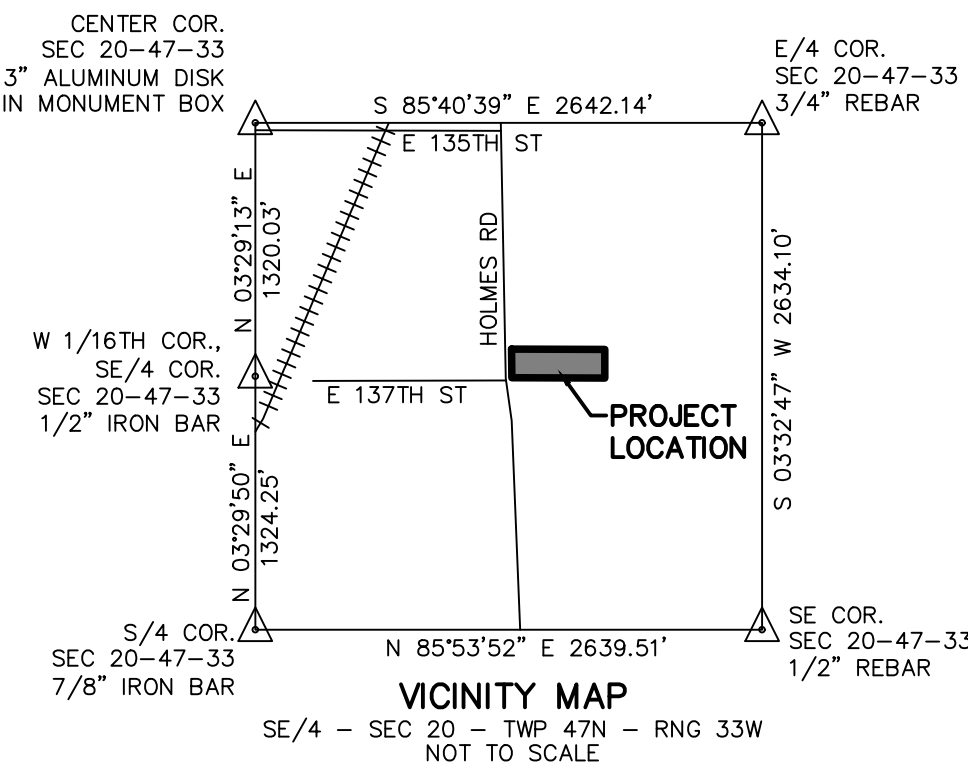


MIDWEST RECOVERY CENTERS
SITE PLAN
13645 HOLMES ROAD
KANSAS CITY, MISSOURI 64145
CD - CPC - 2026 - 00060



Sheet List Table

C000	TITLE SHEET
C100	SITE PLAN
C300	GRADING PLAN
C500	UTILITY PLAN

ARCHITECT:

BASE 4
5030 CHAMPION BLVD #G11-230
BOCA RATON, FLORIDA 33496
CONTACT: CARLOS PERALTA
PHONE: 561-453-0544
EMAIL: carlosp@base-4.com

ENGINEER/SURVEYOR:

KAW VALLEY ENGINEERING, INC.
14700 W 114TH TERRACE
LENEXA, KANSAS 66215
CONTACT: GARY LEEDS
PHONE: 913-894-5150
EMAIL: leeds@kveng.com

FLOOD STATEMENT:

SURVEYED PARCEL IS SHOWN TO BE LOCATED IN ZONE "AE" (AREAS DETERMINED TO BE WITHIN OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND SURVEYED PARCEL IS SHOWN TO BE LOCATED IN FLOODWAY ZONE "AE" OTHER FLOOD AREAS (AREAS DETERMINED TO BE WITHIN OF THE REGULATORY FLOODWAY) AS DEPICTED ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 29095C0389G, MAP REVISED JANUARY 20, 2017, CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI.
LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THESE UTILITY LOCATIONS MEET UTILITY QUALITY LEVEL B AS OUTLINED IN STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA, BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS PUBLICATION CI/ASCE 38-02, AVAILABLE AT:
[HTTPS://WEBSTORE.ANSI.ORG/STANDARDS/ASCE/CIASCE3802](https://webstore.ansi.org/standards/asce/ciasce3802).
THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.
MISSOURI ONE CALL TICKET #250870868, #250870877 & #250870911.

NOTE:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
- ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

SAFETY NOTICE TO CONTRACTOR

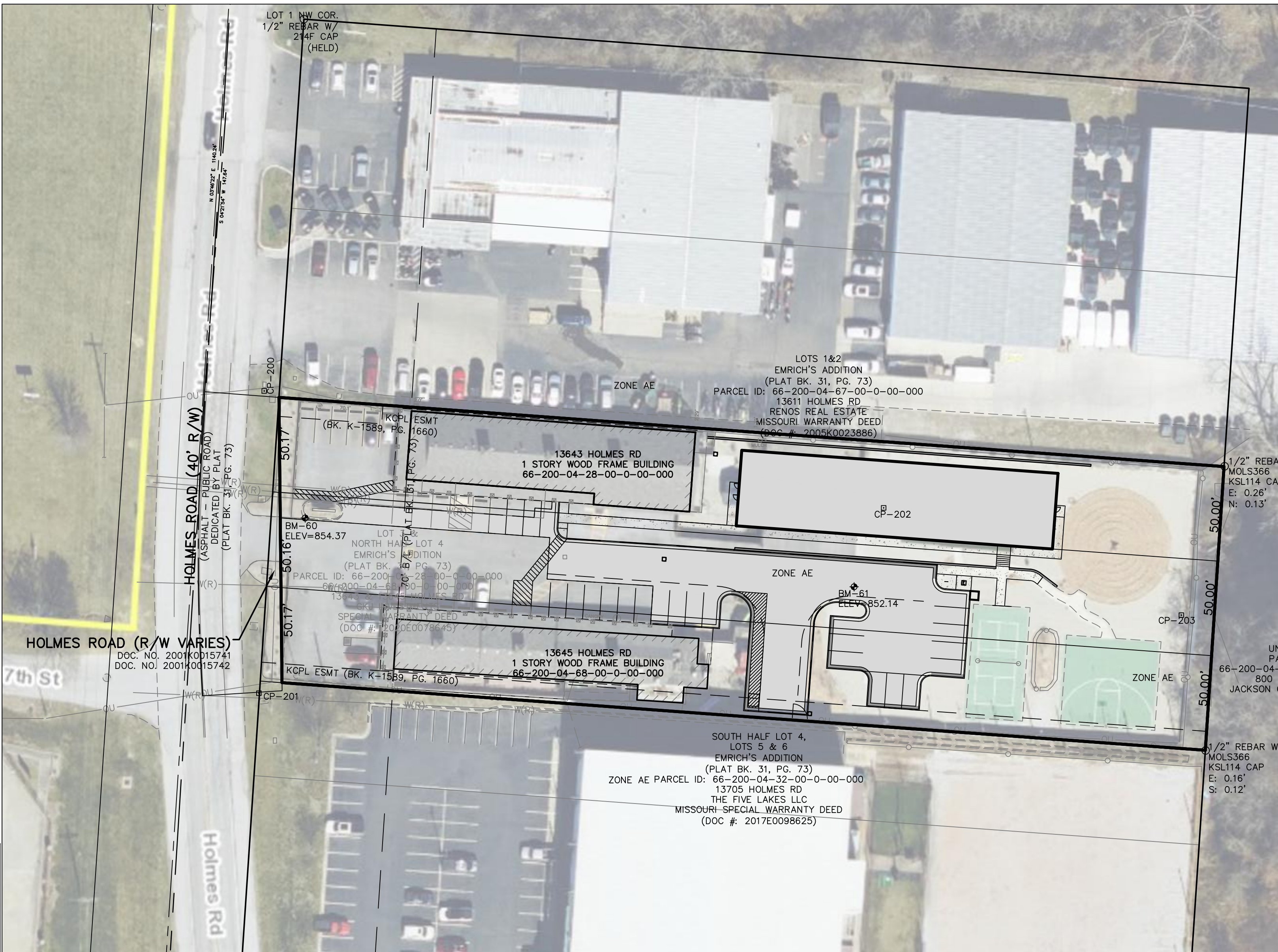
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.



PROJECT BENCH MARKS:

- BM-60
CHISELED SQUARE ON TOP CURB AT THE SOUTHWEST CORNER OF BUSINESS SIGN, 1250 FEET ± SOUTH OF INTERSECTION OF 135TH STREET AND HOLMES ROAD, AT 13643 HOLMES ROAD, 30 FEET ± FROM THE EAST EDGE OF ASPHALT.
ELEV = 854.37
- BM-61
CHISELED SQUARE ON THE SOUTHWEST CORNER OF A CONCRETE WALK, WHERE CONCRETE MEETS ASPHALT AND GRAVEL LANDSCAPE, 1250 FEET ± SOUTH OF INTERSECTION OF 135TH STREET AND HOLMES ROAD AND 350 FEET ± EAST OF ENTRANCE AT 13643 HOLMES ROAD.
ELEV = 852.14

PROJECT CONTROL:

- CP-#200
1/2"x24" REBAR W/ CONTROL POINT CAP
NORTHING: 987764.19 (GROUND)
EASTING: 2764293.14 (GROUND)
ELEV = 853.97
- CP-#201
1/2"x24" REBAR W/ CONTROL POINT CAP
NORTHING: 987604.73 (GROUND)
EASTING: 2764290.34 (GROUND)
ELEV = 853.77
- CP-#202
1/2"x24" REBAR W/ CONTROL POINT CAP
NORTHING: 987702.51 (GROUND)
EASTING: 2764620.01 (GROUND)
ELEV = 850.97
- CP-#203
1/2"x24" REBAR W/ CONTROL POINT CAP
NORTHING: 987645.92 (GROUND)
EASTING: 2764777.10 (GROUND)
ELEV = 850.95

DESCRIPTION: (SPECIAL WARRANTY DEED, INSTRUMENT NO. 2020E0078645)

TRACT 1:
THE NORTH HALF OF LOT 3, EMRICH'S ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, EXCEPT THAT PART DEEDED TO THE STATE OF MISSOURI, ACTING BY AND THROUGH THE MISSOURI HIGHWAY AND TRANSPORTATION COMMISSION AS SET FORTH IN THE WARRANTY DEED RECORDED MARCH 28, 2001 AS DOCUMENT NO. 2001K0015741 AND DOCUMENT NO. 2001K0015742.

TRACT 2:
THE SOUTH HALF OF LOT 3 AND THE NORTH HALF OF LOT 4, EMRICH'S ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, EXCEPT THAT PART DEEDED TO THE STATE OF MISSOURI, ACTING BY AND THROUGH THE MISSOURI HIGHWAY AND TRANSPORTATION COMMISSION AS SET FORTH IN THE WARRANTY DEED RECORDED MARCH 28, 2001 AS DOCUMENT NO. 2001K0015741 AND DOCUMENT NO. 2001K0015742.

HORIZONTAL AND VERTICAL DATUM:

UNLESS OTHERWISE NOTED THE COORDINATES SHOWN HEREON ARE GROUND COORDINATES BASED ON THE MISSOURI STATE PLANE, WEST ZONE (NAD 1983 2003) (NAVD 1988 (2003))
CAF: 0.9999044
1 METER = 3.28083333 U.S. SURVEY FEET
GROUND COORDINATES X COMBINED ADJUSTMENT FACTOR (CAF) = GRID COORDINATES SCALED AROUND 0.0

JA-130 (PID 095130)	JA-130 (PID 095130) VALUES USED IN THIS SURVEY
NORTHING: 301496.041 (GRID)(METERS)	889252.620 (GROUND)(U.S. SURVEY FEET)
EASTING: 842490.018 (GRID)(METERS)	2764333.580 (GROUND)(U.S. SURVEY FEET)
ELEV = 271.3 (METERS)(NAVD 1988 (2003))	GPS DERIVED 889.93 (NAVD 1988 GEOID18)(U.S. SURVEY FEET)

THE SURVEY ELEVATION OF JA-130 WAS DETERMINED BY OPUS FROM A FOUR (4) HOUR STATIC GPS OBSERVATION 05/21/2025

SITE DATA:

1. SITE DATA:

A. Table 1: Site Data

Site Data	Existing	Proposed	Variance Requested	Approved
Zoning	B3-2	B3-2	No	
Gross Land Area				
in square feet	74,135	No Change	No	
in acres	1.70	No Change	No	
Right-of-Way Dedication				
in square feet	0	No Change	No	
in acres	0	No Change	No	
Net Land Area				
in square feet	74,135	No Change	No	
in acres	1.70	No Change	No	
Building Area (sq. ft.)				
Midwest Recovery Center (13643 Holmes Rd)	4,634			
Midwest Recovery Center (13645 Holmes Rd)	3,316			
Building Addition		6,693		
Future Additions		TBD		
Floor Area Ratio (Non Permanent Structures N.I.C.)	10.7%	19.8%	No	

B. MINIMUM LOT AREA: NONE

C. LAND USE: REHABILITATION SERVICES

2. BUILDING DATA TABLE

A. Table 2: Building Data

Building Data	Existing	Proposed	Variance Requested	Approved
Rear Setback	None	None	No	
Front Setback	70' (Platted)	See Plan	No	
North Side Setback	None	None	No	
South Side Setback	None	None	No	
Height	60	See Plan	No	

3. LAND COVER

HISTORICAL RIGHT-OF-WAY: NA
HISTORICAL IMPERVIOUS COVERAGE: 67,013 SF OR 1.54 AC
PROPOSED IMPERVIOUS COVERAGE: 52,160 SF OR 1.20 AC
DECREASE: 0.34 AC ±

4. PARKING TABLE

A.

Table 4: Parking (88-420)

88-420 Parking	Building Area	Vehicle Spaces Required	Existing	Proposed
Commercial - Personal Improvement Service				
2.5 Stalls per 1,000 sq ft (Existing)	7,950	20	21	
2.5 Stalls per 1,000 sq ft (Existing + Proposed)	21,336	53	21	50
Variance Requested				

Table 4: Parking (88-420)

88-420-09 Bicycle Parking	Vehicle Parking	Bike Spaces Required	Existing	Proposed
Proposed Use(s)				
Non-Residential (10% Vehicle Parking)	50	5	0	3
Total		5	0	3

B. VEHICLE PARKING (88-420.06):

REQUIRED PARKING STALLS: 2.5 STALLS PER 1,000 SQFT = 53 STALLS

PARKING SETBACK: NONE

PROPOSED PARKING STALLS: 12

4. OTHER DEVELOPMENT STANDARDS

A. Table 5: Other Development Standards

88-425 - Other Development Standards	Method of Compliance
88-408 Parkland Dedication	N/A
88-415 Stream Buffers	N/A
88-430 Outdoor Lighting	N/A
88-435 Outdoor Display, Storage and Work Areas	N/A
88-445 Signs	Existing Monument Sign to Remain. No Additional Signage Proposed at this time.
88-450 Pedestrian Standards	No existing pedestrian routes along Holmes Road. No new pedestrian access to Holmes Road is proposed.

OWNER:

BETTY LOU WALLACE RECOVERY, LLC D/B/A MIDWEST RECOVERY CENTERS
13350 HOLMES ROAD,
KANSAS CITY, MISSOURI 64145

I HAVE REVIEWED THESE PLANS AND UNDERSTAND WHAT IS PROPOSED. THE WORK WILL BE ACCOMPLISHED IN 1 CONTRACT WITH A WORK BREAKDOWN AS FOLLOWS:

1. SITE IMPROVEMENTS

ANY WORK NOT SPECIFICALLY PERMITTED (I.E. FINAL CLEANUP) WILL BE COMPLETED BY THE CONTRACTOR.

OWNER'S SIGNATURE

DATE

APPROVED BY

ENGINEER:

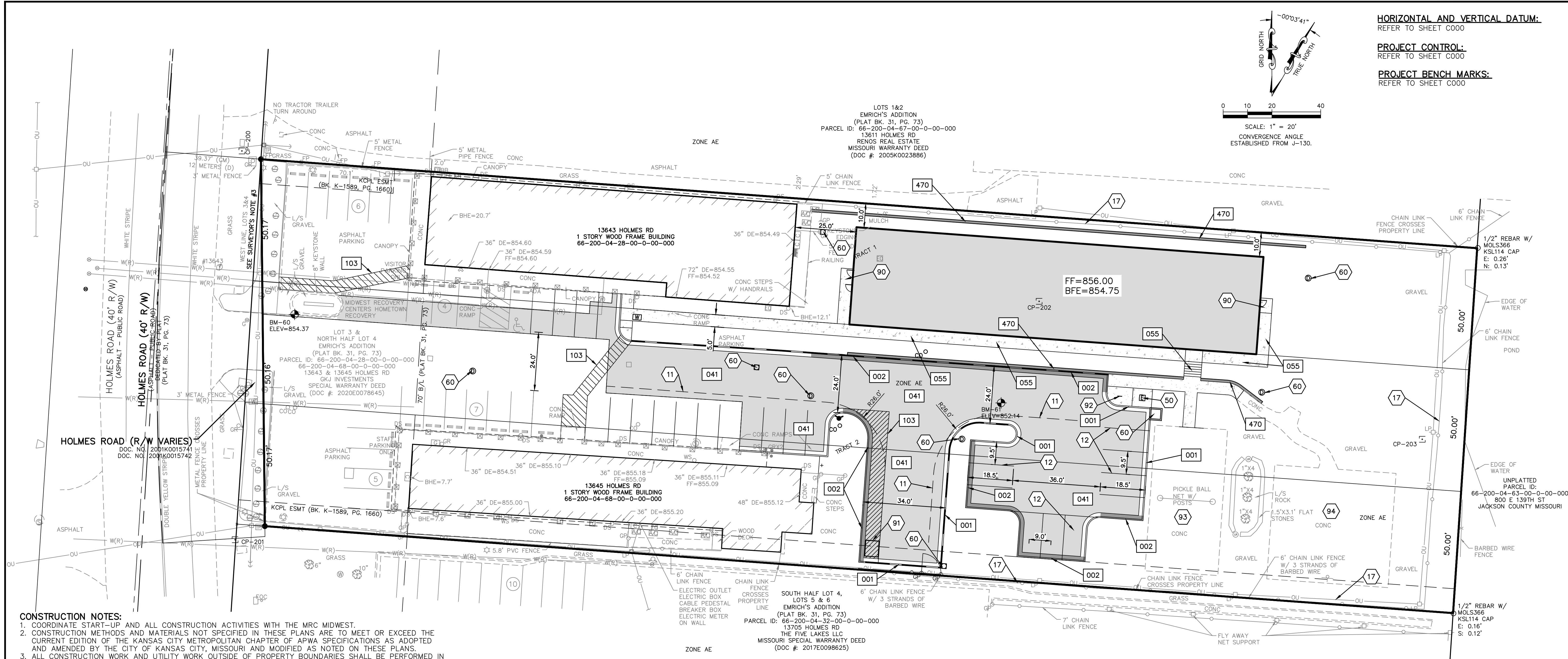
I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED, AND THESE PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF KANSAS CITY, MISSOURI, IN CURRENT USAGE.



CHRISTIAN J. CROWDER
MISSOURI PROFESSIONAL ENGINEER
PE-2015000538



		CHK
		DWN
		DSN
		DESCRIPTION
		DATE
		REV
CHRISTIAN J. CROWDER ENGINEER MO # 2015000538		
 KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/27		
MIDWEST RECOVERY CENTERS 13645 HOLMES ROAD KANSAS CITY, MO 64145 SITE PLAN TITLE SHEET		
PROJ. NO.	C25_2304	
DESIGNER	KGK	DRAWN BY JON
CFN		
SHEET	2304SP	REV
	C000	



CONSTRUCTION NOTES:

1. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE MRC MIDWEST.
2. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE CURRENT EDITION OF THE KANSAS CITY METROPOLITAN CHAPTER OF A.P.W.A. SPECIFICATIONS AS ADOPTED AND AMENDED BY THE CITY OF KANSAS CITY, MISSOURI AND MODIFIED AS NOTED ON THESE PLANS.
3. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
4. PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO PUBLIC STREETS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN RIGHT-OF-WAY PERMIT. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY THE CITY OF KANSAS CITY PUBLIC WORKS DEPARTMENT. REFERENCE MUTCD STANDARD DRAWINGS.
5. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE SHOWN
6. ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND OPERATIONS SHALL CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
7. PROVIDE FIRE LANE SIGNAGE AS DIRECTED BY FIRE DEPARTMENT. MOUNT EDGE OF SIGN 2' BACK OF CURB AT 7' IN ACCORDANCE WITH MUTCD.
8. ALL SIDEWALK JOINTS SHALL BE RECAULKED WITH JOINT SEALANT. REFER TO TYPE 1 AND TYPE 2 JOINTS ON SHEET C190.

NOTE

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. THESE PLANS HAVE ~~NOT~~ BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
5. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANT ANY OF THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION – NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

☐ DETAILS - SEE DETAIL SHEETS C190 FOR THE FOLLOWING DETAILS:

- 001 CONCRETE CURB AND GUTTER
002 CONCRETE CURB AND GUTTER WITH
REVERSE FLOW
041 ASPHALT PAVEMENT
042 CONCRETE PAVEMENT
055 CONCRETE SIDEWALK
056 CONCRETE STAIRS
060 SIDEWALK RAMPS
102 ACCESSIBLE STRIPING
103 2" DIAGONAL STRIPING
120 ACCESSIBLE PARKING SIGNAGE
470 RETAINING WALL

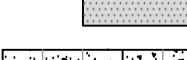
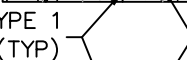
 NOTES:

- 6 DISTURBED AREAS TO BE LANDSCAPED AS NOTED ON SHEET L400
11 FIRE ACCESS LANE
12 WHITE PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR
APPROVED EQUAL)
13 PAINT CURB RED TO DENOTE FIRE LANE. CONFIRM LIMITS WITH FIRE
DEPARTMENT.
15 SAW CUT LINE
17 EXISTING FENCE TO REMAIN
50 ELECTRIC APPURTENANCES
50 STORM STRUCTURES
70 SANITARY SEWER APPURTENANCES
80 WATER APPURTENANCES
84 EXISTING FIRE HYDRANT
90 FIRE HYDRANT
95 CONCRETE STOOP
91 TRASH RECEPTACLE
92 ULINE BIKE RACK, H-2892, 3-BIKE CAPACITY
93 EXISTING PICKLEBALL TO REMAIN
94 EXISTING SPORTS COURT TO REMAIN
95 EXISTING FEATURE TO BE RECONFIGURED BY OWNER

LEGEND:

- | | | | | | |
|---------|--|---------|-------------------------------------|--------|----------------------------------|
| ● | MONUMENT SET | ⊗ | WATER MANHOLE | ☒ | AIR CONDITIONER UNIT |
| ○ | MONUMENT FOUND
ORIGIN UNKNOWN UNLESS
OTHERWISE NOTED | ⌘ | WALL MOUNTED SIAMESE FIRE CONNECTOR | ⌘ | CANOPY SUPPORT |
| △ | SECTION CORNER | —FOC— | UNDERGROUND FIBER OPTIC CABLE | ☼ | DECIDUOUS TREE |
| ⊕ | BENCHMARK | ⊗ | TELEPHONE PEDESTAL | ☼ | BUSH |
| ⊕ | CONTROL POINT | FOC | FIBER OPTIC CABLE SIGN | ⌘ | BASKETBALL GOAL |
| —E— | UNDERGROUND ELECTRIC | —S— | CABLE TV PEDESTAL | ⊕ | MAIL BOX |
| (1)—OU— | OVERHEAD POWER LINE (# OF LINES) | ⊗ | SANITARY SEWER LINE | ⊕ | PICNIC TABLE |
| ⊕ | UTILITY POLE | ⊗ | SANITARY SEWER MANHOLE | ⊕ | LARGE STONE |
| ⊕ | UTILITY POLE W/ LIGHT | CO | SANITARY SEWER CLEAN OUT | L/S | LANDSCAPING AREA |
| ⊕ | UTILITY POLE W/ TRANS & LIGHT | DS | DOWN SPOUT | ⊕ | WALL MOUNTED CAMERA |
| ⊕ | UTILITY POLE W/ TRANSFORMER | CMP | CORRUGATED METAL PIPE | ⊕ | WALL MOUNTED LIGHT |
| ☆ | LIGHT POLE | RCP | REINFORCED CONCRETE PIPE | ⊕ | RAILROAD TRACKS |
| ← | DEADMAN ANCHOR | PVC | POLYVINYL CHLORIDE PIPE | ⊕ | CHAIN LINK FENCE |
| BB | BREAKER BOX | VCP | VITRIFIED CLAY PIPE | ⊕ | WOOD FENCE |
| ⊕ | ELECTRIC METER | ⊕ | STREET/TRAFFIC SIGN | ⊕ | GATE POST |
| ⊕ | ELECTRIC OUTLET | ③ | PARKING STALL COUNT | ⊕ | METAL FENCE |
| ⊕ | ELECTRIC CONTROL BOX | • | BOLLARD | ⊕ | PVC FENCE |
| —G— | UNDERGROUND GAS | ABA | HANDICAP SIGN | FP | 2.5' OLD WOOD FENCE POST |
| ⊕ | GAS METER | ⊕ | HANDICAP SYMBOL | ⊕ | BARBED WIRE FENCE |
| GR | GAS LINE RISER | ⊕ | WHEEL STOP | —W(R)— | UNDERGROUND WATER (FROM RECORDS) |
| —W— | WATER LINE | ~ 850 ~ | EXISTING GRADE 5' CONTOUR | | |
| ⊕ | WATER METER | ~ 851 ~ | EXISTING GRADE 1' CONTOUR | | |
| ⊕ | WATER LINE GATE VALVE | DE | DOOR ELEVATION | | |
| ⊕ | FIRE HYDRANT | BHE | BUILDING HEIGHT/ELEVATION | | |
| ⊕ | WATER SPIGOT | FF | FINISH FLOOR ELEVATION | | |
| | | E/E | EDGE TO EDGE OF ASPHALT | | |

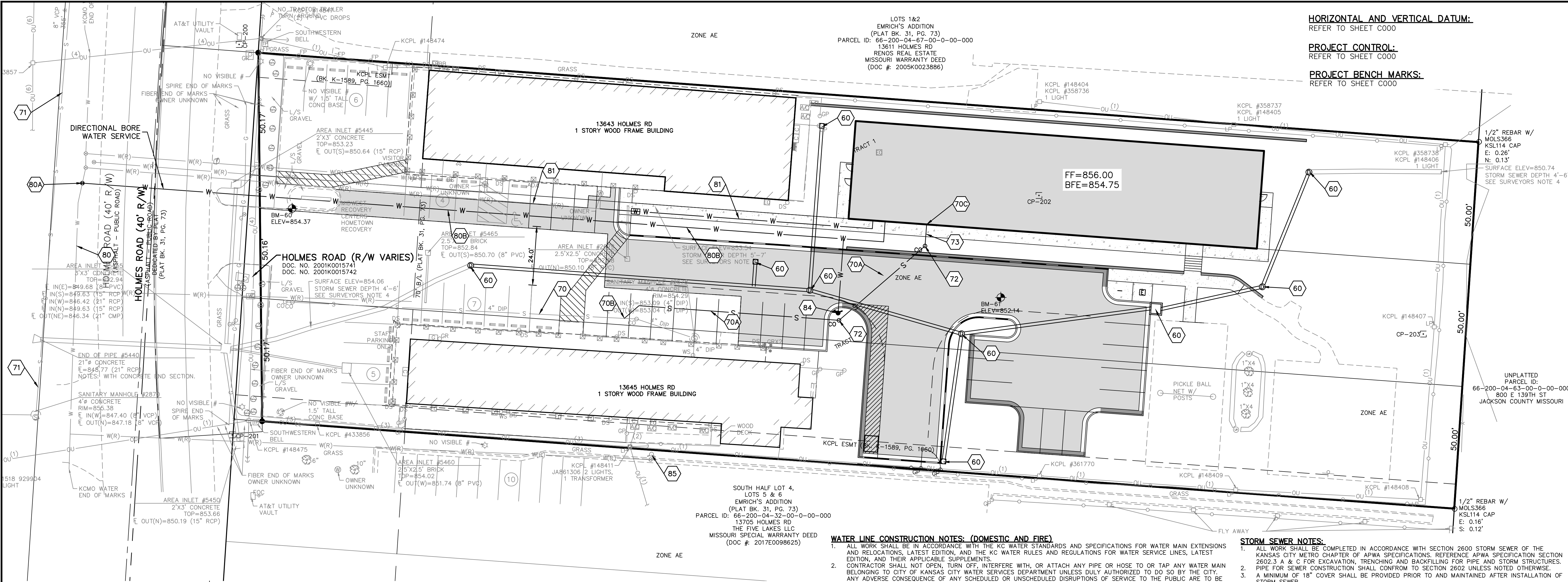
PROPOSED LEGEND

-  CONCRETE CURB AND GUTTER
 CONCRETE CURB AND GUTTER WITH REVERSE FLOW
 CONCRETE CURB AND GUTTER PAINTED RED
 AREAS OF FULL DEPTH ASPHALT (040)
 CONCRETE PAVEMENT (042) W/Jointing
 JOINT (TYP)
 CONCRETE SIDEWALK (055+005) W/Jointing
 JOINT (TYP)
 PROJECT AREA (APPROXIMATE LIMITS OF DISTURBANCE)
 PROPOSED PARKING ZONE
 FIRE ACCESS LANE
 FF FINISHED FLOOR ELEVATION
 BFE BASE FLOOD ELEVATION AT STRUCTURE

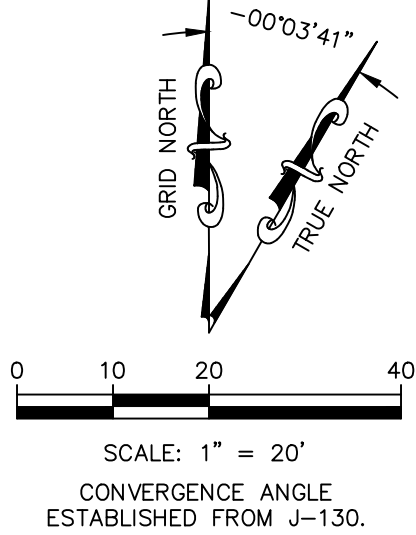


Know what's **below**.
Call before you dig.

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



Know what's below.
Call before you dig.



- NOTE:**
- REFER TO E AND AS SERIES SHEETS FOR ADDITIONAL SITE ELECTRICAL AND TELECOM REQUIREMENTS FOR SITE ELECTRICAL, LIGHTING AND SIGNAGE.
 - REFER TO LANDSCAPE AND MECHANICAL PLAN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS RELATED TO IRRIGATION.
 - ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

- NOTE:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
- ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WE WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A TEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

LEGEND:	
● MONUMENT SET	CMP CORRUGATED METAL PIPE
○ MONUMENT FOUND	RCP REINFORCED CONCRETE PIPE
△ SECTION CORNER	PVC POLYVINYL CHLORIDE PIPE
◆ BENCHMARK	VCP VITRIFIED CLAY PIPE
□ CONTROL POINT	— STREET/TRAFFIC SIGN
— UNDERGROUND ELECTRIC	③ PARKING STALL COUNT
(U) OVERHEAD POWER LINE (# OF LINES)	● BOLLARD
— UTILITY POLE	ADA HANDICAP SIGN
— UTILITY POLE W/ LIGHT	— HANDICAP SYMBOL
— UTILITY POLE W/ TRANS & LIGHT	— WHEEL STOP
— UTILITY POLE W/ TRANSFORMER	— EXISTING GRADE 5' CONTOUR
— LIGHT POLE	— EXISTING GRADE 1' CONTOUR
— DEADMAN ANCHOR	DE DOOR ELEVATION
— BREAKER BOX	BHE BUILDING HEIGHT/ELEVATION
— ELECTRIC METER	FF FINISH FLOOR ELEVATION
— ELECTRIC OUTLET	E/E EDGE TO EDGE OF ASPHALT
— ELECTRIC CONTROL BOX	— AIR CONDITIONER UNIT
— UNDERGROUND GAS	— CANOPY SUPPORT
— GAS METER	— DECIDUOUS TREE
— GAS LINE RISER	— BUSH
— WATER LINE	— BASKETBALL GOAL
— WATER METER	— MAIL BOX
— WATER LINE GATE VALVE	— PICNIC TABLE
— FIRE HYDRANT	— LARGE STONE
— WATER SPIGOT	L/S LANDSCAPING AREA
— WATER MANHOLE	— WALL MOUNTED CAMERA
— WALL MOUNTED SIAMSESE FIRE CONNECTOR	— WALL MOUNTED LIGHT
— UNDERGROUND FIBER OPTIC CABLE	— RAILROAD TRACKS
— TELEPHONE PEDESTAL	— CHAIN LINK FENCE
— FIBER OPTIC CABLE SIGN	— WOOD FENCE
— CABLE TV PEDESTAL	— GATE POST
— SANITARY SEWER LINE	— METAL FENCE
— SANITARY SEWER MANHOLE	— PVC FENCE
— SANITARY SEWER CLEAN OUT	— 2.5" OLD WOOD FENCE POST
— DOWN SPOUT	— BARBED WIRE FENCE
— UNDERGROUND WATER (FROM RECORDS)	— UNDERGROUND WATER (FROM RECORDS)

- NOTES:**
- PRIVATE STORM SEWER
 - PRIVATE SANITARY SEWER LINE AND
 - PRIVATE 4" PVC SDR-26 SANITARY SEWER SERVICE, SLOPE @ 2.0% EXCEPT AS NOTED CONNECT TO EXISTING SANITARY SEWER SERVICE - 4"x4" WYE
 - 4" SEWER SERVICE CONNECTION AT BUILDING
 - EXISTING PUBLIC SANITARY SEWER LINE AND APPURTENANCES
 - SANITARY SEWER CLEANOUTS
 - 4" SANITARY SEWER SERVICE SAMPLING PORT. INSTALL STRAIGHT TEE.
 - EXISTING WATER MAIN
 - 6"x6" SADDLE TAP
 - 6" FIRE SERVICE - CLASS 52 DIP, AWWA C150/C151
 - EXISTING 1" TYPE K COPPER DOMESTIC WATER SERVICE LINE
 - PROPOSED 1" TYPE K COPPER
 - FIRE HYDRANT
 - EXISTING FIRE HYDRANT

PROPOSED LEGEND

- | | |
|---|---|
| — CONCRETE CURB AND GUTTER | — CONCRETE CURB AND GUTTER WITH REVERSE FLOW |
| — CONCRETE CURB AND GUTTER PAINTED RED | — AREAS OF FULL DEPTH ASPHALT (040) |
| — CONCRETE PAVEMENT (042) W/JOINTING TYPE 3 JOINT (TYP) | — CONCRETE PAVEMENT (042) W/JOINTING TYPE 3 JOINT (TYP) |
| — CONCRETE SIDEWALK (055+005) W/JOINTING | — PROJECT AREA (APPROXIMATE LIMITS OF DISTURBANCE) |
| — PROPOSED PARKING COUNT | |

WATER LINE CONSTRUCTION NOTES: (DOMESTIC AND FIRE)

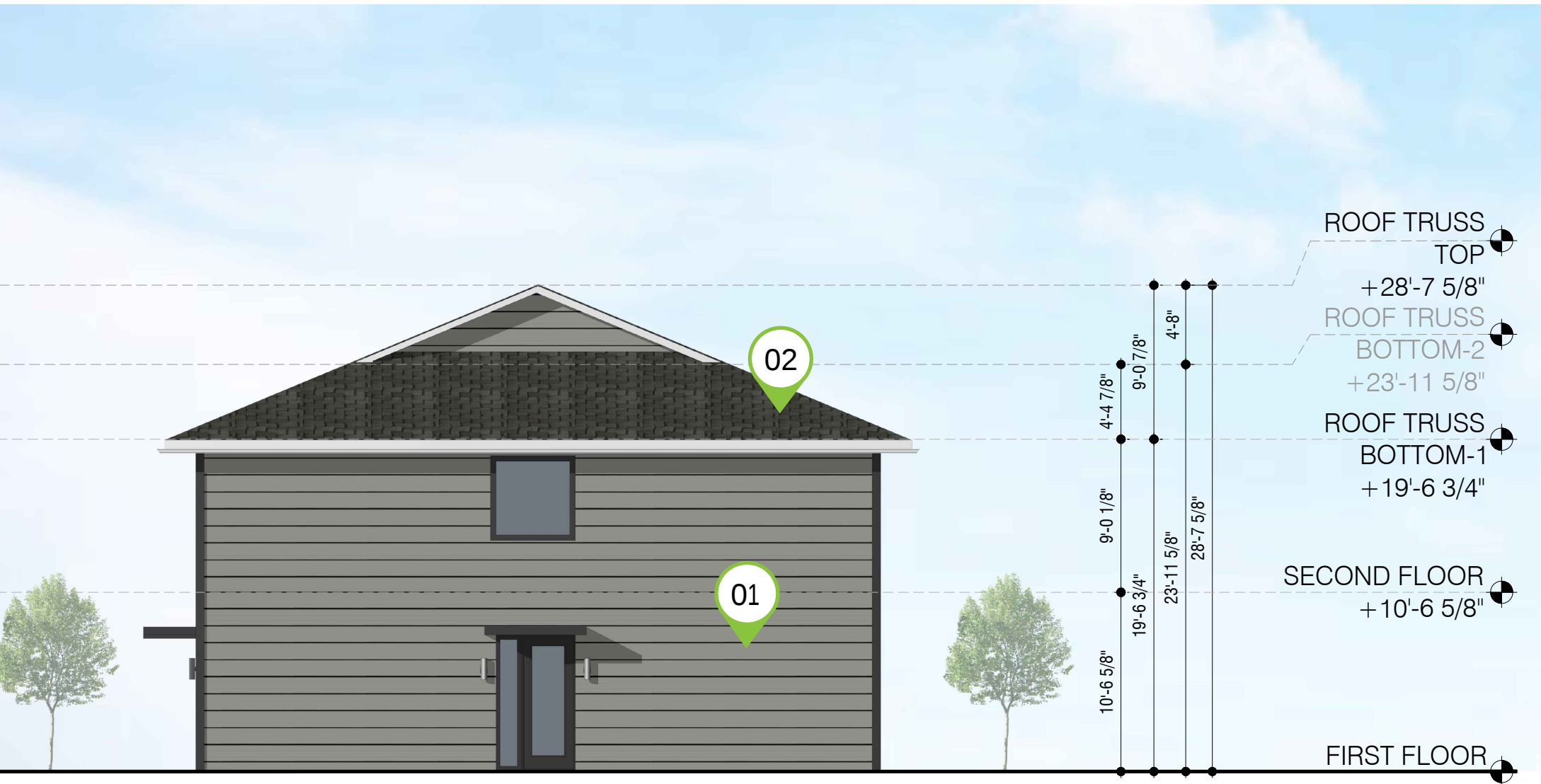
- ALL WORK SHALL BE IN ACCORDANCE WITH THE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS, LATEST EDITION, AND THE KC WATER RULES AND REGULATIONS FOR WATER SERVICE LINES, LATEST EDITION, AND THEIR APPLICABLE SUPPLEMENTS.
- CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO CITY OF KANSAS CITY WATER SERVICES DEPARTMENT UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. KAW VALLEY ENGINEERING AND OWNER ARE TO BE HELD HARMLESS. CONTRACTOR SHALL PROVIDE A MINIMUM OF 72 HOURS NOTICE TO THE CITY OF KANSAS CITY WATER SERVICES DEPARTMENT PRIOR TO STARTING ANY WORK.
- THE UTILITIES AS SHOWN ON THESE DRAWINGS WERE DEVELOPED FROM THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE. CONTRACTOR SHALL POthOLE AND EXPOSE ALL UTILITIES AT LEAST 500 FEET IN ADVANCE OF WATER MAIN CONSTRUCTION, DETERMINING THE DEPTH, SIZE, AND MATERIAL OF THE UTILITIES IN PROXIMITY TO THE PROPOSED WATER MAIN ALIGNMENT. DEFLECT PIPE TO MAINTAIN MINIMUM 5 FEET HORIZONTAL AND 18 INCH VERTICAL CLEARANCES BETWEEN PROPOSED WATER MAIN AND EXISTING UTILITIES. SEPARATION WITH SANITARY LINES REQUIRES 24 INCH VERTICAL CLEARANCE. SEE CONST. NOTE 8.
- THE CONTRACTOR SHALL FURNISH AND INSTALL, AT NO EXTRA COST, ALL FITTINGS AND RESTRAINING DEVICES REQUIRED TO PROVIDE PROPER HORIZONTAL AND VERTICAL ALIGNMENT FOR THE NEW WATER SERVICE, CONNECTING TO EXISTING WATER MAIN, AND INSTALLATION OF FIRE HYDRANTS AT THE PROPER LOCATION AND ELEVATION. WHETHER OR NOT THE FITTINGS ARE CALLED OUT ON THESE PLANS, REFERENCE KC WATER STANDARDS RULES AND REGULATIONS SECTIONS 3, 4, 5, AND 6, AND KC WATER STANDARDS AND SPECIFICATION FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTIONS 02168, 02641, 02645, 02669.
- THE CONTRACTOR SHALL FURNISH AND INSTALL, AT NO EXTRA COST, ALL TEMPORARY BLOW-OFF ASSEMBLIES, FITTINGS, AND RESTRAINING DEVICES NECESSARY FOR TEMPORARY CONNECTIONS FOR PRESSURE TESTING, CHLORINATING, DE-CHLORINATING, AND FLUSHING THE NEW WATER MAINS AND SERVICE LINES. THE CONTRACTOR SHALL REMOVE ANY CORPORATION COCKS USED FOR TESTING OR CHLORINATION AND REPLACE THEM WITH TAPERED BRASS PLUGS PRIOR TO PLACING NEW MAINS IN SERVICE. REFERENCE KC WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02675.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS, PAYING ALL FEES AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.
- ALL DISTURBED AREAS SHALL BE LANDSCAPED, SEEDED OR SOODED PER PLANS.
- WHEN WATER MAINS AND SANITARY SEWERS CROSS, A MINIMUM OF 24 INCHES OF CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE WATER MAIN AND THE TOP OF SANITARY SEWER. WHEN 24 INCHES OF CLEARANCE CANNOT BE MAINTAINED OR WHEN A WATER MAIN MUST CROSS UNDER A SANITARY SEWER, THE SANITARY SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, PVC PRESSURE PIPE OR PRE-STRESSED CONCRETE CYLINDER PIPE FOR A DISTANCE OF 10.0 FEET ON EACH SIDE OF THE CROSSING. WHEN A WATER MAIN IS CONSTRUCTED PARALLEL TO A SANITARY SEWER, THE HORIZONTAL SEPARATION SHALL BE 24 INCHES. WHEN A WATER MAIN IS CONSTRUCTED PARALLEL TO A SANITARY SEWER, IF THE WATER MAIN IS CONSTRUCTED CLOSER THAN 10.0 FEET TO THE SANITARY SEWER, THE SANITARY SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, PVC PRESSURE PIPE OR PRE-STRESSED CONCRETE CYLINDER PIPE, AND SHALL BE PRESSURE TESTED TO 150 PSI. REFERENCE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02168.
- CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS, COORDINATES AND ELEVATIONS BEFORE PROCEEDING WITH NEW WORK AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. NO NEW CONSTRUCTION SHOULD BE PERFORMED BY "SCALING" FROM THE PLANS.
- ALL EXCAVATION AND BACKFILL SHALL MEET OR EXCEED THE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02200. ALL TRENCHES SHALL BE BACKFILLED IN UNIFORM LIFTS NOT TO EXCEED 8 INCHES IN LOOSE MEASUREMENT. EACH LIFT SHALL BE COMPACTED TO THE REQUIRED DENSITY PRIOR TO THE NEXT LIFT BEING PLACED. THE BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF WITHIN A RANGE OF OPTIMUM TO BE 4 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AS DEFINED BY THE STANDARD PROCTOR (ASTM-D698) UNDER AREAS TO BE PAVED. THE BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE, PLUS 4% IN AREAS NOT TO BE PAVED. COMPACTION TESTS SHALL BE TAKEN AT EACH PAVEMENT CROSSING AND AT LOCATIONS DESIGNATED BY THE ENGINEER. ALL TRENCH BACKFILL, WHICH DOES NOT MEET THE REQUIRED DENSITY, SHALL BE RE-EXCAVATED AND RE-COMPACTED UNTIL THE REQUIRED DENSITY IS OBTAINED. COPIES OF ALL COMPACTION TEST REPORTS SHALL BE PROVIDED TO THE ENGINEER.
- NO ROCK LARGER THAN FOUR INCHES MAXIMUM DIMENSION SHALL BE PLACED WITHIN TWO FEET OF THE TOP OF THE PIPE. NO ROCK GREATER THAN ONE FOOT SHALL BE PLACED IN ANY EXCAVATION AS A BACKFILL.
- LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER.
- TAPS AT EXISTING PUBLIC MAIN WILL BE RESPONSIBILITY OF THE CONTRACTOR. WORK WILL BE COORDINATED WITH THE CITY.
- ALL PIPE 3" AND LARGER SHALL BE POLYETHYLENE ENCASED CLASS 52 DUCTILE IRON PIPE. ALL WATER MAIN MATERIALS ARE TO BE RESTRAINED AT ALL JOINTS, VALVES, HYDRANTS, COUPLINGS AND FITTINGS. REFERENCE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02618.
- HYDRANTS SHALL BE CURRENT KANSAS CITY, MO. PATTERN HYDRANTS MANUFACTURED ESPECIALLY FOR KC WATER. ALL HYDRANTS SHALL BE DESIGNED AND MANUFACTURED IN STRICT COMPLIANCE WITH AWWA C-502 INSTALLED "A.W.W.A. STANDARD FOR DRY-BARREL FIRE HYDRANTS" UNLESS OTHERWISE SPECIFIED. ALL HYDRANTS AND RELATED VALVES/ASSEMBLIES AND INSTALLATION SHALL COMPLY WITH KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02645.
- WATER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 4 FEET AND A MAXIMUM COVER OF 5 FEET. DEEPER EXCAVATIONS FOR CLEARANCE AT EXISTING PROPOSED UTILITIES IS ACCEPTABLE. REFERENCE CONST. NOTES 3 AND 8 AND KC WATER RULES AND REGULATIONS WATER SERVICE LINES SECTION 3.03E. FOR WATER MAINS CONSTRUCTED UNDER DRIVES OR PARKING AREAS THE DRIVES OR PARKING AREAS ARE TO BE SUBGRADE PRIOR TO WATER MAIN CONSTRUCTION. WATER MAINS 16-INCH AND LARGER SHALL BE INSTALLED WITH 60" MINIMUM GROUND COVER BELOW FINISH GRADE.
- THE CONTRACTOR SHALL FLUSH AND TEST LINES AS REQUIRED BY APWA AND KC WATER SPECIFICATIONS, LATEST EDITIONS, WHICHEVER IS STRICTER.
- WHERE FIRE HYDRANTS ARE NOT LOCATED AT THE END OF LINES, THE CONTRACTOR SHALL FURNISH A FLUSHING DEVICE. ALL FIRE HYDRANT BRANCHES SHALL BE RESTRAINED USING APPROVED RESTRAINING DEVICES. HYDRANTS SHALL BE INSTALLED SO THAT THE CENTERLINE OF THE OUTLET NOZZLE IS BETWEEN EIGHTEEN AND TWENTY-ONE INCHES ABOVE FINISHED GRADE, AND SO THAT THERE IS A MINIMUM CLEAR AREA OF 5' IN EACH DIRECTION TO ALLOW OPERATION OF THE HYDRANT. ALL FIRE HYDRANTS ARE TO BE SET WITH THE BASE 1" ABOVE THE TOP OF CURB OR GRADE.
- ALL TREES SHALL BE SPARED UNLESS MARKED. REFERENCE PROJECT LAND DISTURBANCE PLANS.
- ALL THIRST BLOOMS SHALL BE PROVIDED AT ALL HYDRANT ASSEMBLIES. REFERENCE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAINS AND RELOCATIONS SECTION 02669.
- CONSTRUCTION INSPECTION WILL BE PROVIDED BY OWNER.
- LINE IS TO BE 6"-BUILT CONSTRUCTION. IT IS RESPONSIBLE TO PREPARE AS-BUILTS AND SUBMIT TO OWNER. ALL BENDS, TEES, VALVES AND LINE 25' INTERVALS SHALL BE FLAGGED AND MARKED WITH DUCT TO TOP OF PIPE BY CONTRACTOR UPON COMPLETION OF BACKFILL AND MAINTAINED UNTIL LINE IS SURVEYED.
- SERVICE LINES SHALL HAVE A COVER OF NOT LESS THAN FOUR (4) FEET OR MORE THAN FIVE (5) FEET, UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR CLEARANCE THAT IS APPROVED BY KC WATER.

HORIZONTAL AND VERTICAL DATUM:
REFER TO SHEET C000

PROJECT CONTROL:
REFER TO SHEET C000

PROJECT BENCH MARKS:
REFER TO SHEET C000

CHK	DWN	DSN	DESCRIPTION	REV	DATE
CHRISTIAN J. CROWDER ENGINEER MO # 2015000538					
14700 WEST 114TH TERRACE LENEXA, KANSAS 66215 PH: (913) 894-5150 www.kawvalley.com					
KAW VALLEY ENGINEERING KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/27					
MIDWEST RECOVERY CENTERS 13645 HOLMES ROAD KANSAS CITY, MO 64145					
SITE PLAN UTILITY PLAN					
PROJ. NO. C25-2304					
DESIGNER KGK		DRAWN BY JON			
CFN 2304UP					
SHEET C500		REV			



2 RIGHT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES LEGEND			
MARK	BRAND	FINISH-COLOR	IMAGE
01	JAMES HARDIE	HARDIE PLANK SMOOTH ROBO GRAY	
02	CERTAINTED	PRESIDENTIAL SHAKE COUNTRY GRAY	

BASE4
Architects | Engineers | Designers
BASE4 International, LLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com

Seal:

Owner:

LODGINGONE
HOSPITALITY

KEN HEINZ
kheinz@lodgingone.com
913.897.2889

PROJECT INFORMATION:

MIDWEST RECOVERY CENTER

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

PROGRESS SET

CURRENT ISSUE DATE: 2026.04.28

DRAWN BY: HA

CHECKED BY: MK/SD

PROJECT #: B4-295-2501

SHEET NAME:

ELEVATIONS

SHEET NUMBER:

A-5.1



2 LEFT ELEVATION
1/8" = 1'-0"

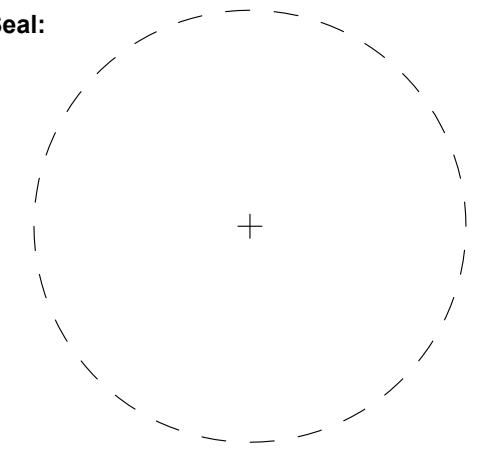


1 REAR ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES LEGEND			
MARK	BRAND	FINISH-COLOR	IMAGE
01	JAMES HARDIE	HARDIE PLANK SMOOTH ROBO GRAY	
02	CERTAINTED	PRESIDENTIAL SHAKE COUNTRY GRAY	



BASE⁴
Architects | Engineers | Designers
BASE4 International, LLLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com

Seal:


Owner:


KEN HEINZ
kheinz@lodgingone.com
913.897.2889

PROJECT INFORMATION:

MIDWEST RECOVERY CENTER

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

PROGRESS SET

CURRENT ISSUE DATE:
2026.04.28

DRAWN BY:
HA

CHECKED BY:
MK/SD

PROJECT #:
B4-295-2501

SHEET NAME:

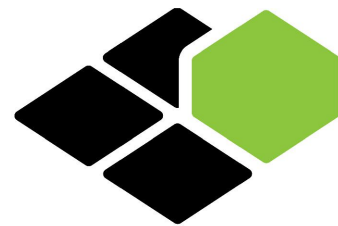
ELEVATIONS

SHEET NUMBER:

A-5.2

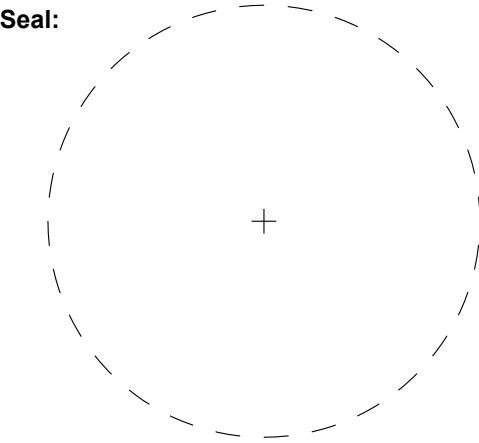


1 3D VIEW
N.T.S



BASE⁴

Architects | Engineers | Designers
BASE4 International, LLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com



KEN HEINZ
kheinz@lodgingone.com
913.897.2889

PROJECT INFORMATION:
**MIDWEST RECOVERY
CENTER**

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:
PROGRESS SET

CURRENT ISSUE DATE:
2026.04.28

DRAWN BY:
HA

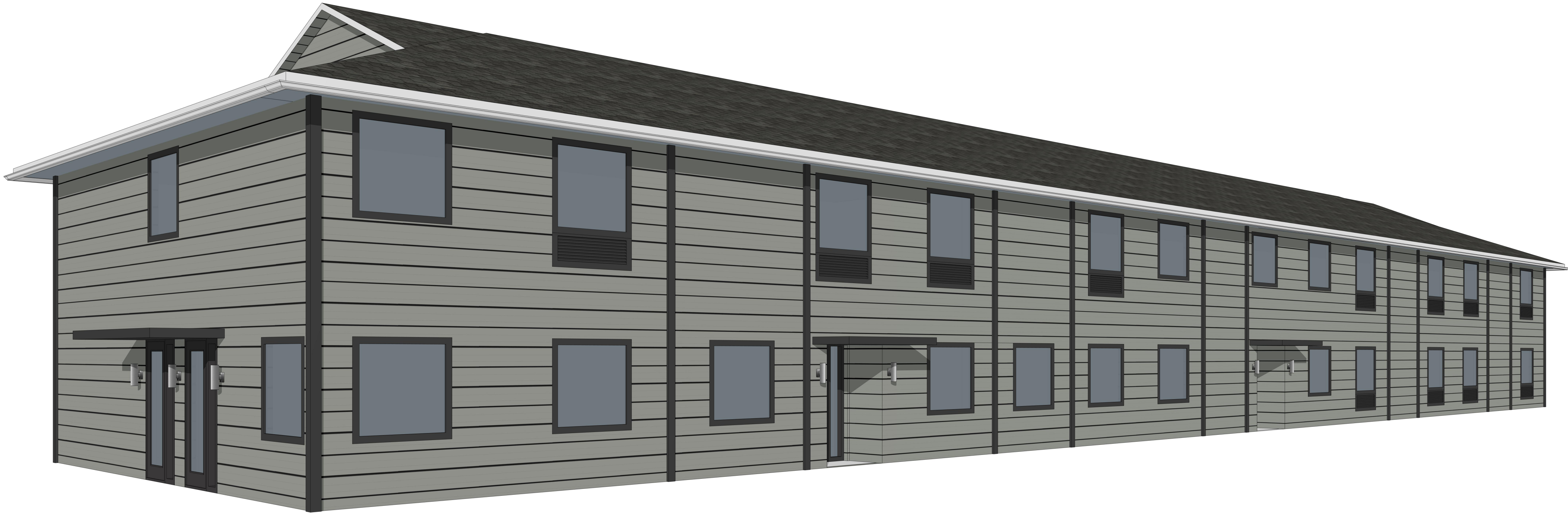
CHECKED BY:
MK/SD

PROJECT #:
B4-295-2501

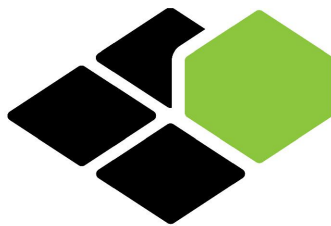
SHEET NAME:

VIEWS

SHEET NUMBER:
A-5.3

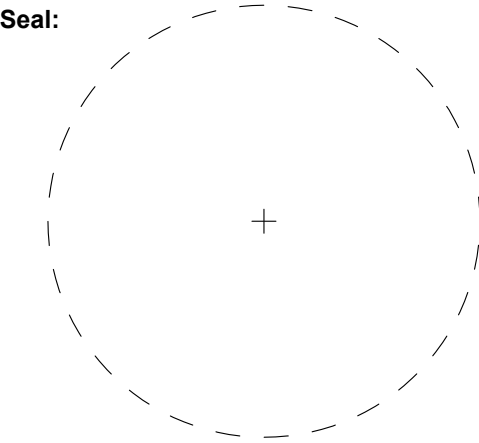


1 3D VIEW
N.T.S



BASE⁴

Architects | Engineers | Designers
BASE4 International, LLLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com



KEN HEINZ
kheinz@lodgingone.com
913.897.2889

PROJECT INFORMATION:
**MIDWEST RECOVERY
CENTER**

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:
PROGRESS SET

CURRENT ISSUE DATE:
2026.04.28

DRAWN BY:
HA

CHECKED BY:
MK/SD

PROJECT #:
B4-295-2501

SHEET NAME:

VIEWS

SHEET NUMBER:
A-5.4

GENERAL NOTES		LEGENDS	
1. COORDINATION: ALL ELECTRICAL WORK SHALL BE COORDINATE THROUGH THE DESIGN/BUILD CONTRACTOR. 2. CODE COMPLIANCE: ALL ELECTRICAL WORK SHALL COMPLY WITH OR SURPASS THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, NFPA 70, AND THE LATEST EDITION OF NESC. ALL WORK SHALL COMPLY WITH ALL APPLICABLE SERVING POWER AND COMMUNICATION UTILITIES CODES, ORDINANCES, RULES AND REGULATION. 3. MEET ALL REQUIREMENTS: ALL WORK SHALL MEET THE REQUIREMENTS OF THE AFORE MENTIONED CODES AND ALL CODES AND STANDARDS REFERENCED IN THE SPECIFICATION. ALTHOUGH THE DETAILS OF SUCH WORK MAY NOT BE SHOWN ON THE DRAWINGS OR REFERENCED IN THE SPECIFICATIONS. 4. CONFLICTS: CONFLICTS BETWEEN THE APPLICABLE CODES, STANDARDS AND THE PLANS AND SPECIFICATION MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN/BUILD CONTRACTOR, PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. 5. CONFLICTING STANDARDS: IN THE CASE OF CONFLICT BETWEEN THE CONTRACTOR DOCUMENTS AND A GOVERNING CODE OR ORDINANCE, THE MORE STRINGENT STANDARD SHALL APPLY. 6. ACCEPTANCE OF CONDITIONS: INITIATING WORK CONSTITUTES SUBCONTRACTOR ACCEPTANCE OF THE EXISTING CONDITION ASSOCIATED WITH THE WORK IN QUESTION. 7. TRADE LICENSE: THE ELECTRICAL SUBCONTRACTOR SHALL BE CURRENTLY LICENSED TO PERFORM THIS WORK WITHIN THE JURISDICTION HAVING AUTHORITY. ALL REQUIRED LICENSING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK. 8. SAFE: THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR OVERSEEING THE SAFE OPERATION OF ALL EQUIPMENT IN HIS USE. THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL OF THE EQUIPMENT IN HIS USE IN A SAFE CONDITION. KEEP DEAD FRONT EQUIPMENT IN PLACE WHEN EQUIPMENT IS ENERGIZED. CONDUCT ALL CONSTRUCTION OPERATION IN A SAFE MANNER FOR EMPLOYEES. AS WELL AS OTHER WORK PERSONS OR ANYONE VISITING THE JOB SITE. PROVIDE BARRIERS, FLAGS, TAPE, ETC. AS REQUIRED FOR SAFETY. ALL ELECTRICIANS MUST PERFORM THIER WORK IN ACCORDANCE TO THE GUIDELINES SET FORTH BY THE NFPA 70E. 9. PROFESSIONALISM AND APPEARANCE OF WORK: WORKMANSHIP OF ALL INSTALLATION SHALL BE IN ACCORDANCE WITH ACCEPTED PRACTICES OF THIS TRADE. INSTALLATION METHODS SHALL CONFORM TO MANUFACTURERS SPECIFICATION. THE SUBCONTRACTOR TRADE FOR THE DURATION OF THE JOB WITH QUALIFIED JOURNEMEN AND EMPLOYEES IN THIS TO COMMUNICATE WITH AND KEEP THE DESIGN/BUILD CONTRACTOR APPRAISED OF CHANGES OR CLARIFICATIONS. 10. WORKMANSHIP: ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN A NEAT, DURABLE , AND WORKMANLIKE MANNER. 11. STORAGE AND EQUIPMENT :STORAGE OF EQUIPMENT FOR THE JOB IS THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR AND SHALL BE SCHEDULED FOR DELIVERY TO THE SITE AS THE EQUIPMENT IS REQUIRED. DAMAGE TO THE EQUIPMENT DELIVERED TO THE SITE OR IN TRANSPORT TO THE JOB SHALL BE THE RESPONSIBILITY THE ELECTRICAL SUBCONTRACTOR. 12. UTILITY COORDINATION : ELECTRICAL SUBCONTRACTOR SHALL CONTACT ALL UTILITIES AND VERIFY ALL UTILITY REQUIREMENTS PRIOR TO COMMENCING OR ORDERING ANY MATERIALS. WHATSOEVER, CONFLICTS BETWEEN UTILITY REQUIREMENTS AND THE PLANS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN/BUILD CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION OR ORDERING ANY MATERIALS. WHATSOEVER, SUBCONTRACTOR SHALL CALL FOR A PRE-CONSTRUCTION FACE-TO-FACE MEETING WITH THE UTILITY COMPANIES TO REVIEW REQUIREMENTS AND PLANS. 13. METHODS OF CONSTRUCTION: UNLESS OTHERWISE NOTED OR SHOWN , THESE DRAWINGS AND SPECIFICATIONS DO NOT INDICATE METHODS OF CONSTRUCTION . THE SUBCONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFE WORK PRACTICES. 14. THE EXACT LOCATION AND THE ARRANGEMENTS OF ALL PARTS SHALL BE DETERMINED AS THE WORK PROGRESSES. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND FUNCTIONAL ELECTRICAL SYSTEM. 15. INCIDENTAL ITEMS: INCIDENTAL ITEMS NOT INDICATED ON DRAWINGS, NOT MENTIONED IN THE SPECIFICATIONS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO BELONG TO THE WORK DESCRIBED OR NECESSARY IN GOOD PRACTICE TO PROVIDE A COMPLETE SYSTEM, SHALL BE FURNISHED AND INSTALLED AS TOUGH ITEMIZED HERE IN EVERY DETAIL. 16. DAMAGE RESPONSIBILITY : THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY LOSS OR DAMAGE CAUSED BY HIM OR HIS WORKMEN TO THE FACILITY DURING THE COURSE OF CONSTRUCTION, AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING OR REPLACING AS REQUIRED TO INSURE RESTORATION TO ORIGINAL CONDITION. 17. COMPLETE AND FUNCTIONAL SYSTEM: SUBCONTRACTOR SHALL FURNISH MATERIALS, TOOLS, SERVICES, LABOR, ETC. FOR A COMPLETE AND FULLY FUNCTIONAL ELECTRICAL INSTALLATION UNLESS OTHERWISE NOTED ON PLANS. 18. COORDINATION WITH OTHER TRADES: THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ELECTRICAL INSTALLATION WITH ALL OTHER TRADES TO AVOID ANY CONFLICTS. 19. SUBCONTRACTOR SHALL DETERMINE EXACT LOCATION IN THE FIELD. FEEDERS SHALL NOT BE INCREASED IN LENGTHS SHOWN WITHOUT ENGINEERING APPROVAL. 20. EQUIPMENT OUTDOOR RATINGS: ALL ELECTRICAL EQUIPMENT EXPOSED OR INSTALLED OUTDOORS SHALL BE NEMA 3R (WEATHER PROOF) OR NEMA 4 (WET LOCATION) RATED. 21. SUBMITTAL /SHOP DRAWINGS : ALL SUBMITTAL /SHOP DRAWINGS SHALL CONTAIN COMPLETE INFORMATION NECESSARY TO DETERMINE THAT THE ITEM IS APPROPRIATE FOR THE PURPOSE INTENDED. ALL SUBMITTA /SHOP DRAWINGS SHALL CONTAIN THE MANUFACTURES CONTACT PERSON AND CURRENT TELEPHONE NUMBER . 22. INDICATED LOCATION OF EQUIPMENT :LOCATION OF EQUIPMENT ,CONDUIT, AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH THE CIVIL AND ARCHITECTURAL DRAWINGS. 23. NRTL LISTING: ALL ELECTRICAL EQUIPMENT SHALL BE NEW IN FIRST CLASS CONDITION AND LISTED BY NATIONALLY RECOGNIZED TESTING LABORATORY .(NRTL)SUCH AS U.L. IF SUCH A LISTING EXIST FOR COMPARABLE EQUIPMENT . 24. GENERAL SUBCONTRACTOR WORK: ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR WORK OF A GENERAL CONTRACTING NATURE SPECIFIED ON ELECTRICAL PLANS INCLUDING ,BUT NOT NECESSARILY LIMITED TO THE FOLLOWING . A. CONCRETE FOOTINGS INCLUDING REBAR AND MOUNTING BOLTS FOR PLACEMENTS OF LIGHTS FIXTURE POLES. B. TRENCHING AND BACKFILLING OF TRENCHES. C. SUPPLY AND INSTALLATION OF ALL EQUIPMENT PADS AND SPLICE BOXES UNLESS NOTED OTHERWISE. 25. WORKING SPACE :WORKING SPACE SHALL MEET OR EXCEED THE NEC REQUIREMENT FOR ALL ELECTRICAL EQUIPMENT . (SEE NFPA 70-2005, SEC 110-26) 26. EQUIPMENT ACCCEBILITY :IT SHALL BE THE RESPONSIBILITY OF SUBCONTRACTOR TO SEE THAT ALL THE ELECTRICAL EQUIPMENT SHALL BE MADE ACCESSIBLE ,SUCH AS JUNCTION BOXES ,PULL BOXES ,PANELBOARDS ,SWITCHES ,CONTROLS AND SUCH OTHER APPARATUS AS MAY REQUIRE MAINTENANCE AND OPERATION FROM TIME TO TIME .	27. EQUIPMENT PROTECTION: AFTER INSTALLATION , ELECTRICAL EQUIPMENT SHALL BE PROTECTED TO PREVENT DAMAGE DURING THE CONSTRUCTION PERIOD.OPENINGS IN CONDUITS AN BOXES SHALL BE CLOSED TO PREVENT THE ENTRANCE OF FOREIGN MATERIALS . 28. AS BUILD RECORD DRAWINGS: PROVIDE RECORD DRAWING TO THE D/B CONTRACTING OFFICER WITH ALL CHANGES NOTED THEREON AT THE COMPLETION OF THE PROJECT . RECORD DRAWINGS SHALL BE SIGN AND DATED BY SUBCONTRACTOR . 29. SHOP DRAWINGS:SUBMIT SHOP DRAWINGS AND MATERIALS LIST FOR REVIEW PRIOR TO COMMENCING ANY WORK. ALL EQUIPMENT TO BEAR U.L. LABEL OR THAT OF ANOTHER ACCEPTABLE TESTING LABORATORY WHEN SUCH LISTINGS EXIST. FOR COMPARABLE EQUIPMENT SHOP DRAWING MUST BE STAMPED BY THE SUBCONTRACTOR FOR CONFORMANCE PRIOR TO SUBMITTAL. 30. DIGGING PERMITS AND OUTAGE REQUESTS :ALL DIGGING PERMITS AND OUTAGE REQUESTS ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR . COPIES SHALL BE PROVIDED TO THE D/B CONTRACTOR BEFORE CONSTRUCTION BEGINS . 30. DIGGING PERMITS AND OUTAGE REQUESTS: ALL DIGGING PERMITS AND OUTAGE REQUESTS ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR. COPIES SHALL BE PROVIDED TO THE D/B CONTRACTOR BEFORE CONSTRUCTION BEGINS. 31. ATTRACTIVE NUISANCES: OPEN TRENCHES, ELECTRICAL EQUIPMENT AND DEVICES SHALL NOT PRESENT AN ATTRACTIVE NUISANCE TO CHILDREN. ALL ELECTRICAL EQUIPMENT SHALL BE TOTALLY INACCESSIBLE, DEAD FRONT AND LOCKABLE. 32. ROUTING AND LOCATION: THE ROUTING OF THE NEW UNDERGROUND FEEDERS SHALL BE APPROVED BY AND COORDINATED WITH THE DESIGN/BUILD CONTRACTOR. EXCEPT FOR CROSSINGS, ELECTRICAL AND COMMUNICATIONS UTILITIES SHALL NOT BE LOCATED UNDER STREETS. 33. UPON COMPLETION OF WORK THE SUBCONTRACTOR SHALL PROVIDE THE D/B CONTRACTOR WITH ONE (1) SPARE SET OF FUSES OF EACH SIZE AND TYPE INSTALLED IN THE PROJECT. 34. THE SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE DESIGN/BUILD CONTRACTOR FOR REMOVING, LOCATING, CAPPING AND OR RELOCATION OF ANY ELECTRIC FACILITIES WHICH ARE NOT TO REMAIN IN SERVICE AND TO INSTAL FACILITIES AS REQUIRED TO MAINTAIN CONTINUOUS SERVICE TO DWELLING UNITS OR BUILDING STRUCTURES THAT WILL REMAIN. 35. NON-METALLIC WEATHERPROOF ENCLOSURES SHALL BE CONSTRUCTED OF GLASS FIBER REINFORCED POLYESTER RESIN, WITH PIGMENTED HEAT RESISTANT HIGH GLOSS SURFACING SEALER ON THE INTERIOR, WITH PIGMENTED, ULTRAVIOLET UIGHT STABILIZED WEATHER RESISTANT SURFACE COAT ON THE EXTERIOR. EACH SECTION SHALL BE MOLDED IN ONE PIECE, SECTIONAL COMPONENTS JOINED BY BOLTING RIVETING OR USE OF ADHESIVES ARE NOT ACCEPTABLE. ALL HARDWARE SHALL CONSIST OF TYPE 304 STAINLESS STEEL AND SHALL INCLUDE PENTAGONAL BOLTS AND PROVISIONS FOR PADLOCKING. DIMENSIONS OF ENCLOSURES SHALL BE AS REQUIRED TO ACCOMMODATE EQUIPMENT AND/OR FUNCTIONS SPECIFIED, BUT IN NO CLASS SMALLER THAN INDICATED. 36. PROVIDE LOCKS AT ALL ELECTRICAL ENCLOSURES SUCH AS TRANSFORMERS, FUSE AND SPLICE CABINETS. LOCKS ARE TO BE COMPATIBLE WITH EXISTING LOCKS USED BY BASE ELECTRICAL. 37. PROVIDE ENGRAVED PLASTIC NAME PLATES FOR SWITCHBOARDS, PANELS, TERMINAL CABINETS, AND ANY OTHER MAJOR ELECTRICAL ITEM. SCREW-ON ATTACHMENT ONLY- NO ADHESIVE. 38. EQUIPMENT LOCATIONS ARE APPROXIMATE. EXACT ROUTING AND EQUIPMENT LOCATION IS TO BE COORDINATED WITH OTHER TRADES AND APPROVED BY THE D/B CONTRACTOR WHERE SHOWN. EQUIPMENT IS TO BE CLUSTERED, COORDINATE CLUSTERED LOCATIONS WITH LANDSCAPE CONTRACTOR FOR SHIELDING, MAINTAIN WORKING CLEARANCES. A MINIMUM DISTANCE OF 4' IS REQUIRED BETWEEN PRIMARY ELECTRICAL LINES AND WET UTILITIES. 39. TRENCHING IS TO AVOID DRIP LINES ON TREES AS SHOWN ON PLANS. ALL TRENCHING WITHIN DRIP LINES TO BE APPROVED BY THE D/B CONTRACTOR. 40. STAKING OF ELECTRICAL EQUIPMENT PADS: ALL ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, SWITCHES, METERS, JUNCTION CABINETS, LIGHTING POLE BASES, ETC. ARE TO BE STAKED BY THE ASSIGNED PROJECT SURVEYORS FOR FINAL ELEVATION AND LOCATION OF PADS OR ANCHORS. ELEVATIONS ARE TO BE DETERMINED BY THE SITE CIVIL DESIGN ENGINEER IN CONSISTENCIES AND INTERFERENCES ARE TO BE REPORTED TO THE D/B CONTRACTOR. THE ELECTRICAL SUBCONTRACTOR IS TO VERIFY THAT EQUIPMENT PAD ELEVATIONS ARE AS STAKED. 41. STAKING OF ELECTRICAL TRENCHES: AFTER ELECTRICAL TRENCHES ARE MARKED FOR ROUTING BY THE ELECTRICAL SUBCONTRACTOR, ARRANGEMENTS ARE TO BE MADE FOR THE ASSIGNED PROJECT SURVEYORS TO LOCATE THE MARKED ROUTE AND TRANSFER THIS INFORMATION TO THE SITE CIVIL DESIGN ENGINEER TO ASSIGN FINISH GRADES. THESE FINISH GRADES SHALL BE TRANSFERRED BACK TO THE ASSIGNED PROJECT SURVEYOR TO PROVIDE TRENCH STAKING INDICATING FINAL GRADE TO INSURE THAT MINIMUM BURIAL DEPTHS ARE MAINTAINED. THE ELECTRICAL SUBCONTRACTOR IS TO VERIFY THAT TRENCH DEPTHS RELATIVE TO FINISH GRADE ARE AS STAKED. 42. ALL SPARE/EMPTY CONDUITS SHALL BE PROVIDED WITH A PULL LINE. 43. INSTALLATION GUIDELINES SHALL CONFIRM TO CURRENT NFPA 70 NEC. 44. ALL EQUIPMENT INCLUDING POLE RISERS, PAD MOUNTED GEAR, LIGHT POLES AND ISC. EQUIPMENTS SHALL BE GROUNDED. 45. EQUIPMENT GROUNDING: ONE 3/4" INCH BY 10 FOOT COPPER CLAD GROUND ROD SHALL BE INSTALLED IN A CONDUIT WINDOW OF EACH EQUIPMENT PAD (WHERE TRANSFORMER PADS HAVE MORE THAN ONE CONDUIT WINDOW. THE GROUND RODS SHALL BE INSTALLED IN SECONDARY/LOW VOLTAGE WINDOW). ALL UNDERGROUND GROUNDING CONNECTIONS SHALL BE EXOTHERMIC TYPE CONNECTIONS.	CONDUIT FOR POWER COMMUNICATIONS CONDUIT CONDUIT FOR BUILDING SIGNAGE PANEL POLE LIGHT BOLLARD LIGHT	
ABBREVIATIONS AAMP AFCAVAILABLE FAULT CURRENT AICAMPERES INTERRUPTING CAPACITY AFFABOVE FINISHED FLOOR ADAAMERICAN DISABILITIES ACT ATAMP TRIP ATSAUTOMATIC TRANSFER SWITCH AWGAMERICAN WIRE GAUGE BRKRBREAKER CCONDUIT OR CONDUCTOR- AS APPLICABLE CBCIRCUIT BREAKER CKT CLGCEILING COCONDUIT ONLY CPTCONTROL POWER TRANSFORMER DTTSDOUBLE THROW TRANSFER SWITCH EC EFEMPTY CONDUIT EFEXHAUST FAN ELECELECTRICAL/ELECTRIC EMEMERGENCY FAFIRE ALARM FACPFIRE ALARM CONTROL PANEL FLOOR?FLUORESCENT G.GNDGROUND GENGENERATOR GF,GFCEGROUND FAULT (CIRCUIT) INTERRUPTER HHHAND HOLE/HIGH INTENSITY DISCHARGE HIDHAND-OFF/AUTO HOAHORSE POWER HPHOT WATER HEATER HWHISOLATED GROUND ISINCANDESCENT INCBJUNCTION BOX JBTHOUSAND CIRCULAR MILES KCKILOVOLT - AMPERE KVAKILOWATT KWKILOWATT HOUR KVHK LTGLIGHTING LTSLIGHTS MCBMAIN CIRCUIT BREAKER MCCMOTOR CONTROL CENTER MCPMAIN DISTRIBUTION PANEL MHMOUNTING HEIGHT MLOMAIN LUG ONLY NNEUTRAL NECNATIONAL ELECTRICAL CODE NFNON FUSED NFANATIONAL FIRE PROTECTION ASSOCIATION NLNIGHT LIGHT (UNSWITCHED CKT.) PPOLE PBPULL BOX PHPHASE PNNEL PVCPOLYVINYL CHLORIDE PWRPOWER RCPTRECEPTACLE RGSRIGID GALVANIZED STEEL SF SHSHIELDED SPDSURGE PROTECTIVE DEVICE SPDTSINGLE POLE, DOUBLE THROW SPSTSINGLE POLE, SINGLE THROW SRAICSERIES RATED AMPERES INTERRUPTING CAPACITY SWSWITCH SWBSTRUCTURED WIRING BOX TELETELEPHONE TTBTELEPHONE TERMINAL BOARD UGUNDERGROUND UPSUNINTERRUPTABLE POWER SUPPLY UONUNLESS OTHERWISE NOTED VVOLT WWATTS WPWEATHERPROOF XFMRTRANSFORMER		 MANUFACTURER - COOPER LUMARK CATALOG - PRV C40-D-UNV-T4-DP INPUT WATTAGE - 131 W COLOR TEMP - 3000K FIXTURE - P3  MANUFACTURER - COOPER/LUMIERE CATALOG - 303-B1-LEDB2-UNV-T4 INPUT WATTAGE - 15.5 W COLOR TEMP - 3000K FIXTURE - B1	
		NOTE: REFER TO SITE PLAN ON SHEET LT-002 FOR MOUNTING HEIGHT OF THE FIXTURES.	
SITE LIGHTING GENERAL NOTES: 1. CONTRACTOR SHALL CO-ORDINATE WITH OWNER/CIVIL ENGINEER FOR SITE LIGHTING DETAILS. BASE4 HAS PROPOSED PANEL FOR SITE POWER CONTRACTOR SHALL USE THAT FOR FUTURE REFERENCE. 2. LIGHTING NOT DESIGNATED FOR DUST-TO-DAWN OPERATION SHALL BE CONTROLLED BY EITHER A COMBINATION OF A PHOTOSENSOR AND A TIME SWITCH, OR AN ASTRONOMICAL TIME SWITCH. LIGHTING DESIGNATED FOR DESK-TO-DAWN OPEATION SHALL BE CONTROLLED BY AN ASTRONOMICAL TIME SWITCH OR PHOTOSENSOR. ALL TIME SWITCHES SHALL RETAIN PROGRAMMING AND THE TIME SETTING DURING LOSS OF POWER FOR A PERIOD OF AT LEAST 10 HOURS. LIGHTING DESIGNATED TO OPERATE MORE THAN 2000 HOURS PER YEAR FOR UNCOVERED PARKING AREAS SHALL BE EQUIPPED WITH MOTION SENSORS THAT WILL REDUCE THE LUMINARIES POWER BY 33 PERCENT OR TURN OFF ONE THIRD THE LUMINARIES WHEN NO ACTIVITY IS DETECTED. 3. POLE BASE COVERS ARE TO BE INSTALLED SO THAT THE BASE COVER FITS FLUSH TO THE TOP OF THE CONCRETE BASE. LEVELING SHIMS AND NUTS SHALL NOT CAUSE A GAP BETWEEN THE POLE BASE AND THE BASE COVER. 4. ALL WIRING IS TO BE #12 AWG AND #12 AWG GROUND MINIMUM THHN/THWN (90 DEG. C) IN 1" SCHEDULE 40 PVC (MINIMUM SIZE). TRENCH 30" DEEP. CLEAN BACKFILL USING SITE MATERIALS CAN BE USED. PROVIDE PREMIUM BACKFILL WHERE SITE MATERIALS ARE NOT ACCEPTABLE FOR USE.			



BASE⁴

Architects | Engineers | Designers

BASE4 International, LLP

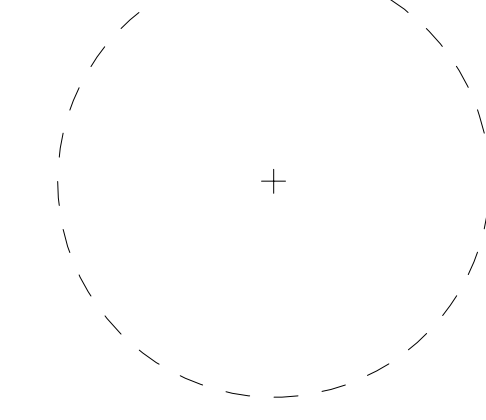
#G11-230 5030 Champion Blvd.

Boca Raton, Florida 33496

888.901.8008

www.base-4.com

Seal:



Owner:



KEN HEINZ

kheinzz@lodgingone.com

913.897.2889

PROJECT INFORMATION:

MIDWEST RECOVERY
CENTER

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

PROGRESS SET

CURRENT ISSUE DATE:

2026.06.29

DRAWN BY:

DR

CHECKED BY:

GWV

PROJECT #:

B4-295-2501

SHEET NAME:

GENERAL NOTES,
LEGENDS AND
ABBREVIATIONS

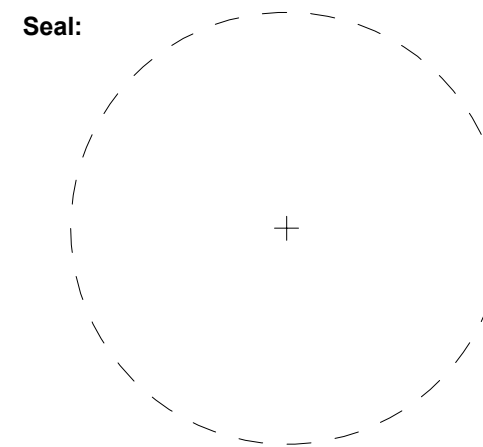
SHEET NUMBER:

LT-001



BASE4

Architects | Engineers | Designers
BASE4 International, LLLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com



Owner:



KEN HEINZ
kheinzz@lodgingone.com
913.897.2889

PROJECT INFORMATION:

MIDWEST RECOVERY
CENTER

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

PROGRESS SET

CURRENT ISSUE DATE:

2026.06.29

DRAWN BY:

DR

CHECKED BY:

GWV

PROJECT #:

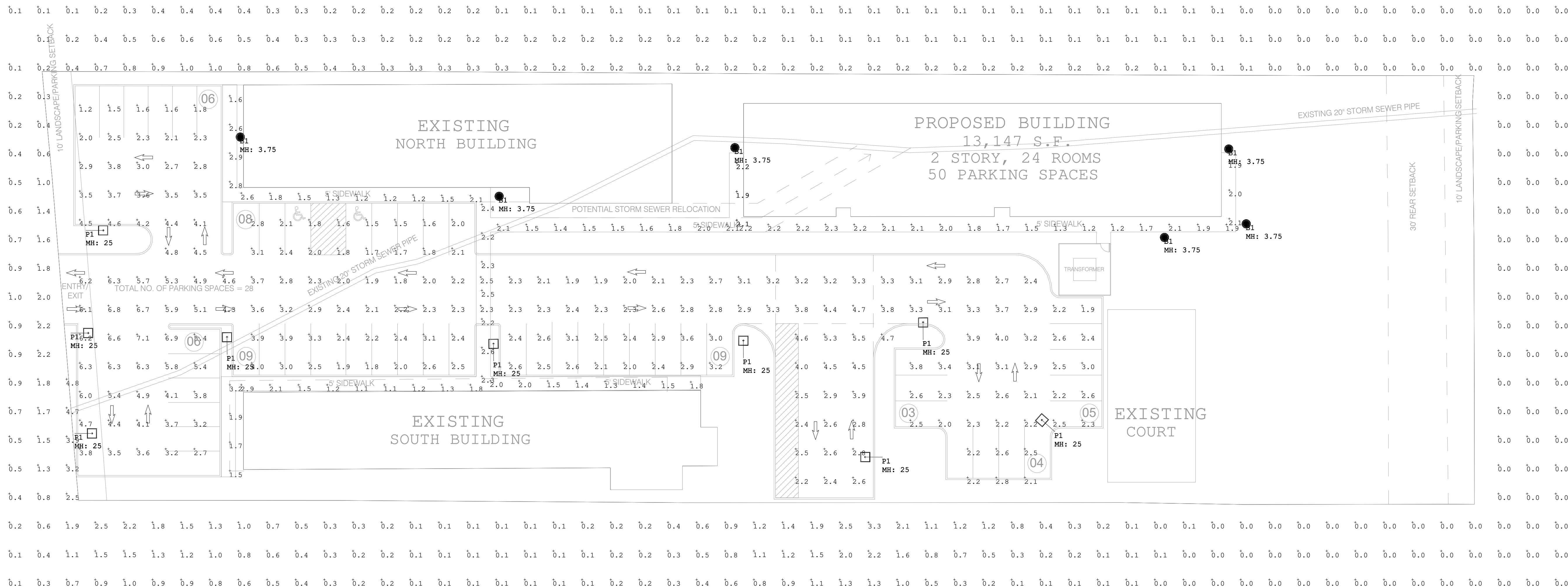
B4-295-2501

SHEET NAME:

SITE
PHOTOMETRICS

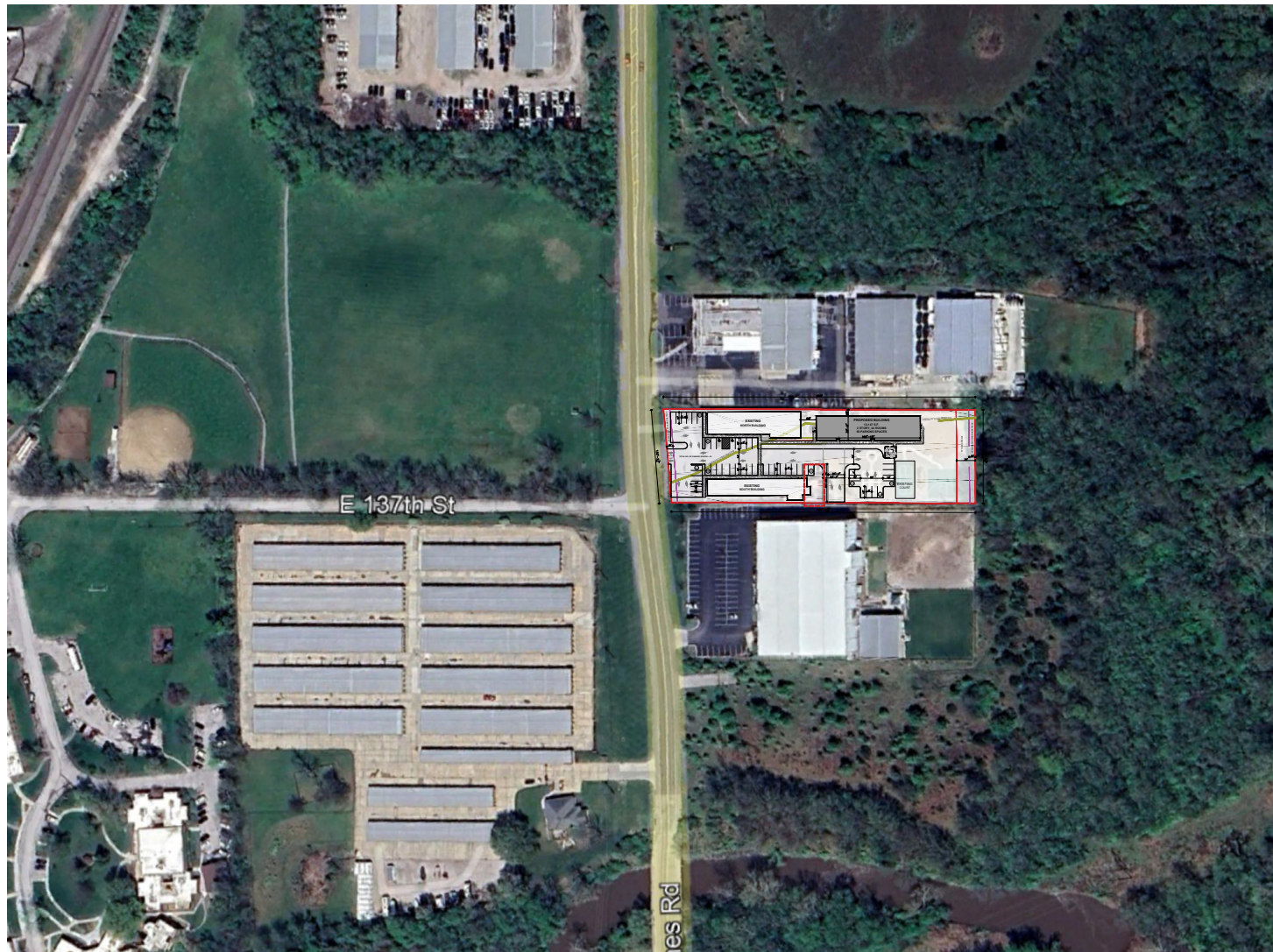
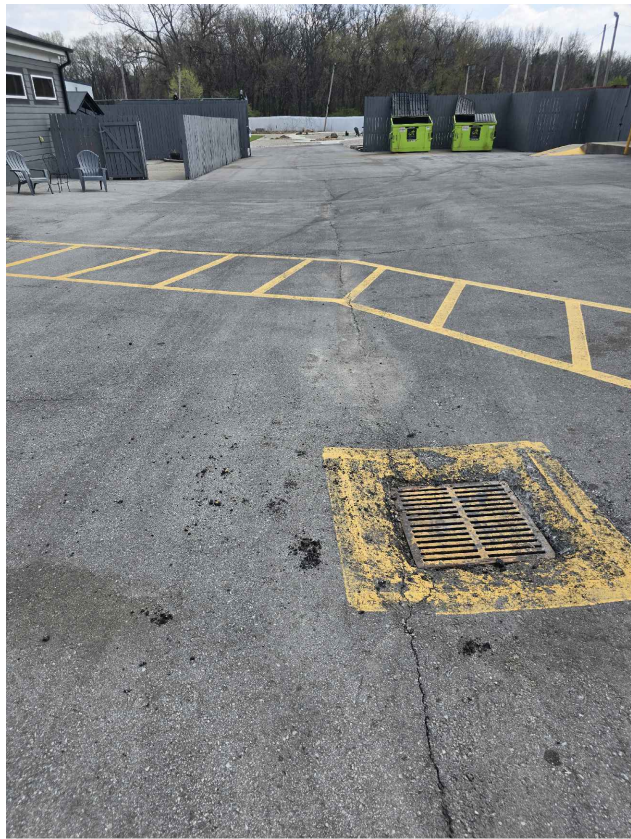
SHEET NUMBER:

LT-002



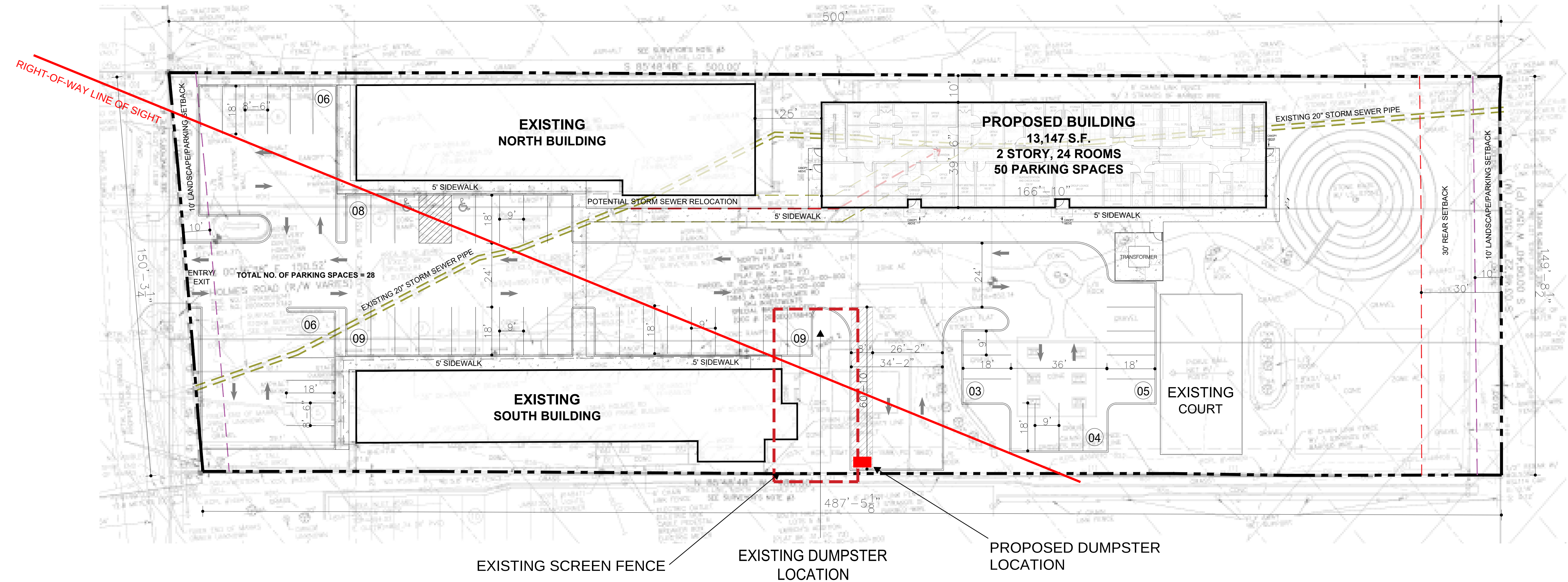
Luminaire Schedule					
Symbol	Label	Arrangement	Total Lamp Lumens	LLF	Description
	P1	SINGLE	N.A.	0.900	PRV-C40-D-UNV-T4-BZ
	B1	SINGLE	N.A.	0.900	303-B1-LEDB2-4000-UNV-T4-DIM10-EDGE

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING	Illuminance	Fc	3.17	7.1	1.2	2.64	5.92
PROPERTY LINE	Illuminance	Fc	0.39	4.8	0.0	N.A.	N.A.
SIDEWALK	Illuminance	Fc	1.87	3.2	1.1	1.70	2.91



NOTE: EXISTING DUMPSTER LOCATION, HIDDEN FROM PUBLIC VIEW

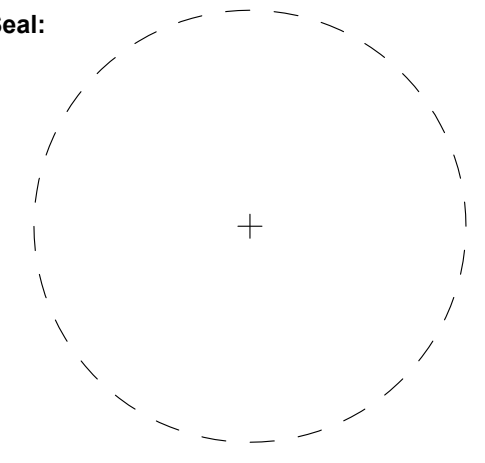
VICINITY MAP
SCALE- N.T.S





BASE4
Architects | Engineers | Designers
BASE4 International, LLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com

Seal:



Owner:

LODGING ONE
HOSPITALITY

KEN HEINZ
kheinz@lodgingone.com
913.897.2889

PROJECT INFORMATION:

MIDWEST RECOVERY CENTER

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

PROGRESS SET

CURRENT ISSUE DATE: 2026.06.29

DRAWN BY: PH/SD

CHECKED BY: MK/SD

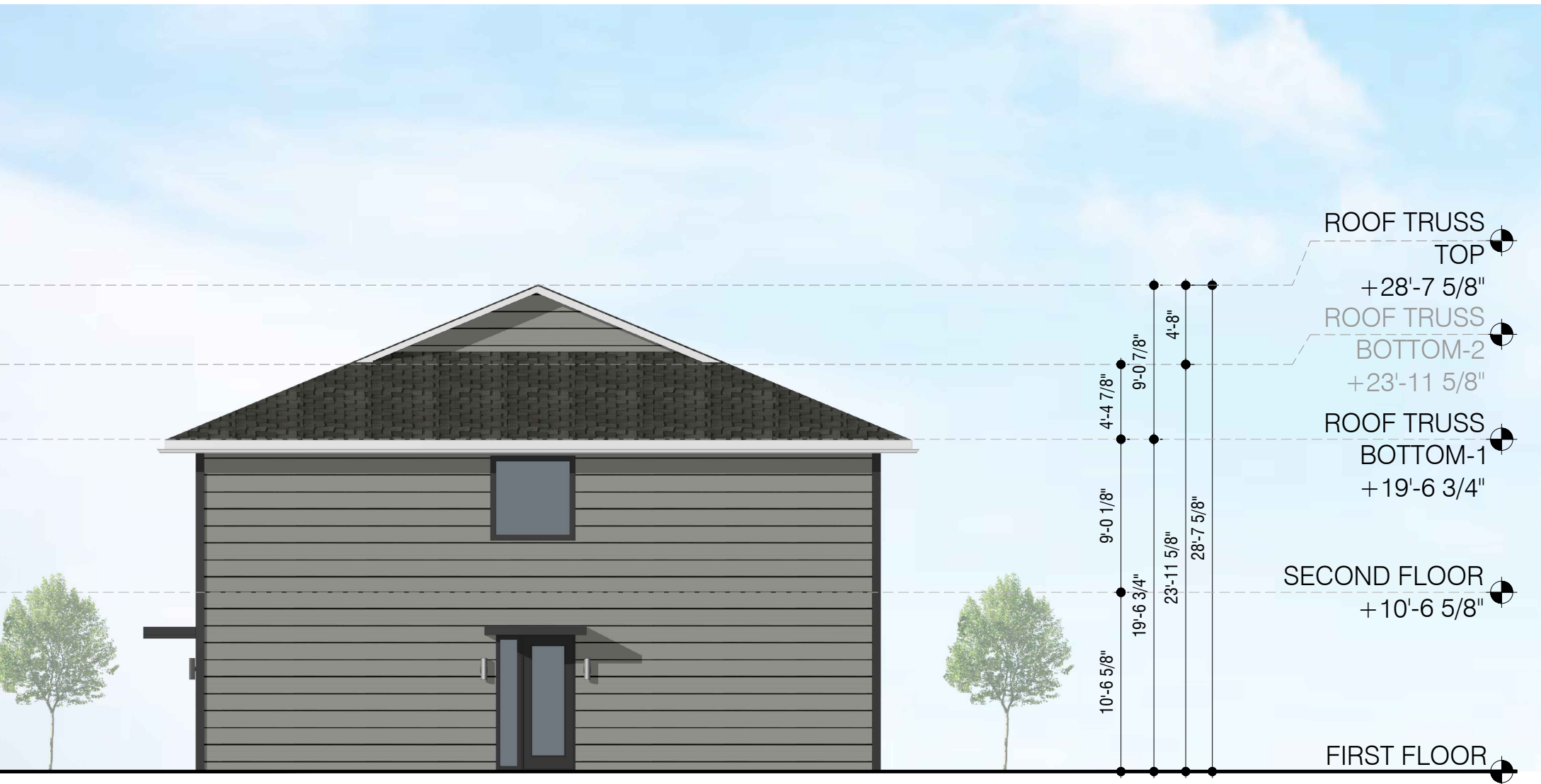
PROJECT #: B4-295-2501

SHEET NAME:

DUMPSTER LOCATION

SHEET NUMBER:

A-1.2



2 RIGHT ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES LEGEND			
MARK	BRAND	FINISH-COLOR	IMAGE
01	JAMES HARDIE	HARDIE PLANK SMOOTH ROBO GRAY	
02	CERTAINTED	PRESIDENTIAL SHAKE COUNTRY GRAY	



1 FRONT ELEVATION
1/8" = 1'-0"

BASE⁴
Architects | Engineers | Designers
BASE4 International, LLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com

Seal:

Owner:

LODGINGONE
HOSPITALITY

KEN HEINZ
kheinze@lodgingone.com
913.897.2889

PROJECT INFORMATION:

MIDWEST RECOVERY CENTER

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

PROGRESS SET

CURRENT ISSUE DATE: 2026.06.29

DRAWN BY: HA

CHECKED BY: MK/SD

PROJECT #: B4-295-2501

SHEET NAME:

ELEVATIONS

SHEET NUMBER:

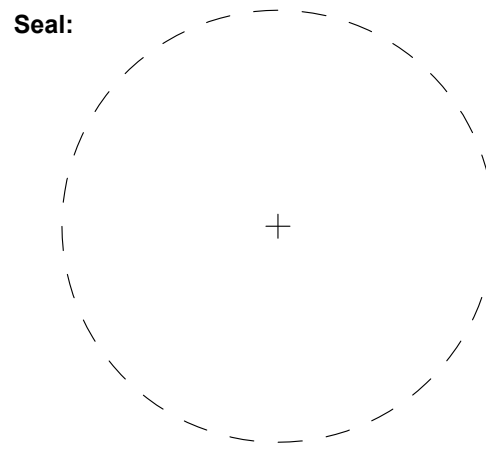
A-5.1



EXTERIOR FINISHES LEGEND			
MARK	BRAND	FINISH-COLOR	IMAGE
01	JAMES HARDIE	HARDIE PLANK SMOOTH ROBO GRAY	
02	CERTAINTED	PRESIDENTIAL SHAKE COUNTRY GRAY	



BASE⁴
Architects | Engineers | Designers
BASE4 International, LLLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com



Owner:



KEN HEINZ
kheinz@lodgingone.com
913.897.2889

PROJECT INFORMATION:
**MIDWEST RECOVERY
CENTER**

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

PROGRESS SET

CURRENT ISSUE DATE: 2026.06.29

DRAWN BY: HA

CHECKED BY: MK/SD

PROJECT #: B4-295-2501

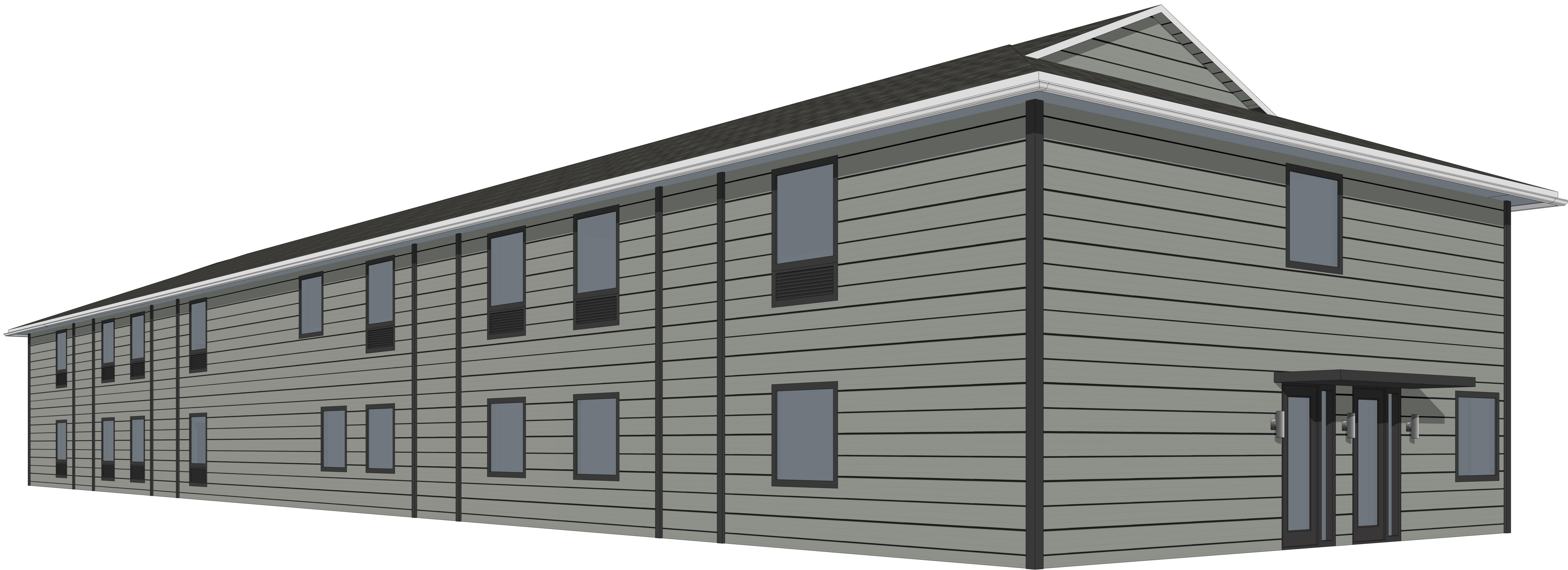
SHEET NAME:

ELEVATIONS

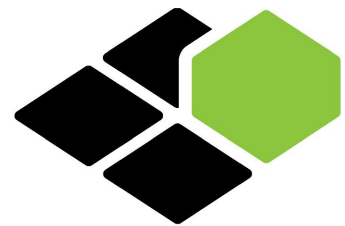
SHEET NUMBER:

A-5.2



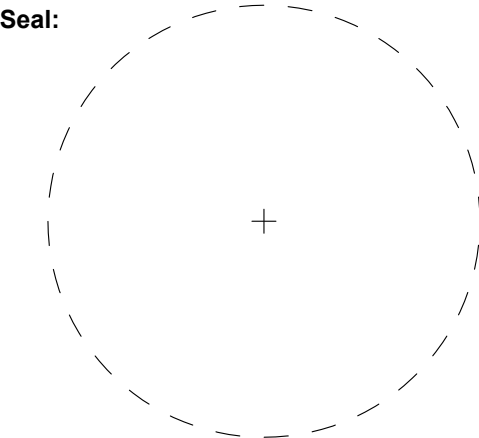


1 3D VIEW
N.T.S



BASE⁴

Architects | Engineers | Designers
BASE4 International, LLLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com



Owner:



KEN HEINZ
kheinz@lodgingone.com
913.897.2889

PROJECT INFORMATION:

MIDWEST RECOVERY
CENTER

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

PROGRESS SET

CURRENT ISSUE DATE:

2026.06.29

DRAWN BY:

HA

CHECKED BY:

MK/SD

PROJECT #:

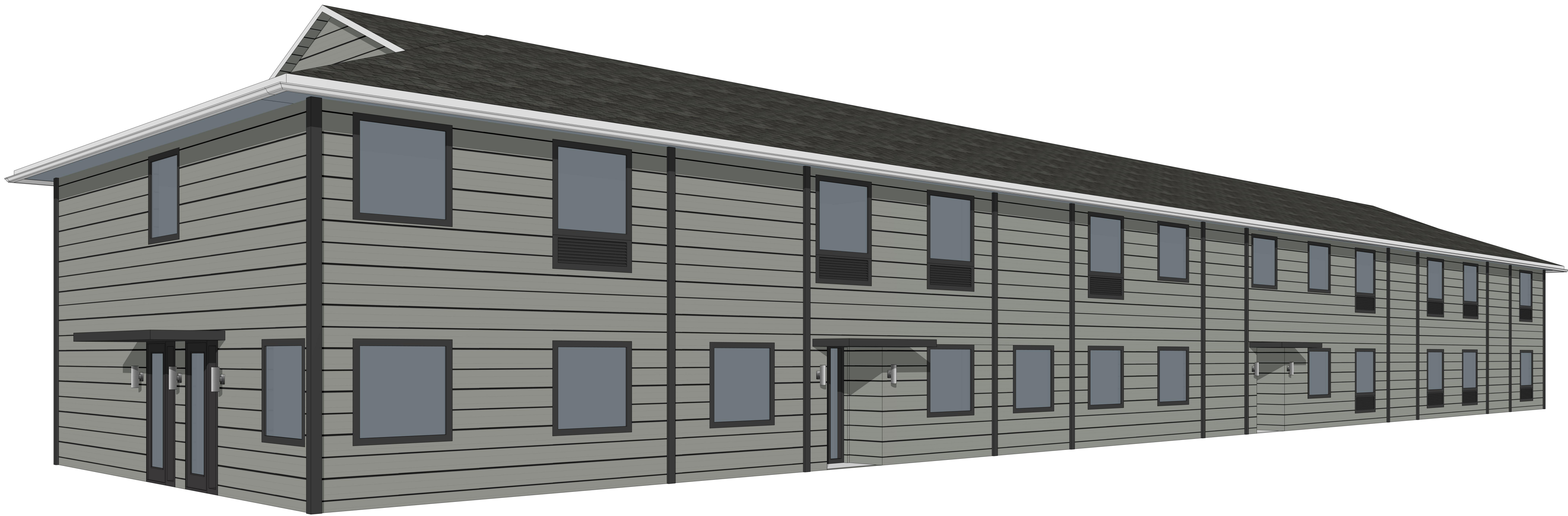
B4-295-2501

SHEET NAME:

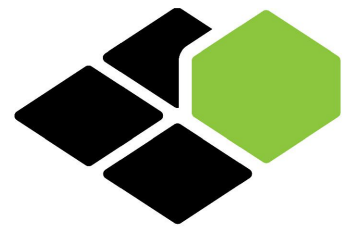
VIEWS

SHEET NUMBER:

A-5.3

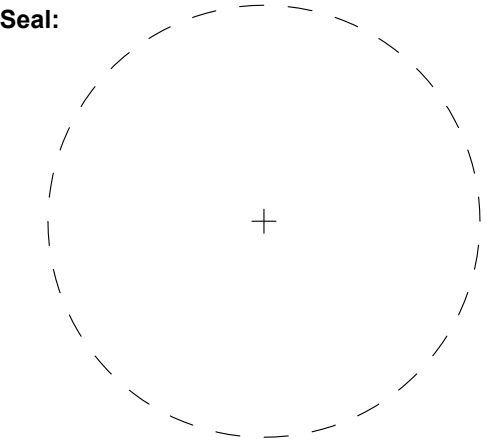


1 3D VIEW
N.T.S



BASE⁴

Architects | Engineers | Designers
BASE4 International, LLLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com



KEN HEINZ
kheinz@lodgingone.com
913.897.2889

PROJECT INFORMATION:
**MIDWEST RECOVERY
CENTER**

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:
PROGRESS SET

CURRENT ISSUE DATE:
2026.06.29

DRAWN BY:
HA

CHECKED BY:
MK/SD

PROJECT #:
B4-295-2501

SHEET NAME:

VIEWS

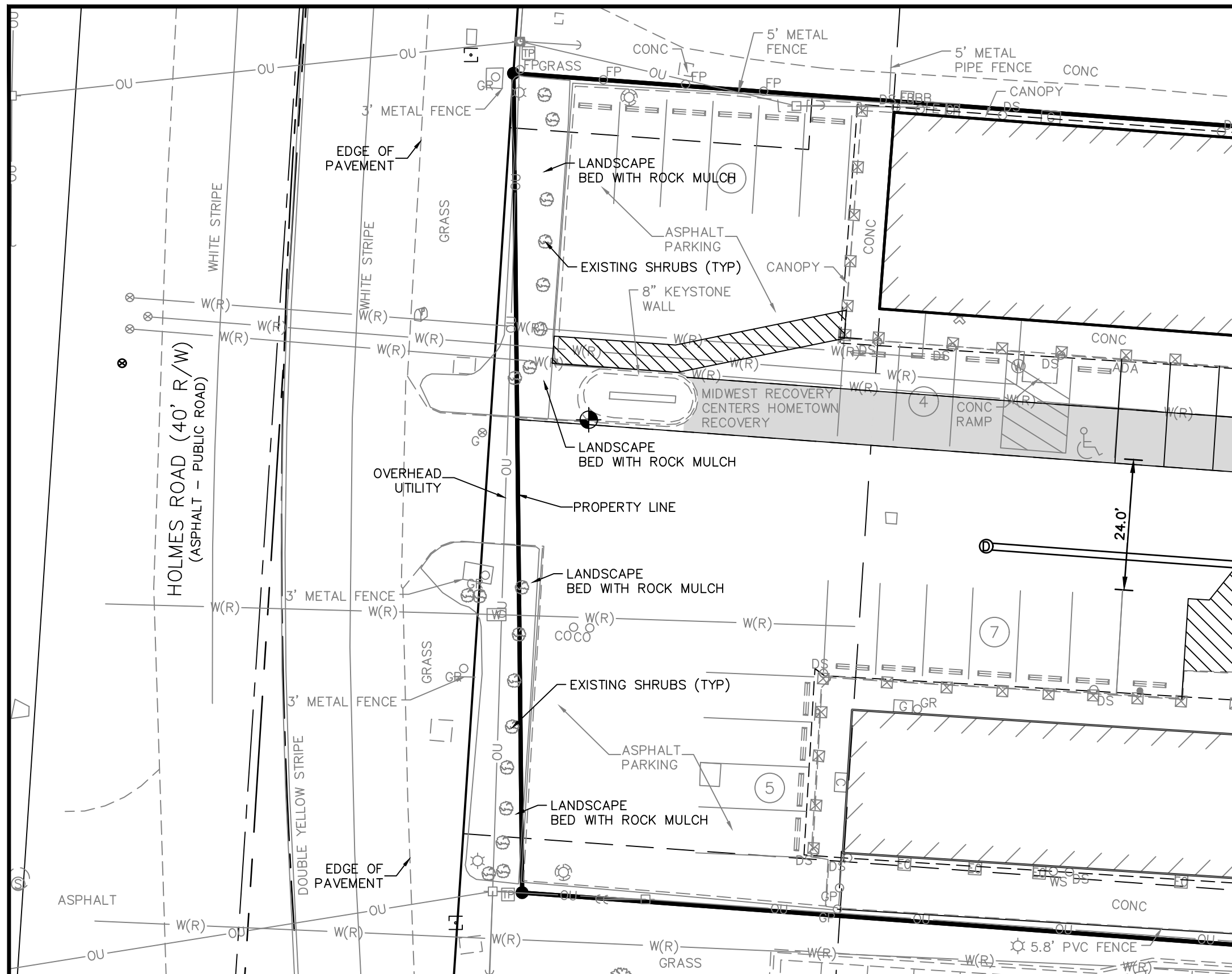
SHEET NUMBER:
A-5.4



Existing screen fence viewed from adjacent property.



Existing screen fence viewed from adjacent property.



LOOKING NORTH FROM DRIVE ENTRANCE



LOOKING SOUTH FROM DRIVE ENTRANCE