

GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS OF THE LOCAL JURISDICTION AND MISSOURI DEPARTMENT OF TRANSPORTATION AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK. UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CITY REGULATIONS, STATE CODES, AND O.S.H.A. STANDARDS. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING THE NECESSARY MATERIALS & LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS, AND IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE APPROPRIATE APPROVING AUTHORITIES.
4. THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ACSE 38/02, ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF SUBSURFACE QUALITY DATA BY THE FHA. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
8. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK.
9. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS.
14. SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LADEN SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.
15. CONTRACTOR SHALL NOTIFY OWNER AND/OR ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES: PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION, ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION, INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC., SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES.

THIRD PARTY SUPPLEMENTAL INFORMATION

KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED WITHIN SUPPLEMENTAL INFORMATION PROVIDED BY THIRD PARTY CONSULTANTS.

- 1. BOUNDARY & TOPOGRAPHIC SURVEY PERFORMED BY: J & J SURVEY ADDRESS: 9880 N. GREEN HILLS ROAD, KANSAS CITY, MO 64154 PHONE: 816-741-1017 DATED: 06/25/2024
2. GEOTECHNICAL EVALUATION REPORT PERFORMED BY: CFS ENGINEERS ADDRESS: 1100 W. CAMBRIDGE CIRCLE DRIVE, SUITE 700, KANSAS CITY, MO 66103 DATED: 07/23/2024
3. CONSTRUCTION TESTING TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO: DENSITY TEST REPORTS BACTERIOLOGICAL TESTS OF WATER SYSTEM PRESSURE TEST OF WATER/SEWER LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

EROSION CONTROL NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE.
6. BMP'S SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE.
7. EROSION & SEDIMENT CONTROL BMP'S SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING:
7.1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
7.2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO VERIFY THAT A HEALTHY STAND OF VEGETATION IS MAINTAINED.
7.3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
7.4. THE ROCK CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
7.5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION.
7.6. PERFORM ALL MAINTENANCE OPERATIONS IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

PAVING AND STRIPING NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE KANSAS CITY OR PLATTE COUNTY SPECIFICATIONS AND STANDARDS, OR THE MODOT SPECIFICATIONS AND STANDARDS IF NOT COVERED BY KANSAS CITY OR PLATTE COUNTY REGULATIONS.
2. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D) AND KANSAS CITY STANDARDS.
3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAY LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESS AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
4. ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
5. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
6. ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
7. THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. (AMERICAN CONCRETE INSTITUTE) MANUAL OF CONCRETE PRACTICE.
8. CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
9. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER A.D.A). GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS.
11. MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

GRADING AND DRAINAGE NOTES

- 1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMP'S AS NECESSARY AND REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
5. BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE.
6. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK.
7. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING.
8. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
9. THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS.
11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MODOT STANDARDS.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION.
14. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING.
15. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS.
16. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND MODOT SPECIFICATIONS.
17. PAVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATION OF THE SITE SPECIFIC GEOTECHNICAL EVALUATION REPORT AND KANSAS CITY & MODOT SPECIFICATIONS.
18. SPOT ELEVATIONS REPRESENT THE FINISHED SURFACE GRADE OR FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
19. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON THE PLAN.
20. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
21. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
22. BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
23. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS.
24. ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
25. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

WATER STORM SEWER & SANITARY SEWER NOTES

- 1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS.
5. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS.
6. WATER FOR FIRE FIGHTING SHALL BE MADE AVAILABLE FOR USE BY THE CONTRACTOR PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS.
8. UNDERGROUND UTILITY LINES SHALL BE SURVEYED BY A MISSOURI LICENSED PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT THEIR OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION.
10. BETWEEN WATER AND SEWER MANHOLES AND PIPES, CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 10-FEET AND A MINIMUM VERTICAL SEPARATION OF 18-INCHES.
11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GASKETED AND/OR GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
13. UNLESS OTHERWISE STATED IN KANSAS CITY AND MISSOURI DESIGN STANDARDS AND SPECIFICATIONS, ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT.
14. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS.
15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
16. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FROM INVERT IN TO INVERT OUT.
17. ROOF DRAINS SHALL BE CONNECTED TO STORM SEWER BY PREFABRICATED WYES OR AT STORM STRUCTURES.
18. PROVIDE INSULATION OF UNDERGROUND ROOF DRAINS AND SANITARY SEWER SERVICES IF ADEQUATE FROST DEPTH CANNOT BE PROVIDED.
19. THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
20. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN.
21. A MINIMUM SEPARATION OF 5-FEET IS REQUIRED BETWEEN UNDERGROUND UTILITIES AND TREES UNLESS A ROOT BARRIER IS UTILIZED.
22. GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY.
23. COORDINATE UTILITY INSTALLATION WITH IRRIGATION DESIGN AND INSTALLATION.
24. ALL DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED.
25. REFERENCE ARCHITECTURAL PLANS (BY OTHERS) FOR EXACT BUILDING DIMENSIONS, MATERIALS SPECIFICATIONS.
26. REFERENCE M.E.P. PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND SPECIFICATIONS.
27. CONTRACTOR SHALL REFERENCE STRUCTURAL PLANS (BY OTHERS) FOR FOOTING AND FOUNDATION PAD PREPARATION SPECIFICATIONS.
28. CONTRACTOR SHALL REFERENCE M.E.P PLANS (BY OTHERS) FOR ROUTING OF PROPOSED ELECTRICAL & COMMUNICATIONS SERVICES AND SITE LIGHTING LAYOUT.

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

SBUX #85175 - BARRY RD & GREEN HILLS RD

PREPARED FOR

HUM BARRY, LLC

KANSAS CITY MISSOURI

Table with 4 columns: KHA PROJECT, DATE, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY

GENERAL NOTES

SHEET NUMBER C100



2024 KIMLEY-HORN AND ASSOCIATES, INC. 800 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105 PHONE: 816-231-1272 WWW.KIMLEY-HORN.COM

Table with 3 columns: No., REVISIONS, DATE

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EROSION CONTROL PLAN NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
6. THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR

- CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 12. STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPINGS, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
 14. EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
 15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
 16. THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

SWPPP UPDATES & AMENDMENTS

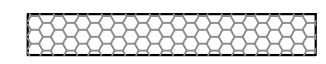


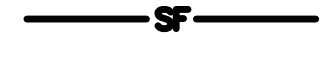
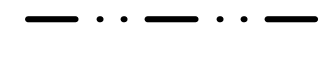
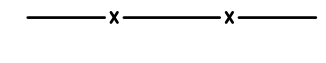

THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING & LAYDOWN AREAS, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.

PHASE 1 SEQUENCE OF CONSTRUCTION

1. INSTALL PERIMETER EROSION CONTROL (I.E. SILT FENCE) AND INLET PROTECTION AT EXISTING STORMWATER INLETS.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
4. CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT BASINS.
5. CLEAR AND GRUB THE SITE.
6. BEGIN MASS SITE GRADING AND ROUGH GRADE SITE SUFFICIENTLY TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
7. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
8. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY THE NPDES AND/OR CITY GRADING PERMIT(S).

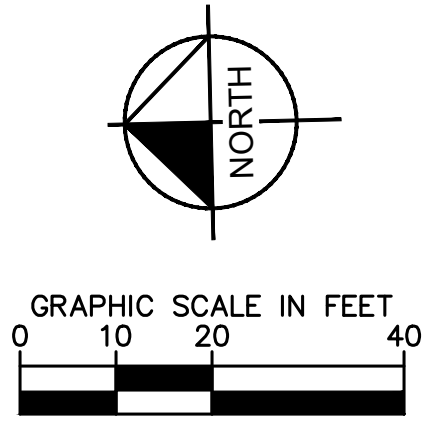
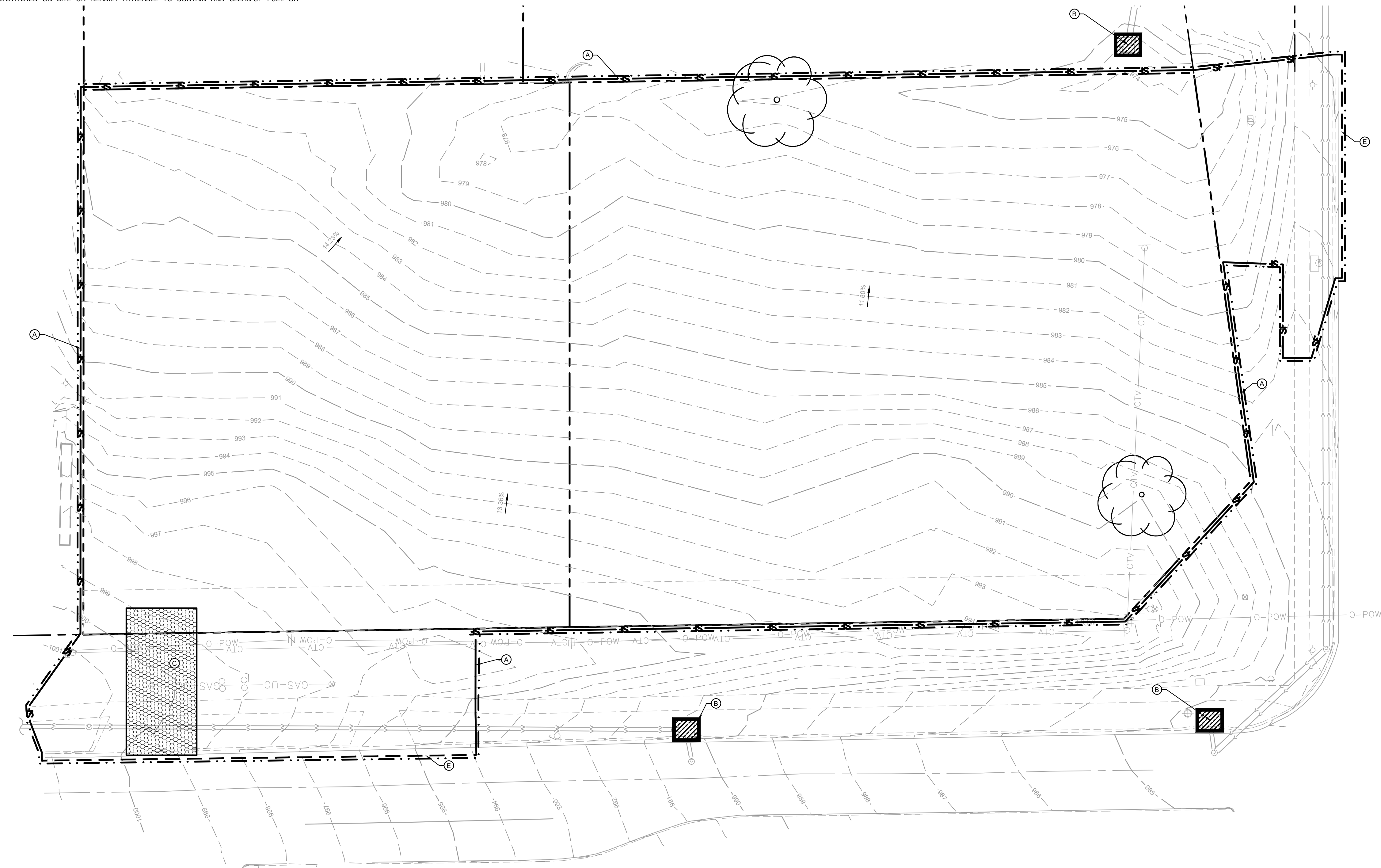
NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY.

LEGEND

-  ROCK ENTRANCE
-  EROSION CONTROL BLANKET
-  INLET PROTECTION
-  SILT FENCE
-  LIMITS OF DISTURBANCE
-  SAFETY FENCE
-  BIOROLL

KEYNOTE LEGEND

- (A) SILT FENCE
- (B) INLET PROTECTION
- (C) ROCK CONSTRUCTION ENTRANCE
- (D) EROSION CONTROL BLANKET
- (E) BIOROLL



ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

**EROSION AND
SEDIMENT
CONTROL PLAN -
PHASE 1**

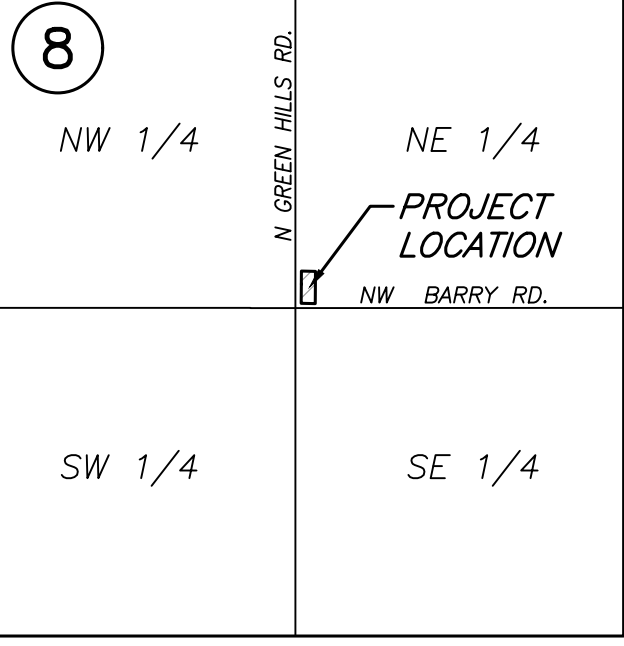
**SBUX #85175 - BARRY
RD & GREEN HILLS RD**
PREPARED FOR
HUM BARRY, LLC
KANSAS CITY MISSOURI

SHEET NUMBER
C300

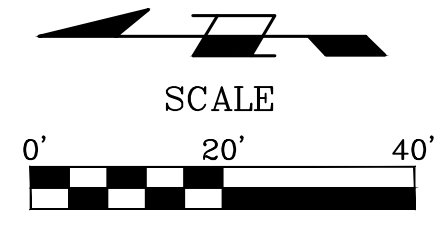
No.	REVISIONS	DATE	BY

Kimley»Horn
2024 KIMLEY-HORN AND ASSOCIATES, INC.
805 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105
PHONE: 816.231.51272
WWW.KIMLEY-HORN.COM

KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL



VICINITY MAP
SEC. 8-51-33
(NOT TO SCALE)



SCALE
0' 20' 40'

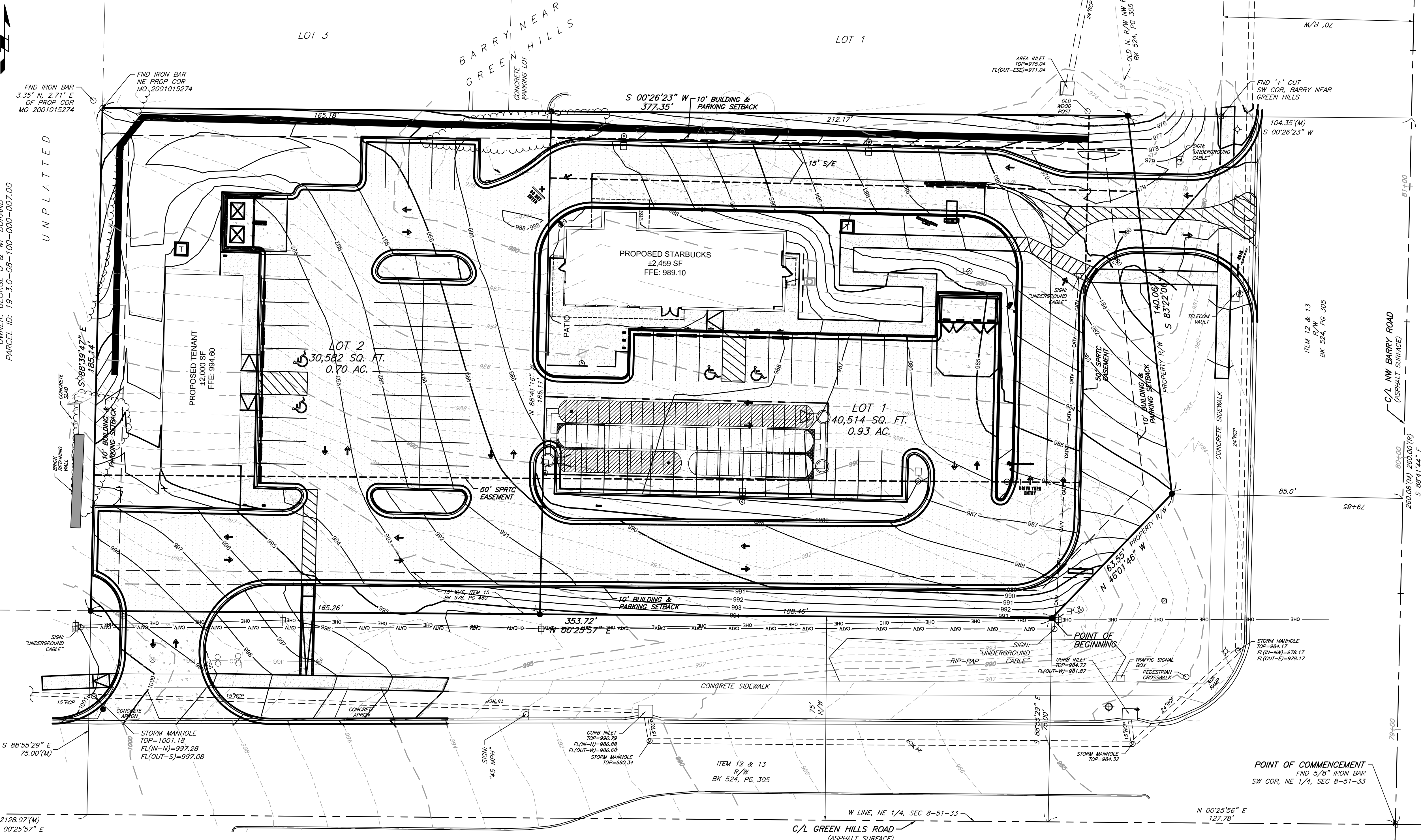
LEGEND

- ◆ - BENCHMARK
- △ - SECTION CORNER AS NOTED
- - MONUMENT FOUND AS NOTED
- - SET MONUMENT AS NOTED
- - FOUND 1/2" IRON BAR AT CORNER UNLESS OTHERWISE NOTED
- - SET 1/2" IRON BAR AT CORNER W/ J & J CAP
- (M) - MEASURED DISTANCE
- (R) - RECORD DISTANCE
- C/L - CENTER LINE
- R/W - RIGHT OF WAY
- W/E - WATER EASEMENT
- ⊗ - EXISTING TREE
- ⊕ - WATER VALVE
- ⊙ - FIRE HYDRANT
- ⊙ - SANITARY MANHOLE
- ⊙ - STORM MANHOLE
- ⊙ - POWER POLE
- ⊙ - LIGHT POLE
- ⊙ - TRAFFIC SIGNAL POLE
- ⊙ - TELEPHONE PEDESTAL
- ⊙ - BOLLARD
- ⊙ - SIGN AS NOTED
- ⊙ - FIBER OPTIC MARKER
- S - SANITARY SEWER LINE
- OHE - OVERHEAD ELECTRIC
- UGG - UNDERGROUND GAS
- CATV - CABLE
- S/E - SANITARY SEWER EASEMENT
- SPRTC - TRANSPORTATION EASEMENT

OWNER: GEORGE D. & WF DURAND
PARCEL ID: 19-3.0-08-100-000-007.00

UNPLATTED

PRELIMINARY PLAT
HUM BARRY
NE 1/4, SECTION 8, TOWNSHIP 51 NORTH, RANGE 33 WEST
KANSAS CITY, PLATTE COUNTY, MISSOURI



GENERAL SURVEY NOTES:

1. REFERENCED: The plat of BARRY NEAR GREEN HILLS, FINAL PLAT a subdivision of land in the Northeast quarter of Section 8-51-33, city of Kansas City, Platte County, Missouri is recorded in Plat Book 20 at Page 385 in the Recorder of Deeds Office in Clay County, Missouri.
2. Commitment #1931303, dated January 24, 2023 at 8:00 AM, issued by Stewart Title Guaranty Company, was provided by client.
3. Basis of bearings was established by Missouri State of Plane Coordinate system by GPS observation.
4. The subject property is located in Zone X, areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map (FIRM) 29095C0107G, effective January 20, 2017.
5. Subject property is currently zoned residential.

UTILITY NOTE:

The utilities on this survey are shown based on source information from plans and markings and were combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

SITE PLAN NOTES:

1. REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
2. REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
3. DIMENSIONS AND RADI ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
4. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
5. TYPICAL PARKING STALL DIMENSIONS SHALL BE 8.5- FEET IN WIDTH AND 18- FEET IN LENGTH UNLESS OTHERWISE INDICATED.
6. MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.
7. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF KANSAS CITY, MO IN ALL USAGE AND ALL SUPPLEMENTS THERE TO.

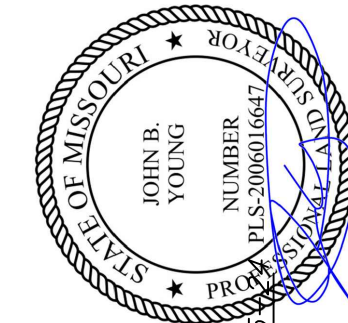
CLIENT:
Jake McFee
jake@apalarch.com

PROPERTY LOCATION:
8433 North Green Hills Road
Kansas City, Missouri 64154

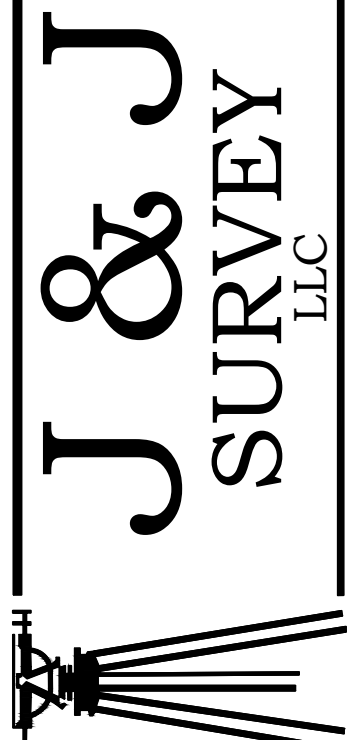
PROPERTY DESCRIPTION:

A tract in the Northeast Quarter of Section 8, Township 51 North, Range 33 West, in Kansas City, Platte County, Missouri, being more particularly described as follows, surveyed and described on October 14, 2024, by John B. Young, PLS-2006016647: Commencing at the Southwest corner of said Northeast Quarter; Thence North 00°25'57" East along the West line of said Northeast Quarter, 127.78 feet; Thence South 88°55'29" East, 75.00 feet to the intersection of the East Right-of-Way line of Green Hills Road and the North Right-of-Way line of NW Barry Road, as both are now established, said point also being the Point of Beginning; Thence North 00°25'57" East along said East Right-of-Way line, 353.72 feet; Thence South 88°39'47" East, 185.14 feet to the Northwest corner of BARRY NEAR GREEN HILLS, a subdivision in said Kansas City, Platte County, Missouri; Thence South 00°26'23" West along the West line of said BARRY NEAR GREEN HILLS, 377.35 feet to the North Right-of-Way line of said NW Barry Road; Thence South 83°22'06" West along said North Right-of-Way line, 140.06 feet; Thence North 46°01'46" West continuing along said North Right-of-Way line, 63.55 feet to the Point of Beginning. Contains 71,096 square feet or 1.63 acres, more or less.

CERTIFICATION:
I hereby certify that this drawing is based on an actual field survey conducted on or before the 12th day of June, 2024 and that said survey meets or exceeds the current Missouri Standards for Property Boundary Surveys, as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors, and the Missouri Department of Natural Resources, Division of Geology and Land Survey.



John B. Young PLS-2006016647



J & J SURVEY LLC
8680A N. GREEN HILLS ROAD • KANSAS CITY, MO 64154
PHONE (816) 941-1017 • FAX (816) 941-1018

Location: S:\24.196 - 8433 N Green Hills Road\DRAWINGS\2024.10.15-PRE PLAT\24.196PPPLAT.dwg-Oct. 15, 2024-3:03pm

1	INITIAL SUBMITTAL	10-14-24
2	REVISED SITE PLAN	10-15-24

EROSION CONTROL PLAN NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH LAND DISTURBING ACTIVITIES SHALL OBTAIN A COPY OF THE SWPPP AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY, ENGINEER OR OWNER.
4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC ROADWAY FROM THE CONSTRUCTION SITE MUST BE REMOVED AS SOON AS PRACTICABLE. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ANY FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO A PUBLIC RIGHT OF WAY SHALL BE PAID BY THE CONTRACTOR.
5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
6. THE CONTRACTOR SHALL MINIMIZE LAND DISTURBANCE AND CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON THE PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER FROM THE CONSTRUCTION SITE (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED BEFORE DISPOSAL.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR

- CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 12. STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED OUTSIDE OF DRAINAGE WAYS SUCH THAT STORM WATER RUNOFF WILL NOT BE ADVERSELY AFFECTED. PROVIDE STABILIZATION MEASURES SUCH AS PERIMETER EROSION CONTROL BMP'S, SEEDING, OR OTHER COVERING AS NECESSARY TO PREVENT EROSION.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL BMP DISTURBED DURING CONSTRUCTION OPERATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OF STORM WATER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPINGS, CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUELS, LUBRICANT OILS, PESTICIDES, AND SOLID WASTE MATERIALS.
 14. EROSION CONTROL BMP'S SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT, AND INITIATED AS SOON AS PRACTICABLE.
 15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION, AND SHALL MAINTAIN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS FOR THE DURATION OF CONSTRUCTION.
 16. THE CONTRACTOR SHALL FIELD ADJUST AND/OR PROVIDE ADDITIONAL EROSION CONTROL BMP'S AS NEEDED TO PREVENT EROSION AND OFF-SITE SEDIMENT DISCHARGE FROM THE CONSTRUCTION SITE. LOG AND RECORD ANY ADJUSTMENTS AND DEVIATIONS FROM THE APPROVED EROSION CONTROL PLANS WITHIN THE SWPPP DOCUMENTS STORED IN THE JOB SITE TRAILER.

SWPPP UPDATES & AMENDMENTS

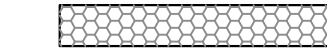


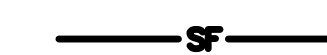
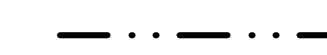
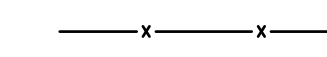

THE CONTRACTOR MUST UPDATE THE SWPPP BY NOTING ON THE SITE MAPS IN THE JOB SITE BINDER TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE FOR THE DURATION OF LAND DISTURBING ACTIVITIES. AT A MINIMUM, UPDATES SHALL BE MADE DAILY TO TRACK CONSTRUCTION PROGRESS DESCRIBED IN THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTING THE LOCATION OF THE JOB SITE TRAILER, TEMPORARY PARKING & LAYDOWN AREAS, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL & MATERIAL STORAGE, SOLID WASTE CONTAINERS, AND OTHER CONSTRUCTION RELATED FACILITIES THAT MAY IMPACT STORMWATER RUNOFF.

PHASE 2 SEQUENCE OF CONSTRUCTION

1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
2. CONSTRUCT UNDERGROUND SITE UTILITIES AND STORM SEWER, INCLUDING UNDERGROUND STORMWATER MANAGEMENT SYSTEM.
3. INSTALL APPROPRIATE INLET PROTECTION AT ANY NEW STORM SEWER STRUCTURES AS EACH STRUCTURE IS CONSTRUCTED.
4. COMPLETE SITE GRADING AND PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
5. PLACE PAVEMENT BASE MATERIAL AND INSTALL SUBDRAINAGE SYSTEM.
6. CONSTRUCT PAVEMENTS, CURB & GUTTER, AND SIDEWALKS.
7. AS APPROPRIATE, REPLACE & MAINTAIN INLET PROTECTION DEVICES WITHIN PAVED AREAS AS WORK PROGRESSES.
8. COMPLETE FINAL GRADING AND INSTALL OF PERMANENT STABILIZATION (SEEDING, SODDING, ETC.) WITHIN LANDSCAPED AREAS.
9. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION AS DEFINED BY THE APPLICABLE EROSION CONTROL PERMITS, REMOVE ALL REMAINING TEMPORARY EROSION & SEDIMENT CONTROL BMP'S AND RE-STABILIZE ANY AREAS DISTURBED BY THE REMOVAL.

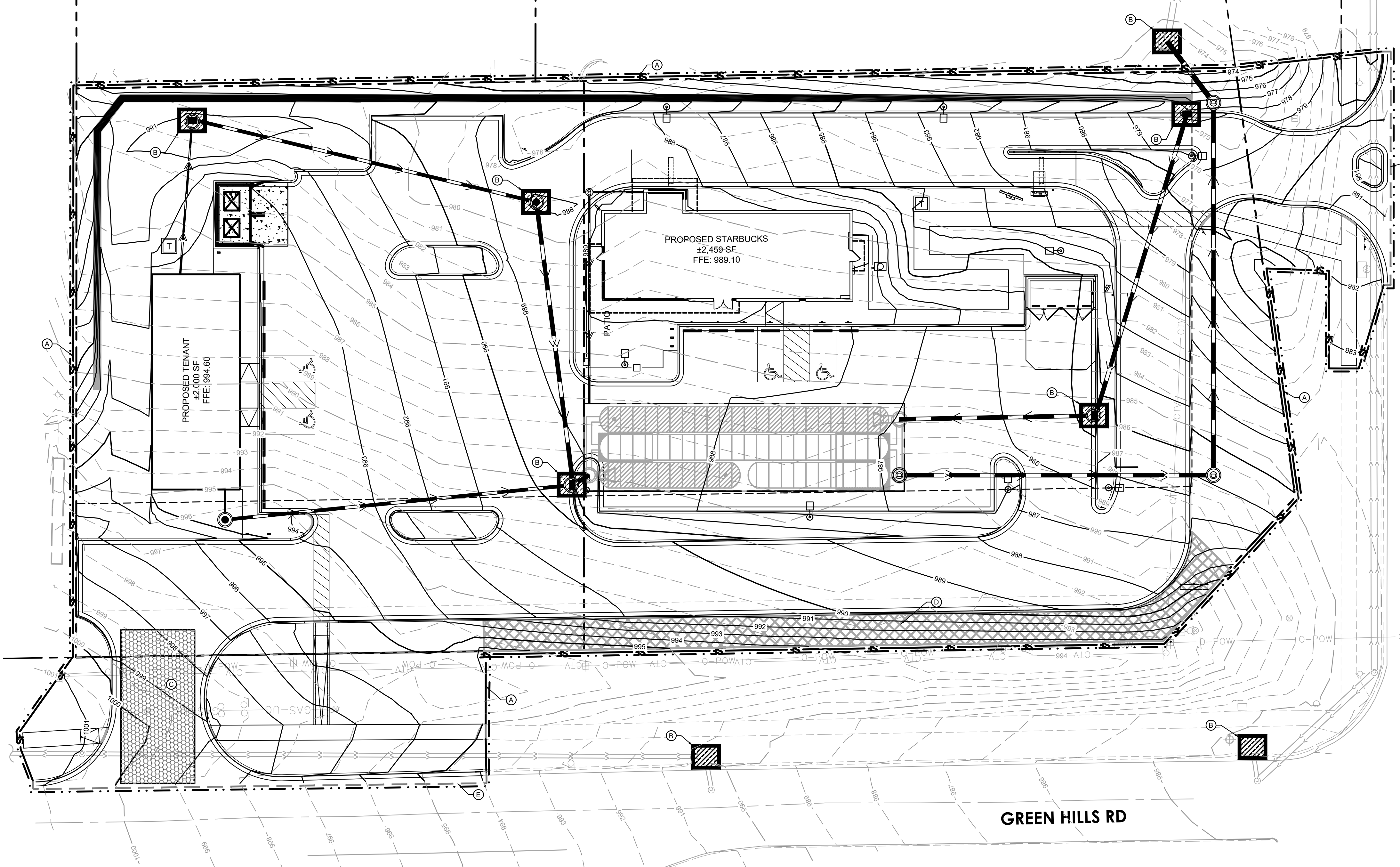
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LEGEND

-  ROCK ENTRANCE
-  EROSION CONTROL BLANKET
-  INLET PROTECTION
-  SILT FENCE
-  LIMITS OF DISTURBANCE
-  SAFETY FENCE
-  BIOROLL

KEYNOTE LEGEND

- (A) SILT FENCE
- (B) INLET PROTECTION
- (C) ROCK CONSTRUCTION ENTRANCE
- (D) EROSION CONTROL BLANKET
- (E) BIOROLL

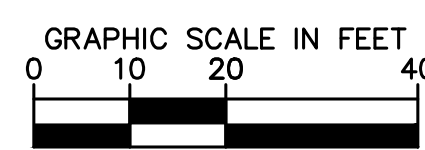
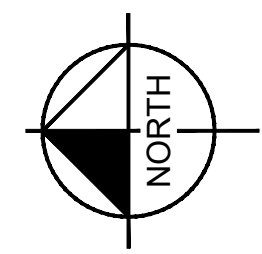


NW BARRY RD

GREEN HILLS RD



Know what's below.
Call before you dig.



ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

**EROSION AND
SEDIMENT
CONTROL PLAN-
PHASE 2**

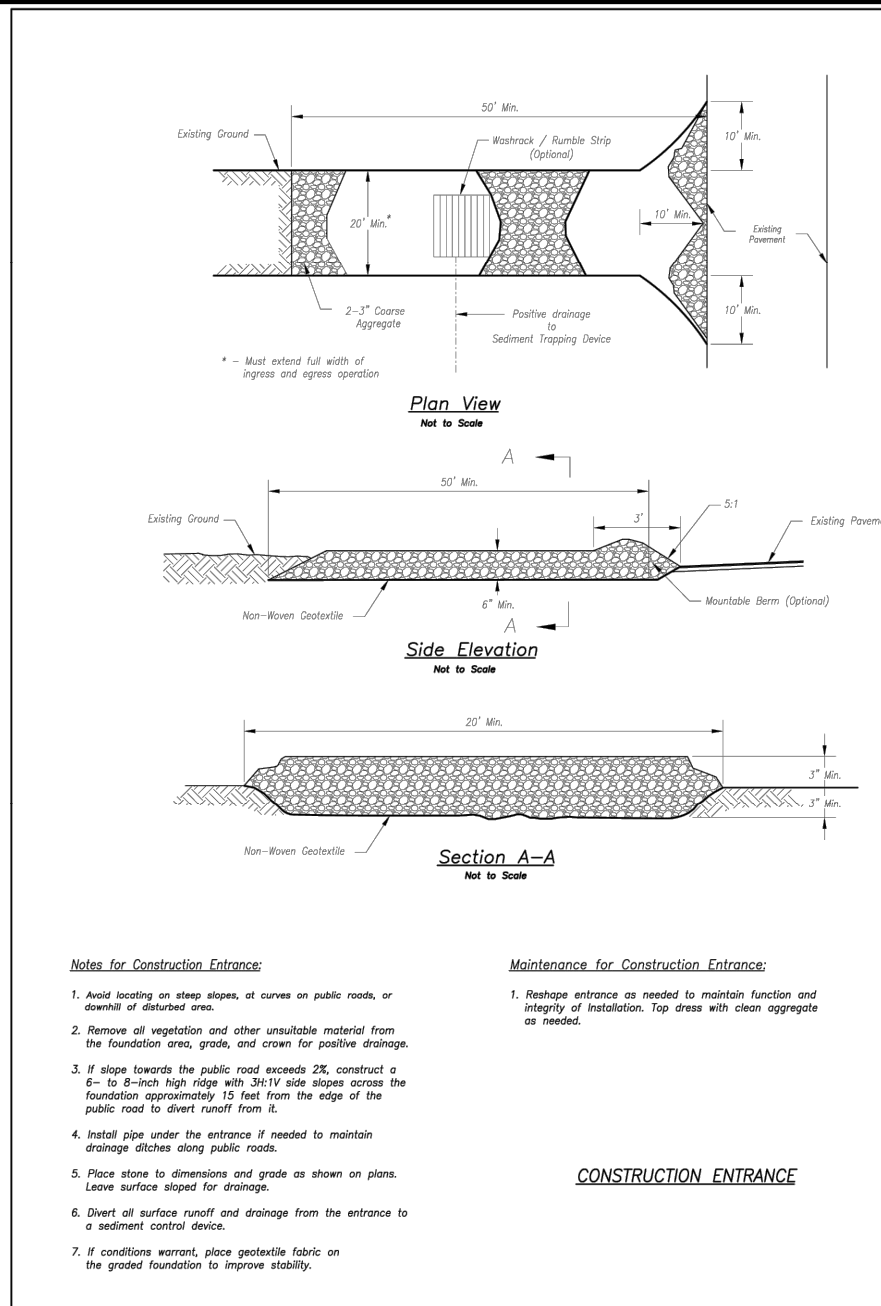
**SBUX #85175 - BARRY
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PREPARED FOR
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SHEET NUMBER
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KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
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CHECKED BY	MTL

Kimley»Horn
2024 KIMLEY-HORN AND ASSOCIATES, INC.
805 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105
PHONE: 816-231-5127
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY



Notes for Concrete Washout:

- Concrete washout areas shall be installed prior to any concrete placement on site.
- Concrete washout areas shall include a flat substrate of at least 2 inches below the surface of the concrete to be placed. The substrate shall be at least 2 inches below the surface of the concrete to be placed.
- Concrete washout areas shall be installed in place with all concrete for the project to be placed.
- When concrete washout areas are removed, excavations shall be filled with approved backfill and compacted. The depth of the concrete washout areas shall be maintained.

Maintenance for Concrete Washout:

- Concrete washout areas shall be removed upon the completion of the project.
- Concrete washout areas shall be removed in place with all concrete for the project to be placed.
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CONCRETE WASHOUT

Notes for Construction Entrance:

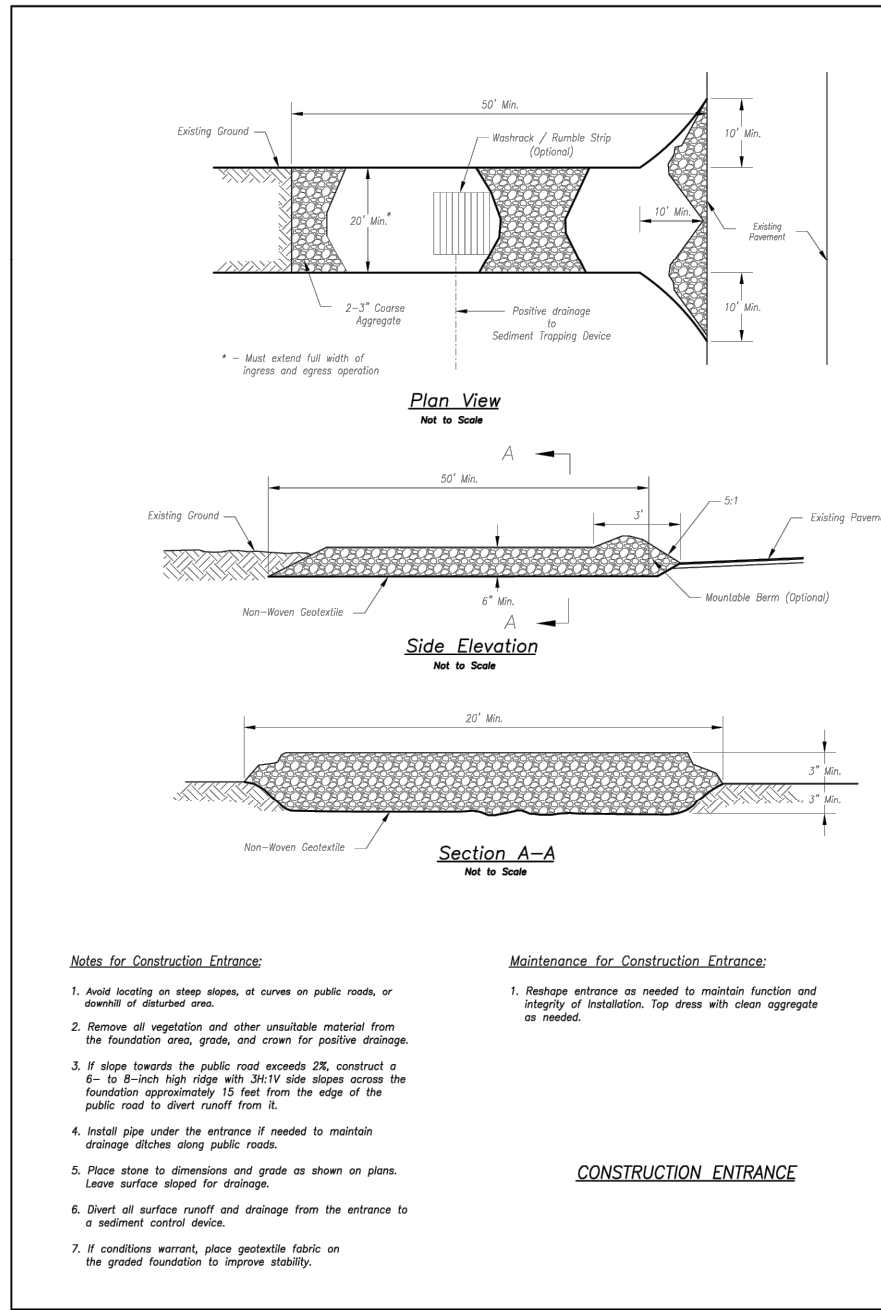
- Install curbing on steep slopes, at corners or public roads, or at points of abutment.
- Remove all vegetation and other undesirable material from the foundation area, grade, and areas for positive drainage.
- If slope towards the public road exceeds 2%, construct a 6- to 8-inch high curb with 24-inch side slope across the foundation approximately 12 feet from the edge of the public road to divert runoff from it.
- Install pipe under the entrance if needed to maintain drainage during peak flows.
- Place stone to dimensions and grade as shown on plans. Leave surface smooth for drainage.
- Direct all surface runoff and drainage from the entrance to a sediment control device.
- If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

- Recharge entrance as needed to maintain function and integrity of installation. Top areas with clean aggregate as needed.

CONSTRUCTION ENTRANCE

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
STANDARD DRAWING NUMBER ESC-01
ADOPTED: 10/24/2016



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CONCRETE WASHOUT

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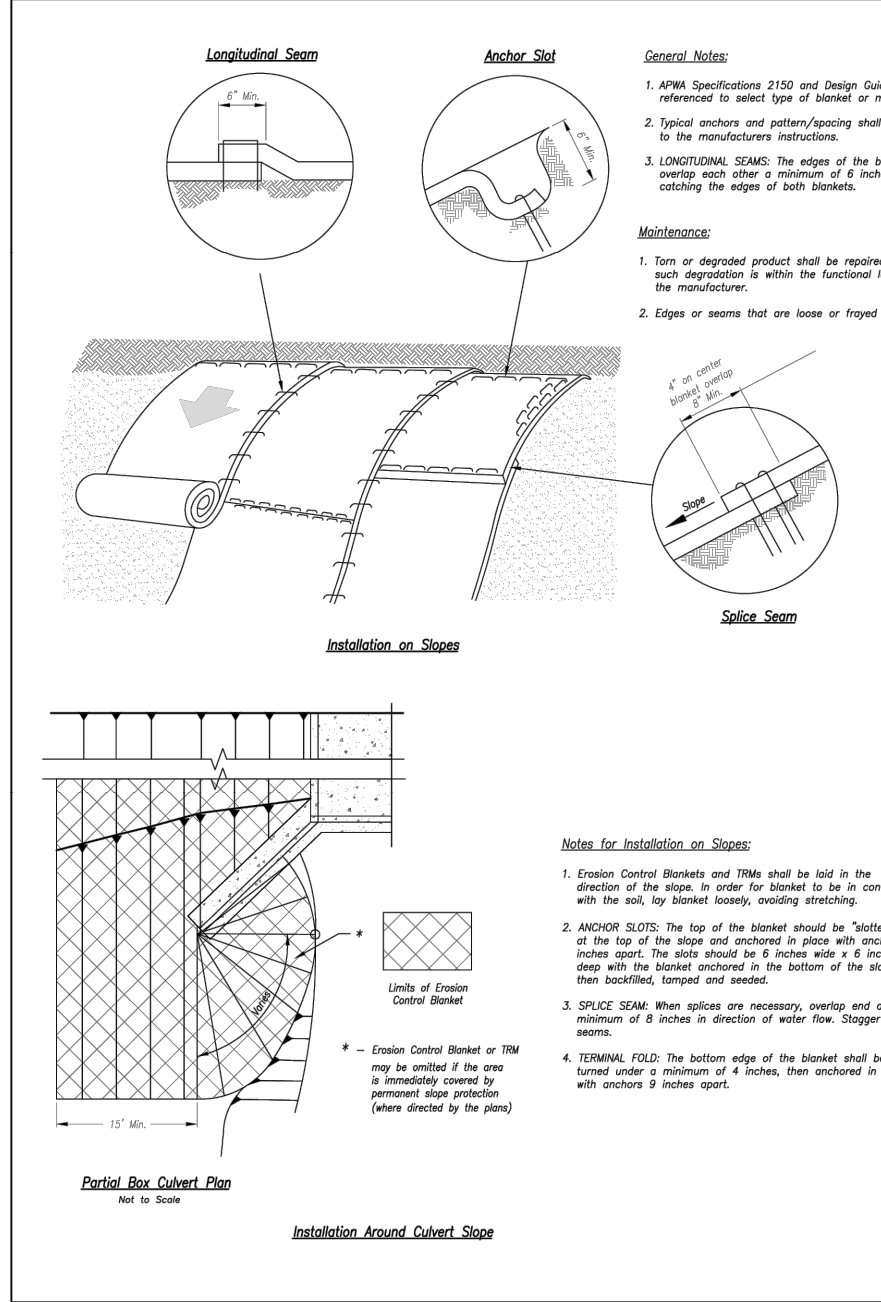
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STANDARD DRAWING NUMBER ESC-01
ADOPTED: 10/24/2016



Notes for Installation in Channels:

- Erosion Control Blankets and Tiles shall be laid in the direction of the flow, with the first course of the blanket or tile, when applicable, in order for the mat to be in contact with the soil, by blanket means, meeting direction.
- ANCHOR FOLD: The top of the mat should be folded under, turned and secured with steel or other approved anchors placed 6 inches apart. The top edge of the mat should be turned in a 90-degree angle if it is to be secured in the bottom of the channel, and the mat folded over the top as shown in detail.
- SPICE STAKE: When splices are necessary, overlap and a minimum of 12 inches in direction of water flow. Stagger splices.
- CHECK SLOPE: Establish check stakes transverse to slope every 10 feet. The stakes should be 24 inches wide x 4 inches high. The mat shall be cut to a depth 12 inches beyond the mat. The top of the equipment mat shall be pulled in, secured and turned under to the edge anchor fold. The equipment mat shall then cover the mat and be anchored as shown.
- EDGE ANCHOR: Lay outside edge of mat into trench of top of the slope and anchor.
- TURNING: The bottom edge of the mat shall be anchored.

Notes for Installation on Slopes:

- Erosion Control Blankets and Tiles shall be laid in the direction of the slope, in order to be laid in contact with the soil, by blanket means, meeting direction.
- ANCHOR FOLD: The top of the blanket should be "folded" or "rolled" over the slope and anchored in place with anchors 6 inches apart. The side should be 6 inches wide x 4 inches deep with the blanket anchored in the bottom of the V-shape, turned and secured.
- SPICE STAKE: When splices are necessary, overlap and a minimum of 12 inches in direction of water flow. Stagger splices.
- TURNING: FSD: The bottom edge of the blanket shall be turned under a minimum of 6 inches. Non-anchored in place with exposed 6 inches apart.

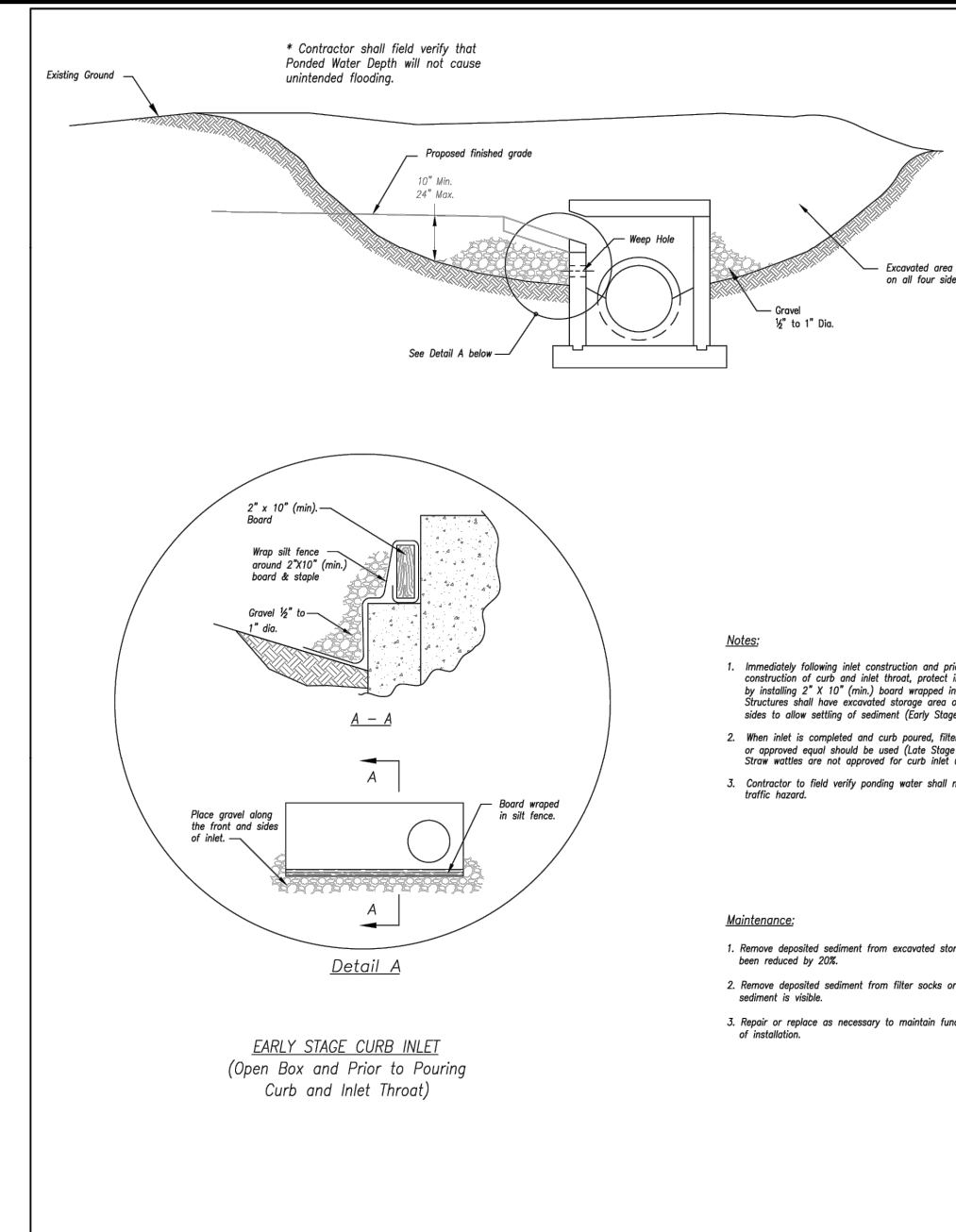
Notes for Installation in Channels:

- Erosion Control Blankets and Tiles shall be laid in the direction of the flow, with the first course of the blanket or tile, when applicable, in order for the mat to be in contact with the soil, by blanket means, meeting direction.
- ANCHOR FOLD: The top of the mat should be folded under, turned and secured with steel or other approved anchors placed 6 inches apart. The top edge of the mat should be turned in a 90-degree angle if it is to be secured in the bottom of the channel, and the mat folded over the top as shown in detail.
- SPICE STAKE: When splices are necessary, overlap and a minimum of 12 inches in direction of water flow. Stagger splices.
- CHECK SLOPE: Establish check stakes transverse to slope every 10 feet. The stakes should be 24 inches wide x 4 inches high. The mat shall be cut to a depth 12 inches beyond the mat. The top of the equipment mat shall be pulled in, secured and turned under to the edge anchor fold. The equipment mat shall then cover the mat and be anchored as shown.
- EDGE ANCHOR: Lay outside edge of mat into trench of top of the slope and anchor.
- TURNING: The bottom edge of the mat shall be anchored.

Notes for Installation on Slopes:

- Erosion Control Blankets and Tiles shall be laid in the direction of the slope, in order to be laid in contact with the soil, by blanket means, meeting direction.
- ANCHOR FOLD: The top of the blanket should be "folded" or "rolled" over the slope and anchored in place with anchors 6 inches apart. The side should be 6 inches wide x 4 inches deep with the blanket anchored in the bottom of the V-shape, turned and secured.
- SPICE STAKE: When splices are necessary, overlap and a minimum of 12 inches in direction of water flow. Stagger splices.
- TURNING: FSD: The bottom edge of the blanket shall be turned under a minimum of 6 inches. Non-anchored in place with exposed 6 inches apart.

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
EROSION CONTROL BLANKETS AND TURF REFORM MATS
STANDARD DRAWING NUMBER ESC-02
ADOPTED: 10/24/2016



Notes:

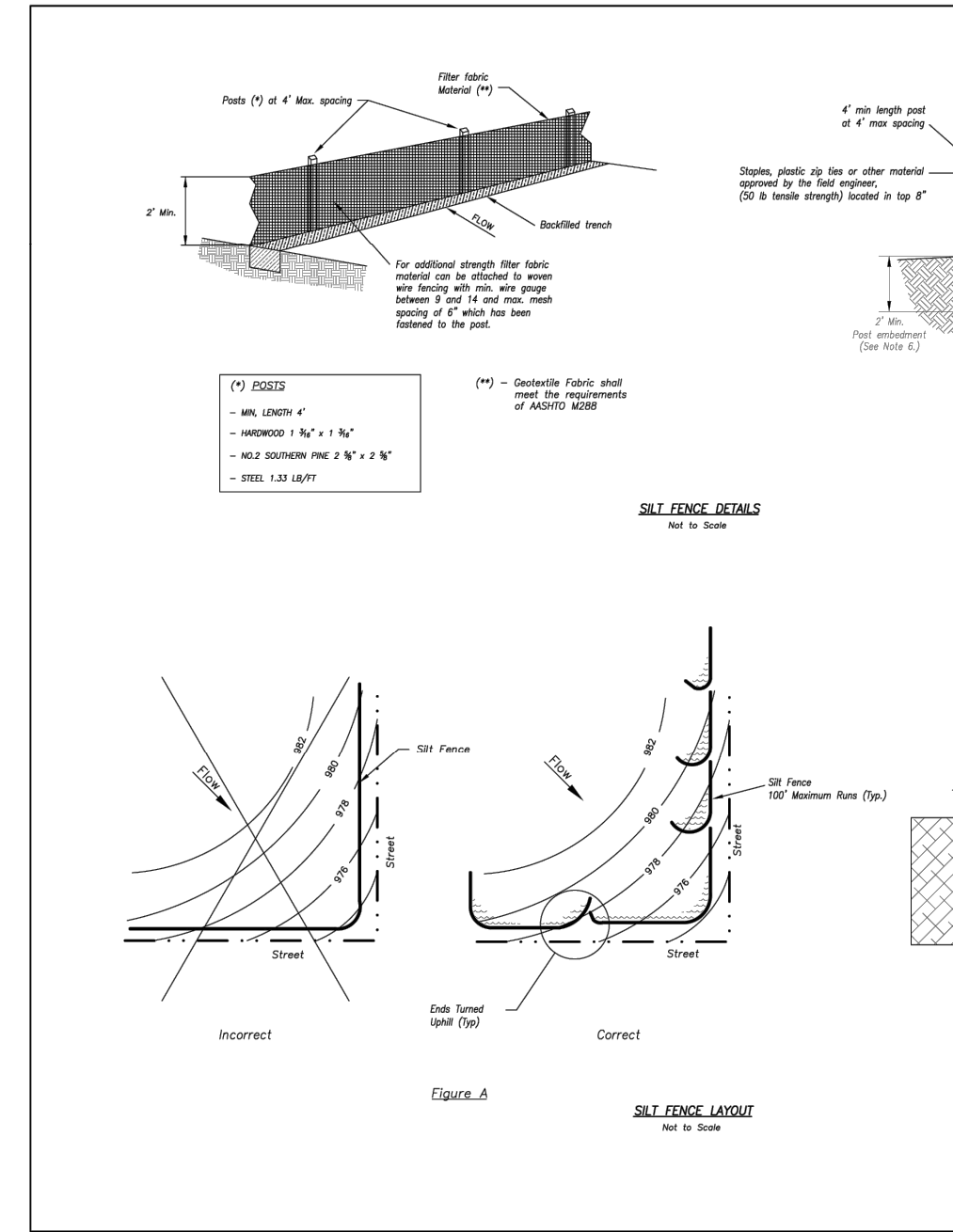
- Immediately following inlet construction and prior to installation of curb and sidewalk, protect the opening by installing 2" x 2" (24" hole) screen across it with frame. Structure shall have extended storage area of at least 12 inches in length of inlet.
- When inlet is completed and curb, filter screen or approved material should be used (Late Stage Curb Inlet). Curb screen or material should not be used.
- Contractor to field verify pouring water shall not create a traffic hazard.

Maintenance:

- Remove deposited sediment from extended storage area when available storage has been reduced to 20%.
- Remove deposited sediment from filter screen or similar when any accumulation of sediment is noted.

EARLY STAGE CURB INLET
(Open Box and Prior to Pouring Curb and Inlet Throat)

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION
STANDARD DRAWING NUMBER ESC-06
ADOPTED: 10/24/2016



Notes:

- In order to catch water, the ends of the silt fence must be turned up (Figure A).
- Long perimeter rows of silt fence must be located to 100% slope should be present and this prevent erosion upstream to maintain water concentrations (Figure A).
- Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocity.
- Attach fabric to upstream side of post.
- Install posts a minimum of 2' into the ground.
- Drainage will only be allowed for minor or without installation, where silt fence cannot be reasonably used.

Maintenance:

- Remove and dispose of sediment deposits when the deposit approaches 1/2 the height of silt fence.
- Repair as necessary to maintain function and structure.

SILT FENCE DETAILS

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY METRO CHAPTER
SILT FENCE
STANDARD DRAWING NUMBER ESC-03
ADOPTED: 10/24/2016

K:\TCW_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\C4-SITE PLAN.dwg September 23, 2024 - 12:22pm

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

SITE PLAN NOTES

- REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF STOOPS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATIONS OF PROPOSED LIGHT POLES, CONDUITS, AND ELECTRICAL EQUIPMENT.
- REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
- DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING EXISTING SITE IMPROVEMENTS THAT CONFLICT WITH THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNS, LIGHT POLES, ABOVEGROUND UTILITIES, ETC. PERFORM WORK IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
- TYPICAL PARKING STALL DIMENSIONS SHALL BE 8.5-FEET IN WIDTH AND 18-FEET IN LENGTH UNLESS OTHERWISE INDICATED.
- MONUMENT SIGN(S) ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIGN DIMENSIONS, LOCATION AND REQUIRED PERMITS WITH THE OWNER.
- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF KANSAS CITY, MO IN ALL USAGE AND ALL SUPPLEMENTS THERE TO.

SPECIAL PURPOSE RAPID TRANSIT CORRIDOR EASEMENT: GRANTOR HEREBY GRANTS TO KCATA, FOR THE USE AND BENEFIT OF KCATA, ITS SUCCESSORS AND ASSIGNS, AN EASEMENT OVER, UNDER, ACROSS, AND THROUGH THE SPRTC EASEMENT. IN THE EVENT THAT KCATA ELECTS TO EXERCISE ITS RIGHTS UNDER THIS EASEMENT, THE DEVELOPER AGREES TO RELOCATE THE DRIVE-THRU IN A MANNER THAT DOES NOT ENCUMBER OR INTERFERE WITH THE EASEMENT AREA.

PROPERTY SUMMARY	
TOTAL PROPERTY AREA	1.63 AC / 71,096 SF
TRACT 1 PROPERTY AREA	0.93 AC / 40,514 SF
TRACT 2 PROPERTY AREA	0.70 AC / 30,582 SF
DISTURBED AREA	1.85 AC / 80,524 SF
EXISTING IMPERVIOUS AREA	0.04 AC / 1,700 SF / 2.11%
EXISTING PERVIOUS AREA	1.81 AC / 78,824 SF / 97.89%
PROPOSED IMPERVIOUS AREA	1.33 AC / 57,802 SF / 71.78%
PROPOSED PERVIOUS AREA	0.52 AC / 22,722 SF / 28.22%
NET INCREASE IN IMPERVIOUS AREA	1.29 AC / 56,102 SF

SITE DATA	
EXISTING ZONING	B-3: COMMUNITY BUSINESS DISTRICT
PROPOSED ZONING	B-3: COMMUNITY BUSINESS DISTRICT
PROPOSED LAND USE	QSR & DRIVE-THRU COFFEE
PARKING SETBACKS	SIDE/REAR = 10' RIGHT OF WAY = 10'
BUILDING SETBACKS	FRONT = 20' SIDE/REAR = 10' RIGHT OF WAY = 20'

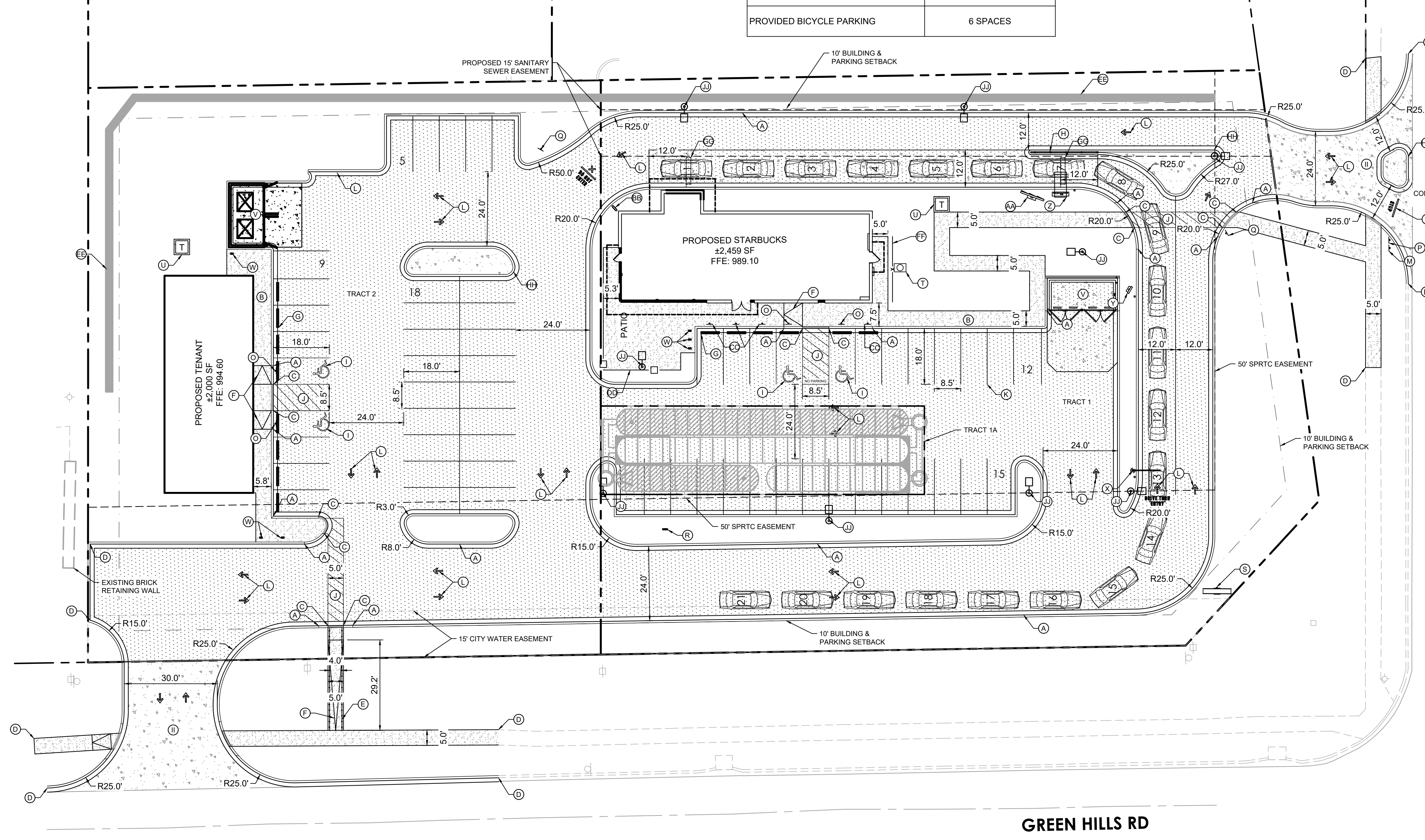
BUILDING DATA	
TRACT 1 BUILDING AREA	2,459 SF
TRACT 1 BUILDING COVERAGE	6.07%
TRACT 2 BUILDING AREA	2,000 SF
TRACT 2 BUILDING COVERAGE	6.54%
TOTAL BUILDING COVERAGE	6.27%

PARKING SUMMARY	
TRACT 1 REQUIRED PARKING	27 SPACES @ 10/1,000 SF + 5/1,000 SF (PATIO)
TRACT 1 PROPOSED PARKING	27 SPACES
TRACT 2 REQUIRED PARKING	20 SPACES @ 10/1,000 SF
TRACT 2 PROPOSED PARKING	32 SPACES
TOTAL REQUIRED PARKING	47 SPACES
TOTAL PROPOSED PARKING	59 SPACES
REQUIRED ACCESSIBLE PARKING	3 STANDARD SPACES 2 VAN ACCESSIBLE
PROPOSED ACCESSIBLE PARKING	4 STANDARD SPACES 4 VAN ACCESSIBLE
REQUIRED BICYCLE PARKING	6 SPACES @ 10% OF 59 VEHICLE SPACES
PROVIDED BICYCLE PARKING	6 SPACES

KEYNOTE LEGEND

- (A) 6" CONCRETE CURB & GUTTER - SEE DETAIL
- (B) CONCRETE SIDEWALK - SEE DETAIL
- (C) CURB TRANSITION FROM 6" TO FLUSH - SEE DETAIL
- (D) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- (E) CURB RAMP HANDRAIL - SEE DETAIL
- (F) ACCESSIBLE CURB RAMP - SEE DETAIL
- (G) CONCRETE WHEEL STOP - SEE DETAIL
- (H) 6" CONCRETE FILLED PIPE BOLLARD - REFER TO ARCHITECTURAL PLANS
- (I) ACCESSIBLE PARKING SYMBOL & LOADING AREA - SEE DETAIL
- (J) STRIPED WHITE CROSS-HATCH AREA 4" SOLID LINES @ 45° 2' O.C.
- (K) 4" WIDE WHITE PAINTED SOLID PARKING LOT LINE
- (L) PAINTED WHITE DIRECTIONAL ARROW - REFER TO ARCHITECTURAL PLANS
- (M) "NO LEFT TURN" SIGN - SEE CITY PUBLIC WORKS FOR DETAIL
- (N) 24" WIDE PAINTED WHITE STOP BAR - - SEE DETAIL
- (O) ADA PARKING SIGN IN BOLLARD - SEE DETAIL
- (P) STOP SIGN - SEE CITY PUBLIC WORKS FOR DETAIL
- (Q) "DO NOT ENTER SIGN" - SEE CITY PUBLIC WORKS FOR DETAIL
- (R) DIRECTIONAL SIGN- REFER TO ARCHITECTURAL PLANS

- (S) MONUMENT SIGN - REFER TO ARCHITECTURAL PLANS
- (T) GREASE INTERCEPTOR- REFER TO MEP PLANS
- (U) TRANSFORMER/EQUIPMENT PAD - REFER TO MEP PLANS
- (V) TRASH ENCLOSURE - REFER TO ARCHITECTURAL PLANS
- (W) BIKE RACK - REFER TO ARCHITECTURAL PLANS
- (X) CLEARANCE BAR FOOTING & CONDUIT W/ BOLLARD
- (Y) PRE-MENU BOARD FOOTING & CONDUIT W/ BOLLARD
- (Z) ORDER POINT CANOPY W/ DIGITAL ORDER SCREEN & BOLLARD @ 8 CAR STACK -- INDICATES 120' FROM CENTER POINT OF DRIVE THRU WINDOW TO ORDER POINT FOOTING & CONDUIT W/ BOLLARD
- (AA) 5 PANEL MENU BOARD, FOOTING & CONDUIT
- (BB) "THANK YOU / EXIT ONLY" SIGNAGE -- FOOTING & CONDUIT
- (CC) "MOBILE ORDER PARKING ONLY" SIGN IN BOLLARD- LL TO PROVIDE POST & BOLLARD
- (DD) PATIO FENCE- SEE ARCH PLANS FOR DETAILS
- (EE) RETAINING WALL- SEE STRUCTURAL PLANS
- (FF) UTILITY SCREENING FENCE- REFER TO ARCH PLANS
- (GG) DRIVE THRU TIME LOOP, REFER TO MEP PLANS FOR DETAILS
- (HH) ROLL BACK CURB & GUTTER- SEE DETAIL
- (II) COMMERCIAL DRIVEWAY APRON- SEE DETAIL
- (JJ) LIGHT POLE, REFER TO MEP PLANS FOR DETAILS
- (KK) ONE-WAY ARROW SIGN - SEE CITY PUBLIC WORKS FOR DETAIL



LEGEND

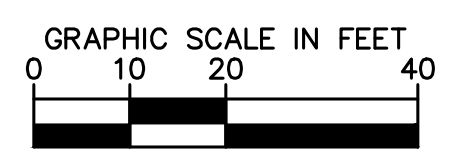
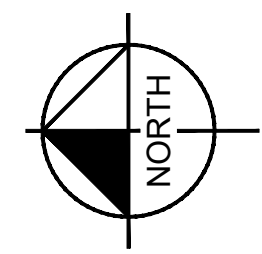
- PROPERTY LINE
- - - SETBACK LINE
- - - DRAINAGE AND UTILITY EASEMENT
- x - x - x - x - x - PROPOSED FENCE
- RETAINING WALL
- PROPOSED CURB AND GUTTER
- STANDARD DUTY ASPHALT PAVEMENT
SEE DETAILS FOR SECTION
- HEAVY DUTY CONCRETE PAVEMENT
SEE DETAILS FOR SECTION
- CONCRETE SIDEWALK
SEE DETAILS FOR SECTION
- STORM WATER AREA
SEE SHEET C501 FOR DETAILS
- EXISTING ELECTRICAL POLE

TIMELINE

ESTIMATED START DATE	TBD
ESTIMATED COMPLETION DATE	TBD
REQUESTED DEVIATIONS & VARIANCES	
SEE COVER SHEET	



Know what's below.
Call before you dig.



No.	REVISIONS	DATE	BY

Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 805 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105
 PHONE: 816.231.51272
 WWW.KIMLEY-HORN.COM

KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

SBUX #85175 - BARRY RD & GREEN HILLS RD

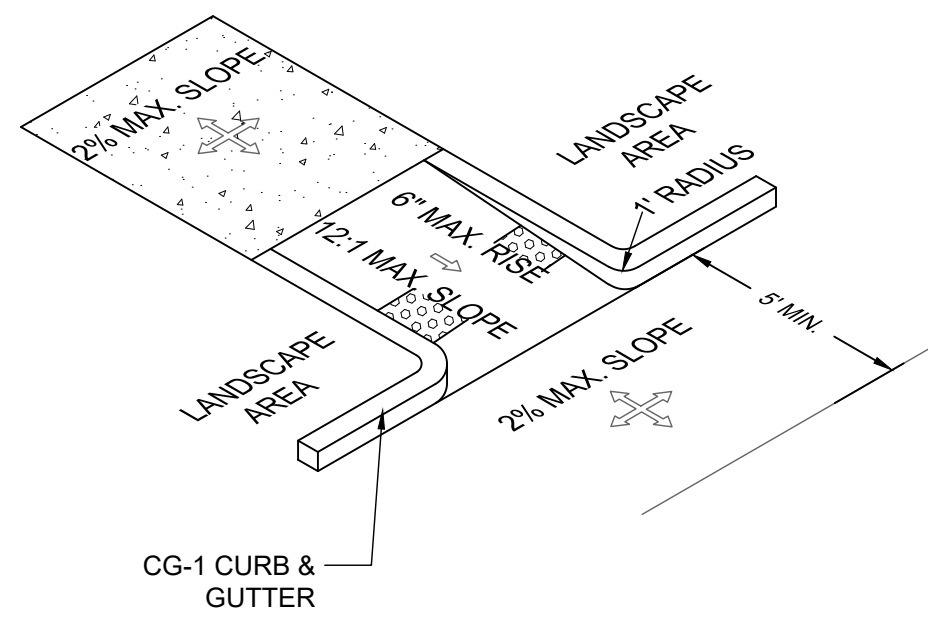
PREPARED FOR
HUM BARRY, LLC

KANSAS CITY MISSOURI

SHEET NUMBER
C400

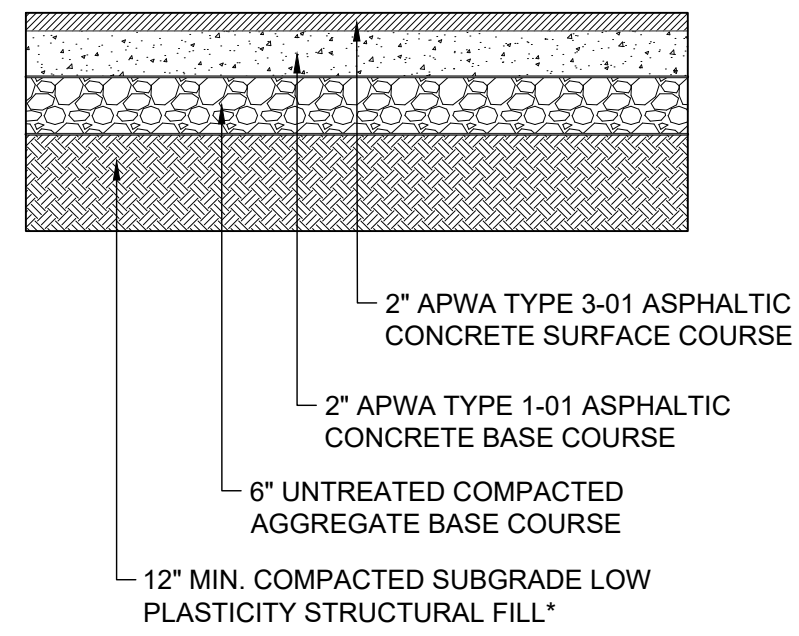
K:\TCW_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\C4-SITE DETAILS.dwg September 23, 2024 - 12:22pm
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- 4 LANDING
- RAMP
- DETECTABLE WARNING
(SEE SITE PLAN WHERE APPLICABLE)



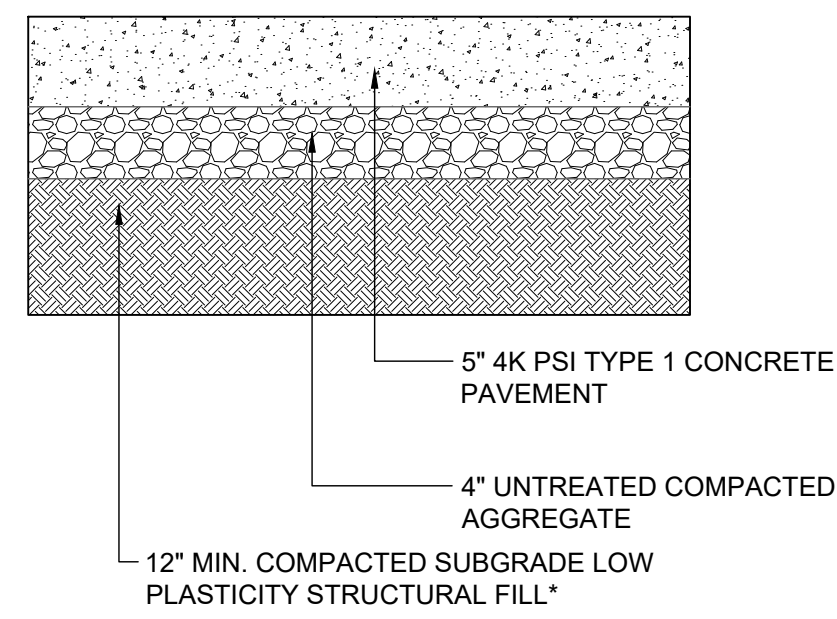
1 ACCESSIBLE RAMPS
SCALE: NOT TO SCALE

SUBGRADE NOTES:
 1. PROOF-ROLLING SHOULD BE ACCOMPLISHED TO IDENTIFY SOFT OR UNSTABLE SOILS TO BE REMOVED FROM PAVEMENT AREA PRIOR TO FILL PLACEMENT AND/OR PAVEMENT CONSTRUCTION.
 2. IN-LIEU-OF THE PROPOSED COMPACTED STRUCTURAL FILL, THE CONTRACTOR MAY SUBSTITUTE 12" OF CLASS "C" FLY ASH, PORTLAND CEMENT OR LIME-TREATMENT OF ON-SITE HIGH PLASTIC CLAYS. CRUSHED STONE BASE CAN BE INCLUDED IN THE 12" OF REMEDIATION IN AREAS OF UNDOCUMENTED FILL AND FAT CLAY



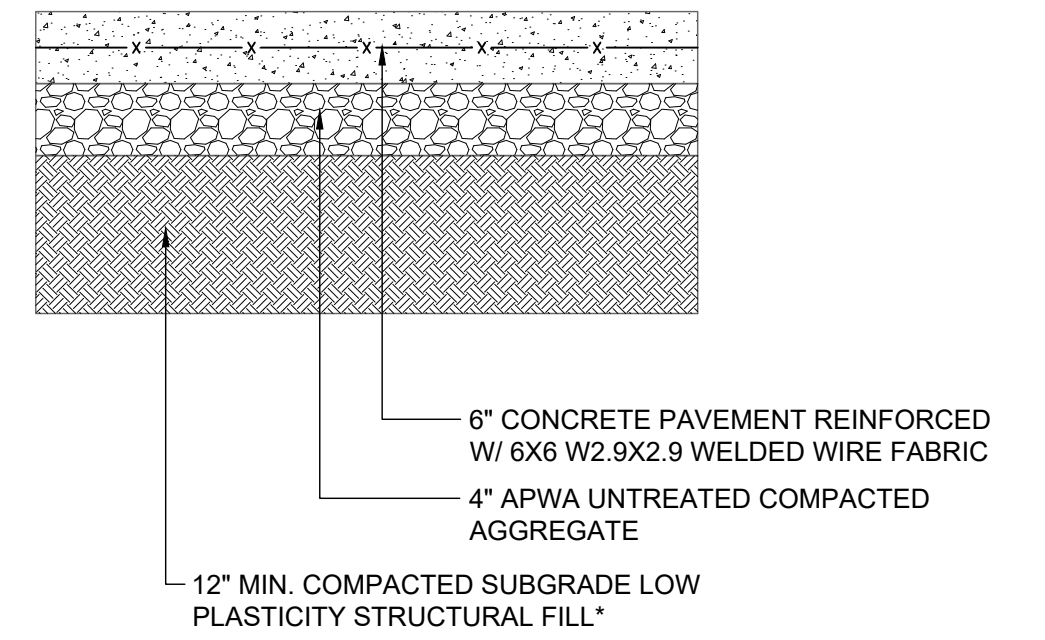
2 ASHALT PAVEMENT (PARKING LOTS)
SCALE: NOT TO SCALE

SUBGRADE NOTES:
 1. PROOF-ROLLING SHOULD BE ACCOMPLISHED TO IDENTIFY SOFT OR UNSTABLE SOILS TO BE REMOVED FROM PAVEMENT AREA PRIOR TO FILL PLACEMENT AND/OR PAVEMENT CONSTRUCTION.
 2. IN-LIEU-OF THE PROPOSED COMPACTED STRUCTURAL FILL, THE CONTRACTOR MAY SUBSTITUTE 12" OF CLASS "C" FLY ASH, PORTLAND CEMENT OR LIME-TREATMENT OF ON-SITE HIGH PLASTIC CLAYS. CRUSHED STONE BASE CAN BE INCLUDED IN THE 12" OF REMEDIATION IN AREAS OF UNDOCUMENTED FILL AND FAT CLAY

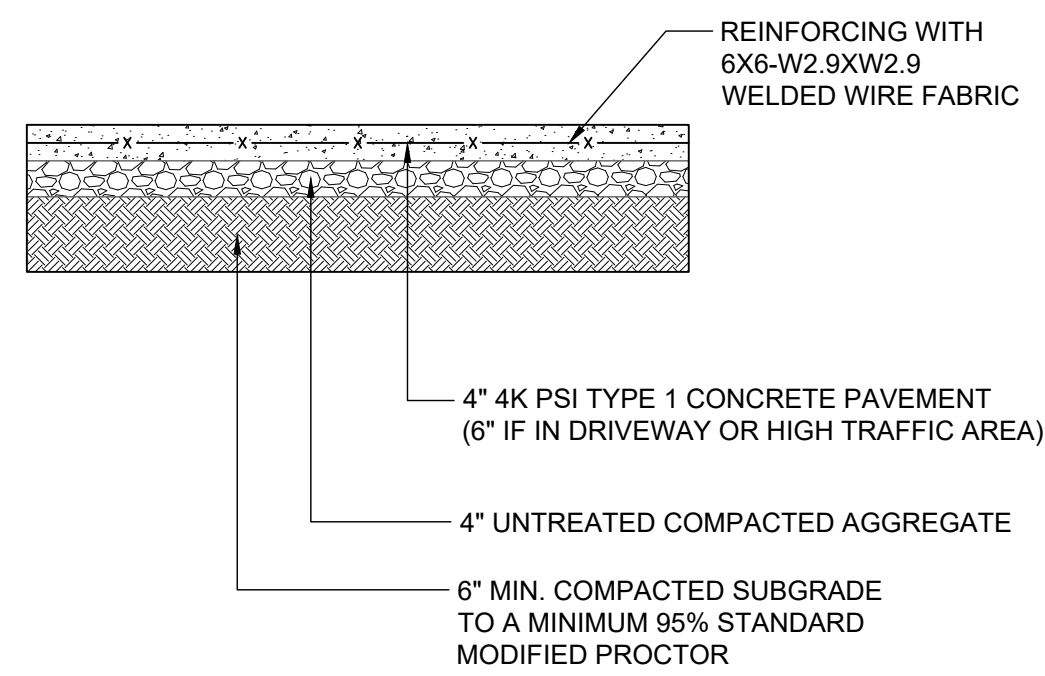


3 HEAVY DUTY CONCRETE PAVEMENT DRIVE APPROACH
SCALE: NOT TO SCALE

SUBGRADE NOTES:
 1. PROOF-ROLLING SHOULD BE ACCOMPLISHED TO IDENTIFY SOFT OR UNSTABLE SOILS TO BE REMOVED FROM PAVEMENT AREA PRIOR TO FILL PLACEMENT AND/OR PAVEMENT CONSTRUCTION.
 2. IN-LIEU-OF THE PROPOSED COMPACTED STRUCTURAL FILL, THE CONTRACTOR MAY SUBSTITUTE 12" OF CLASS "C" FLY ASH, PORTLAND CEMENT OR LIME-TREATMENT OF ON-SITE HIGH PLASTIC CLAYS. CRUSHED STONE BASE CAN BE INCLUDED IN THE 12" OF REMEDIATION IN AREAS OF UNDOCUMENTED FILL AND FAT CLAY

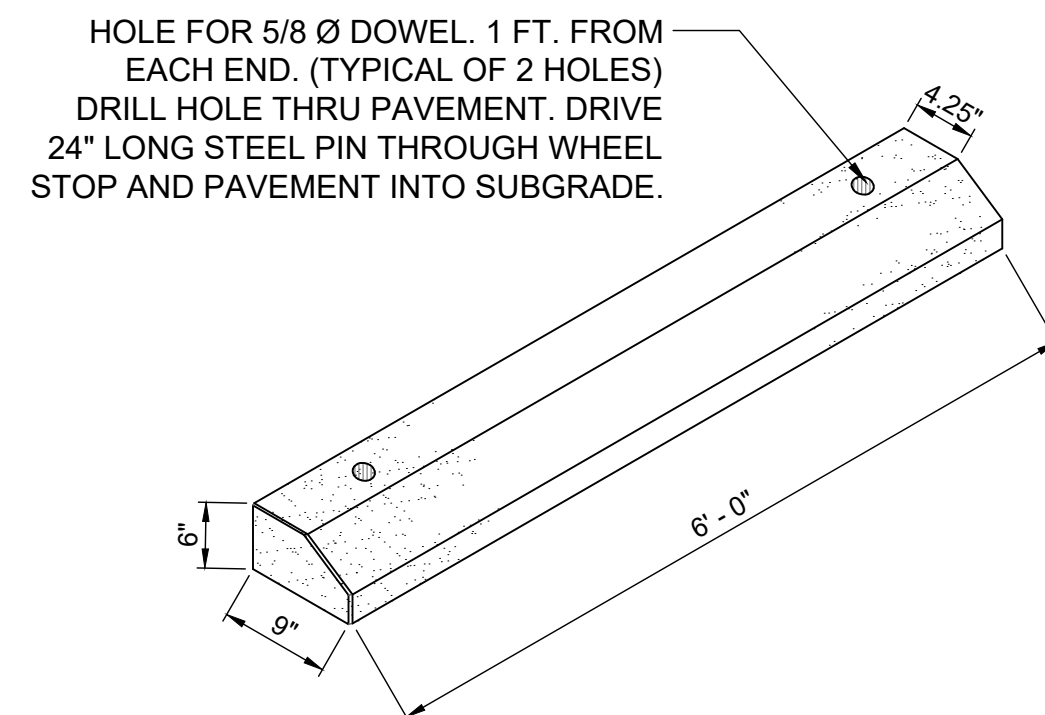


4 HEAVY DUTY CONCRETE PAVEMENT TRASH ENCLOSURE
SCALE: NOT TO SCALE

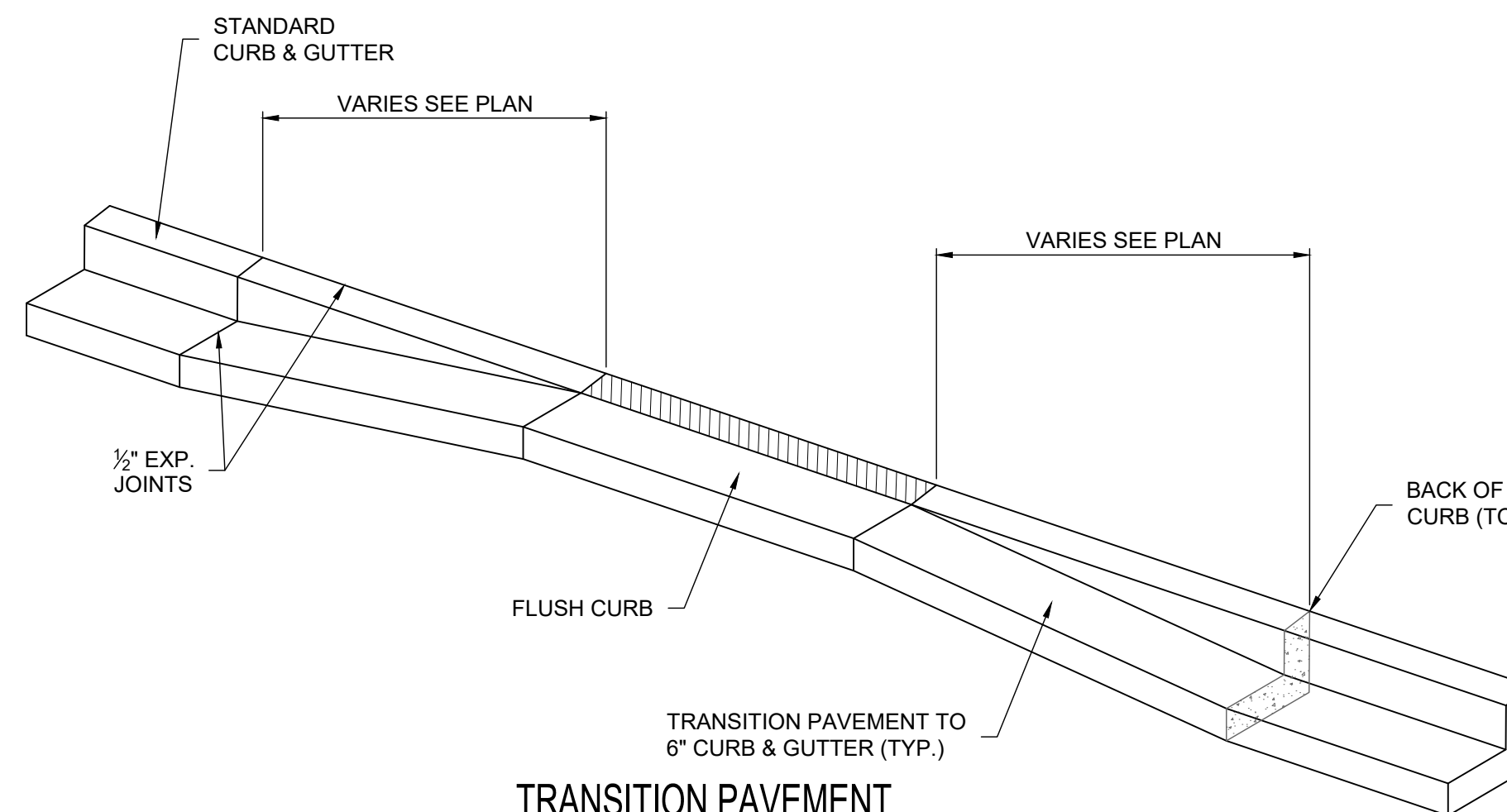


SIDEWALK PAVEMENT SECTION

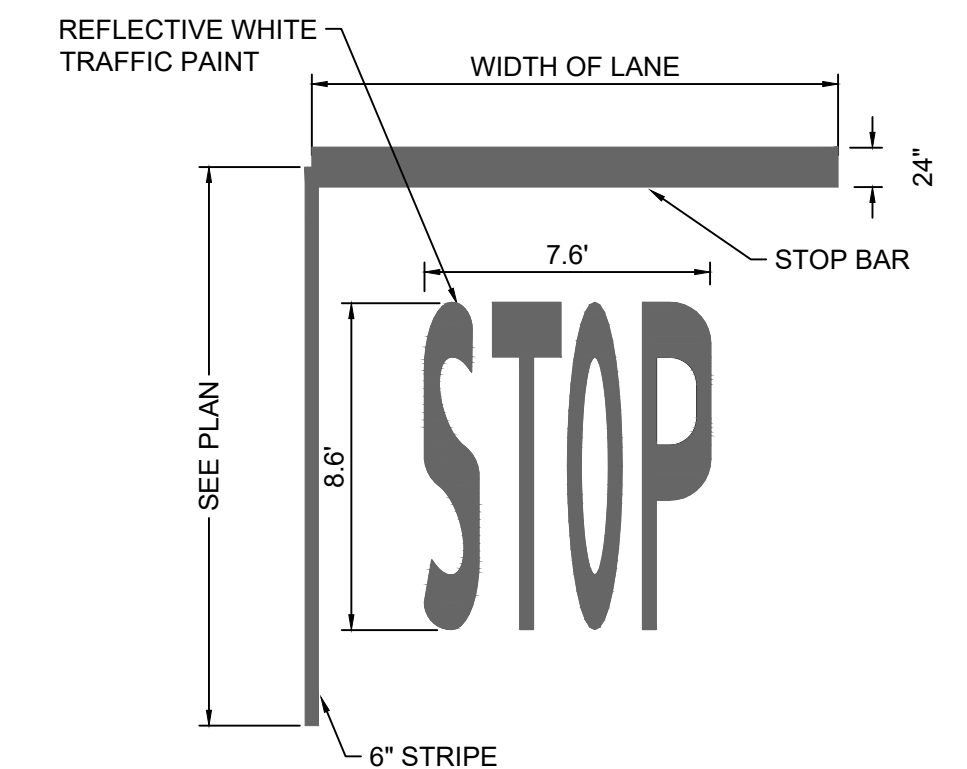
5 CONCRETE SIDEWALK
SCALE: NOT TO SCALE



6 WHEEL STOP DETAIL
SCALE: NOT TO SCALE



7 TRANSITION PAVEMENT FROM 6" TO 0"
SCALE: NOT TO SCALE



8 STOP BAR
SCALE: NOT TO SCALE

No.	REVISIONS	DATE	BY

Kimley»Horn
 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 805 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105
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KHA PROJECT 16T143001	DATE 07/19/2024
SCALE AS SHOWN	DESIGNED BY BSK
	DRAWN BY BSK
	CHECKED BY MTL

SITE DETAILS

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

SBUX #85175 - BARRY RD & GREEN HILLS RD
 PREPARED FOR
HUM BARRY, LLC
 KANSAS CITY MISSOURI

SHEET NUMBER
C401

STORMWATER RATE SUMMARY

PRE DEVELOPMENT	
2-YR (3.58")	6.22 CFS
10-YR (5.39")	10.99 CFS
25-YR (6.61")	14.23 CFS
50-YR (7.60")	16.85 CFS
100-YR (8.64")	19.60 CFS
POST DEVELOPMENT	
2-YR (3.58")	1.98 CFS
10-YR (5.39")	7.01 CFS
25-YR (6.61")	12.85 CFS
50-YR (7.60")	16.66 CFS
100-YR (8.32")	16.90 CFS

STORMWATER BMP

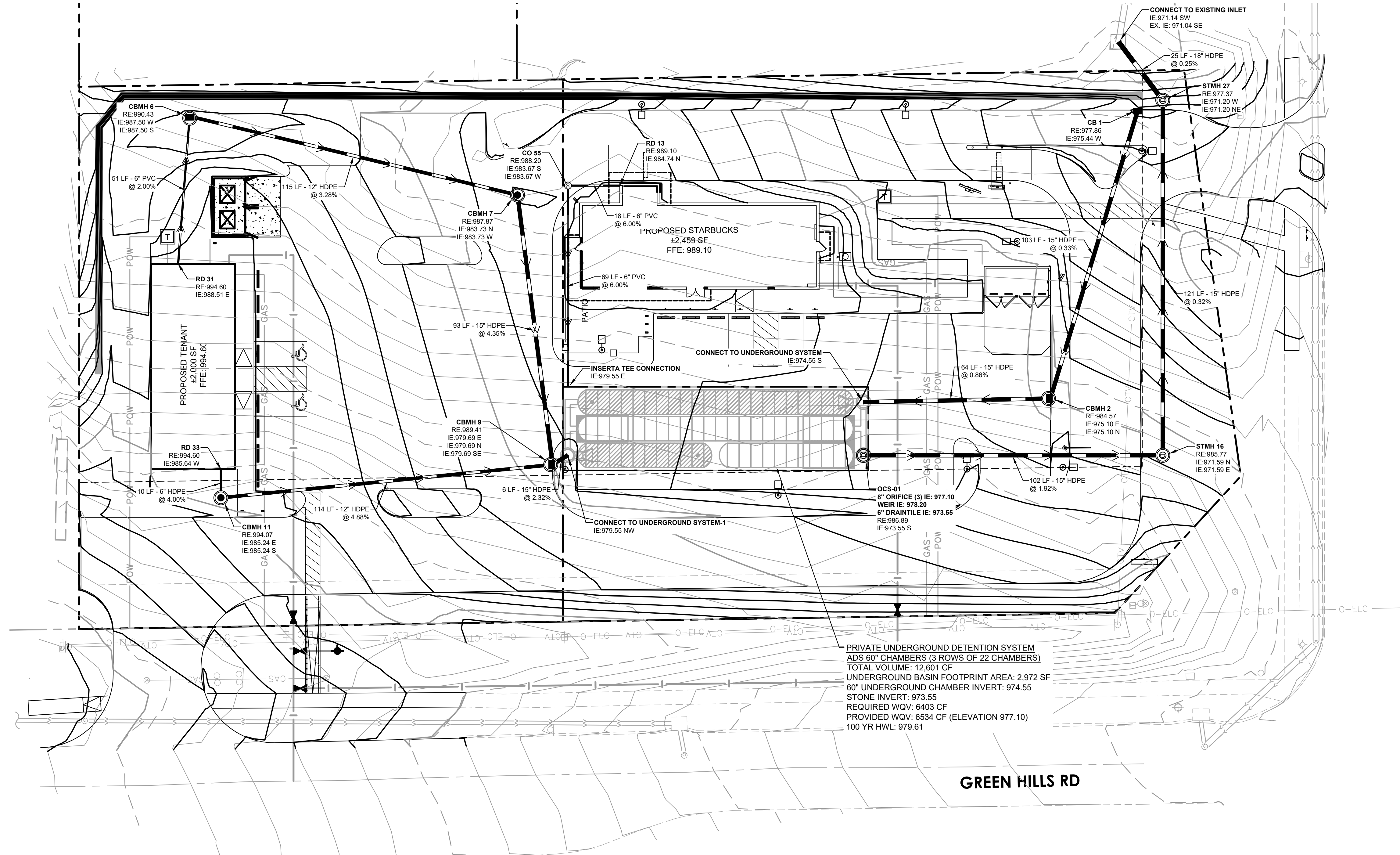
REQUIRED LEVEL OF SERVICE	7.00
PROVIDED LEVEL OF SERVICE	7.98

STORM SEWER NOTES

- INSTALL STORM SEWER IN ACCORDANCE WITH APPLICABLE CITY OR STATE SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- STORM SEWER PIPE SHALL BE:
RCP: ASTM C-76
HDPE: ASTM F-714, F-894
PVC: ASTM D-2729
PVC SCH40: ASTM D-1785, D-2665, F-794
DRAIN TILE SHALL BE:
PE: ASTM F-6667
PVC: ASTM D-2729
FITTINGS SHALL BE:
RCP: ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE: ASTM D-3212
PVC: ASTM D-2729, JOINTS PER ASTM D-3212
PVC SCH40: ASTM D-2665, F-794, F-1866
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
- EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
- EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
- WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4-FEET OF COVER IN PAVED AREAS OR 3-FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5-FEET IN WIDTH, CENTERED ON THE PIPE.
- ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
- ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
- CONTRACTOR SHALL AIR TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.
- THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT OF THE CITY OF KANSAS CITY, MO IN ALL USAGE AND ALL SUPPLEMENTS THERE TO.

LEGEND

- PROPERTY LINE
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLENOUT
- PROPOSED FLARED END SECTION
- PROPOSED RIPRAP
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER

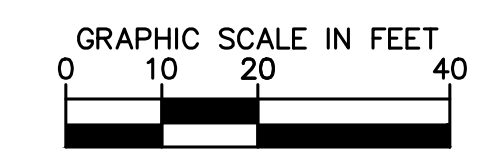
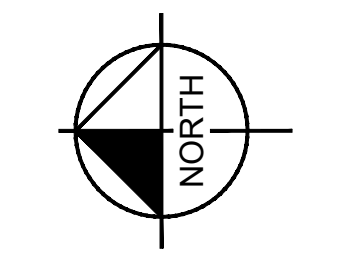


NW BARRY RD

GREEN HILLS RD



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STORM SEWER PLAN

SBUX #85175 - BARRY RD & GREEN HILLS RD
PREPARED FOR
HUM BARRY, LLC

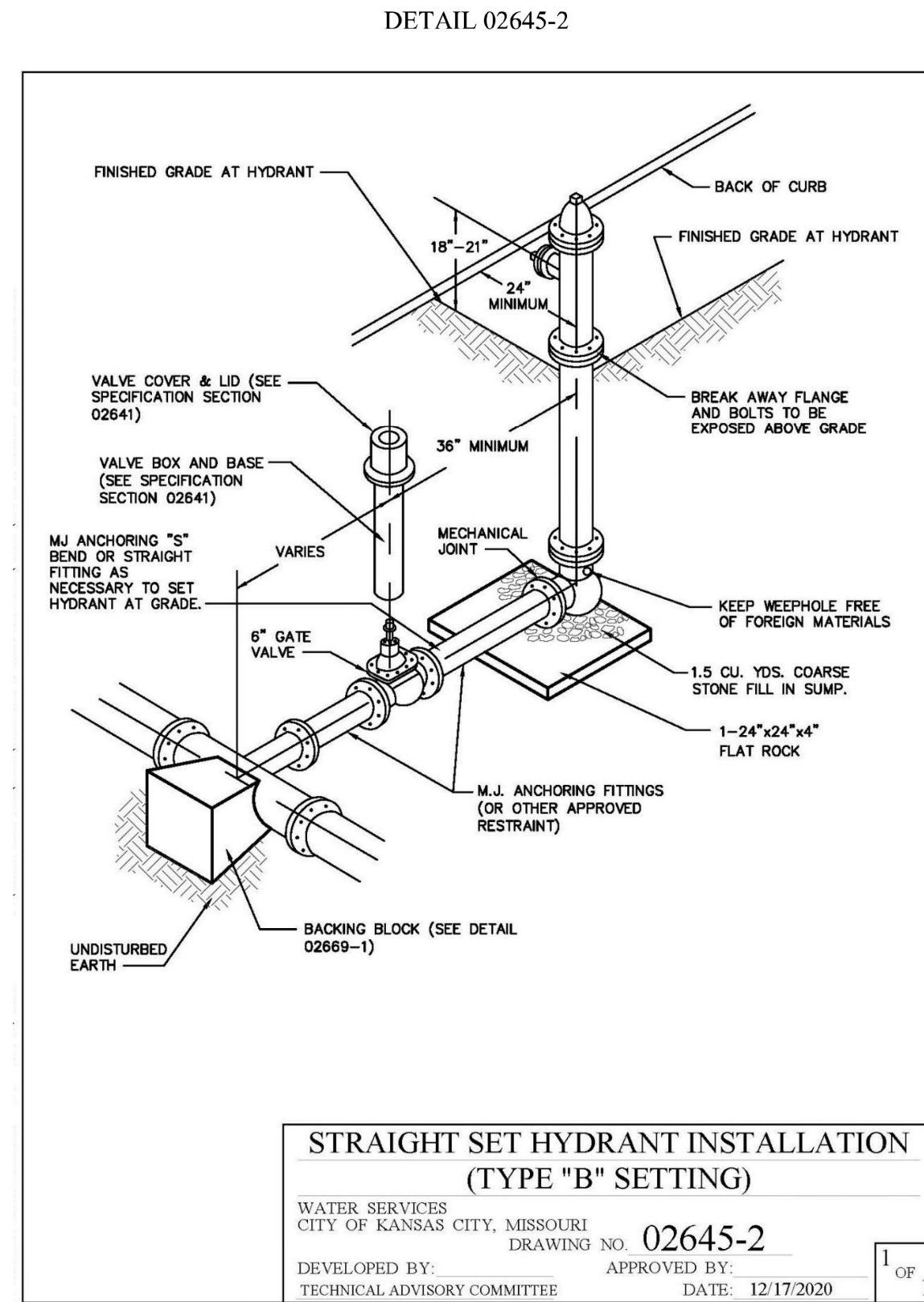
SHEET NUMBER
C502



KHA PROJECT	161143001
DATE	07/19/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

KANSAS CITY MISSOURI

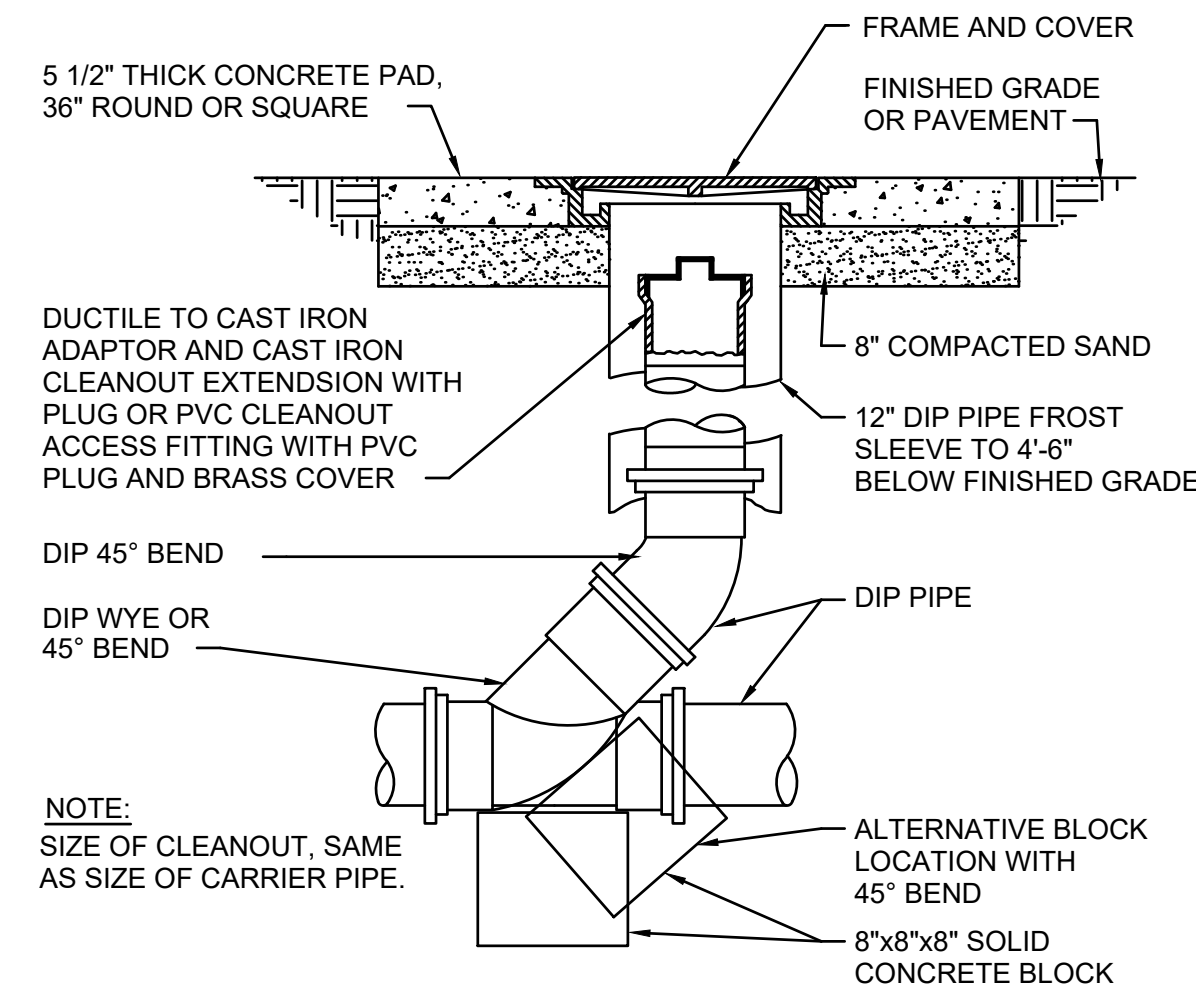
No.	REVISIONS	DATE	BY



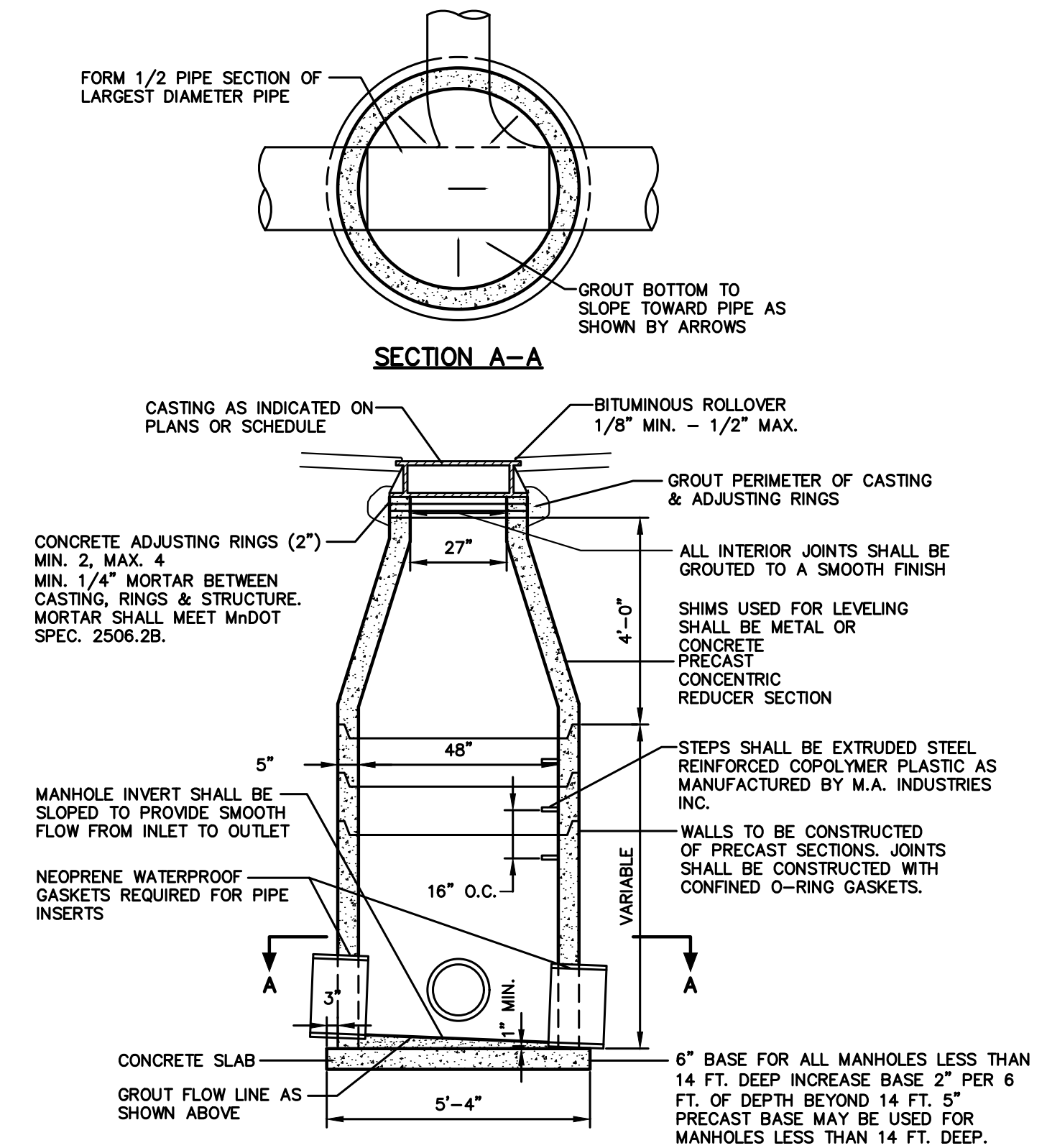
02645 - 9 of 13
 Revised 1/28/21

Kansas City, Missouri
 Water Services Department
 Standard Specification

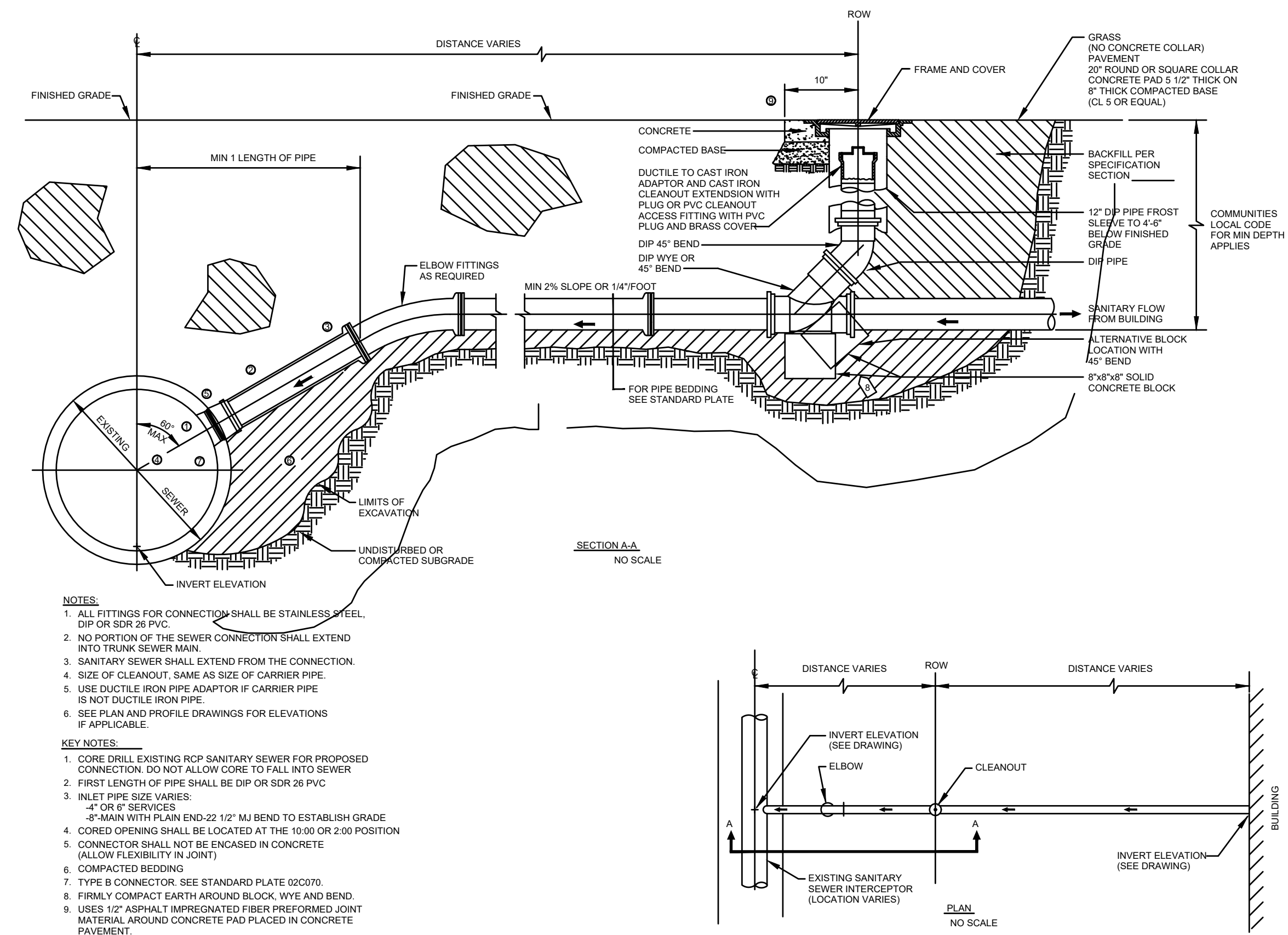
- KEY NOTES:**
- 1 FOR USE ON 8" DIAMETER OR SMALLER NON-PRESSURE PIPE LINES
 - 2 USE DUCTILE IRON PIPE ADAPTOR IF CARRIER PIPE IS NOT DUCTILE IRON PIPE
 - 3 SEE PLAN AND PROFILE DRAWINGS FOR ELEVATIONS
 - 4 FIRMLY COMPACT EARTH AROUND BLOCK, WYE AND BEND
 - 5 USES 1/2" ASPHALT IMPREGNATED FIBER PREFORMED JOINT MATERIAL AROUND PAD PLACED IN CONCRETE PAVEMENT



SANITARY SEWER CLEANOUT



SANITARY SEWER STANDARD MANHOLE



- NOTES:**
- 1 ALL FITTINGS FOR CONNECTION SHALL BE STAINLESS STEEL DIP OR SDR 26 PVC.
 - 2 NO PORTION OF THE SEWER CONNECTION SHALL EXTEND INTO TRUNK SEWER MAIN.
 - 3 SANITARY SEWER SHALL EXTEND FROM THE CONNECTION.
 - 4 SIZE OF CLEANOUT, SAME AS SIZE OF CARRIER PIPE.
 - 5 USE DUCTILE IRON PIPE ADAPTOR IF CARRIER PIPE IS NOT DUCTILE IRON PIPE.
 - 6 SEE PLAN AND PROFILE DRAWINGS FOR ELEVATIONS IF APPLICABLE.
- KEY NOTES:**
- 1 CORE DRILL EXISTING RCP SANITARY SEWER FOR PROPOSED CONNECTION. DO NOT ALLOW CORE TO FALL INTO SEWER.
 - 2 FIRST LENGTH OF PIPE SHALL BE DIP OR SDR 26 PVC.
 - 3 INLET PIPE SIZE VARIES:
 4" OR 6" SERVICES
 8" MAIN WITH PLAIN END-22 1/2" M.J. BEND TO ESTABLISH GRADE
 - 4 CORED OPENING SHALL BE LOCATED AT THE 10:00 OR 2:00 POSITION (ALLOW FLEXIBILITY IN JOINT).
 - 5 COMPACTED BEDDING.
 - 6 TYPE B CONNECTOR. SEE STANDARD PLATE (02070).
 - 7 FIRMLY COMPACT EARTH AROUND BLOCK, WYE AND BEND.
 - 8 USES 1/2" ASPHALT IMPREGNATED FIBER PREFORMED JOINT MATERIAL AROUND CONCRETE PAD PLACED IN CONCRETE PAVEMENT.

SANITARY SEWER SERVICE

No.	REVISIONS	DATE	BY

Kimley»Horn
 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 805 PENNSYLVANIA, SUITE 150 KANSAS CITY, MO 64105
 PHONE: 816-231-5127
 WWW.KIMLEY-HORN.COM

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
161143001	07/19/2024	AS SHOWN	BSK	BSK	MTL

UTILITY DETAILS

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

SBUX #85175 - BARRY RD & GREEN HILLS RD
 PREPARED FOR
HUM BARRY, LLC
 KANSAS CITY MISSOURI
 SHEET NUMBER
C601

K:\TCW_LDEV\Starbucks\Kansas City, MO- NE Corner Green Hills & Barry Road\3 Design\CAD\PlanSheets\L1-LANDSCAPE PLAN.DWG September 23, 2024 - 12:24pm

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	CAL.
OVERSTORY TREES						
	ABM	9	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'AUTUMN BLAZE'	B & B	2.5" CAL.
	NPO	7	NORTHERN PIN OAK	QUERCUS ELLIPSOIDALIS	B & B	2.5" CAL.
	SWG	9	ROUND-LOBED SWEET GUM	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	B & B	2.5" CAL.
	TUL	4	MAJESTIC BEAUTY® TULIP POPLAR	LIRIODENDRON TULIPIFERA 'AUREO-MARGINATUM'	6' HT.	2.5" CAL.

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	SPACING
DECIDUOUS SHRUBS						
	ANH	24	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5 CONT.	4' O.C.
	BEA	48	PEARL GLAM® BEAUTYBERRY	CALLICARPA X 'NCCX2' (PEARL GLAM®)	#3 CONT.	3' O.C.
	BLK	32	AUTUMN MAGIC BLACK CHOKEBERRY	ARONIA MELANOCARPA 'AUTUMN MAGIC'	#5 CONT.	4' O.C.
	CBB	38	COMPACT BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	#5 CONT.	5' O.C.
	LDN	6	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'™	#5 CONT.	4' O.C.

	SNO	42	SNOWMOUND SPIREA	SPIRAEA NIPPONICA 'SNOWMOUND'	#5 CONT.	4' O.C.
	SSB	6	SUGAR SHACK® BUTTONBUSH	CEPHALANTHUS OCCIDENTALIS 'SMCOSS'	#3 CONT.	4' O.C.
	STJ	22	SUNNY BOULEVARD® ST. JOHNSWORT	HYPERICUM KALMIANUM 'DEPPE'	#3 CONT.	3' O.C.

EVERGREEN SHRUBS						
	ARB	21	EMERALD GREEN ARBORVITAE	THUJA OCCIDENTALIS 'EMERALD GREEN'	#5 CONT.	4' O.C.

ORNAMENTAL GRASSES						
	HFG	65	HAMELN FOUNTAIN GRASS	CENCHRUS ALOPECUROIDES 'HAMELN'	#1 CONT.	18" O.C.
	ROB	55	RED OCTOBER BIG BLUESTEM	ANDROPOGON GERARDII 'RED OCTOBER'	6 PK	24" O.C.

PERENNIALS						
	ASD	11	APRICOT SPARKLES DAYLILY	HEMEROCALLIS X 'APRICOT SPARKLES'	#1 CONT.	15" O.C.
	BBL	521	BIG BLUE LILYTURF	LIRIOPE MUSCARI 'BIG BLUE'	#1 CONT.	12" O.C.
	RSC	172	RUBY STAR CONEFLOWER	ECHINACEA PURPUREA 'RUBY STAR'	#1 CONT.	18" O.C.
	RSG	48	BLUE HAZE RUSSIAN SAGE	SALVIA YANGII 'BLUE HAZE'	#1 CONT.	18" O.C.

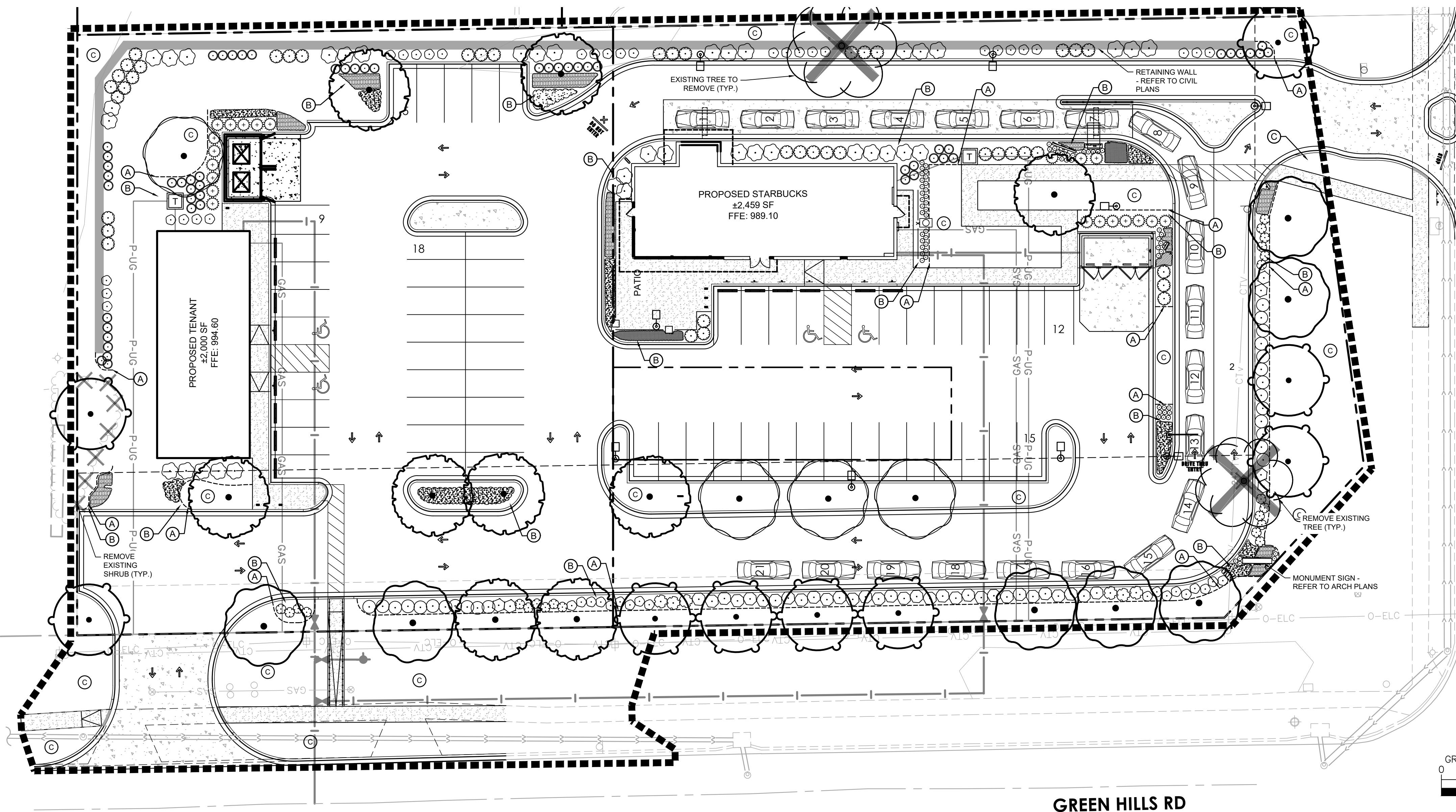
NOTE:
 QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.
ABBREVIATIONS:
 B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPECIES QTY. = QUANTITY

LANDSCAPE SUMMARY - PER CODE OF ORDINANCES

CITY OF KANSAS CITY, MO LANDSCAPE REQUIREMENTS SECTION 88
 88-425-05-B. REQUIRED: NW BARRY ROAD - 5 TREES = (172 LF STREET FRONTAGE - 27 LF DRIVEWAY) / 30
 PROVIDED: NW BARRY RD - 5 TREES
 REQUIRED: GREEN HILLS ROAD - 11 TREES = (386 LF STREET FRONTAGE - 66 LF DRIVEWAY) / 30
 PROVIDED: GREEN HILLS ROAD - 11 TREES
 88-425-04. REQUIRED: AT LEAST ONE TREE PROVIDED PER 5,000 SF BUILDING FOOTPRINT
 PROVIDED: 4,459 SF / 5,000 SF = 1 TREE
 88-425-05. REQUIRED: PERIMETER 10' LANDSCAPE BUFFER OF VEHICULAR USE AREAS
 PROVIDED: LANDSCAPE BUFFER STRIP W/ EVERGREEN SHRUBS TO FORM CONTINUOUS VISUAL SCREEN AT LEAST 4' HT.
 88-425-06-B. REQUIRED: 2,065 SF = (59 PARKING SPACES x 35 SF INTERIOR LANDSCAPE)
 PROVIDED: 6,772 SF
 88-425-06-E. REQUIRED TREES: 12 TREES = (59 PARKING SPACES / 5)
 PROVIDED TREES: 12 TREES
 REQUIRED SHRUBS: 59 SHRUBS = (59 PARKING SPACES / 1)
 PROVIDED SHRUBS: 59 SHRUBS
 TOTAL TREES REQUIRED: 29 TREES
 TOTAL TREES PROVIDED: 29 TREES
 TOTAL SHRUBS REQUIRED: 59 SHRUBS
 TOTAL SHRUBS PROVIDED: 133 SHRUBS

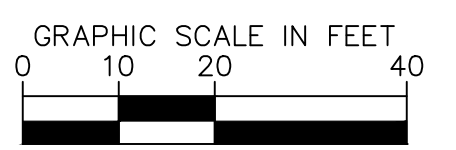
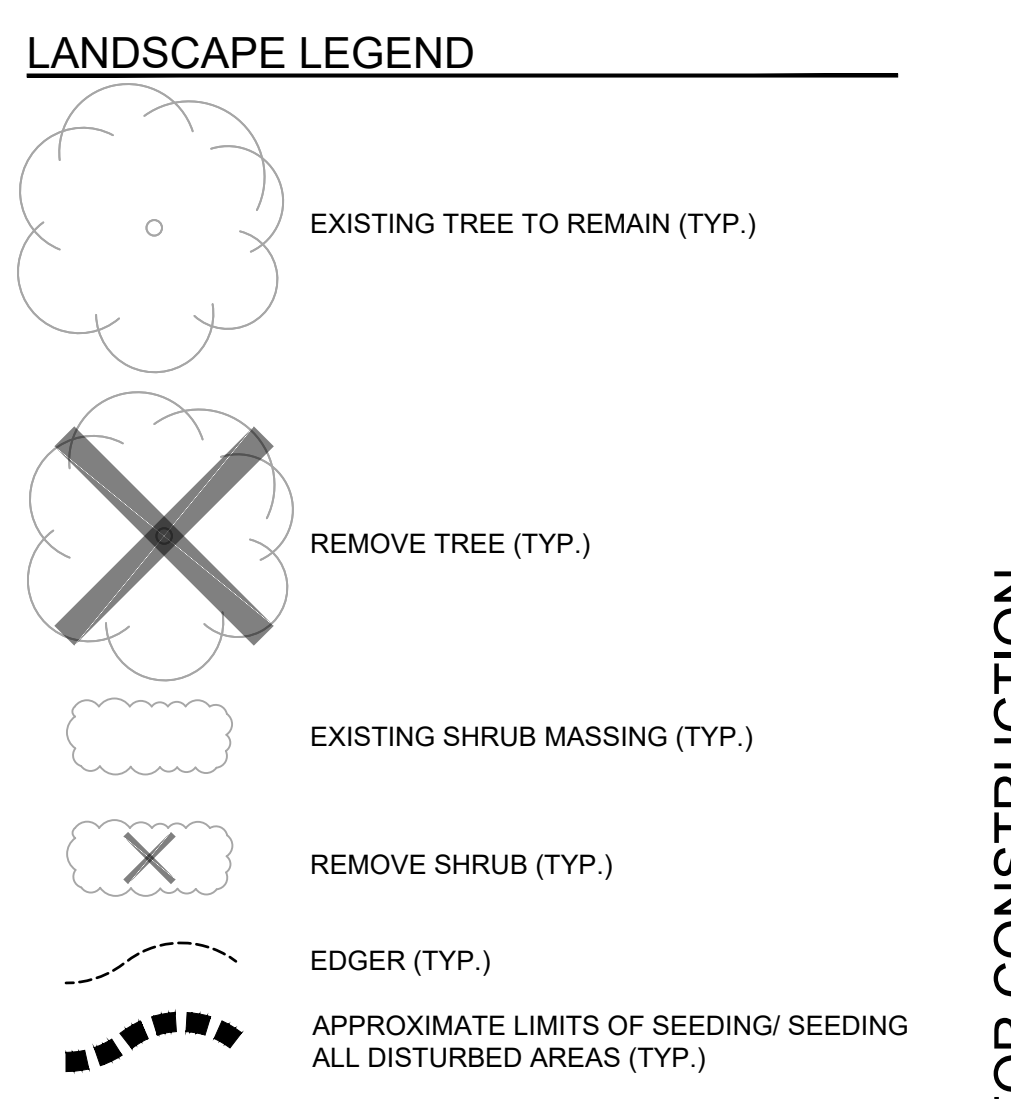
LANDSCAPE KEYNOTES (A)

- (A) EDGER (TYP.)
- (B) ROCK MULCH (TYP.)
- (C) SOD (TYP.)



EXISTING TREE INVENTORY

TAG #	SPECIES	SIZE/ HT. DBH	HEALTH	STATUS
1	MAPLE	24	GOOD	REMOVE
2	UNKNOWN DECID.	27	GOOD	REMOVE



Know what's below.
 Call before you dig.

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LANDSCAPE PLAN

KHA PROJECT	161143001
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DRAWN BY	ATK
CHECKED BY	AMS



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