

OWNER: TRUMAN MEDICAL CENTER INC
 ZONING: R-0.5
 LAND USE: 7100- PARK

OWNER: CHILDRENS MERCY HOSPITAL
 ZONING: R-0.5
 LAND USE: 4500- MEDICAL

OWNER: THE CHILDRENS MERCY HOSPITAL
 ZONING: R-0.5
 LAND USE: 0

OWNER: EHINGER ROBERTS TRUSTEE
 ZONING: UR
 LAND USE: 3120- LIGHT INDUSTRY/ STORAGE/ DISTRIBUTION/ VEHICLE SALE/ SERVICE

OWNER: TRUMAN MEDICAL CENTER
 ZONING: UR
 LAND USE: 5212- PAVED PARKING

NEW PARKING GARAGE & OFFICE BUILDING:

PARKING GARAGE:
 'A' FLOOR: 30,750 SF
 'B' FLOOR: 30,750 SF
 'C' FLOOR: 30,750 SF

OFFICE BUILDING:
 1st FLOOR: 23,800 SF
 2nd FLOOR: 23,800 SF
 3rd FLOOR: 23,800 SF
 4th FLOOR: 23,800 SF

TOTAL BUILDING AREA: 187,450 SF

- ▲ Indicates Pedestrian Entrance/ Exit
- ▲ Indicates Vehicular Entrance/ Exit
- Indicates footprint of new construction
- ▨ Indicates existing structures

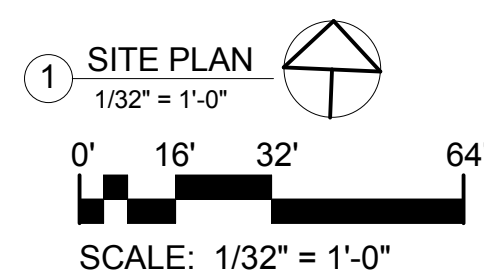
OWNER: CITY OF KANSAS CITY
 ZONING: R-0.5
 LAND USE: 7100- PARK

OWNER: TRUMAN MEDICAL CENTER
 ZONING: R-0.5
 LAND USE: 4110- SCHOOL

OWNER: TRUMAN MEDICAL CENTER WEST
 ZONING: R-0.5
 LAND USE: 4500- MEDICAL

OWNER: CHILDRENS MERCY HOSPITAL
 ZONING: R-0.5
 LAND USE: 4500- MEDICAL

OWNER: TRUMAN MEDICAL CENTER INC
 ZONING: R-0.5
 LAND USE: 2400- OFFICE



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Life Structures

11523 Ash Street
 Leawood, Kansas 66211.2011

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 www.bsallifestructures.com

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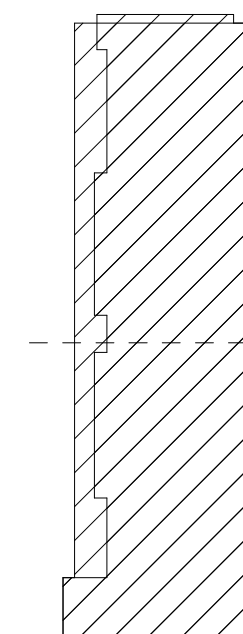
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 920 Main Street #10, Kansas City, MO 64105
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 Kansas City, Kansas 66103
 913.371.7933

Children's Mercy
 KANSAS CITY
 2240 KENWOOD AVENUE KANSAS CITY, MO 64108
OFFICE BUILDING
 17860016

CONSTRUCTION DOCUMENTS



KEYPLAN

MARK	DATE	DESCRIPTION

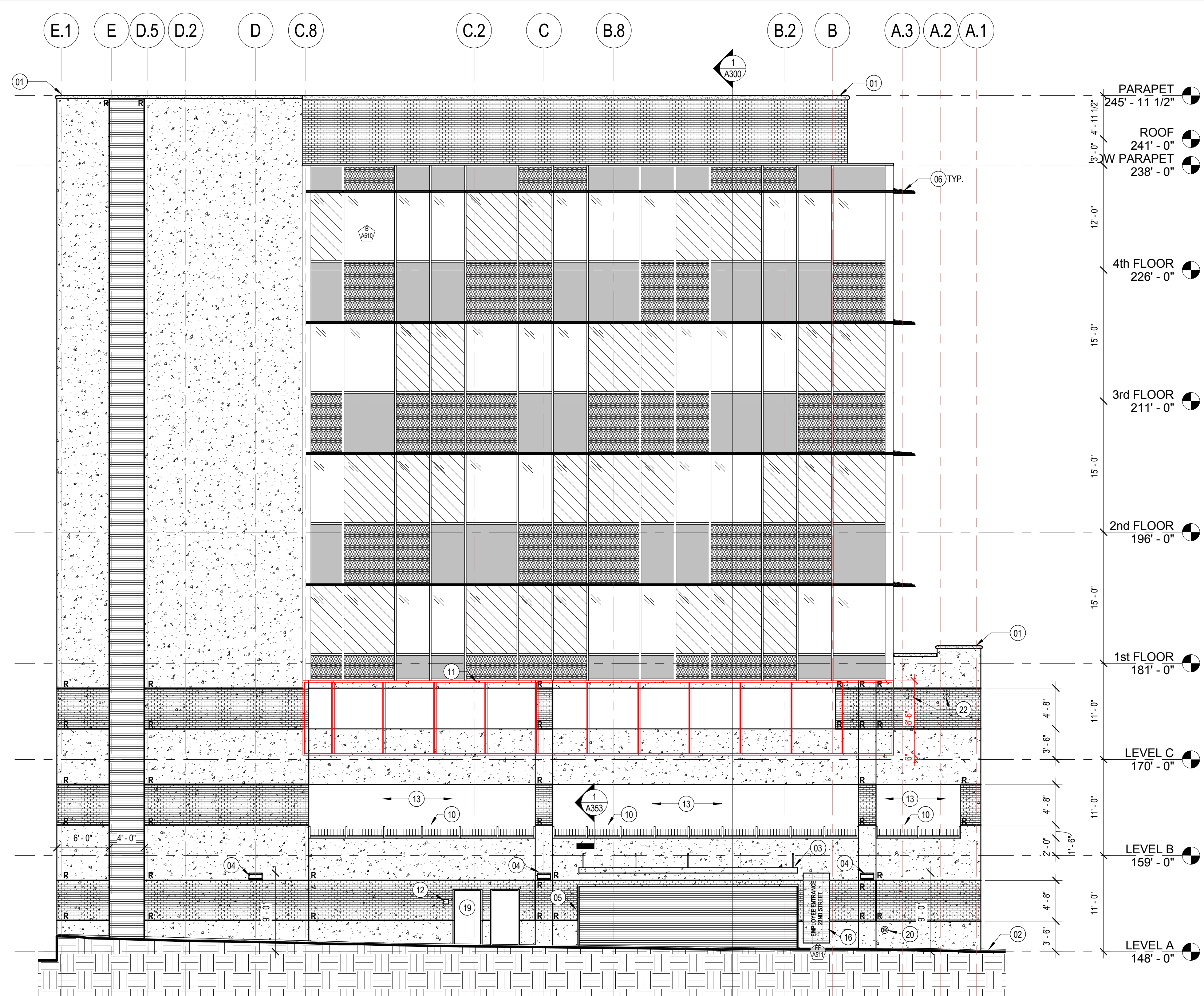
MATTHEW S. JENNINGS A-2004028667

SITE PLAN

PROJECT NO.	17860016	CLIENT NO.	1786
DATE	27 APRIL 2015		
COORD.			
DRAWN			
APPROVED			

DP1





EXTERIOR MATERIAL LEGEND

- BRICK MASONRY
Brick color and texture to match existing Brick at CMH Campus
- PRECAST CONCRETE - ACID ETCHED LIGHT
Precast color to match existing cast stone banding color at CMH Campus
- PRECAST CONCRETE - FLUTED RIDGE
FORMLINE
Precast color to match existing cast stone banding color at CMH Campus
- THIN SET BRICK PRECAST CONCRETE
Brick color and texture to match existing Brick at CMH Campus

ALL STOREFRONT AND CURTAIN WALL MULLIONS, LOUVERS, EXTERIOR DOORS AND FRAMES TO BE HARTFORD GREEN

ALL GARAGE SIGNAGE, SCREENS, AND ALL EXTERIOR RAILINGS AND GUARD RAILS TO BE PRE-GALVANIZED FINISH

SUNSHADES COLOR SHALL BE ANODIZED ALUMINUM

LEGEND

- R - 3/4" REVEAL, TYP @ LOCATIONS OF PRECAST FINISH TRANSITIONS
- CJ - BRICK CONTROL JOINT

NOTES- EXTERIOR ELEVATION

- REFER TO A001 FOR GENERAL NOTES
- NOT ALL NOTES APPEAR ON ALL SHEETS.
- CAST STONE CAP. MATCH COLOR AND TYPE TO EXISTING CAST STONE BANDING AT CMH CAMPUS.
- GRADE. REF. CIVIL DRAWINGS.
- CANOPY.
- EXTERIOR LIGHTING. REF. ELEC. DWGS.
- SECTIONAL GARAGE DOOR.
- SUNSHADE DEVICE BASIS OF DESIGN: KAWNEER VERSOLEIL OULTRIGGER REF A113 FOR TYPICAL PLAN LAYOUT.
- ROOF TOP UNITS. REF. MECHANICAL DRAWINGS.
- LOUVER. REF SHEET A511 FOR OPENING DIMENSIONS.
- RETAINING WALL. SYNTHETIC MINERAL-OXIDE PIGMENT OR COLORED WATER-REDUCING ADMIXTURES. COLOR STABLE, NON-FADING, AND RESISTANT TO LIME AND OTHER ALKALIS. COLOR TO MATCH PRECAST COLOR. FINAL APPROVAL PER ARCHITECT.
- GUARDRAIL. REF RAILING DETAILS ON SHEET A353.
- METAL SCREEN ON METAL CLIP ANGLES. REF SHEET A511.
- KNOX BOX PER KC FIRE DEPARTMENT REQUIREMENTS. MIT HIT PER AHJ.
- OPENING. REF ARCH PLAN FOR WIDTHS.
- CAST STONE SILL. MATCH COLOR AND TYPE TO EXISTING CAST STONE BANDING AT CMH CAMPUS.
- INFILL OPENING WITH METAL SCREEN ON CLIPS. REF TYPICAL DETAIL GGAS11
- EXTERIOR EXTRUDED STEEL LETTERING ON METAL SCREEN PANEL. W/ 2" FRAME.
- CAGED LADDER.
- SCUPPER.
- SIGNAGE. FIRE COMMAND POST.
- FIRE DEPARTMENT RILET. REF FLUMBING DWGS.
- BOILER INTAKE. REF MECH DWGS.
- BOILER EXHAUST. REF MECH DWGS.
- ELECTRICAL ENTRANCE PER KCPL.
- LAMES TONGUE.

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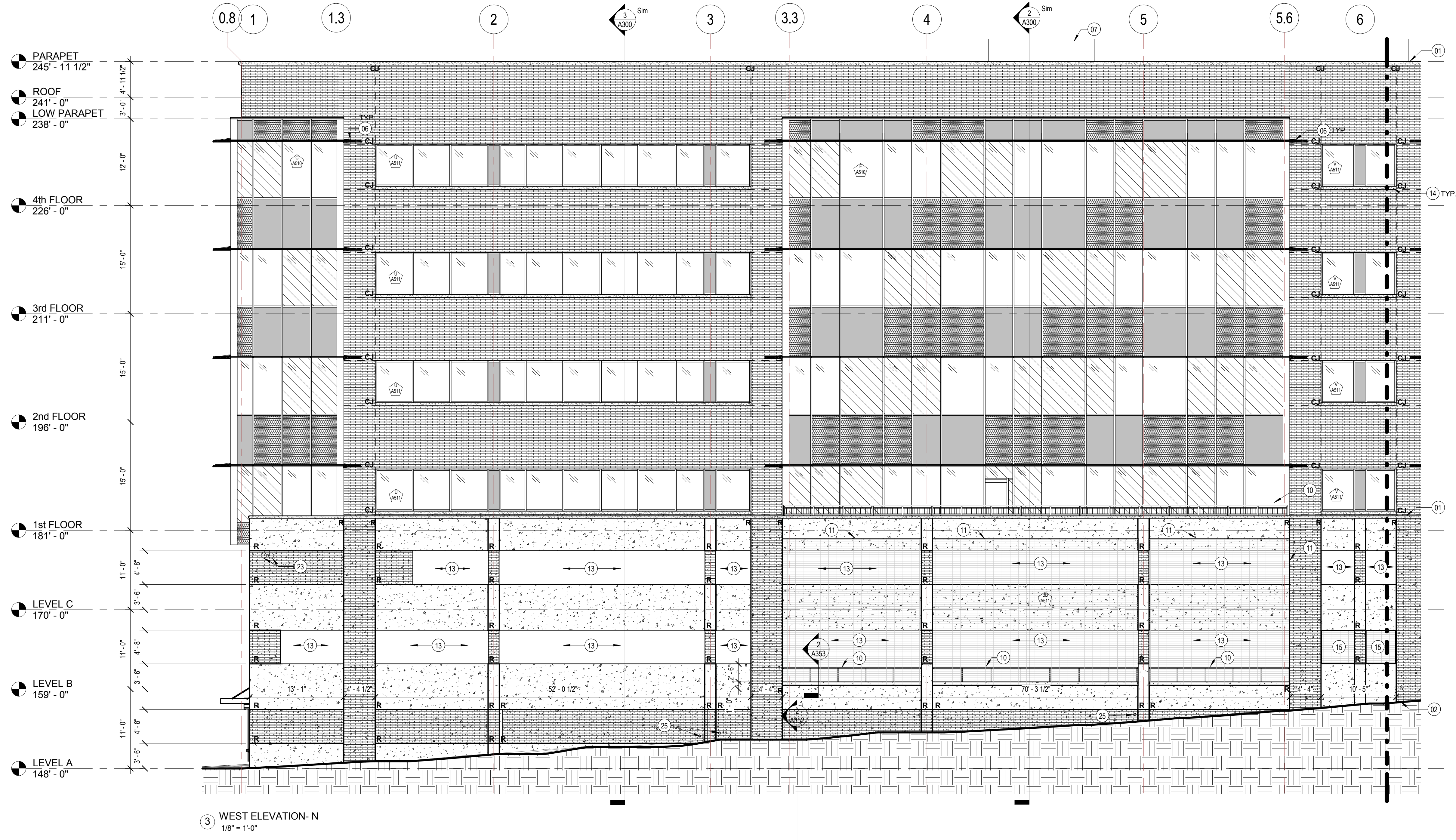
2240 KENWOOD AVENUE KANSAS CITY, MO 64108

OFFICE BUILDING
17860016

CONSTRUCTION DOCUMENTS

KEYPLAN
PLAN NORTH

MARK	DATE	DESCRIPTION
B	21 MAY 2015	ADDENDUM 5



MATTHEW S. JENNINGS A-2004028667

EXTERIOR ELEVATIONS

PROJECT NO. 17860016 CLIENT NO. 1786

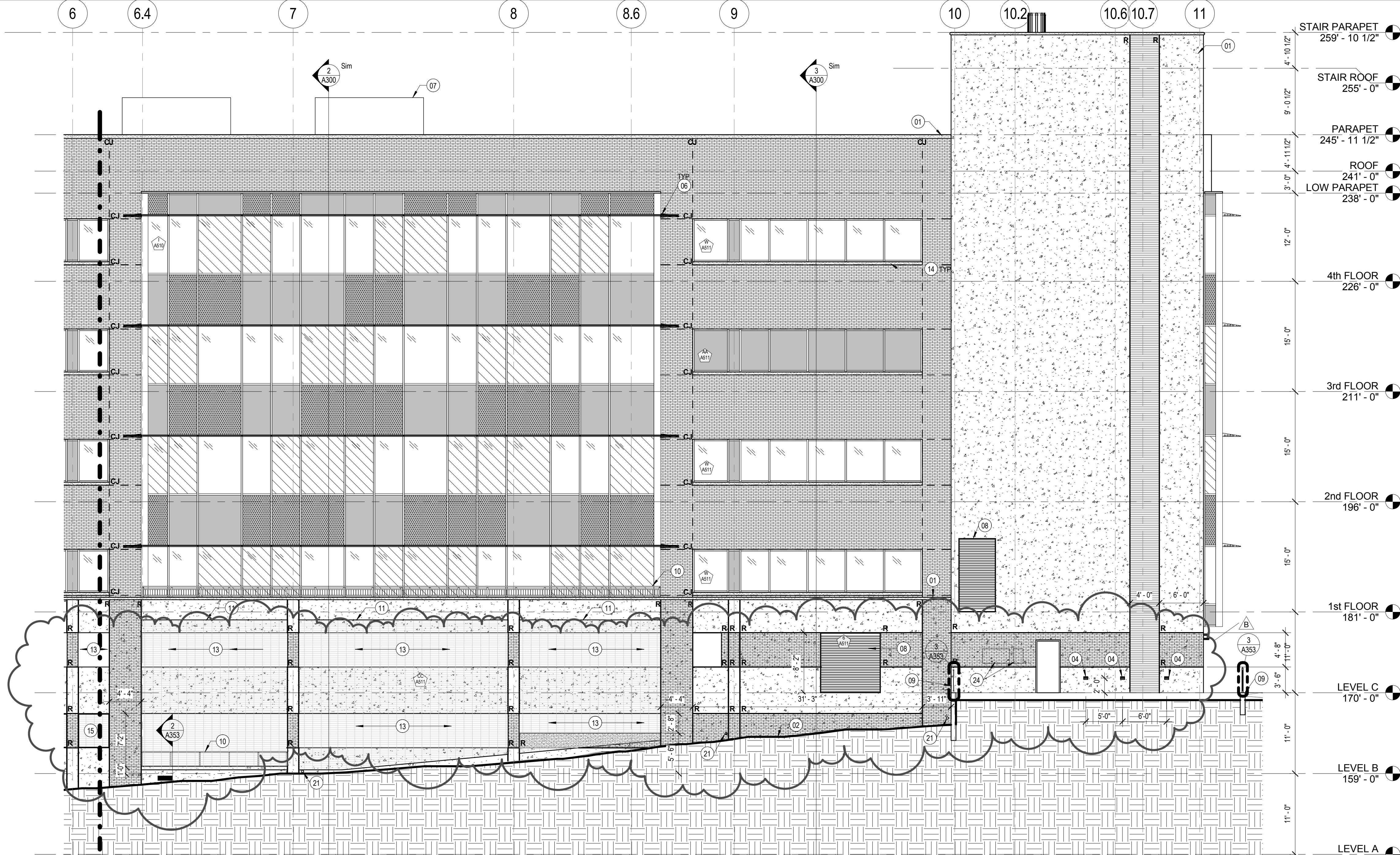
DATE 27 APRIL 2015

COORD. _____

DRAWN _____

APPROVED _____

A200



EXTERIOR MATERIAL LEGEND

- BRICK MASONRY: Brick color and texture to match existing Brick at CMH Campus.
- PRECAST CONCRETE - ACID ETCHED - LIGHT: Precast color to match existing cast stone banding color at CMH Campus.
- PRECAST CONCRETE - FLUTED RIDGE FORMLINER: Precast color to match existing cast stone banding color at CMH Campus.
- THIN SET BRICK PRECAST CONCRETE: Brick color and texture to match existing Brick at CMH Campus.

LEGEND

- R - 3/4" REVEAL (TYP @ LOCATIONS OF PRECAST FINISH TRANSITIONS)
- CJ - BRICK CONTROL JOINT

NOTES- EXTERIOR ELEVATION

- REFER TO A001 FOR GENERAL NOTES.
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- GRADE. REF. CIVIL DRAWINGS.
- CANOPY.
- EXTERIOR LIGHTING. REF. ELEC. DWGS.
- SECTIONAL GARAGE DOOR.
- SUNSHADE DEVICE BASES OF DESIGN. KAWNEER VERTICAL OUTRIGGER REF A113 FOR TYPICAL PLAN LAYOUT.
- ROOF TOP UNITS. REF. MECHANICAL DRAWINGS.
- LOUVER. REF. SHEET A511 FOR OPENING DIMENSIONS.
- RETAINING WALL. SYNTHETIC MINERAL OXIDE PIGMENT OR COLORED WATER-REDUCING ADMIXTURES. COLOR STABLE, NON-FADING, AND RESISTANT TO LIME AND OTHER ALKALIS. COLOR TO MATCH PRECAST COLOR. FINAL APPROVAL PER ARCHITECT.
- GUARDRAIL. REF RAILING DETAILS ON SHEET A353.
- METAL SCREEN ON METAL CLIP ANGLES. REF SHEET A511.
- KNOX BOX PER KC FIRE DEPARTMENT REQUIREMENTS. MT HT PER A4L.
- OPENING. REF ARCH PLAN FOR WIDTHS.
- CAST STONE SILL. MATCH COLOR AND TYPE TO EXISTING CAST STONE BANDING AT CMH CAMPUS.
- INFILL OPENING WITH METAL SCREEN ON CLIPS. REF TYPICAL DETAIL GGA511.
- EXTERIOR EXTRUDED STEEL LETTERING ON METAL SCREEN PANEL W/ 2" FRAME.
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- SIGNAGE: FIRE COMMAND POST.
- FIRE DEPARTMENT INLET. REF PLUMBING DWGS.
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- BOILER EXHAUST. REF. MECH. DWGS.
- ELECTRICAL ENTRANCE PER KCPL.

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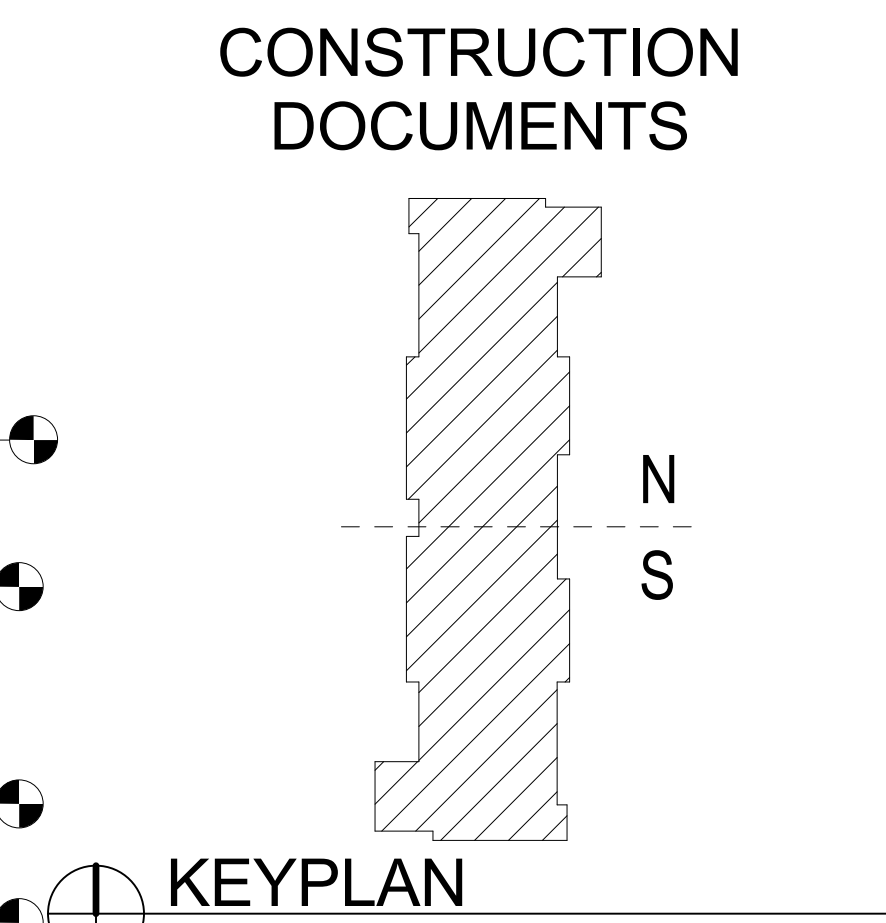
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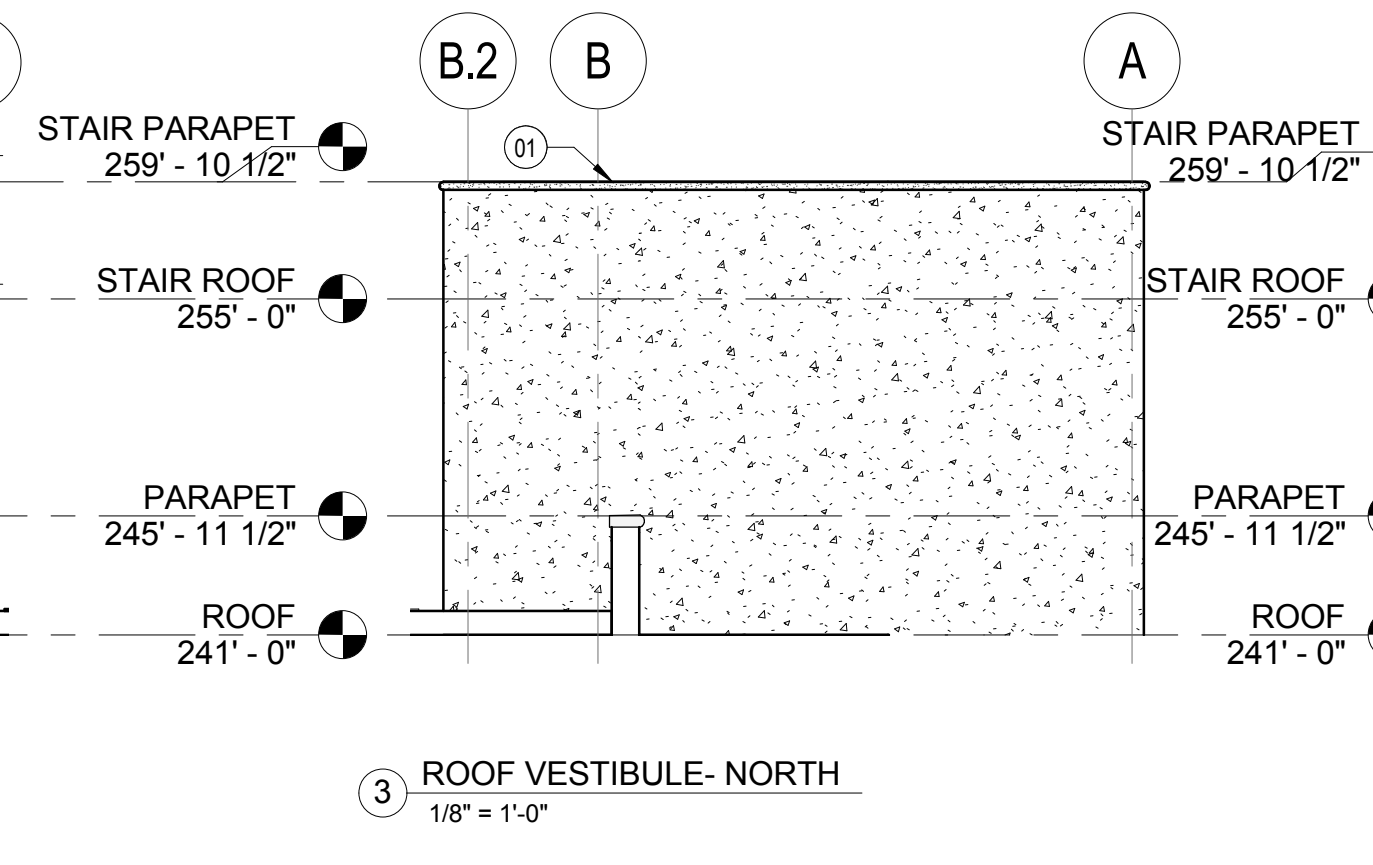
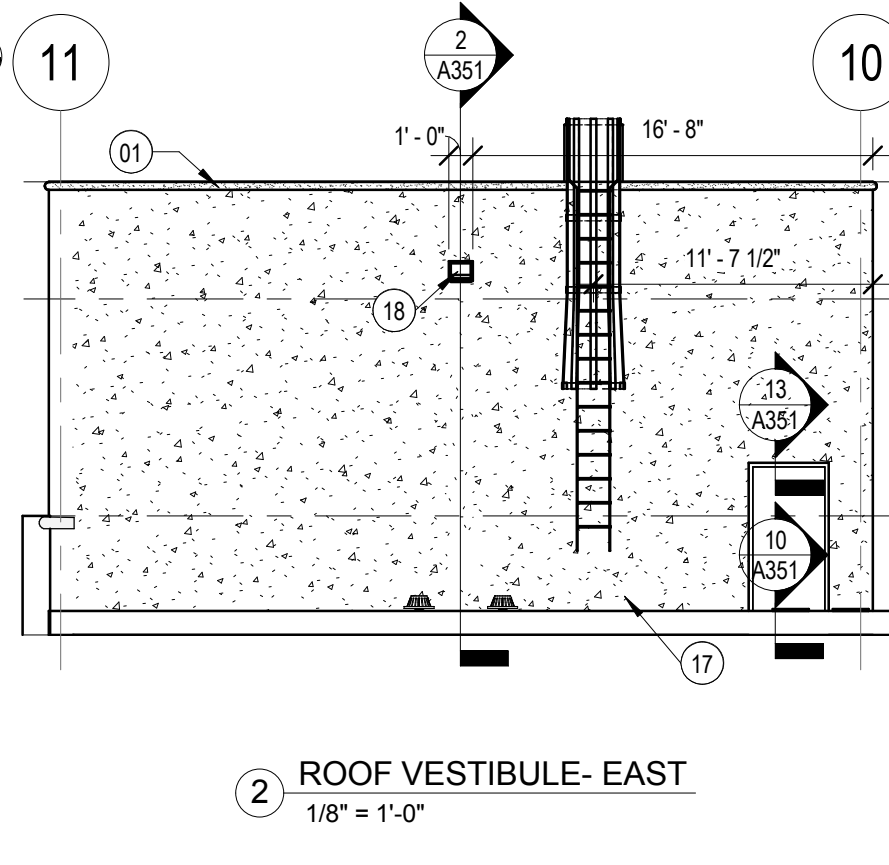
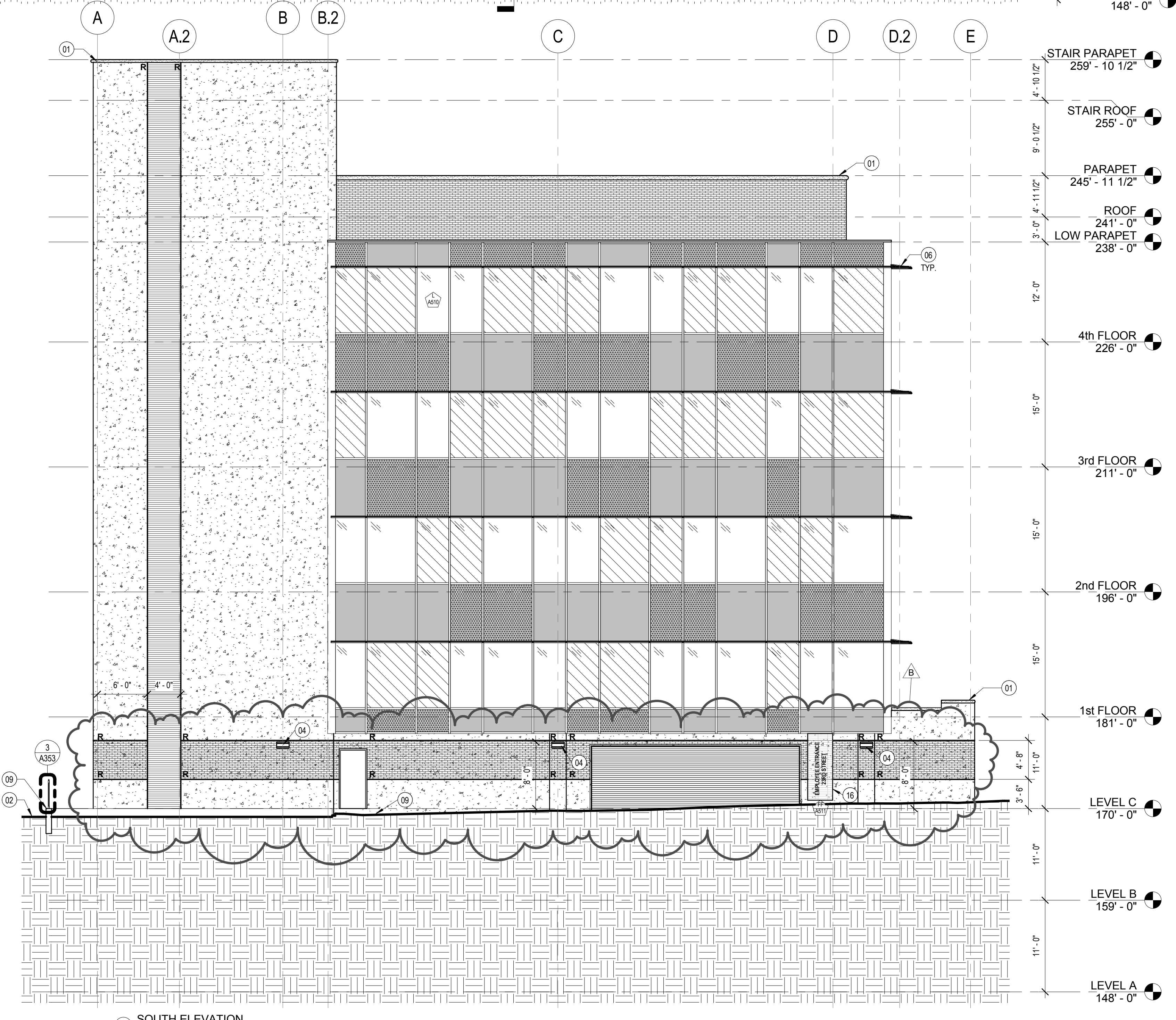
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17860016



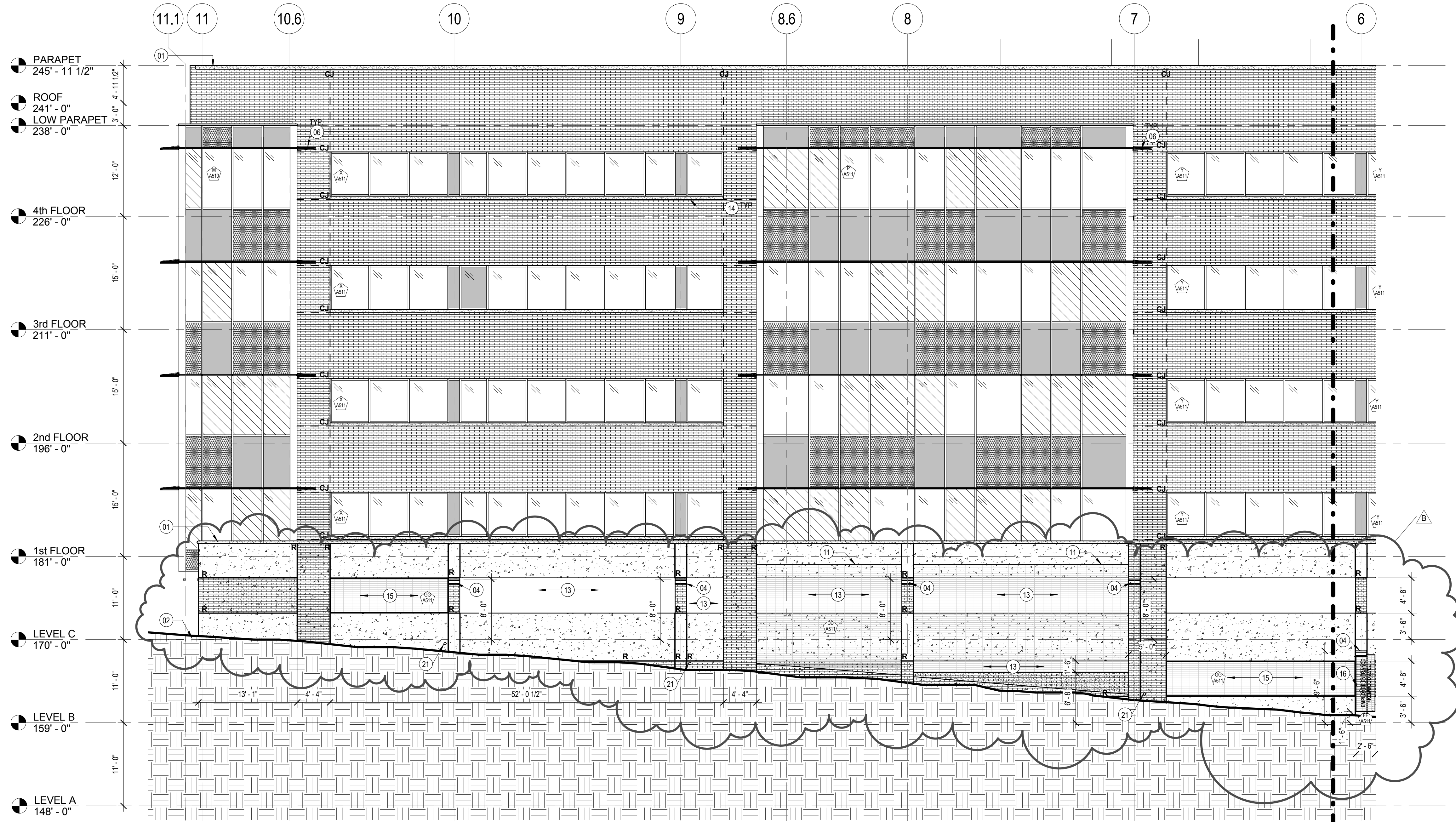
MARK	DATE	DESCRIPTION
A	11 MAY 2015	ADDENDUM 3
B	21 MAY 2015	ADDENDUM 5



MATTHEW S. JENNINGS A-200402867
EXTERIOR ELEVATIONS

PROJECT NO. 17860016 CLIENT NO. 1786
DATE 27 APRIL 2015
DRAWN
APPROVED

DP3.2



EXTERIOR MATERIAL LEGEND

- BRICK MASONRY: Brick color and texture to match existing Brick at CMH Campus.
- PRECAST CONCRETE - ACID ETCHED - LIGHT FORM LINE: Precast color to match existing cast stone banding color at CMH Campus.
- PRECAST CONCRETE - FLUTED RIDGE FORM LINE: Precast color to match existing cast stone banding color at CMH Campus.
- THIN SET BRICK PRECAST CONCRETE: Brick color and texture to match existing Brick at CMH Campus.

ALL STOREFRONT AND CURTAIN WALL MULLIONS, LOUVERS, EXTERIOR DOORS AND FRAMES TO BE HARTFORD GREEN
ALL GARAGE SIGNAGE, SCREENS, SUNSHADES AND ALL EXTERIOR RAILINGS AND GUARD RAILS TO BE ANODIZED ALUMINUM/STEEL FINISH TYPE 304.

LEGEND

- R— 3/4" REVEAL (TYP @ LOCATIONS OF PRECAST FINISH TRANSITIONS)
- CJ— BRICK CONTROL JOINT

NOTES- EXTERIOR ELEVATION

- REFER TO A001 FOR GENERAL NOTES
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- GRADE, REF. CIVIL DRAWINGS.
- CANOPY.
- EXTERIOR LIGHTING, REF. ELEC. DWGS.
- SECTIONAL GARAGE DOOR
- SUNSHADE DEVICE BASIS OF DESIGN: KAWNEER VERSOLEL OUTRIGGER REF A13 FOR TYPICAL PLAN LAYOUT.
- ROOF TOP UNITS, REF. MECHANICAL DRAWINGS
- LOUVER, REF SHEET A511 FOR OPENING DIMENSIONS.
- RETAINING WALL: SYNTHETIC MINERAL-OXIDE PIGMENT OR COLORED WATER-REDUCING ADMIXTURES; COLOR STABLE, NONFADING, AND RESISTANT TO LIME AND OTHER ALKALIS. COLOR TO MATCH PRECAST COLOR. FINAL APPROVAL PER ARCHITECT.
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- EXTERIOR EXTRUDED STEEL LETTERING ON METAL SCREEN PANEL W/ Z FRAME.
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- SIGNAGE: FIRE COMMAND POST
- FIRE DEPARTMENT INLET, REF PLUMBING DWGS.
- GUARDRAIL, REF RAILING DETAILS ON SHEET A353.
- BOILER INTAKE, REF. MECH. DWGS.
- BOILER EXHAUST, REF. MECH. DWGS.
- ELECTRICAL ENTRANCE, PER KCP.

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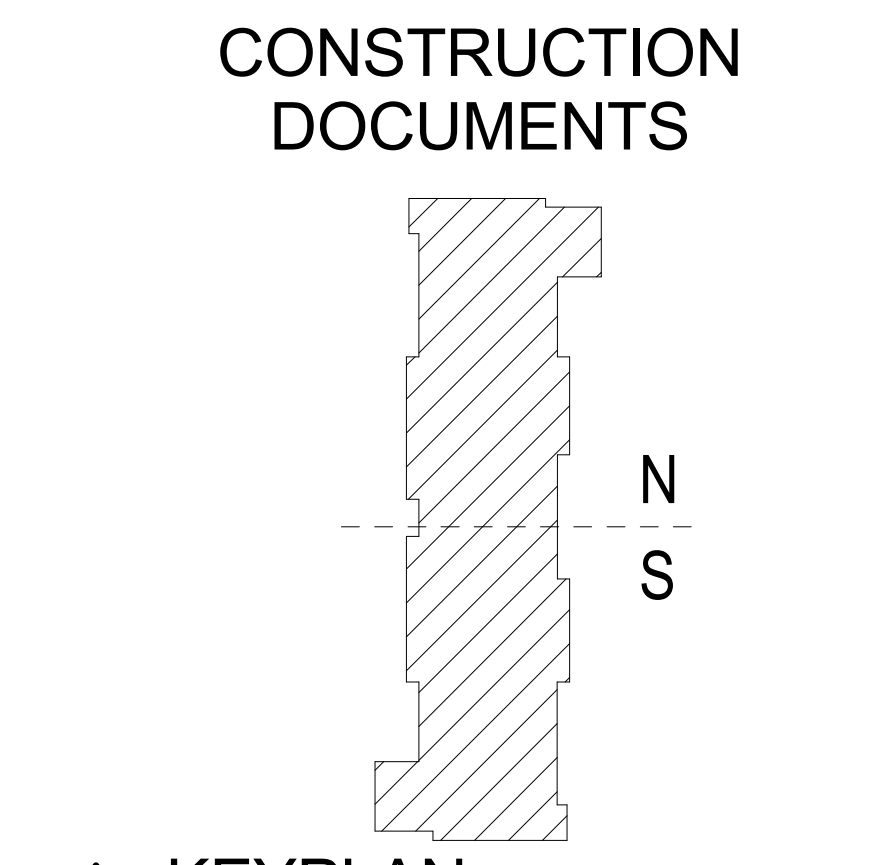
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(816) 701-2100

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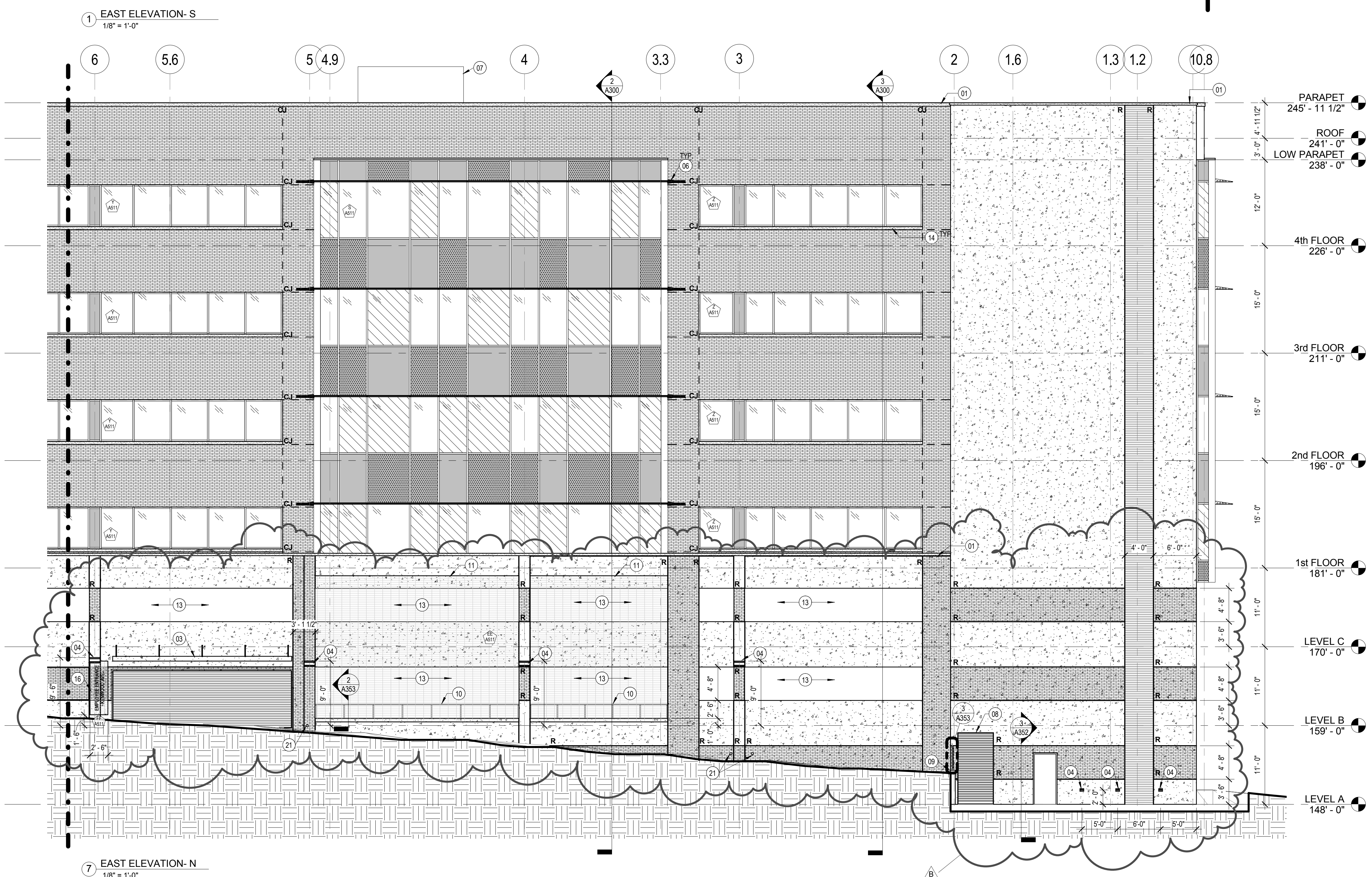
landscape architecture 1100 W. Cambridge Cir. Dr.
Kansas City, Kansas 66103
913.371.7933

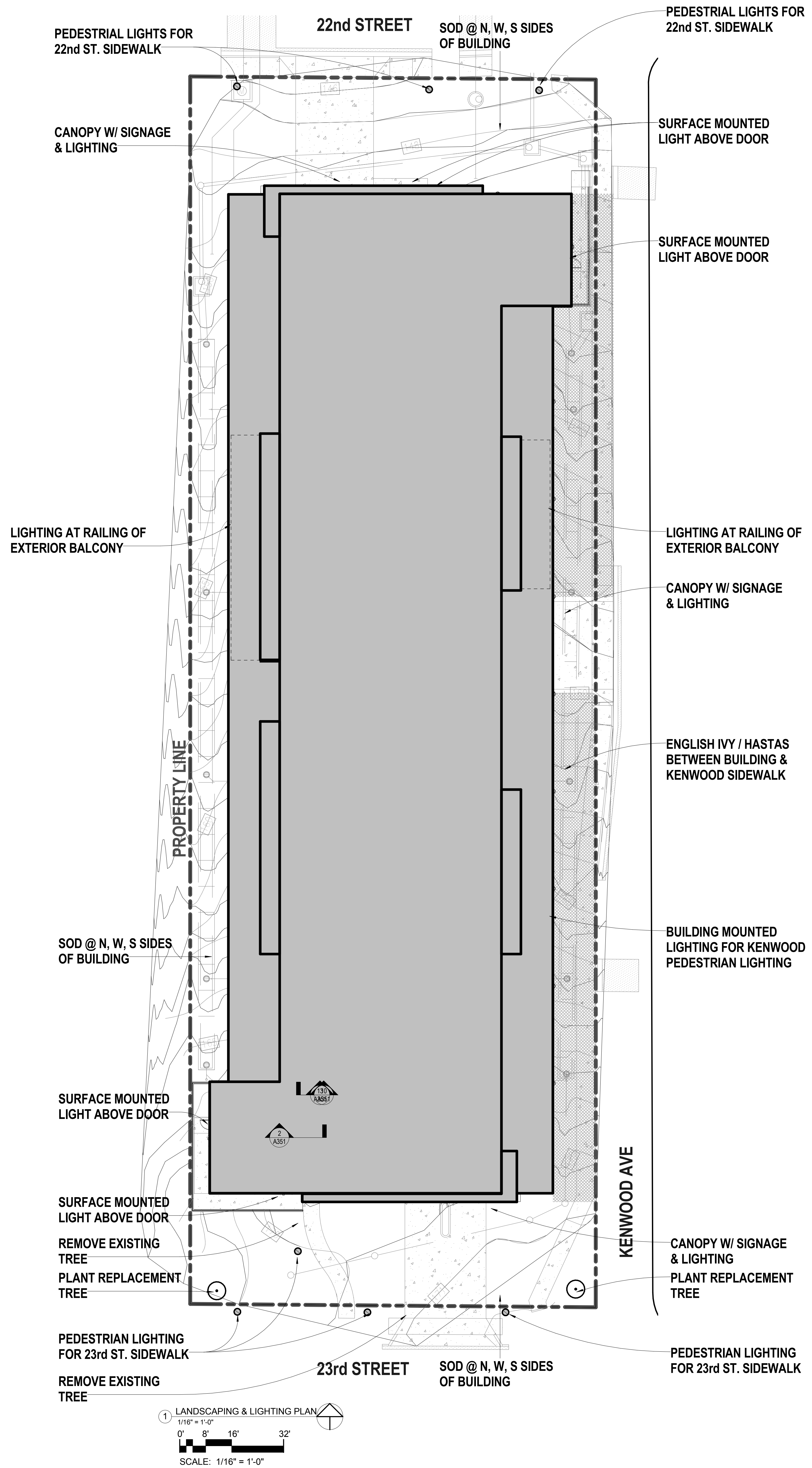
Children's Mercy
KANSAS CITY

2240 KENWOOD AVENUE KANSAS CITY, MO 64108
OFFICE BUILDING
17860016



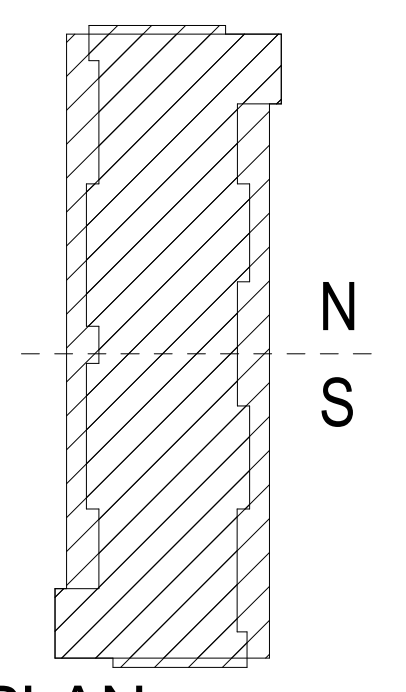
MARK	DATE	DESCRIPTION
A	11 MAY 2015	ADDENDUM 3
B	21 MAY 2015	ADDENDUM 5





A.	Existing zoning of property and proposed zoning, including type of planned district requested.	Existing = R1.5 New = DC
B.	Total land area in square feet or acre.	47,260 SF or 1.0849 acres
C.	Land area or acres for existing and proposed street right of way.	3,443 SF or .0790 acres 3,213 SF or .0737 acres
D.	Net land area or acres.	44.47 SF or 1.0112
E.	Proposed use or uses of each building and structures and number of floors of each building.	Administrative Office Building: Office Building: Parking Garage: 1st Floor 'A' Floor 2nd Floor 'B' Floor 3rd Floor 'C' Floor 4th Floor
F.	Height above grade of buildings and structures and number of floors of each building.	Height above grade at Level A = 96'
G.	Gross floor area per floor and total for each building.	1 building Gross floor area per floor: Parking Garage: 'A' Floor: 30,750 SF 'B' Floor: 30,750 SF 'C' Floor: 30,750 SF Parking Total Area: 92,250 SF Office Building: 1st Floor: 23,800 SF 2nd Floor: 23,800 SF 3rd Floor: 23,800 SF 4th Floor: 23,800 SF Office Total Area: 95,200 sf Total Building Area: 187,450 SF
H.	Building coverage and floor area ratio.	FAR: 95,200 SF / 45,258(gross land area) = 2.0
I.	Residential development shall, in addition identify gross and net density.	N/A
J.	Ratio of required number of parking spaces for each use and amount of required, proposed parking spaces.	Required Parking Spaces: Office, Admin, Professional or General = 1 per 1,000 SF 96 Spaces Required for 95,200 SF ADA 151-200 = 6 Proposed Parking Spaces: Regular: 197 ADA: 12 Total: 209
K.	Ratio of required number of short term and long term bicycle parking spaces for each use and amount of required, proposed short term and long term bicycle parking spaces.	Required Short Term Bicycle: 10% of 209 = 21 required Required Long Term Bicycle: Office, Admin, Professional, or General = 1+1 per 10,000 SF = 11 required Proposed Short Term Bicycle: 21 Proposed Long Term Bicycle: 11
L.	Commencement and completion dates for each phase.	One Phase Commencement: July 2015 Completion: December 2016

CONSTRUCTION DOCUMENTS

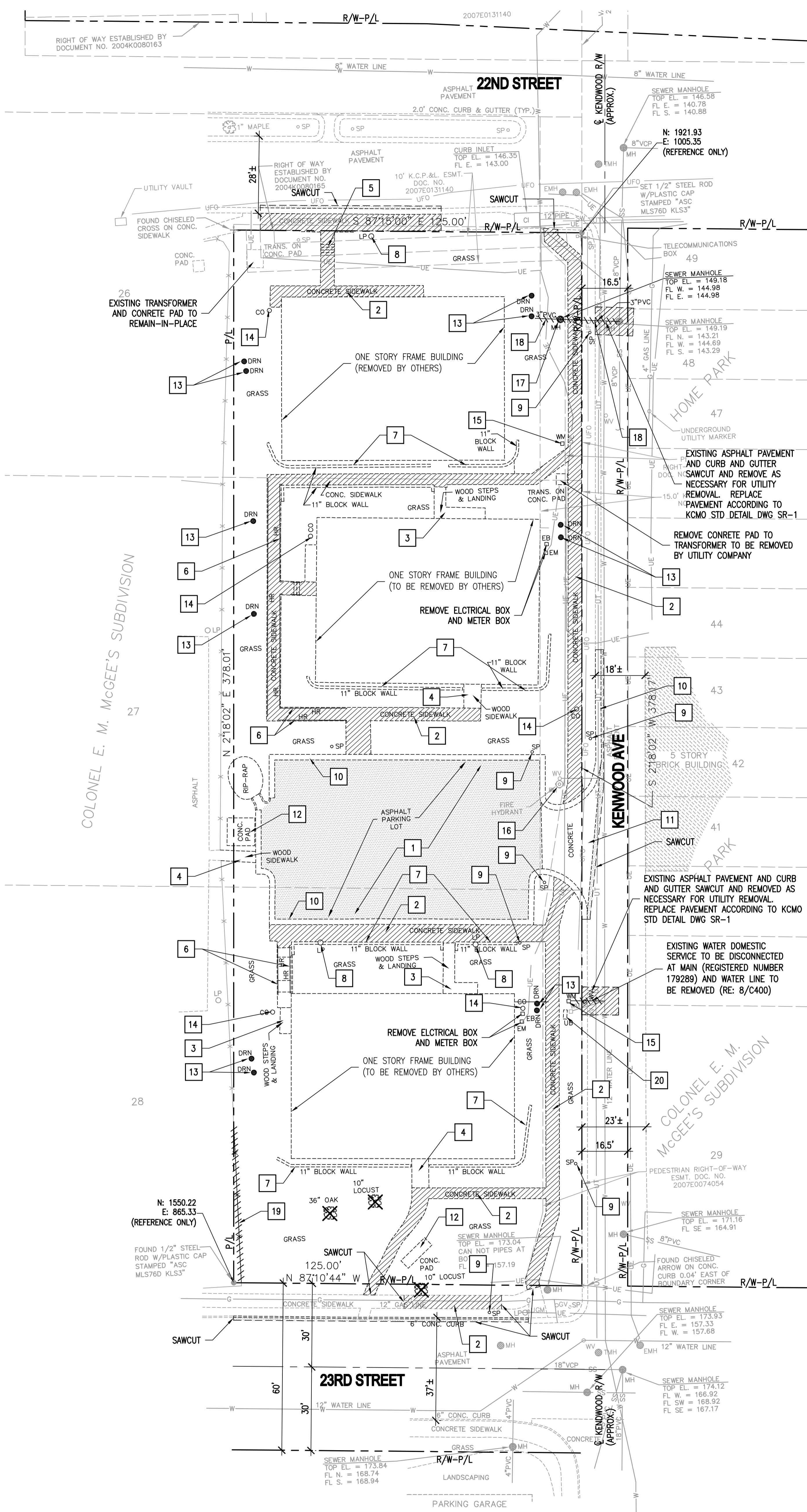


KEYPLAN
PLAN NORTH

MARK	DATE	DESCRIPTION

SUMMARY OF INFO. & LANDSCAPE/ LIGHTING PLAN

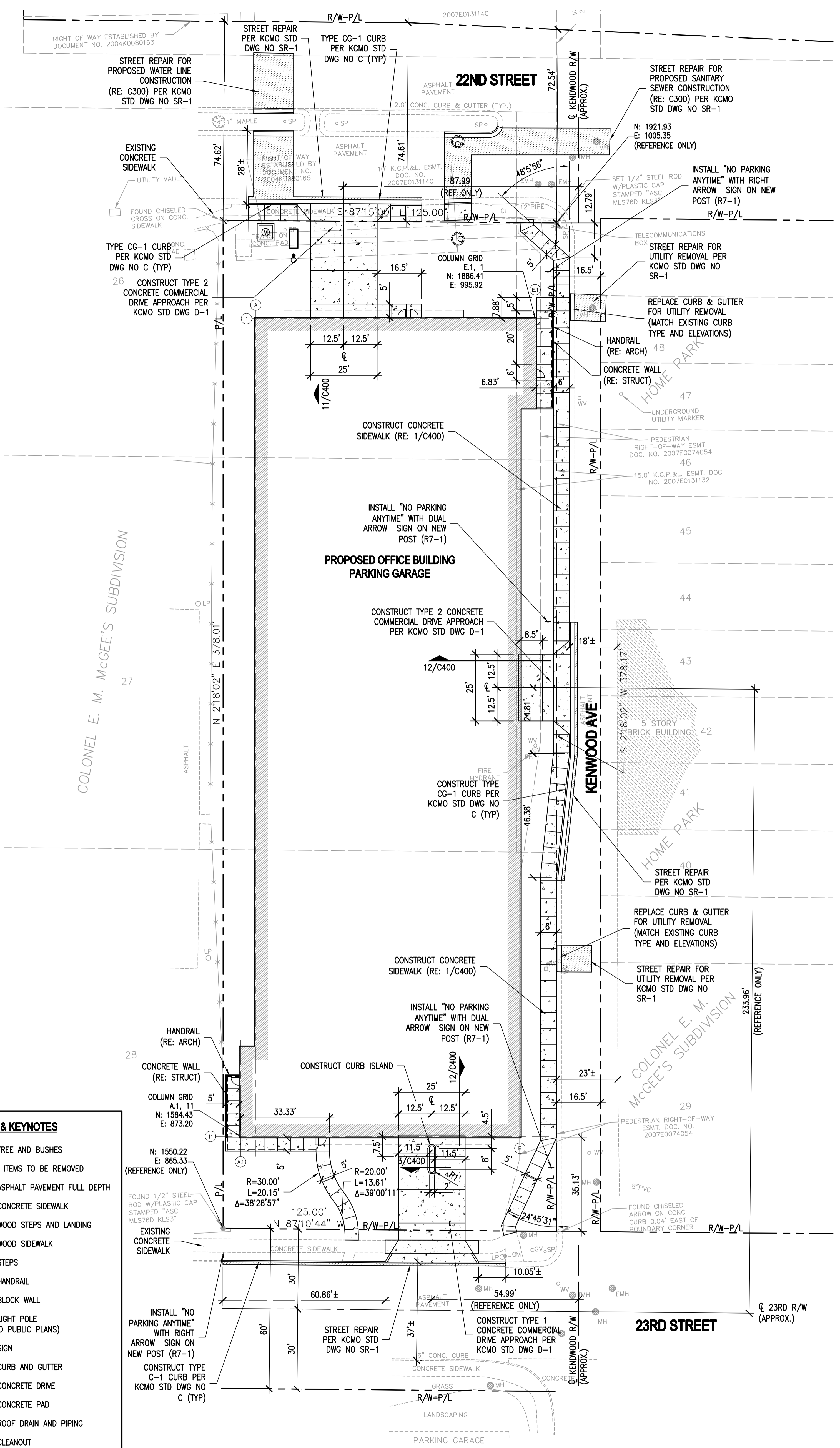
PROJECT NO.	17860016	CLIENT NO.	1786
DATE	27 APRIL 2015		
CHECKED			
DRAWN			
APPROVED			



1 DEMOLITION PLAN
 SCALE: 1" = 20'

DEMOLITION LEGEND & KEYNOTES

	REMOVE TREE AND BUSHES
	INDICATES ITEMS TO BE REMOVED
	REMOVE ASPHALT PAVEMENT FULL DEPTH
	REMOVE CONCRETE SIDEWALK
	REMOVE WOOD STEPS AND LANDING
	REMOVE WOOD SIDEWALK
	REMOVE STEPS
	REMOVE HANDRAIL
	REMOVE BLOCK WALL
	REMOVE LIGHT POLE (REFER TO PUBLIC PLANS)
	REMOVE SIGN
	REMOVE CURB AND GUTTER
	REMOVE CONCRETE DRIVE
	REMOVE CONCRETE PAD
	REMOVE ROOF DRAIN AND PIPING
	REMOVE CLEANOUT
	REMOVE WATER METER
	PROTECT FIRE HYDRANT
	REMOVE SANITARY SEWER MANHOLE
	REMOVE SANITARY SEWER LINE
	REMOVE FENCE
	REMOVE BACKFLOW PREVENTOR AND VALVE



2 SITE LAYOUT PLAN
 SCALE: 1" = 20'

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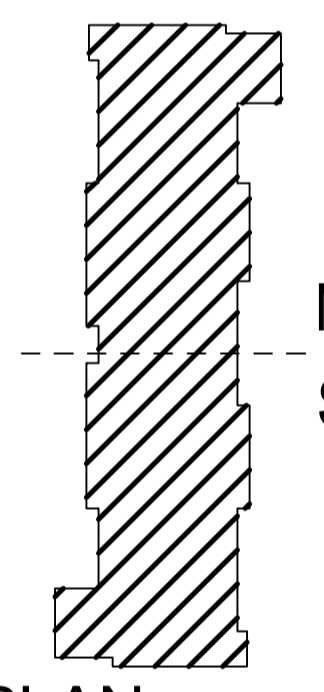
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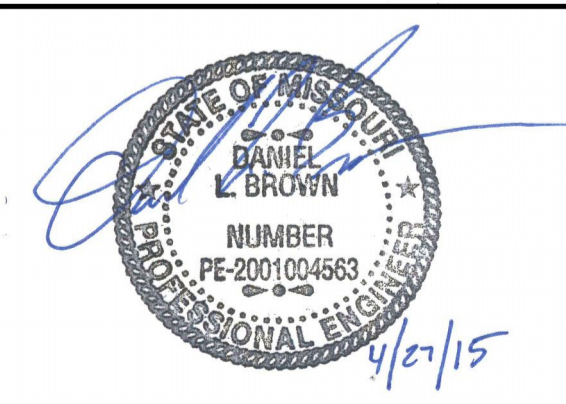
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CONSTRUCTION DOCUMENTS



KEYPLAN

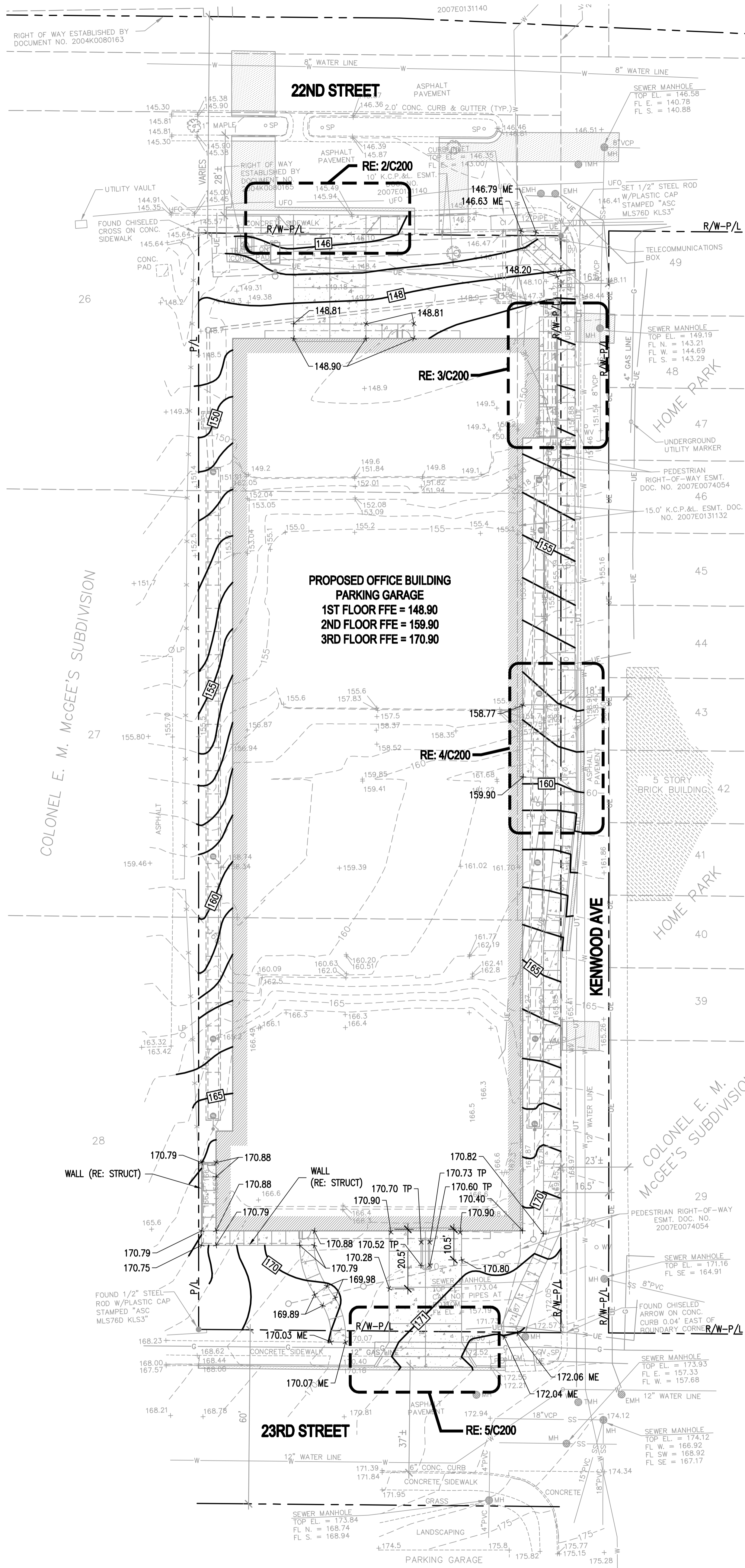
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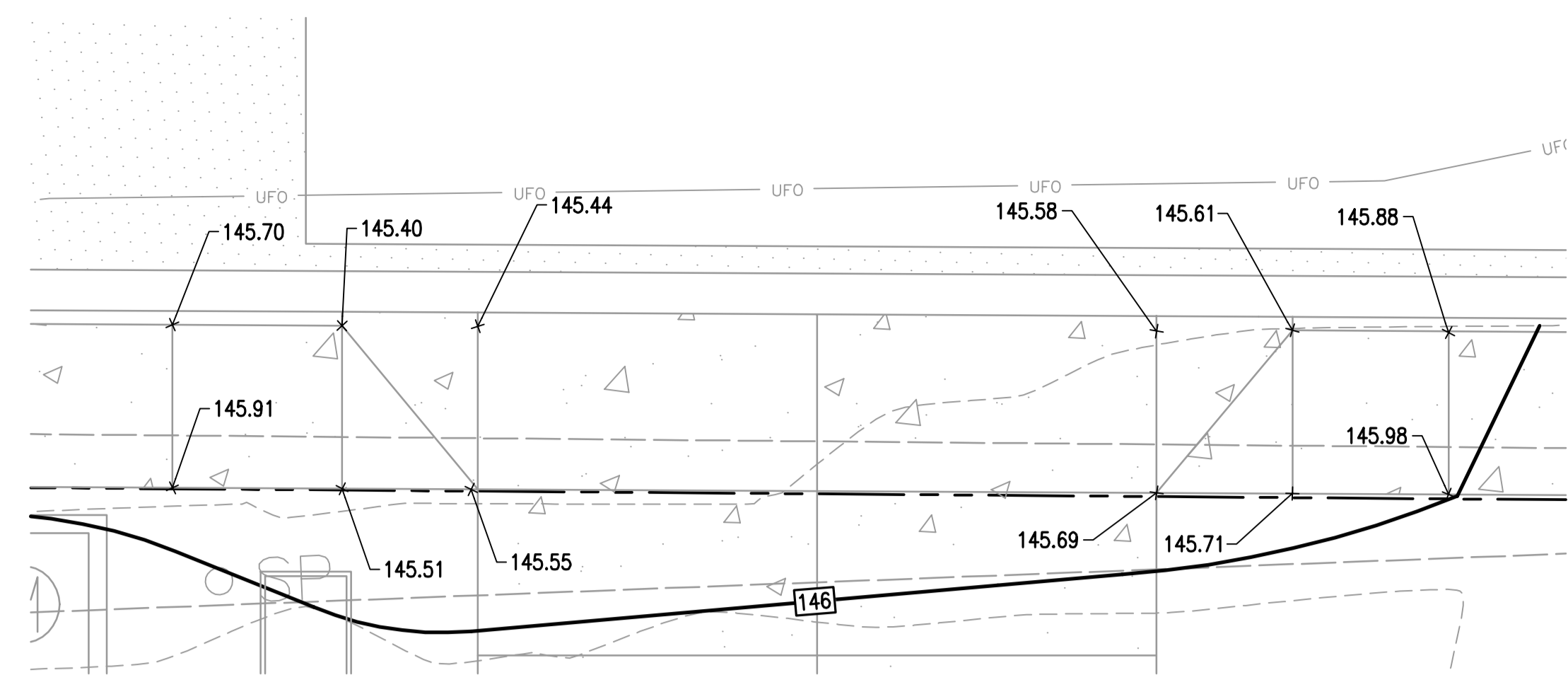
DEMOLITION & SITE LAYOUT PLAN

PROJECT NO. 17860016 CLIENT NO. 1786
 DATE 27 APRIL 2015
 DRAWN KWB/CAS
 APPROVED DLB

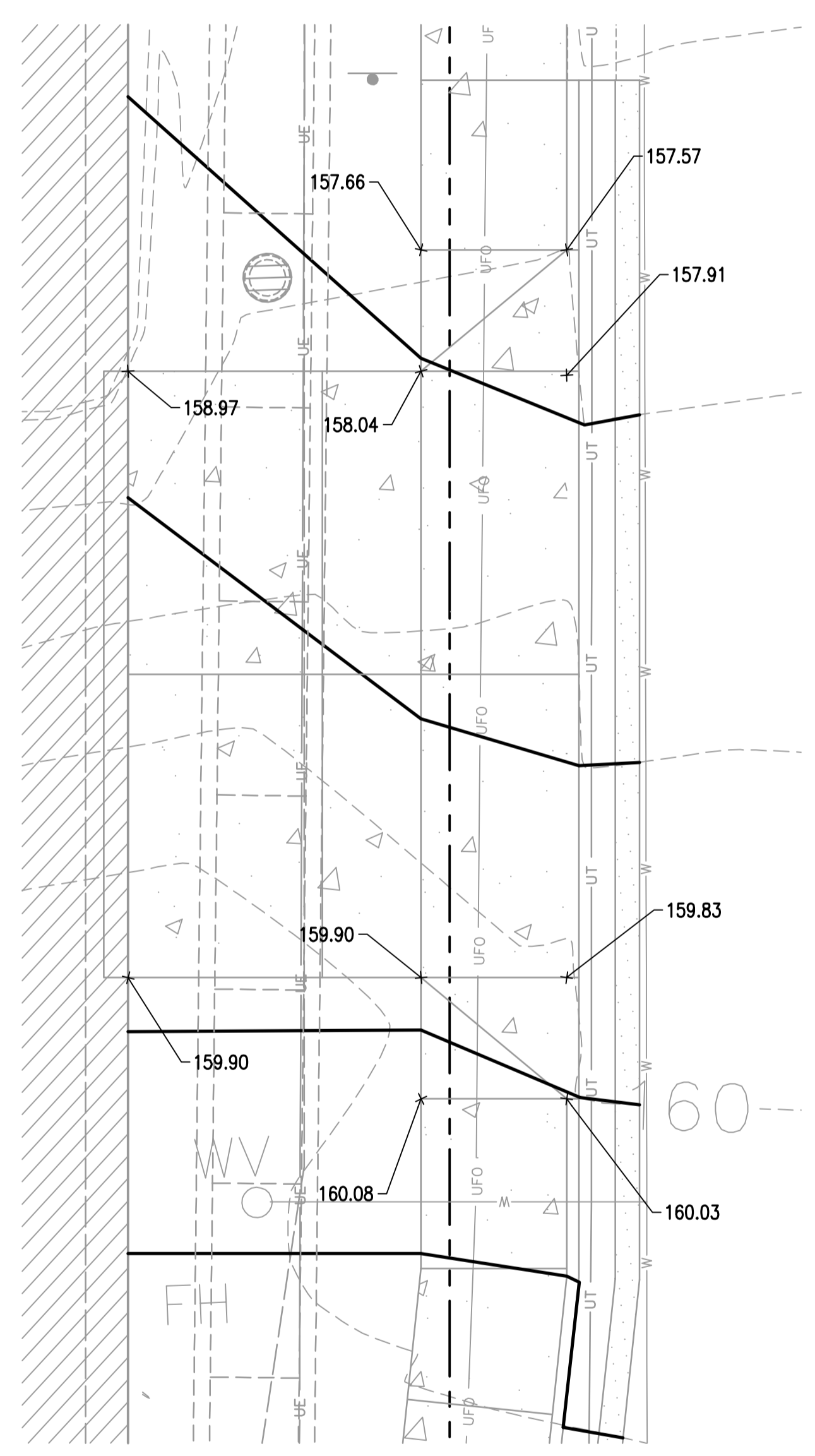
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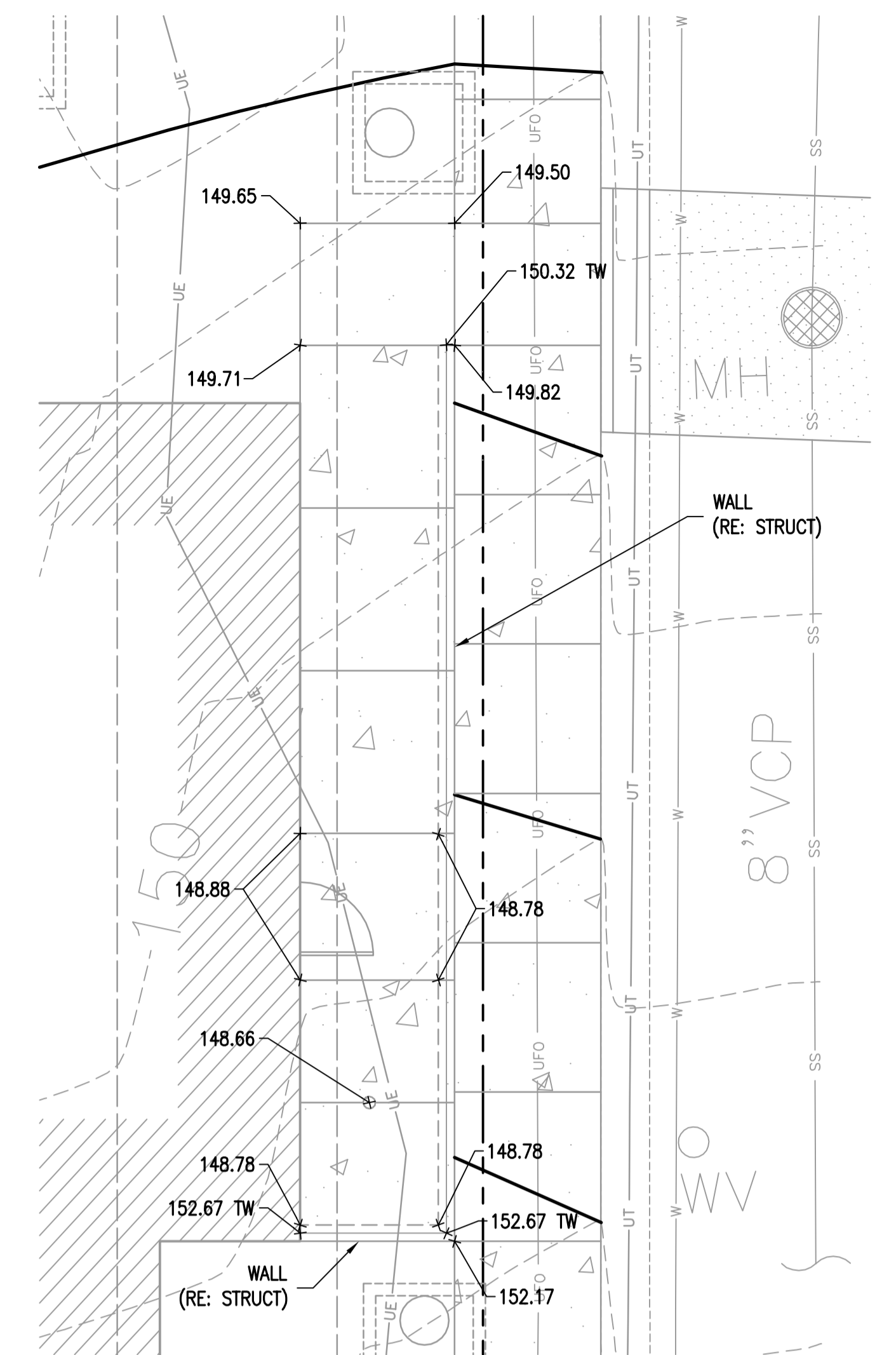
1 GRADING PLAN
 SCALE: 1" = 20'



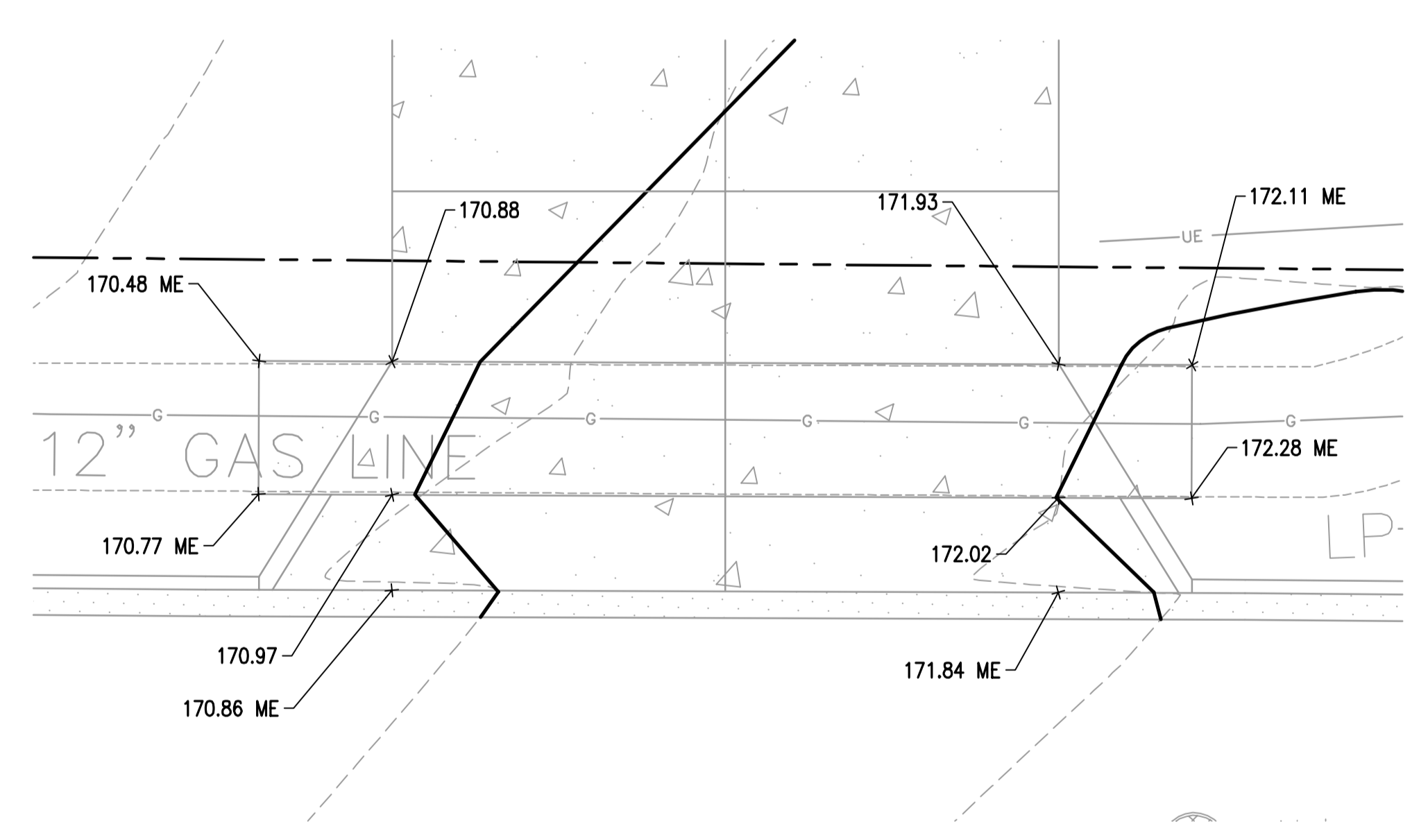
2 ENLARGED GRADING PLAN
 SCALE: 1" = 5'



4 ENLARGED GRADING PLAN
 SCALE: 1" = 5'



3 ENLARGED GRADING PLAN
 SCALE: 1" = 5'



5 ENLARGED GRADING PLAN
 SCALE: 1" = 5'

GRADING LEGEND

- XXX.XX TC - TOP OF CURB ELEVATION
- XXX.XX - SPOT ELEVATION
- XXX.XX LP - LIP OF CURB ELEVATION
- XXX.XX G - GUTTER ELEVATION
- XXX.XX ME - MATCH EXISTING ELEVATION
- XXX.XX TW - TOP OF WALL ELEVATION
- XXX.XX BW - BOTTOM OF WALL ELEVATION
- XXX.XX HP - HIGH POINT
- XXX - PROPOSED CONTOUR
- --- - EXISTING CONTOUR

BENCHMARK:
 CHISELED "+" AT THE SOUTH LINE OF 23RD STREET AT THE CENTERLINE OF VACATED KENWOOD AVENUE.
 ELEVATION = 174.72 (KCMO DATUM)

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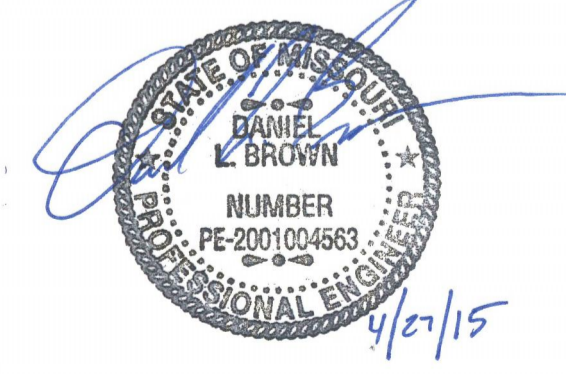
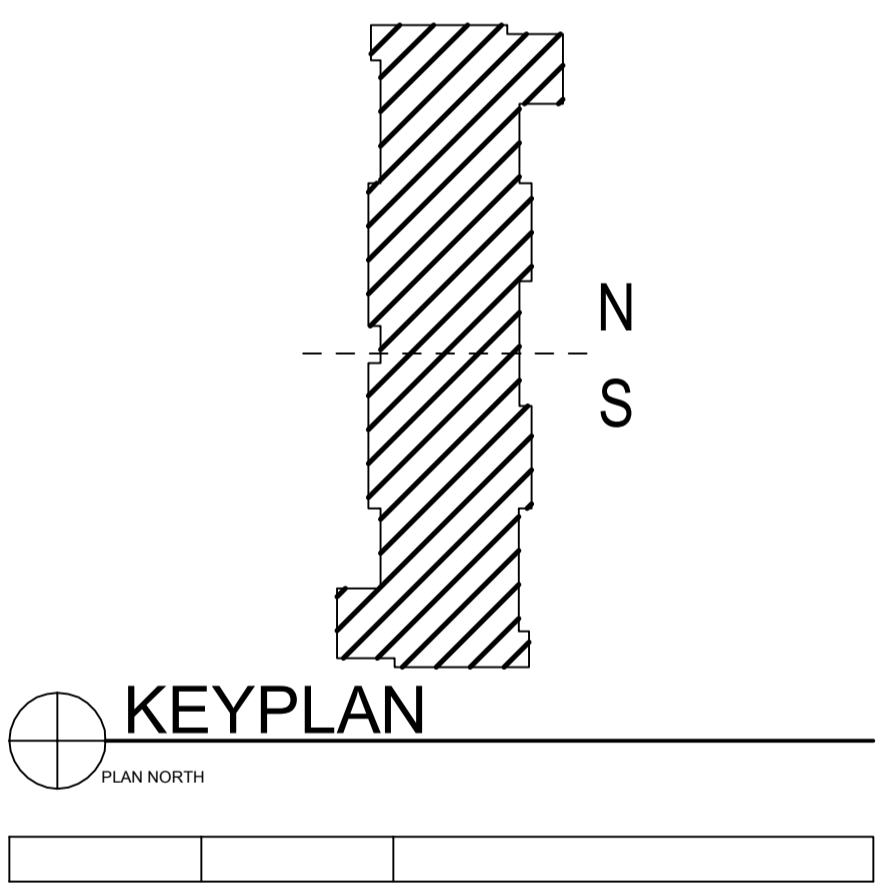
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Children's Mercy
 KANSAS CITY
 2240 KENWOOD AVENUE KANSAS CITY, MO 64108
OFFICE BUILDING
 17860016

CONSTRUCTION DOCUMENTS



Daniel L. Brown, Professional Engineer
 License # PE-2001004563

GRADING PLAN

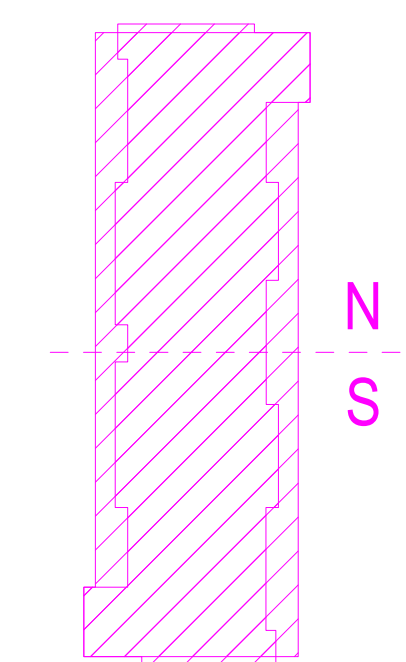
PROJECT NO. 17860016 CLIENT NO. 1786

DATE 27 APRIL 2015

COORD. KWR
 DRAWN. KWB/CAB
 APPROVED. DLB

C200

CONSTRUCTION DOCUMENTS



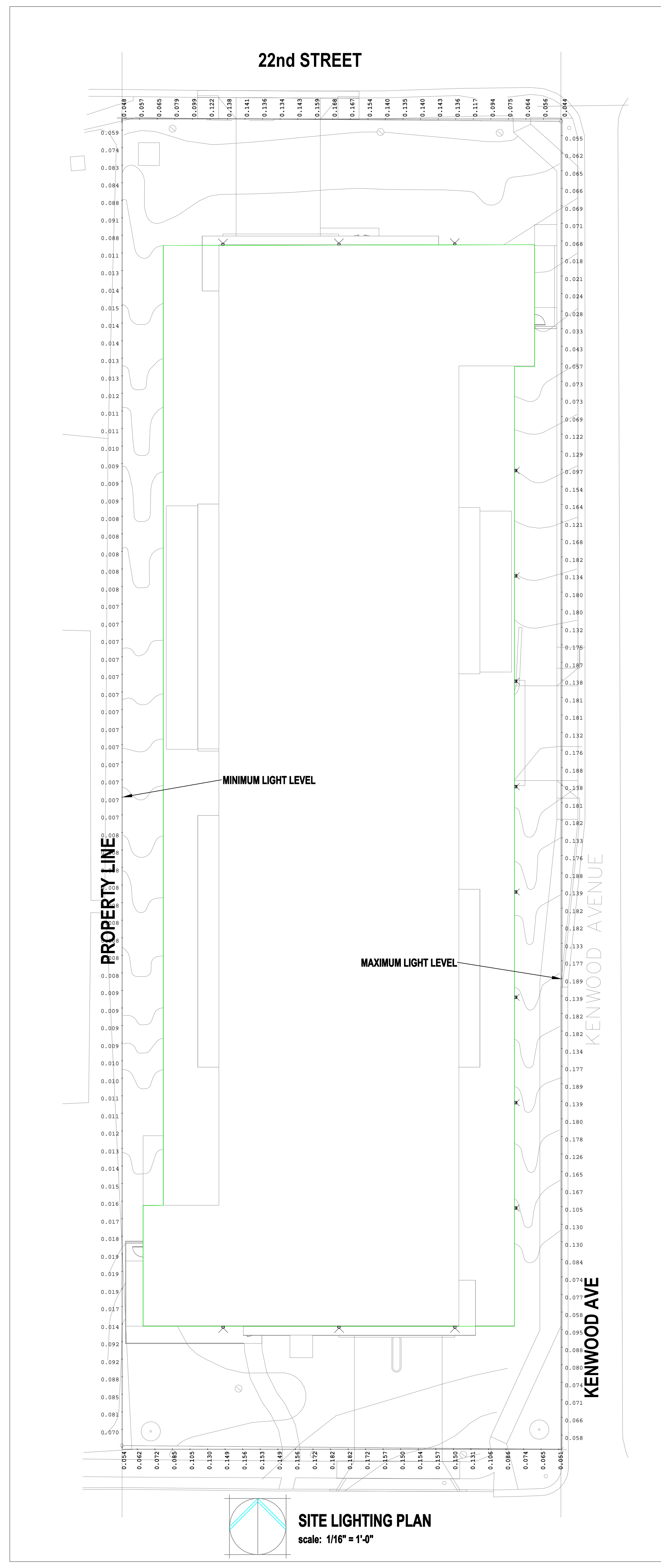
KEYPLAN
PLAN NORTH

MARK	DATE	DESCRIPTION

SITE LIGHTING PLAN

PROJECT NO.	17860016	CLIENT NO.	1786
DATE	27 APRIL 2015		
COORD	DAK		
DRAWN	CSB		
APPROVED			
BRACK NO.	823-000-140		

ME8



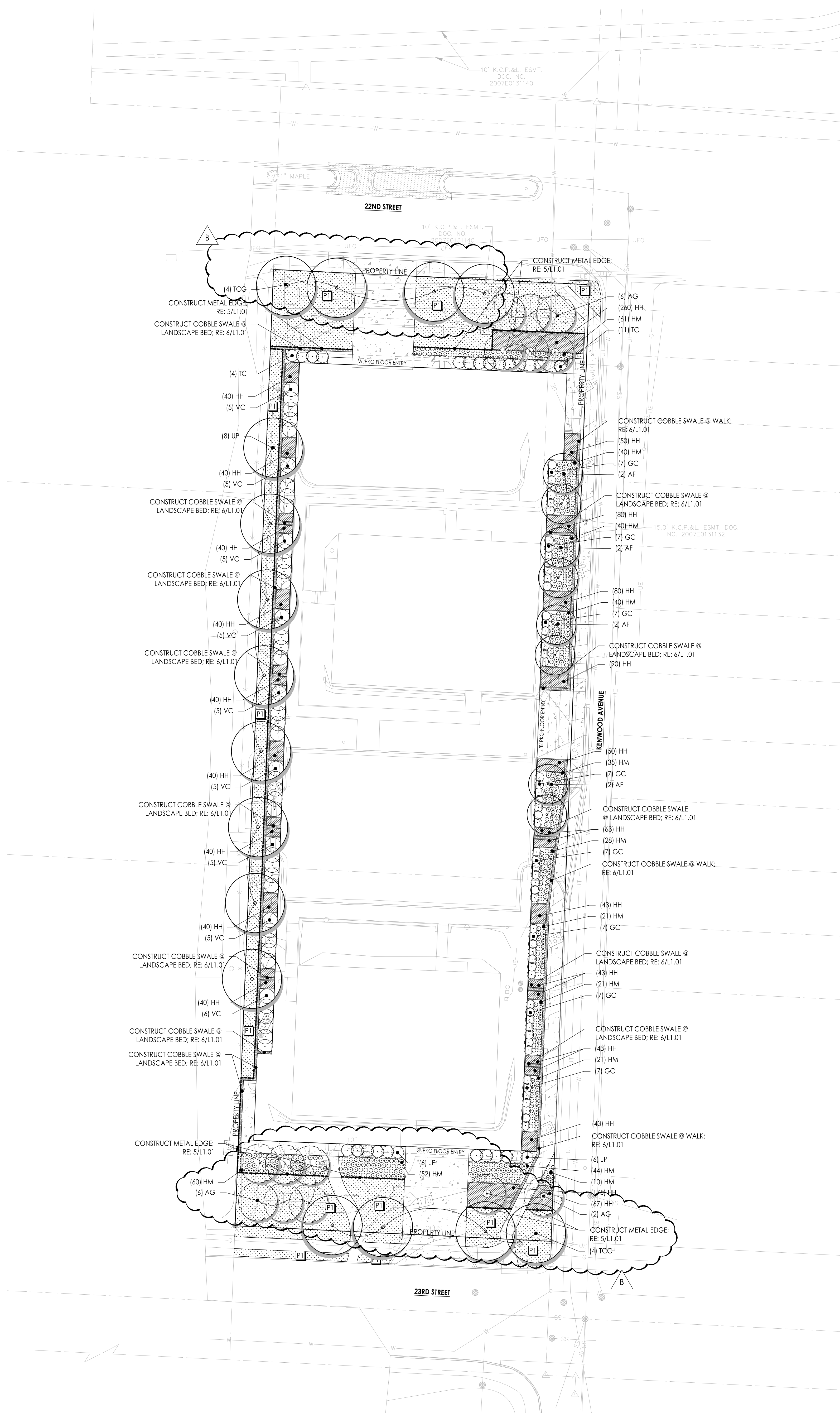
NOTES:

- LIGHTING LEVELS ARE BASED ON BUILDING MOUNTED LIGHT FIXTURES WITH A HEIGHT OF 9'-0" A.F.G. EXISTING PUBLIC LIGHTING WAS NOT TAKEN INTO ACCOUNT.
- LIGHT FIXTURES ON THE EAST WALL OF THE BUILDING ARE BASED ON TYPE F CREE MODEL SEC-EDG-2S-WM-02-E-UL-BZ-350-40K.
- LIGHT FIXTURES ON THE NORTH AND SOUTH WALLS OF THE BUILDING ARE BASED ON TYPE F1 CREE MODEL SEC-EDG-4M-WM-02-E-UL-BZ-350-40K.
- BASED ON THE PHOTOMETRIC ANALYSIS THE FOLLOWING APPLY TO THE PROPOSED BUILDING PROPERTY LINE:

LIGHTING LEVELS
MAXIMUM = 0.189 FC
MINIMUM = 0.027 FC
MAX / MIN RATIO = 27

SITE LIGHTING PLAN
scale: 1/16" = 1'-0"

- KCMO PLANTING REQUIREMENTS**
- 88-425-03-C STREET TREES (WITHIN 10' OF PROPERTY LINE): 1 TREE / 30 LF
 - 22ND STREET (757 LF)
 - REQUIRED: 4
 - PROVIDED: 4
 - 23RD STREET (354 LF)
 - REQUIRED: 4
 - PROVIDED: 4
 - KENWOOD (742 LF)
 - REQUIRED: 13
 - PROVIDED: 11
- 88-425-04-C GENERAL LANDSCAPING REQUIREMENTS
- 1 TREE / 5,000 SF BUILDING FOOTPRINT: 31,160 SF
 - REQUIRED: 6
 - PROVIDED: 19



SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
•		SHADE TREES	
UP	Allee Elm	<i>Ulmus parvifolia</i> 'Emer'	2.5' cal.
AF	Armstrong Upright Maple	<i>Acer x freemanii</i> 'Armstrong'	2.5' cal.
TCG	Greenspire Littleleaf Linden	<i>Tilia cordata</i> 'Greenspire'	2.5' cal.
⌚		ORNAMENTAL TREES	
AG	Autumn Brilliance Serviceberry - Multi-Stem	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	8' HI Min. Clump
•		EVERGREEN SHRUB	
JP	Sea Green Juniper	<i>Juniperus x pfitzeriana</i> 'Sea Green'	5 gal. @ 48" O.C.
TC	Cultra Hicks Yew	<i>Taxus cuspidata x media</i> 'Cultra'	30" HI Min. @ 48" O.C.
•		DECIDUOUS SHRUB	
GC	Girard Crimson Azalea	<i>Azalea</i> 'Girard Crimson'	5 gal. @ 36" O.C.
VC	Koreanpice Viburnum	<i>Viburnum carlesii</i>	5 gal. @ 48" O.C.
○○○○○○		PERENNIALS & GROUNDCOVERS	
HM	Hosta Mix	20% Hosta var. 'Frances Williams' 30% Hosta var. 'Frances' 10% Hosta var. 'Sum & Substance' 10% Hosta var. 'Royal Standard' 30% Hosta var. 'Hacynen'	1 gal. @ 24" o.c.
HH	English Ivy	<i>Hedera Helix</i>	1 gal @ 12" o.c.
■		TURFGRASS	
■		TURFGRASS SOD	RE: 22900/LANDSCAPE

- GENERAL NOTES**
- ALL SITE AND UTILITY INFORMATION SHOWN IS BASED UPON INFORMATION AVAILABLE AT THE TIME OF DESIGN. VERIFY ALL SITE CONDITIONS, ELEVATIONS, UTILITY LOCATIONS AND DIMENSIONS INCLUDING NEW IMPROVEMENTS PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE "MISSOURI ONE CALL" SYSTEM (1.800.344.7433) AND BY EXCAVATING TEST PITS IF NECESSARY.
 - CONTRACTOR SHALL PROTECT ALL SITE IMPROVEMENTS AND UTILITIES. DAMAGE OCCURRING DURING AND AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT NO INCREASE IN CONTRACT PRICE.
 - ALL DIMENSIONS SHOWN ARE REPRESENTED USING U.S. SURVEY DIMENSION STANDARDS.

- LANDSCAPE NOTES**
- LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS AND SECTIONS OF THE SPECIFICATIONS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY CONTOURS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK.
 - LOCATIONS OF ALL PLANT MATERIALS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
 - ALL PLANTS OF THE SAME SPECIES SHALL BE OBTAINED FROM A SINGLE NURSERY SOURCE.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF PLANT MATERIALS AND IMPROVEMENTS SHOWN.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SEED AND RESTORE ALL DISTURBED AREAS BACK TO ORIGINAL OR FINISH GRADE ELEVATIONS, INCLUDING EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES.
 - PLANT TREES AFTER FINAL GRADES ARE ESTABLISHED AND PRIOR TO PLANTING OF ALL OTHER PLANTS.
 - ALL EXISTING PLANTS SHOWN ON PLAN ARE IN APPROXIMATE LOCATIONS. ADJUST NEW PLANTING BED AND TREE LOCATIONS TO AVOID CONFLICT WITH EXISTING PLANTINGS. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT ON ANY NECESSARY ADJUSTMENTS.
 - ALL EXCESS MATERIALS RESULTING FROM LANDSCAPE WORK SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE LANDSCAPE CONTRACTOR.
 - THE LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT INJURY TO ALL PLANT MATERIAL DURING DIGGING, HANDLING, PLANTING AND MAINTENANCE OPERATIONS.
 - THE LANDSCAPE CONTRACTOR SHALL SUBMIT DETAILED MAINTENANCE INSTRUCTIONS FOR ALL PLANT MATERIAL TO THE OWNER AND TO THE OWNER'S REPRESENTATIVE AT THE TIME OF SUBSTANTIAL INSTALLATION COMPLETION.
 - CONTRACTOR SHALL NOTIFY OWNER'S REP OF ANY DISCREPANCY WITH EXISTING CONDITIONS OF LANDSCAPE PLANS/DETAILS BEFORE INSTALLATION.
 - ROUGH GRADING NOT WITHIN CONTRACT (BY OTHERS).

BSA LifeStructures™

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STATE OF MISSOURI
JOSH FIELD
LANDSCAPE ARCHITECT

MA □□ DA E DES □□ P □□ N
B 5.14.015 ADDENDUM 005

1 PLANTING PLAN
1"=20'-0"

SCALE: 1"=20'

1100 WEST CAMPBELL DRIVE, SUITE 05
KANSAS CITY, MO 64108
PHONE: 913.371.7933
WWW.LAND3STUDIO.COM

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PROJECT NO. 17860016 CLIENT NO. 1786

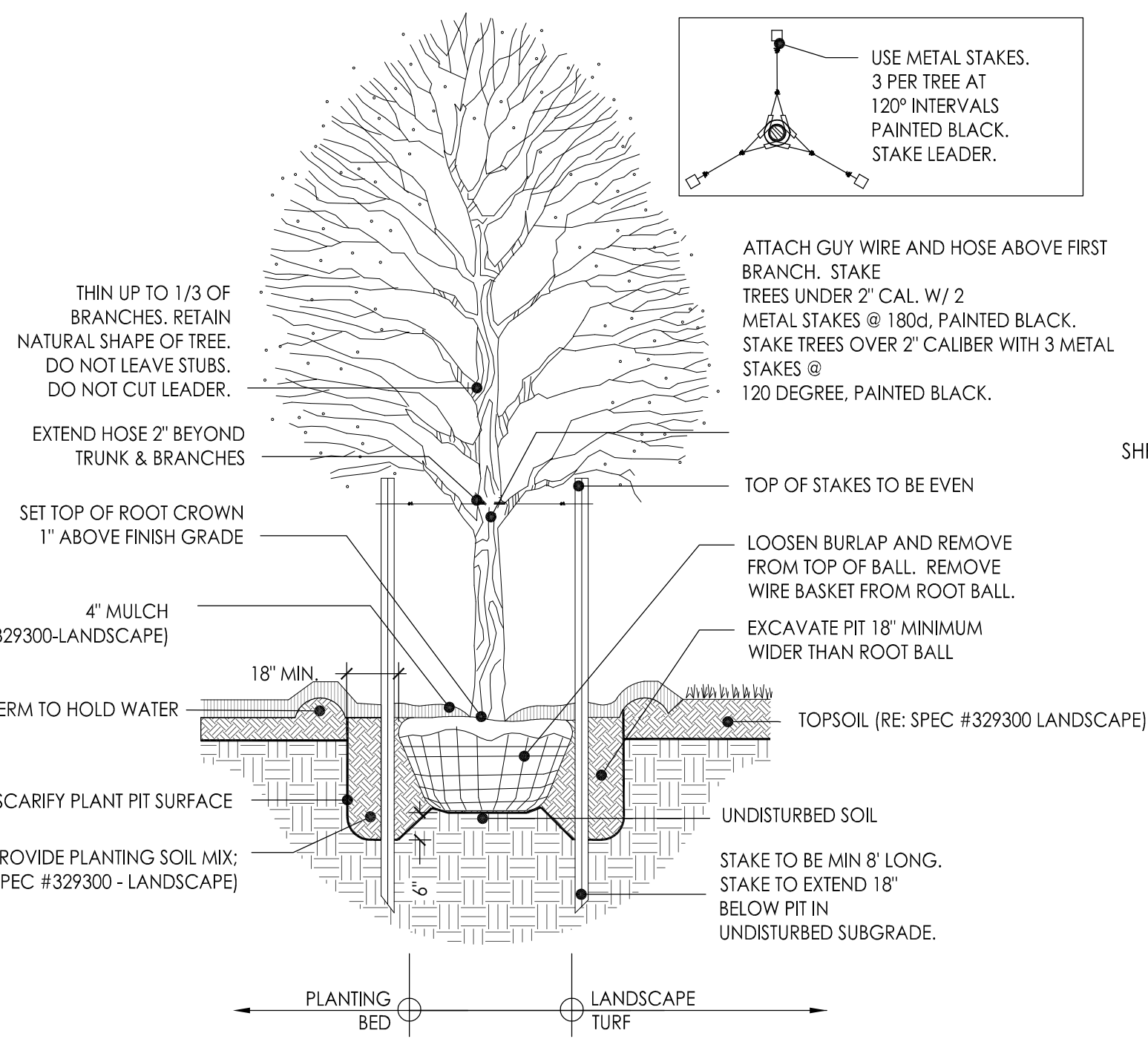
DATE 24 APRIL 2015

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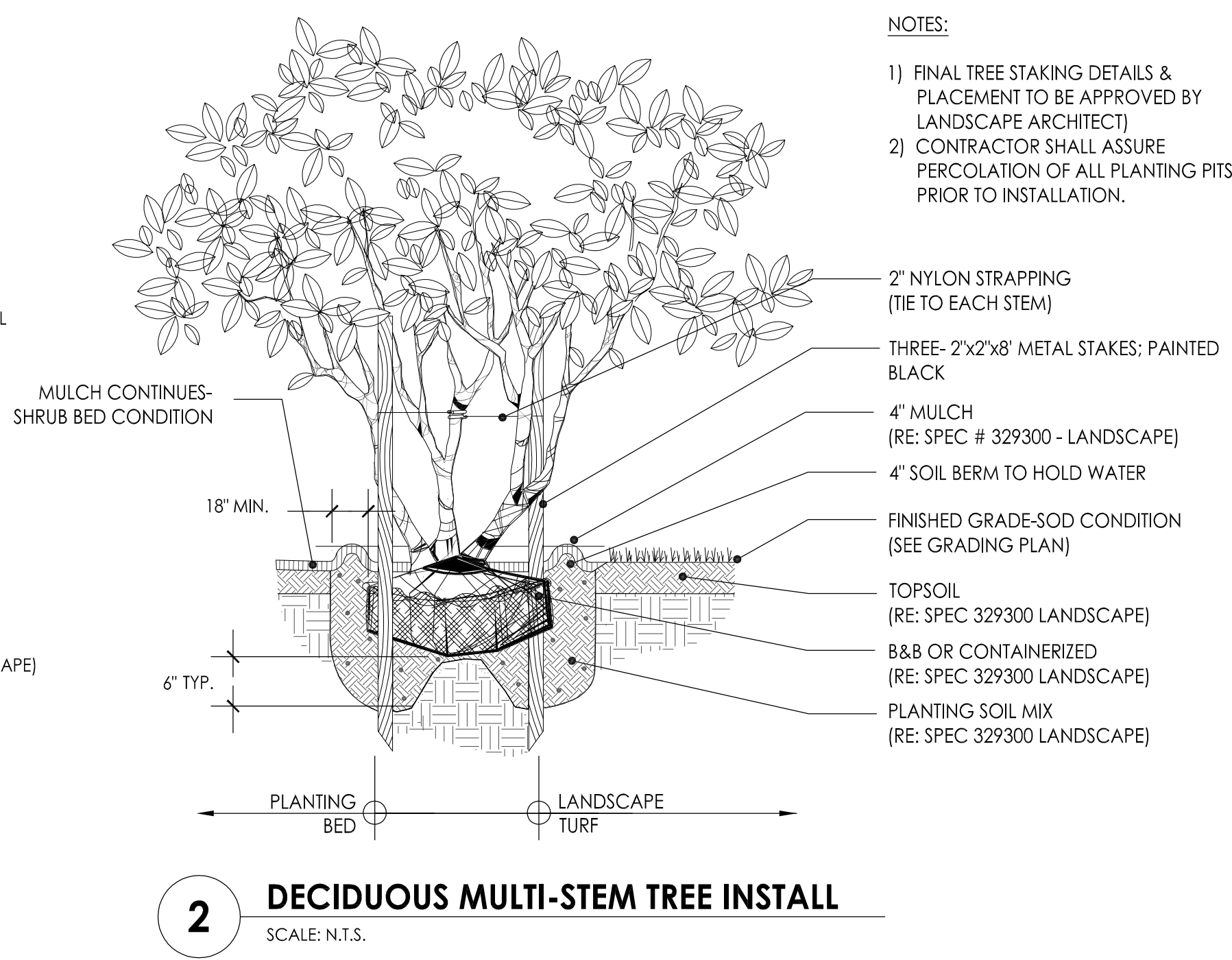
APPROVED



MARK	DATE	DESCRIPTION
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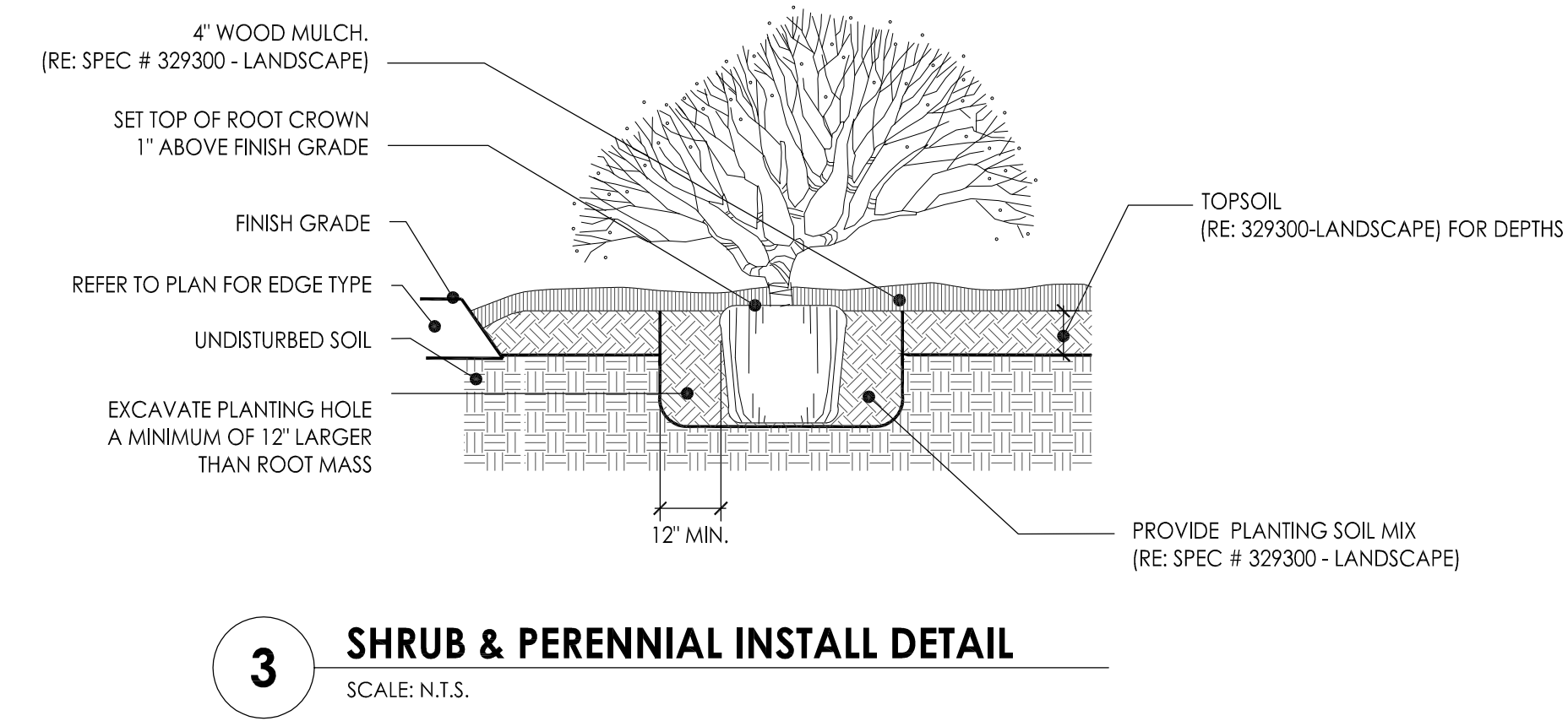
1 DECIDUOUS TREE INSTALL (SINGLE STEM)
SCALE: N.T.S.



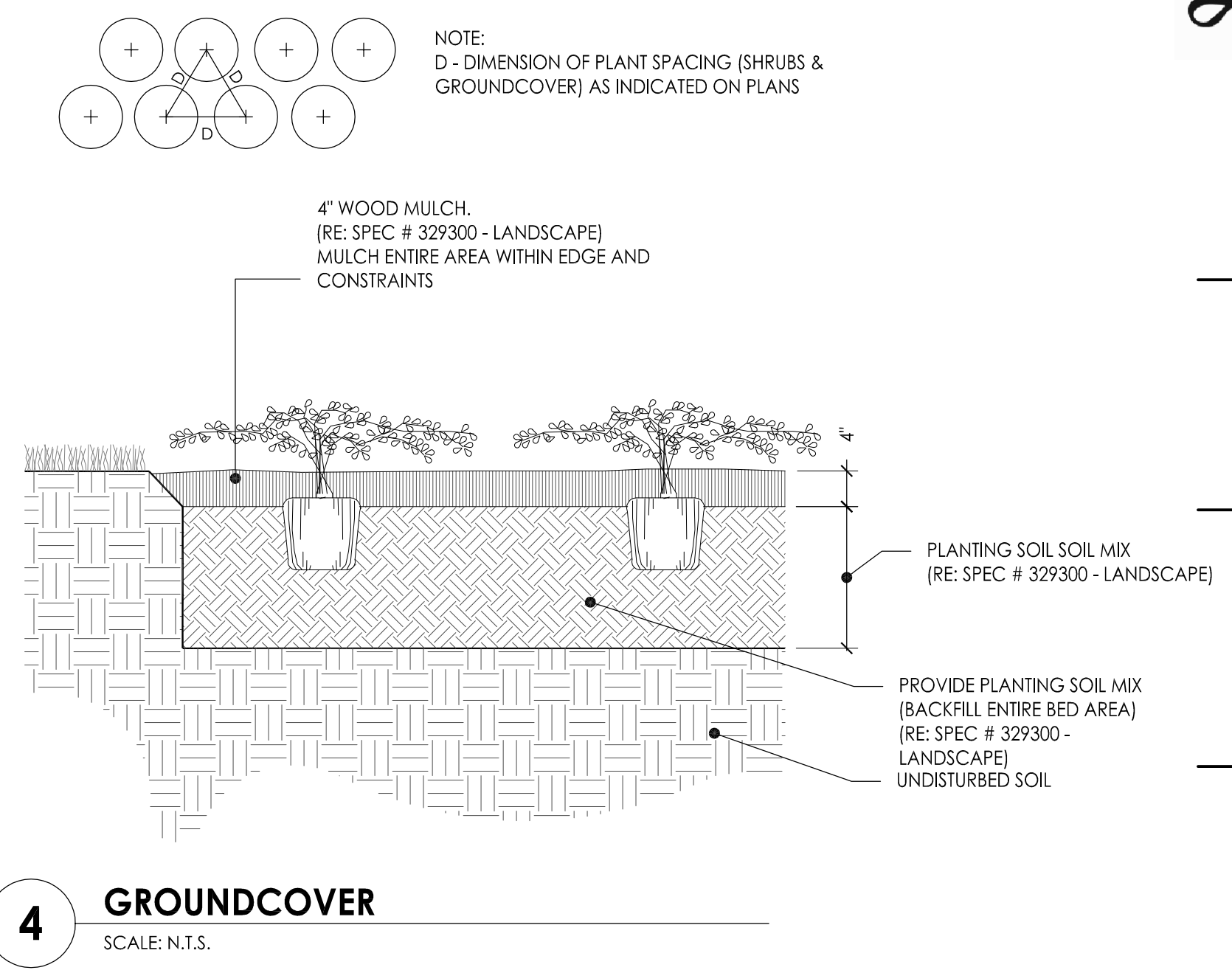
2 DECIDUOUS MULTI-STEM TREE INSTALL
SCALE: N.T.S.

NOTES:

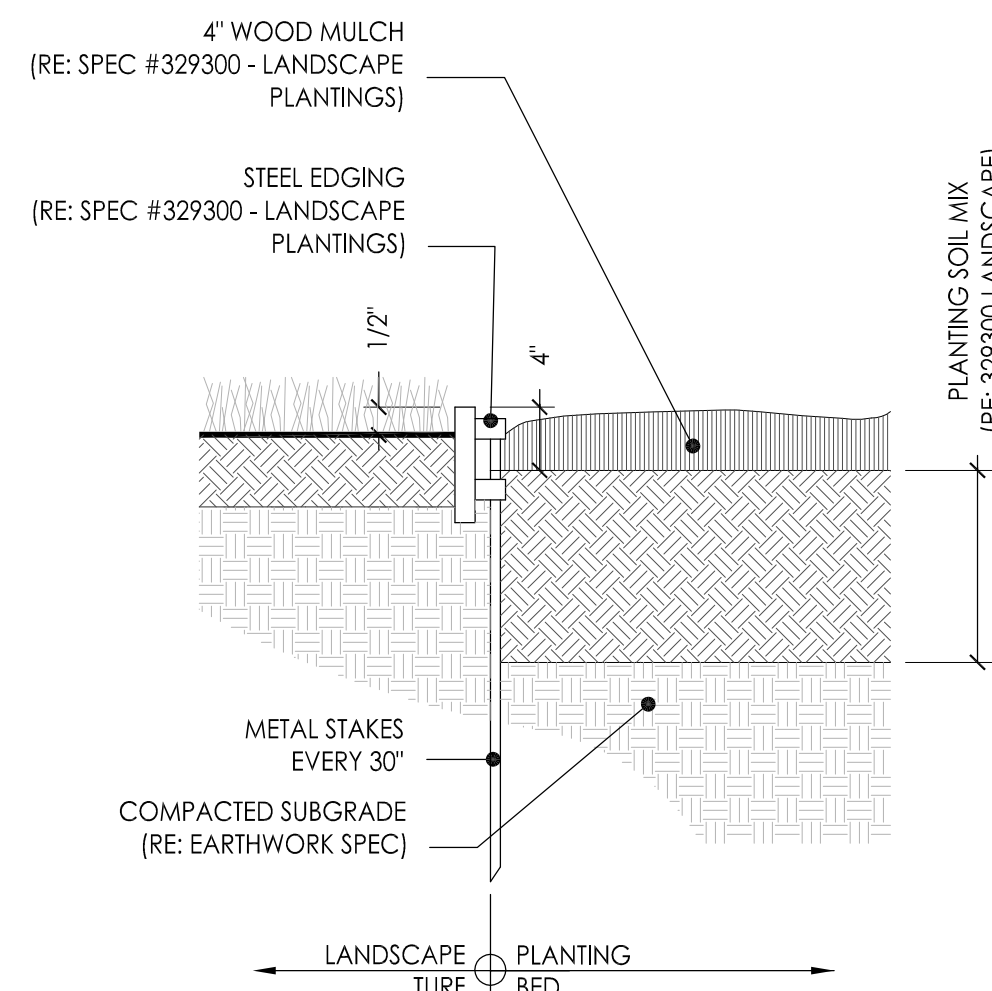
- 1) FINAL TREE STAKING DETAILS & PLACEMENT TO BE APPROVED BY LANDSCAPE ARCHITECT
- 2) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



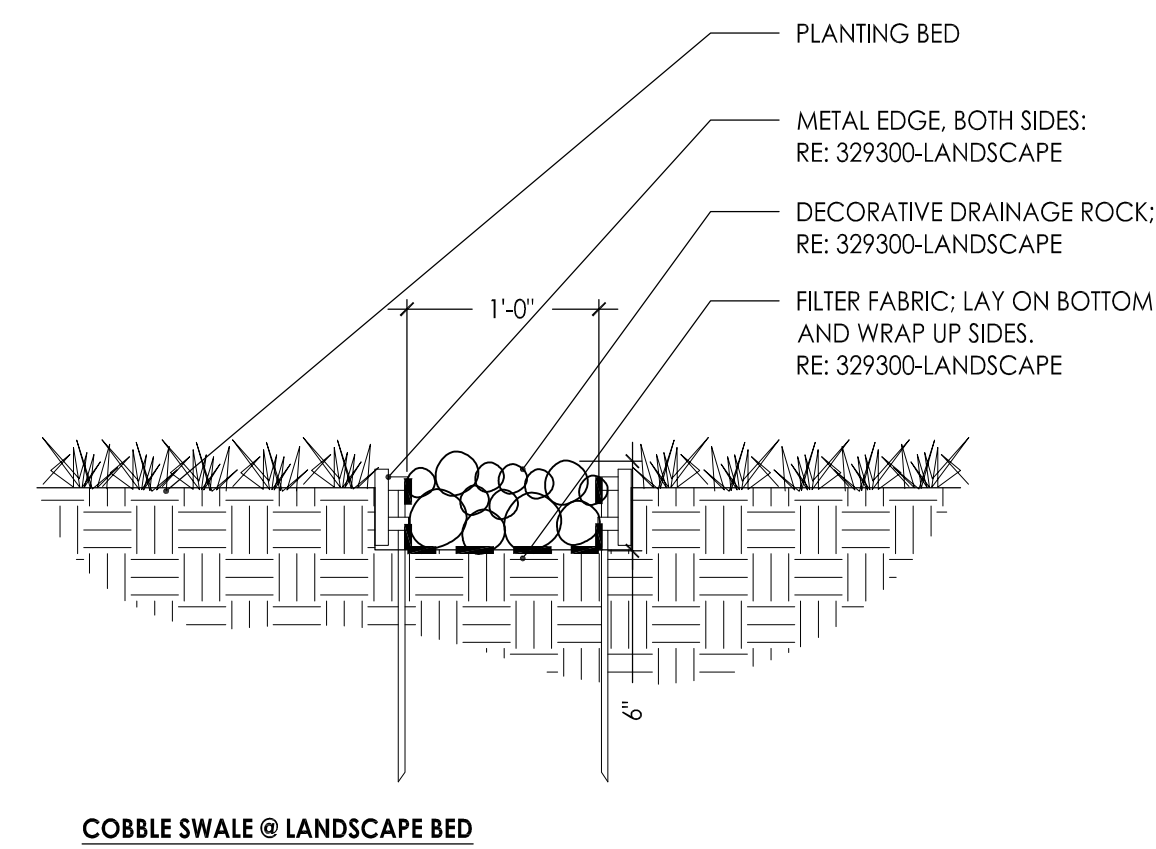
3 SHRUB & PERENNIAL INSTALL DETAIL
SCALE: N.T.S.



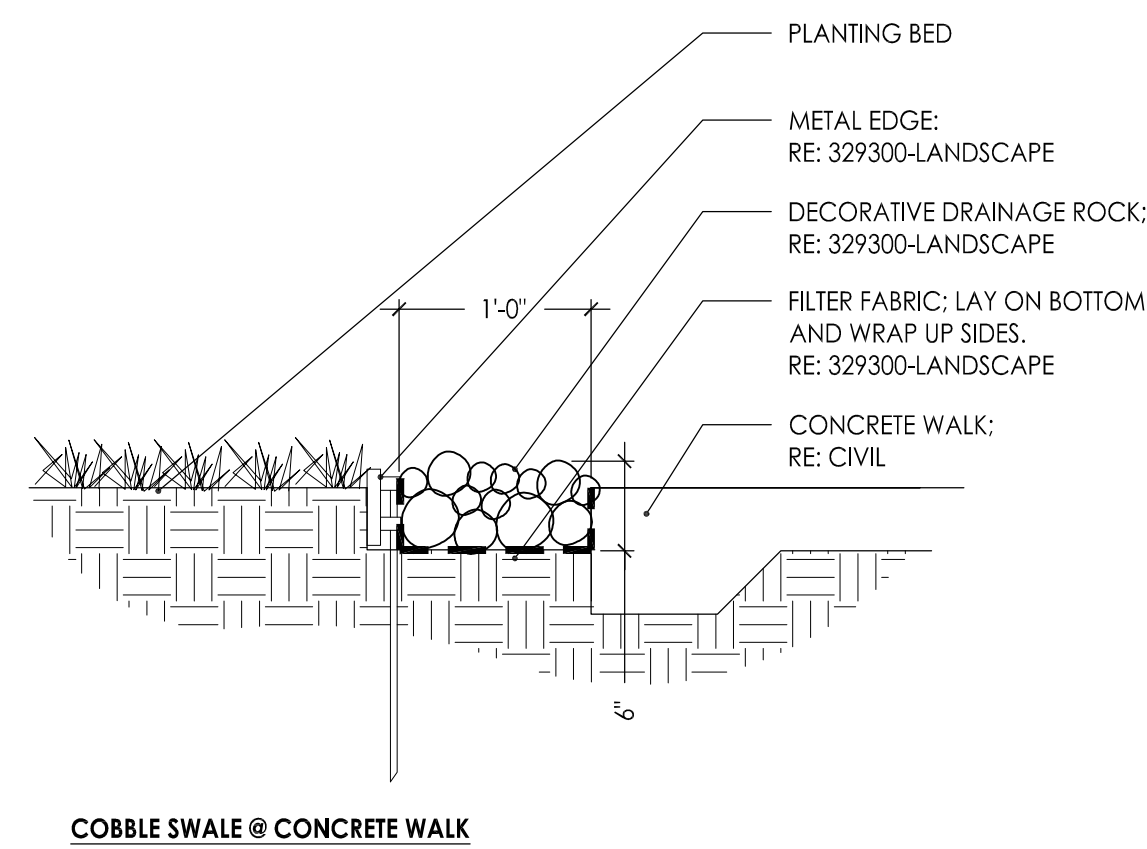
4 GROUNDCOVER
SCALE: N.T.S.



5 METAL EDGING
SCALE: N.T.S.



6 COBBLE SWALE
SCALE: N.T.S.



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