



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

April 2, 2024

Project Name

Barrio Major Amendment

Docket #1**Request**

CD-CPC-2024-00003

Rezoning to UR – Major Amendment

Applicant

Tony Edwards

Taliaferro & Brown

1020 E 8th St, Kansas City, MO 64106

Owner

Arak Partners LLC

3829 Main St, Kansas City, MO 64111

Location

408 E 31st St

Area

About 0.22Acres

Zoning

UR

Council District

4th

County

Jackson

School District

Kanss City MO 110

Surrounding Land Uses

North: residential, commercial uses, zoned UR

South: commercial uses, zoned B4-5

East: commercial uses, zoned UR

West: commercial uses, zoned UR

KC Spirit Playbook Alignment

LRP determination: Likely

“As infill development, the project meets KC Spirit Playbook guidelines for effectively using existing infrastructure. While the painted stucco deviates from the earth-tone brick nature of the district, I am satisfied that it will not stand out too greatly.” – Luke Ranker

Land Use Plan

The Great Downtown Area Plan recommends Downtown Mixed Use for this location.

Major Street Plan

E 31st Steet is identified on the City’s Major Street Plan as an Activity Street.

APPROVAL PROCESS**PROJECT TIMELINE**

The application for the subject request was filed on 1/17/2024. Scheduling deviations from 2024 Cycle 3.1 have occurred.

- The applicant needed additional time to revise plans and complete their public engagement requirement.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The subject site is located with the Union Hill Neighborhood Association.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on 3/21/2024. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

There is one, 4,444 square foot restaurant building on the subject site with an outdoor patio adjacent to the alley on the north side of the site and rooftop patio on the south side of the site. The parking area to the east contains 13 parking spaces.

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a major amendment to the previously approved Union Hill UR plan to allow an additional principle use on about 0.12 acres generally located at 408 E 31st Street.

CONTROLLING + RELATED CASES

10494-URD-1 – Ordinance No. 030255 – Approving an amendment to a previously approved development plan in District URD on approximately a 52 acre tract of land generally bounded by E 28th Street and E 29th Street on the north, Gillham Road on the east, E 31st Street on the south, and Main street and Warwick Trafficway on the west.

PROFESSIONAL STAFF RECOMMENDATION

Docket #1 Approval with Conditions

PLAN REVIEW

The proposed plan will add a second principal use and commercial tenant space to the subject site. There is an existing single-story approximately 4,000 square foot building with rooftop patio and the second tenant space will be approximately 3,000 square feet and two-stories. There is no proposed use for the second use at this time, but the plans indicate permitted uses in the B2 zoning district are allowed.

Circulation on the site will remain the same. The parking lot will be restriped to provide angle parking, which will reduce the number of on-site spaces from 13 to 11. The Union Hill UR design standards allow properties located in the Mixed Use Residential Commercial area of the overall UR plan allow for a 50 percent reduction in parking for commercial uses. Based on this reduction, 19 spaces are required for the existing use and approximately 20 spaces are required for the proposed building, depending on the final use. The project has a parking deficit of 26 spaces; however, they also have a shared parking agreement with the adjacent properties. The applicant is requesting a deviation to consider the 11 proposed spaces as compliant.

The landscaping plan shows one street tree is required; however, due to existing conditions of the site, the owner cannot install the tree, therefore, they are paying a fee in lieu. Other landscaping will be mostly included in planters due to the existing conditions of the site, as well as two trees in the parking lot. Proposed species include red maple, Oklahoma Redbud, Ninebark, and Boxwood.

Proposed architectural materials include stucco and brick to incorporate some of the architectural character from the exiting building to the new tenant building.

PLAN ANALYSIS

Commercial Lot and Building (88-120), Use- Specific (88-300), and Development Standards (88-400)

**indicates adjustment/deviation*

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-120)	Yes	Yes	
Accessory or Use- Specific Standards (88-305 – 385)	No	N/A	
Boulevard and Parkway Standards (88-323)	No	N/A	
Parkland Dedication (88-408)	No	N/A	
Parking and Loading Standards (88-420)	Yes	No*	Deviation sought, see details below
Tree Preservation and Protection (88-424)	No	N/A	
Landscape and Screening Standards (88-425)	Yes	Yes	Subject to conditions
Outdoor Lighting Standards (88-430)	No	N/A	No new lighting proposed
Sign Standards (88-445)	Yes	Yes	Subject to conditions

Pedestrian Standards (88-450)	Yes	Yes	
-------------------------------	-----	-----	--

*Deviation to 88-420-06 to allow 11 on-site spaces to be considered compliant for two commercial tenants. This is a deviation in the amount of 26 spaces.

SPECIFIC REVIEW CRITERIA

Development Plans, Project Plan, or Site Plan (88-516-05)

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;

The proposed plan complies with all applicable sections of the zoning and development code, aside from the parking ratio, in which the applicant is seeking a deviation and the street tree planting, in which the applicant will pay a fee in lieu.

B. The proposed use must be allowed in the district in which it is located;

The proposed use is still undetermined, but the future use must be allowed per the B2 zoning district.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

Vehicular ingress and egress is adequate for the site and will remain largely the same. The existing parking will be restriped to provide angled parking. The subject site is less than 10 blocks (about 0.3 miles) from the streetcar extension currently under construction, and planning staff is supportive of encouraging multi-modal transportation to access this commercial area rather than constructing new parking.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

The subject site is less than half a mile from the streetcar extension on Main Street, which will provide new opportunities for multi-modal transportation to the area. There are protected bike lanes along Gillham Rd, as well as RideKC bike facilities on the corner of E 31st Street and Oak Street.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The site is currently served by adequate public utilities.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The proposed building materials include stucco and brick. These are compatible with the existing buildings in the area.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

There will be minimal landscaping on-site, as the buildings are zero setback on most of the property lines. The plans show planters, two trees in the parking lot, and shrubs on the north side of the new building.

- H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The site is already mostly impervious and the proposed building will not add impervious surface.

- I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

There is one tree on-site expected to remain.

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials
4. Additional documents, if applicable – Updated UR Design Standards

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **Approval with Conditions** as stated in the conditions report.

Respectfully Submitted,



Genevieve Kohn, AICP
Planner



Plan Conditions

Report Date: March 26, 2024

Case Number: CD-CPC-2024-00003

Project: Barrio Major Amendment

Condition(s) by City Planning and Development Department. Contact Genevieve Kohn at (816) 513-8808 / Genevieve.Kohn@kcmo.org with questions.

1. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
2. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
3. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
4. No UR Final Plan is required prior to obtaining building permits for the subject building, unless substantial changes are proposed at the discretion of the Director of City Planning and Development.
5. Combine 408 and 412 E 31st Street by deed through Jackson Country prior to building permit.
6. The applicant shall receive approval of a deviation to the parking standards in 88-420 from City Council to allow for 11 parking spaces on-site to serve the existing and proposed uses.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

7. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
8. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy.
9. The developer shall obtain the executed and recorded City approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting
10. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
11. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, provide a copy of the Storm Water Pollution Prevention (SWPP) plan submitted to the Missouri Dept. of Natural Resources (MDNR) and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

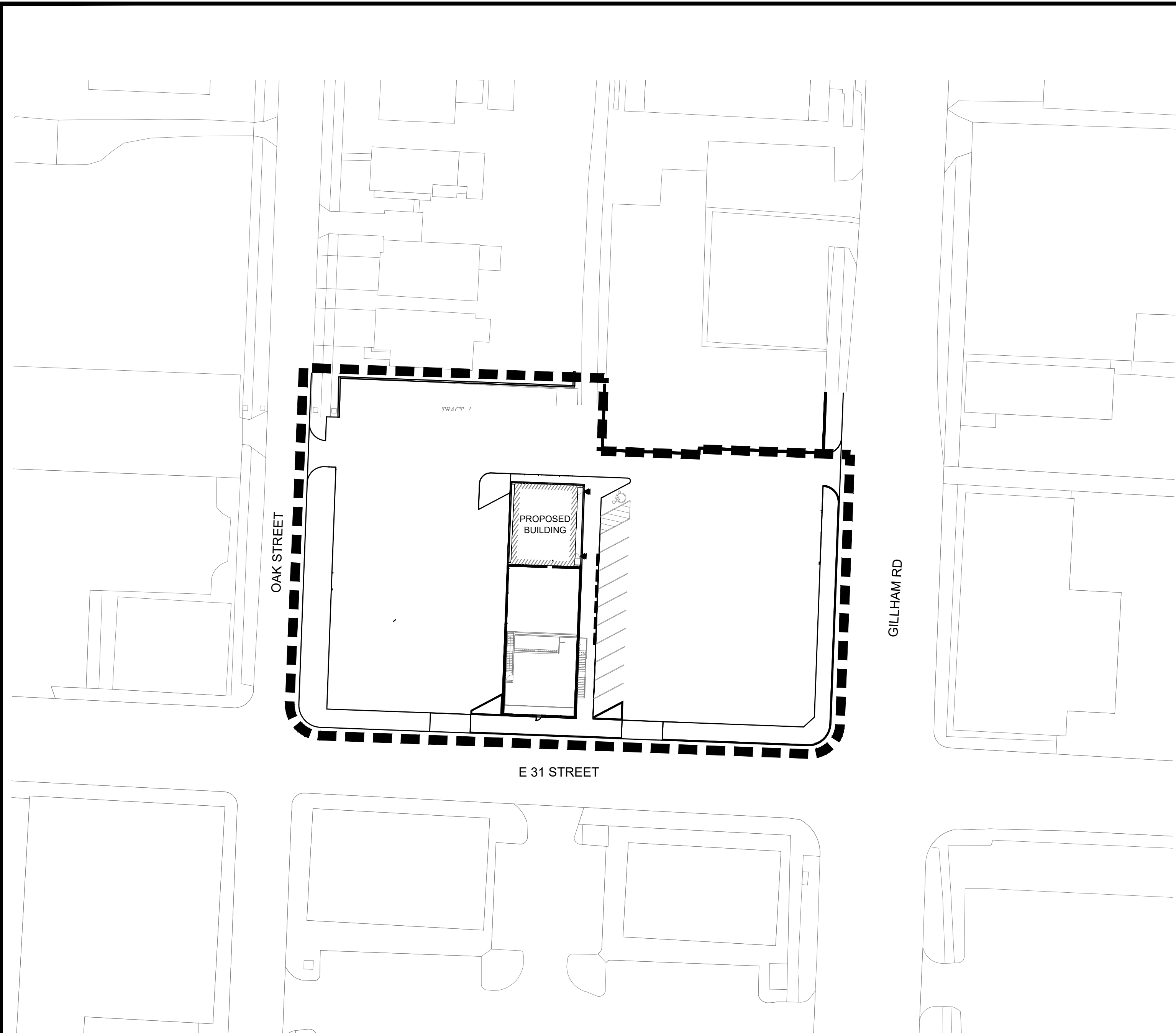
12. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.

Condition(s) by Parks & Recreation. Contact Kevin Lapointe at (816) 513-7776 / Kevin.Lapointe@kcmo.org with questions.

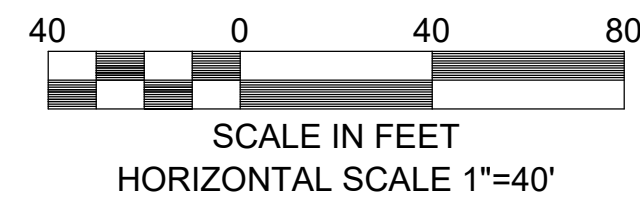
13. The developer shall pay into the Street Tree fund in lieu of planting. A fee of \$370 will be due prior to Certificate of Occupancy.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

14. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
15. When an existing building is being renovated, is being changed in use or occupancy, or is undergoing a building addition, and the existing water service line(s) will be reused, the water service line(s) and related appurtenances shall meet the most current version of KC Water Rules and Regulations.
16. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact - Patrick Lewis 816-513-0423
North of River contact - Pedro Colato 816-513-4892



MARTINI CORNER AREA MAP



LEGEND

--- UR MAJOR AMENDMENT BOUNDARY

SIGNAGE SHALL COMPLY WITH CHAPTER 88-445

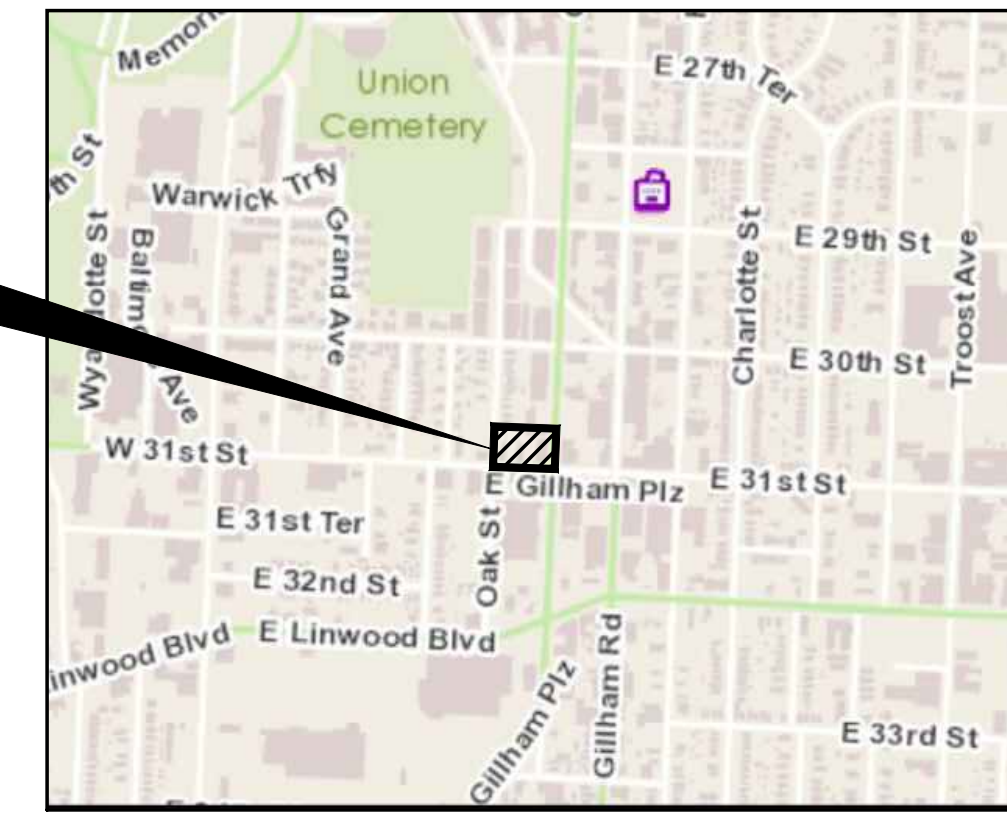
LEGAL DESCRIPTION:

CONTAINING 9,583 SQUARE FEET OR 0.22 ACRES
 ALL OF LOT 19, AND THE EAST FIFTEEN (15) FEET OF LOT 20, PINKSTON'S SPRINGFIELD ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.
 LOT 28, AND THE WEST EIGHT (8) FEET OF LOT 27, BENTLEY'S SPRINGFIELD ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

PROJECT TIMELINE:

CONSTRUCTION START: FALL 2022
 CONSTRUCTION END: FALL 2023

PROJECT LOCATION



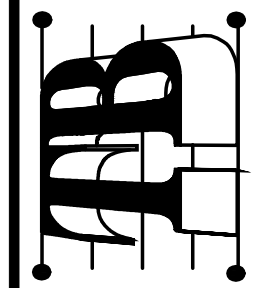
SECTION 17 TOWNSHIP 49N RANGE 33W
 NOT TO SCALE

LOCATION MAP



SOL CANTINA
 408 E 31 STREET
 KANSAS CITY, MISSOURI 64108
 UR FINAL PLAN

Taliaferro & Browne, Inc.
 Civil / Structural Engineering, Landscape
 Architecture / Architecture & Surveying
 1020 E. 8th STREET
 KANSAS CITY, MISSOURI 64106
 PROFESSIONAL CORPORATION
 MISSOURI LICENSE NO. 000466 KANSAS LICENSE NO. F-1481
 T&B ARCHITECTURAL CORPORATION LICENSE #201507506



File Name:

I & B Project No.
 77-1720

DATE	REVISIONS AND RECORD OF ISSUE	NO.	BY	CK APP

Leonard J. Graham
 Engineer
 License No.:
 E-18801
 DWG. NO.:
 C001

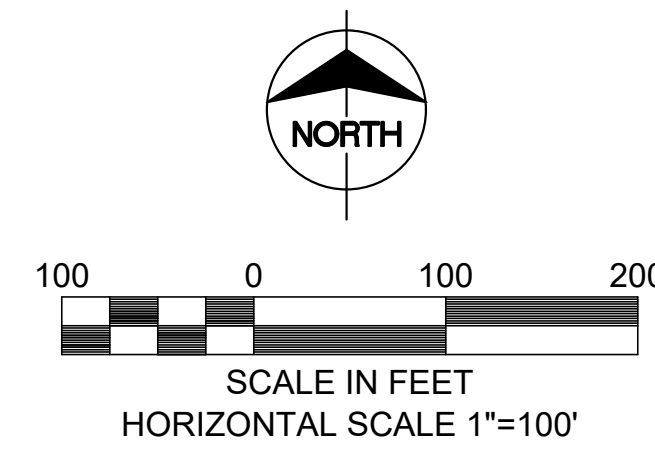
DEVELOPERS:
 ARAK PARTNERS LLC
 3829 MAIN ST STE 103
 KANSAS CITY MO 64111
 ILANSALZBERG@GMAIL.COM

UR FINAL PLAN

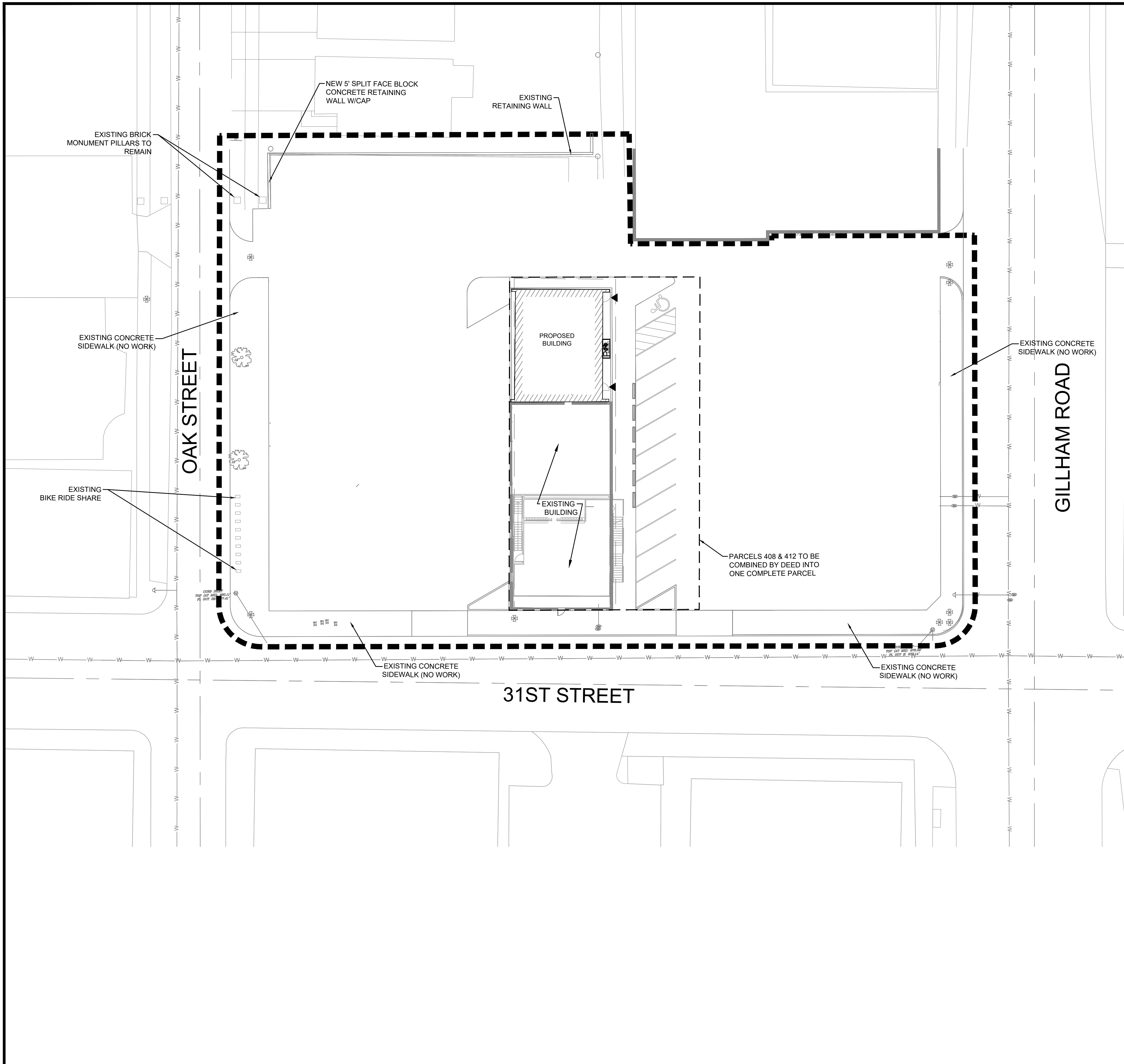


LAND USE:
 PER THE REVISED 2002 UNION HILL DEVELOPMENT PLAN

- MIXED USE RESIDENTIAL AND COMMERCIAL
- MIXED USE RESIDENTIAL
- SINGLE FAMILY DETACHED



<p>I. & B. Project No. 77-1720</p>	<p>File Name:</p>	<p>Taliaferro & Browne, Inc. Civil / Structural Engineering, Landscape Architecture / Architecture & Surveying 1020 E. 8th STREET KANSAS CITY, MISSOURI 64106 PROFESSIONAL CORPORATION MISSOURI LICENSE NO. 000466 KANSAS LICENSE NO. F-1481 T&B ARCHITECTURAL CORPORATION LICENSE #201507506</p>	<p>Leonard J. Graham Engineer License No.: E-18801 DWG. NO.: C001A</p>
<p>SOL CANTINA 408 E 31 STREET KANSAS CITY, MISSOURI 64108</p>		<p>OVERALL SITE PLAN</p>	
<p>DATE</p>	<p>REVISIONS AND RECORD OF ISSUE</p>		<p>NO. BY CK APP</p>



SITE LEGEND:

- ■ ■ ■ ■ UR MAJOR AMENDMENT BOUNDARY
- BIKE PARKING FOR
3 - SHORT-TERM SPACES &
3 - LONG-TERM SPACES
- ◀ BUILDING ENTRANCE

TABLE 1 - SITE DATA

Site Data	Existing	Proposed	Deviation Requested	Approved
Zoning	UR	UR	No	
Gross Land Area				
in square feet	5,242	9,566	No	
in acres	0.12	0.219	No	
Right-of-way Dedication				
in square feet	0	0	No	
in acres	0.00	0.00	No	
Right-of-way Vacation				
in square feet	0	0	No	
in acres	0.00	0.00	No	
Net Land Area				
in square feet	5,242	9,566	No	
in acres	0.12	0.219	No	
Building Area (sq. ft.)	4,444	7,390	No	
Floor Area Ratio	0	0	No	
Residential Use Info				
Total Lots				
Residential	0	0	No	
Public/Civic	0	0	No	
Commercial	2	1	No	
Industrial	0	0	No	
Other	0	0	No	

TABLE 2 - BUILDING DATA

Building Data	Existing	Proposed	Deviation Requested	Approved
Rear Setback	0 ft	0 ft	No	
Front Setback	0 ft	0 ft	No	
Side Setback	0 ft	33 ft	No	
Side Setback (abutting street)	0 ft	0 ft	No	
Height	-	28 ft	No	

TABLE 3 - LANDSCAPE PLANS

SEE L100 UR LANDSCAPE PLANS

TABLE 4.1 - PARKING - EXISTING BUILDING

Building Data	Vehicle Spaces		Bike Spaces	
	Required	Provided	Required	Provided
Proposed Use(s)				
Parking Space	19	13		
Short Term Bicycle				
Long Term Bicycle				
Total	19	13		

Parking Ratios for Existing Building
 Required 10 spaces for 1,000 sq ft. eating/drinking establishment (30 for 3,000 sq ft.)
 Required 5 spaces for 1,000 sq ft. uncovered deck (7 for 1,444 sq ft.)
 Per the design standards, the required spaces of 37 are reduced by 50% to 19.

TABLE 4.2 - PARKING - PROPOSED BUILDING

Building Data	Vehicle Spaces		Bike Spaces	
	Required	Provided	Required	Provided
Proposed Use(s)				
Parking Space	20	11		
Short Term Bicycle			3	3
Long Term Bicycle			3	3
Total	20	11	3	3

Parking Ratios for Proposed Building
 Required 10 spaces for 1,000 sq ft. eating/drinking establishment (30 for 3,000 sq ft.)
 Required 5 spaces for 1,000 sq ft. uncovered deck (7 for 1,444 sq ft.)
 Required 1 spaces for 1,000 sq ft. (3 for 2,946 sq ft.)
 Per the design standards, the required spaces of 40 are reduced by 50% to 20.

TABLE 4.2.1 - PARKING - PROPOSED BUILDING

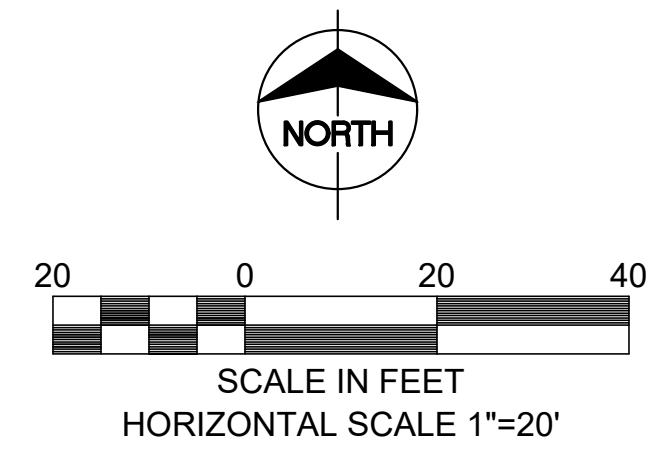
88-420-06 - DEVIATION TO PARKING STANDARDS		Deviation Requested	Approved
Alternatives Proposed (See 88-420-16-H)	Request deviation to parking to allow 11 spaces onsite with balance supported by adjacent and related parcels and reduced per previously approved URD adjustment (50%).	YES	

USE PERMITTED

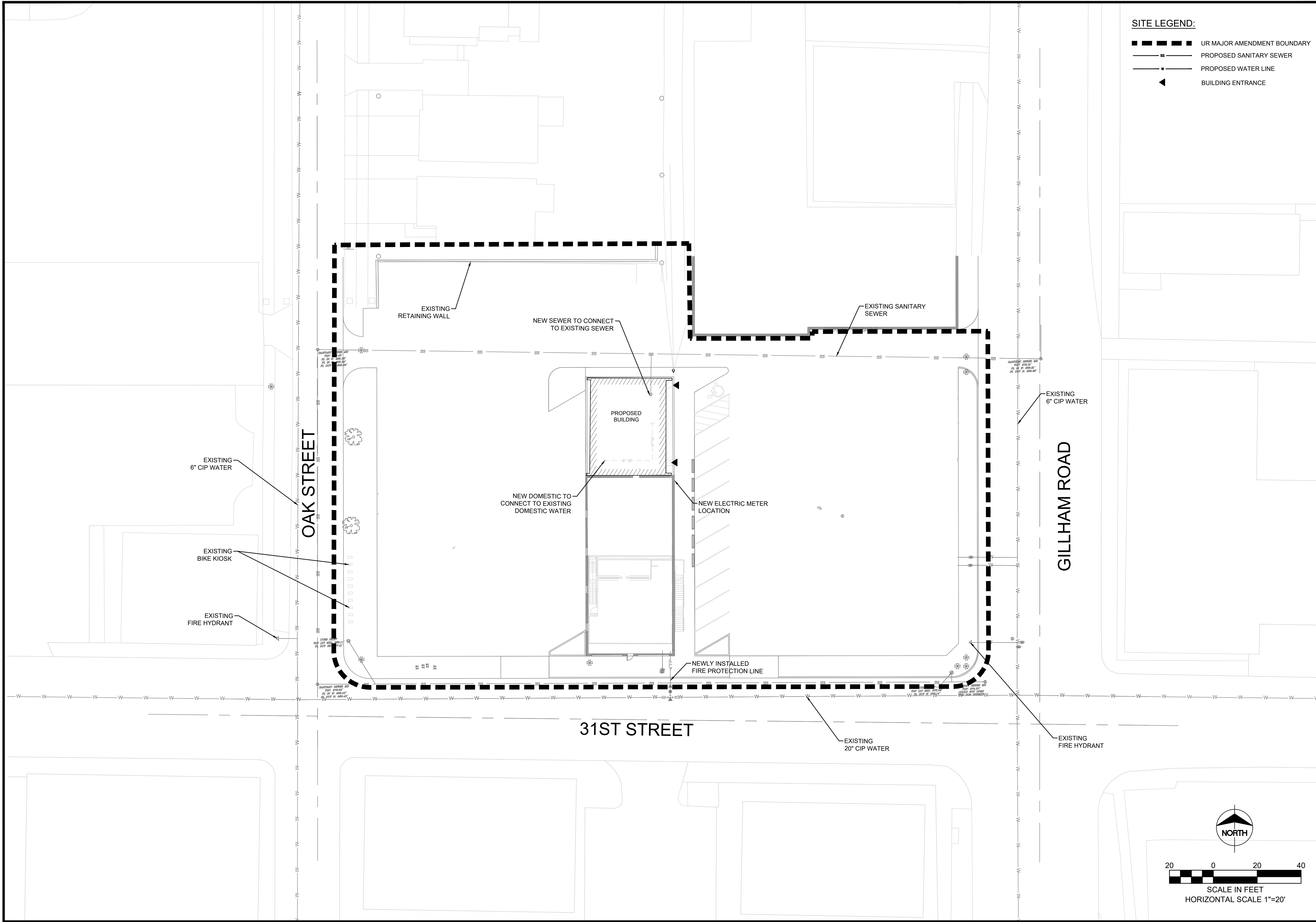
- NOTES:
 1. USE CATEGORY FOR B2 ONLY

TABLE 5 - OTHER DEVELOPMENT STANDARDS

88-425 OTHER DEVELOPMENT STANDARDS	
88-408 Parkland Dedication	Not Applicable
88-415 Stream Buffers	Not Applicable
88-430 Outdoor Lighting	All existing lighting to remain.
88-435 Outdoor Display, Storage, and Work Areas	Not Applicable
88-445 Signs	Signage comply with 88-445.
88-450 Pedestrian Standards	On site meets 88-450 criteria.



<p>Leonard J. Graham Engineer License No.: E-18901 DWG. NO.: C002</p>	<p>SOL CANTINA 408 E 31 STREET KANSAS CITY, MISSOURI 64108</p>	<p>SITE PLAN</p>
<p>Taliaferro & Browne, Inc. Civil / Structural Engineering, Landscape Architecture / Architecture & Surveying 1020 E. 8th STREET KANSAS CITY, MISSOURI 64106 PH (816) 233-3436 MISSOURI LICENSE NO. 00466 KANSAS LICENSE NO. 1481 I&B ARCHITECTURAL CORPORATION LICENSE #201507506</p>		
<p>I & B Project No. 77-1720</p>	<p>File Name:</p>	<p>NO. BY CK MPF</p>
<p>REVISIONS AND RECORD OF ISSUE</p>		
<p>DATE</p>		

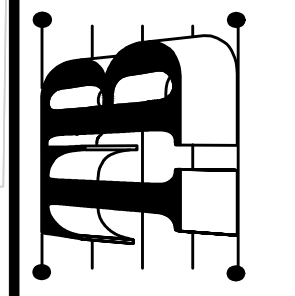


- SITE LEGEND:**
- UR MAJOR AMENDMENT BOUNDARY
 - PROPOSED SANITARY SEWER
 - PROPOSED WATER LINE
 - ▲ BUILDING ENTRANCE

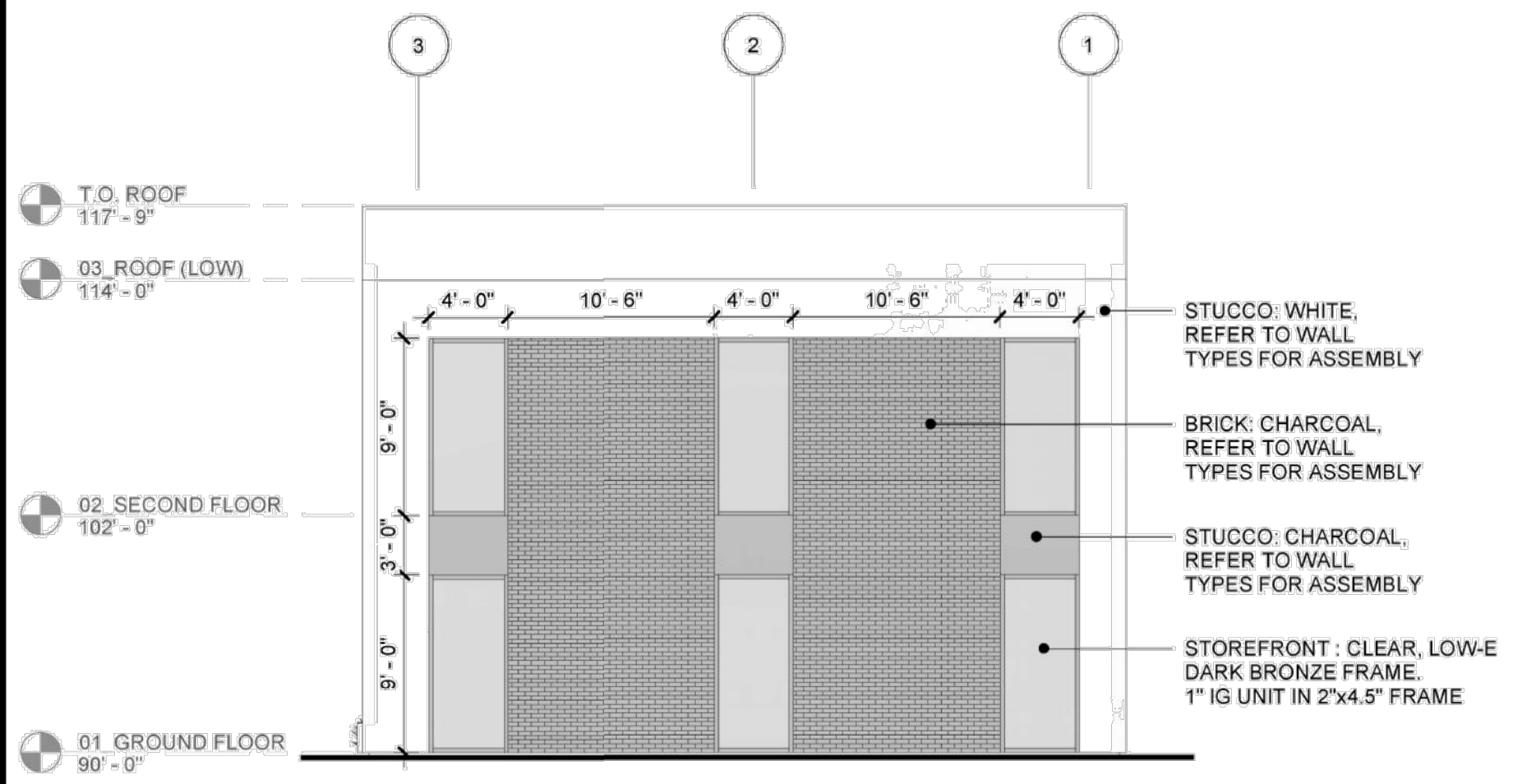
Leonard J. Graham
 Engineer
 License No.:
 E-18801
 DWG. NO.:
 C003

SOL CANTINA
 408 E 31 STREET
 KANSAS CITY, MISSOURI 64108
SITE UTILITY PLAN

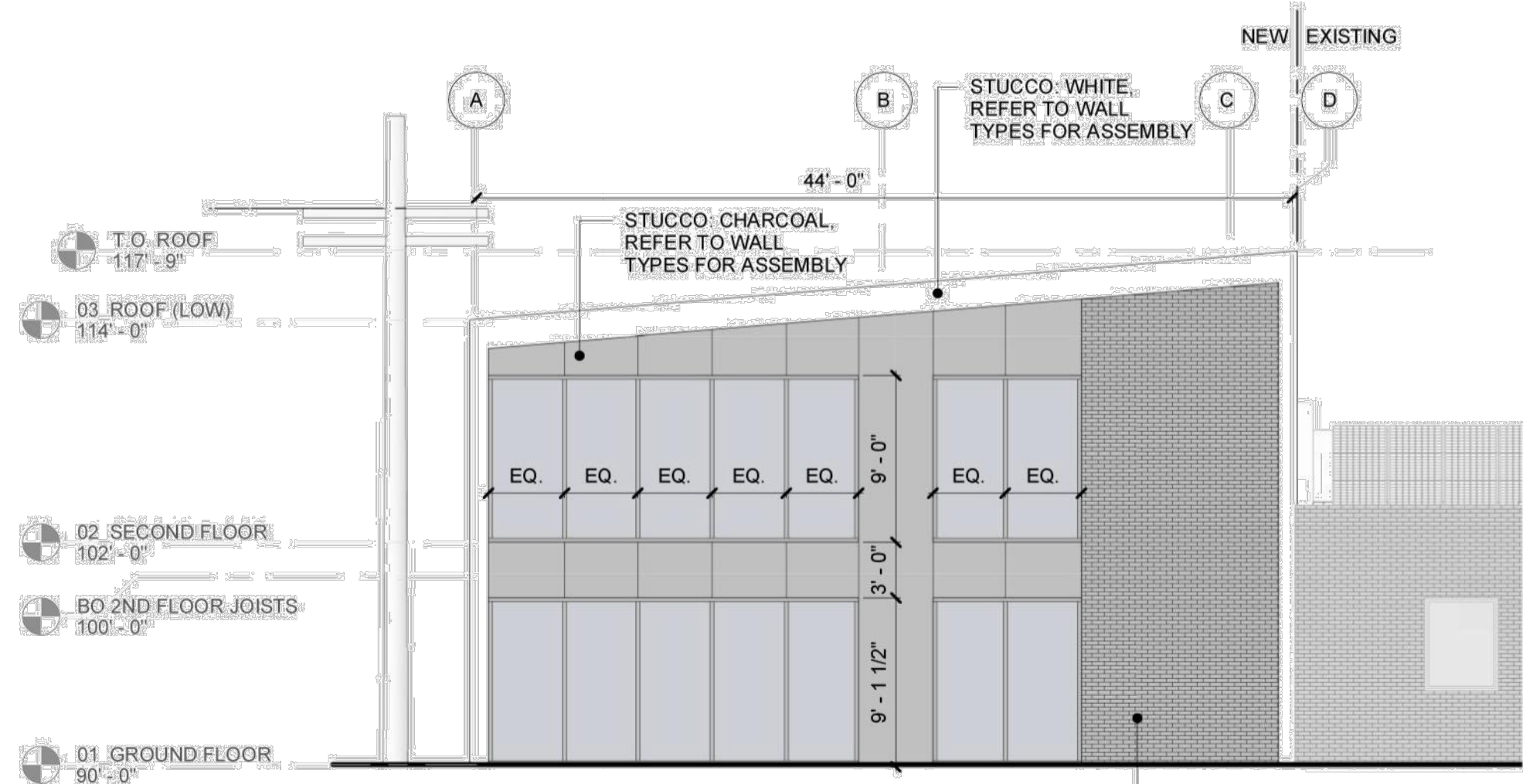
Taliaferro & Browne, Inc.
 Civil / Structural Engineering, Landscape
 Architecture / Architecture & Surveying
 1020 E. 8th STREET
 KANSAS CITY, MISSOURI 64106
 PH (816) 233-3436
 MISSOURI LICENSE NO. 000466 KANSAS LICENSE NO. F-1481
 T&B ARCHITECTURAL CORPORATION LICENSE #201507506



File Name:	NO. BY	CK	APP
I & B Project No. 77-1720	REVISIONS AND RECORD OF ISSUE		
DATE			



4 | NORTH
1/8" = 1'-0"



3 | West
1/8" = 1'-0"

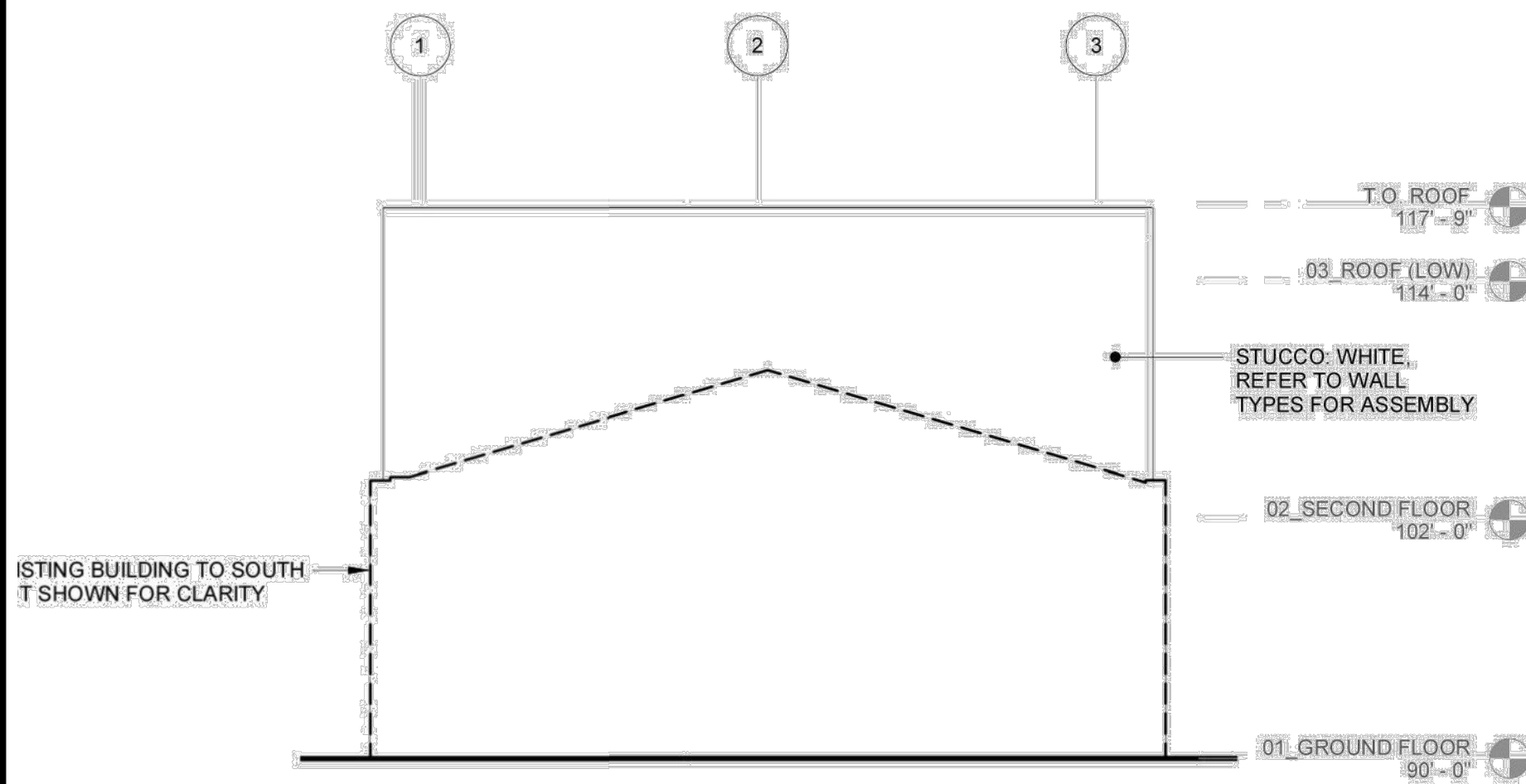
GENERAL ELEVATION NOTES:

- A. REFER TO FLOOR PLANS AND TYPICAL WALL SECTION FOR EXTERIOR WALL CONSTRUCTION AND DESIGN INTENT.
- B. INSTALL COMPLETE FINISH SYSTEM AND SHEATHING. INSTALL SHEATHING, FINISH TRIM, COLOR MATCH CAULK/NAIL HEADS, AND FLASHING PER MANUFACTURER WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
- C. INCLUDE WEEP SCREDS BASE OF ALL STUCCO SURFACES.
- D. INCLUDE WEEP HOLES AND FLASHING AT BASE OF ALL BRICK SURFACES.
- E. INSTALL FINISHES TO MEET MANUFACTURER'S STANDARD WARRANTY. ALL WINDOWS ARE DOUBLE-PANE, ENERGY STAR RATED.
- F. RE WINDOW SCHEDULE FOR STYLES.
- G. CAULK ALL WINDOW AND DOOR FRAMES, SILLS, TRIM, EXTERIOR WALL PENETRATIONS, ETC. AS REQUIRED FOR WATERPROOF PERFORMANCE. COLOR TO MATCH ADJACENT TRIM OR WALL SURFACE. MOCK-UP REQUIRED. UTILIZE CAULK TYPE RECOMMENDED BY MANUFACTURER FOR SPECIFIC JOINT MATERIAL AND CONDITION.
- H. ALL FINAL COLOR SELECTIONS BY ARCHITECT FROM MANUFACTURER'S FULL RANGE BY SUBSTITUTION.

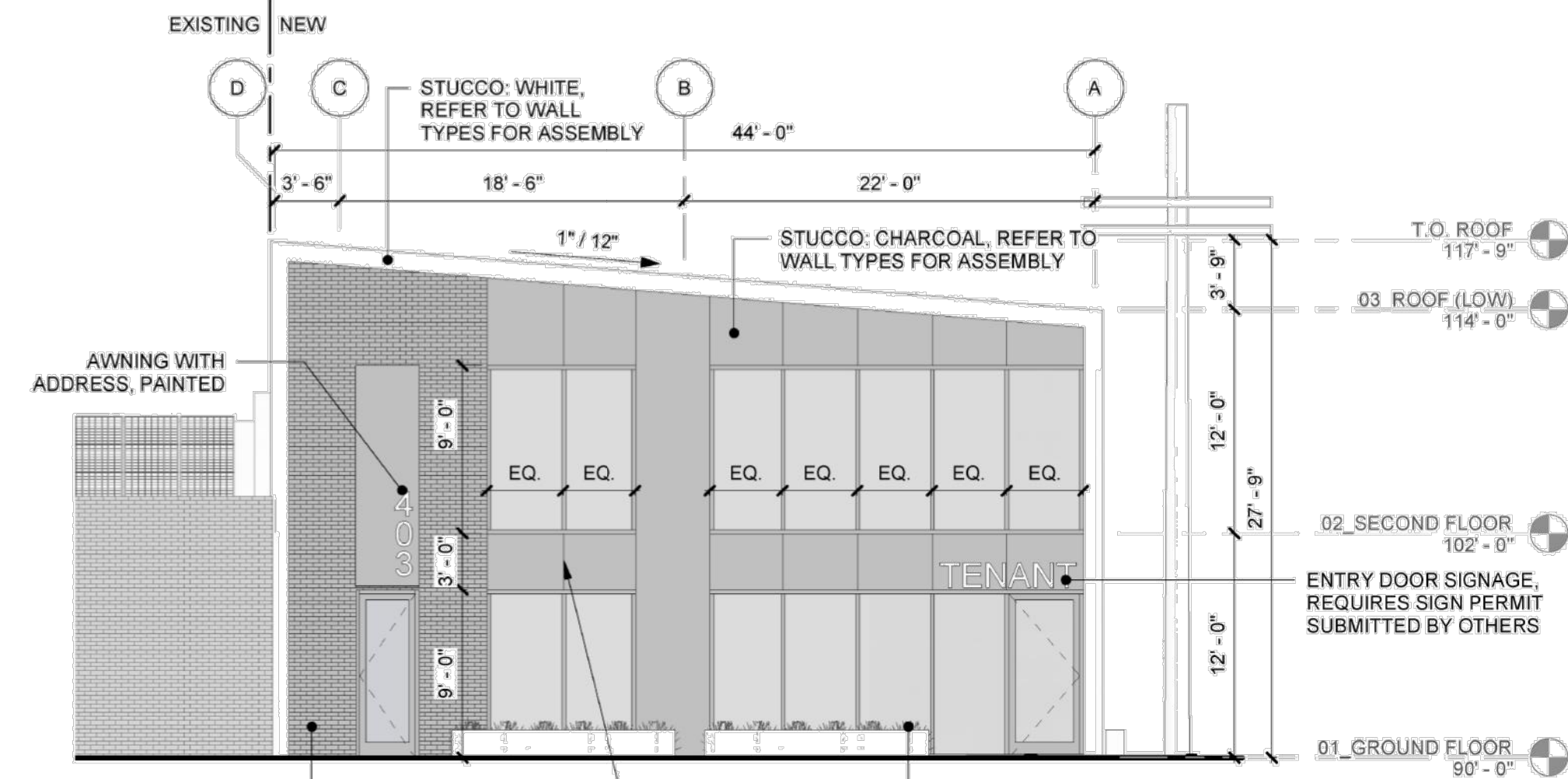
TYPICAL FACADE MATERIALS
 CHARCOAL BRICK BLEND (ENDICOTT OR SIM) = EAST AND WEST FACADES.
 STUCCO, ACRYLIC FINISH (SEMI-SMOOTH) = ALL FACADES
 REFER TO WALL TYPES ON A.1.0 AND BUILDING WALL SECTIONS FOR MORE INFORMATION REGARDING ASSEMBLY AND DESIRED OUTCOME.

STOREFRONT NOTES:

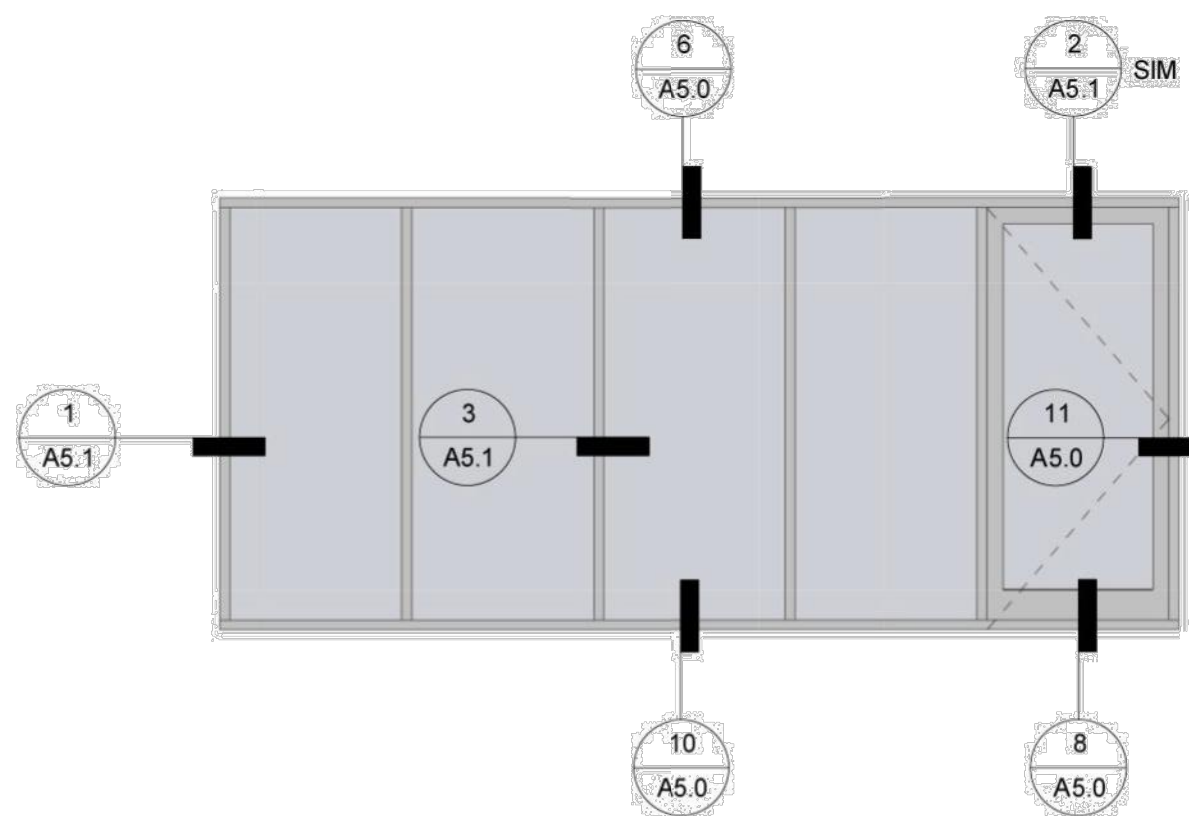
1. EXTERIOR: BASIS OF DESIGN - MANKO 2450FS STOREFRONT, OR SIM., W/ 1" INSULATING GLASS AND 135I THERMAL DOORS.
2. INTERIOR: BASIS OF DESIGN - MANKO 1450CS STOREFRONT, OR SIM., W/ 1/4" FULLY TEMPERED GLASS & 4" SILL/2" JAMB AND HEAD/NO INTERMEDIATE VERTICAL MULLIONS.
3. EXTERIOR: STOREFRONT FINISH: POWDER COAT FINISH; COLOR TO MATCH WINDOW PAINT.
4. INTERIOR: CLEAR ANODIZED FINISH.
5. THE CONTRACTOR SHALL EXAMINE ALL AREAS TO RECEIVE NEW STOREFRONT AND VERIFY ALL DIMENSIONS BEFORE BEGINNING WORK. NOTIFY ARCHITECT ONCE DEMOLITION IS COMPLETE OF ANY UNSUITABLE CONDITIONS.



2 | South
1/8" = 1'-0"



1 | EAST
1/8" = 1'-0"

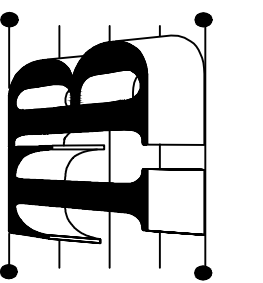


STOREFRONT ELEVATION

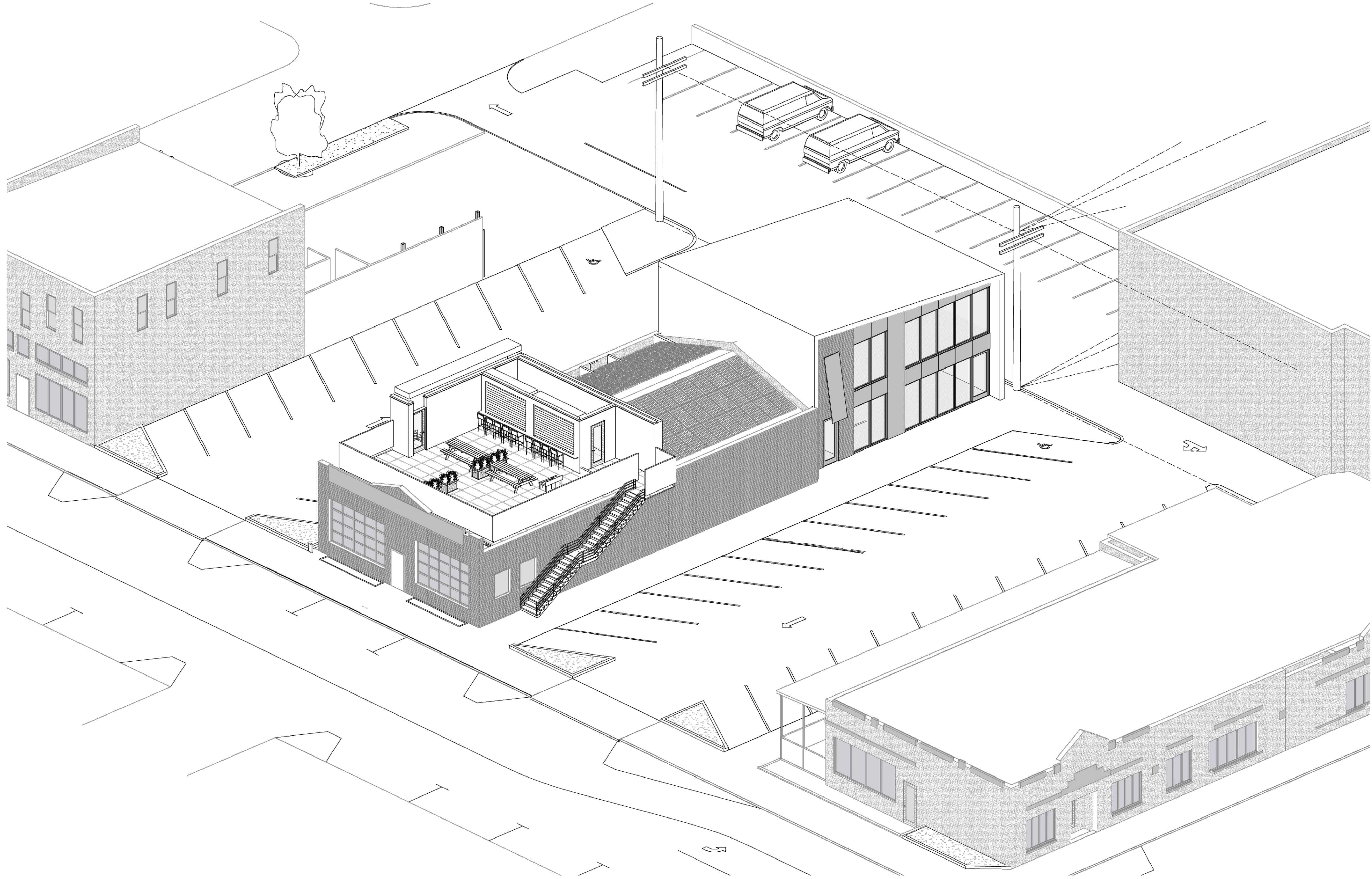
Leonard J. Graham
 Engineer
 License No.: E-18801
 DWG. NO.: C004

SOL CANTINA
 408 E 31 STREET
 KANSAS CITY, MISSOURI 64108
 BUILDING ELEVATION

Taliaferro & Browne, Inc.
 Civil / Structural Engineering, Landscape Architecture / Architecture & Surveying
 1020 E. 38th STREET
 FT. GIBBS 253-3436
 KANSAS CITY, MISSOURI 64106
 MISSOURI LICENSE NO. 00446 KANSAS LICENSE NO. P-1481
 I&S ARCHITECTURAL CORPORATION LICENSE #201507506



File Name:			
T & B Project No.	77-1720		
REVISIONS AND RECORD OF ISSUE			
DATE			
NO.	BY	CHK	APP



Taliaferro & Browne, Inc.
Civil / Structural Engineering, Landscape
Architecture / Architecture & Surveying
1020 E. 36th STREET
KANSAS CITY, MISSOURI 64106
PROFESSIONAL CORPORATION
MISSOURI LICENSE NO. 000456 KANSAS LICENSE NO. P-1481
T&B ARCHITECTURAL CORPORATION LICENSE #201507506

SOL CANTINA
408 E 31 STREET
KANSAS CITY, MISSOURI 64108
BUILDING PERSPECTIVE

Leonard J. Graham
Engineer
License No.:
E-18801
DWG. NO.: C005

DATE	REVISIONS AND RECORD OF ISSUE	NO.	BY	CK	APP

T & B Project No.
77-1720

File Name:

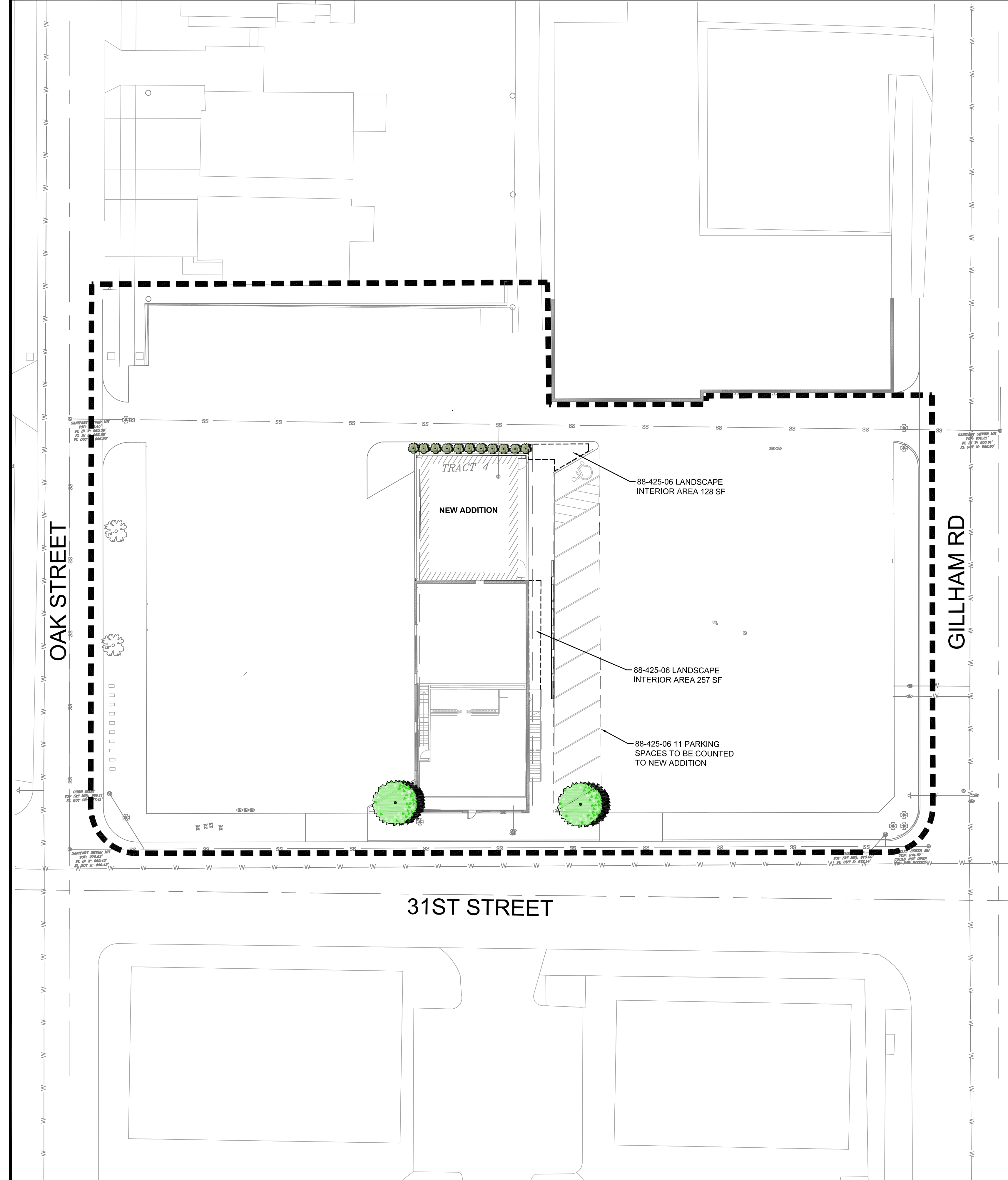


TABLE 3 - LANDSCAPE AND SCREENING

KCMO LANDSCAPE & SCREENING STANDARDS	Required	Proposed	Alternative Requested?	Approved
88-425 - LANDSCAPE REQUIREMENTS				
88-425-03 Street Trees	1	None	Yes *	
88-425-04 General	n/a	n/a		
88-425-05 Perimeter Vehicular Use Area				
Adjacent to Streets				
Buffer Width	n/a	n/a		
Trees	n/a	n/a		
Shrubs / Berms / Wall	n/a	n/a		
Adjacent to Residential Zones				
Buffer Width	n/a	n/a		
Shrubs / Berms / Fence / wall	n/a	n/a		
88-425-06 Interior Vehicular Use Area				
Interior Area - (11 pkg spaces x 35 SF per space =)	385 SF	385 SF		
Trees - (11 pkg spaces /5 pkg spaces per tree = 2.2 trees)	2	2		
Shrubs - (11 pkg spaces x 1 shrub per pkg = 11 shrubs)	11	11		
88-425-Parking Garage Screening	n/a	n/a		
88-425-08 Mechanical/Utility Equipment Screening	n/a	n/a		
88-425-09 Outdoor Use Screening	n/a	n/a		

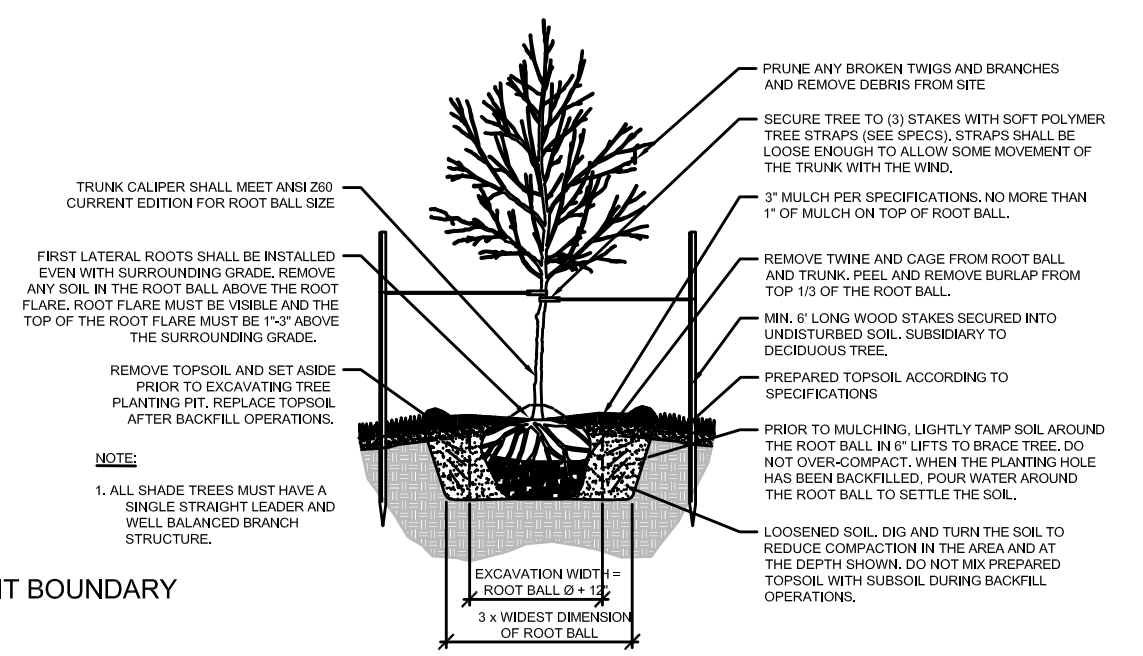
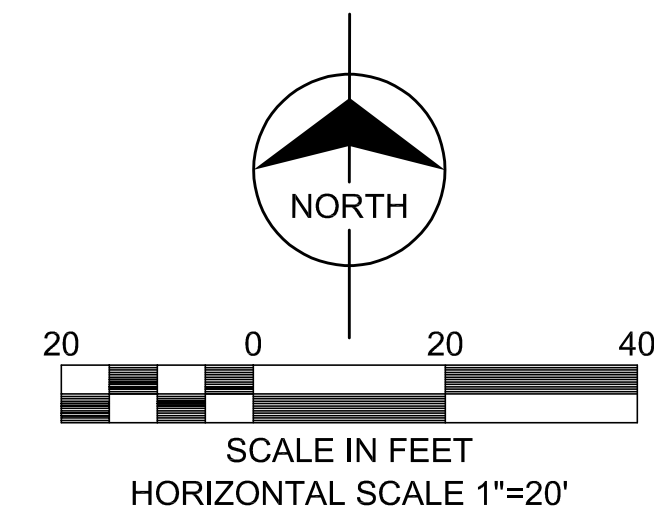
• DUE TO SITE CONSTRAINTS THE (1) STREET TREE REQUIRED WILL BE PUT INTO THE STREET TREE FUND AT A RATE OF \$185 PER TREE CALIPER INCH. A TWO INCH STREET TREE IS REQUIRED.

CONCEPT PLANT SCHEDULE

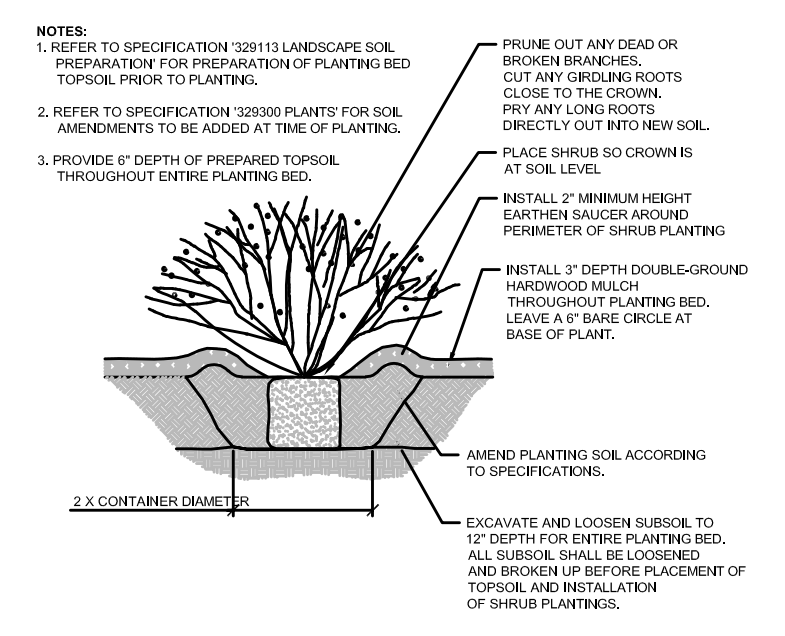
	PARKING LOT TREES (88-425-06) Acer rubrum 'Armstrong' / Armstrong Red Maple Cercis canadensis var. texensis / Oklahoma Redbud Nyssa sylvatica 'Wildfire' / Black Gum Quercus bicolor / Swamp White Oak	2
	PARKING LOT SHRUBS (88-425-06) Buxus microphylla var. koreana 'Winter Green' / Winter Green Boxwood Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark Viburnum carlesii / Korean Spice Viburnum	11

LEGEND:

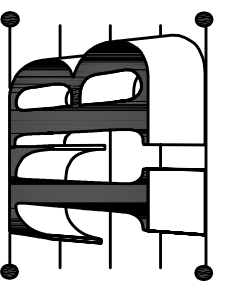
--- UR MAJOR AMENDMENT BOUNDARY



DECIDUOUS TREE 02
N.T.S.



SHRUB PLANTING 03
N.T.S.

<p>SOL CANTINA 408 E 31 STREET KANSAS CITY, MISSOURI 64108</p>	<p>UR LANDSCAPE PLAN AND DETAILS</p>	<p>Steven L. Bauer Architect License No.: 00145</p>	<p>DWG. NO.: L100</p>
<p>Taliaferro & Browne, Inc. Civil / Structural Engineering, Landscape Architecture / Architecture & Surveying 1020 E. 38th STREET KANSAS CITY, MISSOURI 64106 PH: (816) 253-3436 PROFESSIONAL LICENSE NO. 000446 MISSOURI LICENSE NO. P-1481 T&B ARCHITECTURAL CORPORATION LICENSE #20057506</p>			<p>File Name: I & B Project No. 77-1720</p>
<p>NO. BY</p>		<p>REVISIONS AND RECORD OF ISSUE</p>	

Adapted Land Uses and Standards from 10494-URD-4

Mixed Use Commercial & Residential

Uses

- I. Gasoline and Fuel Sales shall not be permitted on properties with frontage on Main Street, 31st Street, or Walnut Street.
- II. Motor vehicle repair, limited or general shall not be permitted.

Lot and Building Standards

- I. Height: Buildings or structures shall not exceed four stories or 60 feet in height.
- II. Side yards: No side yard is required in this Mixed Use Commercial & Residential district. On a corner lot, the side yard shall not be greater than a line projected from the established fronts of the structures on the side street.
- III. Rear yards: No rear yard is required in this Mixed Use Commercial & Residential district except where the rear yard abuts or adjoins a residential district. When this occurs, there shall be a rear yard at least 10 feet in depth. Where there is an alley, the rear yard shall be measured to the center of the alley.
- IV. Residential Structures: There shall be no lot area requirement for the residential structures.
- V. All other standards shall be determined by Section 88-110-07 where applicable.

Parking

- I. Parking and loading regulations for all uses and parking for buildings erected exclusively for dwelling purposes shall be as provided in Section 88-420. A minimum of one off-street parking space per dwelling unit is required for residential units in mixed use structures in this Mixed Use Commercial & Residential district.
- II. A minimum of one-half of the minimum parking requirements of Section 88-420-06 shall be provided for nonresidential uses in this Mixed Use Commercial & Residential district, unless otherwise exempt by Section 88-420-04.
- III. An individual nonresidential use may not provide more than two times the minimum parking requirements of Section 88-420 on the same lot or on a combination of the same and contiguous lots in any zoning district, unless the parking provided is completely enclosed within a building. Maximum parking restrictions shall not apply to hotels.

Architecture and Design

- I. Residential: The predominant style of Union Hill's remaining original housing is "Queen Anne." Other styles of original housing were "Italianate," "Second Empire," and "Gothic" and in areas that were rebuilt in the 20th Century, the "Shirtwaist" style predominates. DeGroff Way is unique with its "New England Saltbox" style. New residential construction should employ the most appropriate of these styles for the particular building site.
- II. Commercial: The predominant style of original commercial buildings is "Victorian." Most of the remaining original buildings are two or three stories. The general style employs plate glass windows at street level with transom windows above and transom windows above the entry door(s). Upper floors of brick or stone construction with cut or cast stone trim and

have a good deal of decorative detailing. Elaborate cornices are usually found on flat topped structures.

- III. All new commercial construction should evoke that above styles insofar as it is compatible with the intended use of the structure and shall evoke the “Victorian” or Turn of the Century” style. New structures shall be masonry construction and have masonry veneer. The preferred materials are red brick with cut cast stone trim and decorative details, or all natural stone, or a combination of the two. Discretion may be used for the renovation of existing buildings that may not be of the “Victorian” era.

Mixed Residential

Lot and Building Standards

- I. Height: Buildings or structures shall not exceed four stories or 60 feet in height.
- II. No front yard setback is required in this Mixed Residential district.
- III. No side yard setback is required in this Mixed Residential district.
- IV. No rear yard setback is required in this Mixed Residential district.
- V. The area occupied by a detached accessory building in the rear yard shall be limited to 50 percent of the area of the rear yard.
- VI. The minimum width of a lot shall be 16 feet.
- VII. There shall be no lot area requirement.
- VIII. All other standards shall be determined by Section 88-110-07 where applicable.

Architecture and Design

- I. Materials for new construction or exterior renovations shall be of stone, brick, stucco or wood.
- II. Roof and ground mounted mechanical equipment shall be screened from view from the street and adjacent property.
- III. Fences shall be wrought iron, decorative steel, or wood picket construction. Chain link fences, with or without opaque slat inserts, are prohibited in this Mixed Residential district.
- IV. New residential construction or exterior renovation should use the most appropriate architectural style based on the predominate styles for the particular building site, “Queen Anne,” “Italianate,” “Second Empire,” “Gothic,” and “Shirtwaist.”

Single Family Detached Residential

Lot and Building Standards

- I. Accessory Structures:
 - a. The setback from a street side property line shall be no less than the setback established for the principal building.
 - b. No setback from the principal building is required, but must follow all building code fire rating requirements.
 - c. Accessory structures shall not occupy more than 50 percent of the rear yard.
- II. Minimum lot width shall be 25 feet in this Single Family Detached Residential district.

- III. Fences shall be wrought iron, decorative steel, or wood picket construction. Chain link fences, with or without opaque slat inserts, are prohibited in this Mixed Residential district.
- IV. New residential construction or exterior renovation should use the most appropriate architectural style based on the predominate styles for the particular building site, "Queen Anne," "Italianate," "Second Empire," "Gothic," and "Shirtwaist."

Public Meeting Notice

Please join Arak Partners LLC

for a meeting about _____

case number _____

proposed for the following address:

Meeting Date:

Meeting Time:

Meeting Location:

Project Description:

If you have any questions, please contact:

Name:

Phone:

Email:

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at kcmo.gov/publicengagement



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at Compasskc.kcmo.org. You may search by project type and address/case number to find project details.

Sincerely,

Ilan Salzberg, Arak Partners



CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

Attendees prompted discussion over the following items:

UHNA asked for clarification over why a major amendment was required for this project.

UHNA asked for more details regarding the required parking spots vs. provided parking spots for this location. This prompted a broader discussion regarding district wide parking solutions for residents. The owner's agent detailed commercial parking solutions they've been testing in other areas in Midtown to try to curb these concerns.

UHNA asked what protections could be provided to ensure future unwanted uses for the addition. The owner's agent pointed out that many unwanted uses require additional permitting or zoning requirements. For example, a bar would require a liquor license which would require neighborhood permission. Other uses would require additional parking which is not easy to create or find in this area.

UHNA indicated that deliveries currently cause congestion on Oak Street and asked the owner to examine loading times or setting delivery windows to prevent congestion on public streets.

UHNA asked owner to replace monument wall in accordance with existing design (match brick).

UHNA expressed concern that the curbs along the NE and NW corners of the addition may not be sufficient to protect the addition from vehicle damage.

Owner's agent received additional notes from a board member which included comments regarding URD requirements for existing building, dimensions of walks/parking spaces/drive not being included in the materials, and concerns that accessible parking were not shown in the presented materials. Wants to ensure that all walkways meet ADA guidelines. Also asked that enclosures for grease, trash and recycling be provided and that access to these be shown. Also asked that the aesthetics of meters and conduit be improved on the existing building.

