



MANCAVES

WEST 141 TER. & MADISON AVE.
KANSAS CITY, MISSOURI 64145



STARK WILSON DUNCAN ARCHITECTS INC
315 NICHOLS RD, STE 228 - KANSAS CITY, MO 64112 - T 816.531.1698 F 816.531.1978

SHEET SCHEDULE

COVER SHEET

CIVIL

- C1.0 GENERAL LAYOUT PLAN
- C3.0 OVERALL GRADING PLAN
- L1.0 LANDSCAPE PLAN
- ST1 LANDSCAPE PLAN (STREET TREES)

ARCHITECTURAL DRAWINGS

- SE1.1 SITE ELEVATIONS
- SE1.2 SITE ELEVATIONS
- SP1.0 500FT SITE PLAN
- SP1.1 SITE PLAN
- SP1.2 SITE DETAILS / TRASH ENCLOSURE
- A1.1 BUILDING 1 FLOOR PLAN
- A1.2 BUILDING 2 FLOOR PLAN
- A1.3 ROOF PLAN BUILDING 1 & 2
- A2.0 BUILDING 1 SOUTH ELEVATION RENDERING
- A2.1 BUILDING 1 ELEVATIONS
- A2.2 BUILDING 1 ELEVATIONS
- A2.3 BUILDING 2 ELEVATIONS
- A2.4 BUILDING 2 ELEVATIONS

MECHANICAL, PLUMBING & ELECTRICAL PLANS

- PH1.0 PHOTOMETRICS SITE PLAN

GENERAL PROJECT NOTES

- A. ALL WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, ADA/HANDICAP ACCESSIBILITY & LIFE SAFETY CODES & REQUIREMENTS.
- B. PRIOR TO BIDDING, THE GENERAL CONTRACTOR & ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO ALL EXISTING (EX) BUILDING SPECIFIC REQUIREMENTS & EXTENTS OF THE WORK. PRIOR TO BIDDING, NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNIBLE FROM THE EX. CONDITIONS OR THE DRAWINGS.
- C. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL EX. CONDITIONS, DIMENSIONS & ELEVATIONS PRIOR TO ORDERING, FABRICATION, ETC.
- D. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PROJECT DOCUMENTS & EX. CONDITIONS.
- E. ALL WORK TO BE PERFORMED IN A FIRST CLASS, PROFESSIONAL, CODE COMPLIANT MANNER.

PROJECT TEAM

ARCHITECT

STARK WILSON DUNCAN
ARCHITECTS INC
315 NICHOLS ROAD, SUITE 228
KANSAS CITY, MISSOURI 64112
TEL 816 531 1698
FAX 816 531 1978

CIVIL ENGINEER & LANDSCAPE ARCHITECT

OLSSON ASSOCIATE
550 SAINT LOUIS STREET
SPRINGFIELD, MISSOURI 65806
TEL 417 890 8802
FAX 417 890 8805

STRUCTURAL

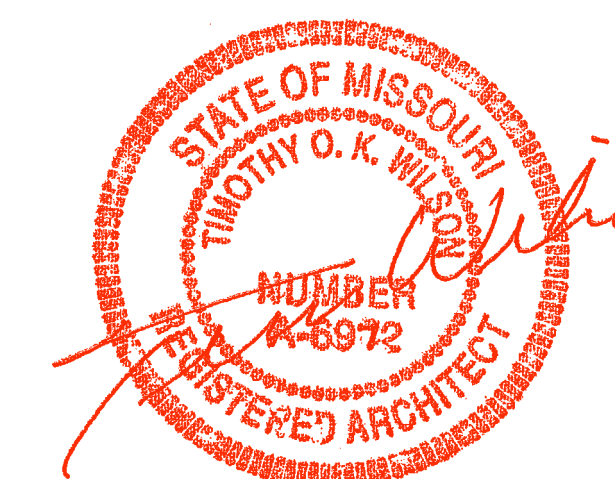
BDC ENGINEERS & CO.
4338 BELLEVUE AVE
KANSAS CITY, MO 64111
TELEPHONE 816-531-4144

MECHANICAL, ELECTRICAL & PLUMBING

HOSS & BROWN ENGINEERS INC.
11205 WEST 19TH STREET
LENEXA, KANSAS 66214
TELEPHONE 913-362-9090
FAX 913-362-9696

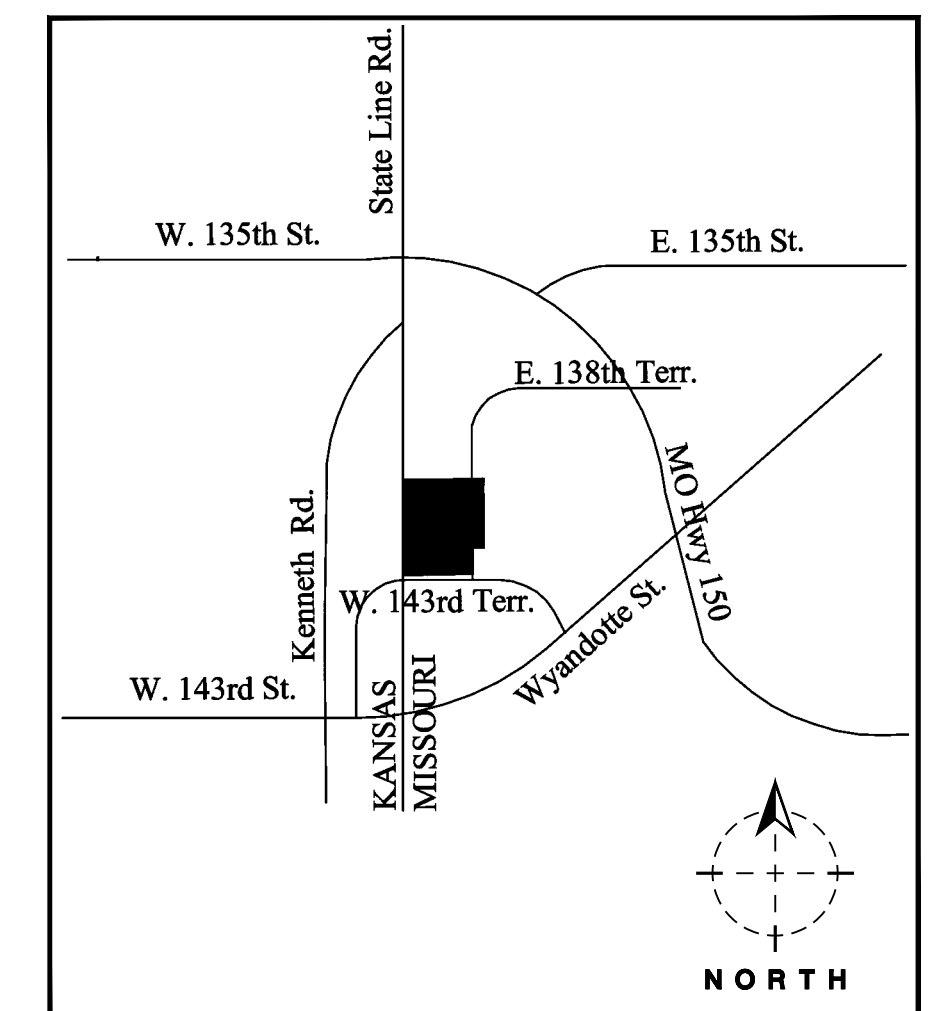
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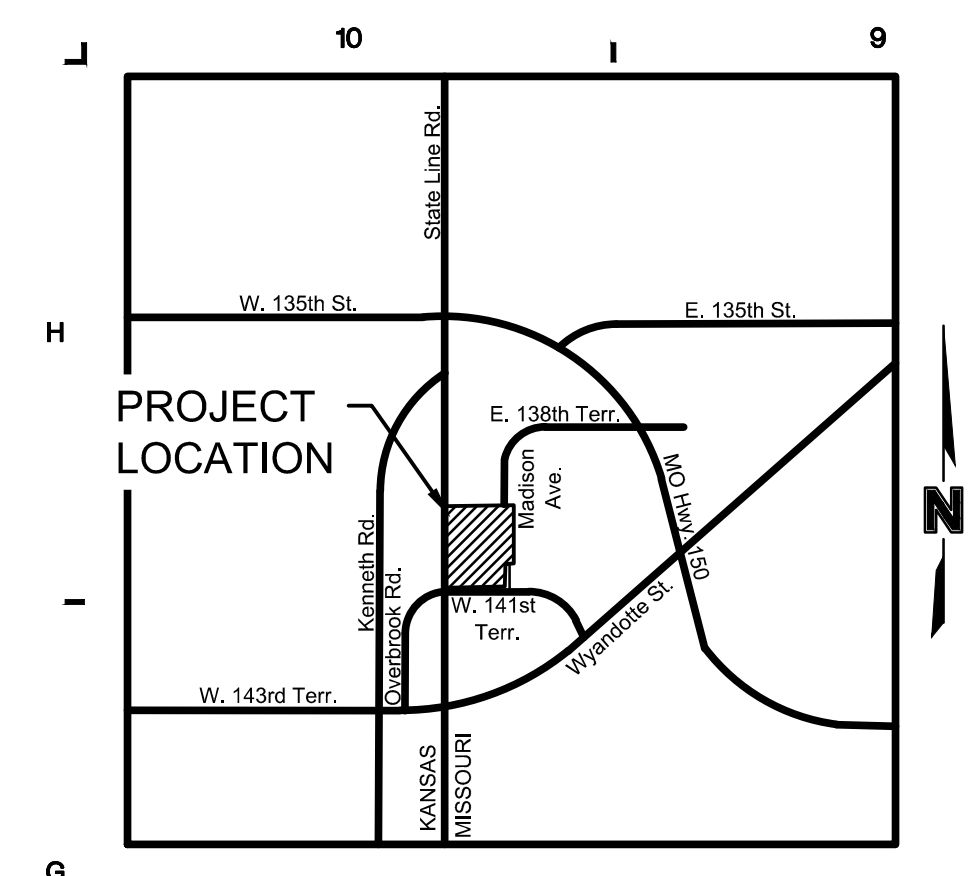
2018 MARCH 23



CITY PLAN COMMISSION
RECOMMENDED
APPROVAL
SUBJECT TO CONDITIONS

DATE: 3.20.18
Case No. 9216-P-17





VICINITY MAP
SEC. 30, TWP. 47N, RNG. 33W
NOT TO SCALE

ENGINEER:
OLSSON ASSOCIATES
CONTACT: JARED RASMUSSEN
550 ST. LOUIS STREET
SPRINGFIELD, MO 65806
TELE: (417) 890-8802
FAX: (417) 890-8805

SURVEYOR:
OLSSON ASSOCIATES
7301 W. 133rd STREET, SUITE 200
OVERLAND PARK, KS. 66213
TELE: (913) 381-1170
FAX: (913) 381-1174

OWNER/APPLICANT/DEVELOPER:
MO-KAN MANCAVES, LLC.
CONTACT: DAVID LOSSE
400 E. RED BRIDGE ROAD #113
KANSAS CITY, MO. 64131
TELE: (417)773-2734

SETBACKS:
FRONT = 0' MINIMUM
REAR = 0' MINIMUM
SIDE = 0' MINIMUM

GREEN SPACE:
PERIMETER GREEN = 10' MINIMUM GREEN STRIP REQUIRED
INTERIOR GREEN REQUIRED = 35 S.F./PARKING SPACE (REFER TO PLANTING PLAN FOR ADDITIONAL INFORMATION)

BENCHMARKS:
OA BENCHMARK #361:
NORTHING: 985925.4400
EASTING: 2758804.4940
SET CHISELED SQUARE CUT IN EAST EDGE OF CURB INLET ON WEST SIDE OF MADISON AVENUE 217'± SOUTH OF SOUTH DRIVEWAY OF 13871 MADISON AVENUE.
ELEVATION=912.67' (NAVD 88)

OA BENCHMARK #25029
NORTHING: 98510.2820
EASTING: 2758779.9110
SET CHISELED SQUARE CUT IN SOUTHEAST CORNER OF CURB INLET ON SOUTH SIDE OF W. 141ST TERRACE WEST OF CURVE
ELEVATION=891.24' (NAVD 88)

OA BENCHMARK #25700:
NORTHING: 984921.9960
EASTING: 2759225.0110
SET CHISELED SQUARE CUT IN SOUTHWEST EDGE OF CURB INLET ON WEST CURB INLET ON NORTH CORNER OF 141ST TERRACE AND WYANDOTTE STREET
ELEVATION=875.53' (NAVD 88)

FEMA:
ACCORDING TO NATIONAL FLOOD INSURANCE MAP (FIRM), PANEL NO. 290173 0501 G, MAP REVISED JANUARY 20, 2017, THE SURVEY PREMISES LIES WITHIN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN.

LEGEND

---	PROPERTY LINES	○	EXIST. GUY WIRE	⊕	PROP. FIRE DEPARTMENT CONNECTION (FDC)	---	PROP. IRRIGATION LINE
---	LOT LINES	⊕	EXIST. ELECTRIC SECTIONALIZER	⊕	EXIST. OVERHEAD ELECTRIC	---	PROP. WATER SERVICE
---	ROAD CENTERLINE	⊕	EXIST. BREAKER BOX	⊕	EXIST. UNDERGROUND ELECTRIC	---	PROP. FIRE PROTECTION LINE
---	EASEMENT LINES	⊕	EXIST. TRAFFIC CONTROL DEVICE	⊕	EXIST. UNDERGROUND TELEPHONE	---	PROP. FENCE
---	SETBACK LINES	⊕	EXIST. FIBER OPTIC VAULT	⊕	EXIST. UNDERGROUND FIBER OPTIC	---	EXISTING CONTOUR
○	FOUND MONUMENT	⊕	EXIST. FIBER OPTIC PEDESTAL	⊕	EXIST. GAS LINE	---	PROPOSED CONTOUR
⊕	TEMPORARY BENCHMARK	⊕	EXIST. FIBER OPTIC MARKER	⊕	EXIST. STORM SEWER LINE	---	KCMO TYPE CG-1 "DRY" CURB
⊕	EXIST. POWER POLE	⊕	EXIST. TELEPHONE PEDESTAL	⊕	PROP. PUBLIC SANITARY SEWER MAIN	---	KCMO TYPE CG-1 "STANDARD" CURB
⊕	EXIST. LIGHT POLE	⊕	EXIST. FIRE HYDRANT	⊕	PROP. SANITARY SEWER SERVICE	---	BACK OF CURB TO BACK OF CURB
⊕	EXIST. ELECTRIC BOX	⊕	EXIST. WATER METER	⊕	PROP. STORM SEWER LINE	---	
⊕	EXIST. ELECTRIC VAULT	⊕	EXIST. WATER VALVE	⊕	PROP. UNDERGROUND ELECTRIC	---	
⊕	EXIST. ELECTRIC METER	⊕	EXIST. GAS MARKER	⊕	PROP. WATER MAIN	---	

UTILITY COMPANIES:
WATER & SANITARY SEWER:
CITY OF KANSAS CITY PUBLIC WORKS
414 E. 12th STREET
KANSAS CITY, MISSOURI 64106
(816) 513-9970

ELECTRIC SERVICE:
KANSAS CITY POWER & LIGHT
TELE: (816) 471-5275

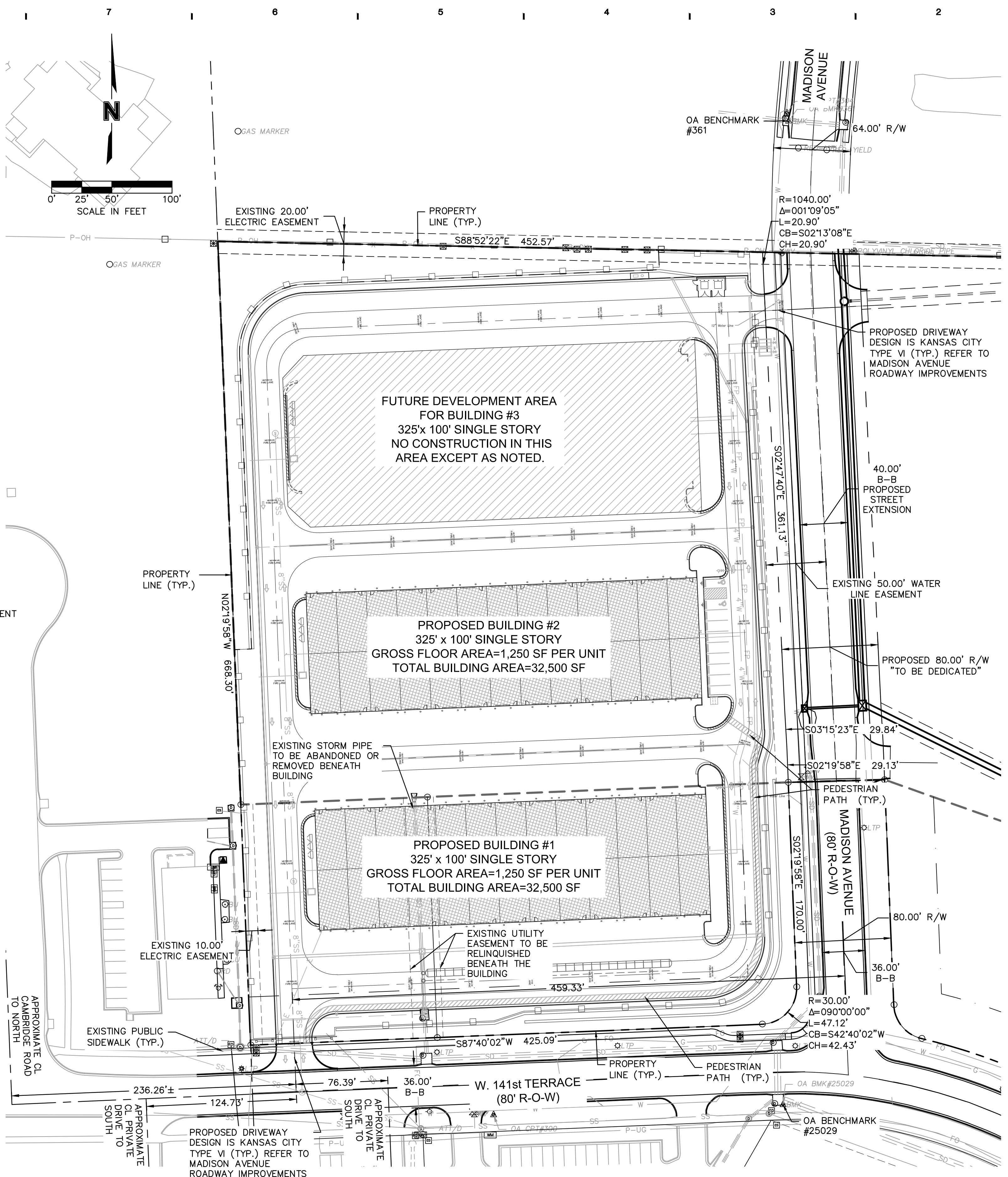
GAS SERVICE:
SPIRE
(800) 582-1234

FIRE DEPARTMENT:
KANSAS CITY FIRE DEPARTMENT
635 WOODLAND AVE.
SUITE 2100
KANSAS CITY, MO. 64106
(816) 514-4600

AMBULANCE SERVICE:
TELE: 911

SCHOOL DISTRICT:
KANSAS CITY OFFICE OF SUPERINTENDENT
(816) 418-7816

COMMUNICATION:
AT&T
1-800-246-8464
CENTURYLINK
1-800-246-4237
COMCAST
1-888-262-5101
GOOGLE FIBER NOC
1-866-954-1572
SPRINT/ERICSSON
1-800-521-0579
TIME WARNER CABLE
1-866-967-7611
TW TELECOM
1-800-829-0420
UNITE PRIVATE NETWORKS
1-866-963-4237
VERIZON COMMUNICATIONS INC.
1-800-624-9675



PROPERTY DESCRIPTION:

All of Lots 34 and 35, Bi-State Business Park, Second Plat, a subdivision in Kansas City, Jackson County, Missouri, together with all that part of an unplatted tract of land lying in the North Half of Section 30, Township 47 North, Range 33 West, more particularly described as follows:

COMMENCING at the Southwest corner of the North Half of Section 30, Township 47 North, Range 33 West; thence North 02 degrees 19 minutes 58 seconds West, along the West line of said North Half, a distance of 1319.29 feet to the Southwest corner of Lot 34, Bi-State Business Park, Second Plat, a subdivision in Kansas City, Jackson County, Missouri, the POINT OF BEGINNING; thence North 02 degrees 19 minutes 58 seconds West, continuing along said West line, and along the West line of said Lot 34 and its Northerly extension, a distance of 688.30 feet to the Southwest corner of Lot 4, State Line Station - Unit 3, a subdivision in Kansas City, Jackson County, Missouri; thence South 88 degrees 52 minutes 22 seconds East, departing said West line, along the South line of said Lot 4, and along the South line of Madison Avenue right of way and along the South line of Lot 3, all of said State Line Station - Unit 3, a distance of 452.57 feet to a point on a non-tangent curve; thence in a Southerly direction, departing said South line and along a curve to the left whose initial tangent bears South 01 degree 09 minutes 05 seconds East, having a radius of 1040.00 feet; through a central angle of South 02 degrees 13 minutes 08 seconds East, on an arc distance of 20.90 feet to a point of tangency; thence South 02 degrees 47 minutes 40 seconds East a distance of 361.13 feet; thence South 03 degrees 15 minutes 23 seconds East a distance of 29.84 feet; thence South 02 degrees 19 minutes 58 seconds East a distance of 29.13 feet to a point on the East line of said Lot 35; thence South 02 degrees 19 minutes 58 seconds East a distance of 170.00 feet to a point on the South line of said Lot 35, said point also being a point of curvature; thence in a Southerly, Southwesterly and Westerly direction, along said South line and along a curve to the right, having a radius of 30.00 feet, through a central angle of 90 degrees 00 minutes 00 seconds, on an arc distance of 47.12 feet to a point of tangency; thence South 87 degrees 40 minutes 02 seconds West, along said South line and along the South line of said Lot 34, a distance of 425.09 feet to the POINT OF BEGINNING, containing 332,037 Square Feet or 6.81 Acres, more or less.

ZONING:
ZONING EXISTING = M1-5

SITE AREA:
TOTAL SITE = 7.62 ACRES
STREET R/W TO BE DEDICATED: 0.81 ACRES
NET LAND AREA REMAINING: 6.81 ACRES

PRESENT USE:
UNDEVELOPED

PLANNED USE:
STORAGE

BUILDING HEIGHT:
HEIGHT ABOVE GRADE:
BLDG. 1 & 3 = 20'-10" (BLDG 3 IS PHASE II)
BLDG. 2 SOUTH SIDE = 24'-10"
NORTH SIDE = 20'-10"
NUMBER OF FLOORS: = 1
MAX. BUILDING HEIGHT = NO MAX.

BUILDING AREA:
GROSS FLOOR AREA:
PROPOSED BUILDING #1 = 32,500 SF, 26 STORAGE UNITS (PHASE I)
PROPOSED BUILDING #2 = 32,500 SF, 26 STORAGE UNITS (PHASE I)
PROPOSED BUILDING #3 = 32,500 SF, 26 STORAGE UNITS (PHASE II)
TOTAL BUILDING SF = 97,500 SF
MAX. FLOOR AREA RATIO (F.A.R.): = 5.0
MAXIMUM F.A.R. ALLOWED = 1,483,218 SF
ACTUAL F.A.R. = 0.32

PARKING:
PER PARKING TABLE 420-1 PARKING RATIOS,
RESIDENTIAL STORAGE WAREHOUSE: 3 SPACES PLUS 1 SPACE PER 75 STORAGE UNITS.
THERE ARE 78 PROPOSED STORAGE UNITS (PHASE I AND II COMBINED)
PARKING SPACES REQUIRED = 3 + 2 = 5 PLUS 3 BICYCLE SPACES
PARKING SPACES PROVIDED = 10 PLUS 3 BICYCLE SPACES

PHASING:
PHASE I: ESTIMATED CONSTRUCTION START - JUNE 1, 2018
APPROXIMATELY 6 MONTHS FOR CONSTRUCTION
INCLUDES:
BUILDINGS #1 AND #2
MAJORITY OF THE VEHICULAR PAVEMENT
ALL OF THE PARKING
RETAINING WALL & FENCING
LANDSCAPING
PHASE II: ESTIMATED CONSTRUCTION START - JUNE 1, 2019
INCLUDES:
BUILDING #3
VEHICULAR PAVEMENT IMMEDIATELY ADJACENT TO BUILDING #3

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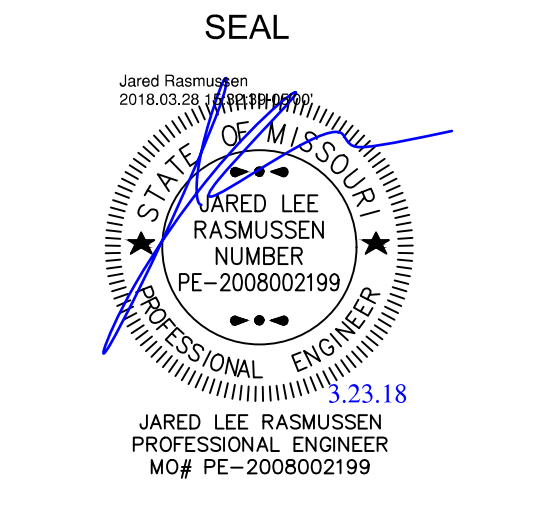


ARCHITECTURAL CORPORATION
MISSOURI CERTIFICATE
OF AUTHORITY NO. 000073



MANCAVES
WEST 141 TER. & MADISON AVE.
KANSAS CITY, MISSOURI 64145

STARK WILSON DUNCAN ARCHITECTS INC.
315 NICHOLS RD. STE 228 - KANSAS CITY, MO 64112-1896 F 816.531.1978



GENERAL LAYOUT
PLAN

ISSUE DATE:
2018 MARCH 23
REVISIONS:

PROJECT NO.: 1729



MISSOURI
1-800-DIG-RITE OR 811
www.motocall.com

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GRADING NOTES:

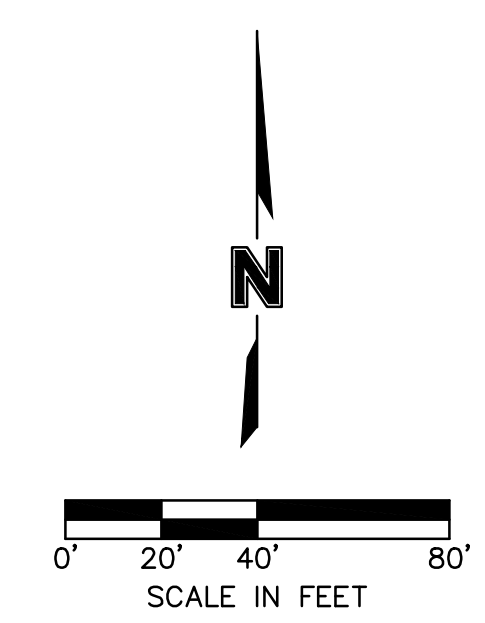
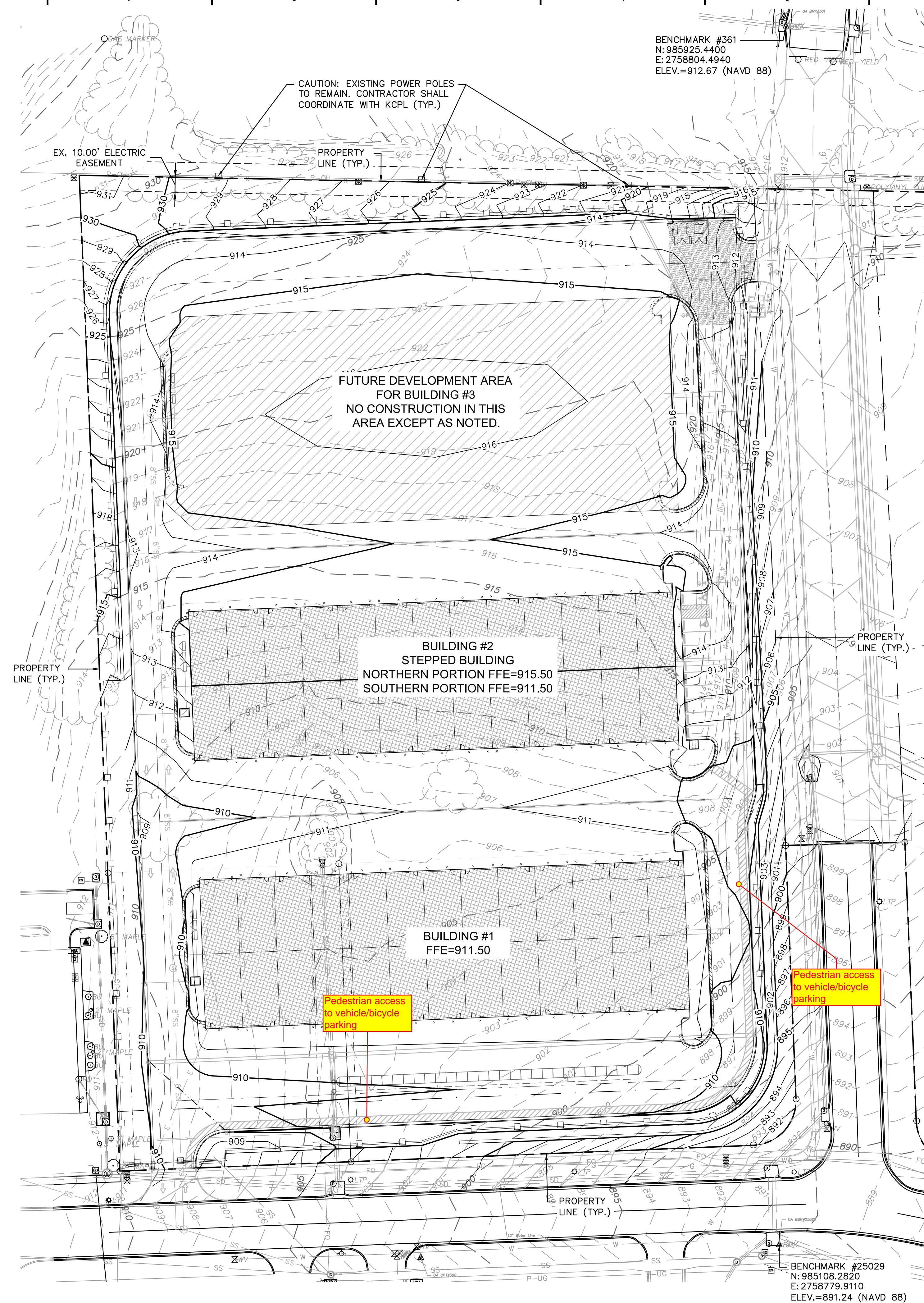
1. ALL ELEVATIONS ARE TO NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988).
2. STRIPPINGS ARE TO BE STOCKPILED ON-SITE AS DIRECTED BY THE ENGINEER. FOLLOWING THE COMPLETION OF THE GRADING, THIS TOPSOIL SHALL BE USED AS FILL MATERIAL ON ALL LANDSCAPED AREAS. IF STOCKPILE IS INACTIVE FOR MORE THAN 14 DAYS, STABILIZE OR PROTECT THE PERIMETER AS SHOWN ON SHEET EROSION CONTROL PLAN.
3. ALL HERBACEOUS VEGETATION SHALL BE REMOVED FROM WITHIN THE LIMITS OF THE GRADING AND REDISTRIBUTED WITH THE TOPSOIL AS OUTLINED IN NOTE #2.
4. CONTRACTOR SHALL USE CAUTION AROUND ANY EXISTING UTILITIES LOCATED ON-SITE. THEY SHALL BE RESPONSIBLE FOR THE REPAIRS OF SUCH STRUCTURES WHEN BROKEN OR OTHERWISE DAMAGED BY THE NEW CONSTRUCTION.
5. THE PROPOSED CONTOURS REPRESENT TOP OF SLAB IN PAVEMENT AREAS AND FINISHED GRADE IN ALL OTHER AREAS. QUANTITIES DO NOT TAKE INTO ACCOUNT CORE-OUT OR ANY OVER-EXCAVATION.
6. CONTRACTOR SHALL ADDRESS ANY GRADING RECOMMENDATIONS IDENTIFIED IN THE GEOTECHNICAL INVESTIGATION. PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DO A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.
7. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES, PIPES AND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS AND TO THE BEST OF OUR KNOWLEDGE CONSTITUTES ALL KNOWN FACILITIES. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT AN UNDERGROUND LOCATE SERVICE IN ADVANCE OF ANY EXCAVATION FOR THE MARK-OUT OF THE LOCATION OF UTILITIES AND NOTIFICATION OF COMMENCEMENT OF WORK.
8. BEFORE EXCAVATING FOR THIS CONTRACT, THE CONTRACTOR SHALL FIELD VERIFY LOCATION OF UNDERGROUND UTILITIES. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
9. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SEDIMENT CONTROL BARRIERS FOR A PERIOD OF 1 YEAR OR UNTIL THEY ARE RELEASED FROM THIS RESPONSIBILITY BY THE ENGINEER, WHICHEVER PERIOD IS SHORTER.
11. ALL ITEMS REMOVED SHALL BE DISPOSED OFF SITE BY THE CONTRACTOR AS PER CITY OF KANSAS CITY REQUIREMENTS.
12. IN ALL LOCATIONS WHERE NEW PAVEMENT ABUTS EXISTING, SAW CUT EXISTING PAVEMENT AS NECESSARY TO PROVIDE A SMOOTH TRANSITION AT THE JOINT. MATCH EXISTING GRADES AT THE JOINT IN ALL LOCATIONS.
13. ALL SIDEWALKS SHALL BE ADA ACCESSIBLE WITH RUNNING SLOPE BEING NO STEEPER THAN 5.00% AND CROSS SLOPES NO STEEPER THAN 2.00%. ALL LANDINGS OUTSIDE OF EXTERIOR ENTRANCES/EXITS SHALL BE NO STEEPER THAN 2.00% FOR THE FIRST 5'-0".
14. CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
15. ALL FINISH GRADES AROUND BUILDING SHALL BE 6" BELOW FINISH FLOOR UNLESS SPECIFIED OTHERWISE. CONTRACTOR SHALL FINISH GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.

BENCHMARKS:

OA BENCHMARK #361:
 NORTHING: 985925.4400
 EASTING: 2758804.4940
 SET CHISELED SQUARE CUT IN EAST EDGE OF CURB INLET ON WEST SIDE OF MADISON AVENUE 217± SOUTH OF SOUTH DRIVEWAY OF 13871 MADISON AVENUE.
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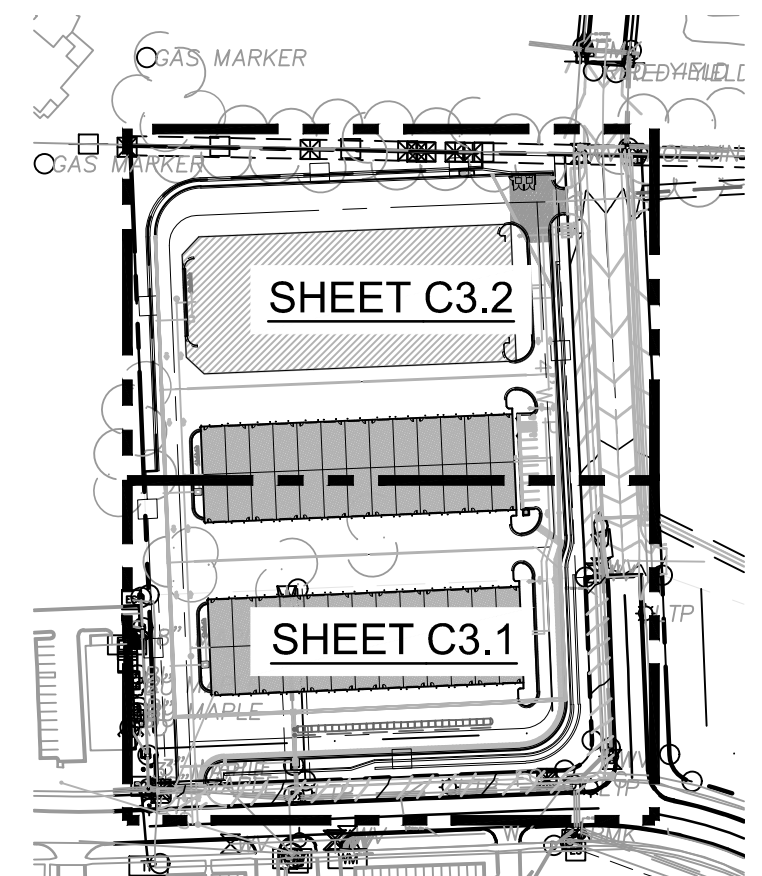
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 ELEVATION=875.53' (NAVD 88)



LEGEND

TC=910.00	TOP OF CURB
TP=910.00	TOP OF PAVEMENT
TW=910.00	TOP OF SIDEWALK
GR=910.00	FINISHED GROUND
T.WALL=910.00	TOP OF WALL
B.WALL=910.00	BOTTOM OF WALL
FL=910.00	FLOW LINE
- - - 910	EXISTING CONTOUR
— 910	PROPOSED CONTOUR
— · — ·	GRADE BREAK
- - -	FLOW LINE
→	FLOW DIRECTION
HP	HIGH POINT
LP	LOW POINT



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**CITY PLAN COMMISSION
 RECOMMENDED
 APPROVAL
 SUBJECT TO CONDITIONS**

DATE: 3.20.18
 Case No. 9216-P-17

SWD ARCHITECTS
 EST 1935

ARCHITECTURAL CORPORATION
 MISSOURI CERTIFICATE
 OF AUTHORITY NO. 000073

MOLSSON ASSOCIATES
 DESIGN ASSOCIATES ENGINEERING MISSOURI STATE CERT. OF AUTHORITY #001882
 526 S. LOAN BL. ST. LOUIS, MO 63102 TEL: 417.866.8882
 500 S. GARDNER ST. ST. LOUIS, MO 63102 TEL: 417.866.8882

MANCAVES

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STARK WILSON DUNCAN ARCHITECTS INC.
 315 NICHOLS RD. STE 228 - KANSAS CITY, MO 64112 - T 816.531.1898 F 816.531.1978

SEAL

JARED LEE RASMUSSEN
 NUMBER PE-2008002199
 PROFESSIONAL ENGINEER
 STATE OF MISSOURI
 JARED LEE RASMUSSEN
 PROFESSIONAL ENGINEER
 MO# PE-2008002199

**OVERALL
 GRADING PLAN**

ISSUE DATE:
 2018 MARCH 23

REVISIONS:

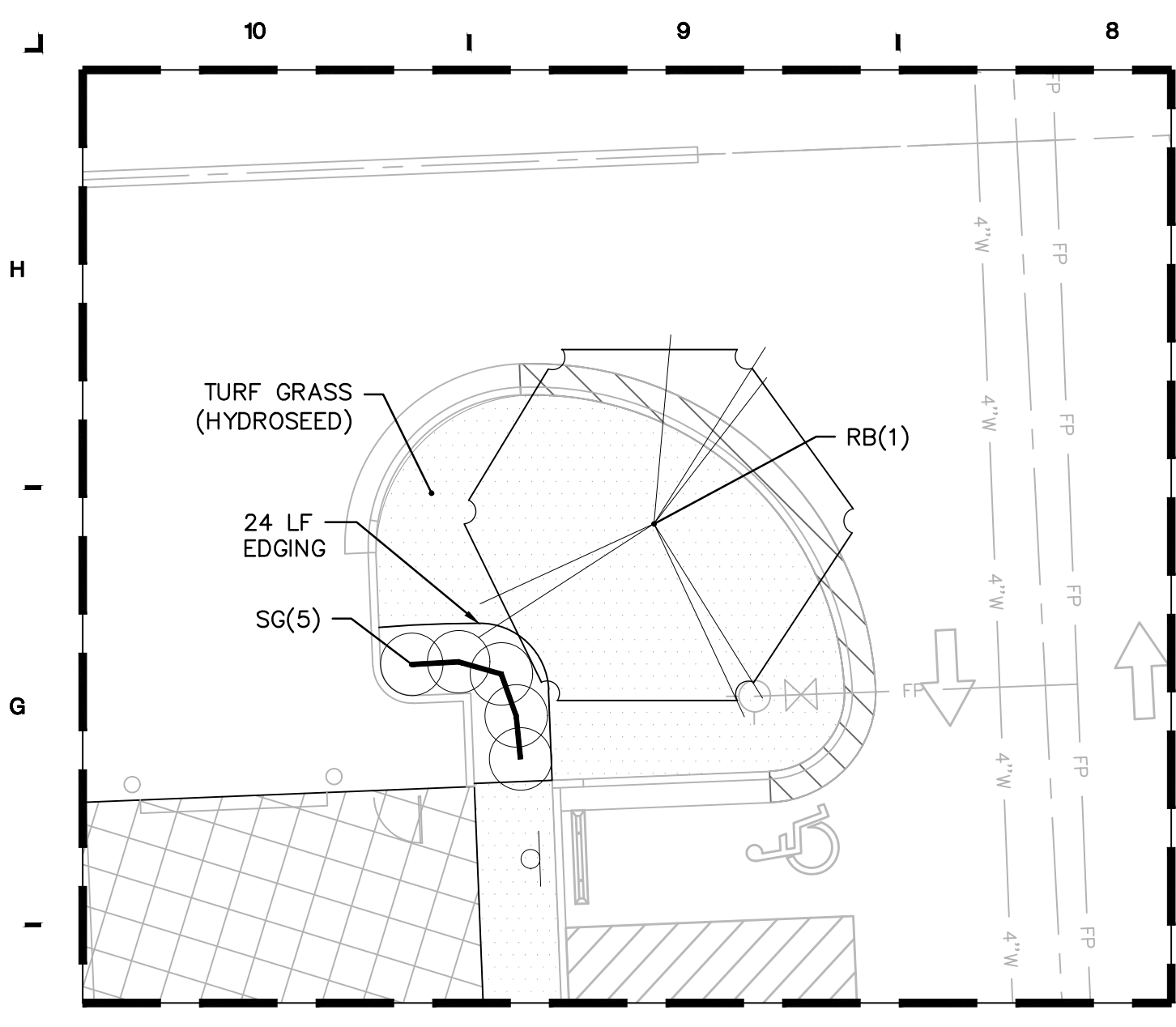
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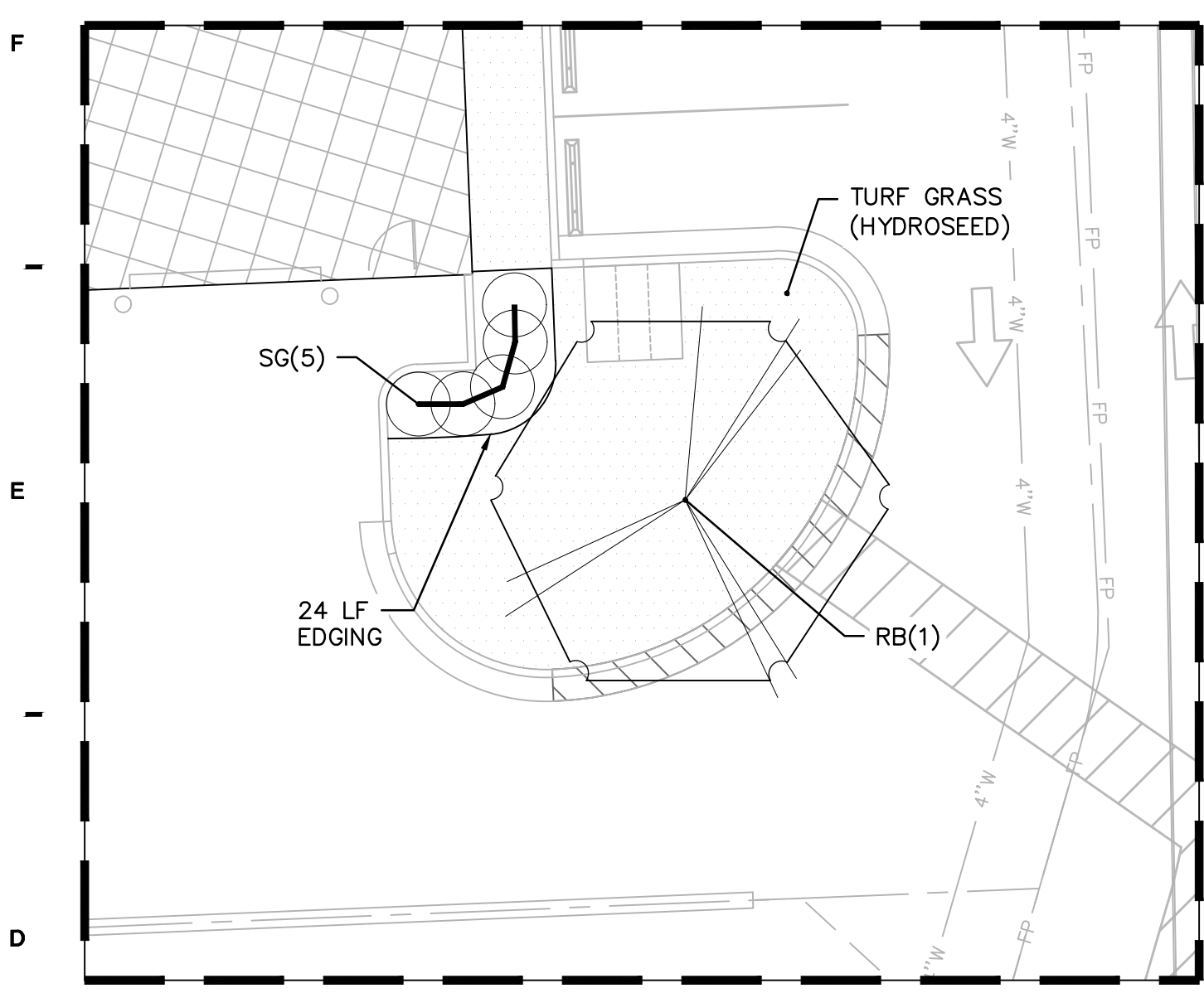
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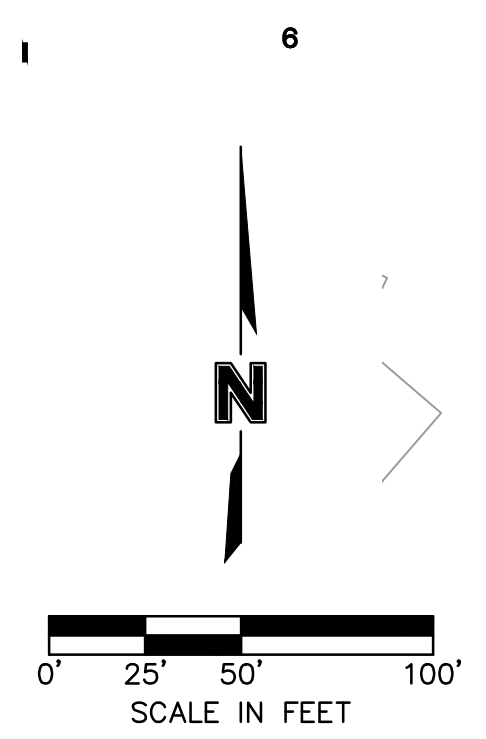
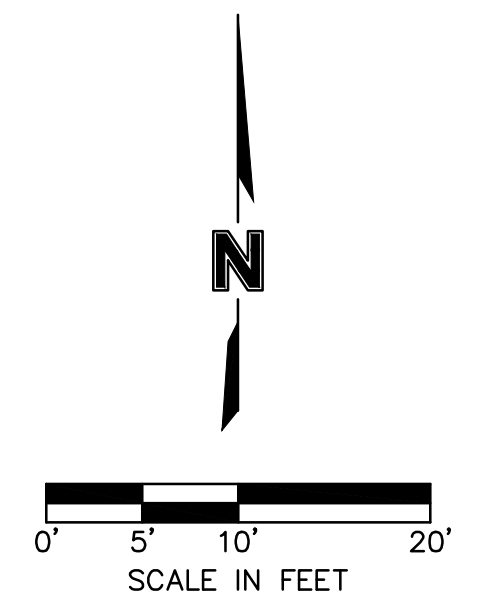
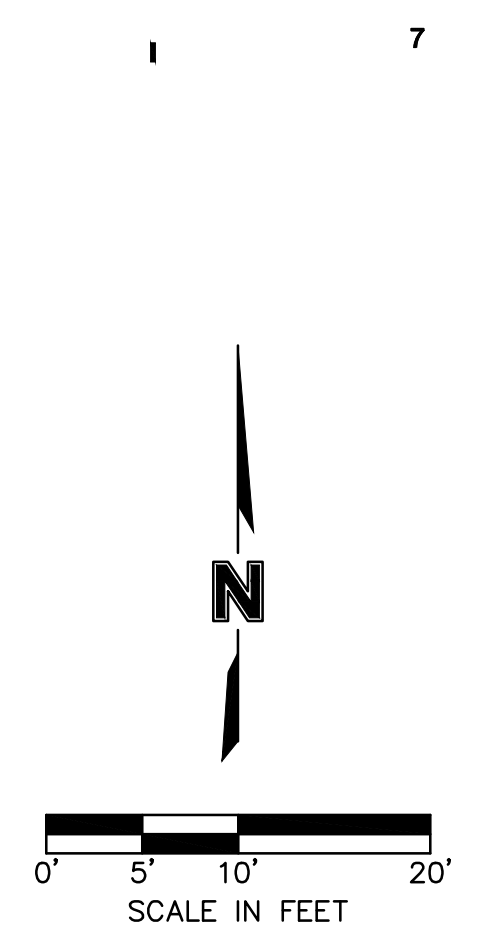
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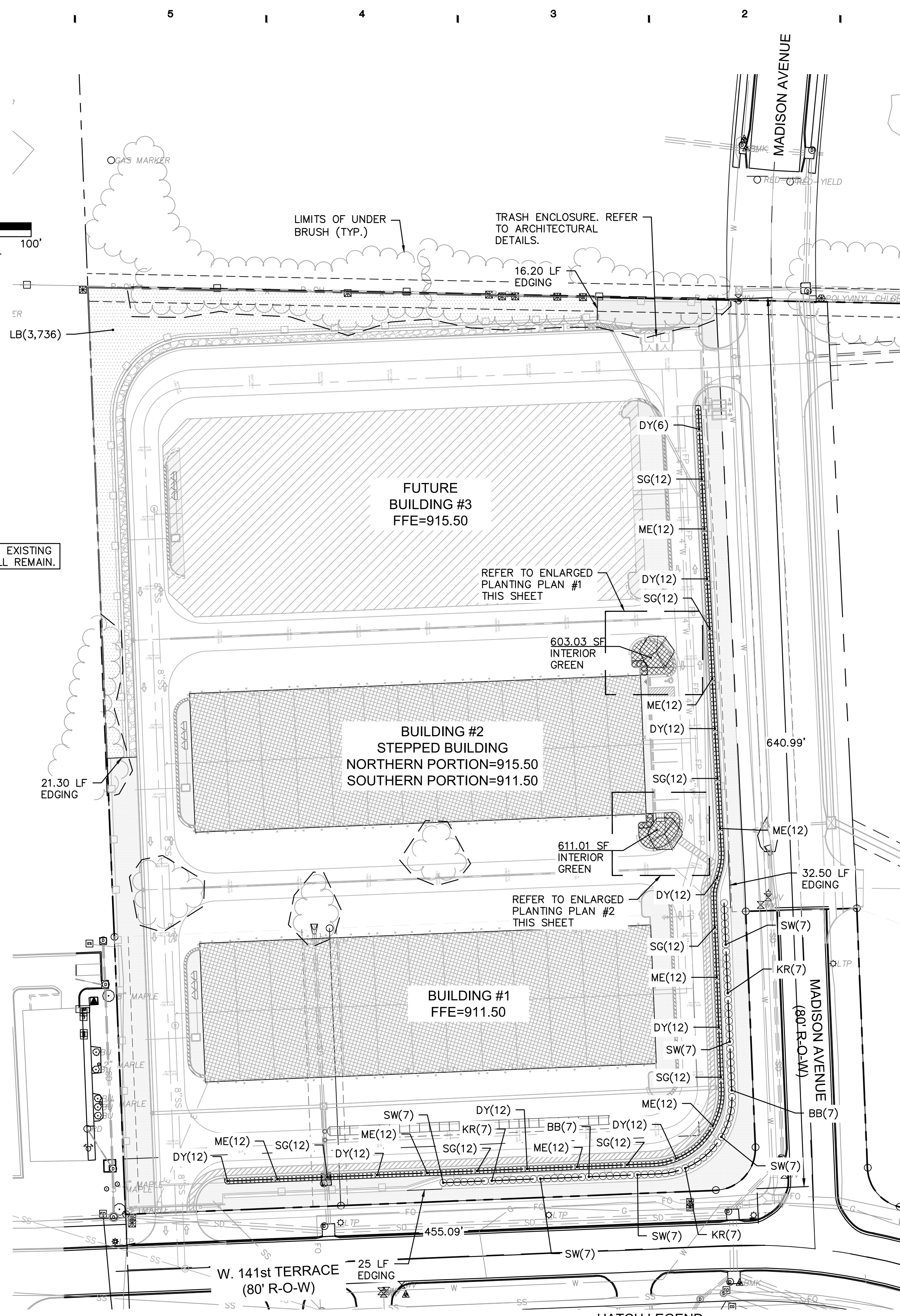
PLANTING DETAIL 1
SCALE: 1"=10'



PLANTING DETAIL 2
SCALE: 1"=10'



NOTE: NO EXISTING TREES WILL REMAIN.



HATCH LEGEND

- NATIVE GRASS-PLUGS
- TURF GRASS-HYDROSEED (TURF GRASS SOD IS ADDITIVE BID ALTERNATE)
- INTERIOR GREEN SPACE (FOR CODE CALCULATION ONLY)
- UNDER BRUSH TO BE REMOVED. REFER TO SITE DISTURBANCE SET.
- 4" DEPTH CLEAN GRAVEL (NO FINES) OVER DEWITT PRO V (OR APPROVED EQUAL) WEED BARRIER FABRIC INSTALLED BETWEEN CURB AND WALL.

IRRIGATION SYSTEM (ADDITIVE ALTERNATE BID ITEM)

REFER TO SPECIFICATIONS FOR IRRIGATION PERFORMANCE SPECIFICATION.

DEDICATED IRRIGATION METER AND TAP SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR (NOT THE IRRIGATION CONTRACTOR). PLUMBING CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY FOR THE INSTALLATION OF A 2" IRRIGATION WATER SERVICE WITH 2" DEDICATED IRRIGATION METER. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXPENSES AND FEES. THE REMAINDER OF THE SYSTEM, INCLUDING THE BACKFLOW PREVENTER, SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR INCLUDING RELATED EXPENSES AND FEES.

IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVING UNDER PAVING AREAS WHERE NECESSARY.

LANDSCAPE REQUIREMENTS

- Perimeter Green Required** - Minimum 10' strip along all Right-of-Way frontage. Minimum one tree per 30 LF of right-of-way frontage. Evergreen shrub hedge or retaining wall to create a solid screen.
- Perimeter Green Provided** - Madison Avenue (641 LF) 22 Trees and Wall. Refer to Street Plan set.
- Perimeter Green Provided** - W. 141st Terrace (455 LF) 16 Trees and Wall. Refer to Street Plan set.
- Street Trees Required** - 1 Street Tree per 30 LF of frontage.
- Madison Avenue Provided** - 641 LF frontage = 22 Street trees required and provided. Refer to Street Plan set.
- W. 141st Terrace Provided** - 455 LF frontage = 16 Street Trees required and provided. Refer to Street Plan set.
- Interior Parking Landscape Required** - 35 SF landscape area per each parking stall. 1 Tree per 5 parking stalls. 1 shrub per parking stall.
- Parking Count** = 10 parking stalls = 350 sf required. 2 Trees required. 10 shrubs required.
- 1,214.04 SF provided**, interior landscape islands and 2 trees and 10 shrubs.
- Storage Use Screening from Public Streets**
Required and provided - A continuous row of evergreen shrubs, to form a continuous visual screen, at least 3' in height after the first growing season.
- Fencing along top of wall within the M District may be either vinyl coated chain, or wrought iron, or other similar decorative metal fencing.

LANDSCAPE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL SAMPLING AND TESTING TO DETERMINE EXACT FERTILIZER REQUIREMENTS.
2. INSTALL WOVEN BLACK LANDSCAPE WEED BARRIER FABRIC (DEWITT 20 YEAR, 4.1 OZ. WOVEN WEED BARRIER FABRIC OR EQUAL) IN ALL PLANTING BEDS BENEATH GRAVEL MULCH. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
3. LANDSCAPE CONTRACTOR SHALL PROVIDE UNIT COSTS AND POSSIBLE ALTERNATES FOR PLANT MATERIAL TO THE LANDSCAPE ARCHITECT.
4. KILL AND REMOVE ALL EXISTING WEEDS FROM THE SITE AREA PRIOR TO PLANTING.
5. THE ENTIRE SURFACE TO BE PLANTED OR TURF SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
6. ALL DISTURBED AREAS OF THE SITE, EXCLUDING SHRUBBED AREAS, SHALL BE LAWN.
7. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AND TURF AREAS UNTIL TOTAL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT AND OWNER.
8. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
9. CONTRACTOR SHALL REFER TO ADDITIONAL NOTES ON THE FOLLOWING SHEETS.

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
Trees					
2	RB	<i>Cercis canadensis</i>	Eastern Redbud	1.5" Caliper	x
Evergreen Shrubs					
102	DY	<i>Taxus x media 'Densiformis'</i>	Densiformis Yew	5 Gallon	min. 30" ht. installed after pruning
96	ME	<i>Euonymus kiautschovicus 'Manhattan'</i>	Manhattan Euonymus	5 Gallon	min. 30" ht. installed after pruning
106	SG	<i>Juniperus x pfitzeriana 'Sea Green'</i>	Sea Green Juniper	5 Gallon	min. 30" ht. installed after pruning
Native Grass					
3,736	LB	<i>Schizachyrium scoparium</i>	Little Bluestem	Plugs	24" o.c.
Other Shrubs and Ornamental Grass					
14	BB	<i>Euonymus alatus 'Rudy Haag'</i>	Dwarf Rudy Haag Burning Bush	3 Gallon	
21	KR	<i>Rosa x 'Radtko'</i>	Double Knock-out Rose	3 Gallon	
42	SW	<i>Panicum virgatum</i>	Switch Grass	3 Gallon	

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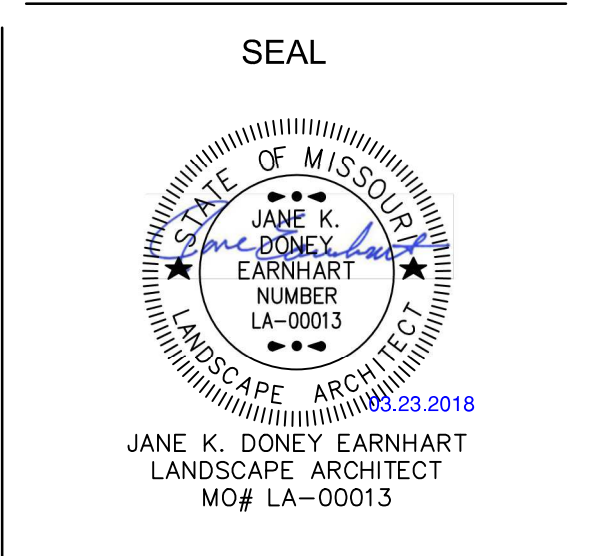


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Molsson Associates Engineering MO State Cert. of Authority #001982
Missouri State Cert. of Authority #00002085
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St. Louis, MO 63102
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LANDSCAPE PLAN

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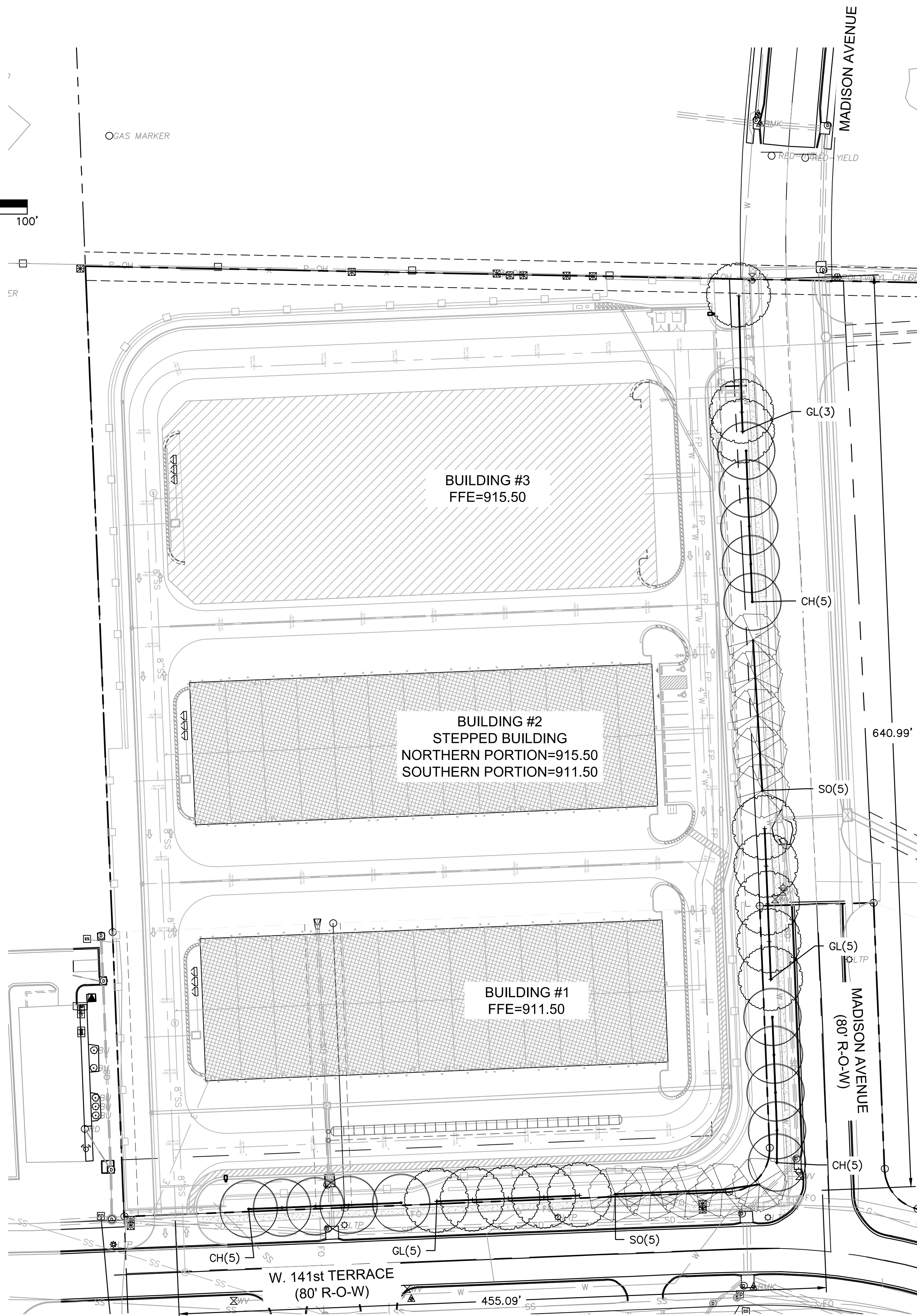
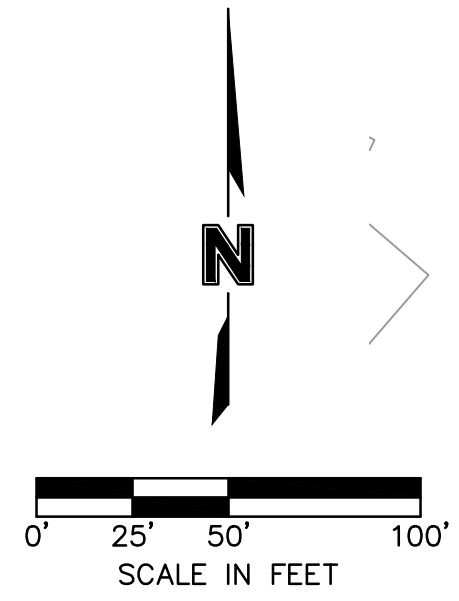
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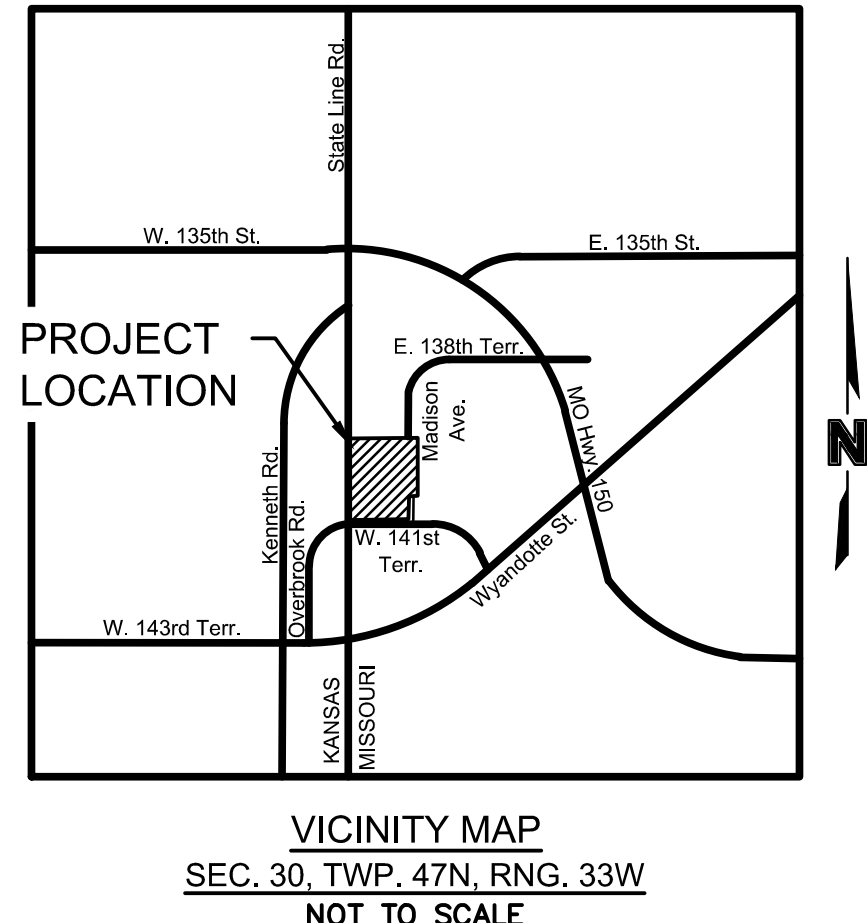
LANDSCAPE REQUIREMENTS	
Street Tree Requirements	
1 Street Tree/30' L.F. Street Frontage	
Madison Avenue: 641 L.F. Frontage	
22 Trees Required	
22 Trees Provided	
W. 141st Terrace: 455 L.F. Frontage	
16 Trees Required	
16 Trees Provided	

Planting Date: To Be Determined

PLANT LIST					
QTY.	Symbol	Common/Scientific Name	Abbrev.	Size	Notes
SHADE TREES					
13		Glenleven Linden <i>Tilia cordata 'Glenleven'</i>	GL	2" Cal	Nursery grown, balled & burlapped, limbed up to 6', vigorous and superior in form, branches, compactness, 4 symmetry.
15		Columnar Hornbeam <i>Carpinus betulus pyramidalis 'Fastigiata'</i>	CH	2" Cal	Nursery grown, balled & burlapped, limbed up to 6', vigorous and superior in form, branches, compactness, 4 symmetry.
10		Shingle Oak <i>Quercus imbricaria</i>	SO	2" Cal	Nursery grown, balled & burlapped, limbed up to 6', vigorous and superior in form, branches, compactness, 4 symmetry.



LEGEND	
	PROPERTY LINES
	LOT LINES
	ROAD CENTERLINE
	EASEMENT LINES
	SETBACK LINES
	EXIST. OVERHEAD ELECTRIC
	EXIST. UNDERGROUND ELECTRIC
	EXIST. UNDERGROUND TELEPHONE
	EXIST. UNDERGROUND FIBER OPTIC
	EXIST. GAS LINE
	EXIST. STORM SEWER LINE
	PROP. PUBLIC SANITARY SEWER MAIN
	PROP. SANITARY SEWER SERVICE
	PROP. STORM SEWER LINE
	PROP. UNDERGROUND ELECTRIC
	PROP. WATER MAIN
	PROP. IRRIGATION LINE
	PROP. WATER SERVICE
	PROP. FIRE PROTECTION LINE
	PROP. FENCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	KCMO TYPE CG-1 "DRY" CURB
	KCMO TYPE CG-1 "STANDARD" CURB
	BACK OF CURB TO BACK OF CURB



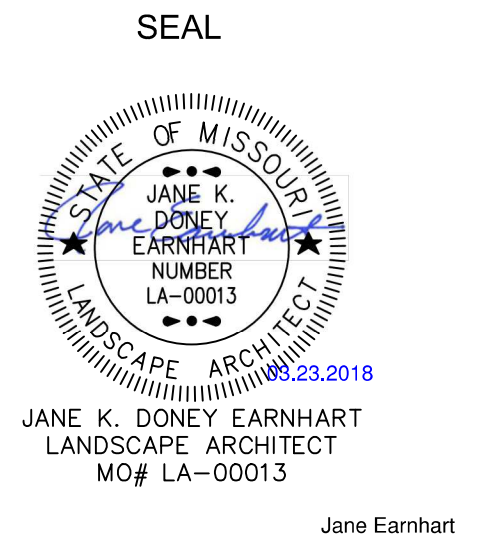
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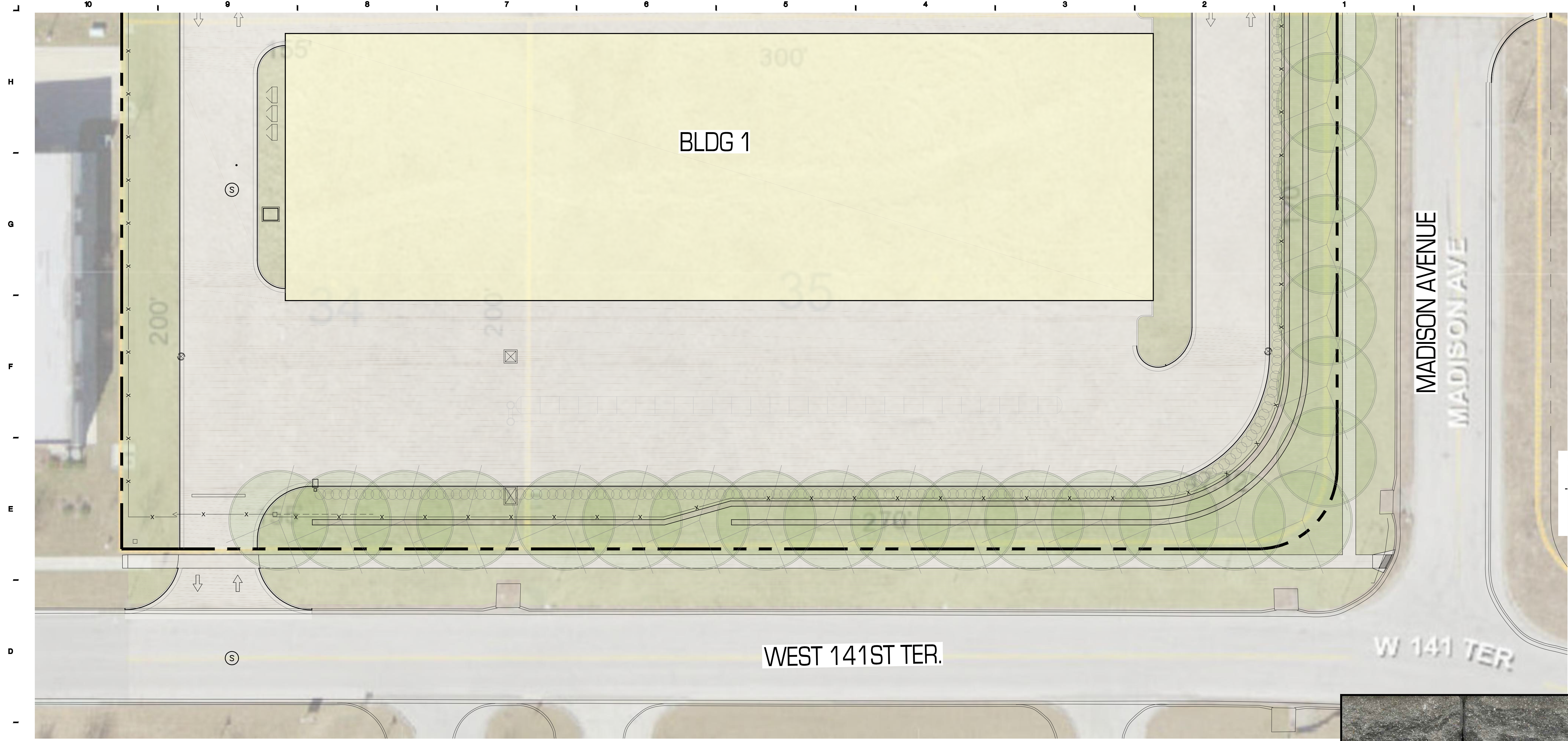
LANDSCAPE PLAN
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STREET ELEVATION AT WEST 141ST TER.



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MO. LICENSE NO. A-6972



3/26/2018
STREET
ELEVATION

ISSUE DATE:
2018 MARCH 23
REVISIONS:

PROJECT NO.: 1729

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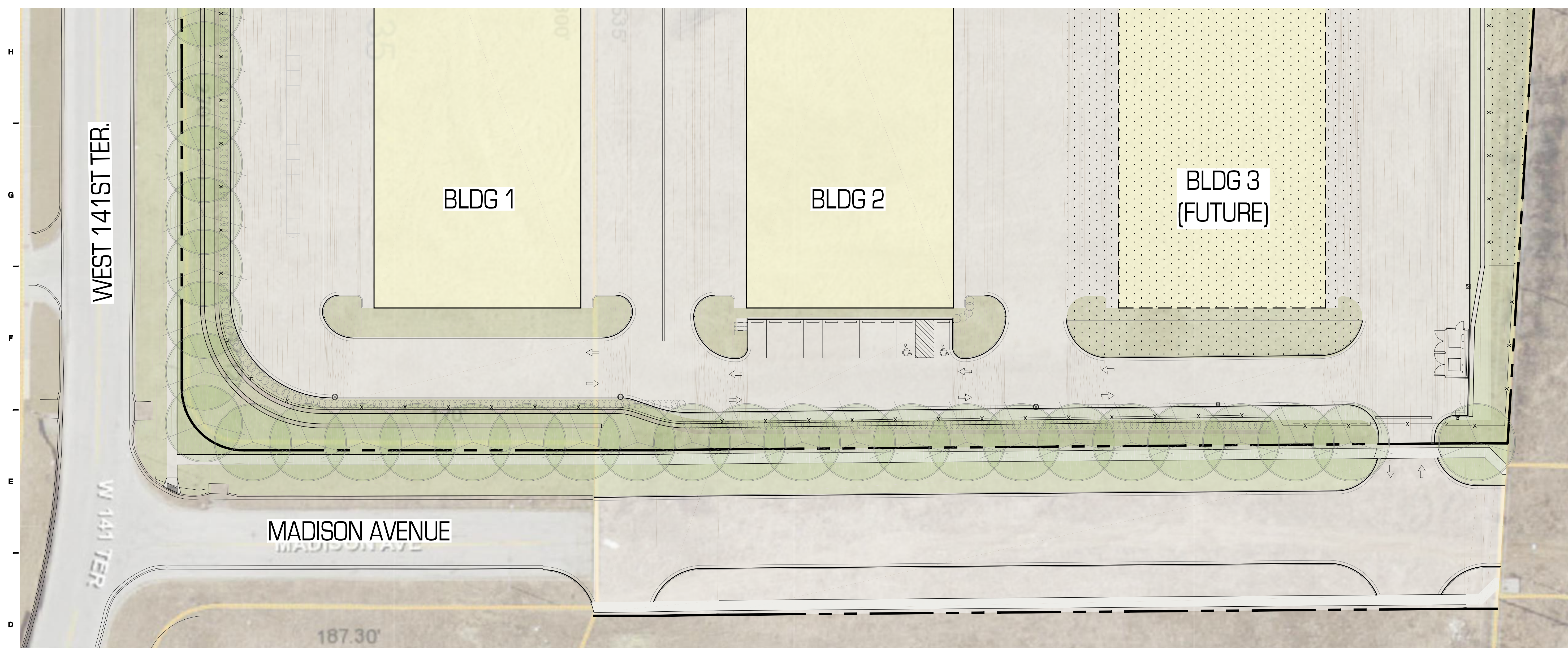
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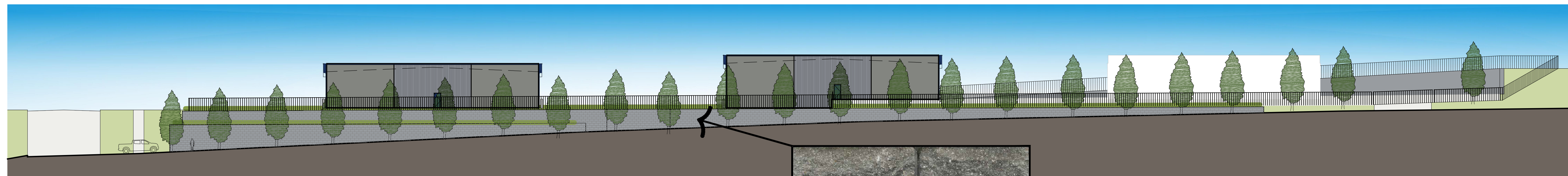
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**STREET
ELEVATION**

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Concrete Block
Charcoal Blend

STREET ELEVATION AT MADISON AVE.

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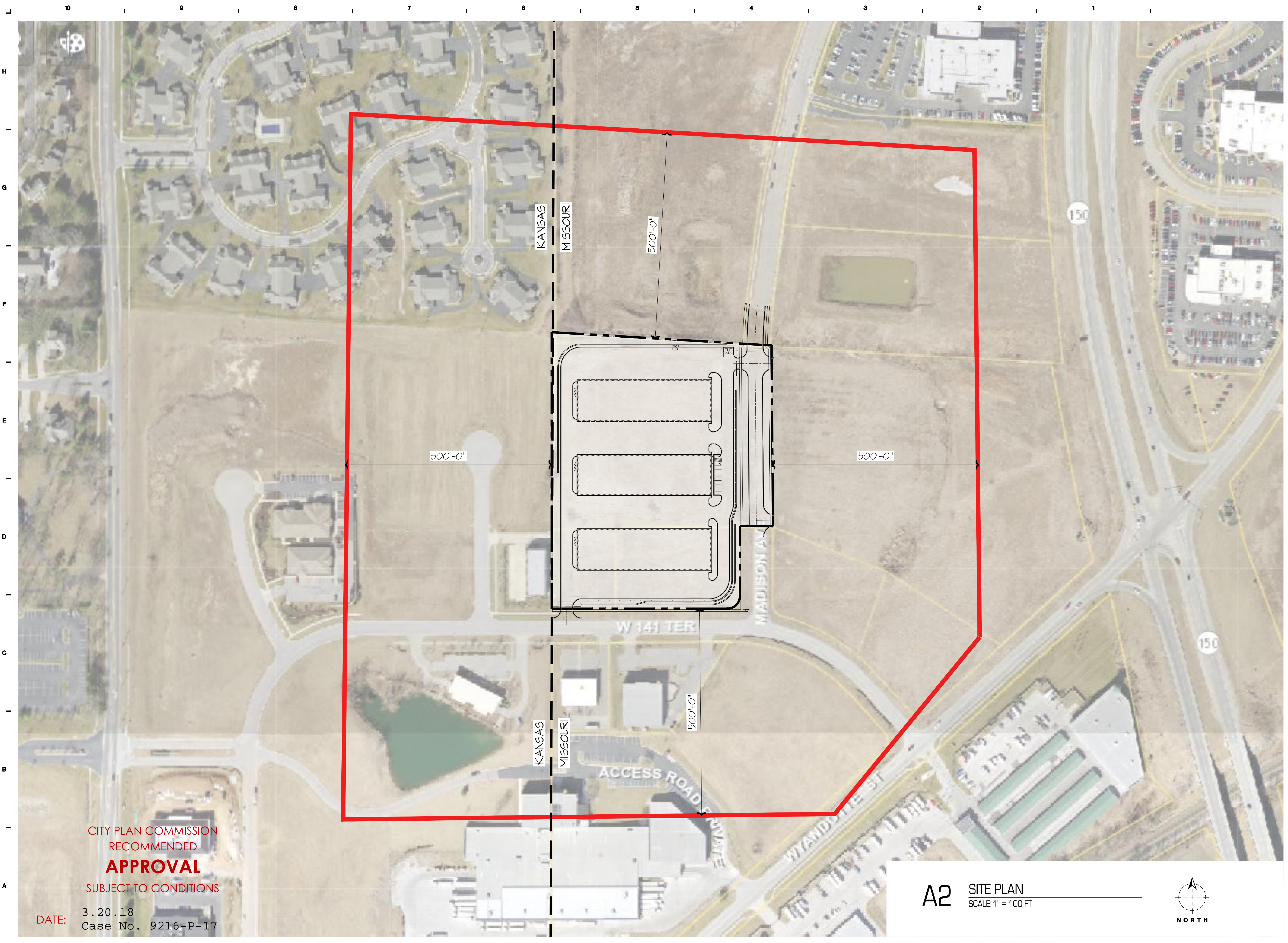
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A2 SITE PLAN
SCALE: 1" = 100 FT



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500FT
SITE PLAN

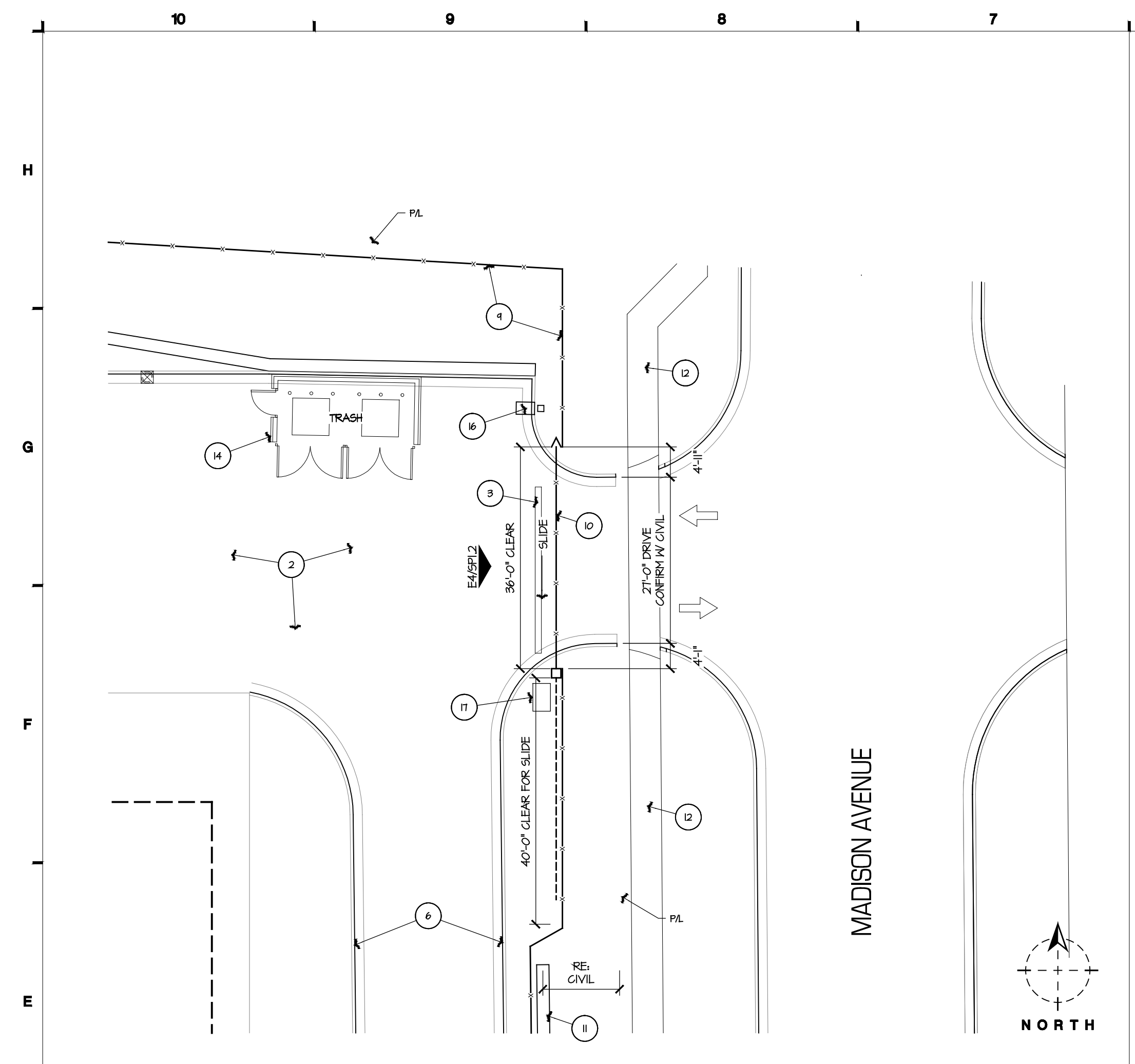
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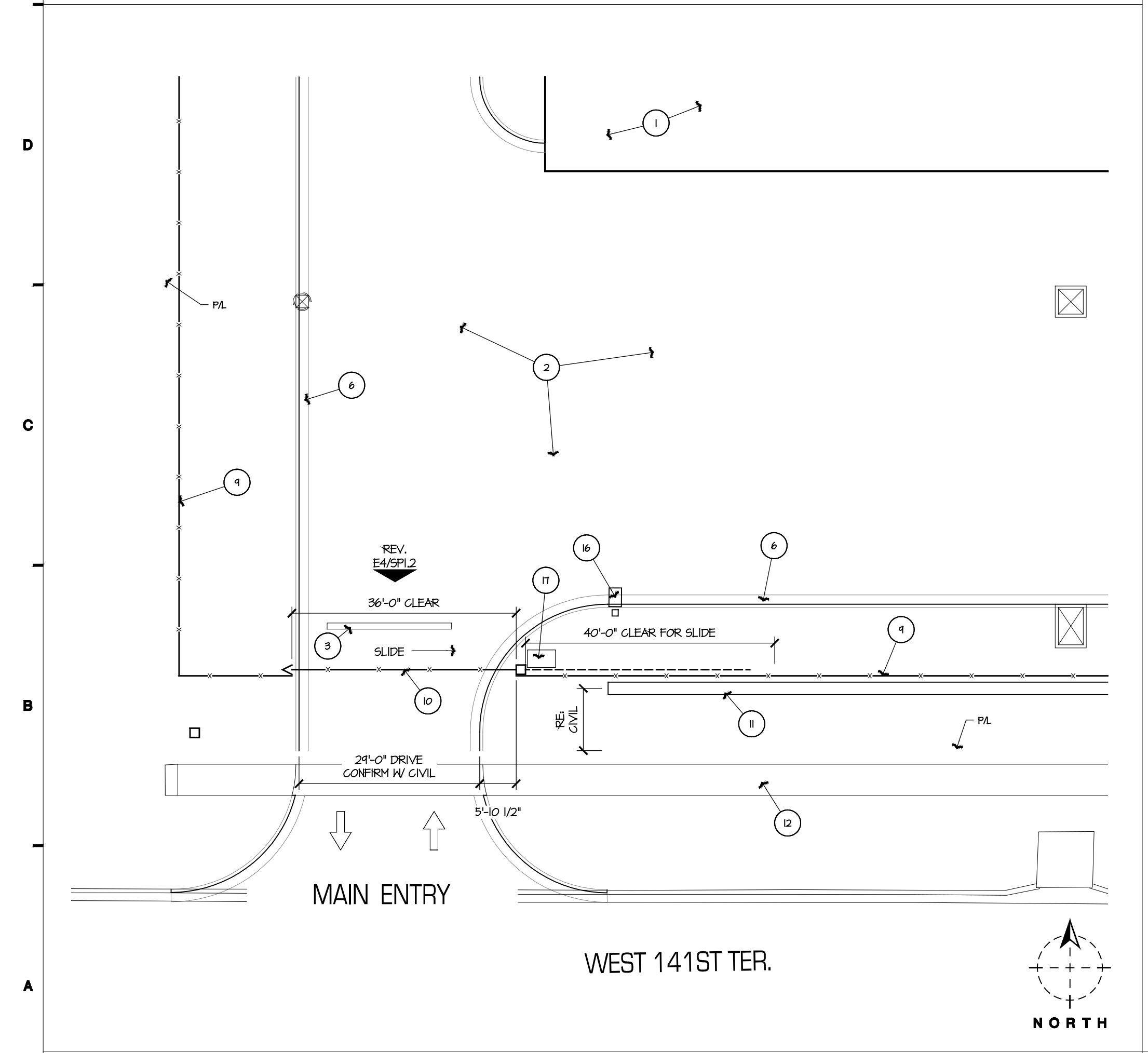
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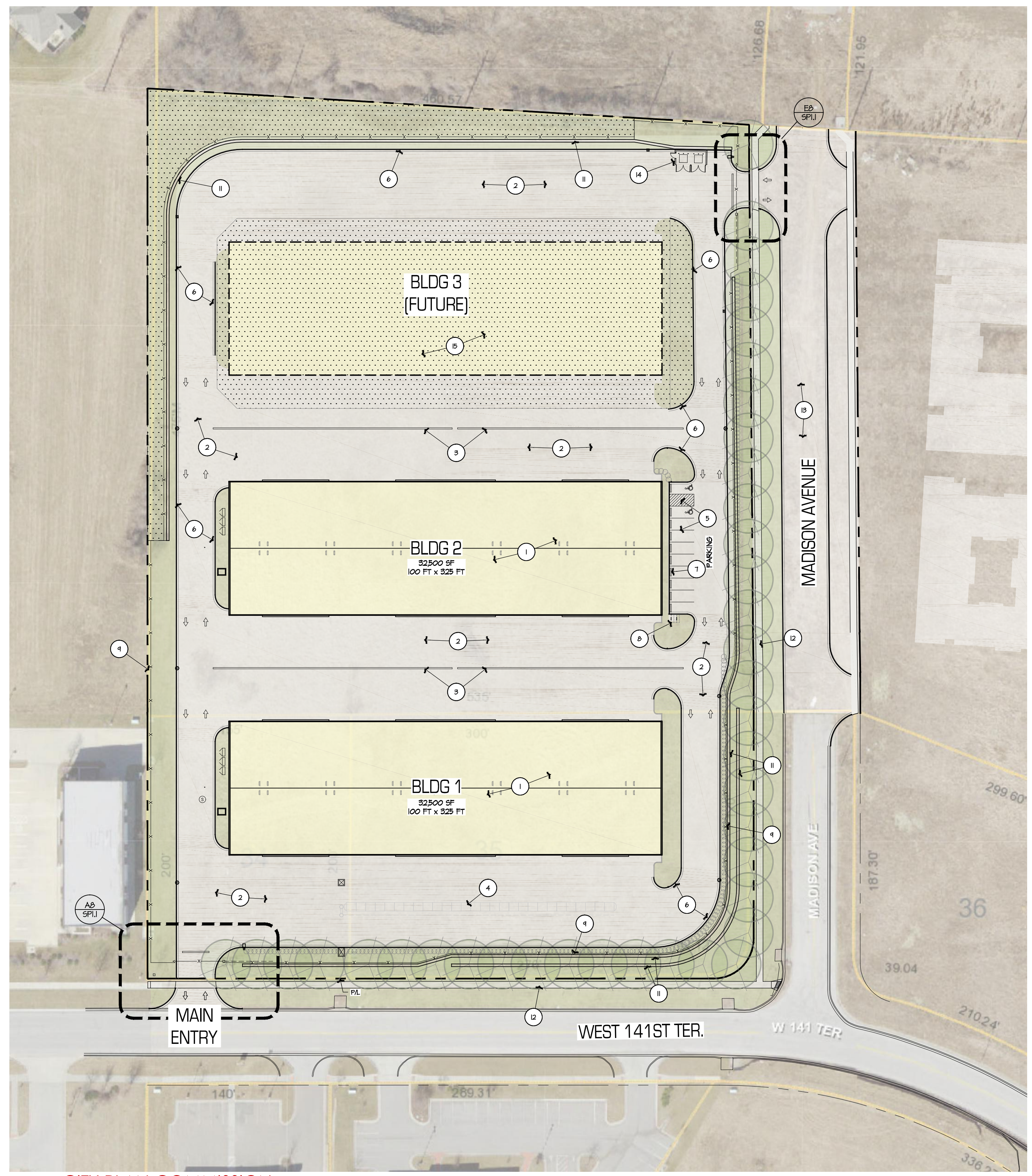
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E8 ENLARGED VEHICULAR GATE PLAN
 SCALE: 1/16" = 1'-0"



A8 ENLARGED VEHICULAR GATE PLAN
 SCALE: 1/16" = 1'-0"



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A5 SITE PLAN
 SCALE: 1" = 50 FT

KEYNOTES

1. PRE-ENGINEERED BUILDING AS MFG. BY STAR BUILDING SYSTEMS. 1044H.
2. ASPHALT PAVING. REFER TO CIVIL.
3. TRENCH DRAIN. REFER TO CIVIL.
4. BELOW GRADE STORM WATER DETENTION. REFER TO CIVIL.
5. STRIPPING. REFER TO CIVIL.
6. CONCRETE CURB & GUTTER. REFER TO CIVIL.
7. CONCRETE WHEEL STOP. REFER TO CIVIL.
8. INVERTED U BIKE RACK, GALVANIZED STEEL FINISH, IN-GROUND MOUNT PER MANUFACTURER RECOMMENDATIONS. RACK DESIGN TO ALLOW BIKE FRAME & WHEELS TO BE LOCKED WITH STANDARD U-LOCK. DASHED LINES INDICATE A TOTAL OF 9 (27x8) BIKE PARKING SPACES.
9. 6'-0" TALL DECORATIVE METAL FENCE. 3231H.
10. SLIDING GATE WITH SIREN SENSOR FOR EMERGENCY OPERATION. 3231H.
11. MODULAR BLOCK RETAINING WALL. REFER TO CIVIL.
12. CONCRETE SIDEWALK. REFER TO CIVIL.
13. ASPHALT PAVING FOR STREET EXTENSION. REFER TO CIVIL.
14. CMU TRASH ENCLOSURE. REFER TO A4/SP1.2.
15. PAD FOR FUTURE BUILDING. REFER TO CIVIL AND MEP FOR UTILITY ROUGH-IN & GRADE PREPARATION.
16. POLE LIGHT. REFER TO ELECTRICAL.
17. GATE OPERATOR & HOUSING SIZED PER GATE/FENCE MFG. RECOMMENDATIONS. OPERATOR SHALL BE MOUNTED PER MFG. RECOMMENDATIONS. CONTRACTOR TO PROVIDE ALLOWANCE FOR 3 FT X 3 FT X 4" THICK CONCRETE PAD TO MOUNT/ANCHOR OPERATOR.



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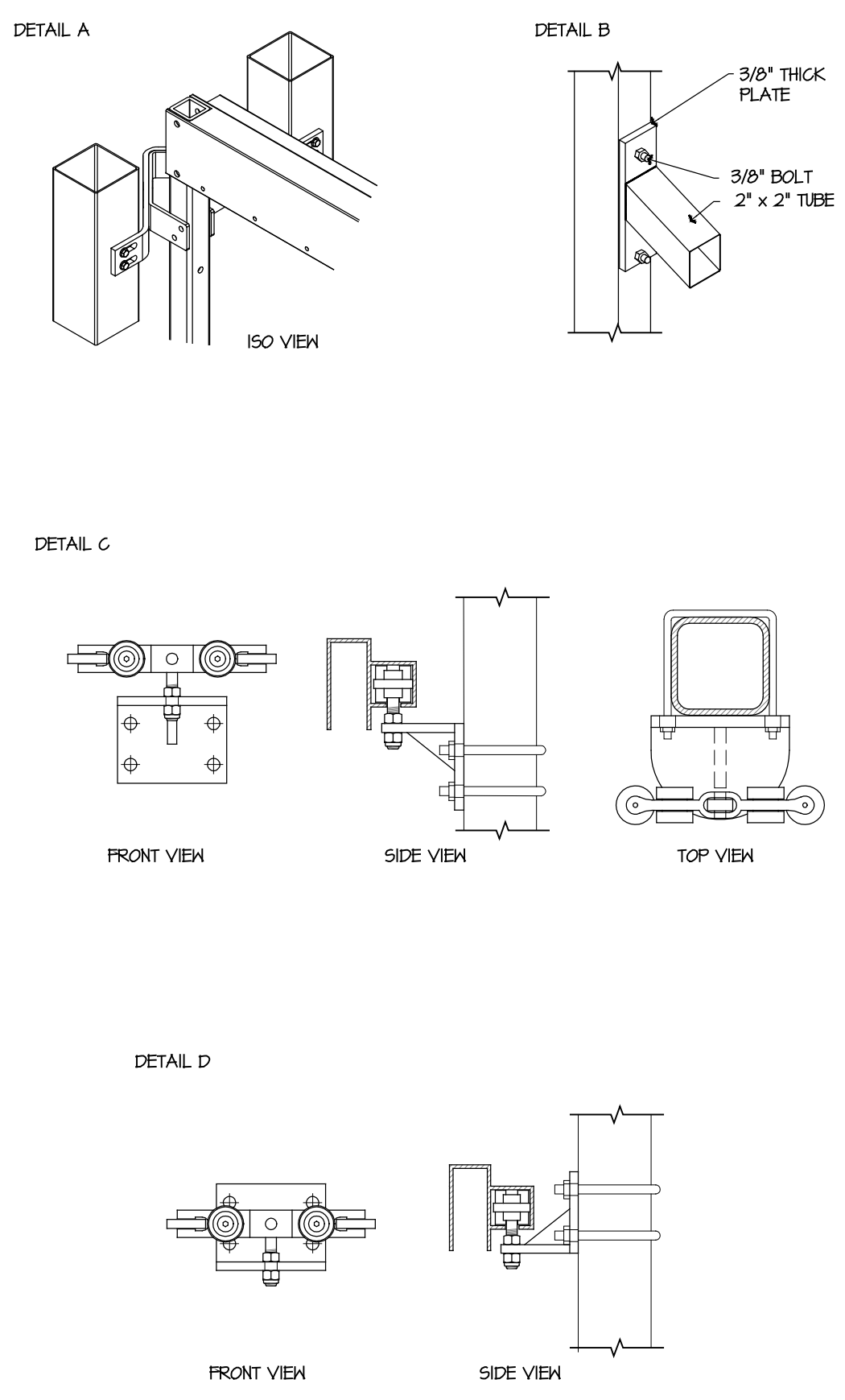
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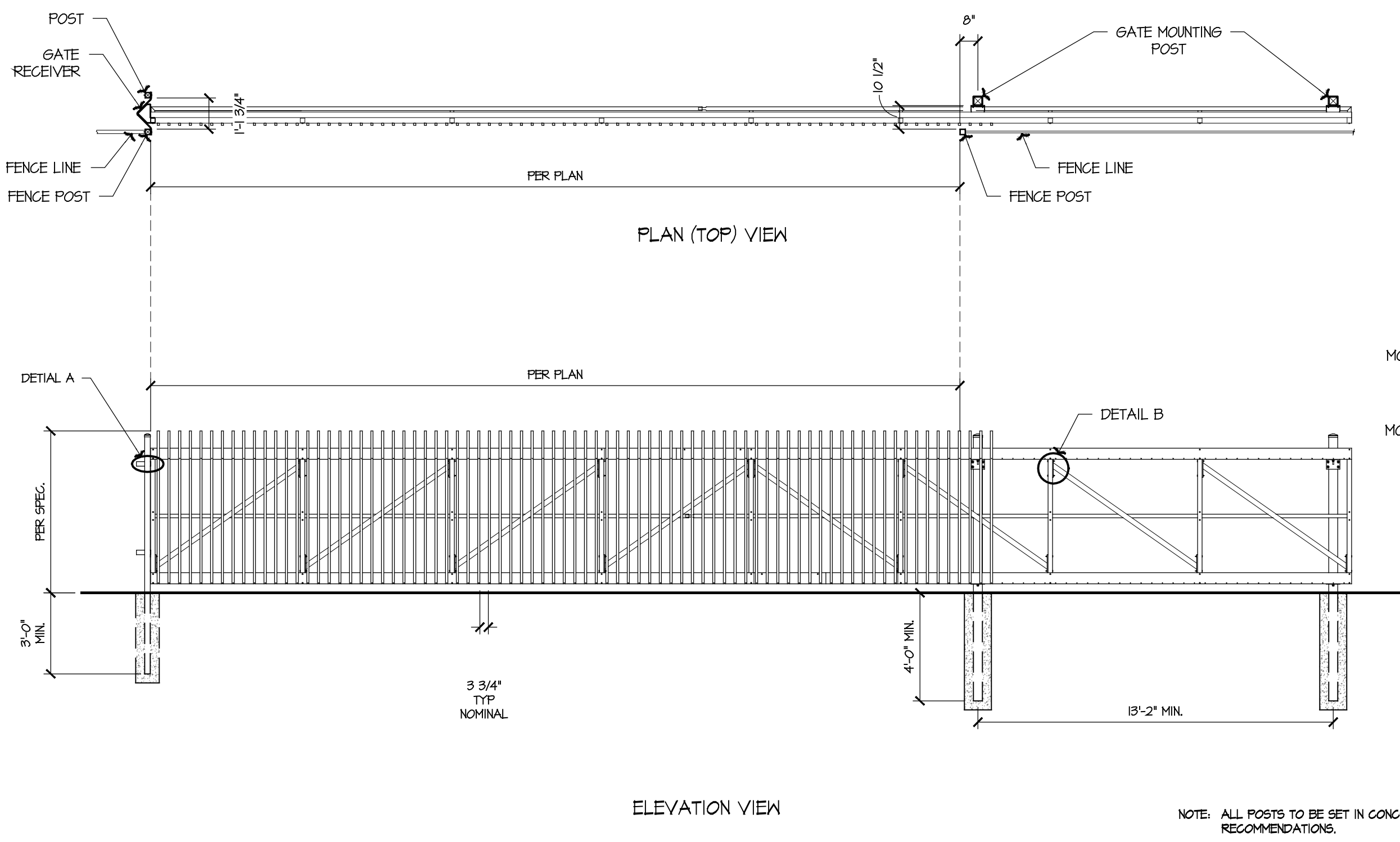
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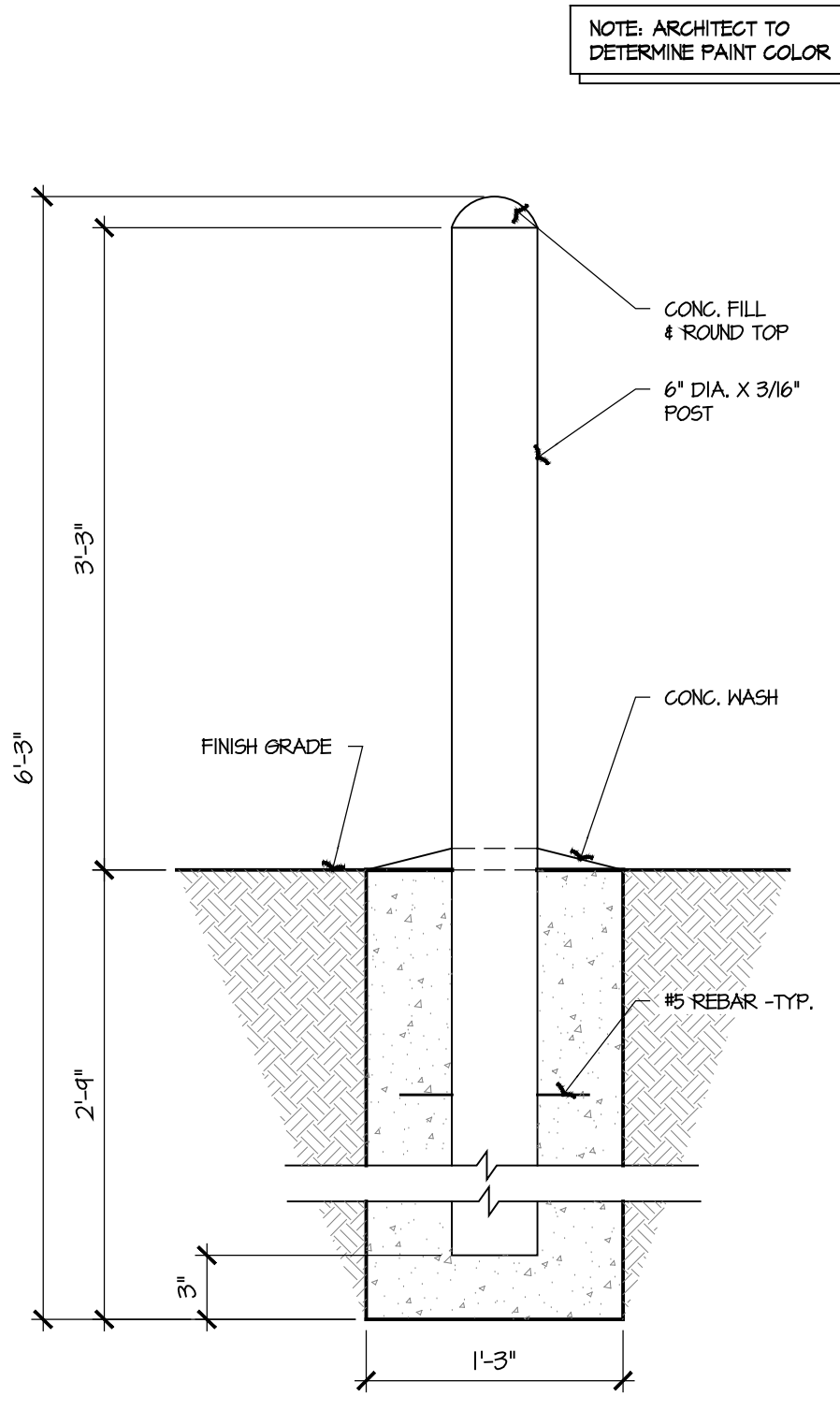
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E10 VEHICULAR GATE DETAILS
SCALE: NONE



E4 VEHICULAR GATE PLAN & ELEVATION
SCALE: 1/4" = 1'-0"



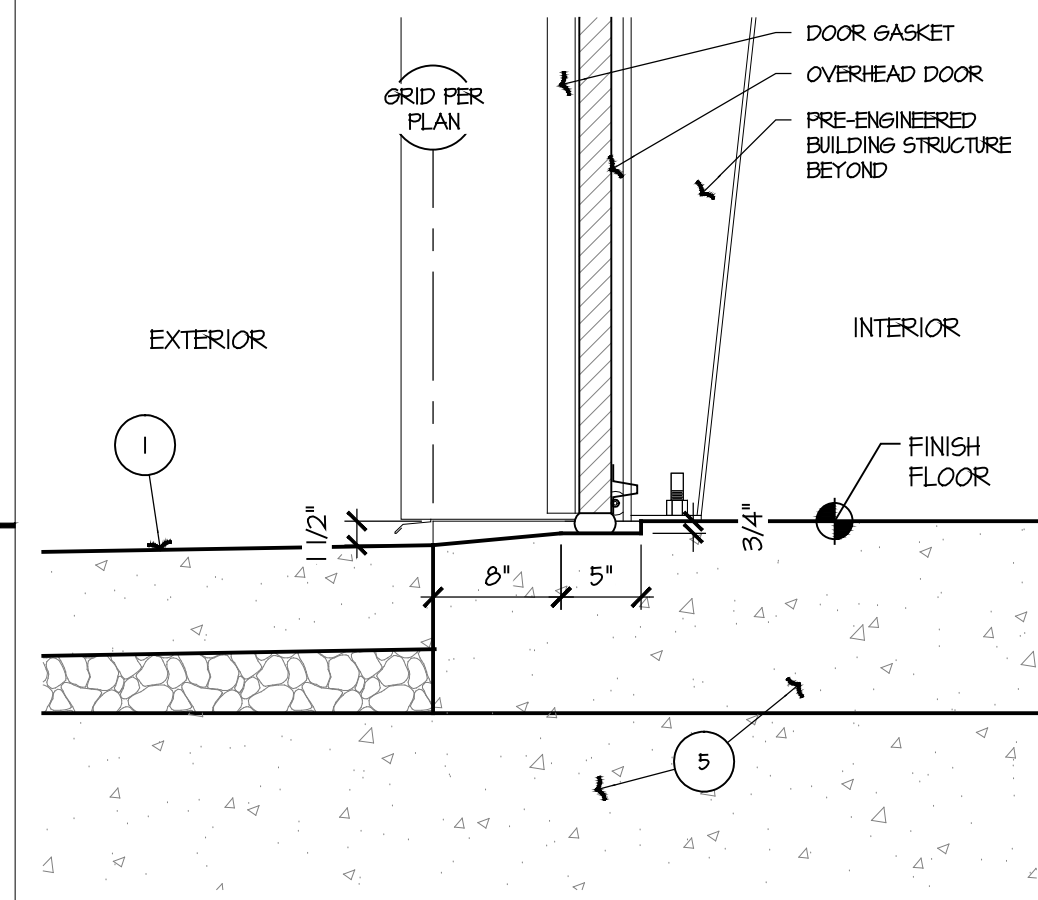
E2 BOLLARD DETAIL
SCALE: 1" = 1'-0"

KEYNOTES

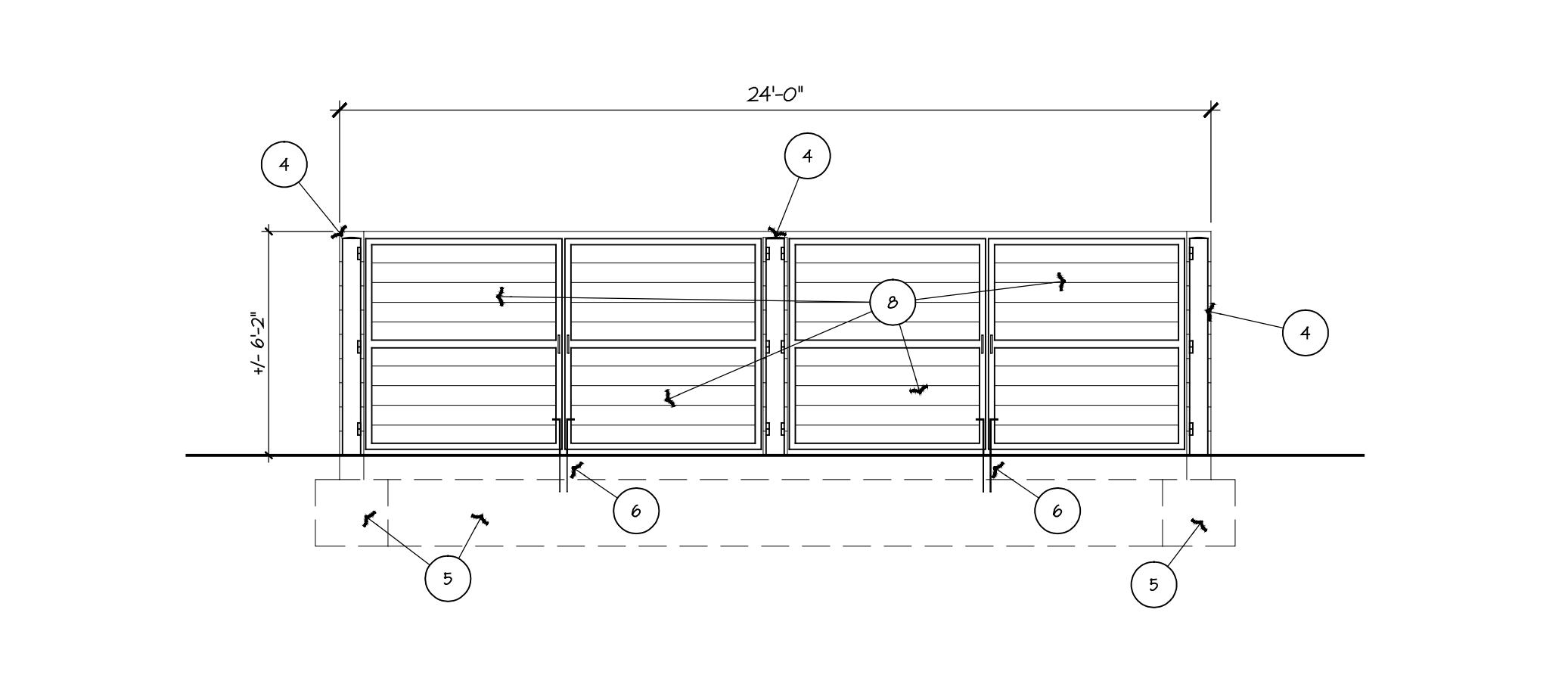
1. ASPHALT PAVING. REFER TO CIVIL.
2. CONCRETE PAVEMENT. SLOPE PER PLAN. REFER TO CIVIL.
3. CONCRETE BLOCK DUMPSTER ENCLOSURE.
4. CONCRETE FILLED 6" SQUARE STEEL TUBE GATE POST. COORDINATE WITH GATE MANUFACTURER FOR GATE HINGE REQUIREMENTS. EMBED 3'-0" MIN. INTO CONCRETE. PAINT.
5. CONCRETE FOOTING. REFER TO STRUCTURAL.
6. 16" TALL CANE BOLT W/ PIPE SLEEVES IN PAVEMENT. PROVIDE 2 HOLES IN PAVEMENT PER GATE, 1 EA. AT OPEN AND CLOSED POSITION. PAINT.
7. PREFINISHED 4" TALL SHEET METAL CAP AS MANUFACTURED BY FIRESTONE OR APPROVED EQUAL.
8. HEAVY DUTY EXTRUDED ALUMINUM FRAME, PREFINISHED, GATES W/ SCREENING PANELS, MATCH HEIGHT OF CONC. BLOCK TRASH ENCLOSURE. COVRT SCREENING SYSTEM BY CITYSCAPES INC. OR EQUAL, MISSION STYLE & GLAY COLOR TO MATCH CONCRETE BLOCK.
9. 6" DIA. CONCRETE FILLED STEEL BOLLARD AT 4'-0" TALL. PAINT SAFETY YELLOW. EMBED 3'-0" MIN. INTO CONCRETE. REFER TO DETAIL E2/SP1.2.

NOTE: ARCHITECT TO DETERMINE PAINT COLOR

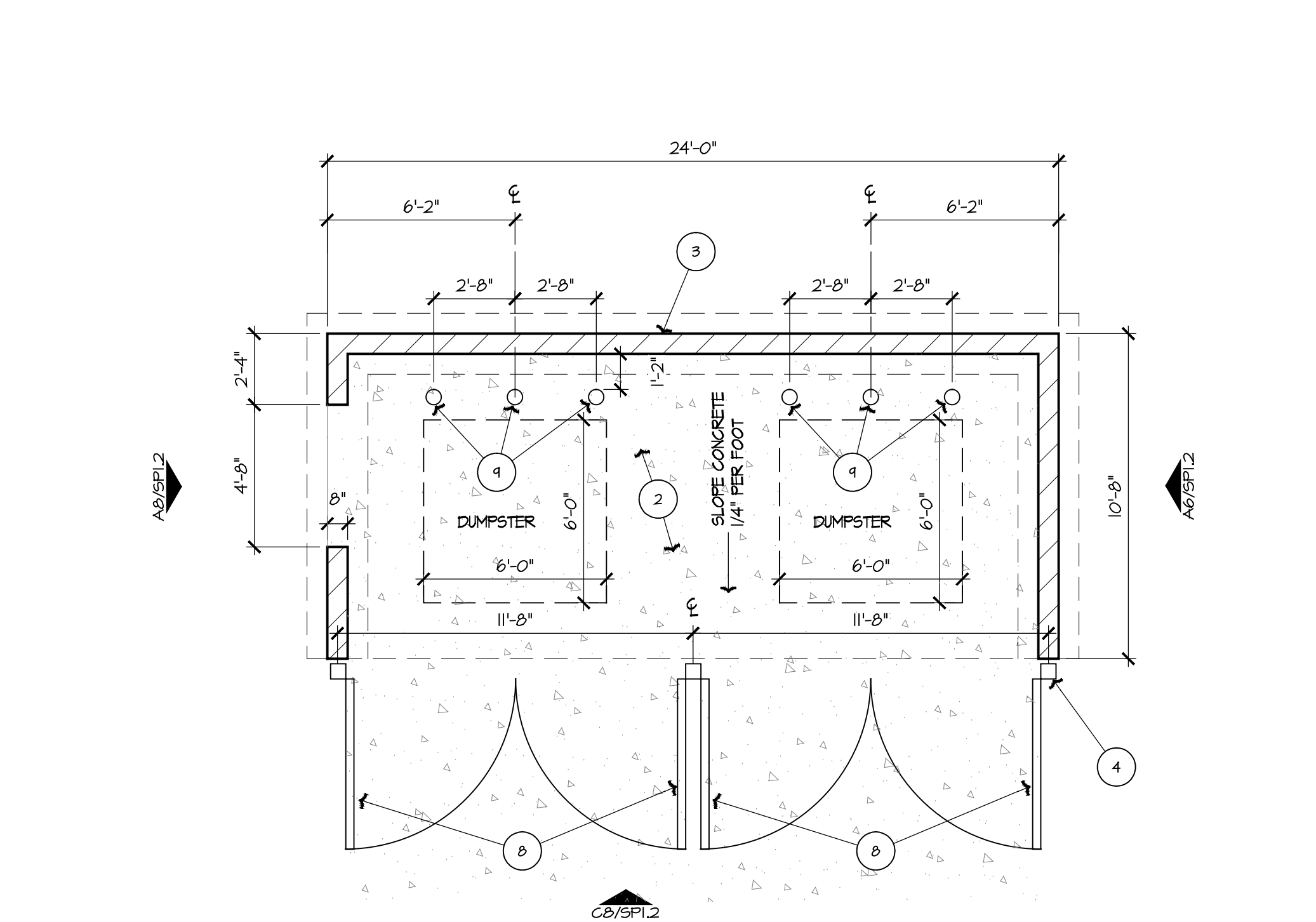
NOTE: ALL POSTS TO BE SET IN CONCRETE PER MANUFACTURER'S RECOMMENDATIONS.



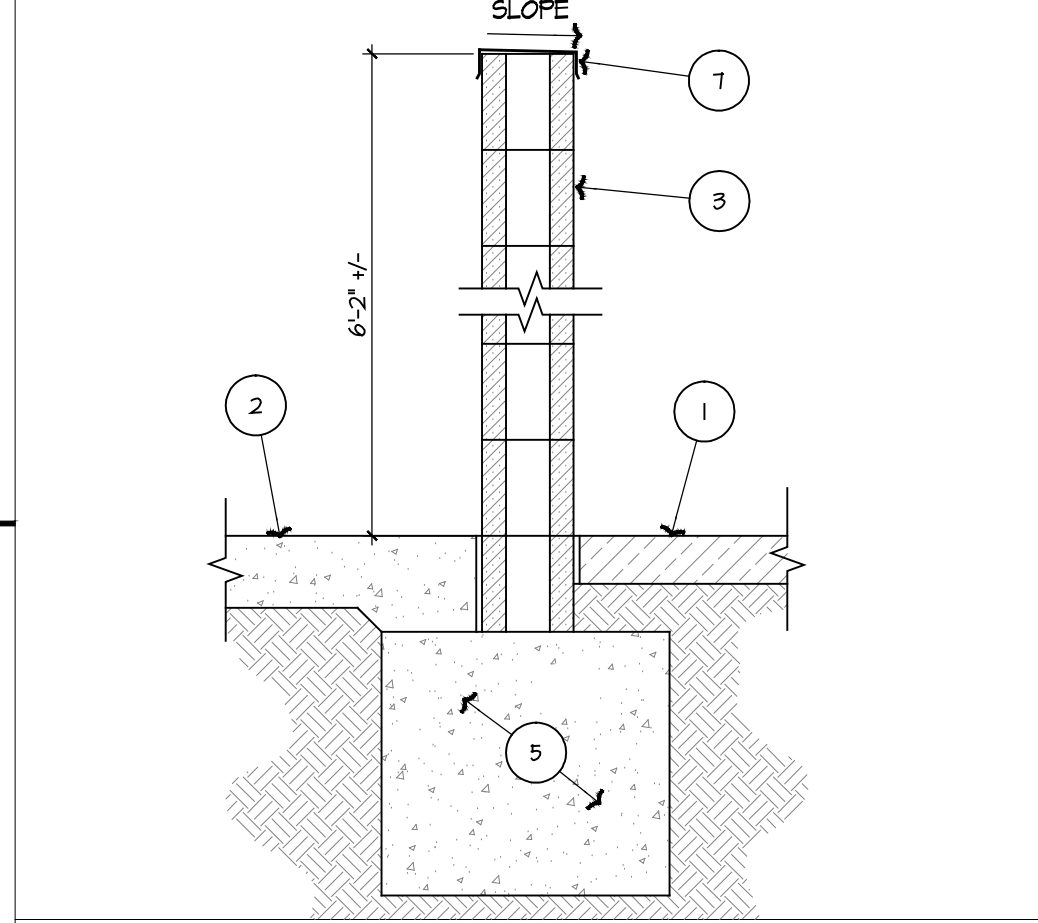
C10 TYPICAL AT EXT OVERHEAD DOOR
SCALE: 1" = 1'-0"



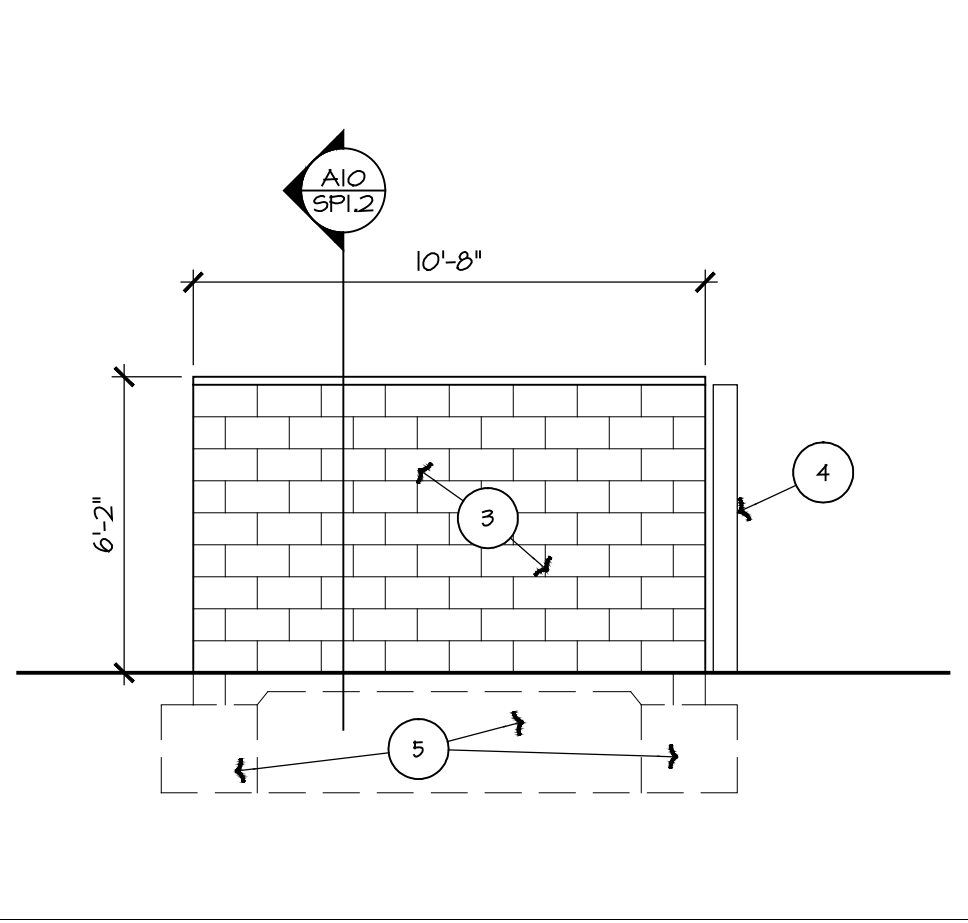
C8 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



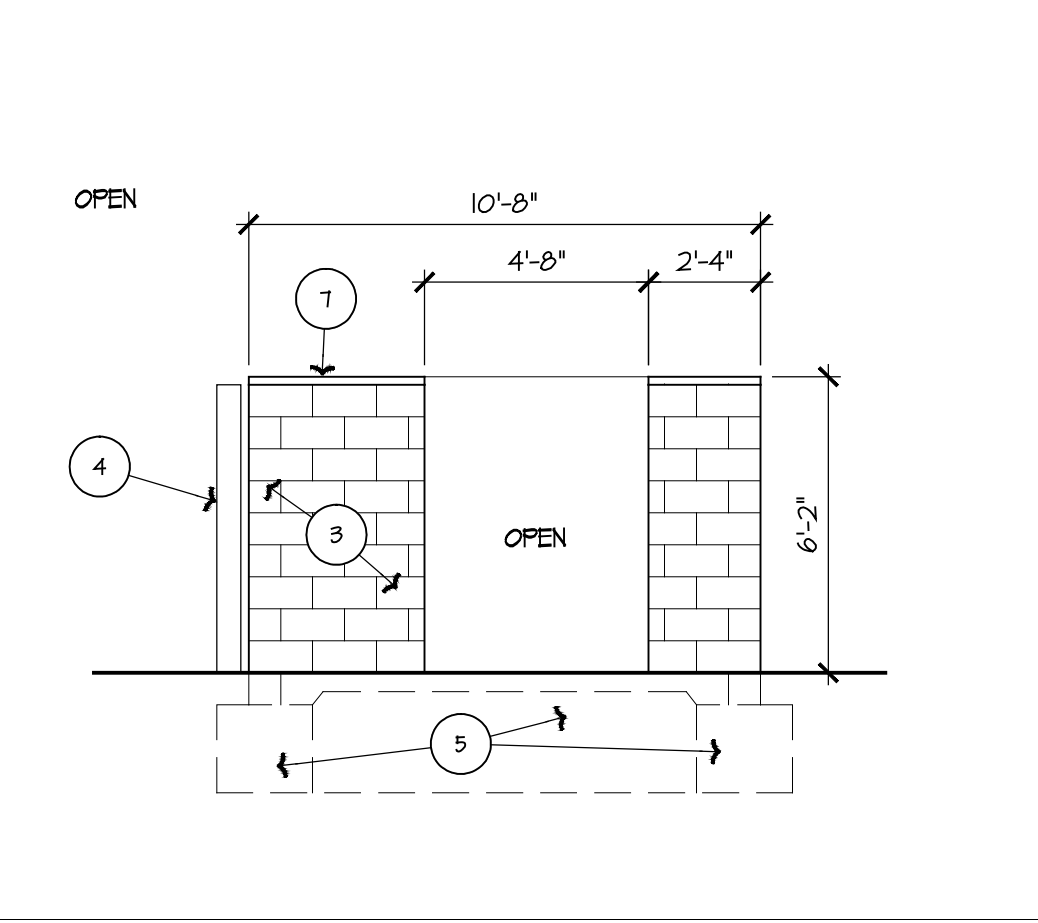
A4 TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



A10 TRASH ENCLOSURE SECTION
SCALE: 1" = 1'-0"



A8 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



A6 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"

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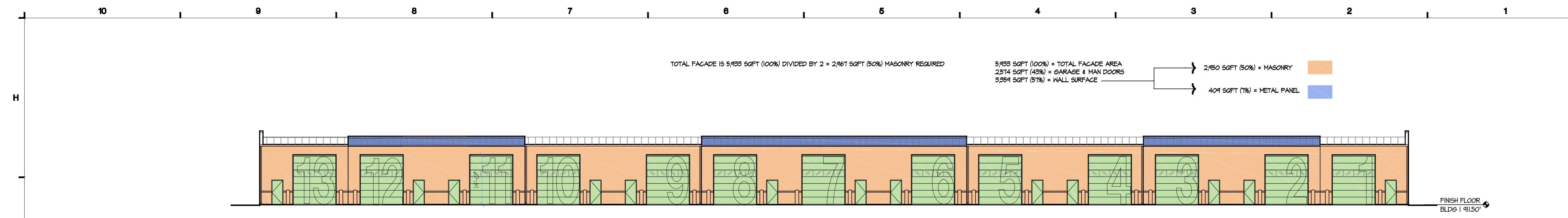
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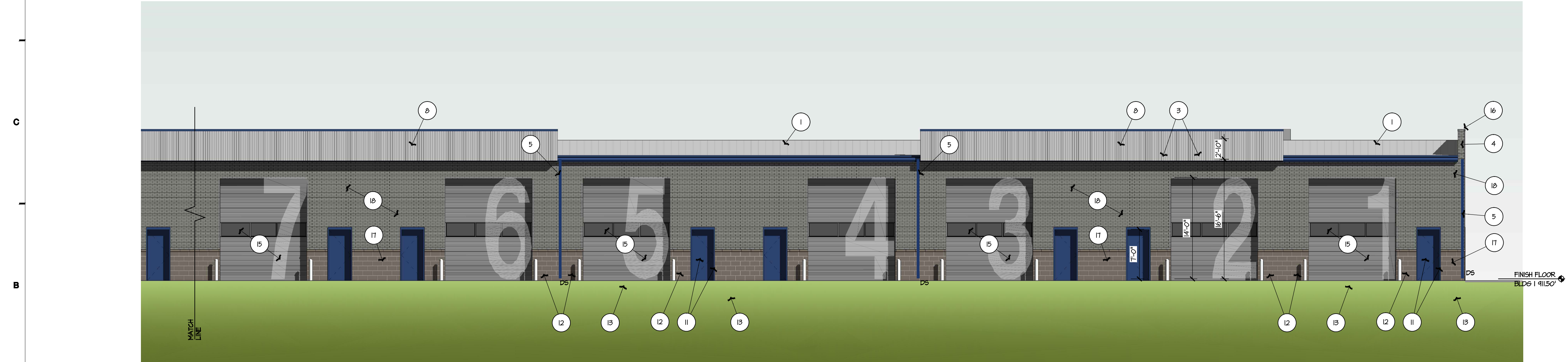
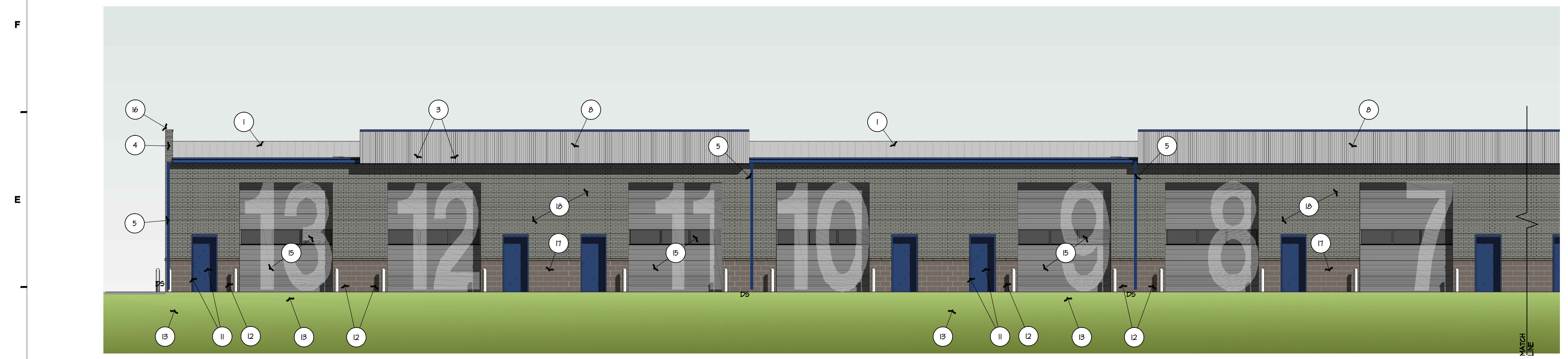
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Mar 27, 2018 11:06am

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 Mar 27, 2018 11:10am



G2 SOUTH ELEVATION BLDG 1
 SCALE: 1/16" = 1'-0"



A2 ENLARGED SOUTH ELEVATION BLDG 1
 SCALE: 1/8" = 1'-0"

KEYNOTES

1. DOUBLE-LOCK TRAPEZOIDAL 24 GAUGE STANDING SEAM ROOF PANEL, SMOOTH FINISH WITH GALVALUME PLUS COATING OVER R50 INSULATION. 133419
2. GUTTER, CLASSIC PROFILE. COLOR TO BE HARBOR BLUE. 133419
3. CONCEALED GUTTER BEHIND PROJECTING FACADE PARAPET. 133419
4. END WALL PARAPET. 133419
5. 4" X5" PREFINISHED ROLL FORMED DOWNSPOUT. COLOR TO BE HARBOR BLUE. 133419
6. DESIGNER SERIES 120 FLAT PANEL STUCCO EMBOSSED FINISH WITH SIGNATURE 300 KYMAR COATING. COLOR TO BE SLATE GRAY. 133419
7. NOT USED.
8. 26 GAUGE 1.2 CORRUGATED PANEL, SMOOTH FINISH WITH GALVALUME PLUS COATING. 133419
9. SHEET METAL TRIM. COLOR TO BE HARBOR BLUE. 133419
10. NOT USED.
11. HOLLOW METAL DOOR AND FRAME AND HARDWARE BY METAL BUILDING CONTRACTOR. PAINT. COLOR TO BE HARBOR BLUE. 133419
12. 6" DIA. CONCRETE FILLED STEEL PIPE BOLLARD. REFER TO DETAIL E205F1.2. PAINT. 02500
13. CONCRETE FOUNDATION. REFER TO STRUCTURAL.
14. CONCEALED X-BRACING BY METAL BUILDING CONTRACTOR.
15. OVERHEAD DOOR. 025613
16. PREFINISHED SHEET METAL COPING CAP. COLOR TO BE HARBOR BLUE. 133419
17. THIN STONE MASONRY ON 3/4" FLYWOOD WEATHER BARRIER AND MODULAR PANEL. 042613
18. THIN BRICK MASONRY ON 3/4" FLYWOOD WEATHER BARRIER AND MODULAR PANEL. 042613
19. 6" THICK CONCRETE SLAB ON VAPOR BARRIER AND 6" DRAINAGE FILL. REFER TO STRUCTURAL.
20. STEEL FRAME BY PRE-ENGINEERED BUILDING MANUFACTURER. 133419.
21. R-25 WALL INSULATION BY PRE-ENGINEERED BUILDING MANUFACTURER. 133419.
22. WALL TYPE B. REFER TO A11-A13.
23. 8" - 16 GAUGE METAL STUD AT 16" O.C. WITH FULL DEPTH R-25 BATT INSULATION AND 5/8" 6YF. BD. ON INTERIOR SIDE.
24. PRECAST CONCRETE TRANSITION. COLOR BY ARCHITECT.
25. RETAINING WALL. REFER TO STRUCTURAL.
26. 2" RIGID INSULATION. 02100



ARCHITECTURAL CORPORATION
 MISSOURI CERTIFICATE
 OF AUTHORITY NO. 000073

MANCAVES

WEST 141 TER. & MADISON AVE.
 KANSAS CITY, MISSOURI 64145

STARK WILSON DUNCAN ARCHITECTS INC.
 315 NICHOLS RD. STE 228 - KANSAS CITY, MO 64112 - T 816.531.1978 F 816.531.1978

SEAL
 ARCHITECT - TIMOTHY O.K. WILSON
 MO. LICENSE NO. A-6972



3/26/2018
 BUILDING 1
 SOUTH ELEVATION
 RENDERING

ISSUE DATE:
 2018 MARCH 23
 REVISIONS:

CITY PLAN COMMISSION
 RECOMMENDED
APPROVAL
 SUBJECT TO CONDITIONS

PROJECT NO.: 1729
A2.0

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DATE: 3.20.18
 Case No. 9216-P-17

M:\1729 MAN CAVE GARAGE\A2.dwg
 Mar 27, 2018 11:12am



KEYNOTES

1. DOUBLE-LOK TRAPEZOIDAL 24 GAUGE STANDING SEAM ROOF PANEL, SMOOTH FINISH WITH GALVALUME PLUS COATING OVER R30 INSULATION. 1934H
2. GUTTER CLASSIC PROFILE. COLOR TO BE HARBOR BLUE. 1934H
3. CONCEALED GUTTER BEHIND PROJECTING FACADE PARAPET. 1934H
4. END WALL PARAPET. 1934H
5. 4" X3" PREFINISHED ROLL FORMED DOWNSPOUT. COLOR TO BE HARBOR BLUE. 1934H
6. DESIGNER SERIES 120 FLAT PANEL, STUCCO EMBOSSED FINISH WITH SIGNATURE 300 KYNAR COATING. COLOR TO BE SLATE GRAY. 1934H
7. NOT USED.
8. 26 GAUGE T2 CORRUGATED PANEL, SMOOTH FINISH WITH GALVALUME PLUS COATING. 1934H
9. SHEET METAL TRIM. COLOR TO BE HARBOR BLUE. 1934H
10. NOT USED.
11. HOLLOW METAL DOOR, AND FRAME AND HARDWARE BY METAL BUILDING CONTRACTOR. PAINT. COLOR TO BE HARBOR BLUE. 1934H
12. 6" DIA. CONCRETE FILLED STEEL PIPE BOLLARD. REFER TO DETAIL E2/5/PL2. PAINT. 09500
13. CONCRETE FOUNDATION. REFER TO STRUCTURAL
14. CONCEALED X-BRACING BY METAL BUILDING CONTRACTOR.
15. OVERHEAD DOOR. 0936/15
16. PREFINISHED SHEET METAL COPING CAP. COLOR TO BE HARBOR BLUE. 1934H
17. THIN STONE MASONRY ON 3/4" PLYWOOD, WEATHER BARRIER AND MODULAR PANEL. 0426/15
18. THIN BRICK MASONRY ON 3/4" PLYWOOD, WEATHER BARRIER AND MODULAR PANEL. 0426/15
19. 6" THICK CONCRETE SLAB ON VAPOR BARRIER AND 6" DRAINAGE FILL. REFER TO STRUCTURAL
20. STEEL FRAME BY PRE-ENGINEERED BUILDING MANUFACTURER. 1934H
21. R-25 WALL INSULATION BY PRE-ENGINEERED BUILDING MANUFACTURER. 1934H
22. WALL TYPE B. REFER TO A11-A13.
23. 8" - 16 GAUGE METAL STUD AT 16" O.C. WITH FULL DEPTH R-25 BATT INSULATION AND 5/8" GYP. BD. ON INTERIOR SIDE.
24. PRECAST CONCRETE TRANSITION. COLOR BY ARCHITECT.
25. RETAINING WALL. REFER TO STRUCTURAL.
26. 2" RIGID INSULATION. 07100

G2 SOUTH ELEVATION BLDG 1
 SCALE: 1/16" = 1'-0"

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DATE: 3.20.18
 Case No. 9216-P-17

A2 ENLARGED SOUTH ELEVATION BLDG 1
 SCALE: 1/8" = 1'-0"



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SEAL
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3/26/2018

BUILDING 1 EXTERIOR
 ELEVATIONS

ISSUE DATE:
 2018 MARCH 23
 REVISIONS:

PROJECT NO.: 1729

A2.1

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M:\1729 MAN CAVE GARAGE\A2.3.dwg
 Mar 27, 2018 11:14am



G2 SOUTH ELEVATION BLDG 2
 SCALE: 1/16" = 1'-0"

CITY PLAN COMMISSION
 RECOMMENDED
APPROVAL
 SUBJECT TO CONDITIONS

DATE: 3.20.18
 Case No. 9216-P-17

A2 ENLARGED SOUTH ELEVATION BLDG 2
 SCALE: 1/8" = 1'-0"

KEYNOTES

1. DOUBLE-LOCK TRAPEZOIDAL 24 GAUGE STANDING SEAM ROOF PANEL, SMOOTH FINISH WITH GALVALUME PLUS COATING OVER R30 INSULATION. 1934H
2. GUTTER CLASSIC PROFILE. COLOR TO BE HARBOR BLUE. 1934H
3. CONCEALED GUTTER BEHIND PROJECTING FACADE PARAPET. 1934H
4. END WALL PARAPET. 1934H
5. 4" X5" PREFINISHED ROLL FORMED DOWNSPOUT. COLOR TO BE HARBOR BLUE. 1934H
6. DESIGNER SERIES 120 FLAT PANEL, STUCCO EMBOSSED FINISH WITH SIGNATURE 300 KYNAR COATING. COLOR TO BE SLATE GRAY. 1934H
7. NOT USED.
8. 26 GAUGE T2 CORRUGATED PANEL, SMOOTH FINISH WITH GALVALUME PLUS COATING. 1934H
9. SHEET METAL TRIM. COLOR TO BE HARBOR BLUE. 1934H
10. NOT USED.
11. HOLLOW METAL DOOR, AND FRAME AND HARDWARE BY METAL BUILDING CONTRACTOR. PAINT. COLOR TO BE HARBOR BLUE. 1934H
12. 6" DIA. CONCRETE FILLED STEEL PIPE BOLLARD. REFER TO DETAIL E2/SPL2. PAINT. 09500
13. CONCRETE FOUNDATION. REFER TO STRUCTURAL
14. CONCEALED X-BRACING BY METAL BUILDING CONTRACTOR.
15. OVERHEAD DOOR. 09361B
16. PREFINISHED SHEET METAL COPING CAP. COLOR TO BE HARBOR BLUE. 1934H
17. THIN STONE MASONRY ON 3/4" PLYWOOD, WEATHER BARRIER AND MODULAR PANEL. 04261B
18. THIN BRICK MASONRY ON 3/4" PLYWOOD, WEATHER BARRIER AND MODULAR PANEL. 04261B
19. 6" THICK CONCRETE SLAB ON VAPOR BARRIER AND 6" DRAINAGE FILL. REFER TO STRUCTURAL
20. STEEL FRAME BY PRE-ENGINEERED BUILDING MANUFACTURER. 1934H
21. R-25 WALL INSULATION BY PRE-ENGINEERED BUILDING MANUFACTURER. 1934H
22. WALL TYPE B. REFER TO A11-A13.
23. 8" - 16 GAUGE METAL STUD AT 16" O.C. WITH FULL DEPTH R-25 BATT INSULATION AND 5/8" GYP. BD. ON INTERIOR SIDE.
24. PRECAST CONCRETE TRANSITION. COLOR BY ARCHITECT.
25. RETAINING WALL. REFER TO STRUCTURAL
26. 2" RIGID INSULATION. 071200



ARCHITECTURAL CORPORATION
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 OF AUTHORITY NO. 000073

MANGAVES

WEST 141 TER. & MADISON AVE.
 KANSAS CITY, MISSOURI 64145

STARK WILSON DUNCAN ARCHITECTS INC.
 315 NICHOLS RD. STE 228 - KANSAS CITY, MO 64112 - T 816.531.1996 F 816.531.1978

SEAL
 ARCHITECT - TIMOTHY O.K. WILSON
 MO. LICENSE NO. A-6972



3/26/2018

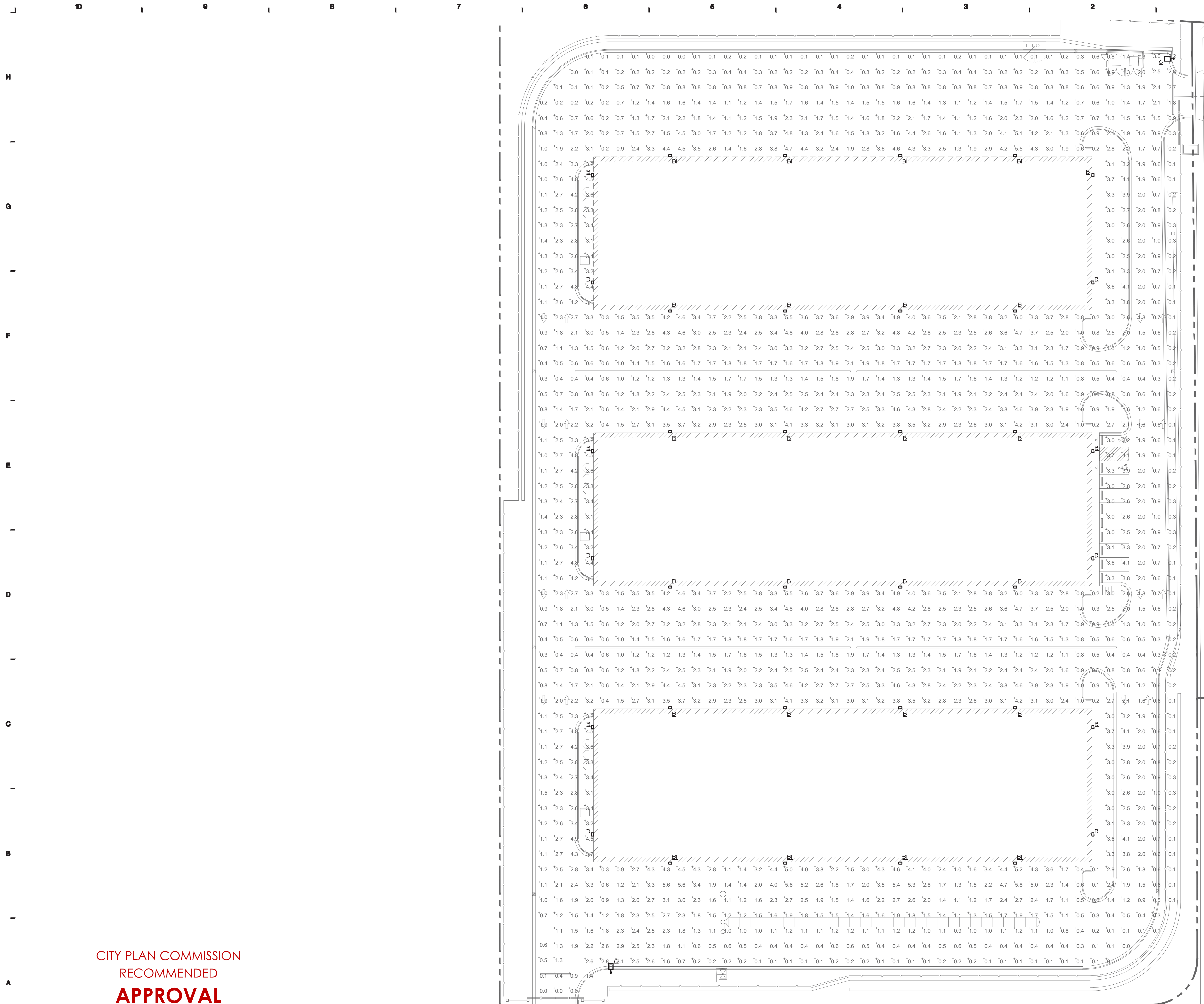
BUILDING 2 EXTERIOR
 ELEVATIONS

ISSUE DATE:
 2018 MARCH 23
 REVISIONS:

PROJECT NO.: 1729

A2.3

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1 PHOTOMETRICS SITE PLAN
SCALE: 1" = 30'-0"
NORTH

CITY PLAN COMMISSION
RECOMMENDED
APPROVAL
SUBJECT TO CONDITIONS

DATE: 3.20.18
Case No. 9216-P-17



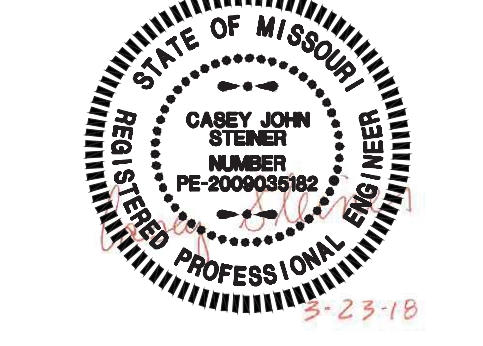
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MISSOURI CERTIFICATE
OF AUTHORITY NO. 000073

MAN CAVES

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STARK WILSON DUNCAN ARCHITECTS INC.
315 NICHOLS RD, STE 228 - KANSAS CITY, MO 64112 - T 816.531.1696 F 816.531.1978

SEAL
ENGINEER - CASEY J. STEINER
MO. LICENSE NO.
PE-2009035182



PHOTOMETRICS
SITE PLAN

ISSUE DATE:
23 MARCH 2018
REVISIONS:



PROJECT NO.: 1720579

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