

IN THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI



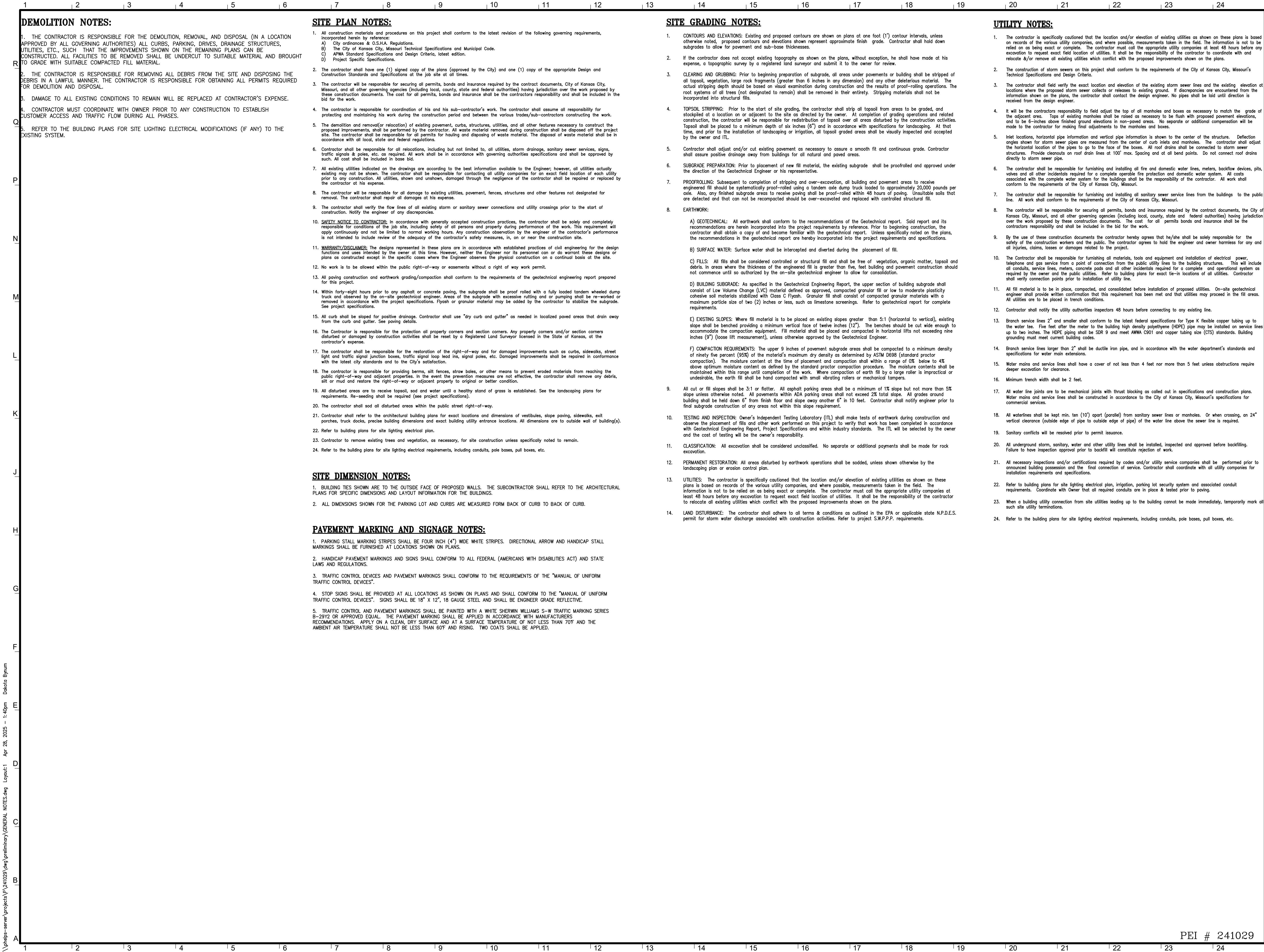
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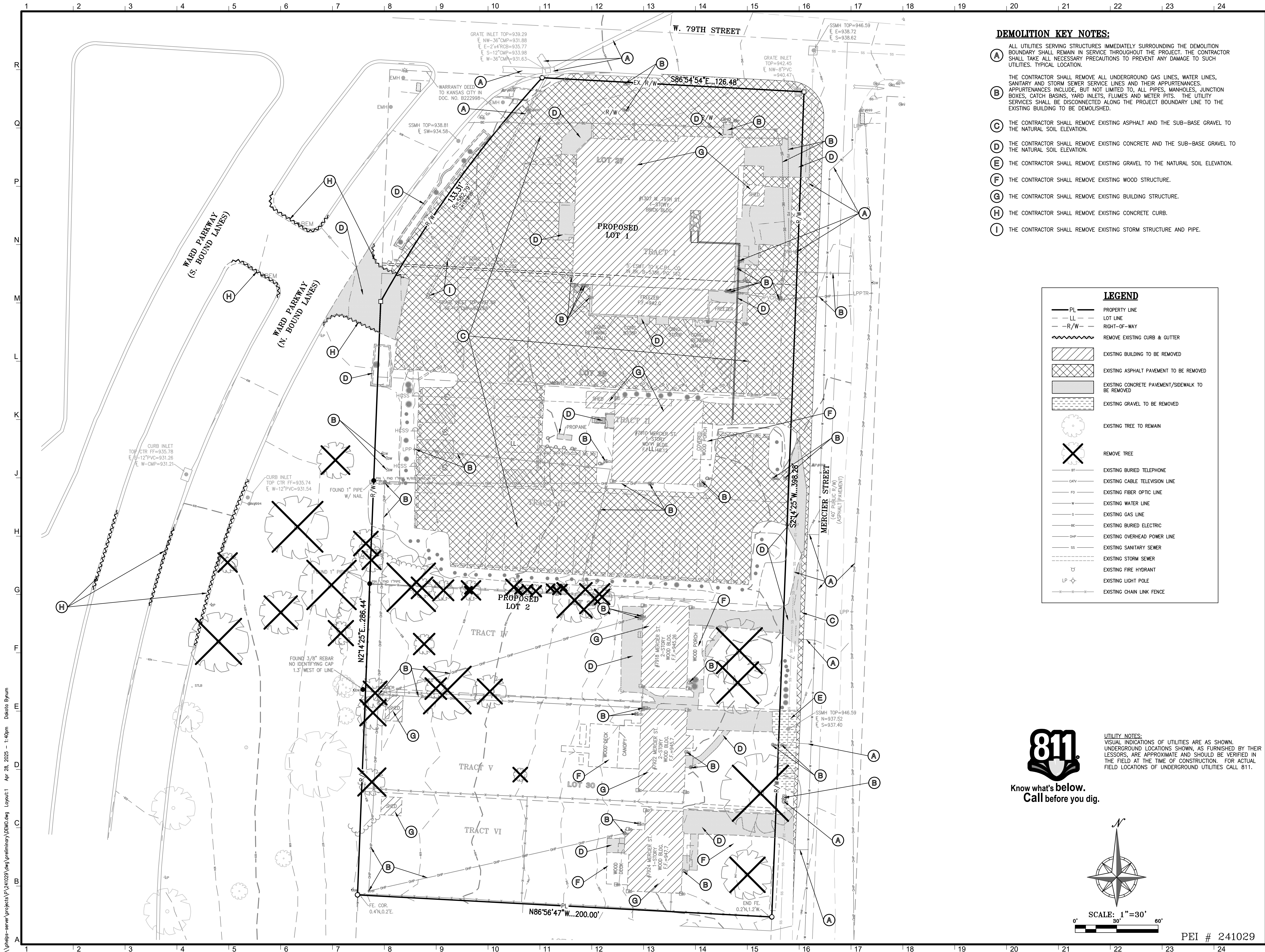
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Call before you dig.

PEI # 241029

C000

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DEMOLITION KEY NOTES:

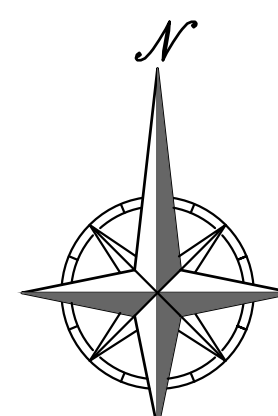
- (A)** ALL UTILITIES SERVING STRUCTURES IMMEDIATELY SURROUNDING THE DEMOLITION BOUNDARY SHALL REMAIN IN SERVICE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY DAMAGE TO SUCH UTILITIES. TYPICAL LOCATION.
- (B)** THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND GAS LINES, WATER LINES, SANITARY AND STORM SEWER SERVICE LINES AND THEIR APPURTENANCES. APPURTENANCES INCLUDE, BUT NOT LIMITED TO, ALL PIPES, MANHOLES, JUNCTION BOXES, CATCH BASINS, YARD INLETS, FLUMES AND METER PITS. THE UTILITY SERVICES SHALL BE DISCONNECTED ALONG THE PROJECT BOUNDARY LINE TO THE EXISTING BUILDING TO BE DEMOLISHED.
- (C)** THE CONTRACTOR SHALL REMOVE EXISTING ASPHALT AND THE SUB-BASE GRAVEL TO THE NATURAL SOIL ELEVATION.
- (D)** THE CONTRACTOR SHALL REMOVE EXISTING CONCRETE AND THE SUB-BASE GRAVEL TO THE NATURAL SOIL ELEVATION.
- (E)** THE CONTRACTOR SHALL REMOVE EXISTING GRAVEL TO THE NATURAL SOIL ELEVATION.
- (F)** THE CONTRACTOR SHALL REMOVE EXISTING WOOD STRUCTURE.
- (G)** THE CONTRACTOR SHALL REMOVE EXISTING BUILDING STRUCTURE.
- (H)** THE CONTRACTOR SHALL REMOVE EXISTING CONCRETE CURB.
- (I)** THE CONTRACTOR SHALL REMOVE EXISTING STORM STRUCTURE AND PIPE.

LEGEND

— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
~~~~~	REMOVE EXISTING CURB & GUTTER
[Hatched Box]	EXISTING BUILDING TO BE REMOVED
[Cross-hatched Box]	EXISTING ASPHALT PAVEMENT TO BE REMOVED
[Stippled Box]	EXISTING CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED
[Dotted Box]	EXISTING GRAVEL TO BE REMOVED
[Tree Symbol]	EXISTING TREE TO REMAIN
[Tree Symbol with X]	REMOVE TREE
— BT —	EXISTING BURIED TELEPHONE
— CATV —	EXISTING CABLE TELEVISION LINE
— FO —	EXISTING FIBER OPTIC LINE
— W —	EXISTING WATER LINE
— G —	EXISTING GAS LINE
— BE —	EXISTING BURIED ELECTRIC
— OHP —	EXISTING OVERHEAD POWER LINE
— SS —	EXISTING SANITARY SEWER
— S —	EXISTING STORM SEWER
— FH —	EXISTING FIRE HYDRANT
— LP —	EXISTING LIGHT POLE
— CLF —	EXISTING CHAIN LINK FENCE



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SCALE: 1"=30'  
0' 30' 60'

PEI # 241029

**GastingerWalker &**

Architects  
817 Wyandotte  
Interior Designers  
Kansas City Missouri 64105 816.421.8200  
Construction Managers  
gastingerwalker.com

**PEI**  
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ENGINEERING  
IMPLEMENTATION  
PHELPS ENGINEERING, INC.  
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Olathe, Kansas 66061  
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Fax (913) 393-1166  
www.phelpsenr.com

PROJECT NO. 210662

**Fareway Meat Market**

1307 W 79th Street  
Kansas City, MO 64114

Fareway Stores, Inc  
2300 Industrial Park Road  
Boone, IA 50036  
515.432.2623

**ISSUED FOR:**

KCMO Final Plan Submittal	14 Mar 2025
KCMO Final Plan Resubmittal	21 April 2025
95% Construction Documents	28 April 2025

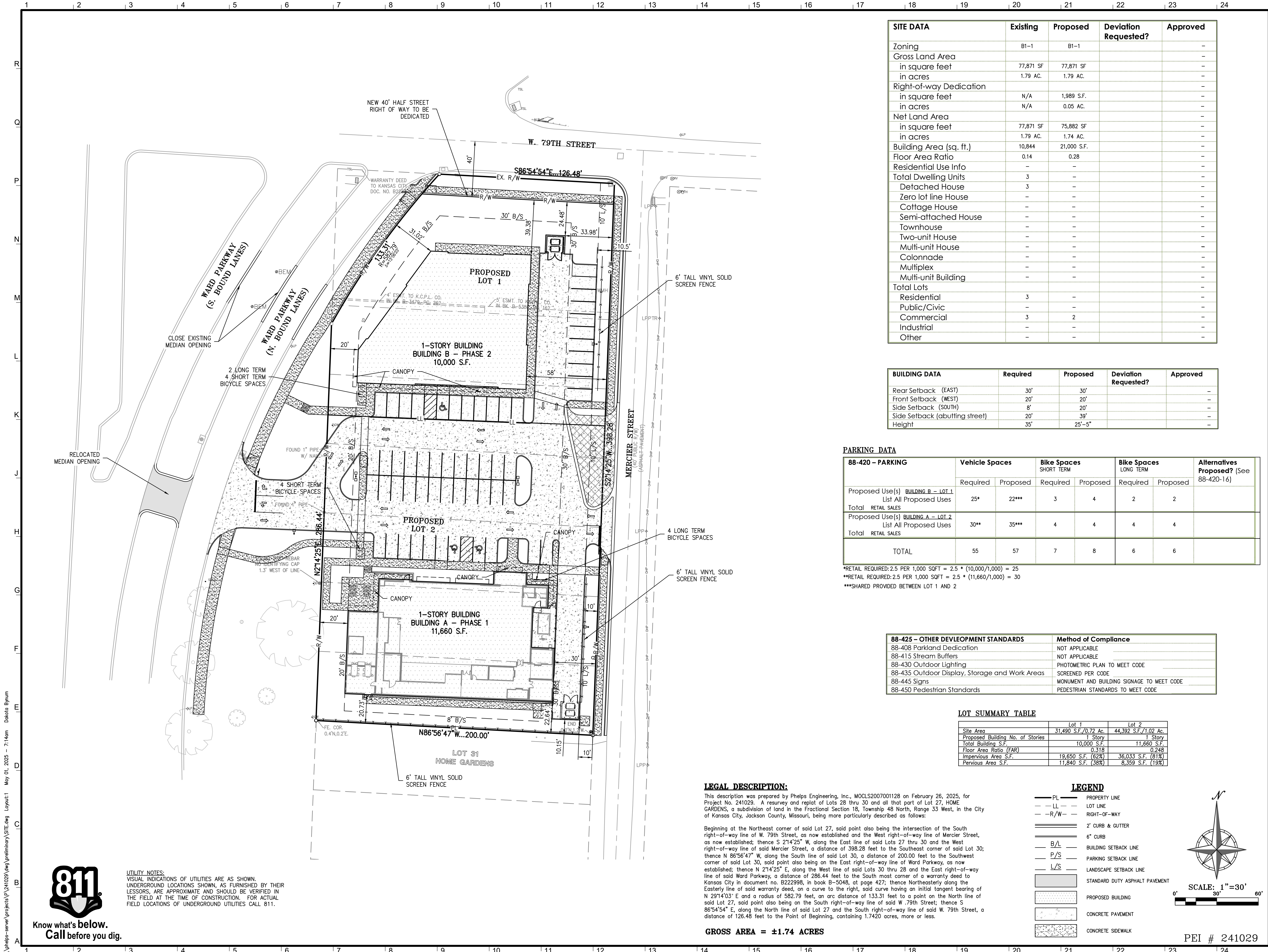
Missouri Certificate of Authority: #ARC000344

Drawn By: TA  
Checked By: AM

**GENERAL NOTES**

**C003**





SITE DATA	Existing	Proposed	Deviation Requested?	Approved
Zoning	B1-1	B1-1		-
Gross Land Area				
in square feet	77,871 SF	77,871 SF		-
in acres	1.79 AC.	1.79 AC.		-
Right-of-way Dedication				
in square feet	N/A	1,989 S.F.		-
in acres	N/A	0.05 AC.		-
Net Land Area				
in square feet	77,871 SF	75,882 SF		-
in acres	1.79 AC.	1.74 AC.		-
Building Area (sq. ft.)	10,844	21,000 S.F.		-
Floor Area Ratio	0.14	0.28		-
Residential Use Info	-	-		-
Total Dwelling Units	3	-		-
Detached House	3	-		-
Zero lot line House	-	-		-
Cottage House	-	-		-
Semi-attached House	-	-		-
Townhouse	-	-		-
Two-unit House	-	-		-
Multi-unit House	-	-		-
Colonnade	-	-		-
Multiplex	-	-		-
Multi-unit Building	-	-		-
Total Lots				-
Residential	3	-		-
Public/Civic	-	-		-
Commercial	3	2		-
Industrial	-	-		-
Other	-	-		-

BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback (EAST)	30'	30'		-
Front Setback (WEST)	20'	20'		-
Side Setback (SOUTH)	8'	20'		-
Side Setback (abutting street)	20'	39'		-
Height	35'	25'-5"		-

88-420 - PARKING	Vehicle Spaces		Bike Spaces		Bike Spaces		Alternatives Proposed? (See 88-420-16)
	Required	Proposed	Required	Proposed	Required	Proposed	
Proposed Use(s) BUILDING B - LOT 1							
List All Proposed Uses	25*	22***	3	4	2	2	
Total RETAIL SALES							
Proposed Use(s) BUILDING A - LOT 2							
List All Proposed Uses	30**	35***	4	4	4	4	
Total RETAIL SALES							
TOTAL	55	57	7	8	6	6	

*RETAIL REQUIRED: 2.5 PER 1,000 SQFT = 2.5 * (10,000/1,000) = 25  
**RETAIL REQUIRED: 2.5 PER 1,000 SQFT = 2.5 * (11,660/1,000) = 30  
***SHARED PROVIDED BETWEEN LOT 1 AND 2

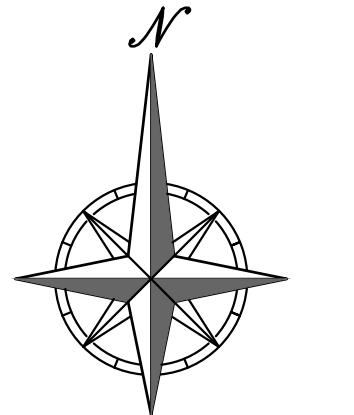
88-425 - OTHER DEVIEOPMENT STANDARDS	Method of Compliance
88-408 Parkland Dedication	NOT APPLICABLE
88-415 Stream Buffers	NOT APPLICABLE
88-430 Outdoor Lighting	PHOTOMETRIC PLAN TO MEET CODE
88-435 Outdoor Display, Storage and Work Areas	SCREENED PER CODE
88-445 Signs	MONUMENT AND BUILDING SIGNAGE TO MEET CODE
88-450 Pedestrian Standards	PEDESTRIAN STANDARDS TO MEET CODE

LOT SUMMARY TABLE		
	Lot 1	Lot 2
Site Area	31,490 S.F./0.72 Ac.	44,392 S.F./1.02 Ac.
Proposed Building No. of Stories	1 Story	1 Story
Total Building S.F.	10,000 S.F.	11,660 S.F.
Floor Area Ratio (FAR)	0.316	0.248
Impervious Area S.F.	19,650 S.F. (62%)	36,033 S.F. (81%)
Pervious Area S.F.	11,840 S.F. (38%)	8,359 S.F. (19%)

**LEGAL DESCRIPTION:**  
This description was prepared by Phelps Engineering, Inc., MOCL52007001128 on February 26, 2025, for Project No. 241029. A resurvey and replat of Lots 28 thru 30 and all that part of Lot 27, HOME GARDENS, a subdivision of land in the Fractional Section 18, Township 48 North, Range 33 West, in the City of Kansas City, Jackson County, Missouri, being more particularly described as follows:  
Beginning at the Northeast corner of said Lot 27, said point also being the intersection of the South right-of-way line of W. 79th Street, as now established and the West right-of-way line of Mercier Street, as now established; thence S 21°4'25" W, along the East line of said Lots 27 thru 30 and the West right-of-way line of said Mercier Street, a distance of 398.28 feet to the Southeast corner of said Lot 30; thence N 86°56'47" W, along the South line of said Lot 30, a distance of 200.00 feet to the Southwest corner of said Lot 30, said point also being on the East right-of-way line of Ward Parkway, as now established; thence N 21°4'25" E, along the West line of said Lots 30 thru 28 and the East right-of-way line of said Ward Parkway, a distance of 286.44 feet to the South most corner of a warranty deed to Kansas City in document no. 6222998, in book B-5048, at page 427; thence Northeastly along the Easterly line of said warranty deed, on a curve to the right, said curve having an initial tangent bearing of N 29°14'03" E and a radius of 582.79 feet, an arc distance of 133.31 feet to a point on the North line of said Lot 27, said point also being on the South right-of-way line of said W. 79th Street; thence S 86°54'54" E, along the North line of said Lot 27 and the South right-of-way line of said W. 79th Street, a distance of 126.48 feet to the Point of Beginning, containing 1.7420 acres, more or less.

**GROSS AREA = ±1.74 ACRES**

LEGEND	
— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
— 2' CURB & GUTTER	
— 6" CURB	
— B/L —	BUILDING SETBACK LINE
— P/S —	PARKING SETBACK LINE
— L/S —	LANDSCAPE SETBACK LINE
— STANDARD DUTY ASPHALT PAVEMENT	
— PROPOSED BUILDING	
— CONCRETE PAVEMENT	
— CONCRETE SIDEWALK	



SCALE: 1"=30'  
0' 30' 60'

PEI # 241029

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PROJECT NO. 210662

Fareway Meat Market

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2300 Industrial Park Road  
Boone, IA 50036  
515.432.2623

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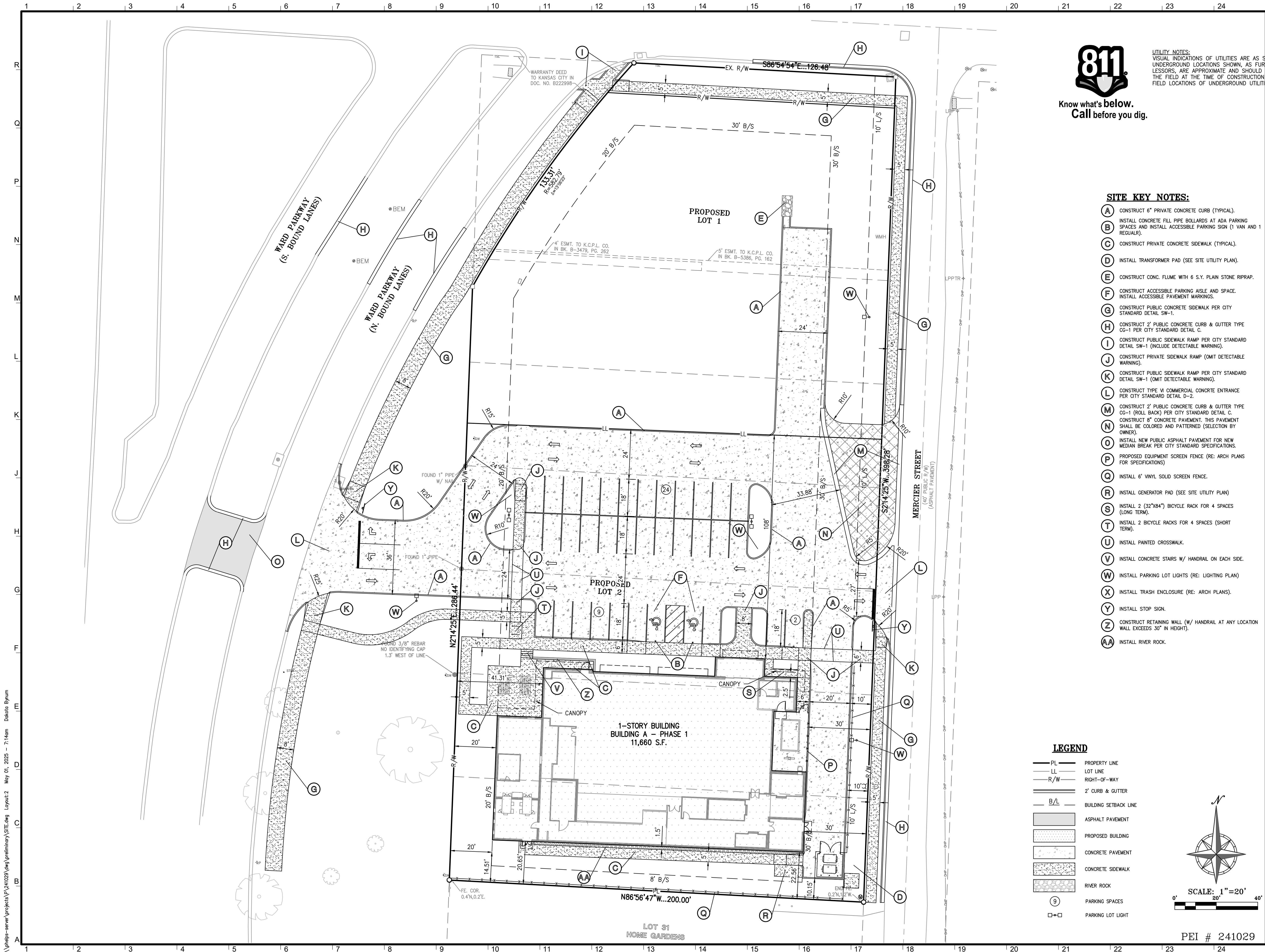
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SITE

C100

Project Number: 2024.254 © Copyright 2022





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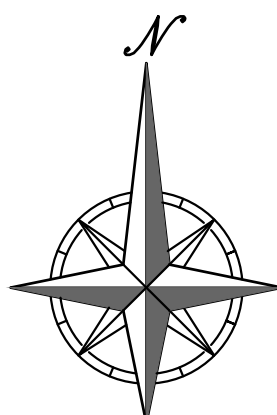
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VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR  
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN  
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL  
FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

**SITE KEY NOTES:**

- (A) CONSTRUCT 6" PRIVATE CONCRETE CURB (TYPICAL).
- (B) INSTALL CONCRETE FILL PIPE BOLLARDS AT ADA PARKING SPACES AND INSTALL ACCESSIBLE PARKING SIGN (1 VAN AND 1 REGULAR).
- (C) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- (D) INSTALL TRANSFORMER PAD (SEE SITE UTILITY PLAN).
- (E) CONSTRUCT CONC. FLUME WITH 6 S.Y. PLAIN STONE RIPRAP.
- (F) CONSTRUCT ACCESSIBLE PARKING AISLE AND SPACE. INSTALL ACCESSIBLE PAVEMENT MARKINGS.
- (G) CONSTRUCT PUBLIC CONCRETE SIDEWALK PER CITY STANDARD DETAIL SW-1.
- (H) CONSTRUCT 2" PUBLIC CONCRETE CURB & GUTTER TYPE CG-1 PER CITY STANDARD DETAIL C.
- (I) CONSTRUCT PUBLIC SIDEWALK RAMP PER CITY STANDARD DETAIL SW-1 (INCLUDE DETECTABLE WARNING).
- (J) CONSTRUCT PRIVATE SIDEWALK RAMP (OMIT DETECTABLE WARNING).
- (K) CONSTRUCT PUBLIC SIDEWALK RAMP PER CITY STANDARD DETAIL SW-1 (OMIT DETECTABLE WARNING).
- (L) CONSTRUCT TYPE VI COMMERCIAL CONCERTE ENTRANCE PER CITY STANDARD DETAIL D-2.
- (M) CONSTRUCT 2" PUBLIC CONCRETE CURB & GUTTER TYPE CG-1 (ROLL BACK) PER CITY STANDARD DETAIL C.
- (N) CONSTRUCT 8" CONCRETE PAVEMENT. THIS PAVEMENT SHALL BE COLORED AND PATTERNED (SELECTION BY OWNER).
- (O) INSTALL NEW PUBLIC ASPHALT PAVEMENT FOR NEW MEDIAN BREAK PER CITY STANDARD SPECIFICATIONS.
- (P) PROPOSED EQUIPMENT SCREEN FENCE (RE: ARCH PLANS FOR SPECIFICATIONS)
- (Q) INSTALL 6" VINYL SOLID SCREEN FENCE.
- (R) INSTALL GENERATOR PAD (SEE SITE UTILITY PLAN)
- (S) INSTALL 2 (32"x84") BICYCLE RACK FOR 4 SPACES (LONG TERM).
- (T) INSTALL 2 BICYCLE RACKS FOR 4 SPACES (SHORT TERM).
- (U) INSTALL PAINTED CROSSWALK.
- (V) INSTALL CONCRETE STAIRS W/ HANDRAIL ON EACH SIDE.
- (W) INSTALL PARKING LOT LIGHTS (RE: LIGHTING PLAN)
- (X) INSTALL TRASH ENCLOSURE (RE: ARCH PLANS).
- (Y) INSTALL STOP SIGN.
- (Z) CONSTRUCT RETAINING WALL (W/ HANDRAIL AT ANY LOCATION WALL EXCEEDS 30" IN HEIGHT).
- (AA) INSTALL RIVER ROCK.

**LEGEND**

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2' CURB & GUTTER
- B/L — BUILDING SETBACK LINE
- ASPHALT PAVEMENT
- PROPOSED BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- RIVER ROCK
- (9) PARKING SPACES
- +□ PARKING LOT LIGHT



SCALE: 1"=20'  
0' 20' 40'

PEI # 241029

**GastingerWalker &**

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PROJECT NO. 210662

**Fareway Meat Market**

1307 W 79th Street  
Kansas City, MO 64114

Fareway Stores, Inc

2300 Industrial Park Road  
Boone, IA 50036  
515.432.2623

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95% Construction Documents	28 April 2025

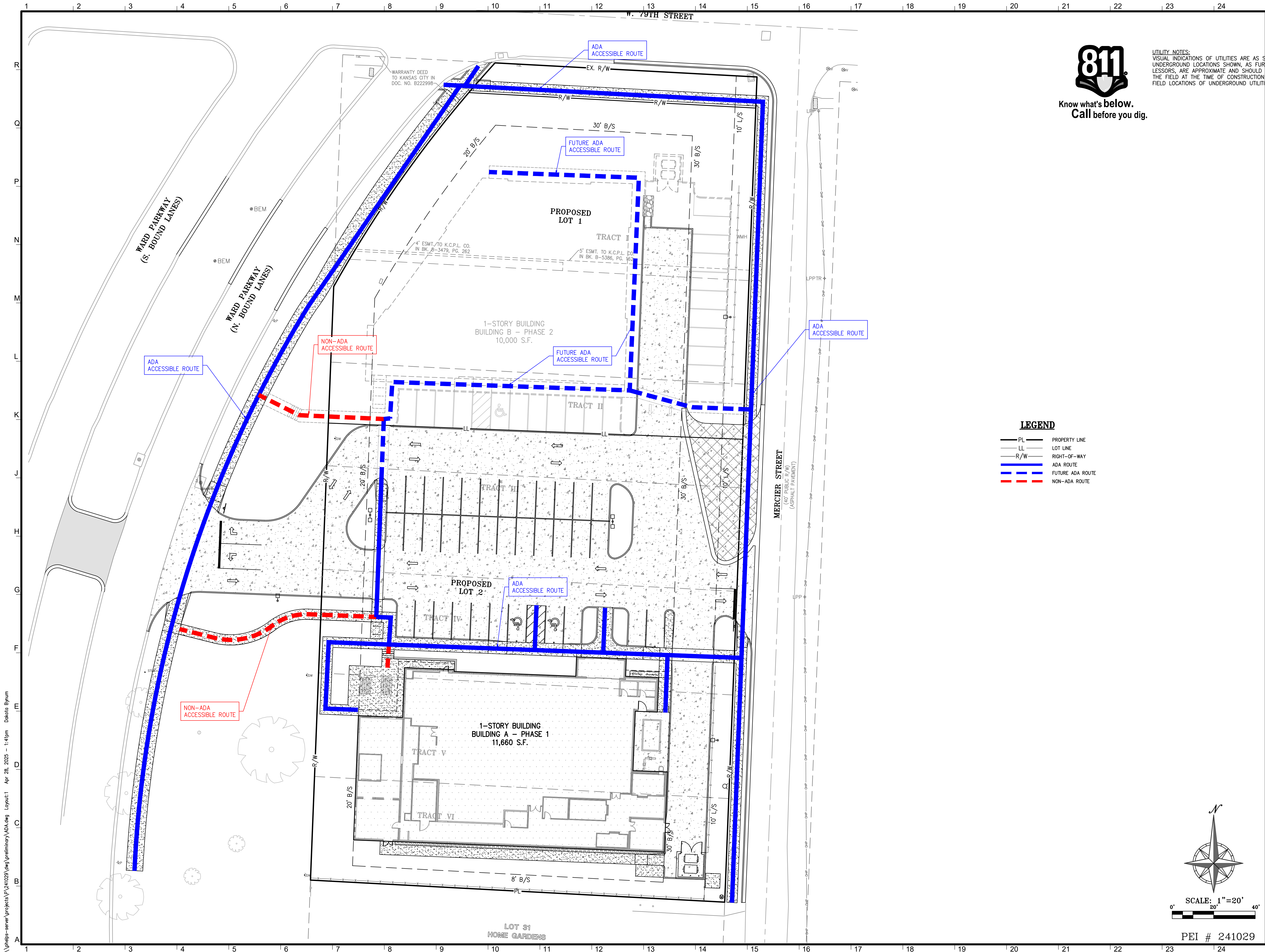
Missouri Certificate of Authority: #ARC000344

Drawn By: TA  
Checked By: AM

**SITE**

**C101**



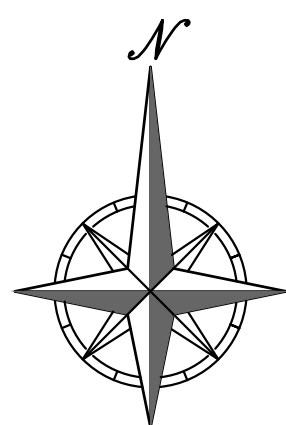


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#### LEGEND

PL	PROPERTY LINE
LL	LOT LINE
R/W	RIGHT-OF-WAY
—	ADA ROUTE
- - -	FUTURE ADA ROUTE
- - -	NON-ADA ROUTE



SCALE: 1"=20'  
0' 20' 40'

PEI # 241029

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817 Wyandotte Kansas City Missouri 64105 816.421.8200 gastingerwalker.com

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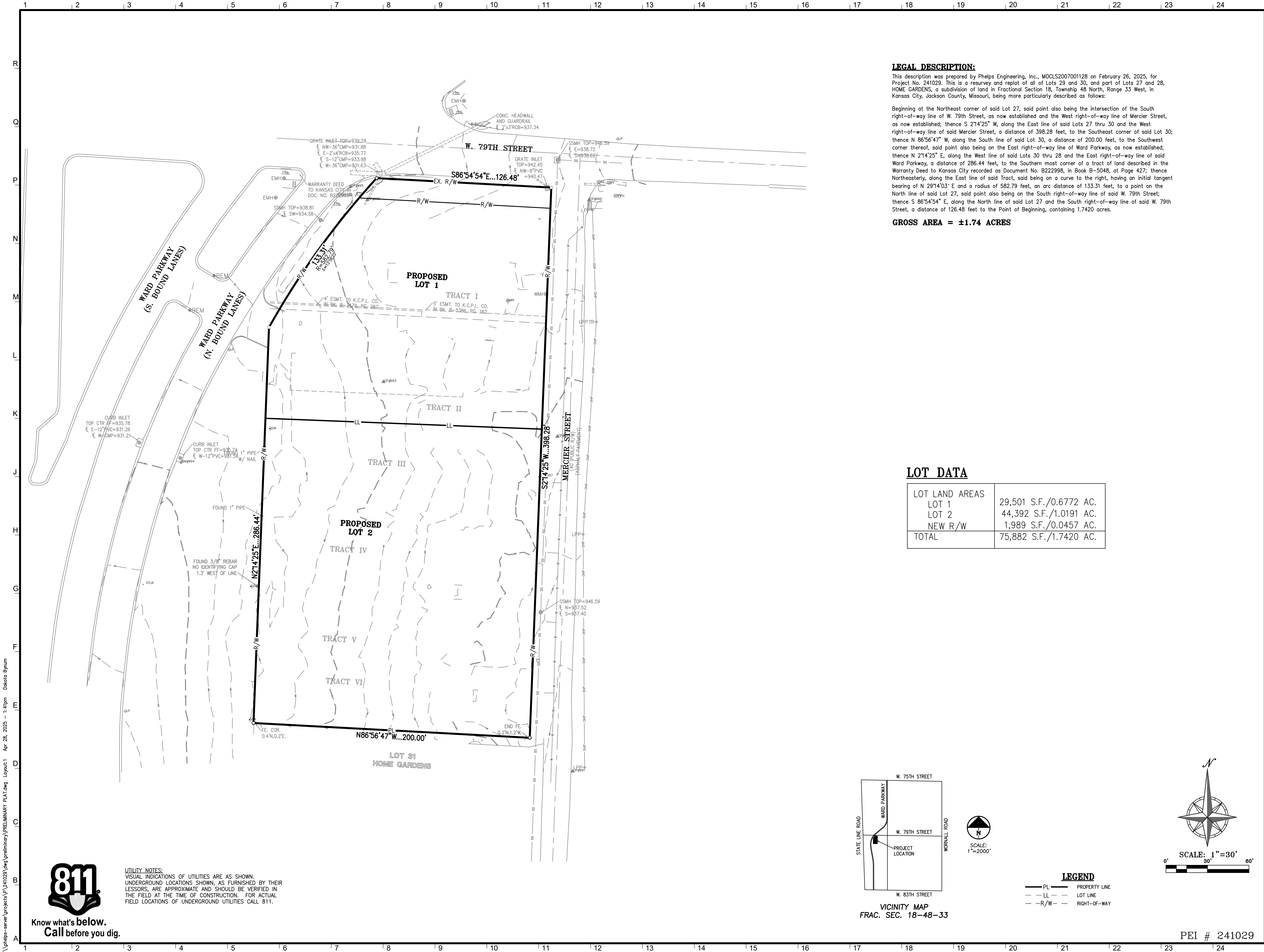
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Drawn By: TA  
Checked By: AM

ADA

C102





**LEGAL DESCRIPTION:**

This description was prepared by Phelps Engineering, Inc., MOCLS2007001128 on February 26, 2025, for Project No. 241029. This is a resurvey and replat of all of Lots 29 and 30, and part of Lots 27 and 28, HOME GARDENS, a subdivision of land in Fractional Section 18, Township 48 North, Range 33 West, in Kansas City, Jackson County, Missouri, being more particularly described as follows:

Beginning at the Northeast corner of said Lot 27, said point also being the intersection of the South right-of-way line of W. 79th Street, as now established and the West right-of-way line of Mercer Street, as now established; thence S 21°4'25" W, along the East line of said Lots 27 thru 30 and the West right-of-way line of said Mercer Street, a distance of 398.28 feet, to the Southeast corner of said Lot 30; thence N 86°56'47" W, along the South line of said Lot 30, a distance of 200.00 feet, to the Southwest corner thereof, said point also being on the East right-of-way line of Ward Parkway, as now established; thence N 21°4'25" E, along the West line of said Lots 30 thru 28 and the East right-of-way line of said Ward Parkway, a distance of 286.44 feet, to the Southern most corner of a tract of land described in the Warranty Deed to Kansas City recorded as Document No. B222998, in Book B-5048, at Page 427; thence Northeasterly, along the East line of said Tract, said being on a curve to the right, having an initial tangent bearing of N 29°14'03" E and a radius of 582.79 feet, an arc distance of 133.31 feet, to a point on the North line of said Lot 27, said point also being on the South right-of-way line of said W. 79th Street; thence S 86°54'54" E, along the North line of said Lot 27 and the South right-of-way line of said W. 79th Street, a distance of 126.48 feet to the Point of Beginning, containing 1.7420 acres.

**GROSS AREA = ±1.74 ACRES**

**LOT DATA**

LOT LAND AREAS	
LOT 1	29,501 S.F./0.6772 AC.
LOT 2	44,392 S.F./1.0191 AC.
NEW R/W	1,989 S.F./0.0457 AC.
TOTAL	75,882 S.F./1.7420 AC.

**GastingWalker &**

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Interior Designers  
Kansas City Missouri 64105

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PRELIMINARY PLAT

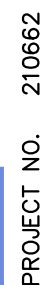
**C103**





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## C200

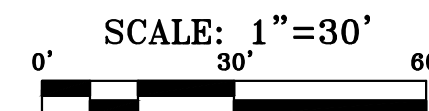
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— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
=====	2' CURB & GUTTER
— 920 —	EXISTING CONTOURS
— 918 —	EXISTING CONTOURS
— 920 —	PROPOSED CONTOURS
— 918 —	PROPOSED CONTOURS
XXX.XX TW	PROPOSED SPOT ELEVATION
LG	LIP OF GUTTER
TC	TOP OF CURB
SW	SIDEWALK
WE	WALK EXISTING
HP	HIGH POINT
LP	LOW POINT
P	TOP OF PAVEMENT
TE	TOP OF STRUCTURE
GR	GROUND ELEVATION
BS	BOTTOM OF STEPS
TS	TOP OF STEPS
BW	BOTTOM OF WALL
TW	TOP OF WALL

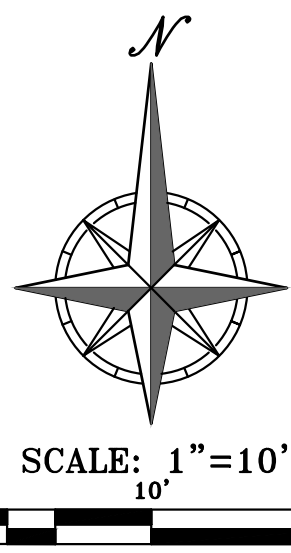


PEI # 241029





- LEGEND**
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  - LL — LOT LINE
  - R/W — RIGHT-OF-WAY
  - 2' CURB & GUTTER
  - 920 — EXISTING CONTOURS
  - 918 — EXISTING CONTOURS
  - 920 — PROPOSED CONTOURS
  - 918 — PROPOSED CONTOURS
  - XXXX.XX TW — PROPOSED SPOT ELEVATION
  - LG — LIP OF GUTTER
  - TC — TOP OF CURB
  - SW — SIDEWALK
  - ME — MATCH EXISTING
  - HP — HIGH POINT
  - LP — LOW POINT
  - P — TOP OF PAVEMENT
  - TE — TOP OF STRUCTURE
  - GR — GROUND ELEVATION
  - BS — BOTTOM OF STEPS
  - TS — TOP OF STEPS
  - BW — BOTTOM OF WALL
  - TW — TOP OF WALL
  - — EXISTING STORM SEWER
  - — PROPOSED STORM PIPE
  - — PROPOSED WET CURB & GUTTER
  - — PROPOSED DRY CURB & GUTTER
  - — PROPOSED RETAINING WALL



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ENLARGED GRADING

**C201**









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PROJECT NO. 210662

## Fareway Meat Market

1307 W 79th Street  
Kansas City, MO 64114

Fareway Stores, Inc.

2300 Industrial Park Road  
Boone, IA 50036  
515.432.2623

### ISSUED FOR:

KCMO Final Plan Submittal	14 Mar 2025
KCMO Final Plan Resubmittal	21 April 2025
95% Construction Documents	28 April 2025

Missouri Certificate of Authority: #ARC000344

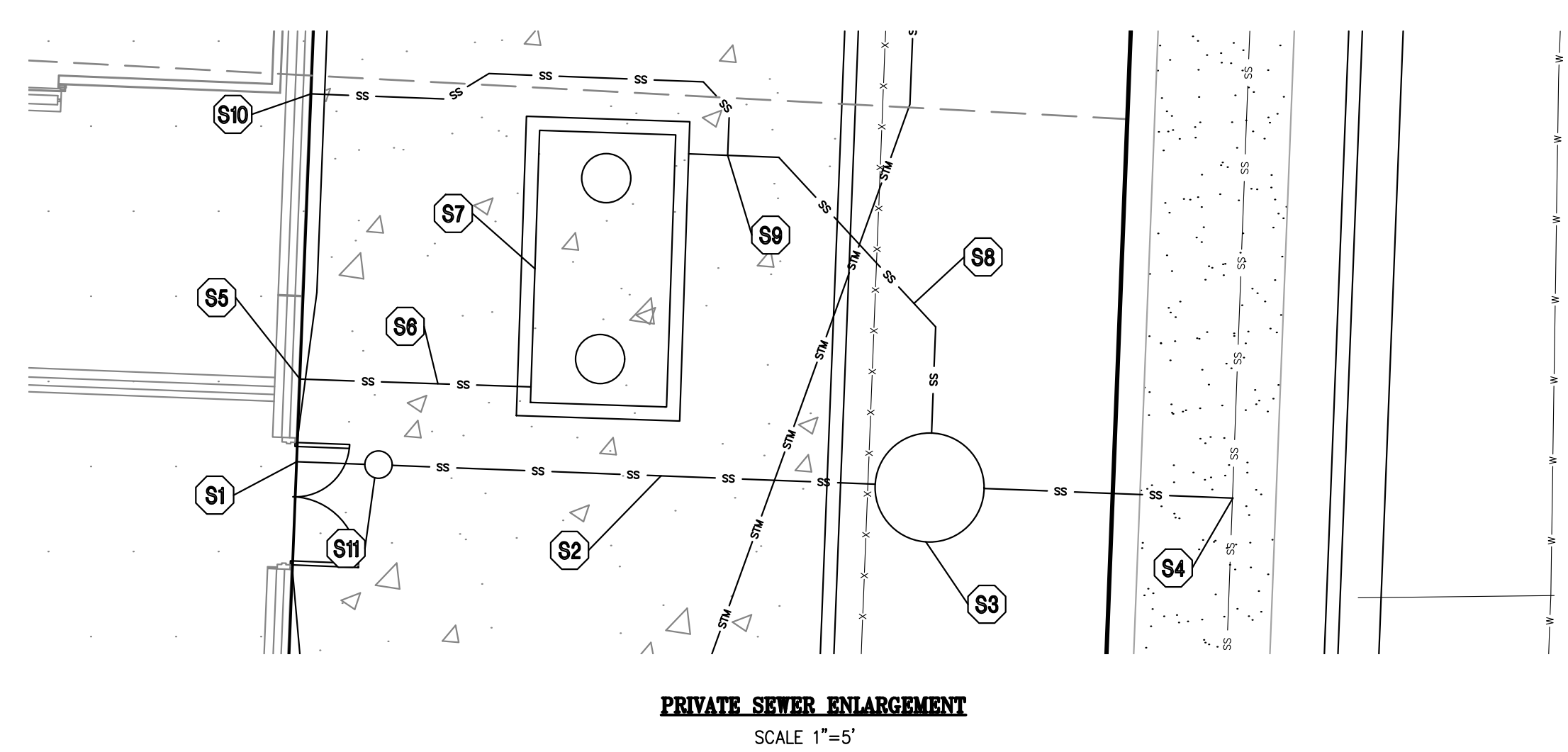
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ENLARGED GRADING

C203

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**PERMANENT WATER CONNECTION DETAIL**

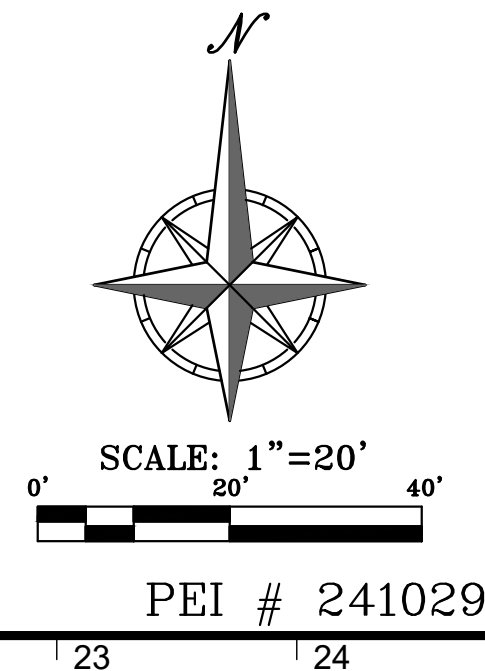
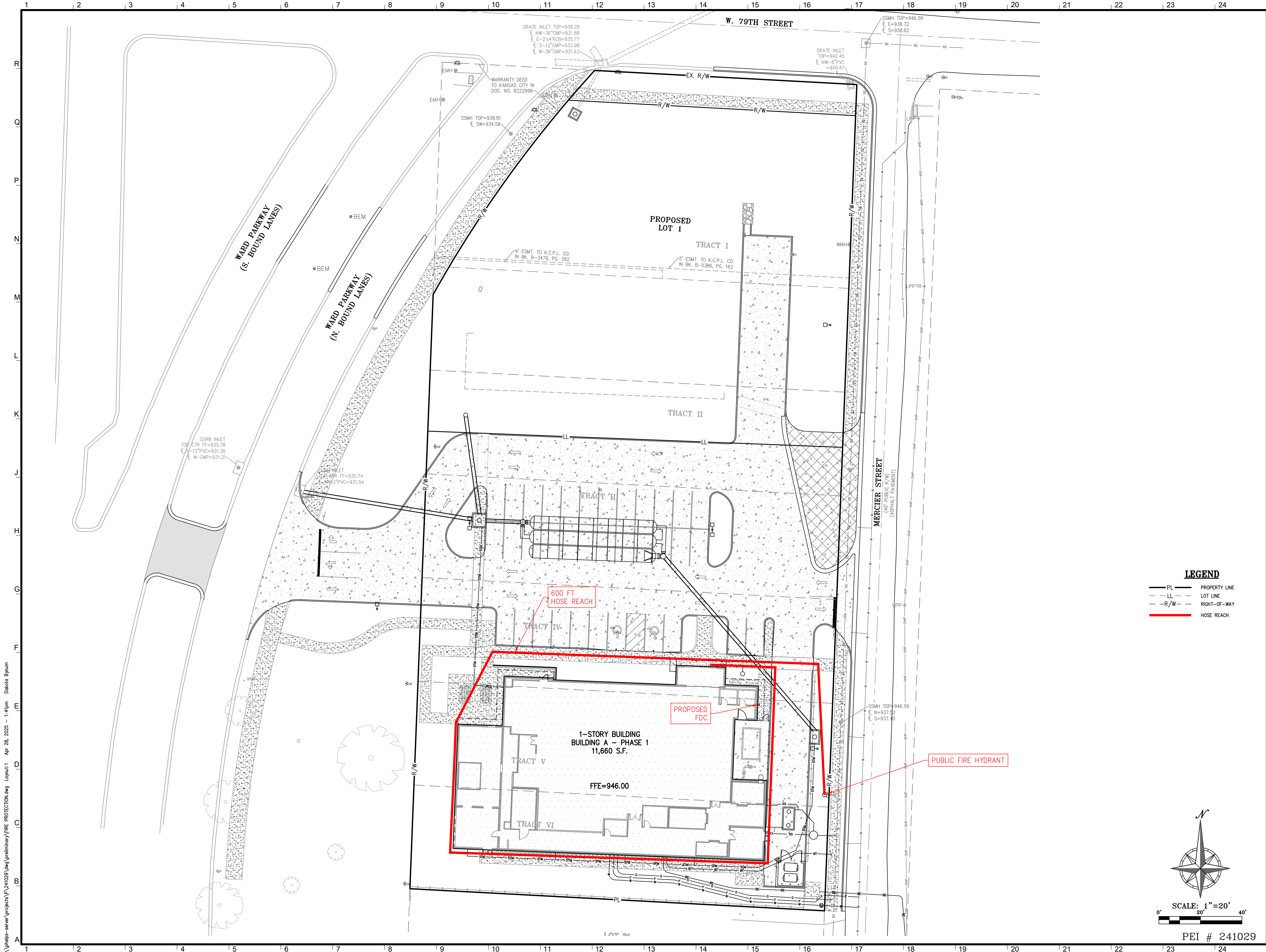
NOT TO SCALE

## PEI # 241029

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**LEGEND**

— PL —	PROPERTY LINE
- - LL - -	LOT LINE
- R/W -	RIGHT-OF-WAY
— HOSE REACH —	HOSE REACH

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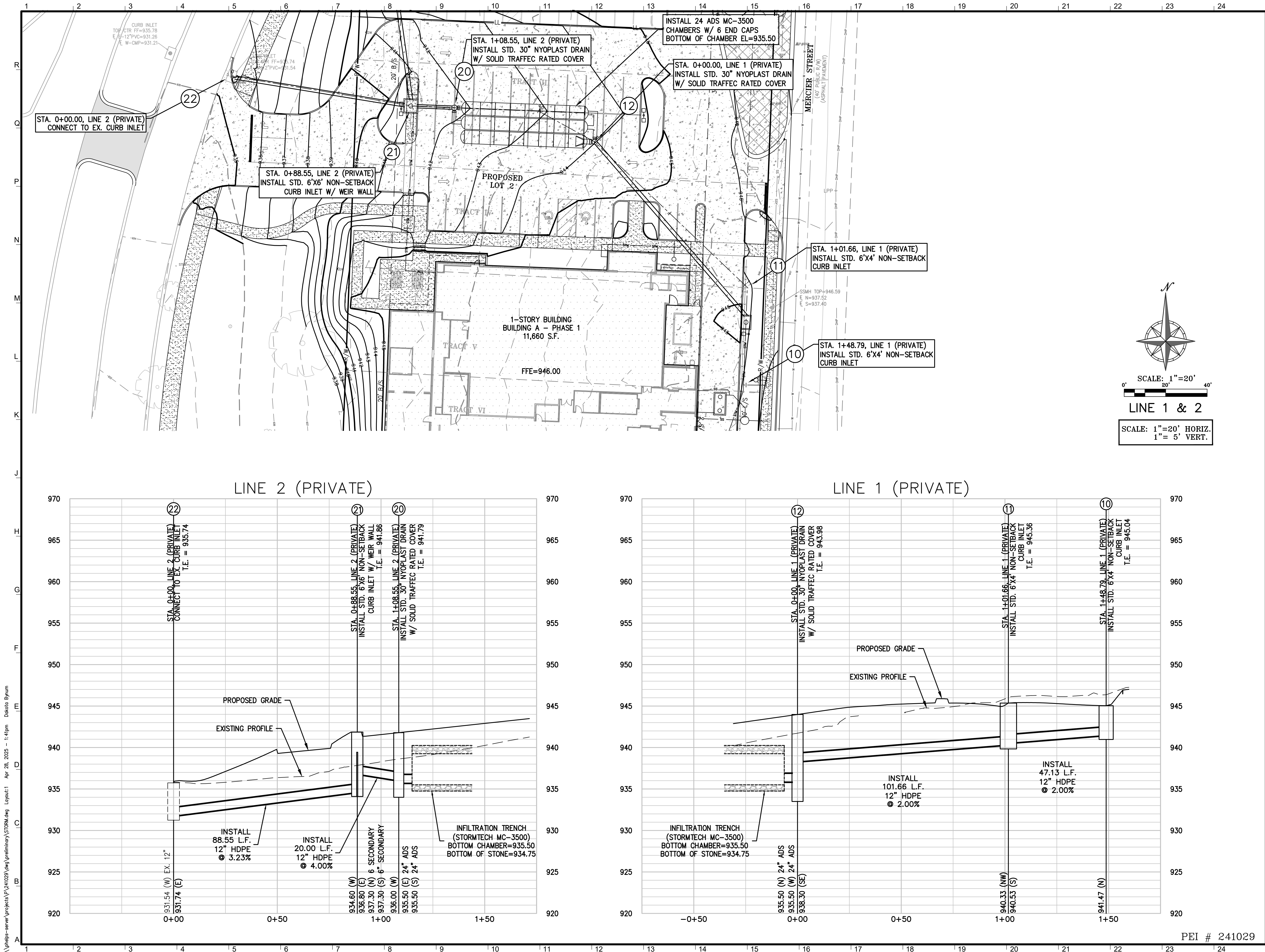
**FIRE PROTECTION**

**C301**

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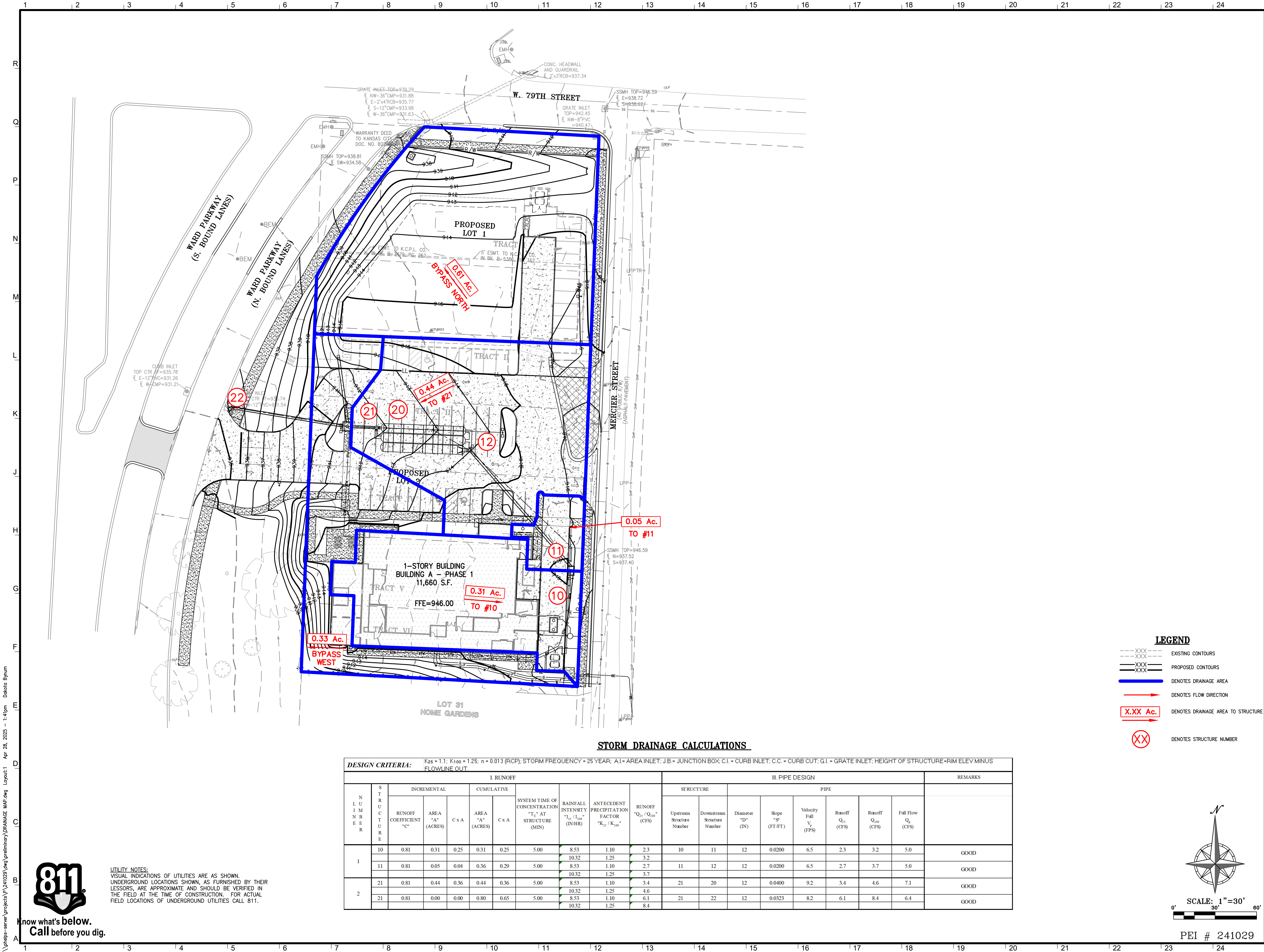
STORM

**C400**









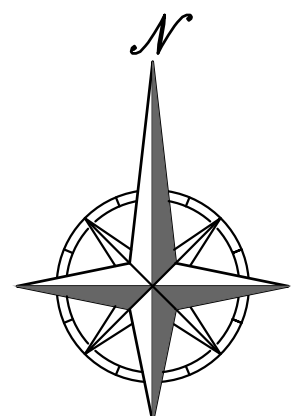
STORM DRAINAGE CALCULATIONS

DESIGN CRITERIA:										K ₂₅ = 1.1; K ₁₀₀ = 1.25; n = 0.013 (RCP); STORM FREQUENCY = 25 YEAR; A.I = AREA INLET; J.B = JUNCTION BOX; C.I. = CURB INLET; C.C. = CURB CUT; G.I. = GRATE INLET; HEIGHT OF STRUCTURE=RIM ELEV MINUS FLOWLINE OUT.									
I. RUNOFF										III. PIPE DESIGN								REMARKS	
N L U I M N B T U R E	S T R U C T U R E	INCREMENTAL			CUMULATIVE		SYSTEM TIME OF CONCENTRATION "T _c " AT STRUCTURE (MIN)	RAINFALL INTENSITY " $I_{25}$ / $I_{100}$ " (IN/HR)	ANTECEDENT PRECIPITATION FACTOR " $K_{25}$ / $K_{100}$ "	RUNOFF " $Q_{25}$ / $Q_{100}$ " (CFS)	STRUCTURE		PIPE						
		RUNOFF COEFFICIENT "C"	AREA "A" (ACRES)	C x A	AREA "A" (ACRES)	C x A					Upstream Structure Number	Downstream Structure Number	Diameter "D" (IN)	Slope "S" (FT/FT)	Velocity Full $V_f$ (FPS)	Runoff $Q_{25}$ (CFS)	Runoff $Q_{100}$ (CFS)		Full Flow $Q_p$ (CFS)
1	10	0.81	0.31	0.25	0.31	0.25	5.00	8.53	1.10	2.3	10	11	12	0.0200	6.5	2.3	3.2	5.0	GOOD
	11	0.81	0.05	0.04	0.36	0.29	5.00	10.32	1.25	3.2	11	12	12	0.0200	6.5	2.7	3.7	5.0	
2	21	0.81	0.44	0.36	0.44	0.36	5.00	8.53	1.10	3.4	21	20	12	0.0400	9.2	3.4	4.6	7.1	GOOD
	21	0.81	0.00	0.00	0.80	0.65	5.00	10.32	1.25	4.6	21	22	12	0.0323	8.2	6.1	8.4	6.4	GOOD
								8.53	1.10	6.1									



UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

Know what's below.  
Call before you dig.



SCALE: 1"=30'  
0' 30' 60'

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DRAINAGE MAP

C500

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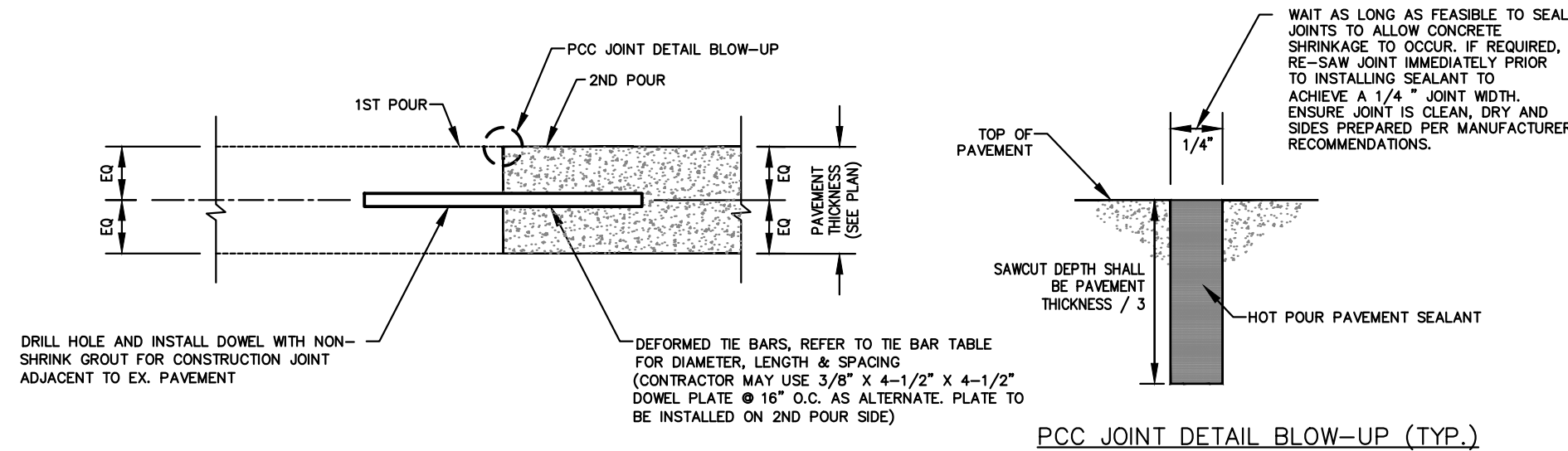
\\phelps-server\projects\p\241029\dwg\preliminary\DETAILS - PRIVATE.dwg Layout:1 PAVE (1) Apr 28, 2025 - 1:41pm Dakota Ebyum

Dowel size *			
Slab depth, in. (mm)	Dowel diameter, in. (mm)	Dowel embedment, in. (mm) ¹	Total dowel length, in. (mm) ²
5 (125)	5/8 (16)	5 (125)	12 (300)
6 (150)	3/4 (19)	6 (150)	14 (360)
7 (180)	7/8 (22)	6 (150)	14 (360)
8 (200)	1 (25)	6 (150)	14 (360)
9 (230)	1-1/8 (29)	7 (180)	16 (400)

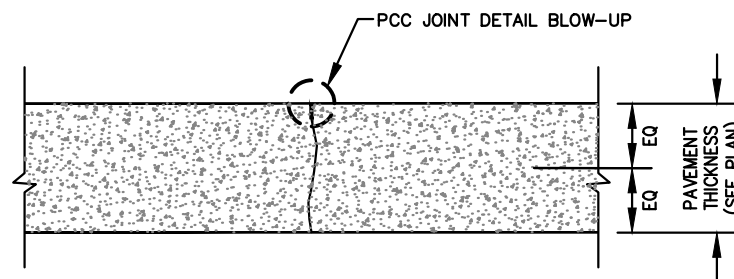
*All dowels spaced at 12 in. (300 mm) centers.  
¹On each side of joint.  
²Allowance made for joint openings and for minor errors in positioning dowels.

Tie bar dimensions

Slab depth, in. (mm)	Tiebar size, in. (mm)	Tiebar spacing			
		10 ft. in. (mm)	12 ft. in. (mm)	14 ft. in. (mm)	24 ft. in. (mm)
5 (125)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	28 (710)
5-1/2 (140)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	25 (630)
6 (150)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	23 (580)
6-1/2 (165)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	21 (530)
7 (180)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	20 (510)
7-1/2 (190)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	18 (460)
8 (200)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	28 (710)	17 (430)
8-1/2 (215)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	36 (910)	16 (410)
9 (230)	1/2 x 30 (13 x 760)	36 (910)	36 (910)	—	24 (610)



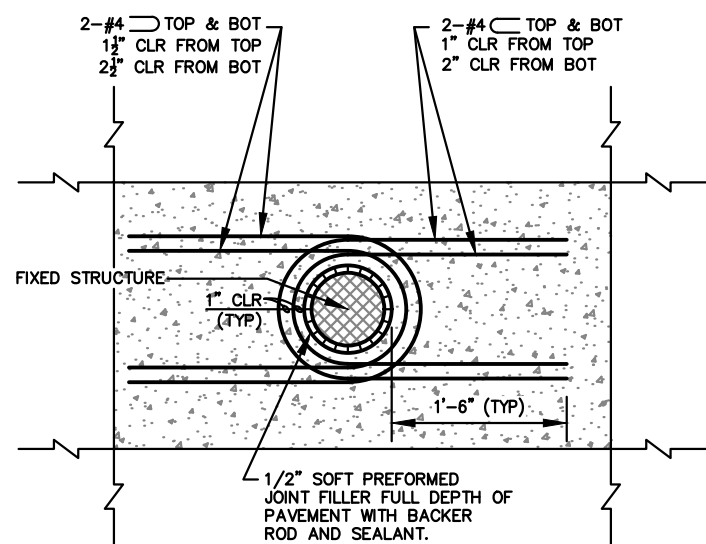
CONSTRUCTION JOINT



CONTRACTION JOINT

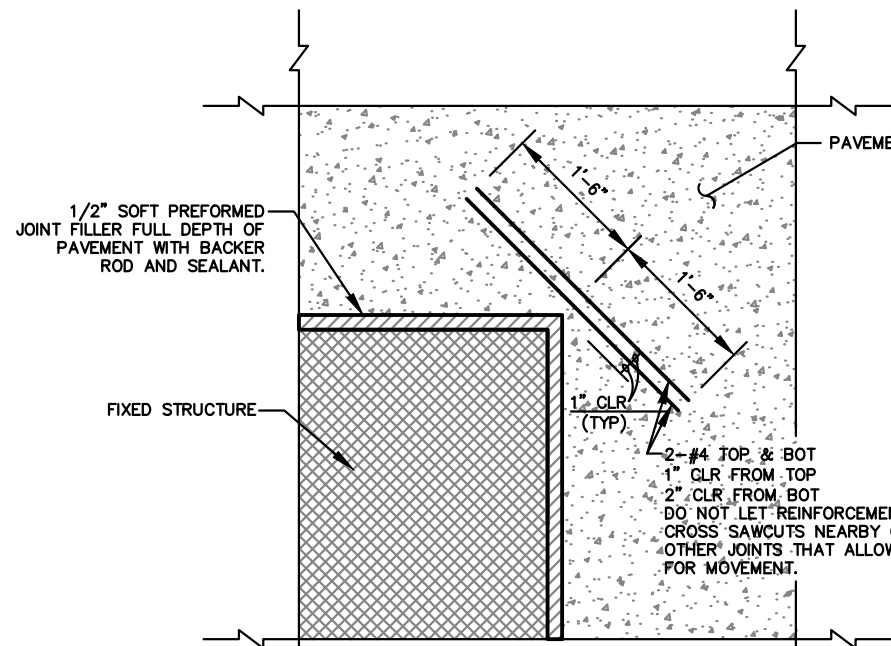
### CONCRETE JOINT DETAILS

SCALE: N.T.S.



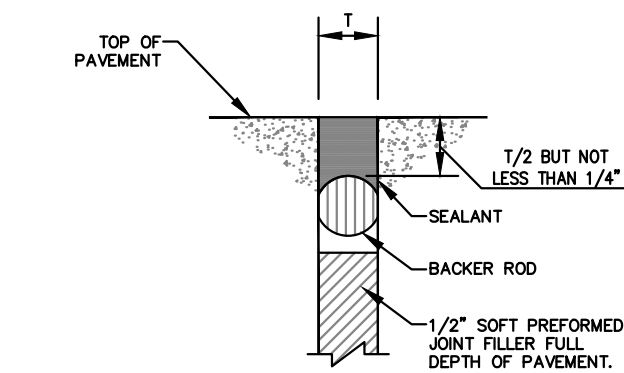
TYPICAL ROUND FIXED STRUCTURE PLAN DETAIL

USES: MANHOLES, LIGHT POLE BASES AND BOLLARDS

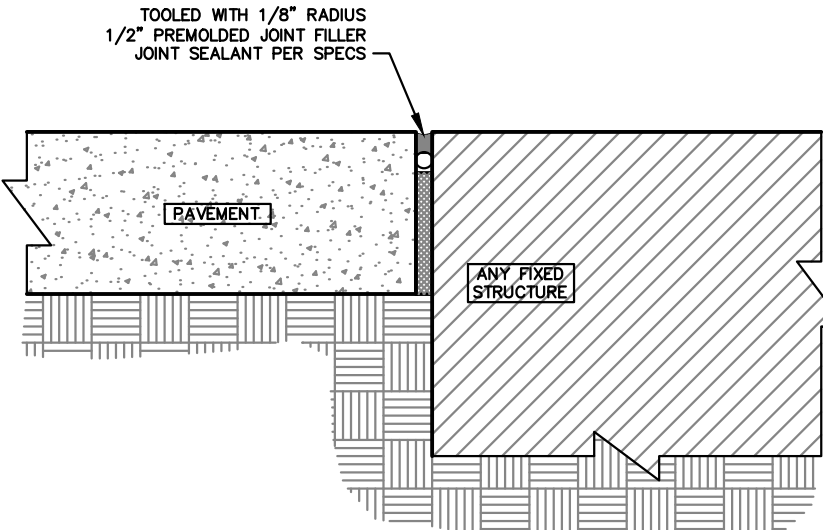


TYPICAL RECTANGULAR FIXED STRUCTURE PLAN DETAIL

USES: BUILDINGS, RETAINING WALLS/DOCK WALLS AND DROP INLETS



BACKER ROD AND SEALANT SECTION AT FIXED STRUCTURE



ISOLATION JOINT

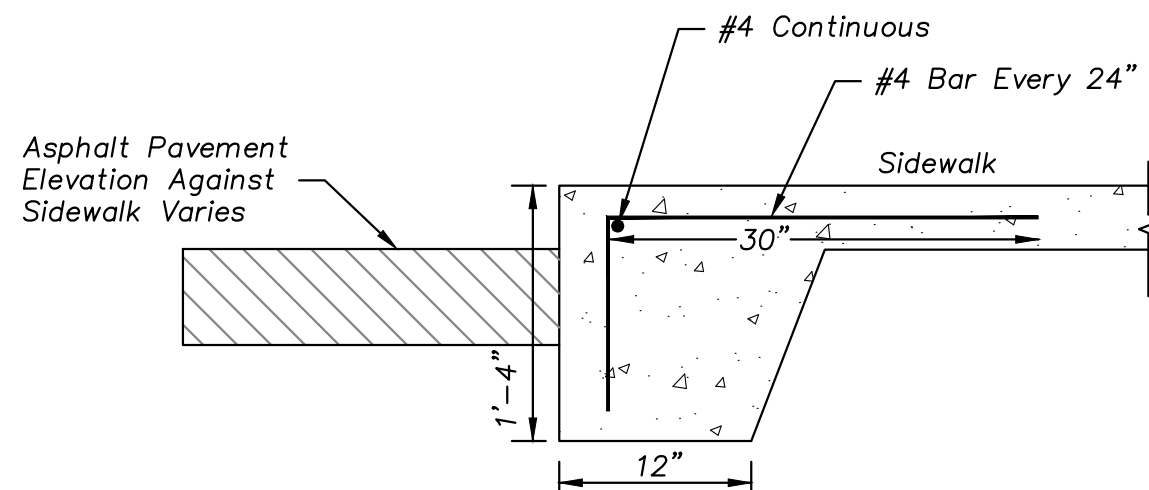
NOTES:

ISOLATION JOINT TO BE USED FOR FIXED STRUCTURES SUCH AS BUILDINGS, RETAINING WALLS/DOCK WALLS, DROP INLETS, MANHOLES, LIGHT POLE BASES AND BOLLARDS.

PAVEMENT IS NOT CONSIDERED A FIXED STRUCTURE.

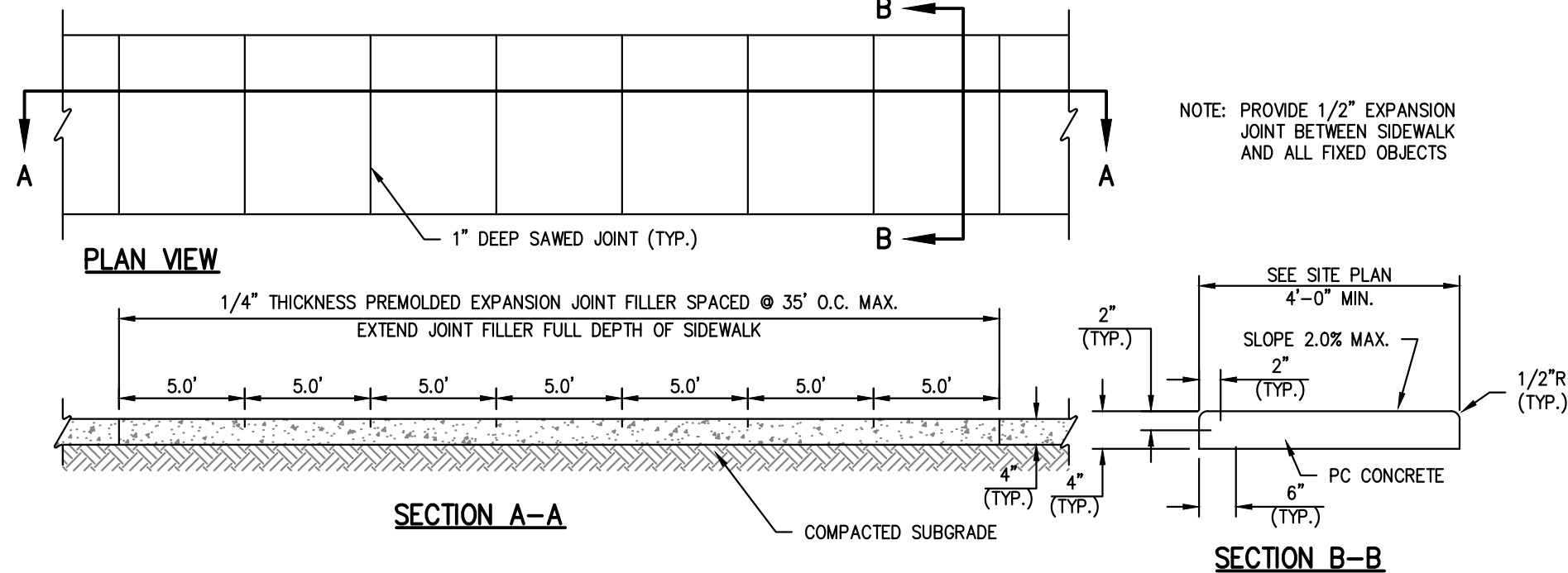
### ISOLATION JOINT DETAILS

SCALE: N.T.S.



### TURN DOWN SIDEWALK DETAIL

SCALE: N.T.S.

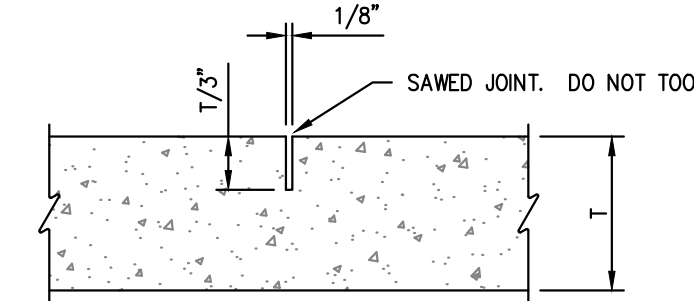


NOTE:

1. USE KANSAS CITY MATERIALS METRO BOARD (KCMWB) MIX DESIGN SPECIFICATIONS FOR 4,000 P.S.I. AIR ENTRAINED CONCRETE FOR ALL PRIVATE SIDEWALKS.

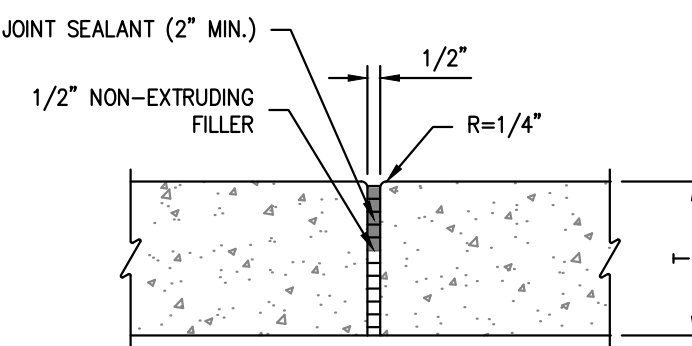
### PRIVATE CONCRETE SIDEWALKS (NON REINFORCED)

SCALE: N.T.S.



TYPE A JOINT

NOTE: TYPE A JOINTS SHALL NOT EXCEED 20 TIMES THE PAVEMENT THICKNESS (T).



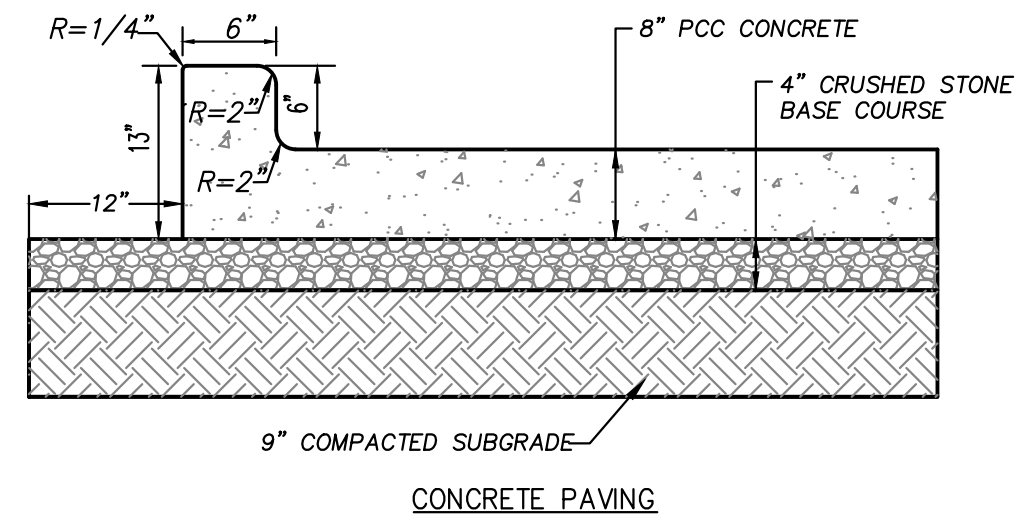
TYPE B JOINT

### CONCRETE SIDEWALK JOINT DETAILS

SCALE: N.T.S.

### GENERAL PAVING NOTES:

- PRIOR TO PLACEMENT OF GRANULAR BASE OR ASPHALT, PROOF ROLL AND RE-COMPACT THE EXPOSED SURFACES UP TO A MINIMUM LATERAL DISTANCE OF TWO (2) FEET OUTSIDE THE PAVEMENT. ANY LOCALIZED SOFT, WEI, OR LOOSE AREAS IDENTIFIED DURING THE PROOF ROLLING SHOULD BE REPAIRED PRIOR TO PAVING. FILL MATERIAL SHOULD BE PLACED IN LOOSE LIFTS UP TO A MAXIMUM OF EIGHT (8) INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698 AT MOISTURE CONTENTS WITHIN 0% AND +4% OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF GREATER THAN 40, AND - +/- 3% OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF LESS THAN 40. MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT SHOULD BE DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D 698).
- PROOFROLL WITH A 25 TON RUBBER TIRE VEHICLE AND REPAIR SUBGRADE DEFICIENCIES. IF ANY SIGNIFICANT EVENT, SUCH AS PRECIPITATION, OCCURS AFTER PROOFROLLING, THE SUBGRADE SHOULD BE REVIEWED BY QUALIFIED PERSONNEL IMMEDIATELY PRIOR TO PLACING THE PAVEMENT.
- CRUSHED STONE BASE COURSE USED BENEATH CONCRETE PAVING SHALL BE COMPACTED AB-3 OR EQUIVALENT.
- ALL SITE CONCRETE (CURBS, PAVEMENTS, SIDEWALKS, ETC.) SHALL MEET KANSAS CITY MATERIALS METRO BOARD (KCMWB) MIX DESIGN SPECIFICATIONS FOR 4,000 P.S.I. AIR ENTRAINED CONCRETE.
- IN NEW PAVEMENT AREAS, CONTRACTOR SHALL OVER EXCAVATE AS REQUIRED TO ESTABLISH NEW COMPACTED SUBGRADE ELEVATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PAVEMENT AND SUBGRADE MATERIALS TESTING.
- FIBER REINFORCEMENT:
  - FIBER REINFORCEMENT SHALL BE USED IN ALL CONCRETE CURB AND CONCRETE FLATWORK (SIDEWALKS, PAVEMENTS, ETC.).
  - ALL FIBERS SHALL BE ALKALI-RESISTANT, NATURAL CELLULOSE FIBERS AS MANUFACTURED BY 'SOLOMON ULTRAFIBER 500'; OR POLY PROPYLENE FIBRILLATED FIBERS AS MANUFACTURED BY Sika FIBERMESH-300; OR AN APPROVED EQUAL IN ADVANCE BY THE ENGINEER. DELIVERY STORAGE AND HANDLING SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
  - COMPLY WITH ASTM C-1116 AND ASTM C-1018, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. FIBERS SHALL BE USED AT A RATE OF 2-2.5 LBS. PER CUBIC YARD OF CONCRETE.
  - FIBERS SHALL NOT BE USED AS A SUBSTITUTE FOR PRIMARY STRUCTURAL STEEL.
  - ADD REINFORCING FIBERS INTO CONCRETE MIXTURE DIRECTLY INTO CONCRETE MIXER AT THE BEGINNING OF BATCH CYCLE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND ASTM C94.
  - ALLOW A MINIMUM OF 5 MINUTES AT MIXING SPEED IN CONCRETE MIXER FOR FULL REINFORCING FIBER DISPERSION.



### PAVING SECTIONS

SCALE: N.T.S.

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DETAILS - PRIVATE

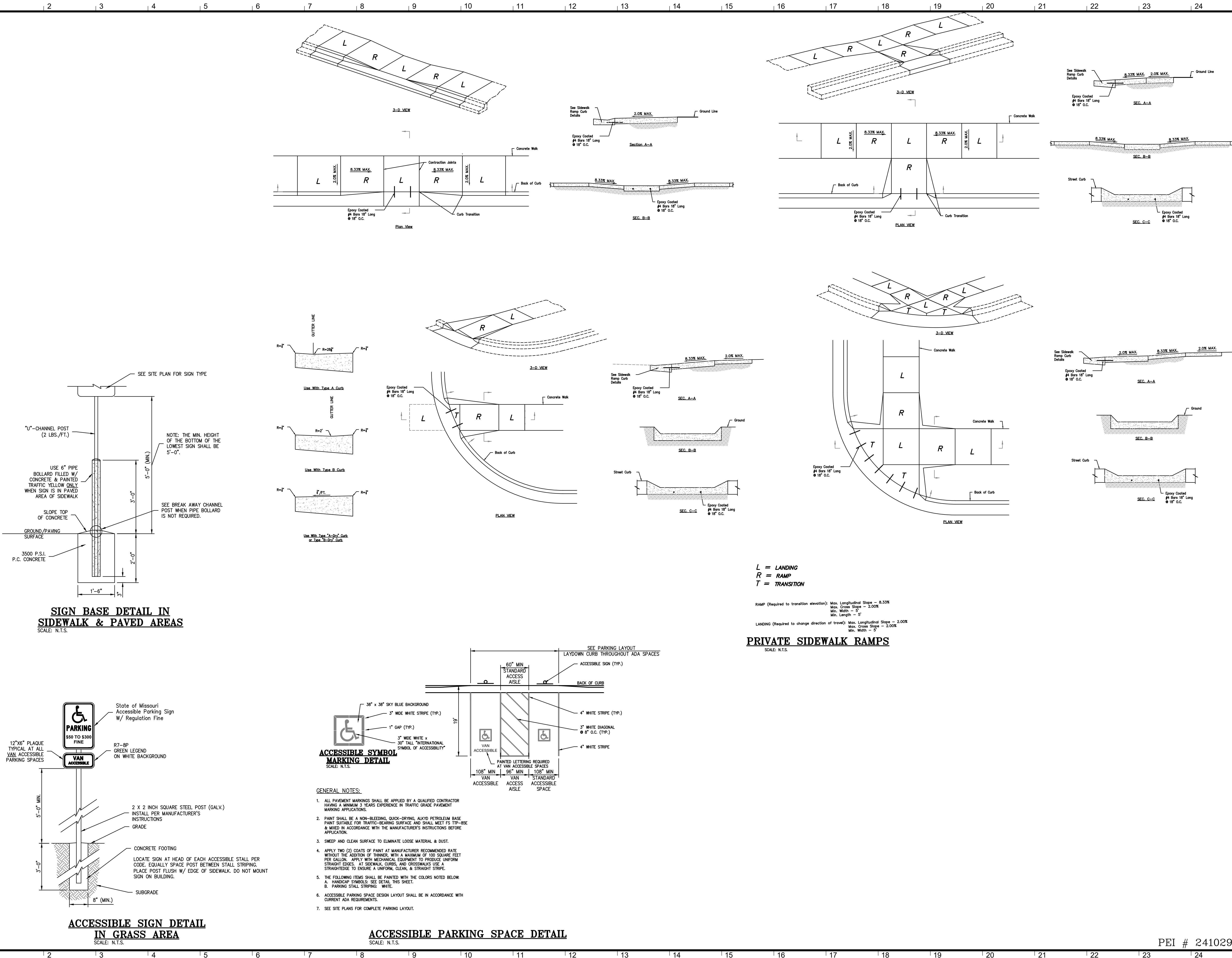
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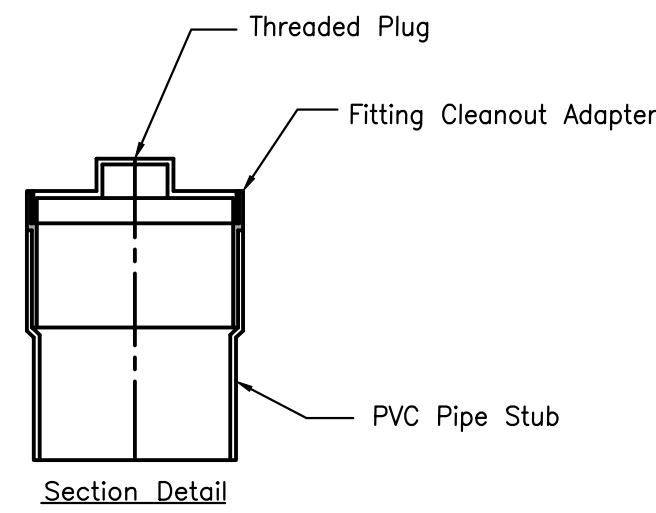
DETAILS - PRIVATE

C601

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The diagram illustrates the installation of a cleanout. The top portion, labeled "Section Detail", shows a cross-section of the cleanout assembly. It consists of a "Threaded Plug" at the top, followed by a "Threaded Cleanout Adapter Fitting" which is dimensioned to "shall match Service Line pipe size and material". Below this is a "Pipe Stub". The bottom portion shows the full assembly installed in a ground surface. A "Cleanout Cover & Frame" (Neenah R-1976 or Approved Equal) is set into the ground. Below the frame is a "Concrete Support Pad". The "Service Line Pipe" enters from the bottom, passes through an "Expansion Joint Material", and connects to a "Wye". The "Riser" section of the pipe is dimensioned to "shall match Service Line pipe size and material". The "End of Service Line" is indicated at the bottom left. Dimensions include a vertical height of "10\" and a horizontal distance of "10'-0\" Min" from the end of the service line to the cleanout.

Threaded Plug

Threaded Cleanout Adapter Fitting shall match Service Line pipe size and material.

Pipe Stub

Section Detail

See Section Detail Above

Cleanout Cover & Frame  
Neenah R-1976 or  
Approved Equal

Concrete Support Pad

Expansion Joint Material

Riser shall match Service Line pipe size and material.

Wye

Service Line Pipe

End of Service Line

10'

10'-0" Min

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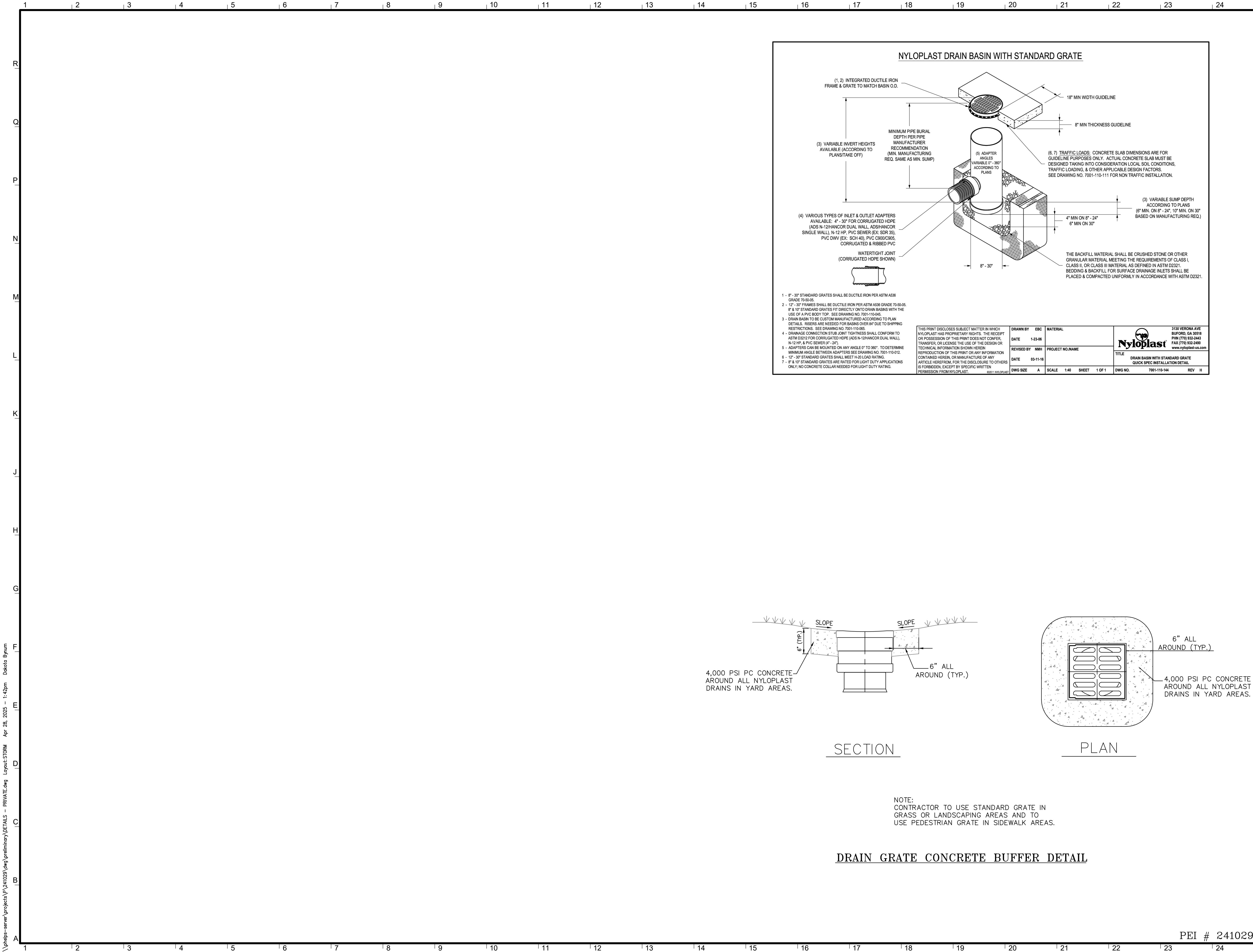












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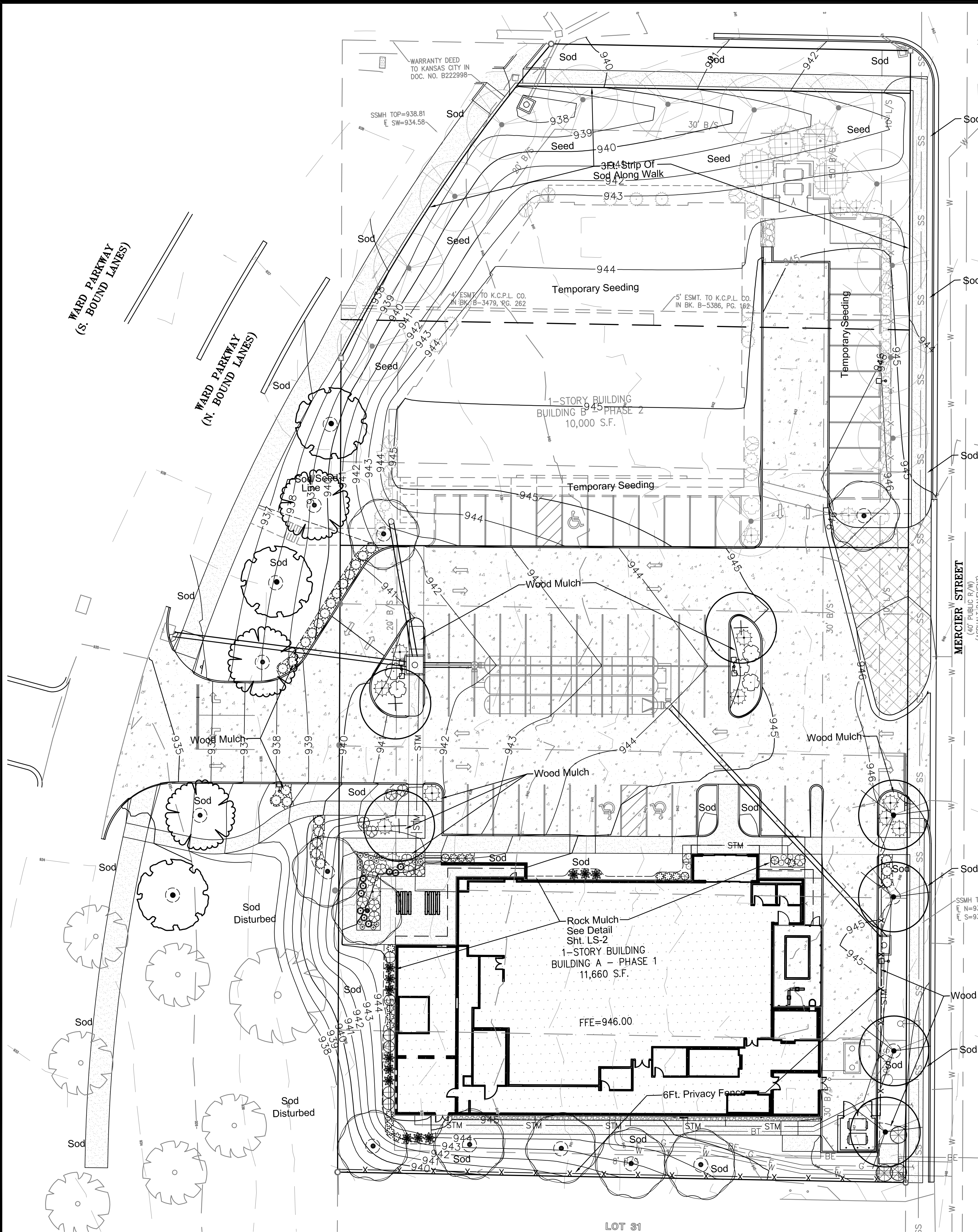
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DETAILS - PRIVATE

C605





Utility Note:  
Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Missouri call 1-800-DIG-RITE (344-7483) to have utilities located.

PLANT_SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL
TREES				
	3	Acer rubrum 'Red Pointe' / Red Pointe Red Maple	B & B	2"Cal
	3	Gleditsia triacanthos 'Skyline' / 'Skyline' Honey Locust	B & B	2"Cal
	9	Gymnocladus dioicus 'Epresso' / Kentucky Coffee Tree Seedless/Male Only	B & B	2"Cal
	3	Nyssa sylvatica / Black Gum	B & B	2"Cal
	4	Quercus bicolor / Swamp White Oak	B & B	2"Cal

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT
SHRUBS			
	25	Ilex glabra 'Shamrock' / Inkberry 36" hgt. & sp.	5 gal
	3	Juniperus chinensis 'Sea Green' / Sea Green Juniper 24"-30" hgt. & sp.	5 gal
	11	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper 24" sp.	3 gal
	3	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar B&B	6ft.
	5	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 18"-24" sp.	3 gal
	14	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea 18"-24" hgt.	3 gal
	6	Spiraea x bumalda 'Gold Flame' / Gold Flame Spirea 18"-24" hgt.	3 gal
GRASSES			
	6	Calamagrostis acutiflora 'Karl Foerster' / Feather Reed Grass 24" hgt.	3 gal
	12	Miscanthus sinensis 'Gracillimus' / Maiden Grass 24"-30" hgt.	3 gal
	15	Miscanthus sinensis 'Morning Light' / Eulalia Grass 24"-30" hgt.	3 gal
	9	Panicum virgatum 'Shenendoah' / Burgundy Switch Grass 15"-18" hgt.	1 gal
	17	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass 15"-18" hgt. & sp.	1 gal

EXISTING TREES TO BE SAVED				
	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	24"-30" hgt. & sp.	5'o.c.
	Heavy Metal Switch Grass	Panicum Virgatum 'Heavy Metal'	3 gal.	4'o.c.
	Free Standing Transformer	Free Standing Small Box		
	Against Wall	Clustered Boxes		

Typical Utility Box Screening Details  
No Scale Note: Quantities Not Included in Plant List  
UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE  
* In case of transformer tall than 3 ft. replace Seagreens with 6 ft. Ketterli Junipers

Table 3. Landscape Requirements  
This table shall appear on all landscape plans. Note that the column labeled "Alternative Requested" shall only be used when you cannot meet the landscape requirement and, if used, must be accompanied by Table 3a.

88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	10.6	11		
88-425-04 General	2.28	9		
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets				
Buffer Width	10ft.	10ft.		
Trees	See Note	Continuous		
Shrubs/Wall/Berm	Continuous	Continuous		
Adjacent to Residential Zones				
Buffer Width	6ft. Fence	6ft. Fence		
Shrubs/Berm/Fence/Wall	10ft. Fence	10ft. Fence		
88-425-06 Interior Vehicular Use Area				
Interior Area	33 CAR SPACES			
Trees	6	6		
Shrubs	33	33*		
88-425-07 Parking Garage Screening	Describe NA			
88-425-08 Mechanical/Utility Equipment Screening	Describe NA			
88-425-09 Outdoor Use Screening	Describe NA			

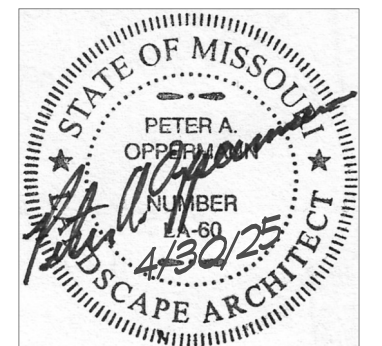
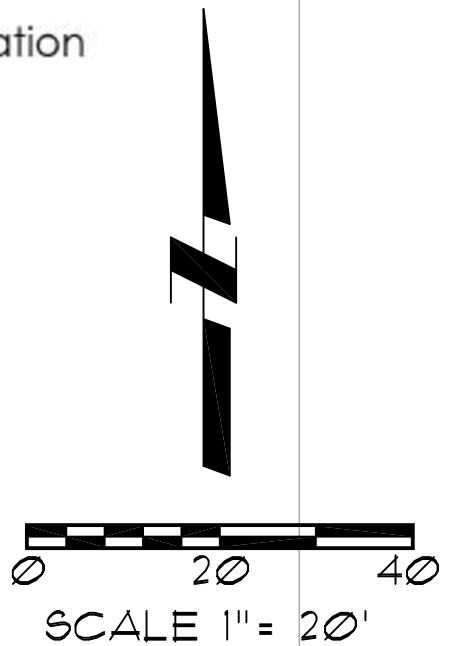
Table 3a. Alternative Compliance to Landscape Standards  
This table shall appear on all landscape plans in which alternative compliance is requested.

88-425 - LANDSCAPE REQUIREMENTS	Proposed Alternative	Approved
88-425-03 Street Trees	NA	
88-425-04 General	NA	
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets	NA	
Buffer Width		
Trees		
Shrubs/Wall/Berm		
Adjacent to Residential Zones		
Buffer Width	NA	
Shrubs/Berm/Fence/Wall		
88-425-06 Interior Vehicular Use Area		
Interior Area	NA	
Trees		
Shrubs		
88-425-07 Parking Garage Screening	NA	
88-425-08 Mechanical/Utility Equipment Screening	NA	
88-425-09 Outdoor Use Screening	NA	

Note:  
Street trees satisfy requirement.

Table 3b. Landscape Schedule  
This table shall appear on all landscape plans and be used to identify the graphic information displayed on the face of the plan.

88-425 - LANDSCAPE SCHEDULE	SYMBOL
88-425-03 Street Trees	See plan and plant schedule
88-425-04 General	See plan and plant schedule
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets	
Buffer Width	See plan
Trees	See plan and plant schedule
Shrubs/Wall/Berm	See plan and plant schedule
Adjacent to Residential Zones	See plan and plant schedule
Buffer Width	NA
Shrubs/Berm/Fence/Wall	
88-425-06 Interior Vehicular Use Area	
Interior Area	
Trees	
Shrubs	
88-425-07 Parking Garage Screening	Describe NA
88-425-08 Mechanical/Utility Equipment Screening	Describe NA
88-425-09 Outdoor Use Screening	Describe NA



Landscape Plan  
**Fareway Meat Market**

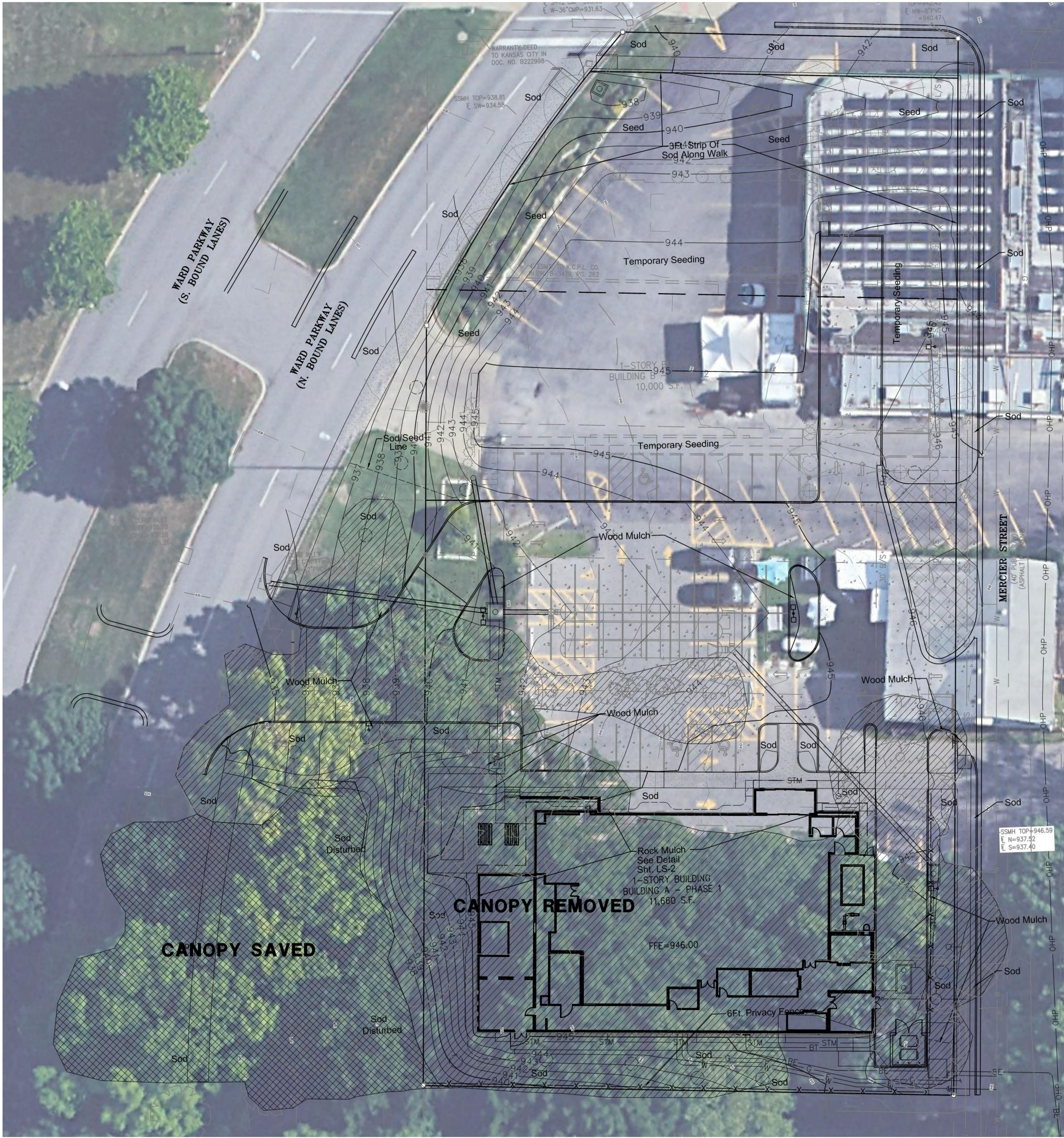
West 79th Street and Ward Parkway  
Kansas City, Missouri

LS-1



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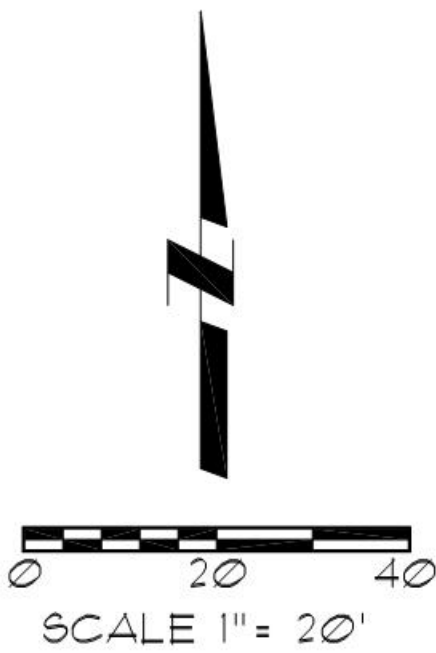




Utility Note:

Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Missouri call 1-800-DIG-RITE (344-7483) to have utilities located.

Tree Mitigation Calculations	
Total Area Of Trees To Be Removed	.821 Acres
Less area of contiguous canopy outside stream buffer to remain larger than 1 acre	.28 (0) Acres
Less undisturbed acres of stream buffer	.821
multiplied by	.35
multiplied by	.28
multiplied by	150
multiplied by	43
Less total caliper inches proposed in landscape plan	44
Caliper inches needed for mitigation	-1



Tree Mitigation Plan  
Fareway Meat Market

West 79th Street and Ward Parkway  
Kansas City, Missouri

LS-2



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Dedicated Design Irrigation System:

1. If an irrigation system is not provided with the Landscape Plans, the Contractor is to design a 100 percent coverage irrigation system, including comprehensive engineering analysis by a qualified Professional Engineer, using performance requirements and design criteria indicated per Owner's direction.
2. Irrigation Contractor to design and install irrigation system and shall include all required components including, but not limited to, rain shut off sensor, controller, taps, backflow preventers, all approvals, and all fees required by city. Components to be manufactured by Rainbird or Hunter unless alternate manufacturer is expressly approved by the Owner or Owner's Representative.
3. Irrigation Contractor shall submit a copy of plan to Owner's Representative or Project Landscape Architect for review prior to installation of system.
4. Irrigation Contractor shall conduct a training session with the owner (or representatives) demonstrating the operation of the system and the controller. As part of this training, Contractor shall provide one spring start-up and one fall shut-down of the system.
5. Landscape Contractor to provide cost estimates for irrigation system for all plant material indicated on plans.
6. Irrigation system shall be tested and approved by Owner's Representative or Landscape Architect prior to backfilling trenches. Irrigation system shall be fully operational prior to the installation of any plant materials.
7. All planting beds shall be watered by the irrigation system.
8. General Contractor to supply all power required to operate irrigation system.
9. Irrigation Contractor shall notify Owner's Representative or Project Landscape Architect of any changes to irrigation conduit locations or sizes.
10. It is the Landscape Contractor's responsibility to determine water application rates and timer cycling. The Irrigation Contractor will instruct the Owner on the operation and programming of the controller.
11. All zones and main lines will be pressure-tested at the time of installation and again prior to building turnover. Results shall be submitted in writing to Project Landscape Architect and Owner or Owner's Representative.
12. Irrigation shall not spray on building, sidewalks, and drives.
13. Irrigation controller location shall be coordinated with other wall-mounted service panels per Owner's approval.
14. Landscape Contractor shall hand-water all trees, and turf grass areas until substantial completion.
15. Treegator bags (or approved equal) shall be used for all proposed trees on site.

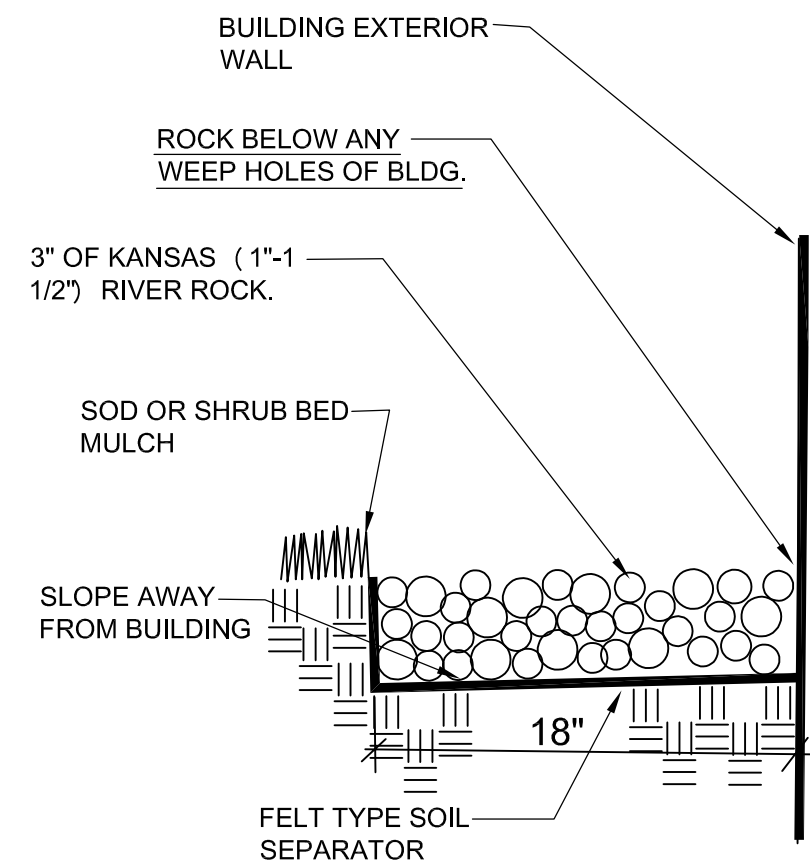
ADDITIONAL IRRIGATION NOTES:

All irrigation equipment shall be Rain Bird products or approved equal.

Drip Irrigation Note: Drip irrigation shall be 1/2" flex tubing with in line emitters and check valves spaced 12" on center. For individual shrubs an 18" diameter circle shall be placed around each shrub. For trees in landscape beds two loops shall be around tree. One at 3' diameter and one at 5' diameter. Groundcover areas shall have lines placed 18" apart covering entire bed.

Quick Couple Locations: Quick couples shall be placed in the main line of the irrigation so they may be used when irrigation is not running.

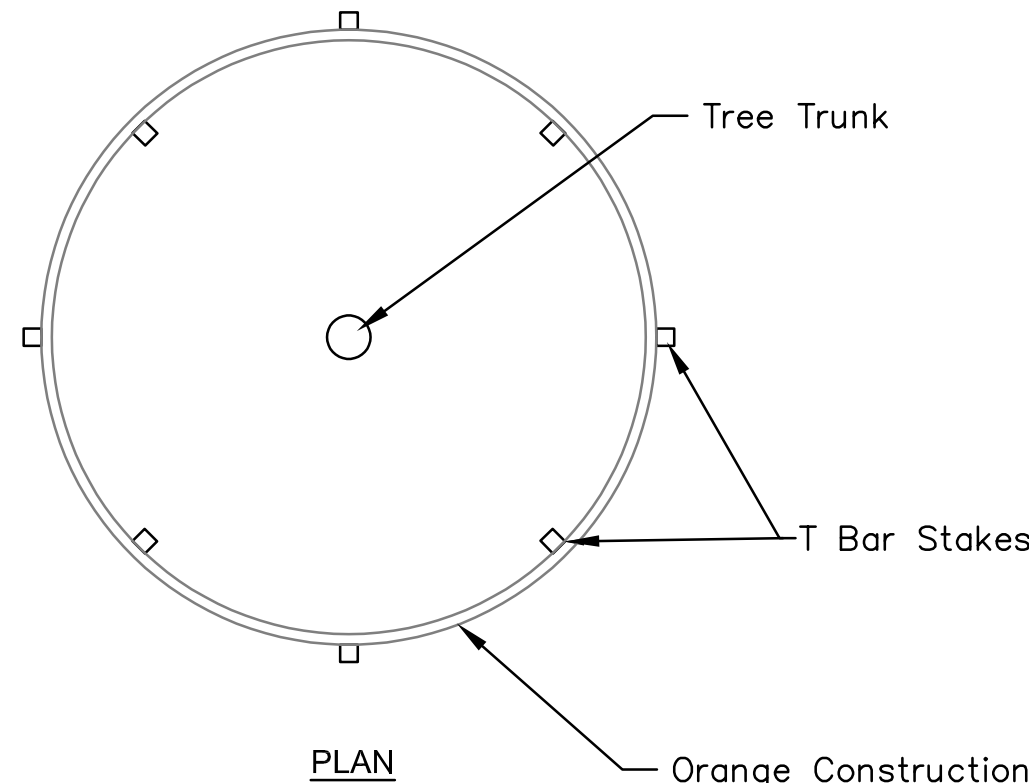
Irrigation controller shall be located as directed by Owner.



BUILDING ROCK EDGE

NO SCALE

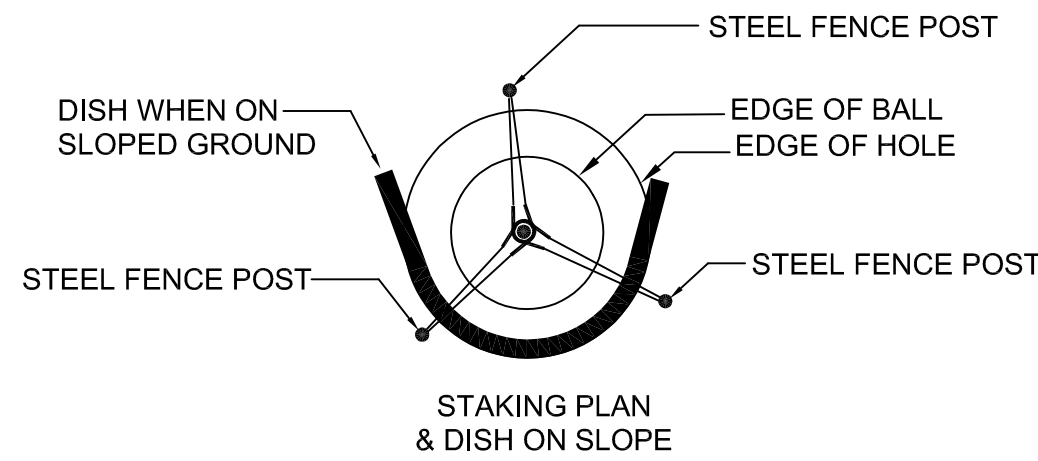
*PLACE ROCK AROUND ENTIRE BLDG. PERIMETER WHEREVER THERE IS NOT CONCRETE OR ASPHALT



PLAN

ELEVATION

TREE PRESERVATION DETAIL



DIRECTION OF TREE STAKES:  
ONE SOUTHEAST  
ONE SOUTHWEST  
ONE NORTH

PLASTIC SPIRAL TREE WRAP COIL FROM BASE TO LOWEST BRANCHES

WEBBED ARBOR TIE TAPE LOOP AROUND TREE TO BE 6"-8" LARGER THAN TRUNK DIAMETER

(3) 6" STEEL "T" POSTS

DIG SHALLOW, BROAD HOLE: 3 TIMES THE DIAMETER OF ROOT BALL AND ONLY AS DEEP AS ROOT BALL. BACKFILL WITH 1/2 EXISTING SOIL AND 1/2 TOPSOIL.

CUT AND REMOVE BURLAP (REMOVE METAL CAGE FROM SIDES AND TOP OF BALL)

IDENTIFY TRUNK FLARE TO REMAIN PARTIALLY VISIBLE AFTER PLANTING TOP OF ROOT BALL TO BE 1" ABOVE FINISHED GRADE

2" WELL AGED MANURE TOPPED W/ 1" OF SHREDDED DYED BROWN MULCH W/ PRE-EMERGENT HERBICIDE (KEEP MULCH 2" AWAY FROM TRUNK)

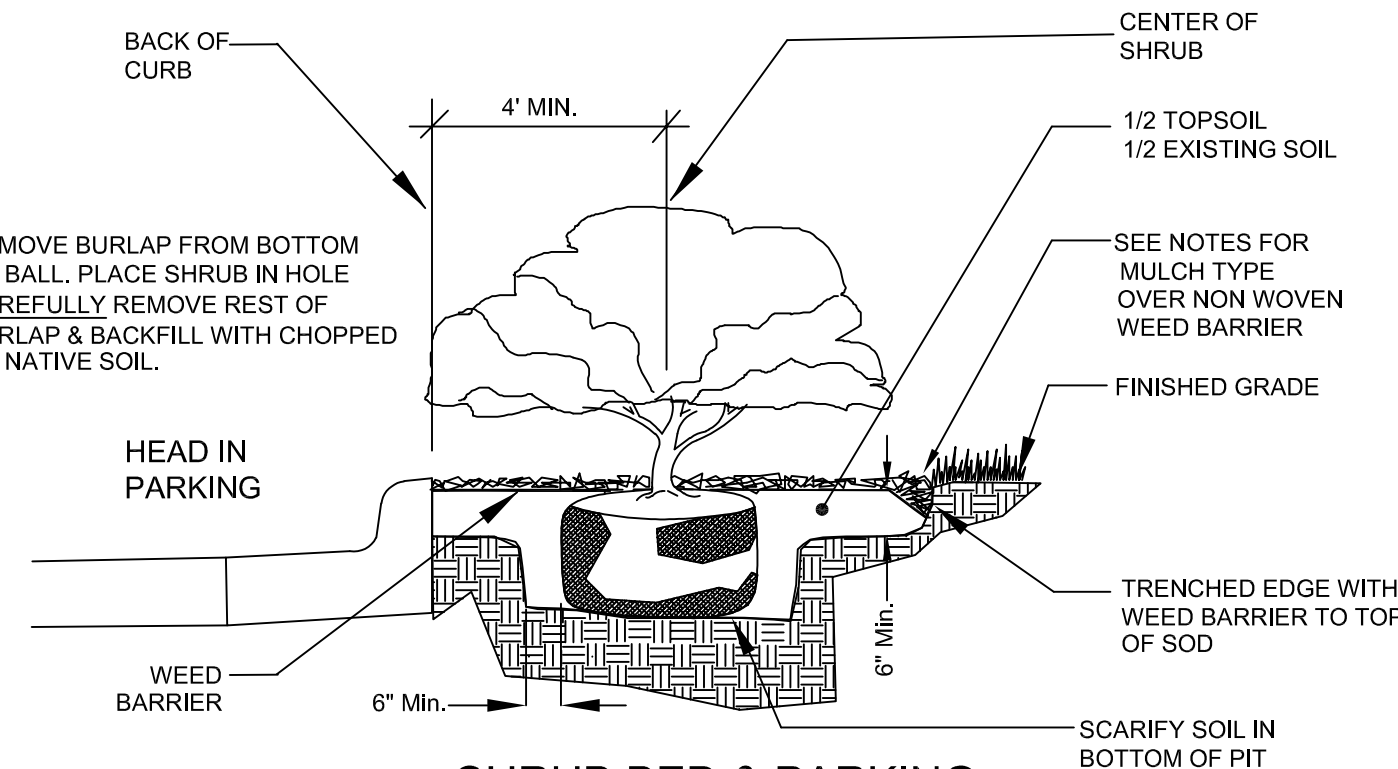
TOP OF ROOTBALL AT 1" ABOVE SURROUNDING FINISHED GRADE

FILL HOLE GENTLY, BUT FIRMLY. ADD WATER TO SETTLE THE SOIL.

FIRMLY COMPACT ANY NEW OR DISTURBED SOIL UNDER ROOT BALL TO PREVENT SETTLING

TREE PLANTING DETAIL

NO SCALE



SHRUB BED & PARKING SETBACK DETAIL

NO SCALE

Tree Protection Notes:

1. Four foot plastic snow fencing shall be erected around trees to be saved @ limits of grading.
2. Fence shall be erected before any site work takes place.
3. Steel "T" posts shall be placed 10ft. o.c. w/ fence attached securely.
4. Fencing shall remain in place during all demolition and new construction improvements & until the landscaping is complete.
5. No construction activity shall take place on the tree side of the fence including the storage of any construction materials including temporary storage of excavated soil. When appropriate excavated soil from areas to be graded shall be temporarily stored on adjacent available areas. If no adjacent areas are available excavated material shall be hauled offsite.
6. When trenching or other excavation takes place roots 1" in diameter & larger shall be root pruned with a saw, not a bulldozer blade.
7. Cut roots shall be wrapped with wet burlap while exposed.
8. Excavations with exposed roots shall be backfilled absolutely as soon as possible, after removing burlap from roots.
9. Where construction traffic needs to occur over critical root zones 4'x8' sheets of 3/4" plywood covered w/ 9" of shredded wood pulp or mulch shall be placed over the root zone first.

GENERAL LANDSCAPE NOTES:

1. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
2. CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL MAKE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL STAKE LAYOUT PLAN IN THE FIELD AND SHALL HAVE THE LAYOUT APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE INSTALLATION.
5. ALL LANDSCAPE BEDS SHALL BE TREATED WITH THE PRE-EMERGENT HERBICIDE PRE M 60 DG (GRANULAR) OR AN APPROVED EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. ALL LANDSCAPE BEDS SHALL RECEIVE A TRENCHED EDGE. SEE SHRUB PLANTING DETAIL. FINISH GRADE OF BEDS SHALL FLOW WITH SLOPE. NOT BE MOUNDED, AND BE AT ADJACENT PAVED SURFACE LEVEL.
7. FERTILIZER FOR FESCUE SODDED AREAS, TREES AND CONTAINER STOCK AREAS SHALL BE A BALANCED FERTILIZER BASED ON RECOMMENDATIONS FROM A SOIL TEST SUPPLIED BY THE LANDSCAPE CONTRACTOR FROM AN APPROVED TESTING LAB.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PLANTS UNTIL COMPLETION OF THE JOB AND ACCEPTANCE BY THE OWNER.
9. CONTRACTOR SHALL WARRANTY ALL LANDSCAPE WORK AND PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.
10. CONTRACTOR SHALL PROVIDE MAINTENANCE OF ALL TREES AND SHRUBS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION IF CONTRACTED BY THE OWNER.
11. ANY PLANT MATERIAL WHICH DIES DURING THE ONE YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR DURING NORMAL PLANTING SEASONS.
12. ALL PLANT NAMES ON THE PLANT LIST CONFORM TO THE STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE OR TO NAMES GENERALLY ACCEPTED IN THE NURSERY TRADE.
13. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY STOCK AS DETERMINED IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, FREE OF PLANT DISEASES AND PESTS, OF TYPICAL GROWTH OF THE SPECIES AND HAVING A HEALTHY, NORMAL ROOT SYSTEM.
14. SIZES INDICATED ON THE PLANT LIST ARE THE MINIMUM, ACCEPTABLE SIZE. IN NO CASE WILL SIZES LESS THAN THE SPECIFIED SIZES BE ACCEPTED.
15. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY TO THE SITE OR AFTER INSTALLATION EXCEPT FOR THOSE BRANCHES THAT HAVE BEEN DAMAGED IN SOME WAY.
16. PLANTS SHALL NOT HAVE NAME TAGS REMOVED PRIOR TO FINAL INSPECTION.
17. ALL PLANTINGS SHALL RECEIVE A COMMERCIAL TRANSPLANT ADDITIVE PER MANUFACTURER'S RECOMMENDED RATES AND INSTRUCTIONS FOR APPLICATION.
18. BUILDING MULCH SHALL BE 3" DEPTH OF KANSAS RIVER ROCK (3/4"-1 1/2") SIZE. OTHER MULCH SHALL BE 3" OF DYED BROWN SHREDDED HARDWOOD. BOTH MULCHES SHALL BE OVER A FELT TYPE SOIL SEPARATOR CUT INTO THE GROUND WITH A TRENCHED EDGE. SEE TREE DETAIL FOR DIFFERENT MULCH AROUND TREES.
19. SEED SHALL BE A TURF-TYPE-TALL FESCUE BLEND WITH 10% PERENNIAL RYE DRILL SEED AT A RATE OF 9#/1000S.F. AND HYDRO MULCHED AS A SEPARATE OPERATION AT A RATE OF 2000#/ACRE OF VIRGIN WOOD FIBRE WITH A DYED BLUE TACKIFIER. CONTRACTOR SHALL BE RESPONSIBLE FOR AN ACCEPTABLE STAND OF TURF GRASS OF AT LEAST 90% COVERAGE OF SOIL SURFACE PER SQUARE FOOT.
21. SEE PLANTING DETAILS FOR SOIL MIX IN PLANTING HOLES.
22. SOD SHALL BE A TURF-TYPE-TALL FESCUE GRASS BLEND.
23. SUCCESSFUL LANDSCAPE BIDDER SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ANY IRRIGATION SYSTEM TO BE APPROVED BY THE OWNER.

Transplant Additives:

1. Apply a commercial transplant additive (approved by the Landscape Architect) to all trees, shrubs and groundcover at rates recommended by the manufacturer during the planting. This item shall be subsidiary to other planting items.
2. Transplant additive shall be Horticultural Alliance "DIEHARD Transplant" (or approved equal) mycorrhizal fungal transplant inoculant or equivalent equal containing the appropriate species of mycorrhizal fungi and bacteria, fungi stimulant, water retaining agents, mineral & organic nutrients and inert ingredients.
3. Demonstrate installation of all transplant additives for this project to the Landscape Architect. Provide actual additive product as evidence of sufficient quantity of product. (Empty product bags to be stockpiled for inspection by the Landscape Architect prior to disposal).
4. Number of transplant additive packets per tree, shrub or groundcover shall be applied according to the manufacturer's recommended rates and instructions. For all plants the packet mix shall be evenly distributed into the upper approximately 8" of backfill soil next to the rootball. Do not place mix in the bottom of the planting pit.
5. Furnishing and application of transplant additive shall be subsidiary to the planting operations.

Landscape Plan  
Fareway Meat  
Market

West 79th Street and Ward Parkway  
Kansas City, Missouri

LS-3



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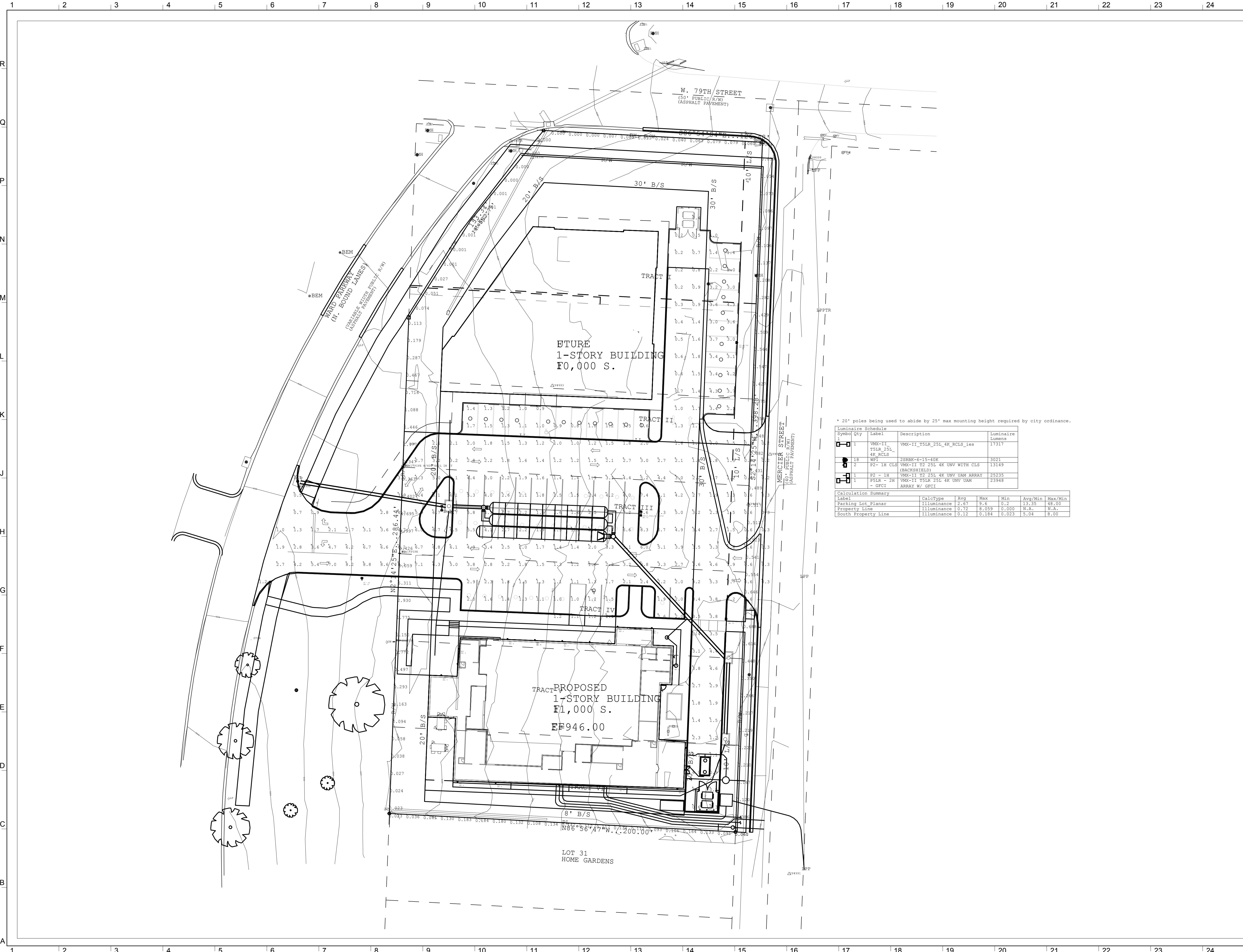
peter@oppermann56@gmail.com  
913.522.5598

Utility Note:

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Autodesk Docs://2024.254 Fareway Grocery - Ward Parkway - Phase 1/2024.254 Fareway Grocery - Ward Parkway - Phase 1_R24.rvt



* 20' poles being used to abide by 25' max mounting height required by city ordinance.

Luminaire Schedule			
Symbol	Qty	Label	Description
1	1	VMK-II 75LR_25L 4K RCLS	VMK-II 75LR_25L_4K_RCLS_ies
18	18	WPI	2SRBK-6-15-40K
2	2	P2- 1H CLS	VMK-II P2 25L 4K UNV WITH CLS (BACKSHIELD)
1	1	P2 - 1H	VMK-II P2 25L 4K UNV UAM ARRAY
1	1	P5LR - 2H	VMK-II 75LR_25L_4K UNV UAM - GFCI
			ARRAY W/ GFCI
			23948

Calculation Summary						
Label	CalcType	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot Planar	Illuminance	2.67	9.6	0.2	13.35	48.00
Property Line	Illuminance	0.72	8.059	0.000	N.A.	N.A.
South Property Line	Illuminance	0.12	0.184	0.023	5.04	8.00

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Kansas City, Missouri 64111

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515-290-1139

Civil Engineer  
Phelps Engineering  
1270 N. Winchester  
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913.393.1155

Energy  
Lankford | Fendler + Associates  
1730 Walnut Street  
Kansas City, Missouri 64108  
816.222.1411

Solar: Ideal Energy  
800-634-4454

Fareway Meat  
Market

1307 W 79th Street  
Kansas City, MO 64114

Fareway Stores, Inc

2300 Industrial Park Road  
Boone, IA 50036  
515.432.2623

ISSUED FOR:

KCMO Final Plan Submittal 14 Mar 2025  
KCMO Final Plan Resubmittal 21 April 2025  
95% Construction Documents 28 April 2025  
KCMO Final Plan Resubmittal 5 May 2025

Missouri Certificate of Authority: #ARC000344

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Site Plan - Lighting Layout

A1.1

Project Number: 2024.254

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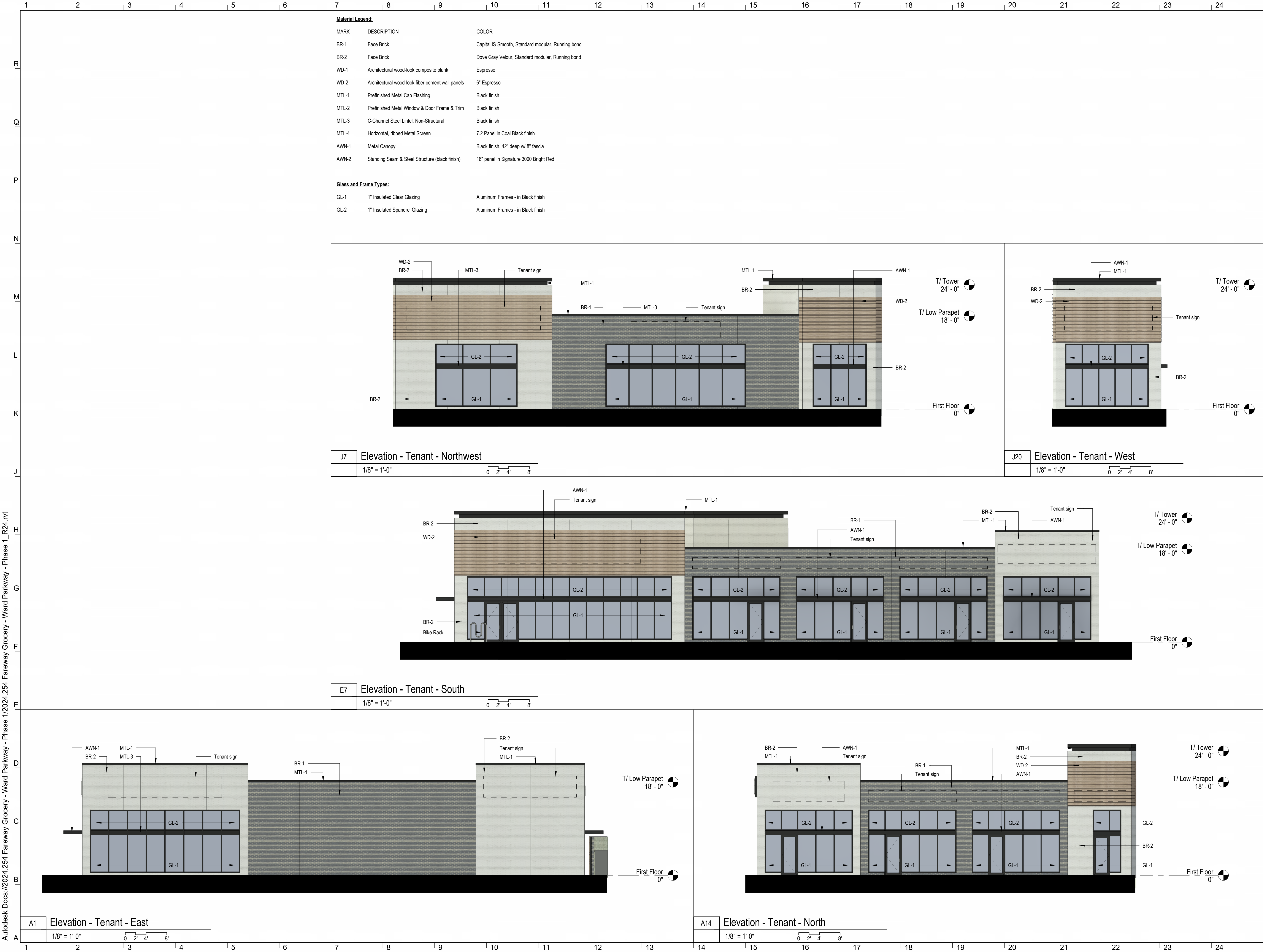
BUILDING ELEVATIONS

**A4.0**

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BUILDING ELEVATIONS -  
TENANT

# A4.1

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Meat Market and Tenant - Aerial Site View



NW Corner at Fareway Meat Market



SW Corner at Tenant Building



NE Corner at Fareway Meat Market

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BUILDING AND AERIAL  
VIEWS

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