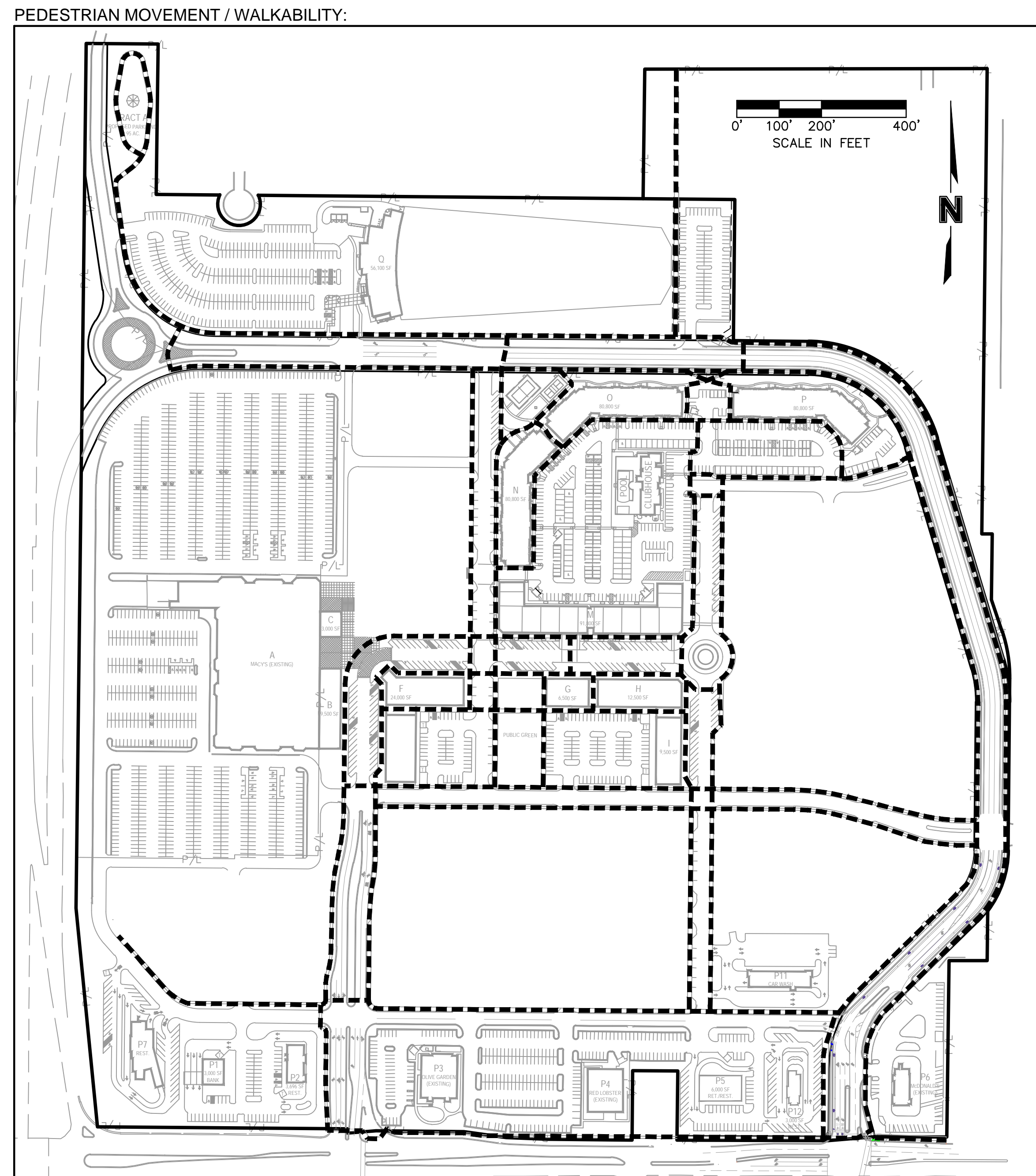
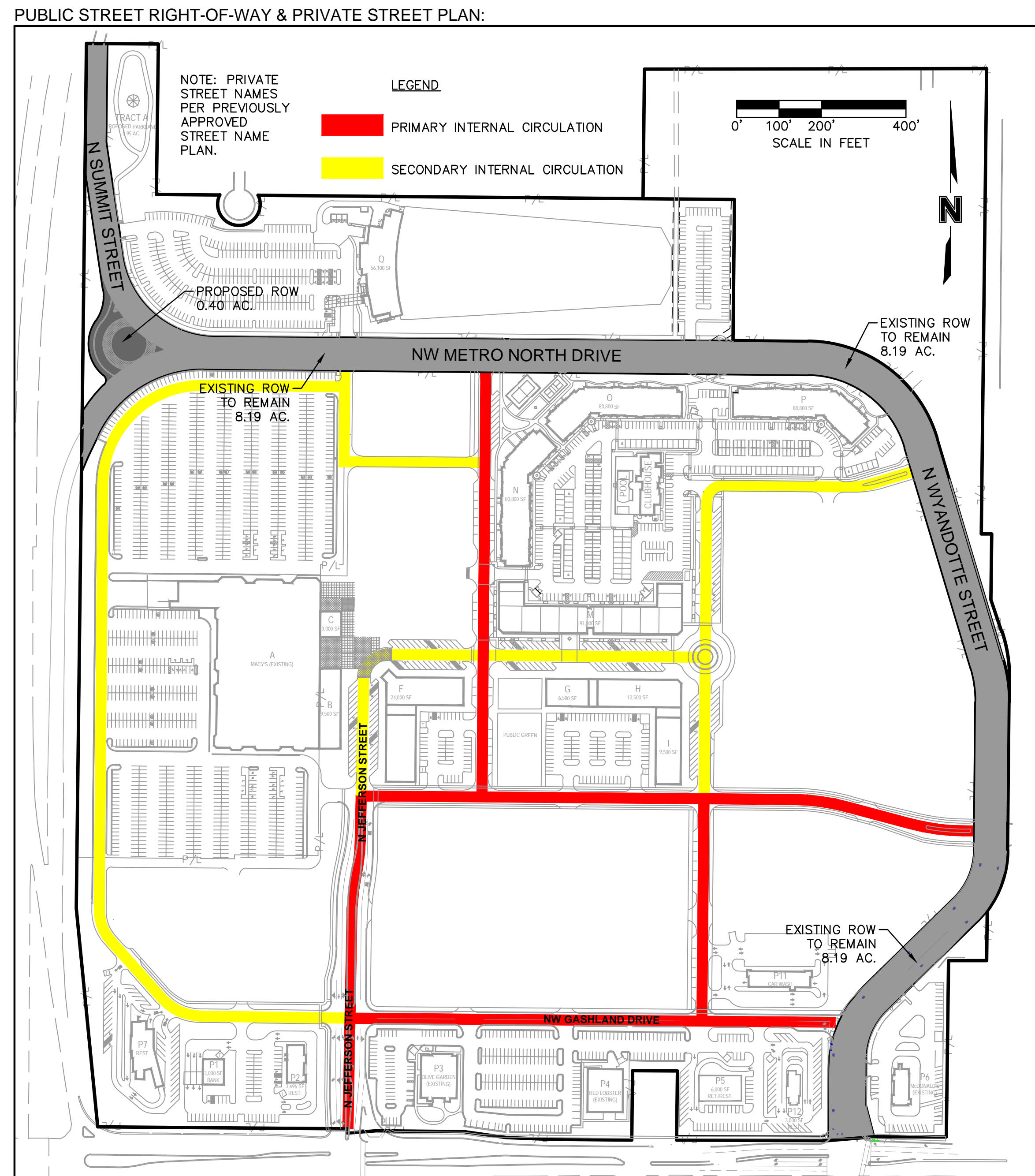
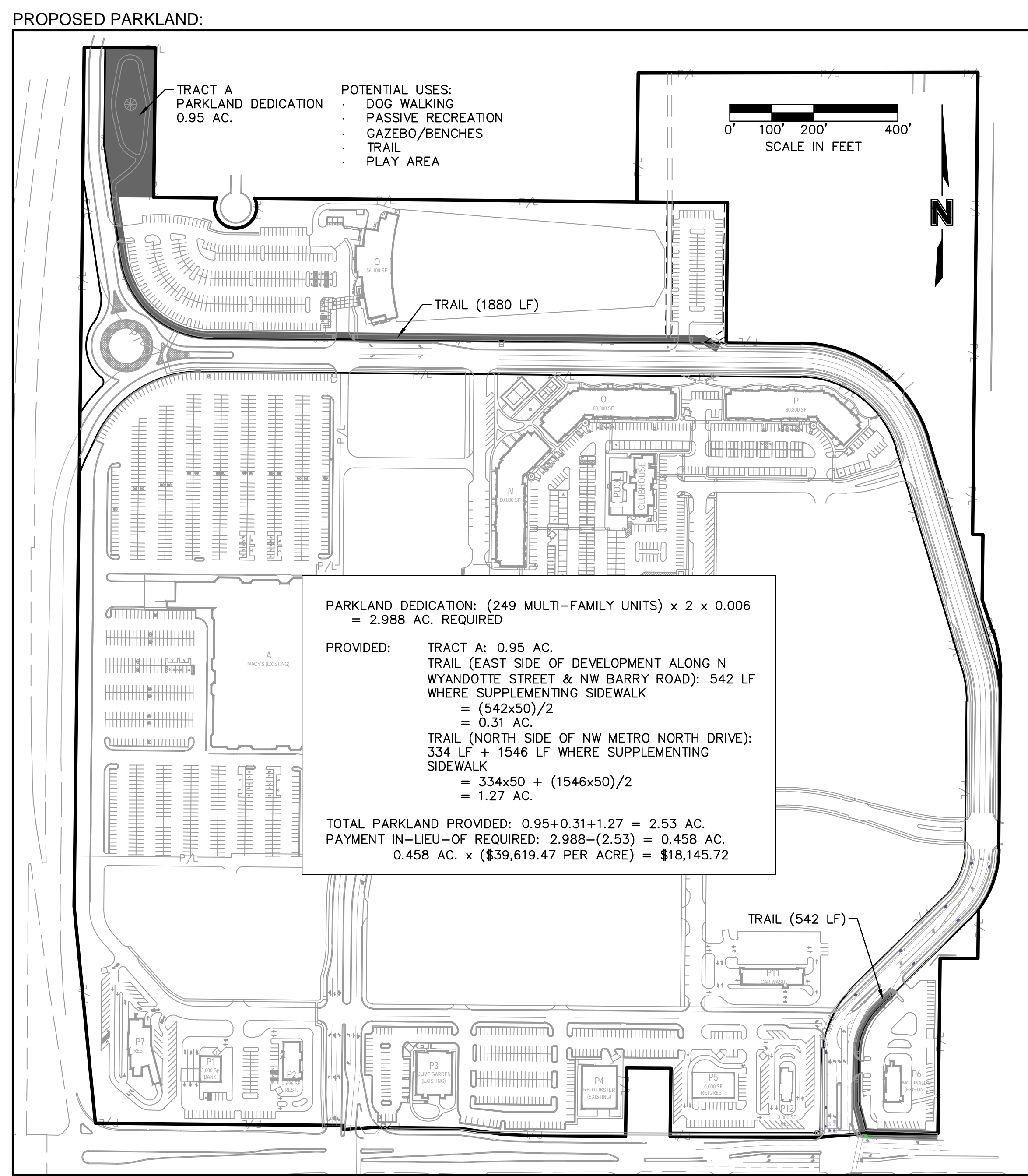
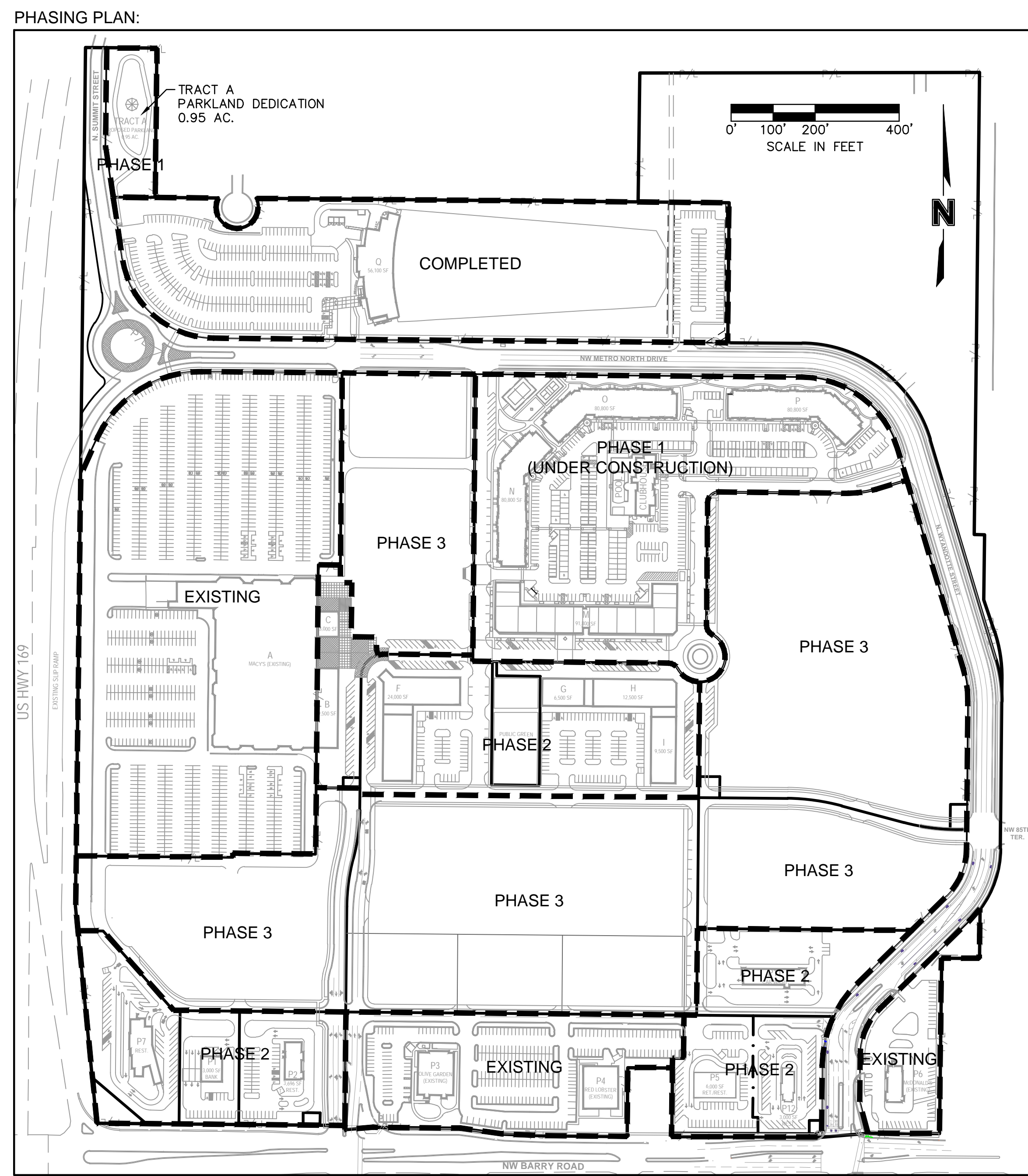
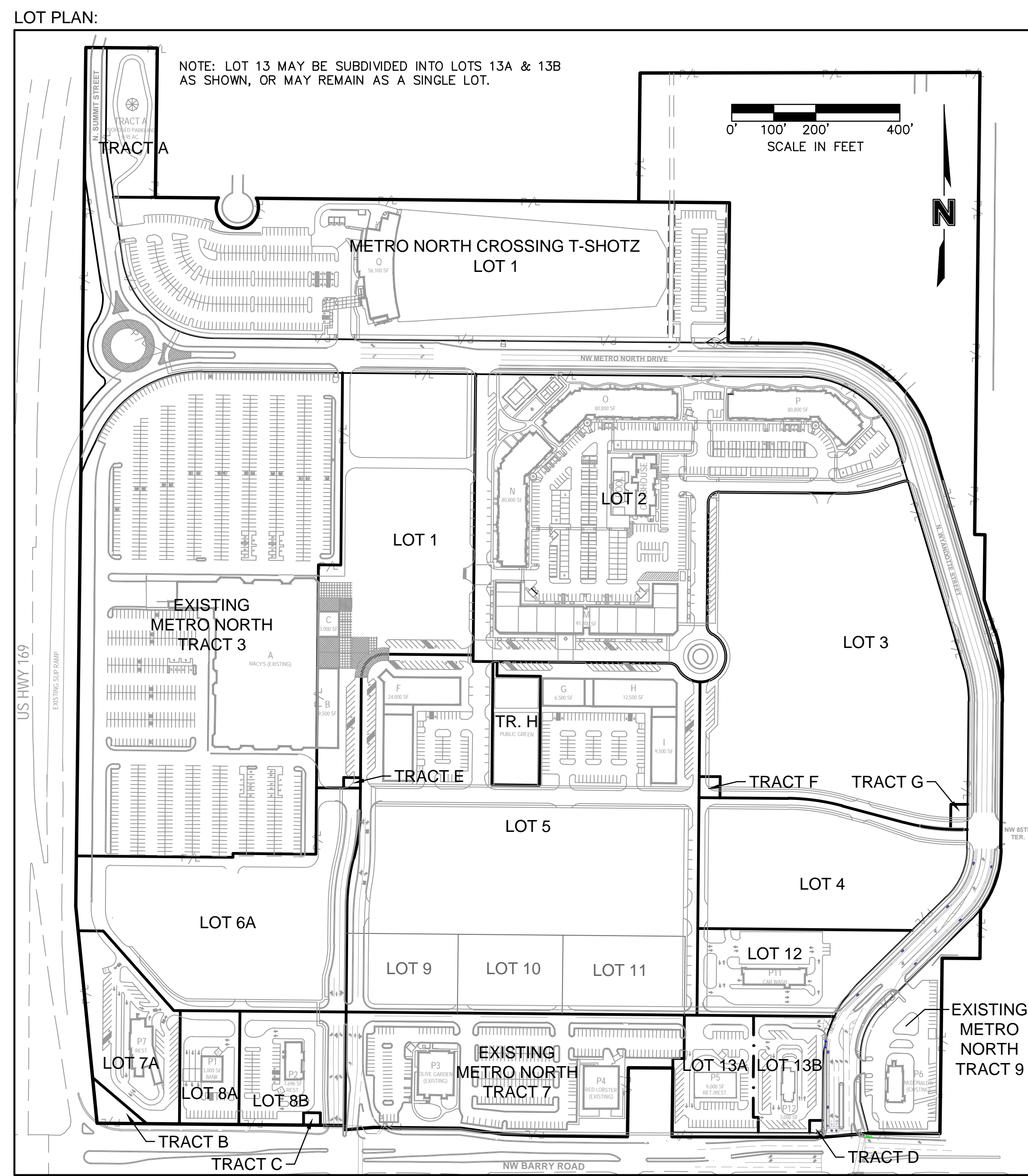
KANSAS CITY, MO

2019

drawn by: _____
checked by: _____
designed by: _____
QA/QC by: _____
project no.: 018-0558-10
date: 2020.11.19

SHEET 03

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 DATE: Jun 09, 2021 4:52pm
 USER: cholmquist



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METRO NORTH CROSSING

NO.	REV.	DATE	REVISIONS DESCRIPTION
1		2021.02.23	Revised per discussion with Staff
2		2021.03.05	Revised per discussion with Staff
3		2021.06.09	Revised Lot 13 layout

PRELIMINARY SITE PLAN 02

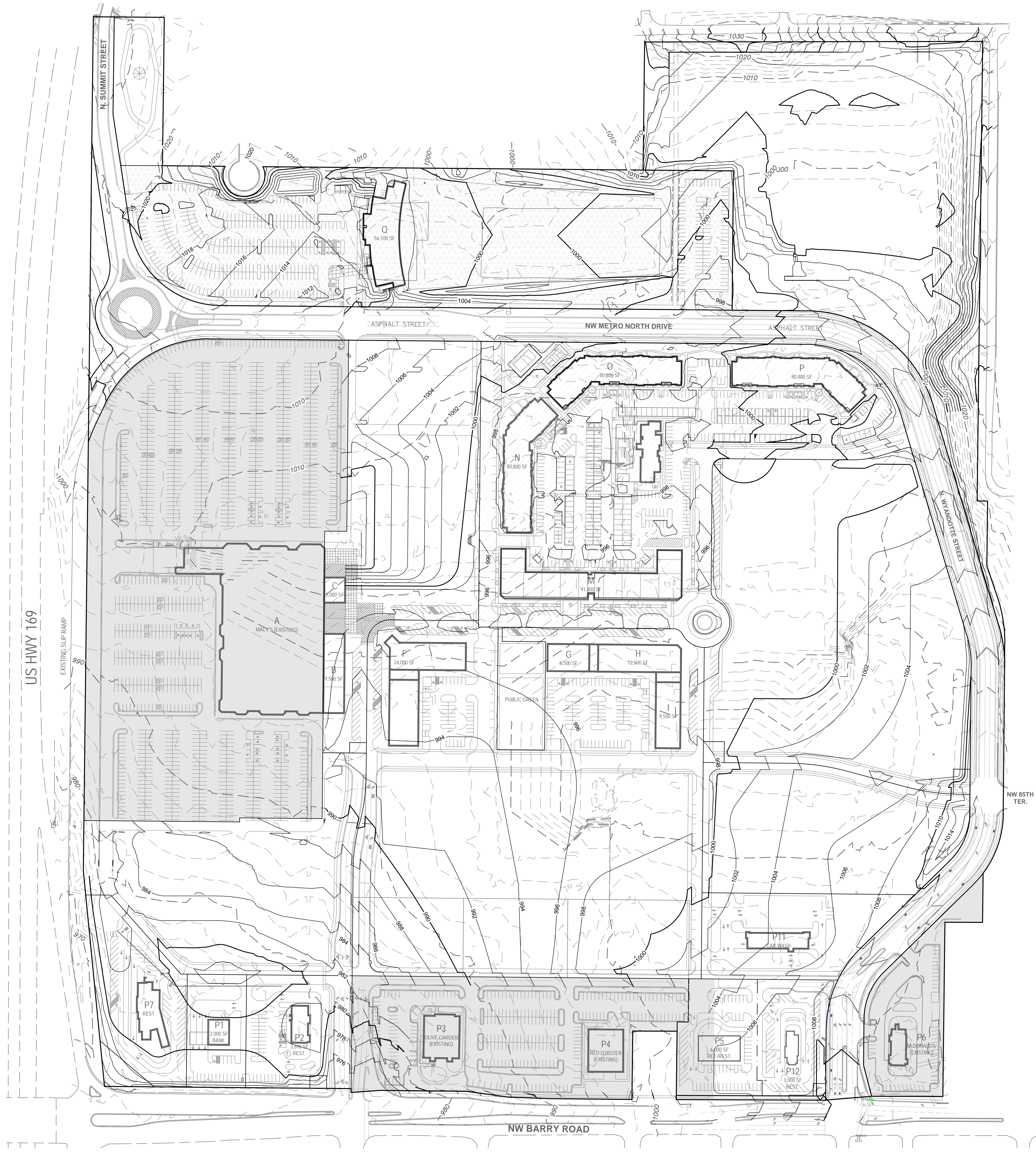
METRO NORTH CROSSING
 UR PLAN AMENDMENT

KANSAS CITY, MO

2019

drawn by: CCH
 checked by: JEE
 designed by: NE
 QA/QC by: JEE
 project no.: 018-0558-D
 date: 2020.11.19

SHEET 04



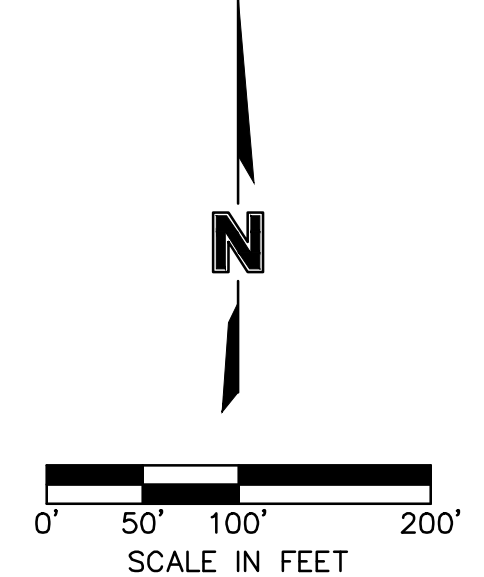
US HWY 169

LEGEND

- [Solid Grey] EXISTING LOTS
- [Diagonal Hatching] COMPLETED LOTS PER APPROVED UR FINAL PLAN
- [Cross-hatching] LOTS UNDER CONSTRUCTION PER APPROVED UR FINAL PLAN

LEGEND

[Dashed Line]	EXISTING INDEX CONTOURS
[Dotted Line]	EXISTING INTERMEDIATE CONTOURS
[Solid Line]	PROPOSED INDEX CONTOURS
[Dashed Line]	PROPOSED INTERMEDIATE CONTOURS
[Dotted Line]	FUTURE INDEX CONTOURS
[Dotted Line]	FUTURE INTERMEDIATE CONTOURS



PRELIMINARY GRADING PLAN
METRO NORTH CROSSING
UR PLAN AMENDMENT
 KANSAS CITY, MO

NO. REV.	DATE	REVISIONS DESCRIPTION	BY
1	2021.02.23	Revised per discussion with Staff	CH
2	2021.05.25	Revised per discussion with Staff	CH
3	2021.06.02	Revised Lot 13 layout	CH

drawn by: _____ CCH
 checked by: _____ JEF
 designed by: _____ NEJ
 GADG by: _____ JEF
 project no.: 018-0558-D
 date: 2020.11.19

SHEET 05

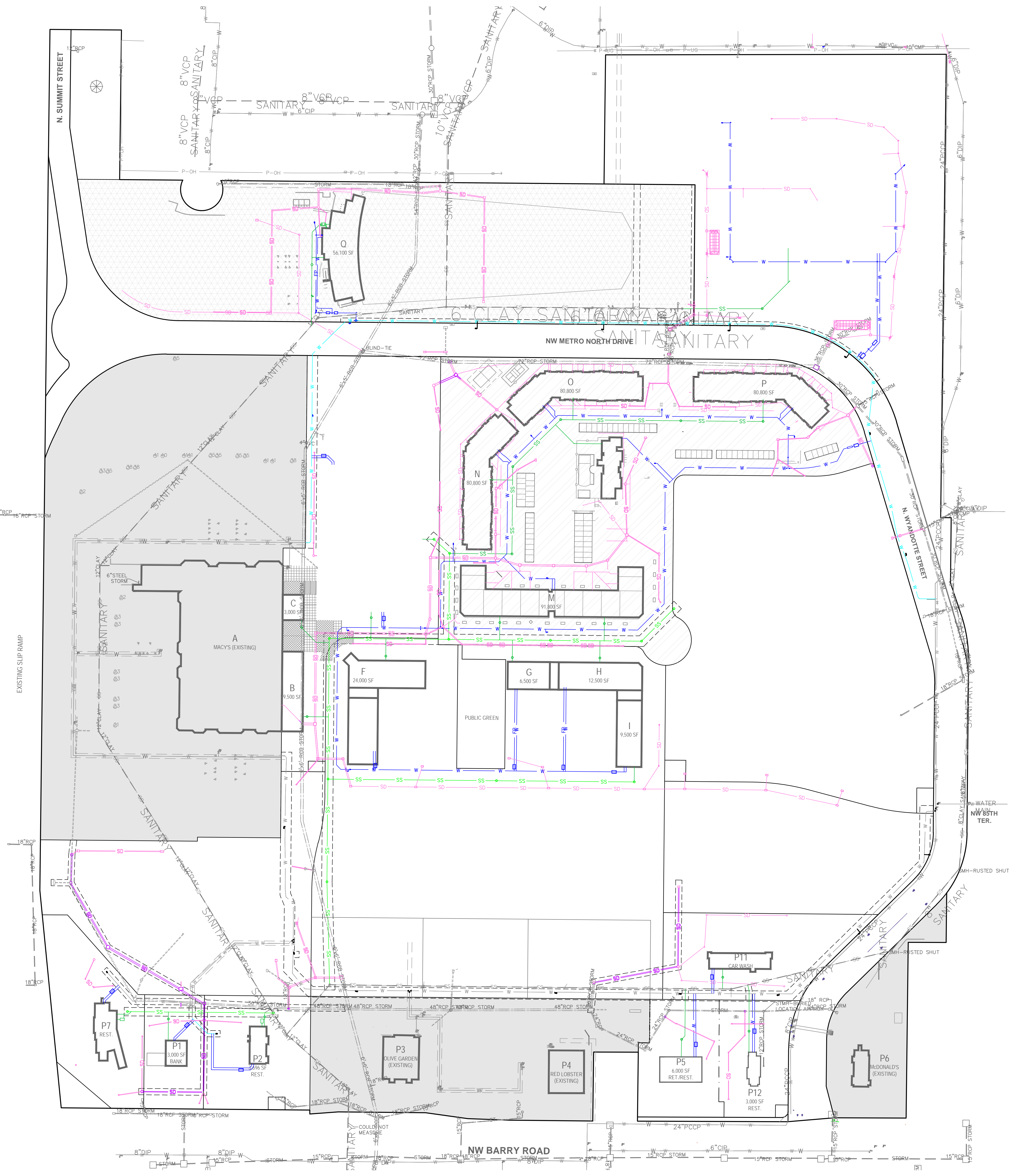
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METRO NORTH CROSSING

REVISIONS

NO.	DATE	REVISIONS DESCRIPTION	BY

US HWY 169

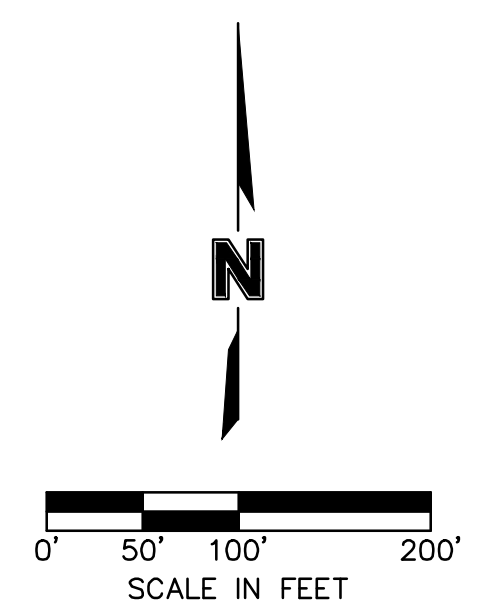


LEGEND

- [Hatched Box] EXISTING LOTS
- [Cross-hatched Box] COMPLETED LOTS PER APPROVED UR FINAL PLAN
- [Diagonal-hatched Box] LOTS UNDER CONSTRUCTION PER APPROVED UR FINAL PLAN

LEGEND

ESS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER (PRIV.)
SS	PROPOSED SANITARY SEWER (PUB.)
SS	FUTURE SANITARY SEWER
ESS	EXISTING STORM SEWER
SS	PROPOSED STORM SEWER (PRIV.)
SS	PROPOSED STORM SEWER (PUB.)
SS	FUTURE STORM SEWER
EW	EXISTING WATER LINE
W	PROPOSED WATER LINE
FW	FUTURE WATER LINE



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METRO NORTH CROSSING

NO.	REV.	DATE	REVISIONS DESCRIPTION
1		2021/02/23	Revised per discussion with Staff
2		2021/03/03	Revised per discussion with Staff
3		2021/06/09	Revised Lot 13 layout

PRELIMINARY UTILITY PLAN
METRO NORTH CROSSING
UR PLAN AMENDMENT
KANSAS CITY, MO

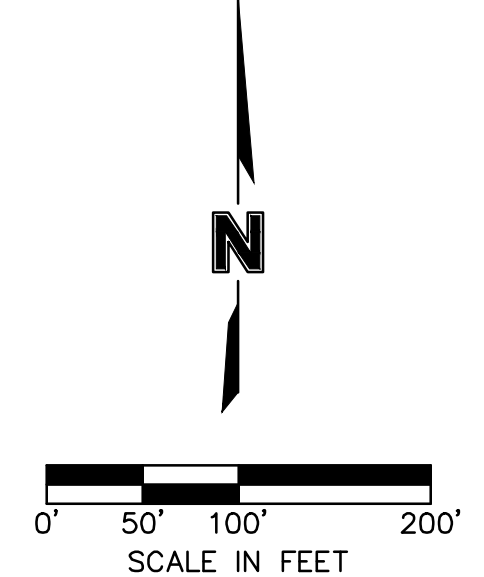
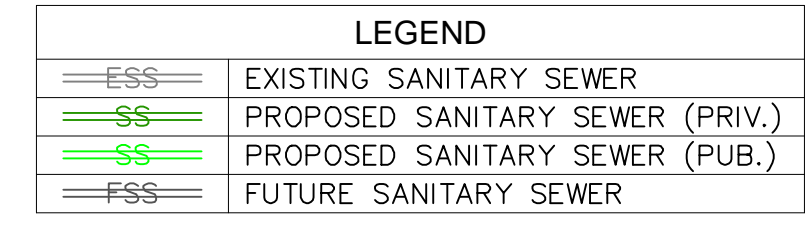
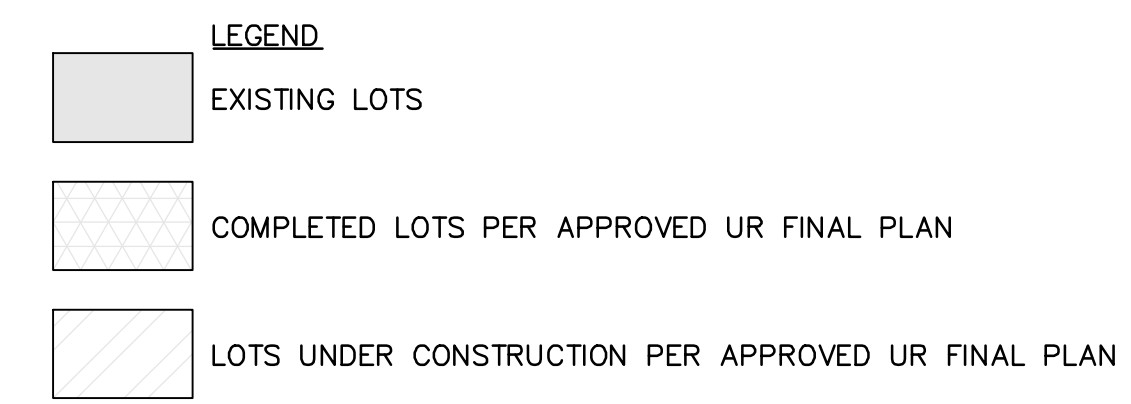
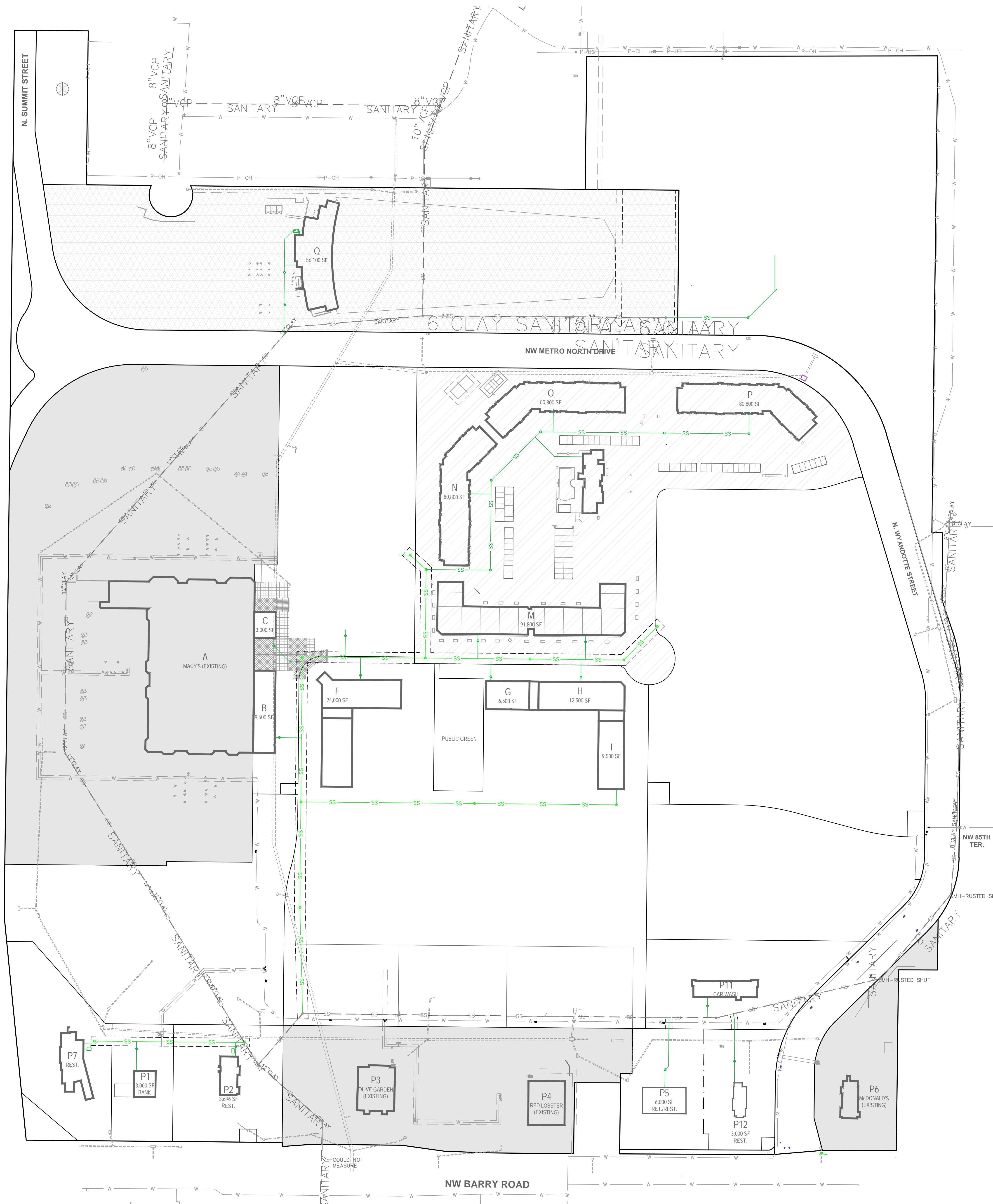
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 checked by: _____ JEF
 designed by: _____ NE
 GADCO by: _____ JEF
 project no.: 018-0558-D
 date: 2020.11.19

SHEET 06

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 DATE: Jun 09, 2021 4:53pm
 USER: cholmquist

US HWY 169

EXISTING SLIP RAMP



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METRO NORTH CROSSING

NO.	REV.	DATE	REVISIONS DESCRIPTION
1		2021.02.23	Revised per discussion with Staff
2		2021.06.09	Revised per discussion with Staff
3		2021.06.09	Revised Lot 13 layout

PRELIMINARY SANITARY SEWER PLAN

METRO NORTH CROSSING
 UR PLAN AMENDMENT

KANSAS CITY, MO

2019

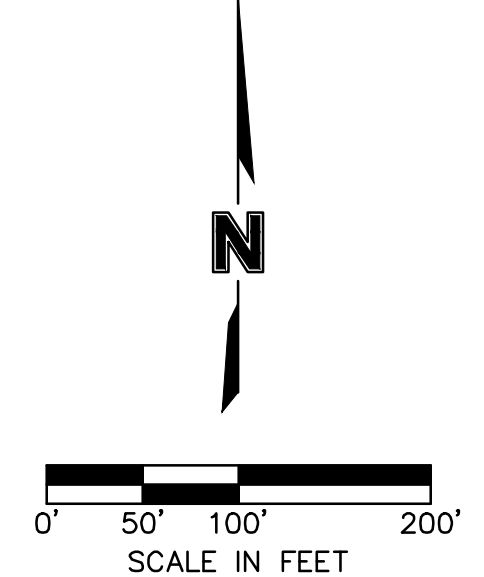
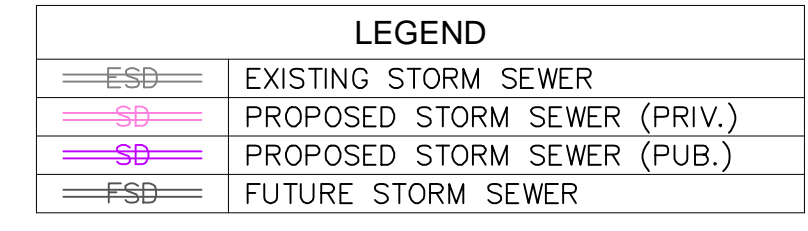
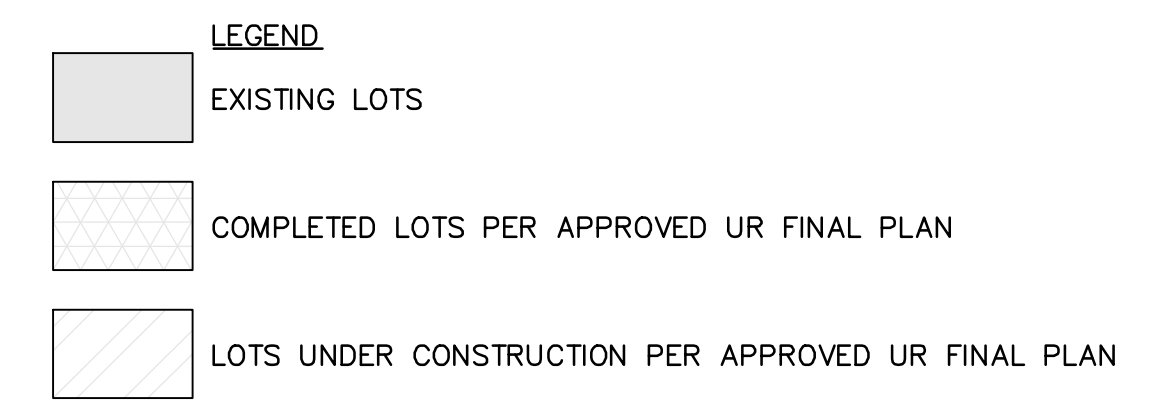
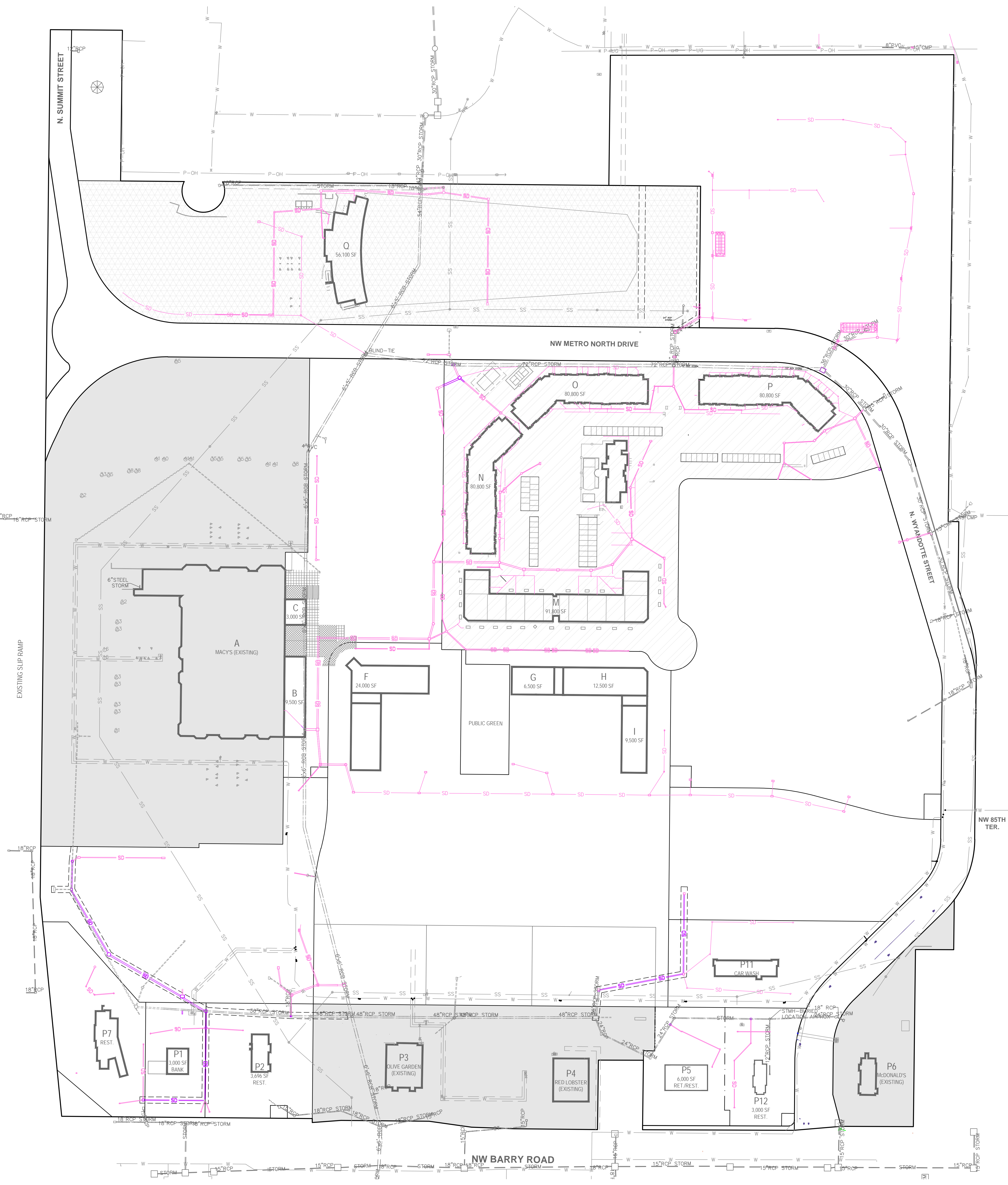
REVISIONS

drawn by: _____ CCH
 checked by: _____ JEE
 designed by: _____ NEJ
 G.A.O.C. by: _____ JEE
 project no.: 018-0558-D
 date: 2020.11.19

SHEET
 06A

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 DATE: Jun 09, 2021 4:53pm

US HWY 169



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METRO NORTH
CROSSING

PRELIMINARY STORM SEWER PLAN

METRO NORTH CROSSING
UR PLAN AMENDMENT

KANSAS CITY, MO

2019

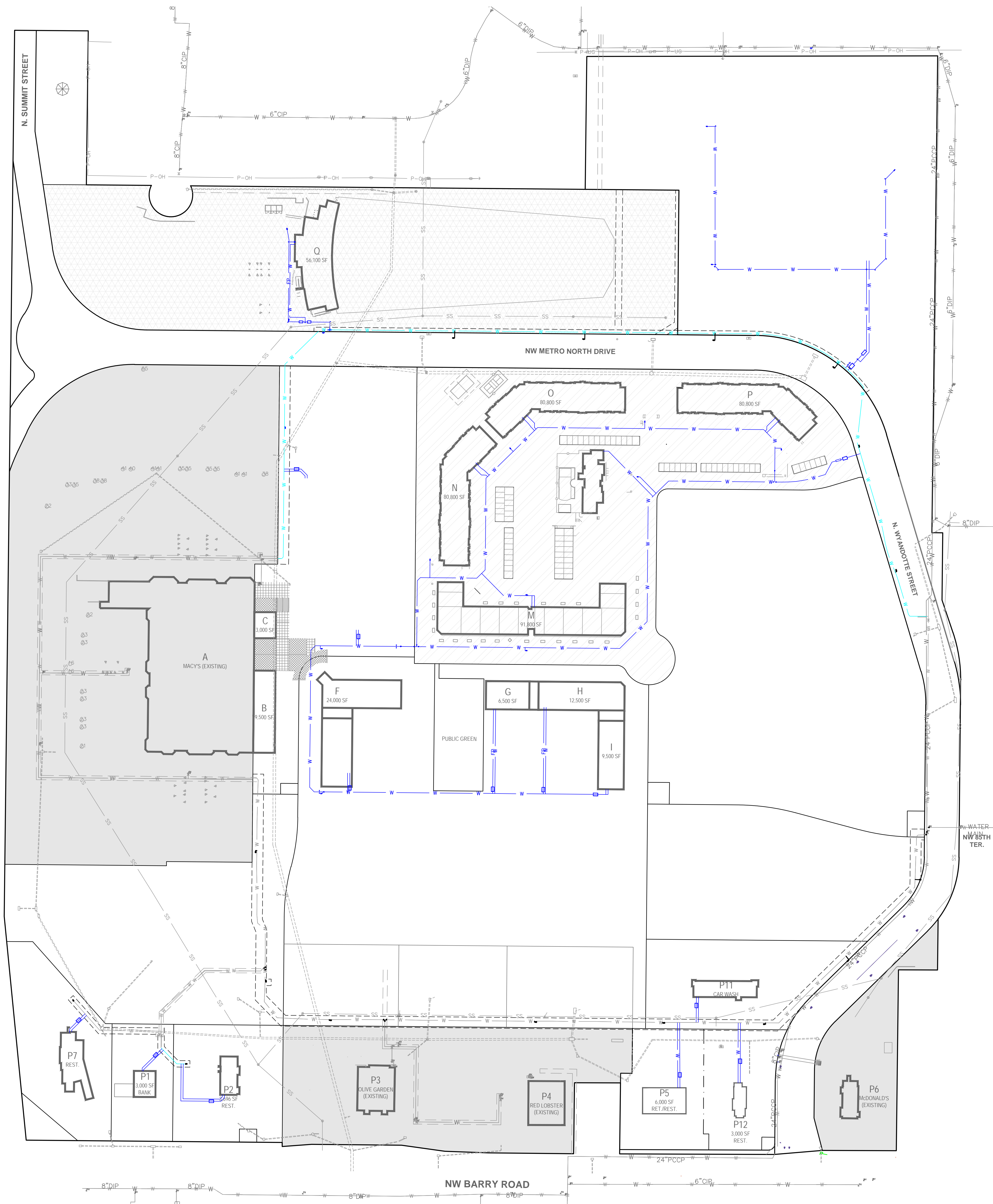
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1		2021.02.23	Revised per discussion with Staff	CHH
2		2021.03.03	Revised per discussion with Staff	CHH
3		2021.06.03	Revised Lot 13 layout	CHH

drawn by: _____ CCH
 checked by: _____ JEE
 GADCO by: _____ NE
 project no.: 018-0558-D
 date: 2020.11.19

SHEET 06B

US HWY 169

EXISTING SLIP RAMP

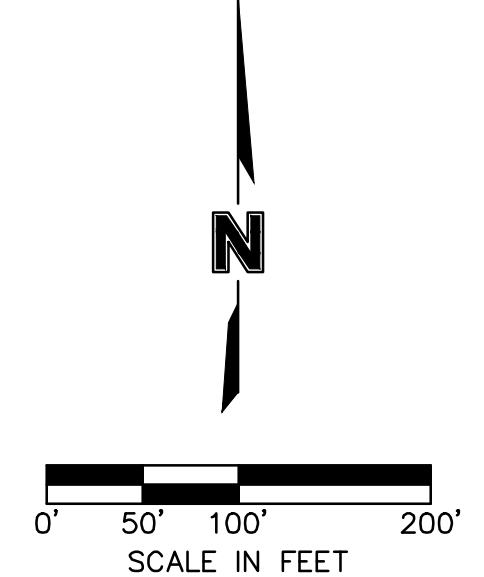


LEGEND

- EXISTING LOTS
- COMPLETED LOTS PER APPROVED UR FINAL PLAN
- LOTS UNDER CONSTRUCTION PER APPROVED UR FINAL PLAN

LEGEND

- EXISTING WATER LINE
- PROPOSED WATER LINE (PRIVATE)
- PROPOSED WATER LINE (PUBLIC)
- FUTURE WATER LINE



NO.	DATE	REVISIONS DESCRIPTION	BY
1	2021.02.23	Revised per discussion with Staff	CH
2	2021.06.09	Revised per discussion with Staff	CH
3	2021.06.09	Revised Lot 13 layout	CH

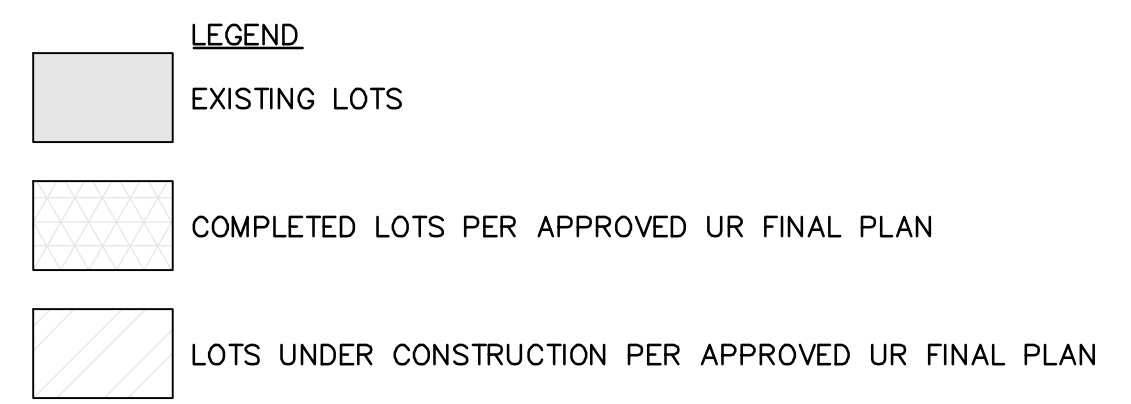
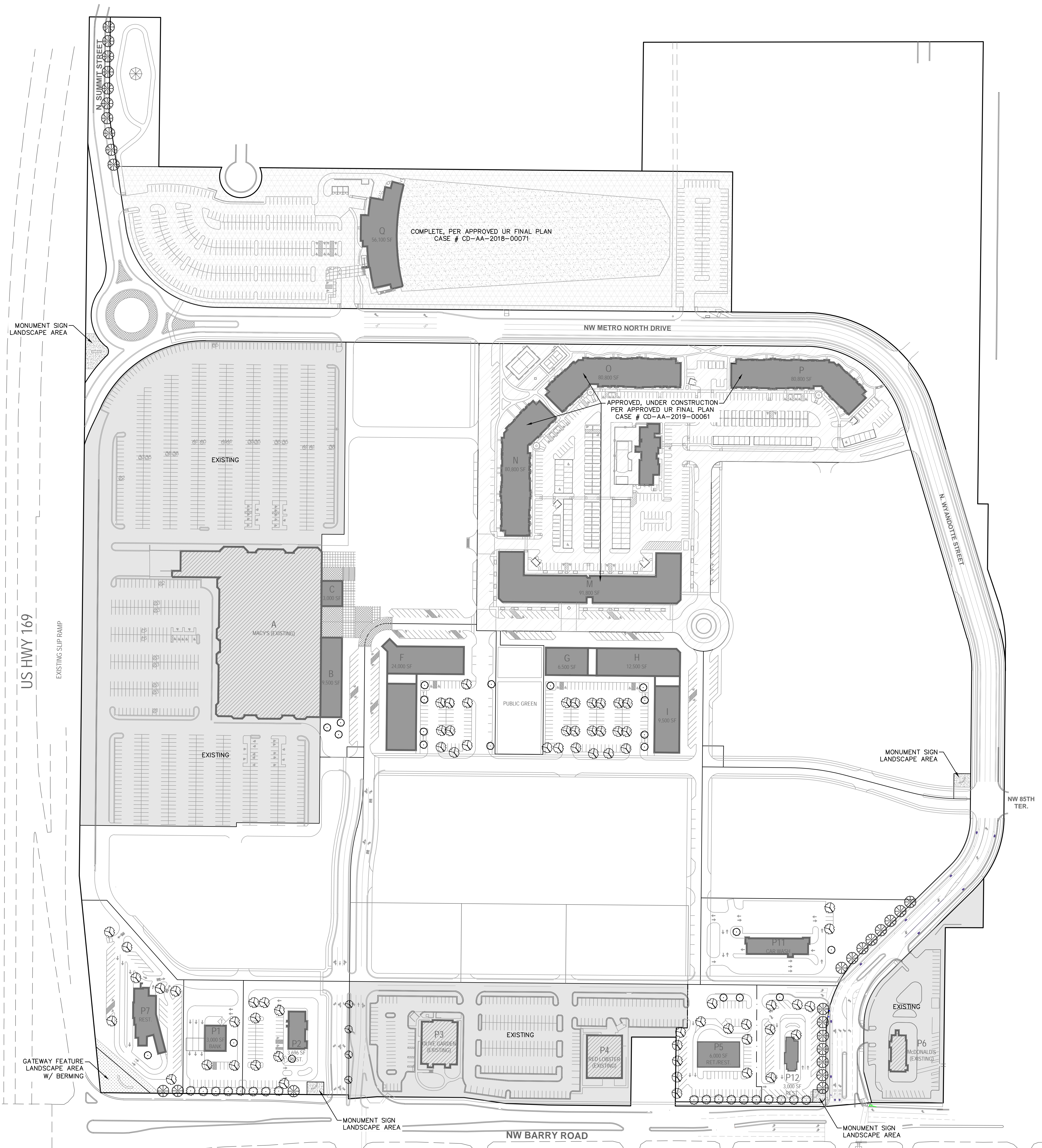
PRELIMINARY WATER PLAN
 METRO NORTH CROSSING
 UR PLAN AMENDMENT
 KANSAS CITY, MO
 2019

drawn by: _____ CCH
 checked by: _____ JEE
 designed by: _____ NE
 GADG by: _____ JEE
 project no.: 018-0558-D
 date: 2020.11.19

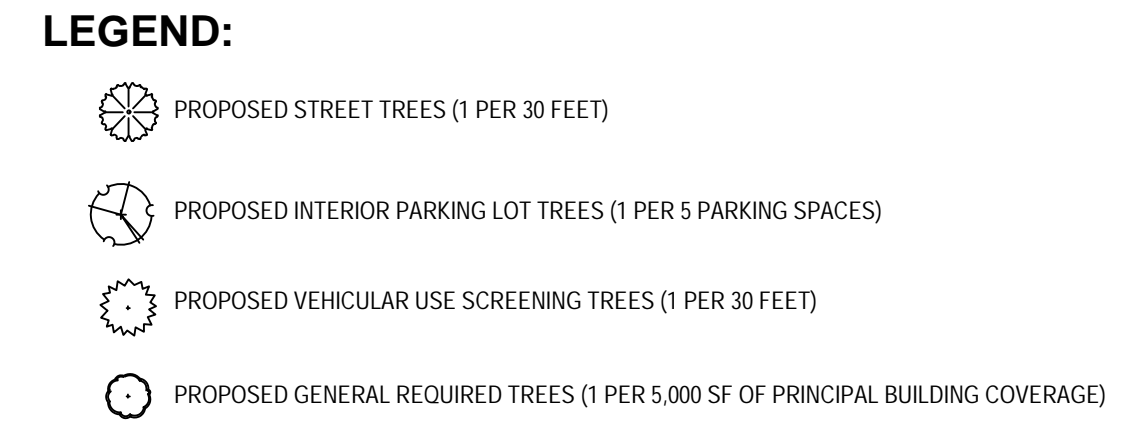
SHEET 06C

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METRO NORTH CROSSING



- NOTES:**
1. GENERAL PROPOSED TREE LOCATIONS AND QUANTITIES PER 88-425 OF THE KANSAS CITY ZONING & DEVELOPMENT CODE ARE AS SHOWN ON THIS PLAN.
 2. TREE TYPE (DECIDUOUS, ORNAMENTAL, AND EVERGREEN) SHALL BE SELECTED AND INCLUDED ON UR FINAL PLAN.
 3. GENUS AND SPECIES OF ALL PROPOSED PLANT MATERIAL SHALL BE SELECTED AND INCLUDED ON UR FINAL PLAN AND/OR BUILDING PERMIT PLANS.
 4. REQUIRED SHRUBS PER 88-425 OF THE KANSAS CITY ZONING & DEVELOPMENT CODE SHALL BE INCLUDED ON UR FINAL PLAN.
 5. FINAL LANDSCAPE AND HARDSCAPE DESIGN OF ALL AREAS INCLUDING BUILDING FOUNDATION PLANTINGS, STREETSCAPE DESIGN, MONUMENT SIGN PLANTINGS, PEDESTRIAN WALKWAY ENHANCEMENTS, SCREENING, AND GENERAL LANDSCAPING SHALL BE PER THE UR FINAL PLAN AND BUILDING PERMIT PLANS.
 6. ALL PROPOSED PLANT MATERIAL SIZE AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH 88-425 OF THE KANSAS CITY ZONING & DEVELOPMENT CODE.
 7. LANDSCAPE CALCULATIONS LISTED BELOW DO NOT INCLUDE LANDSCAPING FOR EXISTING, COMPLETED, OR UNDER-CONSTRUCTION LOTS.
 8. ALL PROPOSED LOTS SHALL PROVIDE 3% OF LANDSCAPE AREA PER PARKING SPACE. PER 88-425.
 9. FUTURE LOTS WITH NO LANDSCAPING SHOWN SHALL MEET ALL REQUIREMENTS OF 88-425, AND INCLUDED ON UR FINAL PLAN.
 10. ALL PROPOSED LOTS WITH FRONTAGE TO N WYANDOTTE STREET AND/OR NW BARRY ROAD (LOTS 1, 3, 4, 7A, 8A, 8B, 12, 13) SHALL PROVIDE LANDSCAPING ALONG PUBLIC STREET FRONTAGE AS REQUIRED PER 88-425. THIS SHALL INCLUDE STREET TREES AND VEHICULAR USE AREA SCREENING TREES & SHRUBS.



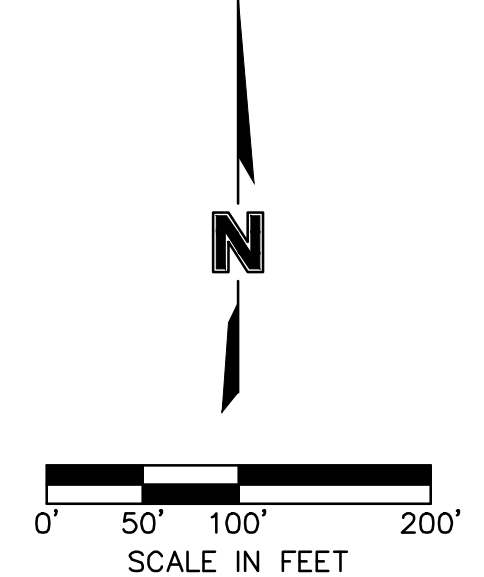
US HWY 169
 EXISTING SLIP RAMP

GATEWAY FEATURE
 LANDSCAPE AREA
 W/ BERMING

MONUMENT SIGN
 LANDSCAPE AREA

MONUMENT SIGN
 LANDSCAPE AREA

NW 85TH
 TER.



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**METRO NORTH
 CROSSING**

NO.	REV.	DATE	REVISIONS DESCRIPTION	BY
1		2021.02.23	Revised per discussion with Staff	CH
2		2021.06.09	Revised per discussion with Staff	CH
3		2021.06.09	Revised Lot 13 layout	CH

PRELIMINARY LANDSCAPE PLAN

METRO NORTH CROSSING
 UR PLAN AMENDMENT

KANSAS CITY, MO

2019

REVISIONS

drawn by: _____ CCH

checked by: _____ JEF

designed by: _____ NE

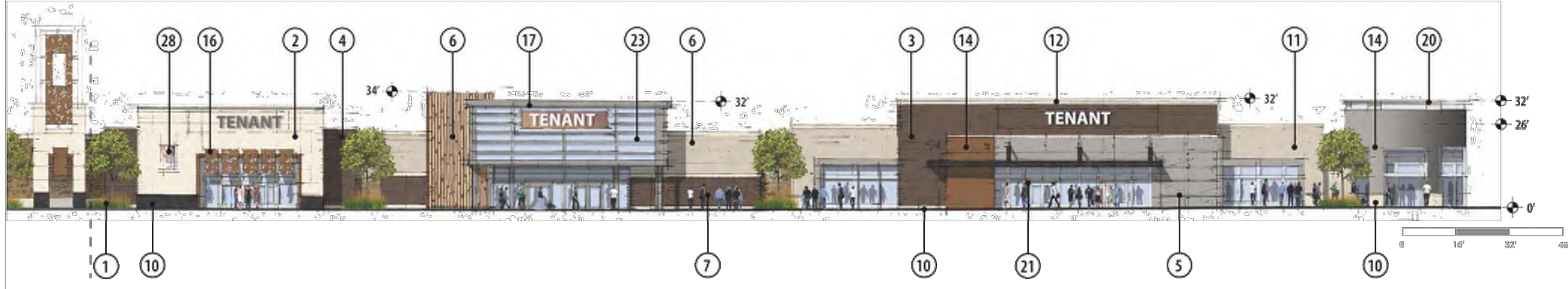
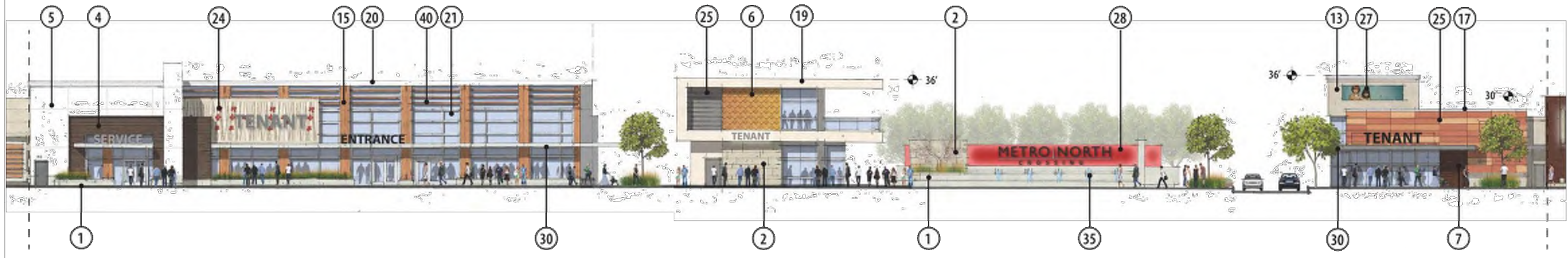
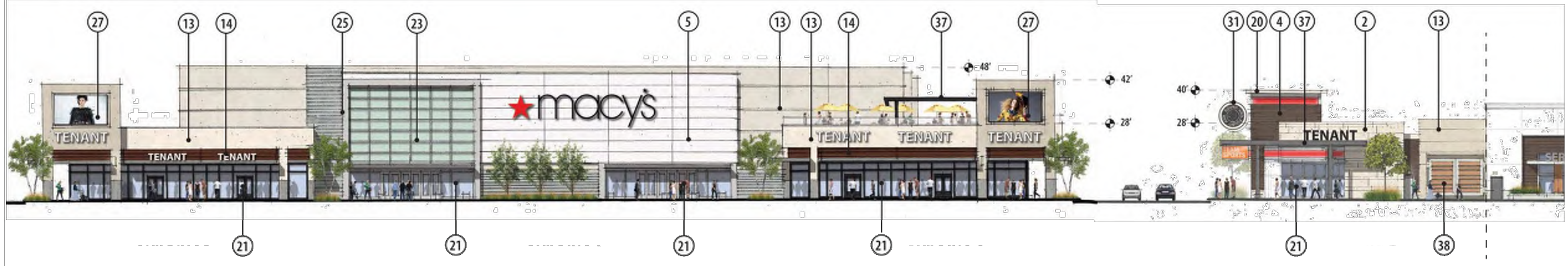
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project no.: 018-0558-D

date: 2020.11.19

**SHEET
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 USER: chalmquist



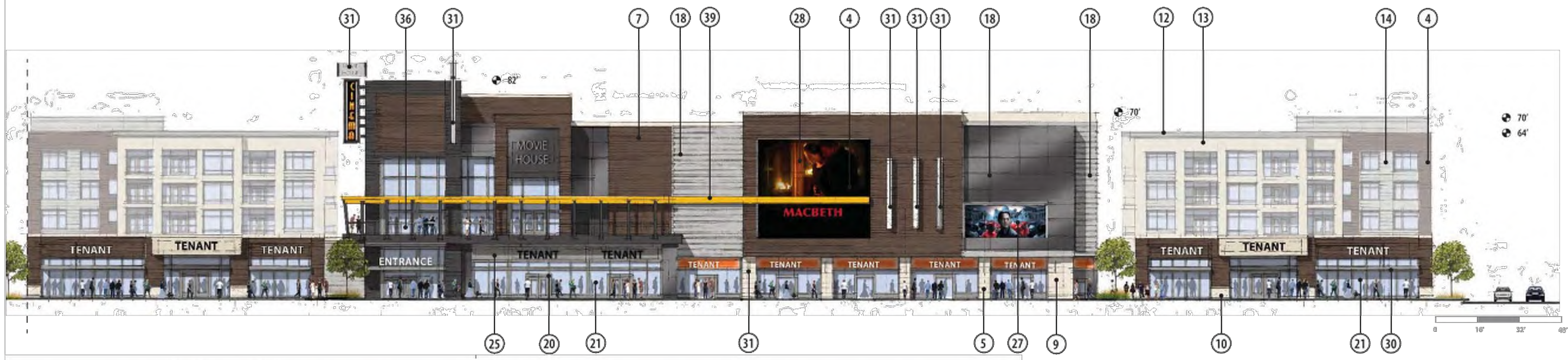
- NOTES**
1. LANDSCAPING PLANTER OR BED
 2. THINSET NATURAL STONE CLADDING
 3. BRICK MASONRY TYPE 1
 4. BRICK MASONRY TYPE 2
 5. LARGE FORMAT EXTERIOR TILE/PORCELAIN PANELS
 6. PRECAST PANEL SYSTEM W/ FORMLINER
 7. PRECAST PANEL SYSTEM W/ THINSET BRICK MASONRY
 8. CORDOBA STONE MASONRY TYPE 1 (SMOOTH FACED)
 9. CORDOBA STONE MASONRY TYPE 2 (ROCK FACED)
 10. CAST STONE BASE/TRIM
 11. PRECAST PANEL W/HIGH-PERFORMANCE COATING TO MATCH EIFS
 12. DECORATIVE FOAM PARAPET CAP
 13. EIFS EXTERIOR CLADDING SYSTEM
 14. COMPOSITE WOOD CLADDING SYSTEM/RAINSCREEN
 15. ROUGH HEWN TIMBER COLUMNS
 16. DECORATIVE PLASMA CUT METAL PANEL SOLAR SHADE
 17. METAL PARAPET CAP
 18. METAL PANEL RAINSCREEN
 19. ACM METAL PANEL SYSTEM
 20. BREAK-METAL TRIM/FLASHING/CORNICE CAP
 21. STOREFRONT GLAZING SYSTEM
 22. FRITTED GLASS PATTERN LANGUAGES
 23. TRANSLUCENT OR SPANDREL GLASS
 24. DECORATIVE RESIN PANEL ACCENT CLADDING (3 FORM OR EQUAL)
 25. CEMENT BOARD RAINSCREEN SYSTEM
 26. METAL MESH SYSTEM
 27. INTERACTIVE GRAPHIC DISPLAY BY TENANT
 28. DECORATIVE SIGN GRAPHIC W/ BACK ILLUMINATION
 29. DECORATIVE RESIN PANEL CANOPY/SOLAR SHADE
 30. METAL CANOPY W/ COMPOSITE WOOD SOFFIT
 31. MARQUEE/BLADE SIGN BY TENANT
 32. WALL SIGN BY TENANT
 33. DECORATIVE LIGHTING/LIGHT FIXTURES
 34. CLOCK FACE - BACK ILLUMINATED
 35. FOUNTAIN/ W/SMALL LAMINAR WATERFALL, BUBBLERS
 36. GLASS BALCONY
 37. METAL AND WOOD TRELLIS/ARBOR
 38. GALVANIZED METAL GRATES W/COMPOSITE WOOD CLADDING
 39. DECORATIVE METAL BAND
 40. METAL GRILLE/SOLAR SHADE

REVISIONS DESCRIPTION	
NO.	DATE
1	2021.02.23
2	2021.03.05
3	2021.06.03

BUILDING CHARACTER ELEVATIONS	
METRO NORTH CROSSING UR PLAN AMENDMENT	
KANSAS CITY, MO	
2019	REVISIONS

drawn by: CCH
 checked by: JEL
 designed by: NEI
 G.A.D.C. by: JEL
 project no.: 018-0558-D
 date: 2020.11.19

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NOTES

1. LANDSCAPING PLANTER OR BED
2. THINSET NATURAL STONE CLADDING
3. BRICK MASONRY TYPE 1
4. BRICK MASONRY TYPE 2
5. LARGE FORMAT EXTERIOR TILE/PORCELAIN PANELS
6. PRECAST PANEL SYSTEM W/ FORMLINER
7. PRECAST PANEL SYSTEM W/ THINSET BRICK MASONRY
8. CORDOBA STONE MASONRY TYPE 1 (SMOOTH FACED)
9. CORDOBA STONE MASONRY TYPE 2 (ROCK FACED)
10. CAST STONE BASE/TRIM
11. PRECAST PANEL W/HIGH-PERFORMANCE COATING TO MATCH EIFS
12. DECORATIVE FOAM PARAPET CAP
13. EIFS EXTERIOR CLADDING SYSTEM
14. COMPOSITE WOOD CLADDING SYSTEM/RAINSCREEN
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17. METAL PARAPET CAP
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20. BREAK-METAL TRIM/FLASHING/CORNICE CAP
21. STOREFRONT GLAZING SYSTEM
22. FRITTED GLASS PATTERN LANGUAGES
23. TRANSLUCENT OR SPANDREL GLASS
24. DECORATIVE RESIN PANEL ACCENT CLADDING (3 FORM OR EQUAL)
25. CEMENT BOARD RAINSCREEN SYSTEM
26. METAL MESH SYSTEM
27. INTERACTIVE GRAPHIC DISPLAY BY TENANT
28. DECORATIVE SIGN GRAPHIC W/ BACK ILLUMINATION
29. DECORATIVE RESIN PANEL CANOPY/SOLAR SHADE
30. METAL CANOPY W/ COMPOSITE WOOD SOFFIT
31. MARQUEE/BLADE SIGN BY TENANT
32. WALL SIGN BY TENANT
33. DECORATIVE LIGHTING/LIGHT FIXTURES
34. CLOCK FACE - BACK ILLUMINATED
35. FOUNTAIN/ W/SMALL LAMINAR WATERFALL, BUBBLERS
36. GLASS BALCONY
37. METAL AND WOOD TRELLIS/ARBOR
38. GALVANIZED METAL GRATES W/COMPOSITE WOOD CLADDING
39. DECORATIVE METAL BAND
40. METAL GRILLE/SOLAR SHADE

NO.	REV.	DATE	REVISIONS DESCRIPTION
1		2021.02.23	Revised per discussion with Staff
2		2021.06.01	Revised per discussion with Staff
3		2021.06.01	Revised per discussion with Staff

BUILDING CHARACTER ELEVATIONS
 METRO NORTH CROSSING
 UR PLAN AMENDMENT
 KANSAS CITY, MO

drawn by: CCH
 checked by: JEL
 designed by: NE
 G.A.C.C. by: JEL
 project no.: 018-0558-D
 date: 2020.11.19



4 FRONT ELEVATION 2 - PRESENTATION
3/32" = 1'-0"



3 FRONT ELEVATION - PRESENTATION
3/32" = 1'-0"



2 REAR ELEVATION - PRESENTATION
3/32" = 1'-0"



1 REAR ELEVATION 2 - PRESENTATION
3/32" = 1'-0"

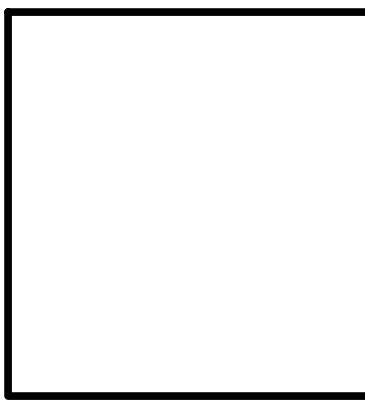


3D PERSPECTIVE - OPTION 3

METRO NORTH CROSSING - RETAIL & TOWNHOME
KANSAS CITY, MISSOURI

A7

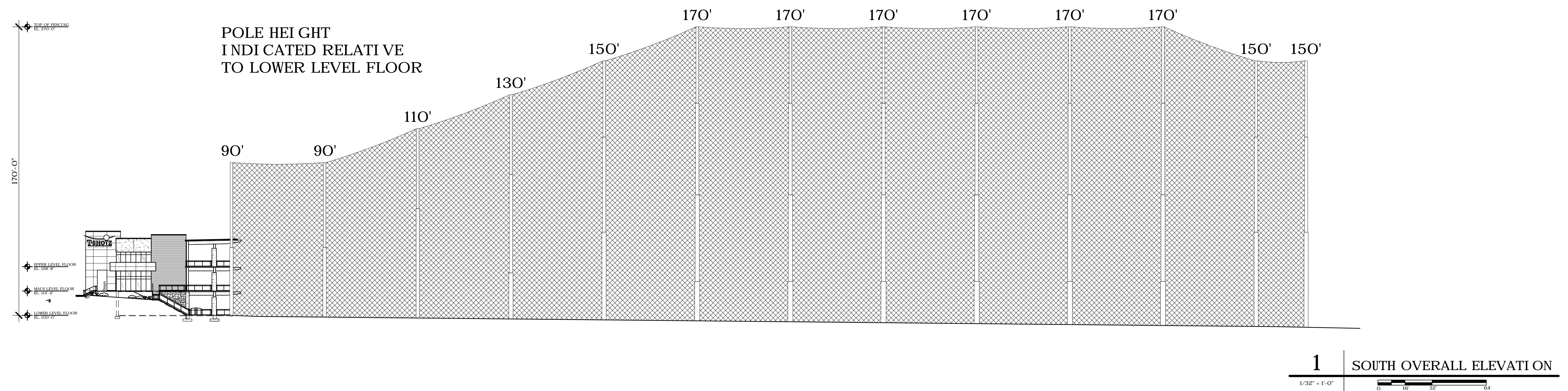
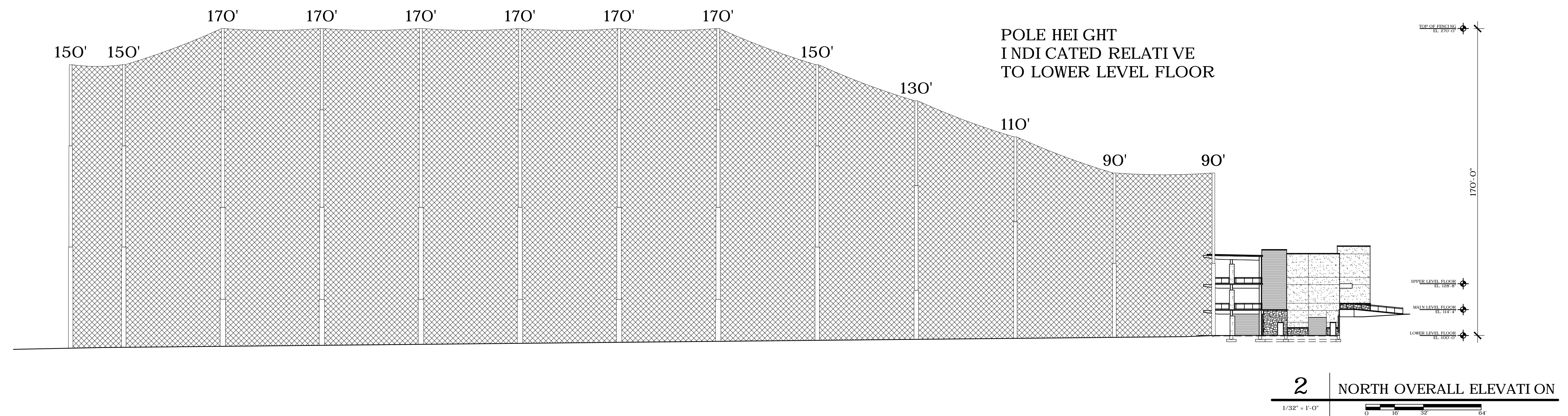
11/15/18



ARCHITECT:
 PIPER-WIND ARCHITECTS, INC.
 2121 CENTRAL STREET, SUITE 143
 KANSAS CITY, MISSOURI 64108
 TEL: 816-474-3050 / FAX: 816-474-3051
 www.piper-wind.com

STRUCTURAL ENGINEER:
 ROB D. CAMPBELL & CO.
 4538 RELIEFVIEW
 KANSAS CITY, MISSOURI 64111
 TEL: 816-221-4144 / FAX: 816-531-8572
 www.rdc-eng.com

MEP ENGINEER:
 LANKFORD FENDLER +
 ASSOCIATES
 1730 WALNUT
 KANSAS CITY, MISSOURI 64108
 TEL: 816-221-4141 / FAX: 816-221-1429
 www.lankfordfendler.com



METRO NORTH CROSSING
 T-SHOTZ GOLF ENTERTAINMENT



PRELIMINARY
 NOT FOR
 CONSTRUCTION

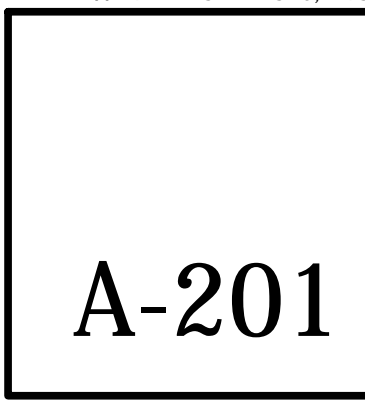
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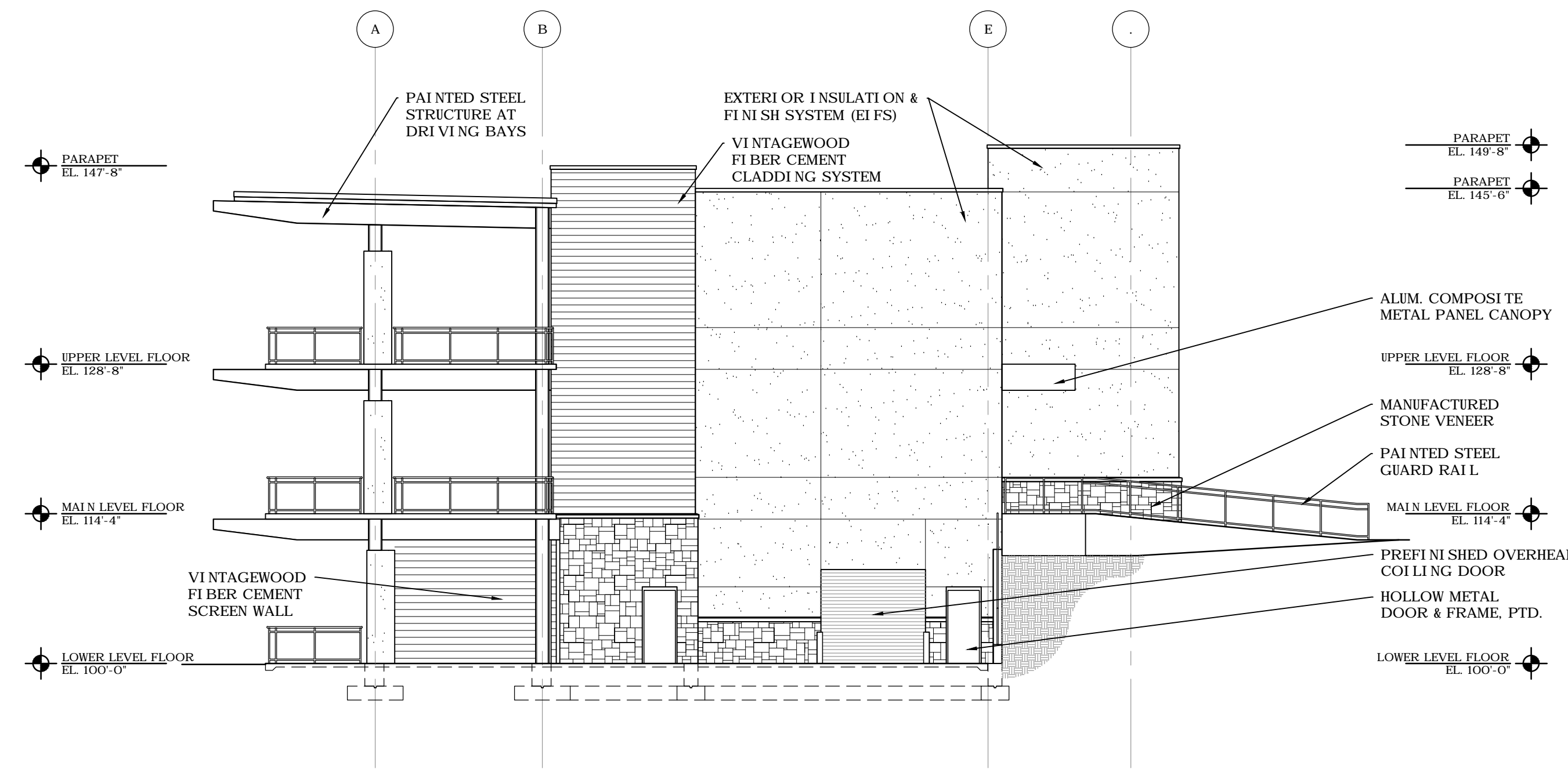
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DRAWN BY	
CHECKED BY	
REVISION DATE	DESCRIPTION

SHEET TITLE & NUMBER

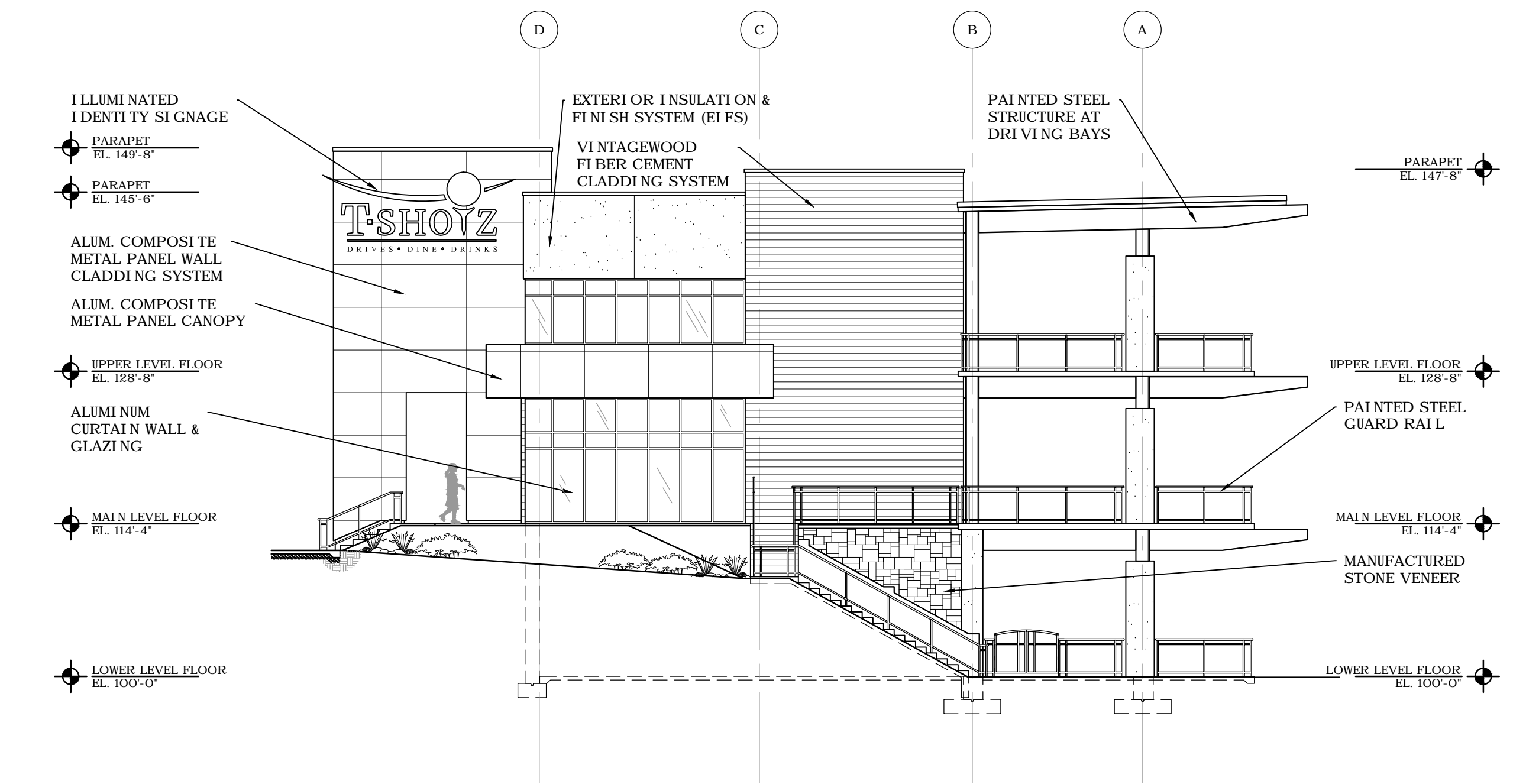
EXTERIOR
 ELEVATIONS

7/21/18 - HY 2018
 PIPER-WIND ARCHITECTS, INC.

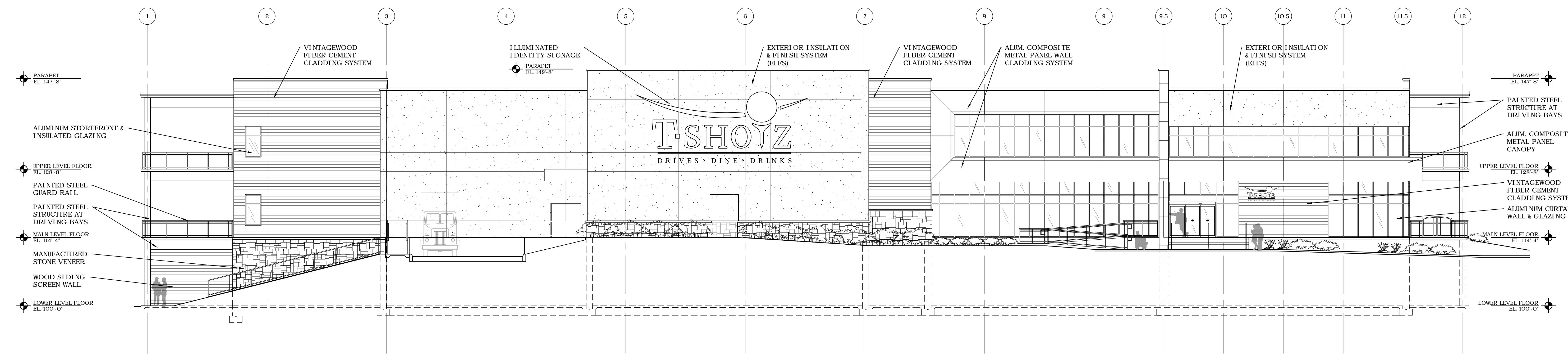




4 NORTH ELEVATION
3/32" = 1'-0"



3 SOUTH ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



1 EAST ELEVATION
3/32" = 1'-0"

ARCHITECT:
PIPER-WIND ARCHITECTS, INC.
2121 CENTRAL STREET, SUITE 143
KANSAS CITY, MISSOURI 64118
TEL: 816-474-2600 / FAX: 816-474-3051
www.piper-wind.com

STRUCTURAL ENGINEER:
BOB D. CAMPBELL & CO.
4538 BELLEVUE
KANSAS CITY, MISSOURI 64111
TEL: 816-521-1144 / FAX: 816-531-8572
www.bdc-eggs.com

MEP ENGINEER:
LANFORD FENDLER + ASSOCIATES
1730 Walnut
KANSAS CITY, MISSOURI 64108
TEL: 816-221-1411 / FAX: 816-221-1429
www.lanfordsfendler.com

METRO NORTH CROSSING
T-SHOYZ GOLF ENTERTAINMENT



PRELIMINARY
NOT FOR
CONSTRUCTION

UR FINAL PLAN

PROJECT NO.	2017
DATE	08/16/2018
DRAWN BY	
CHECKED BY	
REVISION DATE	DESCRIPTION

SHEET TITLE & NUMBER

ENLARGED
EXTERIOR
ELEVATIONS
7/21/18 - HY 2018
PIPER-WIND ARCHITECTS, INC.