

SITE DEVELOPMENT PLANS

FOR

FAREWAY MEAT MARKET

ADDRESS: 1307 W. 79TH STREET

IN THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI



BENCHMARK:

VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING SMARTNET GPS NETWORK

1. SET "+" PLUS CUT IN SE COR. CURB INLET LOCATED ON THE EAST SIDE OF WARD PARKWAY NEAR PROJECT MIDPOINT.

ELEVATION = 935.74

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR KANSAS CITY, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0376G, AND DATED JANUARY 20, 2017.

811
Know what's below.
Call before you dig.

Vertical Datum = NAVD88 based on GPS observation using SmartNet GPS Network
1. Set "+" plus cut in SE cor. curb inlet located on the East side of Ward Parkway near project midpoint.
Elevation = 935.74
THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR KANSAS CITY, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0376G, AND DATED JANUARY 20, 2017.

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Fareway Meat Market

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2300 Industrial Park Road
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515.432.2623

ISSUED FOR:
KCML Final Plan Submittal 14 Mar 2025
KCML Final Plan Resubmittal 21 April 2025
95% Construction Documents 28 April 2025

Missouri Certificate of Authority #ARC00344

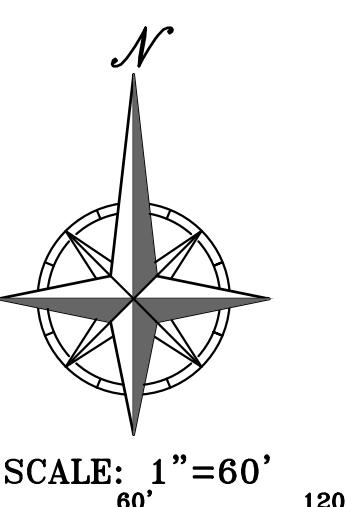
LEGAL DESCRIPTION:

This description was prepared by Phelps Engineering, Inc., MOCL52007001128 on February 26, 2025, for Project No. 241029. A resurvey and replat of Lots 28 thru 30 and all that part of Lot 27, HOME GARDENS, a subdivision of land in the Fractional Section 18, Township 48 North, Range 33 West, in the City of Kansas City, Jackson County, Missouri, being more particularly described as follows:

Beginning at the Northeast corner of said Lot 27, said point also being the intersection of the South right-of-way line of W. 79th Street, as now established and the West right-of-way line of Ward Parkway, as now established, thence S 21°42' W, along the East line of said Lots 27 thru 30 and the West right-of-way line of Ward Mercier Street, a distance of 398.28 feet to the Southeast corner of said Lot 30; thence N 86°56'4" W, along the South line of said Lot 30, a distance of 200.00 feet to the Southwest corner of said Lot 30, said point also being on the East right-of-way line of Ward Parkway, as now established, thence N 21°23' E, along the West line of said Lots 30 thru 28 and the East right-of-way line of said Ward Parkway, a distance of 286.44 feet to the South most corner of a warrant, need to Kansas City in document no. B222998, in book B-5048, at page 427; thence Northeastly along the Easterly line of said warranty deed, on a curve to the right, said curve having an initial tangent bearing of N 29°14'03" E and a radius of 582.79 feet, an arc distance of 133.31 feet to a point on the North line of said Lot 27, said point also being on the South right-of-way line of said W. 79th Street; thence S 86°54'54" E, along the North line of said Lot 27 and the South right-of-way line of said W. 79th Street, a distance of 126.48 feet to the Point of Beginning, containing 1.740 acres, more or less.

GROSS AREA = ±1.74 ACRES

LEGEND
— PL — PROPERTY LINE
— LL — LOT LINE
— R/W — RIGHT-OF-WAY

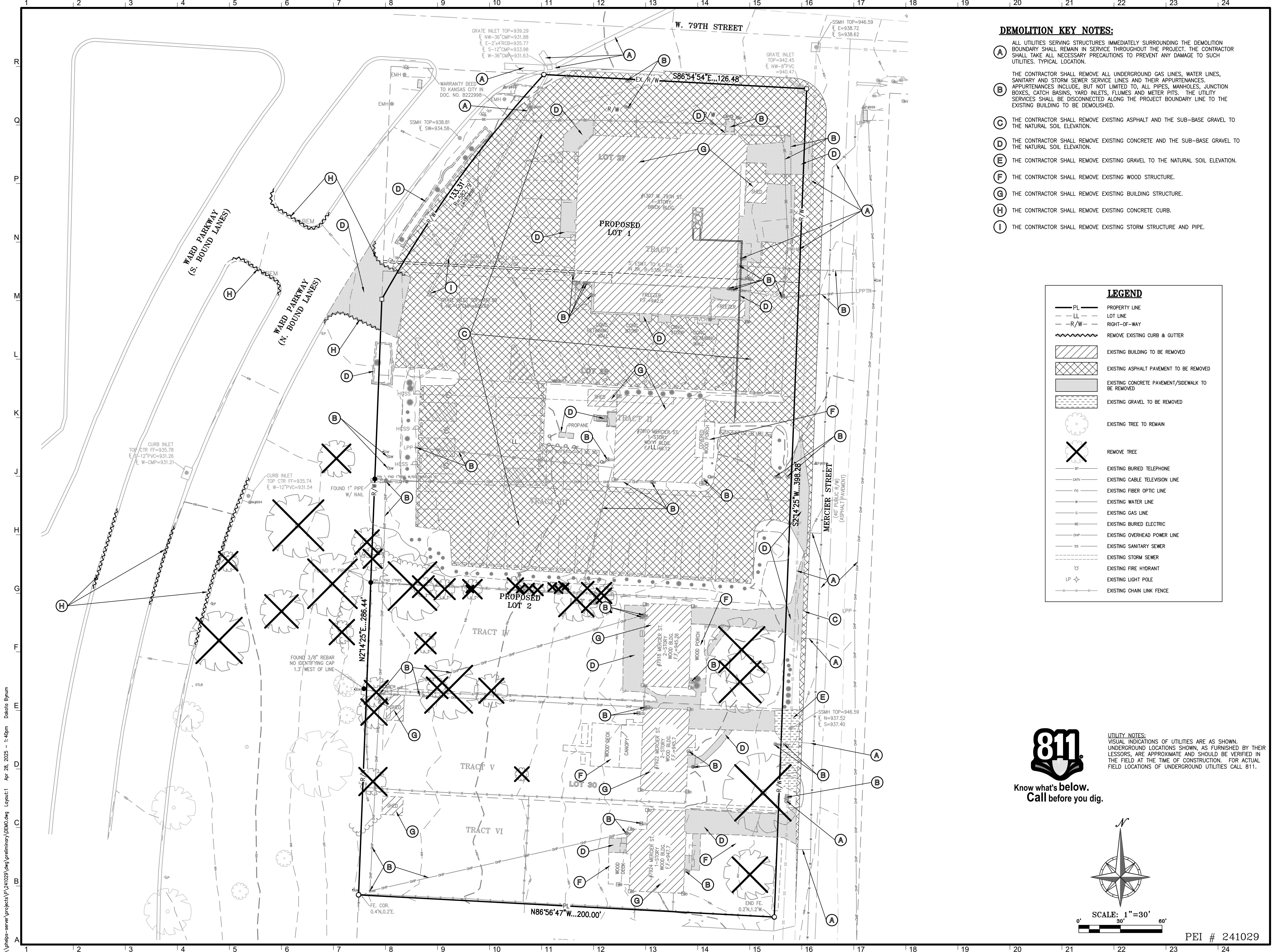


PEI # 241029

Drawn By
Checked By
COVER

C000

Project Number: 2024.254 © Copyright 2022



This detailed architectural site plan illustrates the layout of a building project on W. 79th Street and Mercier Street. The plan shows two proposed lots, Lot 1 and Lot 2, with building footprints and various features. Key elements include:

- W. 79TH STREET:** A street with a new 40' half street right-of-way to be dedicated. It features a 40' width, 30' B/S, 24.48' S, 33.98' S, and 10' L/S.
- MERCIER STREET:** A street with a 40' public right-of-way (asphalt pavement) featuring 10' L/S, 30' B/S, and 10' B/S.
- Proposed Lots:**
 - PROPOSED LOT 1:** Features a 1-story building (Building B - Phase 2) of 10,000 S.F. with a canopy. It includes 2 long-term and 4 short-term bicycle spaces.
 - PROPOSED LOT 2:** Features a 1-story building (Building A - Phase 1) of 11,660 S.F. with two canopies. It includes 4 long-term bicycle spaces.
- Ward Parkway:** A road with two bound lanes (S. and N. bound lanes) and a 20' width. It includes a 20' B/S, 4 short-term bicycle spaces, and a 20' B/S.
- Home Gardens:** A property labeled "LOT 31 HOME GARDENS" with a 6' tall vinyl solid screen fence.
- Other Features:** Includes a 6' tall vinyl solid screen fence on the east side, a 4' easement to K.C.P.L. Co. (IN PL. B-3479 PG. 262), a 5' easement to K. IN BK. B-5381 PG. 162, and a 1-story building footprint for Building A - Phase 1.
- Annotations:** Labels include "WARRANTY DEED TO KANSAS CITY, KS, DOC. NO. B22255", "RELOCATED MEDIAN OPENING", "CLOSE EXISTING MEDIAN OPENING", "FOUND 1" PIPE W/ NAIL", "FOUND 1" PIPE", "REIN. REBAR NO IDENTIFYING CAP 1.3' WEST OF LINE", "FE. COR. 0.4'N, 0.2'E.", and "N214'25"E 286.44'".

LEGAL DESCRIPTION:
This description applies to Project No. 24, Building A - Phase 1, located in the area bounded by W. 79th Street, Mercier Street, and the Ward Parkway. The project consists of two lots, Lot 1 and Lot 2, with a total area of approximately 20,660 S.F. The building footprint for Building A - Phase 1 is 11,660 S.F. and Building B - Phase 2 is 10,000 S.F. The project includes a 1-story building, two canopies, and various parking and bicycle spaces. The project is subject to a 4' easement to K.C.P.L. Co. (IN PL. B-3479 PG. 262) and a 5' easement to K. IN BK. B-5381 PG. 162. The project is also subject to a 1-story building footprint for Building A - Phase 1.

DESCRIPTION:
This was prepared by Phelps Engineering, Inc., MOCLS2007001128 on February 26, 2025, for 1029. A resurvey and replat of Lots 28 thru 30 and all that part of Lot 27, HOME subdivision of land in the Fractional Section 18, Township 48 North, Range 33 West, in the City of Jackson County, Missouri, being more particularly described as follows:

The Northeast corner of said Lot 27, said point also being the intersection of the South line of W. 79th Street, as now established and the West right-of-way line of Mercier Street, fished; thence S 21'4"25" W, along the East line of said Lots 27 thru 30 and the West line of said Mercier Street, a distance of 398.28 feet to the Southeast corner of said Lot 30; 6'47" W, along the South line of said Lot 30, a distance of 200.00 feet to the Southwest corner of said Lot 30, said point also being on the East right-of-way line of Ward Parkway, as now established; thence N 21'4"25" E, along the West line of said Lots 30 thru 28 and the East right-of-way line of Ward Parkway, a distance of 286.44 feet to the South most corner of a warranty deed to document no. B222998, in book B-5048, at page 427; thence Northeasterly along the line of said warranty deed, on a curve to the right, said curve having an initial tangent bearing of N 21'4"25" E and a radius of 582.79 feet, an arc distance of 133.31 feet to a point on the North line of said lot 27; said point also being on the South right-of-way line of said W. 79th Street; thence S 21'4"25" E, along the North line of said Lot 27 and the South right-of-way line of said W. 79th Street, a distance of 16.48 feet to the Point of Beginning, containing 1.7420 acres, more or less.

REA = ±1.74 ACRES

SITE DATA	Existing	Proposed	Deviation Requested?	Approved
Zoning	B1-1	B1-1		-
Gross Land Area				-
in square feet	77,871 SF	77,871 SF		-
in acres	1.79 AC.	1.79 AC.		-
Right-of-way Dedication				-
in square feet	N/A	1,989 S.F.		-
in acres	N/A	0.05 AC.		-
Net Land Area				-
in square feet	77,871 SF	75,882 SF		-
in acres	1.79 AC.	1.74 AC.		-
Building Area (sq. ft.)	10,844	21,000 S.F.		-
Floor Area Ratio	0.14	0.28		-
Residential Use Info	-	-		-
Total Dwelling Units	3	-		-
Detached House	3	-		-
Zero lot line House	-	-		-
Cottage House	-	-		-
Semi-attached House	-	-		-
Townhouse	-	-		-
Two-unit House	-	-		-
Multi-unit House	-	-		-
Colonnade	-	-		-
Multiplex	-	-		-
Multi-unit Building	-	-		-
Total Lots				-
Residential	3	-		-
Public/Civic	-	-		-
Commercial	3	2		-
Industrial	-	-		-
Other	-	-		-

BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback (EAST)	30'	30'		-
Front Setback (WEST)	20'	20'		-
Side Setback (SOUTH)	8'	20'		-
Side Setback (abutting street)	20'	39'		-
Height	35'	25'-5"		-

PARKING DATA							
88-420 – PARKING	Vehicle Spaces		Bike Spaces SHORT TERM		Bike Spaces LONG TERM		Alternatives Proposed? (See 88-420-16)
	Required	Proposed	Required	Proposed	Required	Proposed	
Proposed Use(s) <u>BUILDING B – LOT 1</u> List All Proposed Uses	25*	22***	3	4	2	2	
Total RETAIL SALES							
Proposed Use(s) <u>BUILDING A – LOT 2</u> List All Proposed Uses	30**	35***	4	4	4	4	
Total RETAIL SALES							
TOTAL	55	57	7	8	6	6	

*RETAIL REQUIRED: 2.5 PER 1,000 SQFT = $2.5 * (10,000/1,000) = 25$
**RETAIL REQUIRED: 2.5 PER 1,000 SQFT = $2.5 * (11,660/1,000) = 30$
***SHARED PROVIDED BETWEEN LOT 1 AND 2

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88-425 – OTHER DEVELOPMENT STANDARDS	Method of Compliance
88-408 Parkland Dedication	NOT APPLICABLE
88-415 Stream Buffers	NOT APPLICABLE
88-430 Outdoor Lighting	PHOTOMETRIC PLAN TO MEET CODE
88-435 Outdoor Display, Storage and Work Areas	SCREENED PER CODE
88-445 Signs	MONUMENT AND BUILDING SIGNAGE TO MEET CODE
88-450 Pedestrian Standards	PEDESTRIAN STANDARDS TO MEET CODE

<u>LOT SUMMARY TABLE</u>		
Site Area	Lot 1 31,490 S.F./0.72 Ac.	Lot 2 44,392 S.F./1.02 Ac.
Proposed Building No. of Stories	1 Story	1 Story
Total Building S.F.	10,000 S.F.	11,660 S.F.
Floor Area Ratio (FAR)	0.318	0.248
Impervious Area S.F.	19,650 S.F. (62%)	36,033 S.F. (81%)
Pervious Area S.F.	11,840 S.F. (38%)	8,359 S.F. (19%)

<u>LEGEND</u>	
PL —	PROPERTY LINE
LL — —	LOT LINE
R/W — —	RIGHT-OF-WAY
—————	2' CURB & GUTTER
—————	6" CURB
B/L —	BUILDING SETBACK LINE
P/S —	PARKING SETBACK LINE
L/S —	LANDSCAPE SETBACK LINE
———	STANDARD DUTY ASPHALT
.....	PROPOSED BUILDING
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK

A compass rose is centered on the page. It features a vertical North arrow pointing upwards, with a curved label 'N' at the top. Below the North arrow is a circular rose divided into four quadrants by thick lines. The top-right quadrant is shaded dark gray. The text 'ENT' is partially visible on the left side of the compass. At the bottom, the text 'SCALE: 1"=30' is written, with '0'' positioned to its left. A scale bar consisting of a thick black line with a horizontal white line segment is located at the bottom.

Drawn By TA
Checked By AM

SITE

C100

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Fareway Meat Market

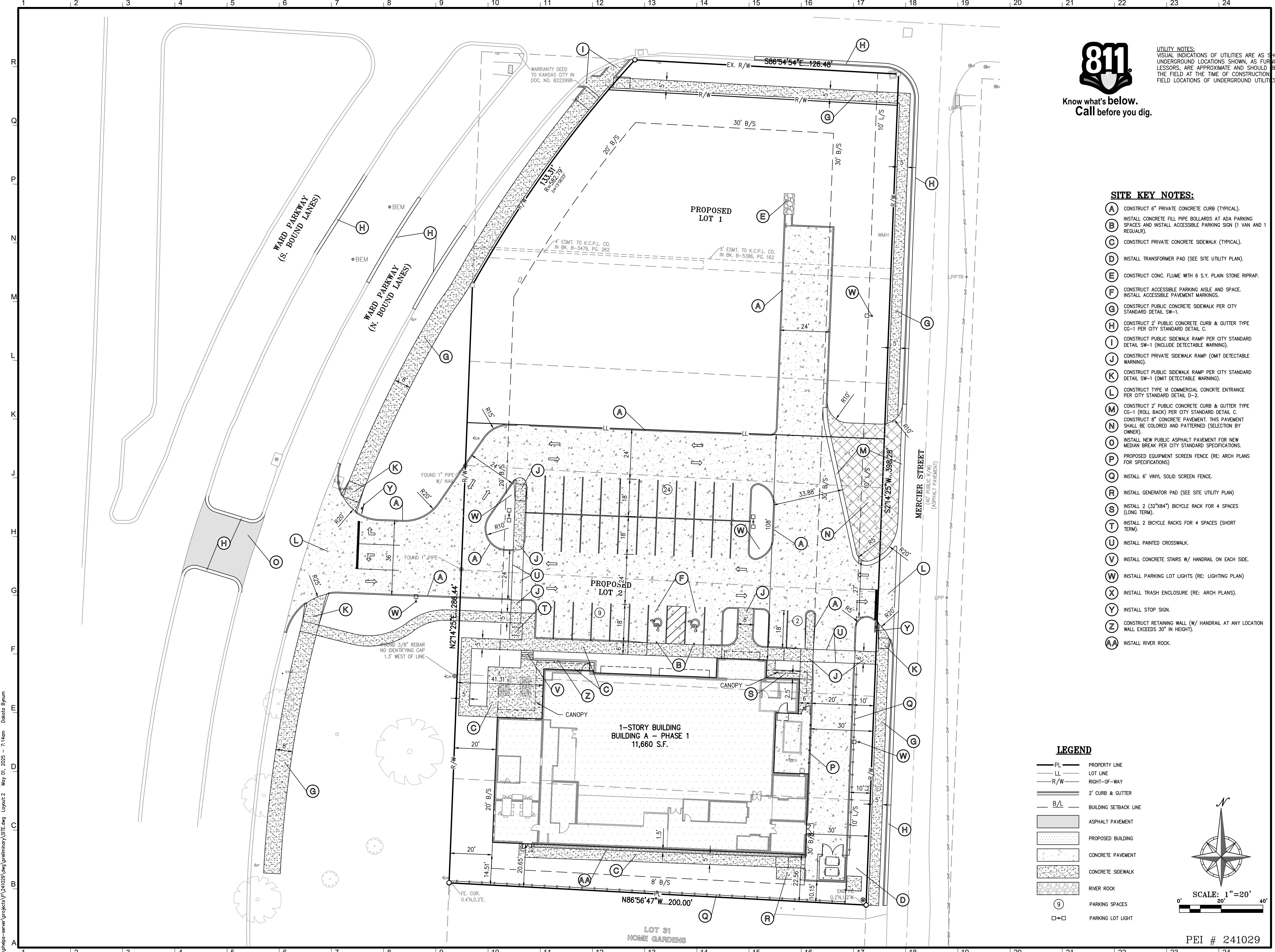
1307 W 79th Street
Kansas City, MO 64114

Fareway Stores, Inc
2300 Industrial Park Road
Boone, IA 50036
515.432.2623

ISSUED FOR:

10 Final Plan Submittal	14 Mar 2025
10 Final Plan Resubmittal	21 April 2025
Construction Documents	28 April 2025

Missouri Certificate of Authority: #ARC000344



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Call before you dig.**

NOTES:
ACTUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR
CONTRACTORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL
LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

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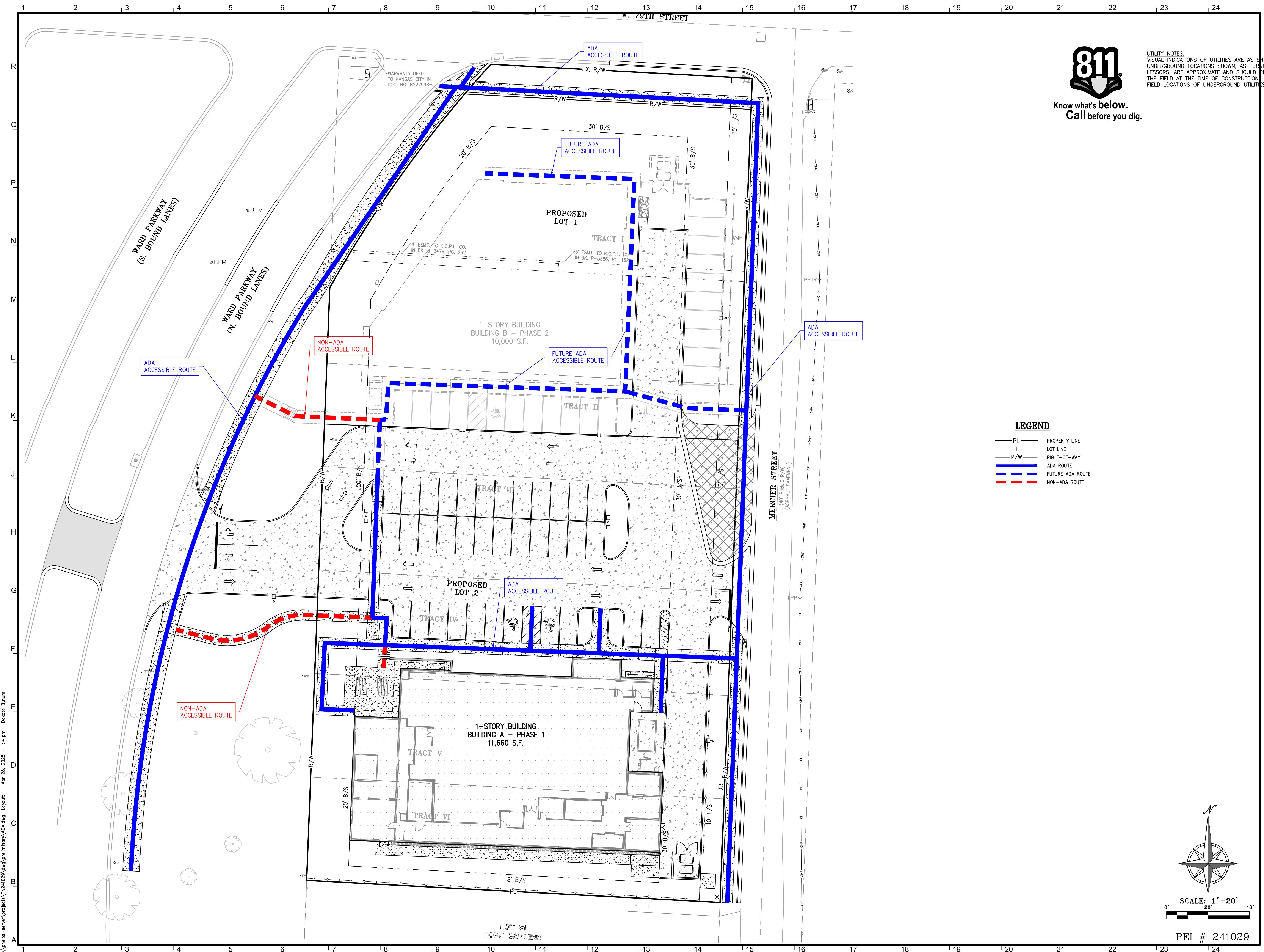
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ISSUED FOR:

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PEI # 241029



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UTILITY NOTES: VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

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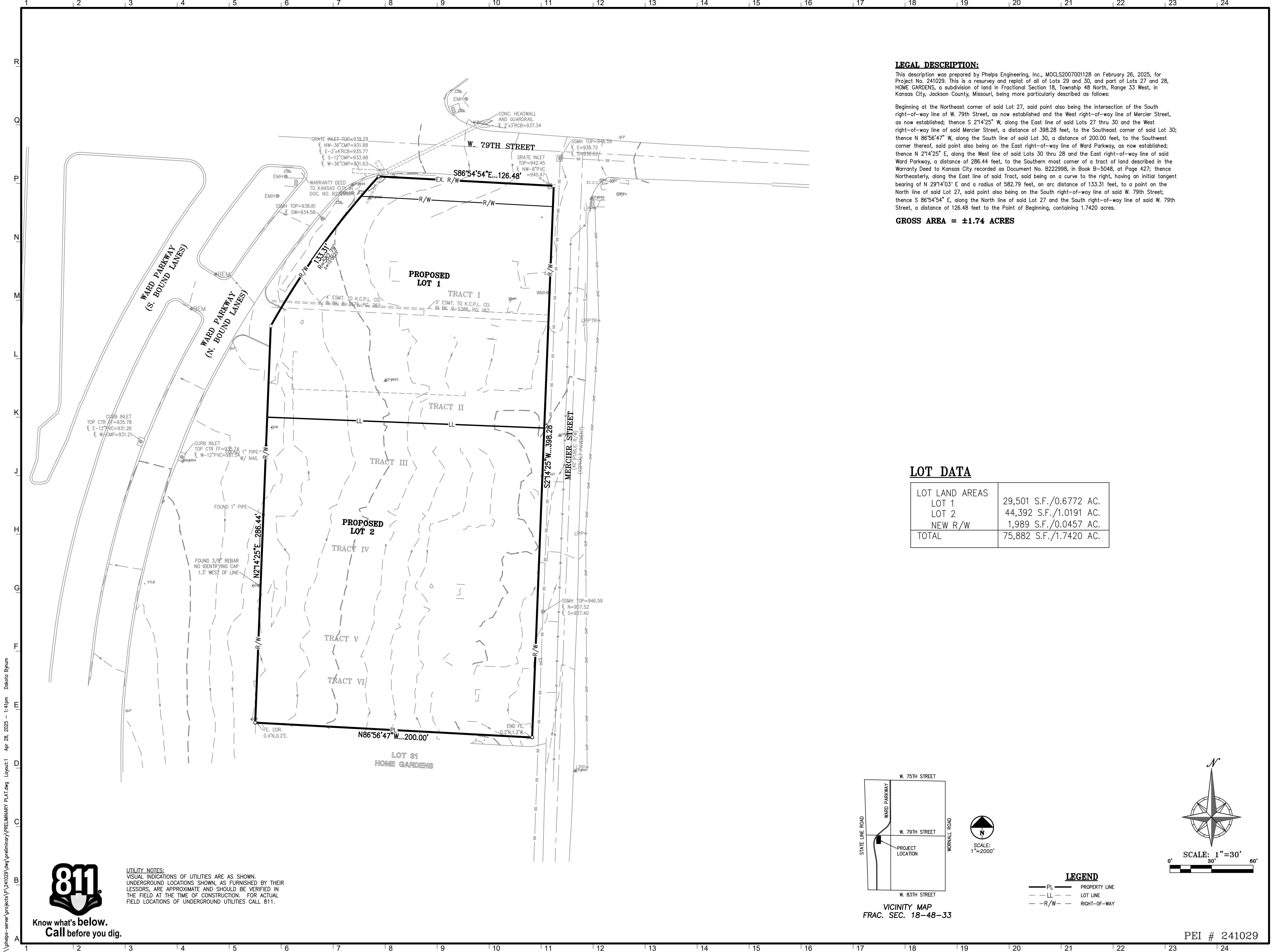
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LEGAL DESCRIPTION:

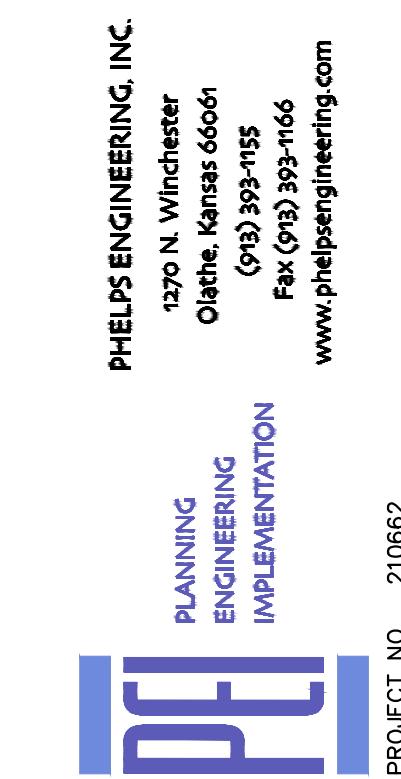
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Beginning at the Northeast corner of said Lot 27, said point also being the intersection of the South right-of-way line of W. 79th Street, as now established and the West right-of-way line of Mercier Street, as now established; thence S 214'25" W, along the East line of said Lots 27 thru 30 and the West right-of-way line of said Mercier Street, a distance of 398.28 feet, to the Southeast corner of said Lot 30; thence N 86'56"47" W, along the South line of said Lot 30, a distance of 200.00 feet, to the Southwest corner thereof, said point also being on the East right-of-way line of Ward Parkway, as now established; thence N 214'25" E, along the West line of said Lots 30 thru 28 and the East right-of-way line of said Ward Parkway, a distance of 286.44 feet, to the Southern most corner of a tract of land described in the Warranty Deed to Kansas City recorded as Document No. B222998, in Book B-5048, at Page 427, thence Northeastly, along the East line of said Tract, said being on a curve to the right, having an initial tangent bearing of N 291'03" E and a radius of 582.79 feet, an arc distance of 133.31 feet, to a point on the North line of said Lot 27, said point also being on the South right-of-way line of said W. 79th Street; thence S 86'54'54" E, along the North line of said Lot 27 and the South right-of-way line of said W. 79th Street, a distance of 126.48 feet to the Point of Beginning, containing 1.7420 acres.

GROSS AREA = ± 1.74 ACRES

LOT DATA

LOT LAND AREAS	
LOT 1	29,501 S.F./0.6772 AC.
LOT 2	44,392 S.F./1.0191 AC.
NEW R/W	1,989 S.F./0.0457 AC.
TOTAL	75,882 S.F./1.7420 AC.



PROJECT NO. 210632

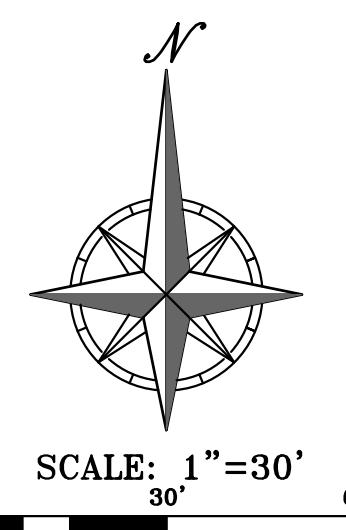
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 95% Construction Documents 28 April 2025

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 SCALE: 1"=30'
30' 60'

 Drawn By
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PRELIMINARY PLAT
C103



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MO Final Plan Submittal	14 Mar 20
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Drawn By _____
Checked By _____ TA _____ AM _____

ENLARGED GRADING

C203

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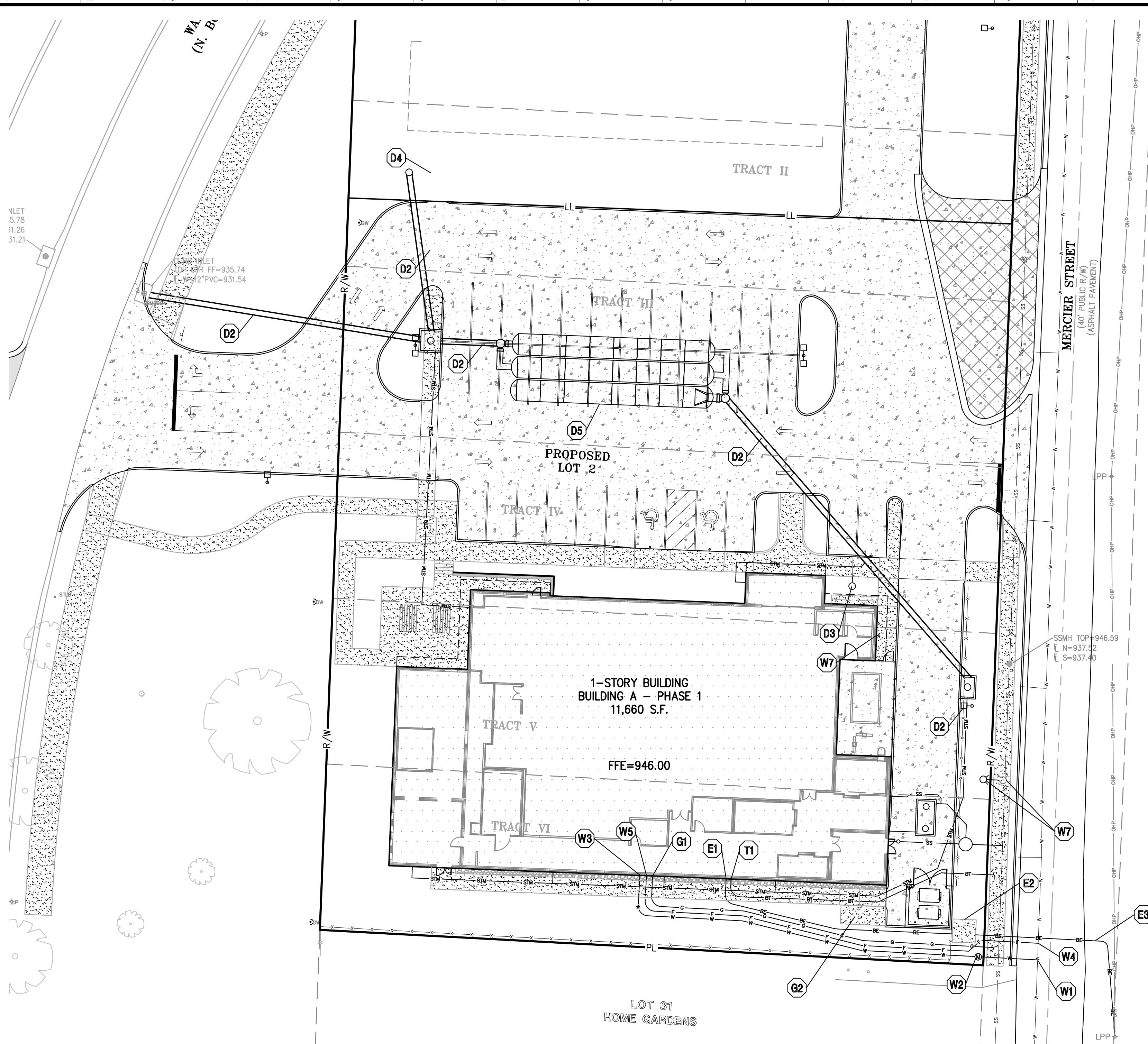
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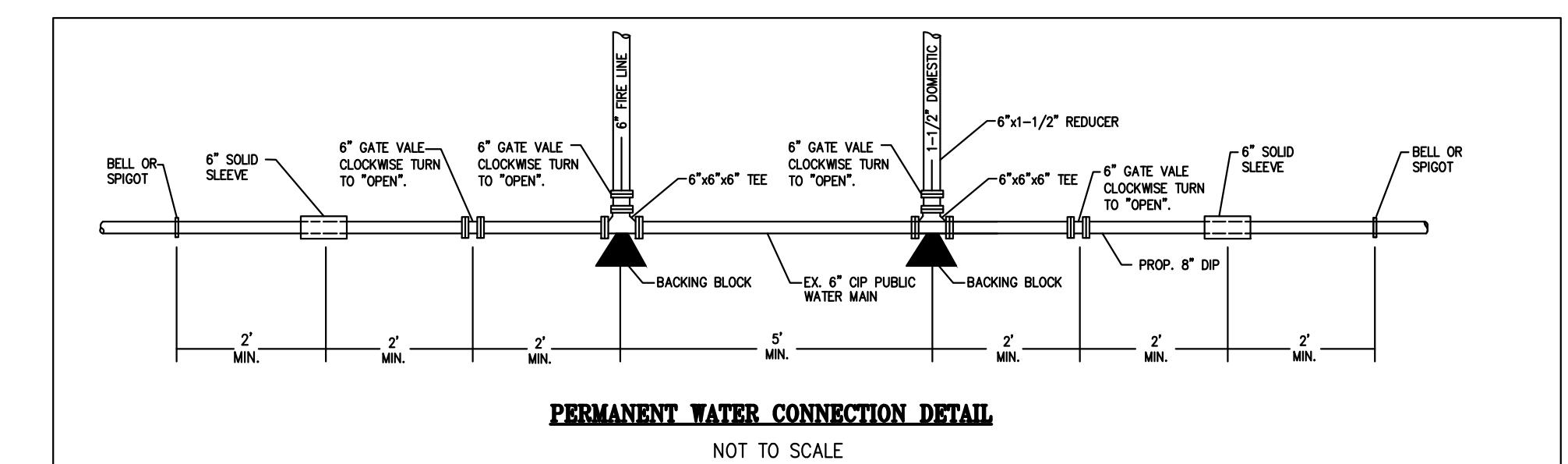
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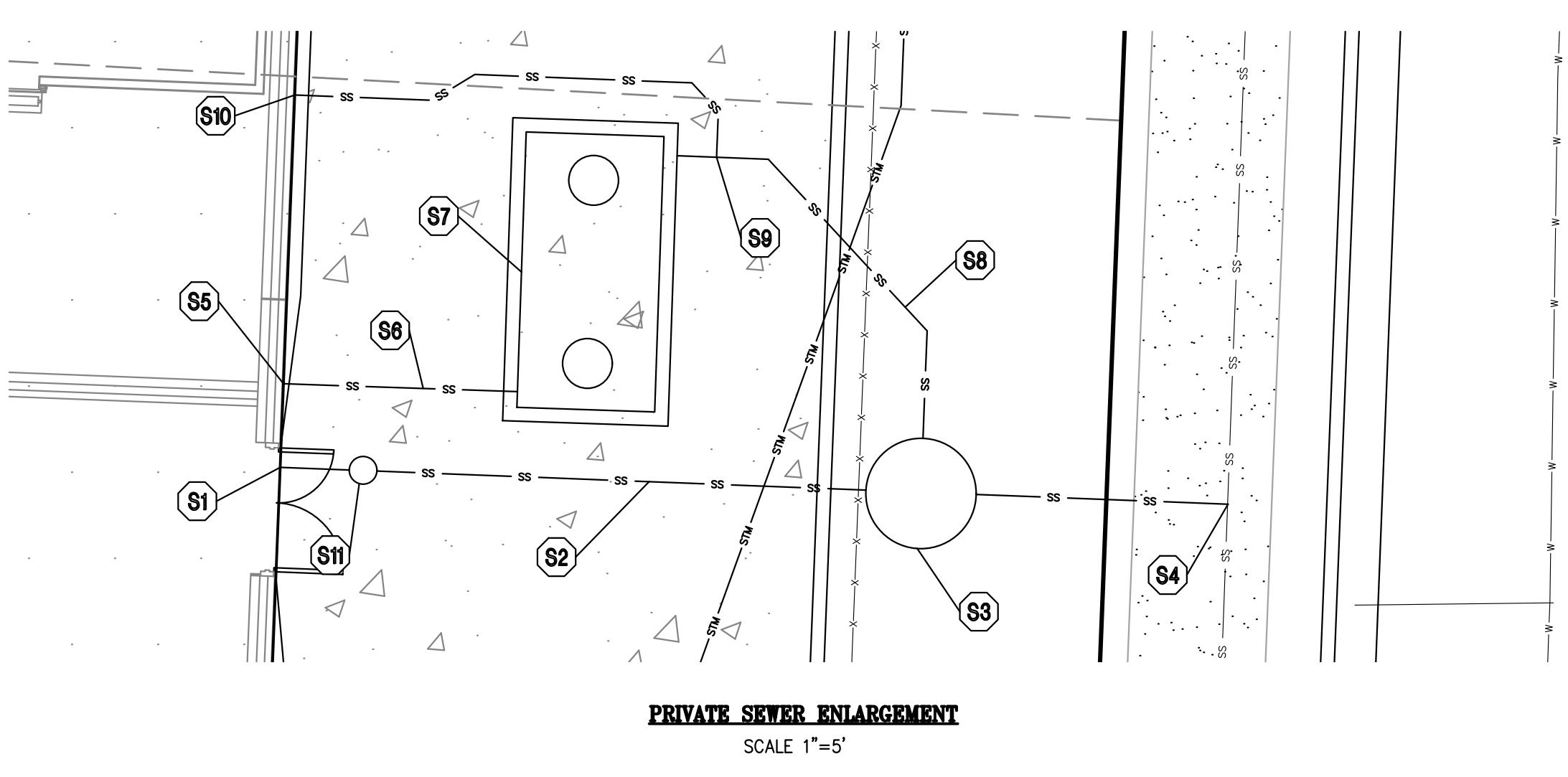
UTILITY KEY NOTES:

- (D1) TYPICAL STORM WATER DRAIN LINE FROM ROOF OR FOUNDATION DRAIN. SEE ARCH. PLANS FOR BUILDING CONNECTION LOCATIONS. ROOF DRAIN LINES SHALL BE PVC SDR 35 OR HDPE (S.T.), MINIMUM SLOPE SHALL BE 0.50%.
- (W4) CONTRACTOR TO COORDINATE CONNECTION TO EXISTING 6" PUBLIC WATER MAIN FOR NEW 6" PVC (SDR-30) PRIVATE FIRE LINE WITH KCMO WSD. CONTRACTOR TO COORDINATE WITH KCMO WSD FOR PRIVATE FIRE LINE CONNECTION. SEE CONNECTION DETAIL THIS SHEET.
- (D2) INSTALL PRIVATE STORM SEWER (SEE PLAN/PROFILE SHEETS).
- (D3) INSTALL 12" LANDSCAPE PLAN W/ STANDARD GRATE.
- (D4) INSTALL 18" NYOPLAST INLINE DRAIN W/ STANDARD GRATE.
- (D5) INSTALL STORMTRECH MC-3500 UNDERGROUND INFILTRATION TRENCH (SEE PLAN/PROFILE SHEETS).
- (E1) ELECTRIC ENTRY INTO BUILDING. FOLLOW ENERGY REQUIREMENTS (RE: BUILDING ELECTRIC PLAN).
- (E2) INSTALL CONCRETE TRANSFORMER PAD. CONTRACTOR TO VERIFY EXACT LOCATION & SIZE WITH ENERGY PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PAD AND CONDUIT AS REQUIRED BY THE ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE SAW WORK WITH THE ELECTRIC COMPANY.
- (E3) INSTALL PRIMARY ELECTRICAL CONDUIT. FOLLOW ENERGY WORKORDERS AND SPECIFICATIONS FOR PRIMARY ELECTRICAL SERVICE.
- (G1) GAS ENTRY WITH GAS METER. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR INSTALLATION OF GAS METER. GAS MAIN SHALL BE AS DETERMINED BY UTILITY OR AS SHOWN ON BUILDING PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GAS COMPANY REGARDING THE SIZE AND INSTALLATION OF GAS SERVICE LINE.
- (G2) CONNECT GAS SERVICE LINE TO GENERATOR.
- (T1) CONTRACTOR TO COORDINATE CONNECTION TO EXISTING 6" PUBLIC WATER MAIN FOR NEW 1-1/2" TYPE K SOFT COPPER DOMESTIC WATER LINE WITH KCMO WSD. CONTRACTOR TO FOLLOW ALL KANSAS CITY WATER SERVICES DEPT. REQUIREMENTS. SEE CONNECTION DETAIL THIS SHEET.
- (W1) CONTRACTOR TO PROVIDE AND INSTALL 1-1/2" WATER METER PIT PER KANSAS CITY MUNICIPAL REQUIREMENTS. CONTRACTOR TO COORDINATE AND PAY ALL FEES FOR THE INSTALLATION OF THE WATER METER. CONTRACTOR IS RESPONSIBLE FOR THE PLUMBER IN ACCORDANCE WITH KANSAS CITY WATER SERVICES DEPT. REQUIREMENTS. SEE NOTES 13, 14, AND 15, SHEET C001, FOR MATERIAL AND COVER REQUIREMENTS.
- (W2) 1-1/2" DOMESTIC WATERLINE ENTRY TO BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES, GATE VALVES, REDUCERS, BENDS, TEES, FLOOR DRAINS, ETC (RE: BUILDING PLANS), WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH KCMO WSD.
- (W3) CONTRACTOR TO COORDINATE CONNECTION TO EXISTING 6" PUBLIC WATER MAIN FOR NEW 1-1/2" TYPE K SOFT COPPER DOMESTIC WATER LINE WITH KCMO WSD. CONTRACTOR TO FOLLOW ALL KANSAS CITY WATER SERVICES DEPT. REQUIREMENTS. SEE CONNECTION DETAIL THIS SHEET.
- (W4) CONNECT TO EXISTING 6" PVC PUBLIC SANITARY SEWER MAIN W/ TEE CONNECTION. EX. 6" FL = XXXXX-X-6" PROP. 6" FL = XXXXX-X-6"
- (W5) CONNECT TO BUILDING INTERIOR GREASE EXIT PLUMBING. (RE: MEP PLANS). FL = XXXXX-X-6" PROP. 6" FL = XXXXX-X-6"
- (W6) INSTALL X LF. OF 4" PVC (SDR-26) SANITARY SEWER SERVICE LINE @ XXX% SLOPE.
- (W7) INSTALL 1500 GREESE INTERCEPTOR (SEE SHEET XXX FOR DETAIL) TE=XXXXXX FL 4" IN = XXXXX FL 4" OUT = XXXXX
- (W8) INSTALL X LF. OF 4" PVC (SDR-26) SANITARY SEWER SERVICE LINE @ XXX% SLOPE.
- (W9) INSTALL 4"X4"X2" TEE WITH 2" PIPE TO BUILDING VENT.
- (W10) CONNECT 2" VENT TO BUILDING INTERIOR PLUMBING. (RE: MEP PLANS).
- (W11) INSTALL 6" SANITARY SEWER CLEANOUT IN PAVED AREA.



PERMANENT WATER CONNECTION DETAIL

NOT TO SCALE

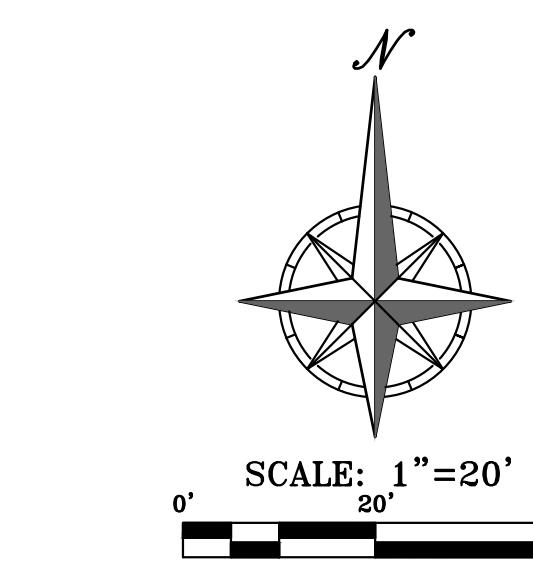


Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

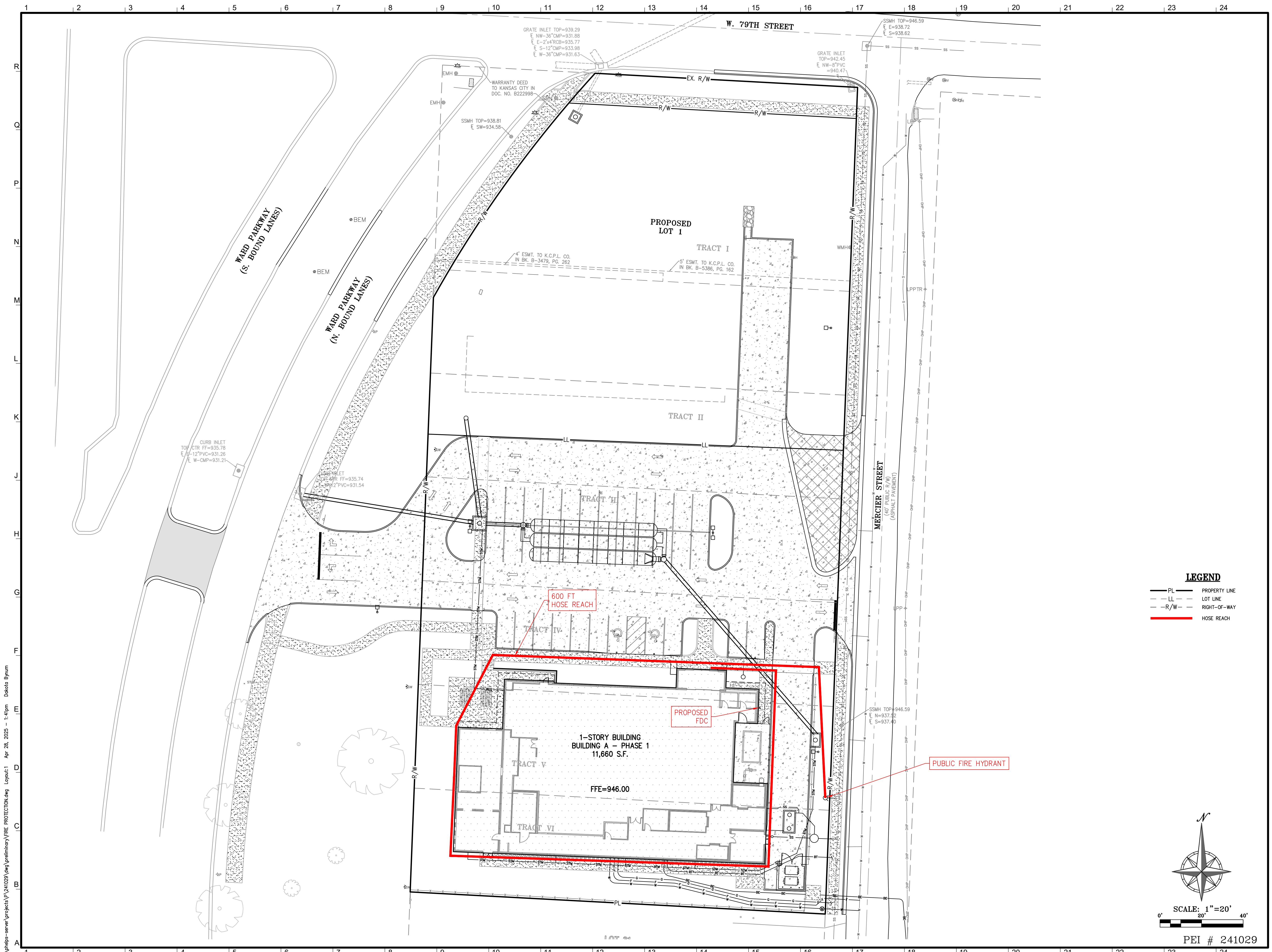
LEGEND

- PL PROPERTY LINE
- LL LOT LINE
- R/W RIGHT-OF-WAY
- CAV EXISTING CABLE TELEVISION LINE
- FO EXISTING FIBER OPTIC LINE
- G EXISTING GAS LINE
- BE EXISTING BURIED ELECTRIC LINE
- OHP EXISTING OVERHEAD POWER LINE
- OHT EXISTING OVERHEAD TELEPHONE LINE
- SS EXISTING SANITARY SEWER LINE
- 24" HDPE EXISTING STORM SEWER LINE (& SIZE)
- BT EXISTING BURIED TELEPHONE LINE
- W-6" EXISTING WATER LINE (& SIZE)
- F-6" PROPOSED FIBER LINE (& SIZE)
- ST-6" PROPOSED ROOF DRAIN (& SIZE)



PEI # 241029

C300



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ureway Meat Market

1307 W 79th Street
Kansas City, MO 64114

Fareway Stores, Inc
2300 Industrial Park Road
Boone, IA 50036
515.432.2623

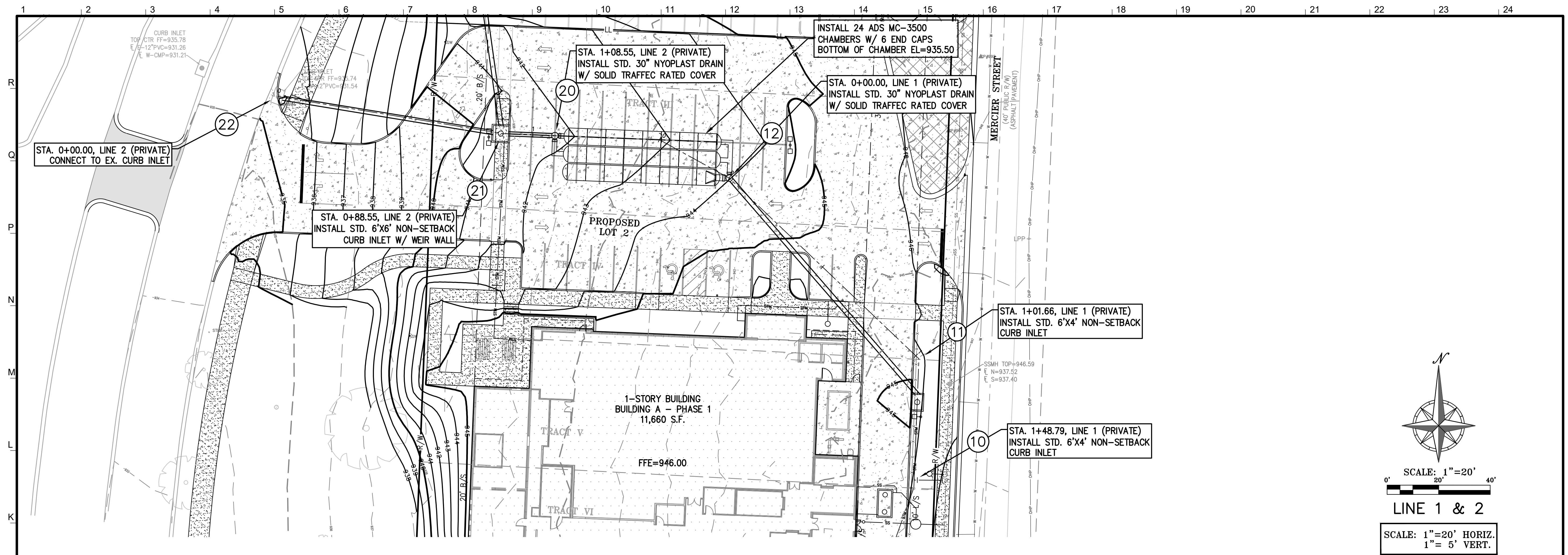
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6.301

Volume 2024, 254



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PE
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PROJECT NO. 210632

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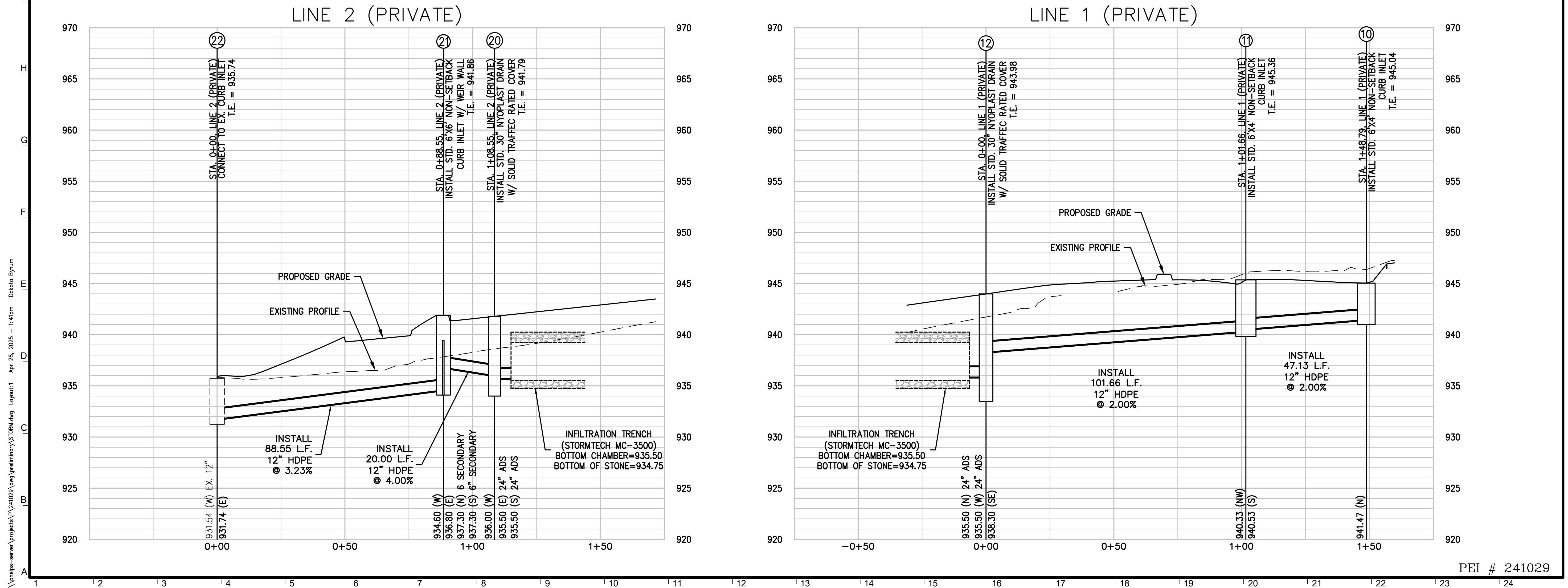
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KCMO Final Plan Submittal 14 Mar 2025
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95% Construction Documents 28 April 2025

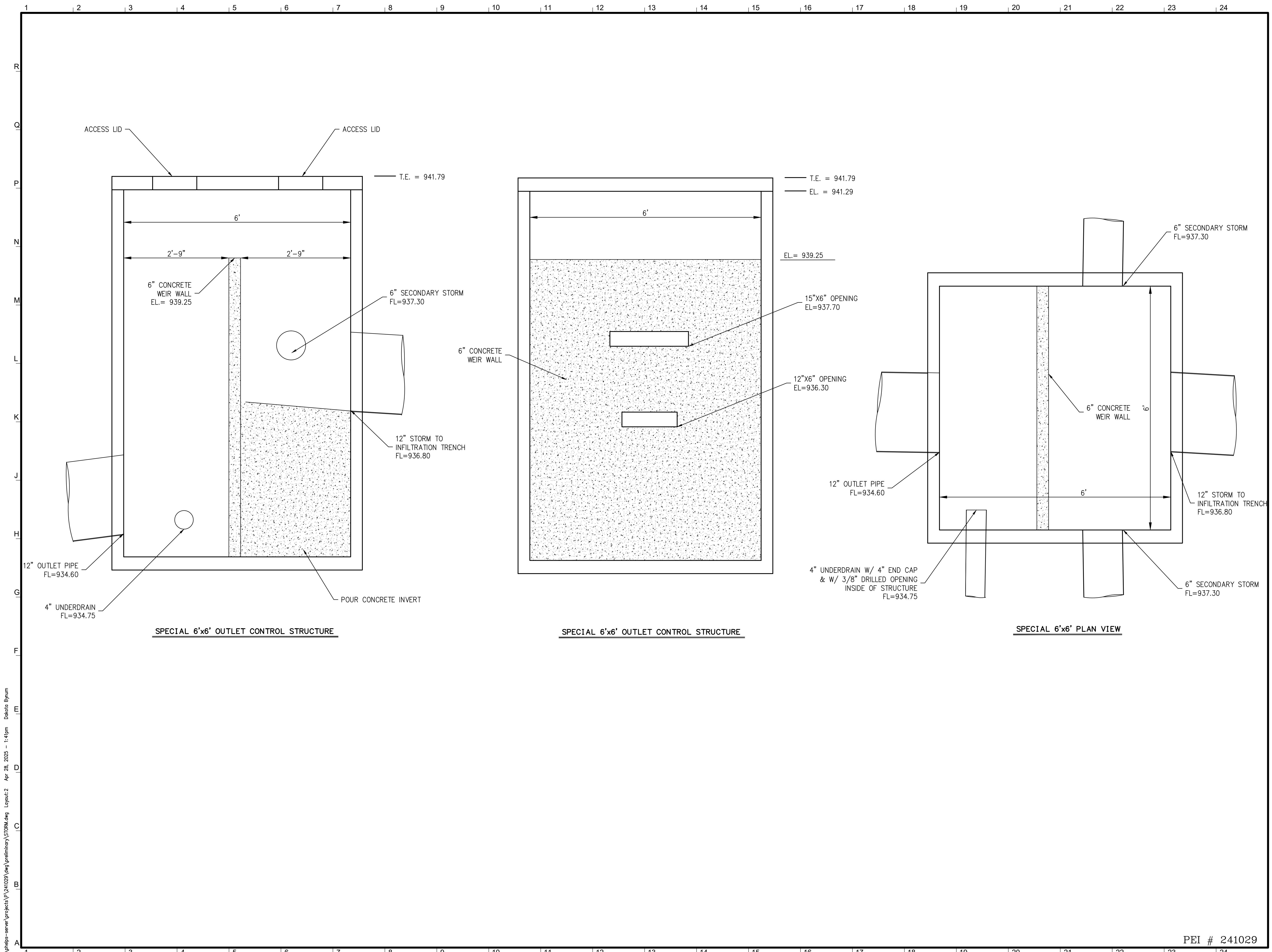
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STORM

C400





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Freeway Meat Market

307 W 79th Street
Kansas City, MO 64114

areway Stores, Inc
300 Industrial Park Road
Boone, IA 50036
515 432 2623

ISSUED FOR:

Certificate of Authority: #ABC000344

STORM

C401

Fareway Meat Market

1307 W 79th Street
Kansas City, MO 64114

Fareway Stores, Inc.
2300 Industrial Park Road
Boone, IA 50036
515.432.2623



SCALES: 1"=30'
0' 30' 60'

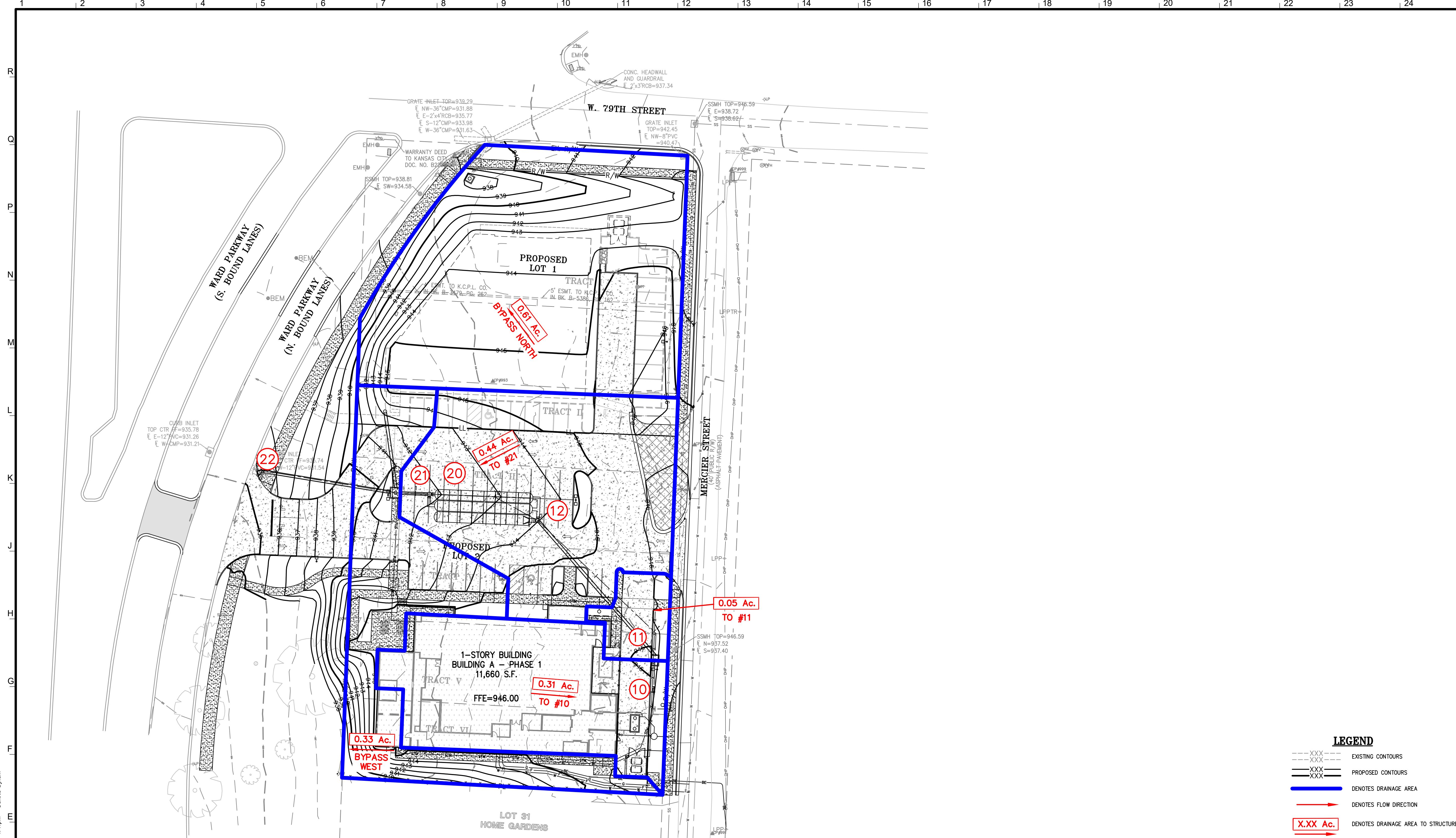
PEI # 241029

Drawn By
Checked By

TA
AM

DRAINAGE MAP

C500



Dowel size*

Slab depth, in. (mm)	Dowel diameter, in. (mm)	Dowel embedment, in. (mm) ²	Total dowel length, in. (mm) ²
5 (125)	5/8 (16)	5 (125)	12 (300)
6 (150)	3/4 (19)	6 (150)	14 (360)
7 (180)	7/8 (22)	6 (150)	14 (360)
8 (200)	1 (25)	6 (150)	14 (360)
9 (230)	1-1/8 (29)	7 (180)	16 (400)

¹All dowels spaced at 12 in. (300 mm) centers.
²On each side of joint.
³Allowance made for joint openings and for minor errors in positioning dowels.

Tie bar dimensions

Slab depth, in. (mm)	Tie bar size, in. (mm)	Tiebar spacing		
		10 ft. in. (mm)	12 ft. in. (mm)	14 ft., in. (mm)
5 (125)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	28 (710)
6 (150)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	25 (630)
6-1/2 (165)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	21 (530)
7 (180)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	20 (510)
7-1/2 (190)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	18 (460)
8 (200)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	17 (430)
8-1/2 (215)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	16 (410)
9 (230)	1/2 x 30 (13 x 760)	36 (910)	36 (910)	—
				24 (610)

¹All dowels spaced at 12 in. (300 mm) centers.
²On each side of joint.
³Allowance made for joint openings and for minor errors in positioning dowels.

GENERAL PAVING NOTES:

- PRIOR TO PLACEMENT OF GRANULAR BASE OR ASPHALT, PROOF ROLL AND RE-COMPACT THE EXPOSED SURFACES UP TO A MINIMUM LATERAL DISTANCE OF TWO (2) FEET OUTSIDE THE PAVEMENT. ANY LOCALIZED SOFT, WET, OR LOOSE AREAS IDENTIFIED DURING THE PROOF ROLLING SHOULD BE REPAIRED PRIOR TO PAVING. FILL MATERIAL SHOULD BE PLACED IN LOOSE LIFTS UP TO A MAXIMUM OF EIGHT (8) INCHES IN THICKNESS. THE FILL MATERIAL SHOULD HAVE A MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698 AT MOISTURE CONTENTS WITHIN 2% AND +/- 4% OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF GREATER THAN 40, AND +/- 3% OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF LESS THAN 40. MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT SHOULD BE DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D 698).
- PROFROLL WITH A 25 TON RUBBER TIRE VEHICLE AND REPAIR SUBGRADE DEFICIENCIES. IF ANY SIGNIFICANT EVENT, SUCH AS PRECIPITATION, OCCURS AFTER PROFROLLING, THE SUBGRADE SHOULD BE REVIEWED BY QUALIFIED PERSONNEL IMMEDIATELY PRIOR TO PLACING THE PAVEMENT.
- CRUSHED STONE BASE COURSE USED BEHIND CONCRETE PAVING SHALL BE COMPACTED AB-3 OR EQUIVALENT.
- ALL SITE CONCRETE (CURBS, PAVEMENTS, SIDEWALKS, ETC.) SHALL MEET KANSAS CITY MATERIALS METRO BOARD (KCMMB) MIX DESIGN SPECIFICATIONS FOR 4,000 P.S.I. AIR ENTRAINED CONCRETE.
- IN NEW PAVEMENT AREAS, CONTRACTOR SHALL OVER EXCAVATE AS REQUIRED TO ESTABLISH NEW COMPACTED SUBGRADE ELEVATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PAVEMENT AND SUBGRADE MATERIALS TESTING.
- FIBER REINFORCEMENT:

 - FIBER REINFORCEMENT SHALL BE USED IN ALL CONCRETE CURB AND CONCRETE FLATWORK (SIDEWALKS, PAVEMENTS, ETC).
 - ALL FIBERS SHALL BE AALKALI-RESISTANT, NATURAL CELLULOSE FIBERS AS MANUFACTURED BY SOLOMON ULTRAFIBER 500, OR POLY PROPYLENE FIBRILLATED FIBERS AS MANUFACTURED BY SIKA FIBERMESH-300, OR AN APPROVED EQUAL IN ADVANCE BY THE ENGINEER. DELIVERY, STORAGE AND HANDLING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - COMPLY WITH ASTM C-1116 AND ASTM C-1018, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. FIBERS SHALL BE USED AT A RATE OF 2-2.5 LBS. PER CUBIC YARD OF CONCRETE.
 - FIBERS SHALL NOT BE USED AS A SUBSTITUTE FOR PRIMARY STRUCTURAL STEEL.
 - ADD REINFORCING FIBERS INTO CONCRETE MIXTURE DIRECTLY INTO CONCRETE MIXER AT THE BEGINNING OF BATCH CYCLE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND ASTM C94.
 - ALLOW A MINIMUM OF 5 MINUTES AT MIXING SPEED IN CONCRETE MIXER FOR FULL REINFORCING FIBER DISPERSION.

PCC JOINT DETAIL BLOW-UP (TYP.)

CONSTRUCTION JOINT

CONCRETE JOINT DETAILS

SCALE: N.T.S.

TURN DOWN SIDEWALK DETAIL

SCALE: N.T.S.

ISOLATION JOINT DETAILS

SCALE: N.T.S.

CONCRETE SIDEWALK JOINT DETAILS

SCALE: N.T.S.

CONCRETE JOINT DETAILS

SCALE: N.T.S.

CONCRETE PAVING

SCALE: N.T.S.

PAVING SECTIONS

SCALE: N.T.S.

TURN DOWN SIDEWALK DETAIL

SCALE: N.T.S.

SECTION A-A

SECTION B-B

NOTES:

- USE KANSAS CITY MATERIALS METRO BOARD (KCMMB) MIX DESIGN SPECIFICATIONS FOR 4,000 P.S.I. AIR ENTRAINED CONCRETE FOR ALL PRIVATE SIDEWALKS.

PRIVATE CONCRETE SIDEWALKS (NON REINFORCED)

SCALE: N.T.S.

SECTION A-A

SECTION B-B

NOTES:

- USE KANSAS CITY MATERIALS METRO BOARD (KCMMB) MIX DESIGN SPECIFICATIONS FOR 4,000 P.S.I. AIR ENTRAINED CONCRETE FOR ALL PRIVATE SIDEWALKS.

ISSUED FOR:

KCMO Final Plan Submittal | 14 Mar 2025
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 95% Construction Documents | 28 April 2025

Missouri Certificate of Authority #ARC000344

DETAILS - PRIVATE

C600

PEI # 241029

Fareway Meat Market

1307 W 79th Street
 Kansas City, MO 64114

Fareway Stores, Inc
 2300 Industrial Park Road
 Boone, IA 50036
 515.432.2623

ISSUED FOR:

KCMO Final Plan Submittal | 14 Mar 2025
 KCMO Final Plan Resubmittal | 21 April 2025
 95% Construction Documents | 28 April 2025

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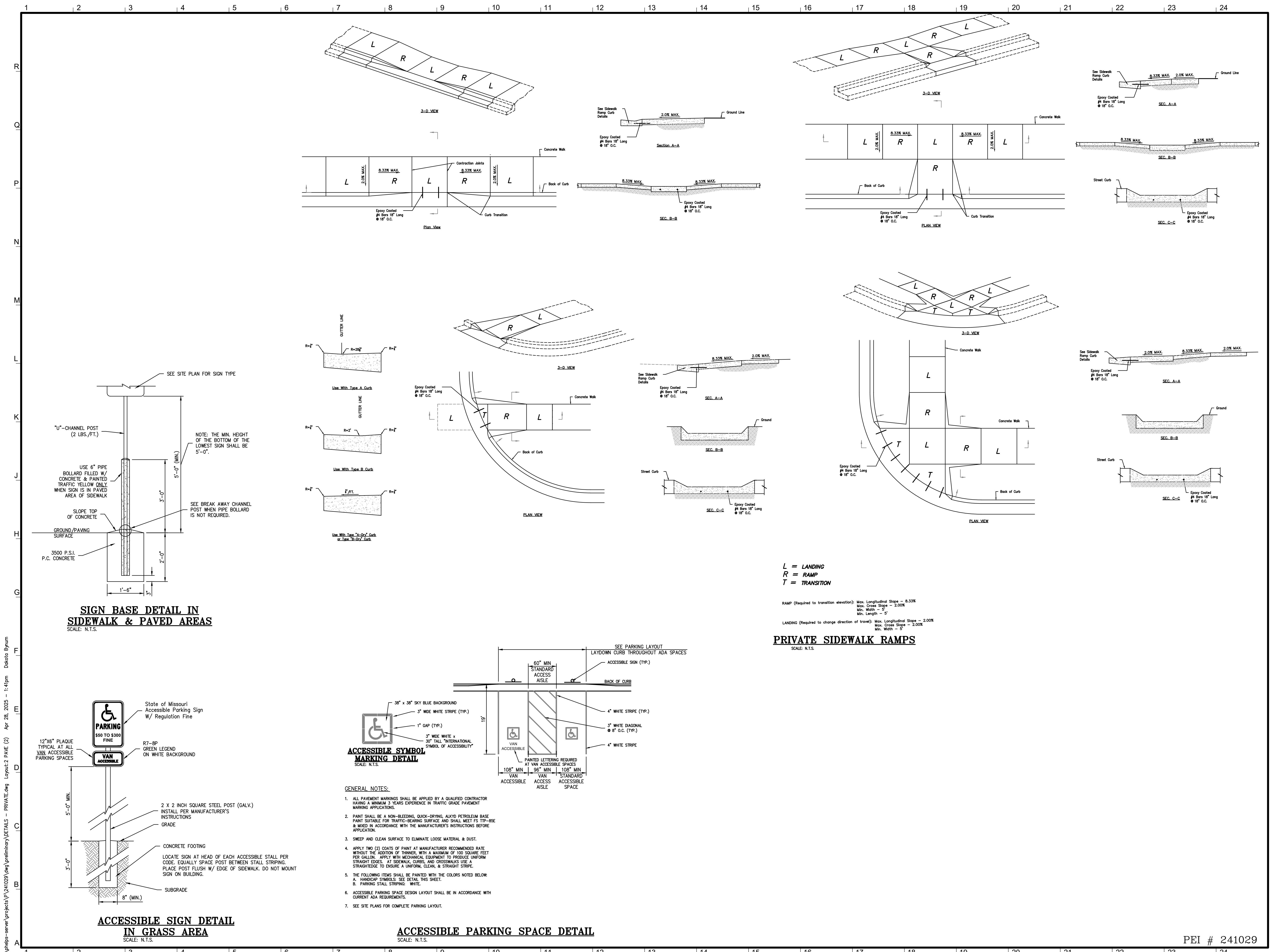
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C600



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Freeway Meat Market

307 W 79th Street
Kansas City, MO 64114

areway Stores, Inc

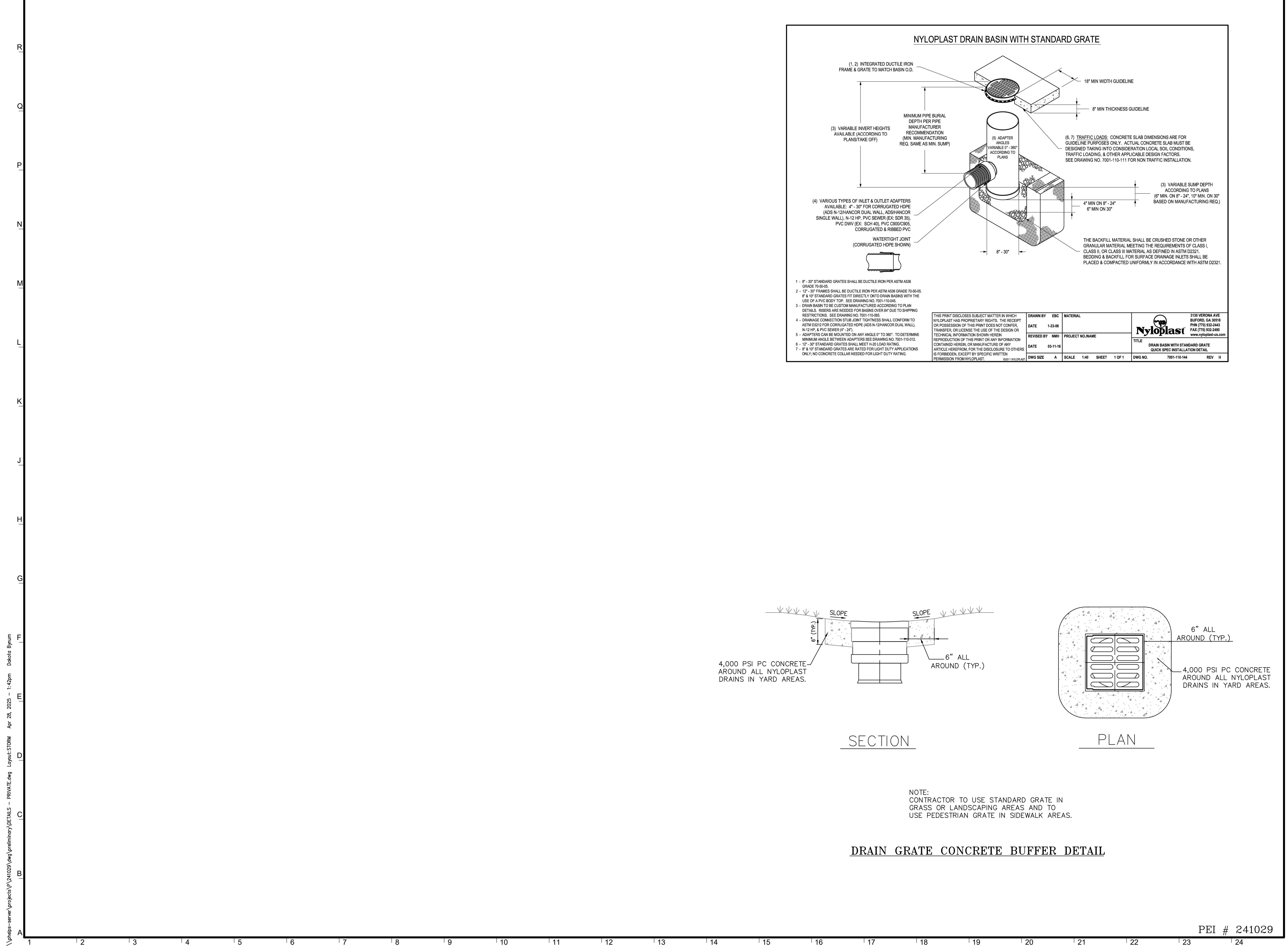
300 Industrial Park Road
Boone, IA 50036

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Plan Submittal	14 Mar 2025
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Action Documents	28 April 2025

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PLANNING
IMPLEMENTATION
PROJECT NO. 210632

Fareway Meat Market

1307 W 79th Street
Kansas City, MO 64114

Fareway Stores, Inc.
2300 Industrial Park Road
Boone, IA 50036
515.432.2623

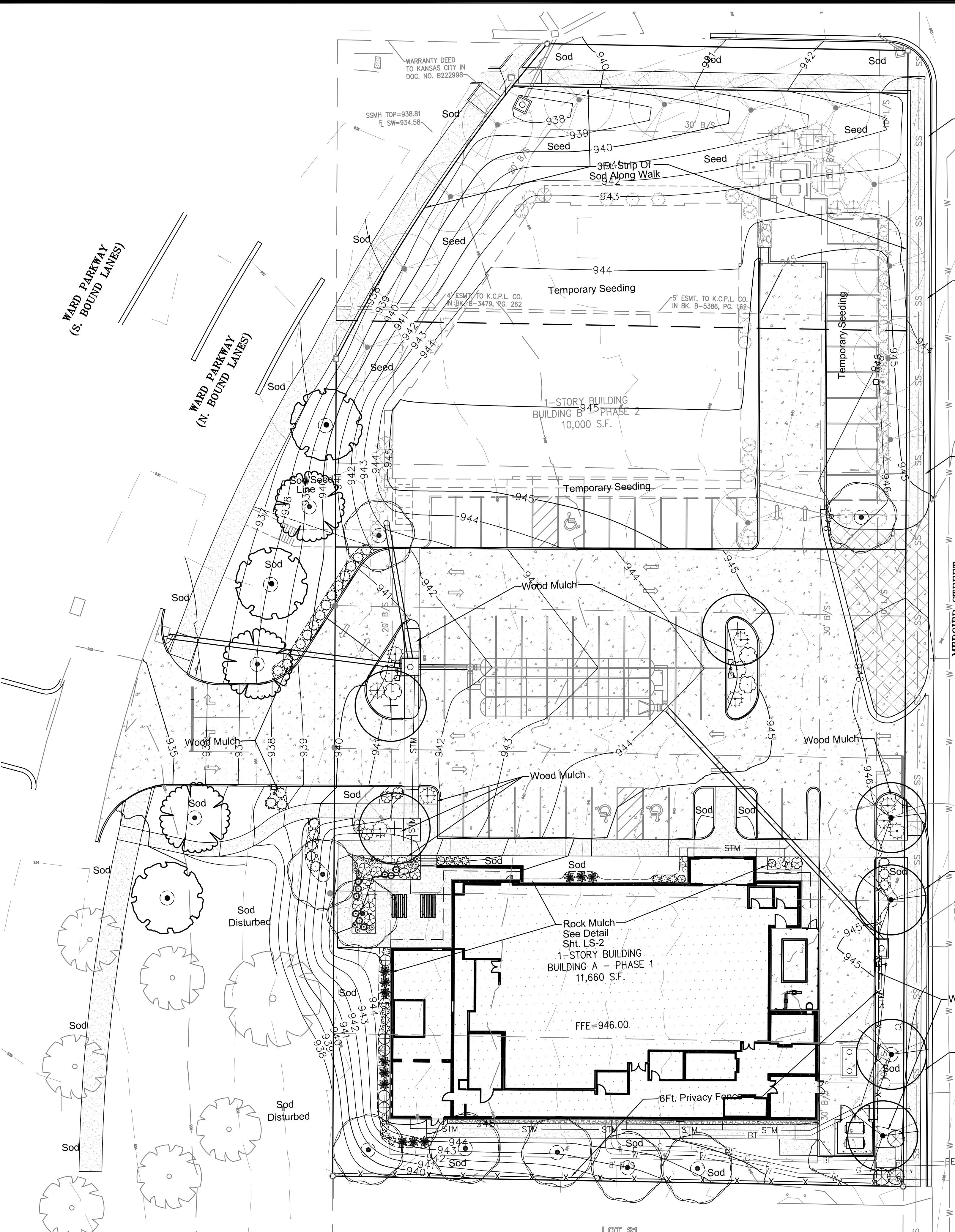
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KCMO Final Plan Submittal 14 Mar 2025
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95% Construction Documents 28 April 2025

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Checked By _____ TA
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DETAILS - PRIVATE

C605



Utility Note:

Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Missouri call 1-800-DIG-RITE (344-7483) to have utilities located.

PLANT_SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL
TREES				
	3	Acer rubrum 'Red Pointe' / Red Pointe Red Maple	B & B	2"Cal
	3	Gleditsia triacanthos 'Skyline' / 'Skyline' Honey Locust	B & B	2"Cal
	9	Gymnocladus dioicus 'Epresso' / Kentucky Coffee Tree Seedless/Male Only	B & B	2"Cal
	3	Nyssa sylvatica / Black Gum	B & B	2"Cal
	4	Quercus bicolor / Swamp White Oak	B & B	2"Cal
SHRUBS				
	25	Ilex glabra 'Shamrock' / Inkberry 36" hgt. & sp.	5 gal	
	3	Juniperus chinensis 'Sea Green' / Sea Green Juniper 24"-30" hgt. & sp.	5 gal	
	11	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper 24" sp.	3 gal	
	3	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar B&B	6ft.	
	5	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 18"-24" sp.	3 gal	
	14	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spirea 18"-24" hgt.	3 gal	
	6	Spiraea x bumalda 'Gold Flame' / Gold Flame Spirea 18"-24" hgt.	3 gal	
GRASSES				
	6	Calamagrostis acutiflora 'Karl Foerster' / Feather Reed Grass 24" hgt.	3 gal	
	12	Miscanthus sinensis 'Gracillimus' / Maiden Grass 24"-30" hgt.	3 gal	
	15	Miscanthus sinensis 'Morning Light' / Eulalia Grass 24"-30" hgt.	3 gal	
	9	Panicum virgatum 'Shenandoah' / Burgundy Switch Grass 15"-18" hgt.	1 gal	
	17	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass 1 gal 15"-18" hgt. & sp.	1 gal	

EXISTING TREES TO BE SAVED

	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	24"-30" hgt. & sp.	5'o.c.
	Heavy Metal Switch Grass	Panicum Virgatum 'Heavy Metal'	3 gal.	4'o.c.
	Free Standing Transformer	Against Wall		
	Against Wall	Free Standing Small Box		
	Small Box	Clustered Boxes		

Typical Utility Box Screening Details

No Scale Note: Quantities Not Included In Plant List
UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE
* In case of transformer tall than 3 ft. replace Seagreens with 6 ft. Keteleeri Junipers

Table 3. Landscape Requirements
This table shall appear on all landscape plans. Note that the column labeled "Alternative Requested" shall only be used when you cannot meet the landscape requirement and, if used, must be accompanied by Table 3a.

88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	10.6	11		
88-425-04 General	2.28	9		
88-425-05 Perimeter Vehicular Use Area				
Adjacent to Streets				
Buffer Width	10ft.	10ft.		
Trees	See Note			
Shrubs/Wall/Berm	Continuous			
Adjacent to Residential Zones				
Buffer Width	6ft. Fence	6ft. Fence		
Shrubs/Berm/Fence/Wall	10ft. Fence	10ft. Fence		
88-425-06 Interior Vehicular Use Area				
Interior Area	33 CAR SPACES	33		
Trees	6	6		
Shrubs	33	33		
88-425-07 Parking Garage Screening	Describe NA	Describe NA		
88-425-08 Mechanical/Utility Equipment Screening	Describe NA	Describe NA		
88-425-09 Outdoor Use Screening	Describe NA	Describe NA		

Table 3a. Alternative Compliance to Landscape Standards
This table shall appear on all landscape plans in which alternative compliance is requested.

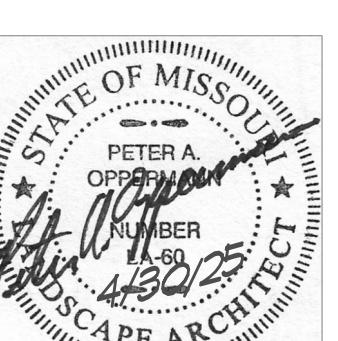
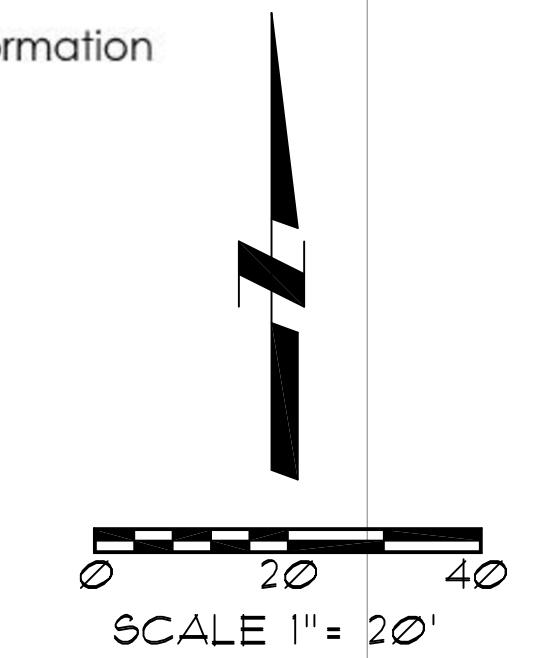
88-425 - LANDSCAPE REQUIREMENTS	Proposed Alternative	Approved
88-425-03 Street Trees	NA	NA
88-425-04 General	NA	NA
88-425-05 Perimeter Vehicular Use Area		
Adjacent to Streets		
Buffer Width		
Trees		
Shrubs/Wall/Berm		
Adjacent to Residential Zones		
Buffer Width		
Shrubs/Berm/Fence/Wall		
88-425-06 Interior Vehicular Use Area		
Interior Area		
Trees		
Shrubs		
88-425-07 Parking Garage Screening	NA	NA
88-425-08 Mechanical/Utility Equipment Screening	NA	NA
88-425-09 Outdoor Use Screening	NA	NA

Note:
Street trees satisfy requirement.

Table 3b. Landscape Schedule

This table shall appear on all landscape plans and be used to identify the graphic information displayed on the face of the plan.

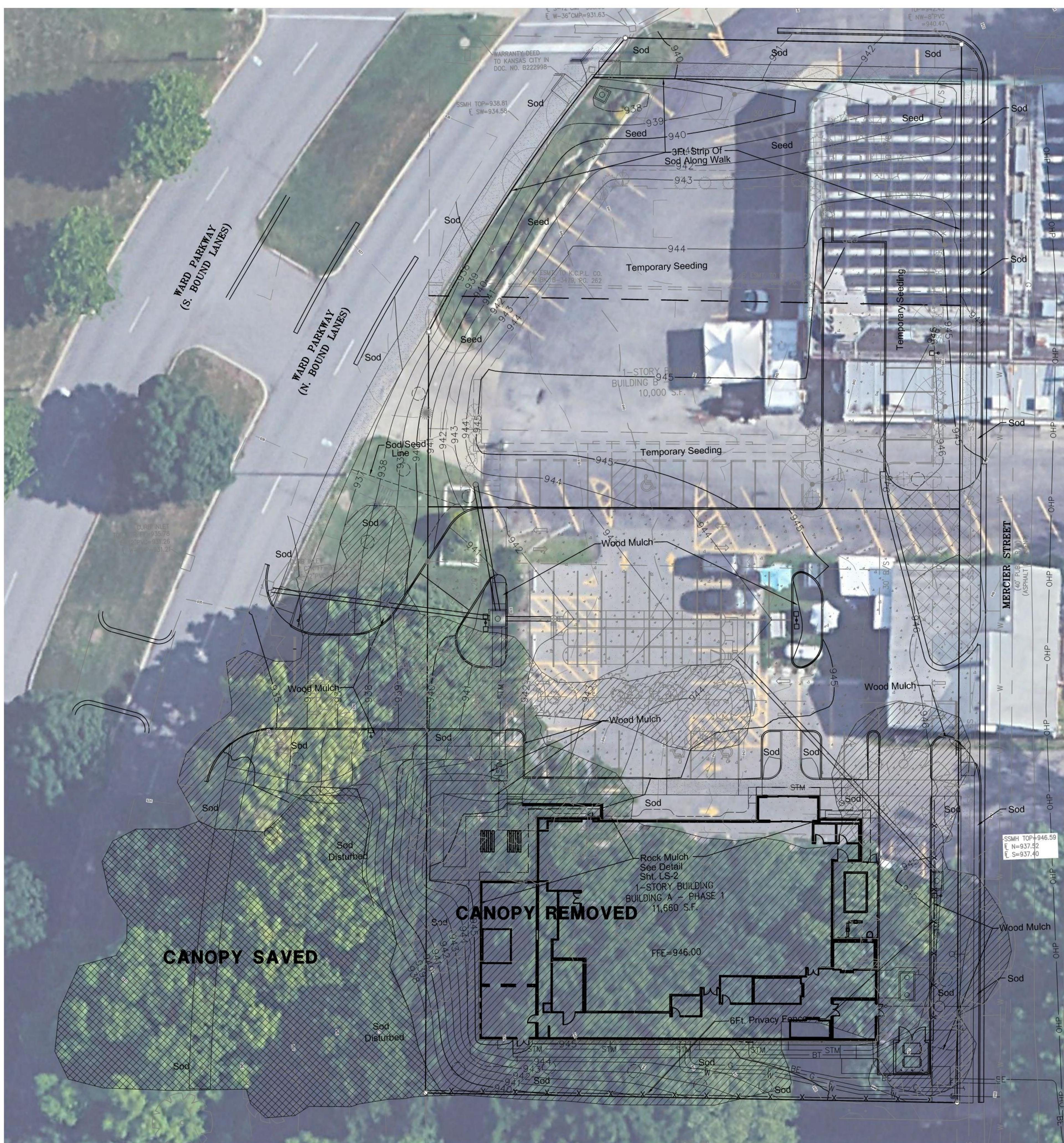
88-425 - LANDSCAPE SCHEDULE	SYMBOL	See plan and plant schedule
88-425-03 Street Trees		See plan and plant schedule
88-425-04 General		See plan and plant schedule
88-425-05 Perimeter Vehicular Use Area		
Adjacent to Streets		
Buffer Width		
Trees		
Shrubs/Wall/Berm		
Adjacent to Residential Zones		
Buffer Width		
Shrubs/Berm/Fence/Wall		
88-425-06 Interior Vehicular Use Area		
Interior Area		
Trees		
Shrubs		
88-425-07 Parking Garage Screening	Describe	NA
88-425-08 Mechanical/Utility Equipment Screening	Describe	NA
88-425-09 Outdoor Use Screening	Describe	NA



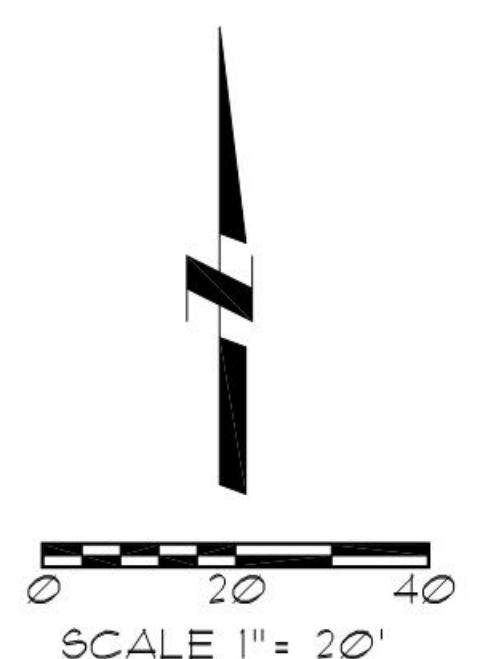
Landscape Plan
Fareway Meat
Market

West 79th Street and Ward Parkway
Kansas City, Missouri

LS-1



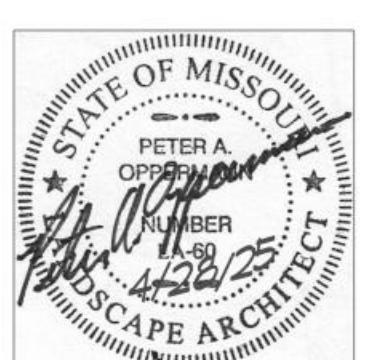
Tree Mitigation Calculations	
Total Area Of Trees To Be Removed	.821 Acres
Less area of contiguous canopy outside stream buffer to remain larger than 1 acre	.28 (0) Acres .821
Less undisturbed acres of stream buffer	0 .821
multiplied by	.35
multiplied by	.28
Less total caliper inches proposed in landscape plan	150
Caliper Inches needed for mitigation	43 44 -1



Tree Mitigation Plan Fareway Meat Market

West 79th Street and Ward Parkway
Kansas City, Missouri

LS-2



Oppermann LandDesign, LLC
Land Planning Landscape Architecture
95 Debra Lane New Windsor, New York 12553 peteoppermann56@gmail.com 913.529.5598

Dedicated Design Irrigation System:

- If an irrigation system is not provided with the Landscape Plans, the Contractor is to design a 100 percent coverage irrigation system, including comprehensive engineering analysis by a qualified Professional Engineer, using performance requirements and design criteria indicated per Owner's direction.
- Irrigation Contractor to design and install irrigation system and shall include all required components including, but not limited to, rain shut off sensor, controller, taps, backflow preventers, all approvals, and all fees required by city. Components to be manufactured by Rainbird or Hunter unless alternate manufacturer is expressly approved by the Owner or Owner's Representative.
- Irrigation Contractor shall submit a copy of plan to Owner's Representative or Project Landscape Architect for review prior to installation of system.
- Irrigation Contractor shall conduct a training session with the owner (or representatives) demonstrating the operation of the system and the controller. As part of this training, Contractor shall provide one spring start-up and one fall shut-down of the system.
- Landscape Contractor to provide cost estimates for irrigation system for all plant material indicated on plans.
- Irrigation system shall be tested and approved by Owner's Representative or Landscape Architect prior to backfilling trenches. Irrigation system shall be fully operational prior to the installation of any plant materials.
- All planting beds shall be watered by the irrigation system.
- General Contractor to supply all power required to operate irrigation system.
- Irrigation Contractor shall notify Owner's Representative or Project Landscape Architect of any changes to irrigation conduit locations or sizes.
- It is the Landscape Contractor's responsibility to determine water application rates and timer cycling. The Irrigation Contractor will instruct the Owner on the operation and programming of the controller.
- All zones and main lines will be pressure-tested at the time of installation and again prior to building turnover. Results shall be submitted in writing to Project Landscape Architect and Owner or Owner's Representative.
- Irrigation shall not spray on building, sidewalks, and drives.
- Irrigation controller location shall be coordinated with other wall-mounted service panels per Owner's approval.
- Landscape Contractor shall hand-water all trees, and turf grass areas until substantial completion.
- Treecator bags (or approved equal) shall be used for all proposed trees on site.

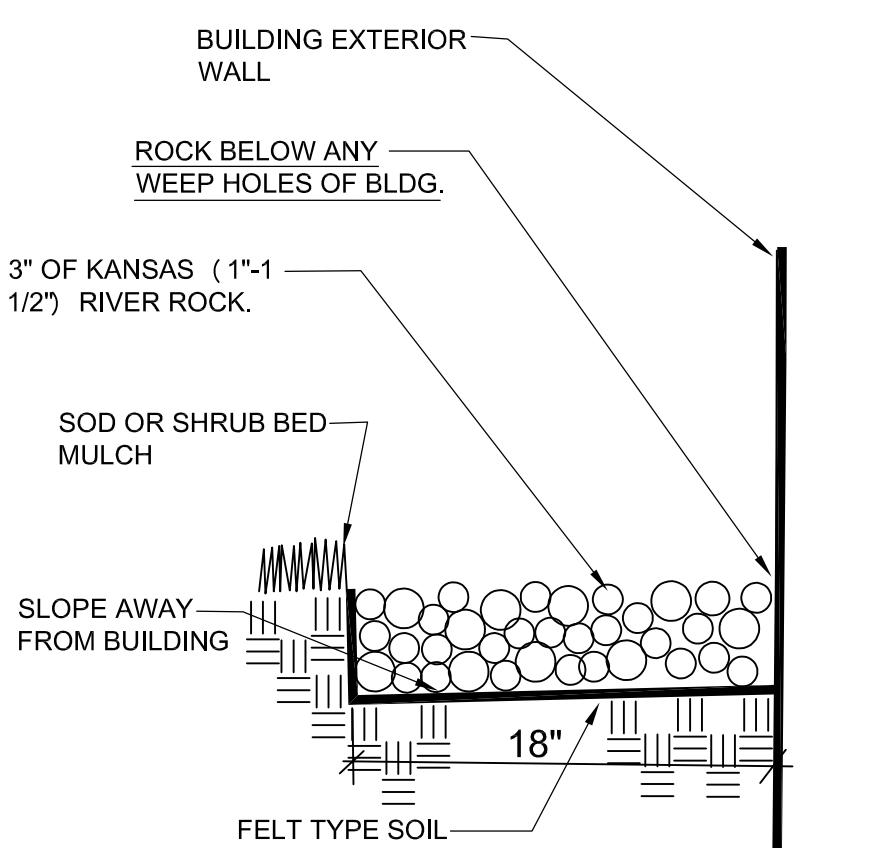
ADDITIONAL IRRIGATION NOTES:

All irrigation equipment shall be Rain Bird products or approved equal.

Drip Irrigation Note: Drip irrigation shall be 1/2" flex tubing with line emitters and check valves spaced 12" on center. For individual shrubs an 18" diameter circle shall be placed around each shrub. For trees in landscape beds two loops shall be around tree. One at 3' diameter and one at 5' diameter. Groundcover areas shall have lines placed 18" apart covering entire bed.

Quick Couple Locations: Quick couples shall be placed in the main line of the irrigation so they may be used when irrigation is not running.

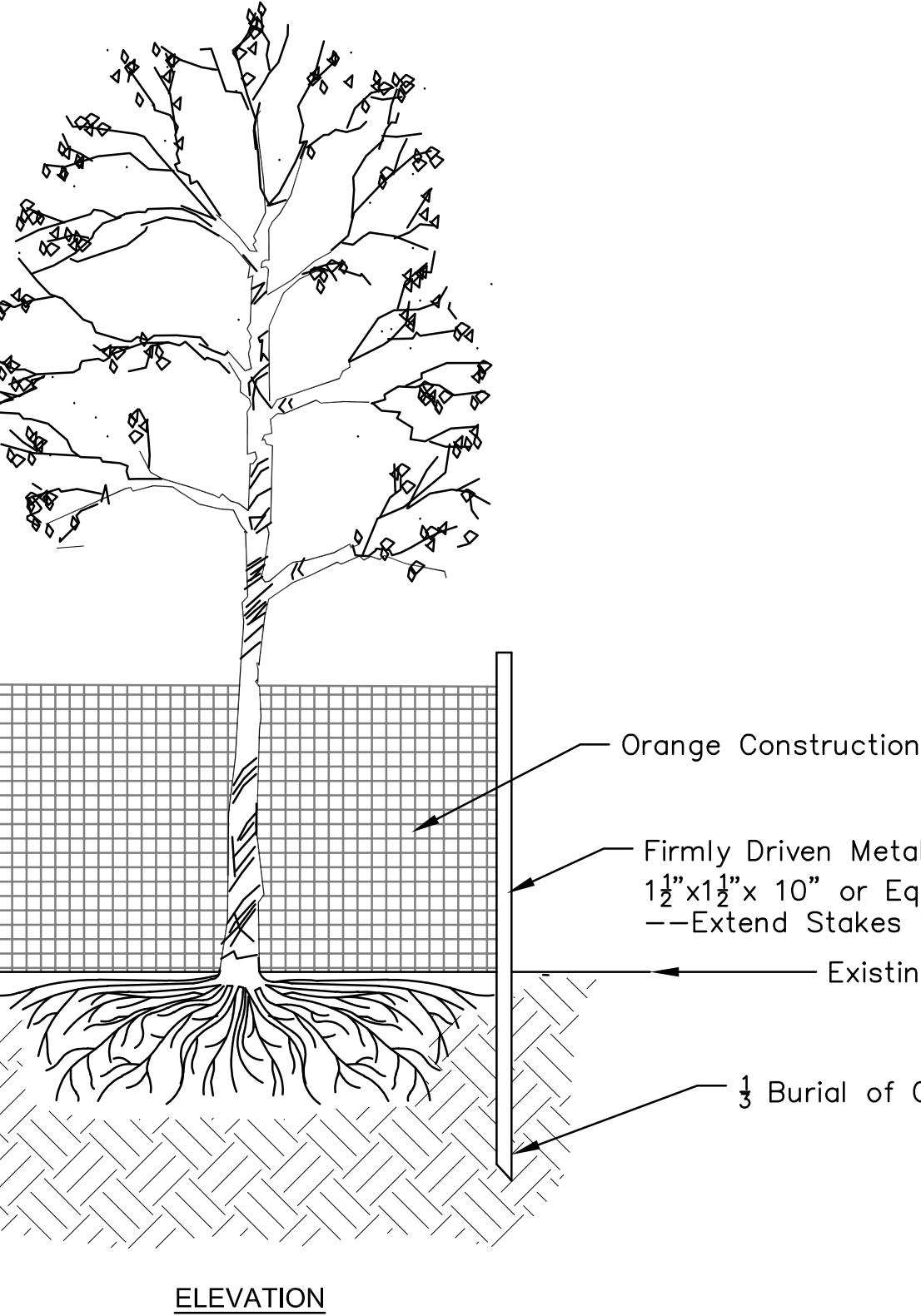
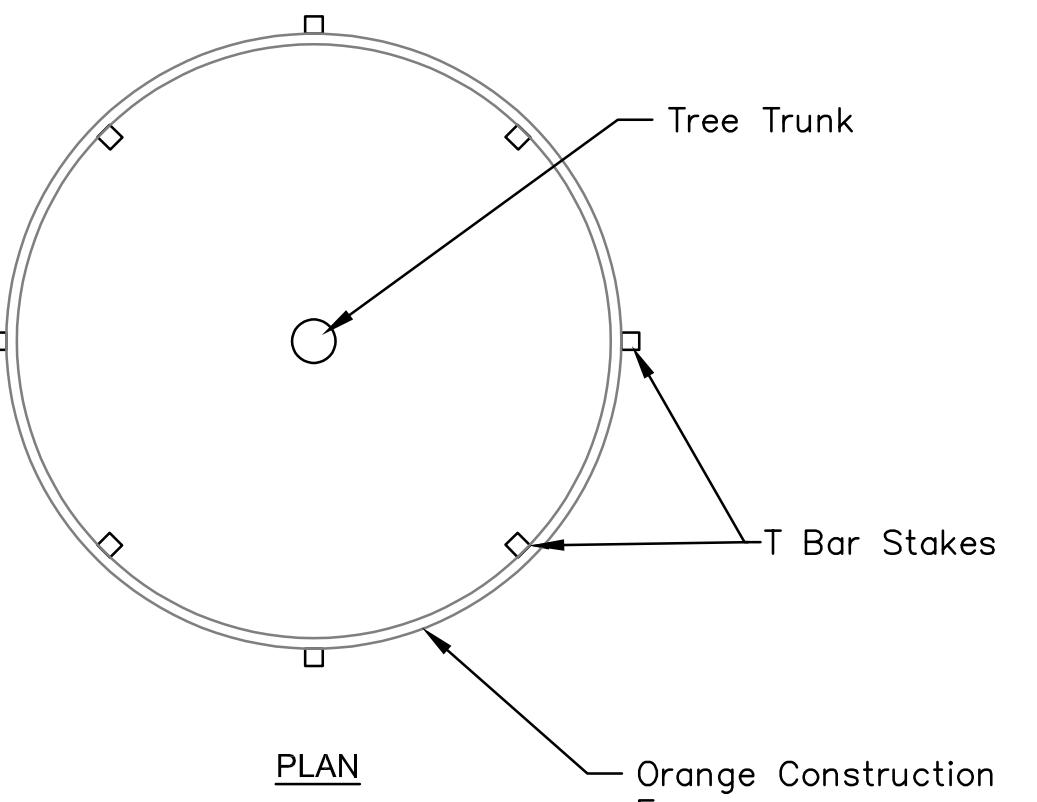
Irrigation controller shall be located as directed by Owner.



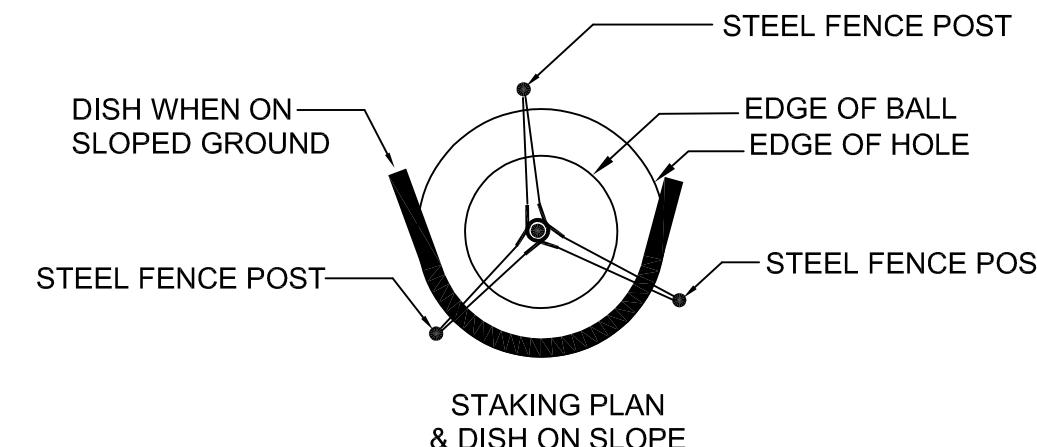
BUILDING ROCK EDGE

NO SCALE

*PLACE ROCK AROUND ENTIRE BLDG. PERIMETER WHEREVER THERE IS NOT CONCRETE OR ASPHALT



TREE PRESERVATION DETAIL



STAKING PLAN & DISH ON SLOPE

DIRECTION OF TREE STAKES:

ONE SOUTHEAST

ONE SOUTHWEST

ONE NORTH

PLASTIC SPIRAL TREE WRAP COIL FROM BASE TO LOWEST BRANCHES

WEBBED ARBOR TIE TAPE LOOP AROUND TREE TO BE 6"-8" LARGER THAN TRUNK DIAMETER

(3) 6' STEEL "T" POSTS

DIG SHALLOW, BROAD HOLE: 3 TIMES THE DIAMETER OF ROOT BALL AND ONLY AS DEEP AS ROOT BALL. BACKFILL WITH $\frac{1}{2}$ EXISTING SOIL AND $\frac{1}{2}$ TOPSOIL.

CUT AND REMOVE BURLAP (REMOVE METAL CAGE FROM SIDES AND TOP OF BALL)

6" BERM

TOP OF ROOTBALL AT 1" ABOVE SURROUNDING FINISHED GRADE

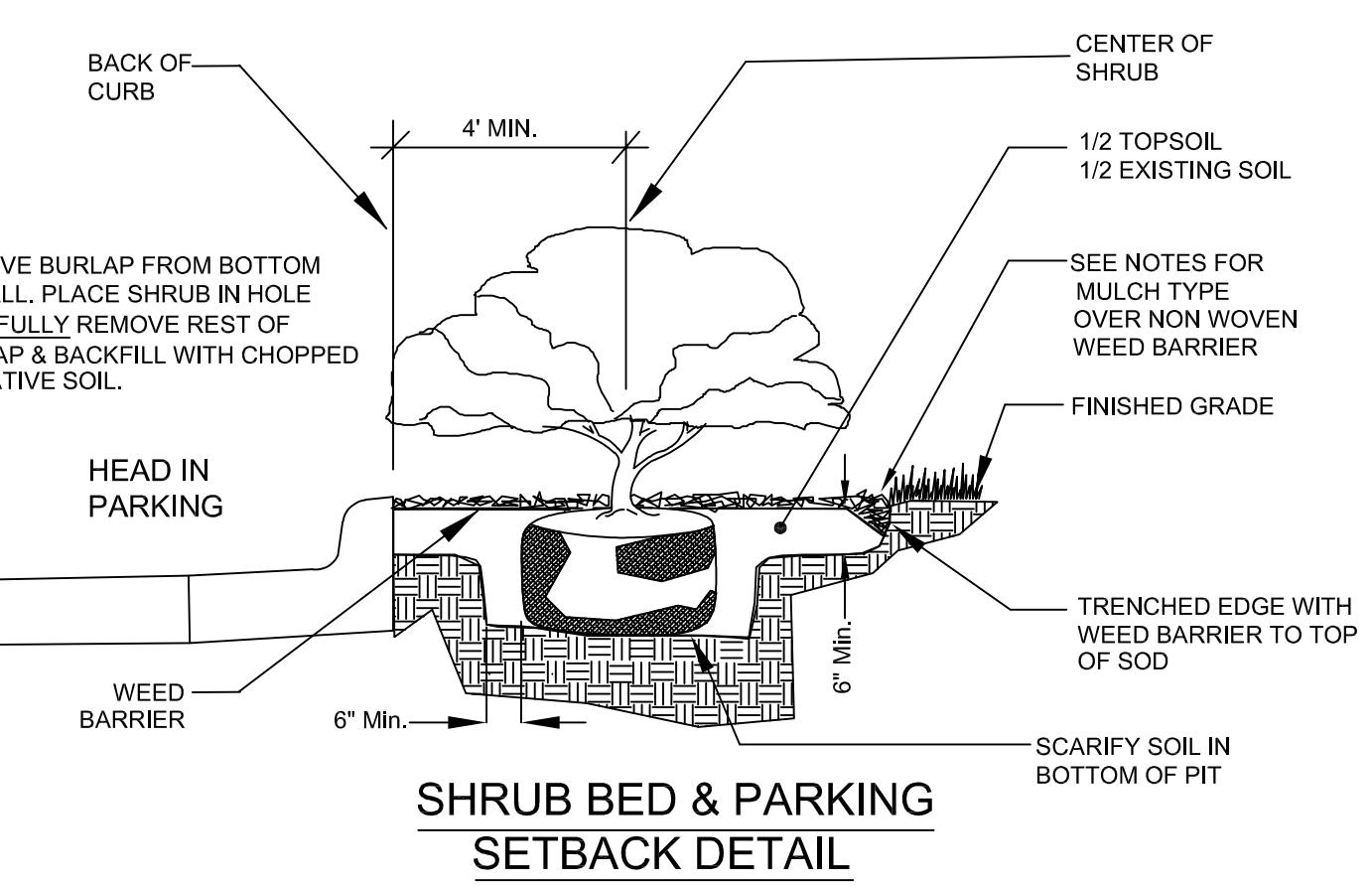
FILL HOLE GENTLY, BUT FIRMLY. ADD WATER TO SETTLE THE SOIL.

UNDISTURBED SOIL

FIRMLY COMPACT ANY NEW OR DISTURBED SOIL UNDER ROOT BALL TO PREVENT SETTLING

TREE PLANTING DETAIL

NO SCALE



SHRUB BED & PARKING SETBACK DETAIL

NO SCALE

Tree Protection Notes:

- Four foot plastic snow fencing shall be erected around trees to be saved @ limits of grading.
- Fence shall be erected before any site work takes place.
- Steel "T" posts shall be placed 10ft. o.c. w/ fence attached securely.
- Fencing shall remain in place during all demolition and new construction improvements & until the landscaping is complete.
- No construction activity shall take place on the tree side of the fence including the storage of any construction materials including temporary storage of excavated soil. When appropriate excavated soil from areas to be graded shall be temporarily stored in adjacent available areas. If no adjacent areas are available excavated material shall be hauled offsite.
- When trenching or other excavation takes place roots 1" in diameter & larger shall be root pruned with a saw, not a bulldozer blade.
- Cut roots shall be wrapped with wet burlap if exposed.
- Excavations with exposed roots shall be backfilled absolutely as soon as possible, after removing burlap from roots.
- Where construction traffic needs to occur over critical root zones 4'x8' sheets of 3/4" plywood covered w/ 9" of shredded wood pulp or mulch shall be placed over the root zone first.

GENERAL LANDSCAPE NOTES:

- CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
- CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL MAKE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL STAKE LAYOUT PLAN IN THE FIELD AND SHALL HAVE THE LAYOUT APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE INSTALLATION.
- ALL LANDSCAPE BEDS SHALL BE TREATED WITH THE PRE-EMERGENT HERBICIDE PRE M 60 DG (GRANULAR) OR AN APPROVED EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TRENCHED EDGE. SEE SHRUB PLANTING DETAIL. FINISH GRADE OF BEDS SHALL FLOW WITH SLOPE, NOT BE MOUNDED, AND BE AT ADJACENT PAVED SURFACE LEVEL.
- FERTILIZER FOR FESCUE SODDED AREAS, TREES AND CONTAINER STOCK AREAS SHALL BE A BALANCED FERTILIZER BASED ON RECOMMENDATIONS FROM A SOIL TEST SUPPLIED BY THE LANDSCAPE CONTRACTOR FROM AN APPROVED TESTING LAB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PLANTS UNTIL COMPLETION OF THE JOB AND ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL WARRANTY ALL LANDSCAPE WORK AND PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.
- CONTRACTOR SHALL PROVIDE MAINTENANCE OF ALL TREES AND SHRUBS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION IF CONTRACTED BY THE OWNER.
- ANY PLANT MATERIAL WHICH DIES DURING THE ONE YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR DURING NORMAL PLANTING SEASONS.
- ALL PLANT NAMES ON THE PLANT LIST CONFORM TO THE STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE OR TO NAMES GENERALLY ACCEPTED IN THE NURSERY TRADE.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY STOCK AS DETERMINED IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, FREE OF PLANT DISEASES AND PESTS, OF TYPICAL GROWTH OF THE SPECIES AND HAVING A HEALTHY, NORMAL ROOT SYSTEM.
- SIZES INDICATED ON THE PLANT LIST ARE THE MINIMUM, ACCEPTABLE SIZE. IN NO CASE WILL SIZES LESS THAN THE SPECIFIED SIZES BE ACCEPTED.
- PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY TO THE SITE OR AFTER INSTALLATION EXCEPT FOR THOSE BRANCHES THAT HAVE BEEN DAMAGED IN SOME WAY.
- PLANTS SHALL NOT HAVE NAME TAGS REMOVED PRIOR TO FINAL INSPECTION.
- ALL PLANTINGS SHALL RECEIVE A COMMERCIAL TRANSPLANT ADDITIVE PER MANUFACTURER'S RECOMMENDED RATES AND INSTRUCTIONS FOR APPLICATION.
- BUILDING MULCH SHALL BE 3" DEPTH OF KANSAS RIVER ROCK (3/4"-1 1/2" SIZE), OTHER MULCH SHALL BE 3" OF DYED BROWN SHREDDED HARDWOOD. BOTH MULCHES SHALL BE OVER A FELT TYPE SOIL SEPARATOR CUT INTO THE GROUND WITH A TRENCHED EDGE. SEE TREE DETAIL FOR DIFFERENT MULCH AROUND TREES.
- SEED SHALL BE A TURF-TALL FESCUE BLEND WITH 10% PERENNIAL RYE DRILL SEEDED AT A RATE OF #/1000S.F. AND HYDRO MULCHED AS A SEPARATE OPERATION AT A RATE OF 2000#/ACRE OF VIRGIN WOOD FIBER WITH A DYED BLUE TACKIFIER. CONTRACTOR SHALL BE RESPONSIBLE FOR AN ACCEPTABLE STAND OF TURF GRASS OF AT LEAST 90% COVERAGE OF SOIL SURFACE PER SQUARE FOOT.
- SEE PLANTING DETAILS FOR SOIL MIX IN PLANTING HOLES.
- SOD SHALL BE A TURF-TYPE-TALL FESCUE GRASS BLEND.
- SUCCESSFUL LANDSCAPE BIDDER SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ANY IRRIGATION SYSTEM TO BE APPROVED BY THE OWNER.

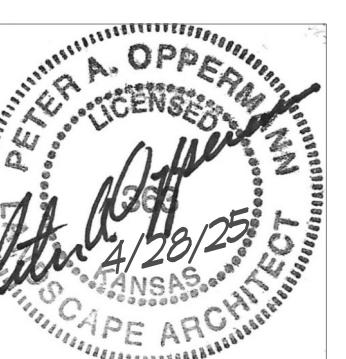
Transplant Additives:

- Apply a commercial transplant additive (approved by the Landscape Architect) to all trees, shrubs and groundcover at rates recommended by the manufacturer during the planting. This item shall be subsidiary to other planting items.
- Transplant additive shall be Horticultural Alliance "DIEHARD Transplant" (or approved equal) mycorrhizal fungal transplant inoculant or equivalent containing the appropriate species of mycorrhizal fungi and bacteria, fungi stimulant, water retaining agents, mineral & organic nutrients and inert ingredients.
- Demonstrate installation of all transplant additives for this project to the Landscape Architect. Provide actual additive product as evidence of sufficient quantity of product. (Empty product bags to be stockpiled for inspection by the Landscape Architect prior to disposal).
- Number of transplant additive packets per tree, shrub or groundcover shall be applied according to the manufacturer's recommended rates and instructions. For all plants the packet mix shall be evenly distributed into the upper approximately 8" of backfill soil next to the rootball. Do not place mix in the bottom of the planting pit.
- Furnishing and application of transplant additive shall be subsidiary to the planting operations.

Landscape Plan Fareway Meat Market

West 79th Street and Ward Parkway
Kansas City, Missouri

LS-3

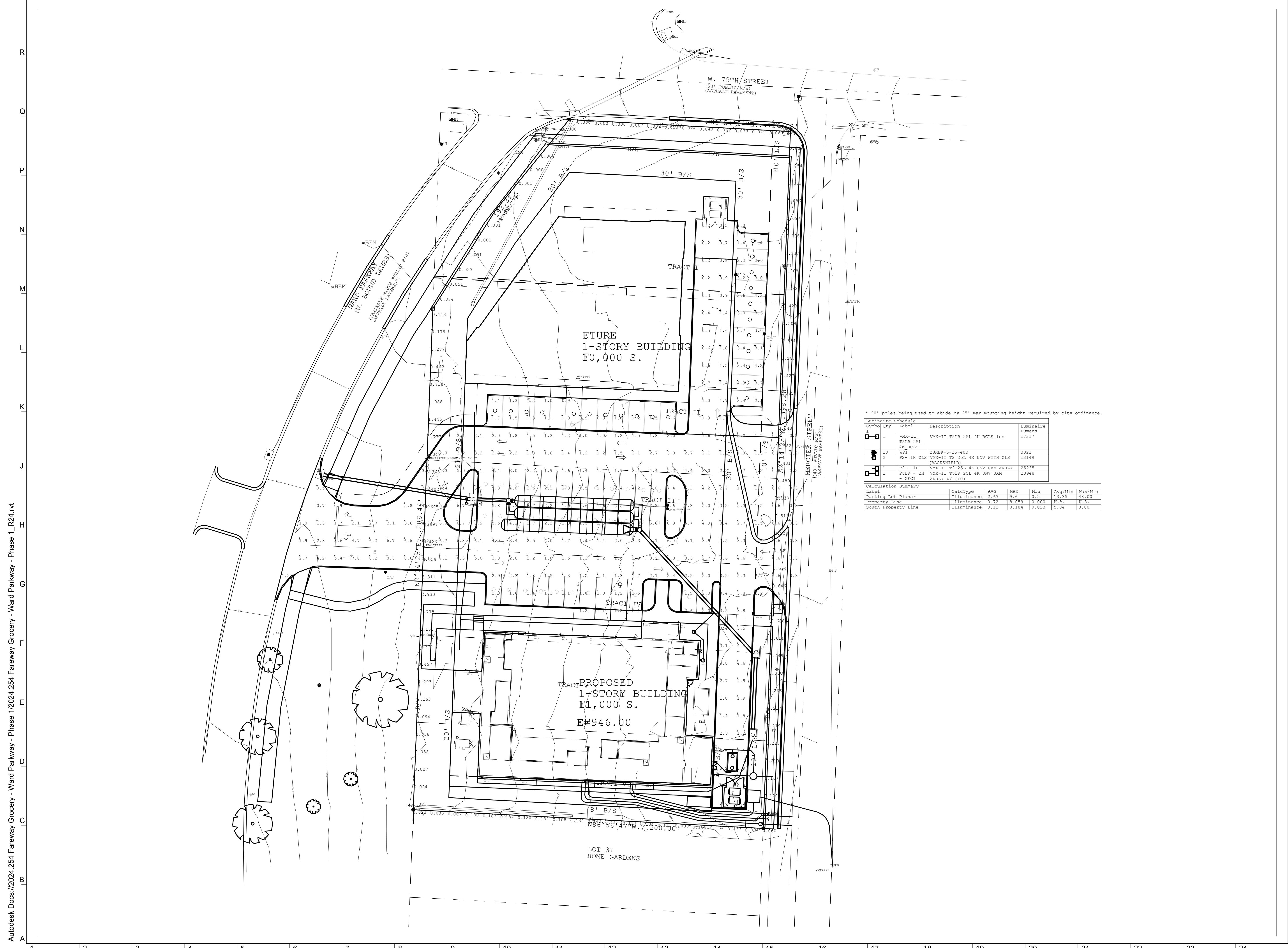


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Utility Note:

Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Kansas call 1-800-DIG-SAFE (344-7233) to have utilities located.

04/28/2025 95% Construction Documents



GastingerWalker &

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Architects | 817 Wyandotte | Kansas City Missouri 64105 | 816.421.8200 gastingerwalker.com

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4338 Bellview
Kansas City, Missouri 64111

MEP Engineer
LMV Engineering
1264 McKinley Drive
Ames, Iowa 50010
515-290-1139

Civil Engineer
Phelps Engineering
1270 N. Winchester
Olathe, Kansas 66061
913.393.1155

Energy
Lankford | Fenderer + Associates
1730 Walnut Street
Kansas City, Missouri 64108
816.222.1411

Solar: Ideal Energy
800-634-4454

Fareway Meat Market

1307 W 79th Street
Kansas City, MO 64114

Fareway Stores, Inc
2300 Industrial Park Road
Boone, IA 50036
515.432.2623

KCMO Final Plan Submittal 14 Mar 2025
KCMO Final Plan Resubmittal 21 April 2025
95% Construction Documents 28 April 2025
KCMO Final Plan Resubmittal 5 May 2025

Project Number: 2024.254

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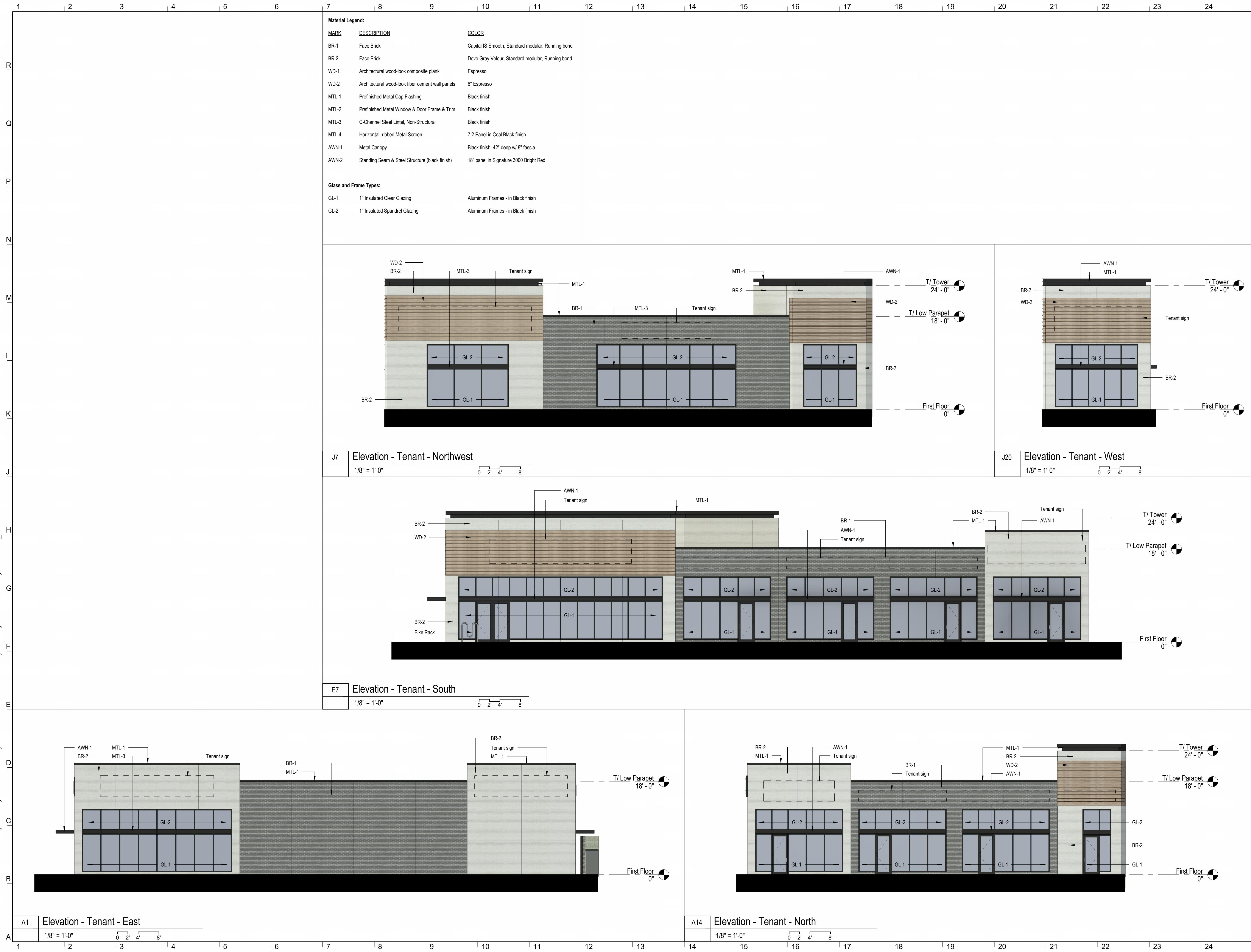
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Fareway Meat Market

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BUILDING ELEVATIONS - TENANT

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Meat Market and Tenant - Aerial Site View



NW Corner at Fareway Meat Market



SW Corner at Tenant Building



NE Corner at Fareway Meat Market

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BUILDING AND AERIAL VIEWS

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