

February 22, 2021

To surrounding neighbors,

A proposed project located at 5701 E 87<sup>th</sup> Street requires a public engagement meeting. The project requires modification to the Existing Urban Redevelopment plan, Foley Industries Inc. approved March 21, 2013.

The project is proposing to amend the Foley Industries, Inc. development plan to provide a building expansion and redesign the future phases of the project. The enclosed Revised Development Plan shows our proposed changes. The remaining property will be platted into one lot as part of the project as it is currently unplatted.

A public engagement meeting will be held via teleconference on March 4, 2021, at 6:00 pm. The purpose of the meeting will be to discuss any concerns about amending the development plan.

If you would like to attend the virtual public engagement meeting, please email Matt Gibbs at [matt.gibbs@ibhc.com](mailto:matt.gibbs@ibhc.com) no later than March 2, 2021 to receive a meeting URL.

Sincerely,



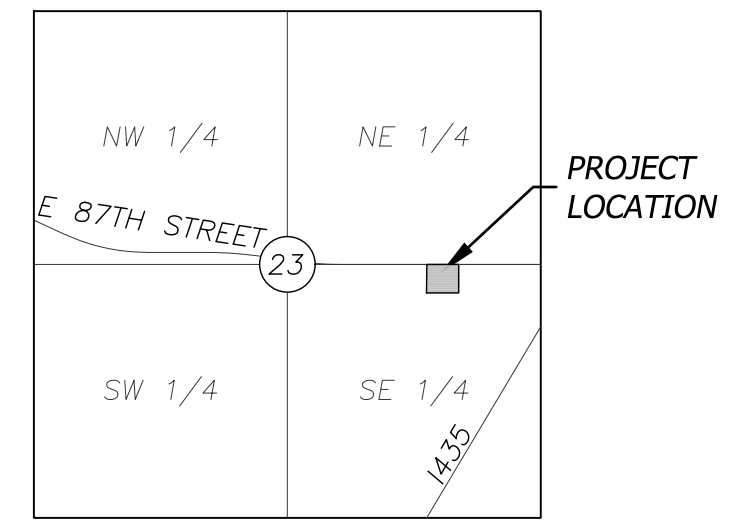
Matthew Gibbs, PE  
Project Engineer  
BHC Rhodes  
7101 College Blvd, Suite 400  
Overland Park, KS 66210

# FOLEY EQUIPMENT

## UR PLAN AMENDMENT/PRELIMINARY DEVELOPMENT PLAN

### KANSAS CITY, MISSOURI

5701 EAST 87TH STREET



**SECTION MAP**  
SECTION 23-T48N-R33W  
JACKSON COUNTY, MISSOURI

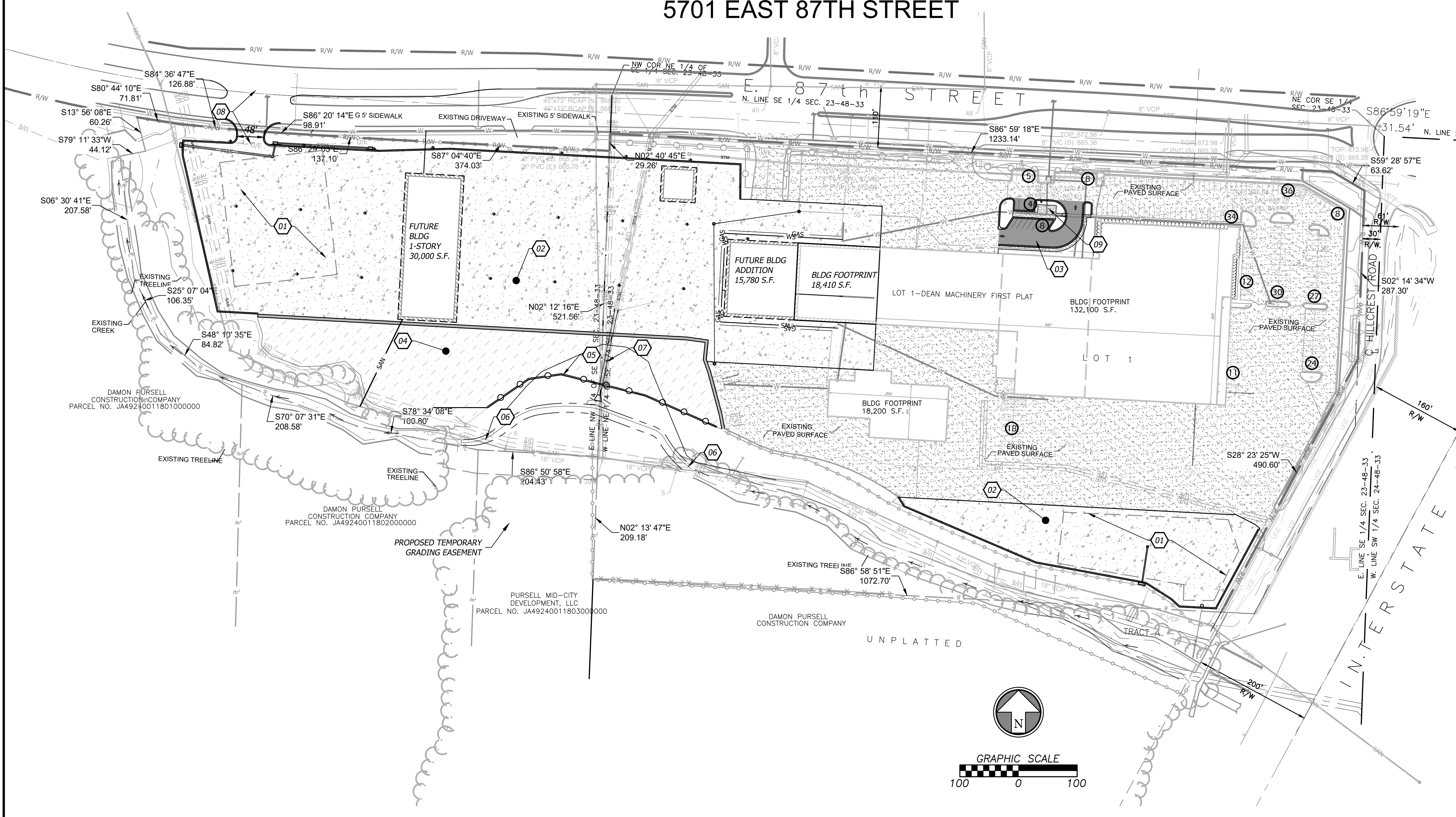
SITE DATA	
EXISTING ZONING:	UR
PROPOSED ZONING:	UR
TOTAL SITE AREA (PER GIS):	30.59 ACRES (1,332,326 SQ FT)
TOTAL EXISTING FLOOR AREA:	183,093 SQ FT
EXISTING 1ST FLOOR AREA:	150,300 SQ FT
EXISTING 2ND FLOOR AREA:	32,793 SQ FT
TOTAL PROPOSED FLOOR AREA:	15,780 SQ FT
TOTAL FLOOR AREA:	198,873 SQ FT
FLOOR AREA RATIO:	0.15
BUILDING HEIGHT:	32.67'
NUMBER OF FLOORS:	2
REQUIRED PARKING (1 PER 4 EMPLOYEES):	100
REQUIRED ACCESSIBLE PARKING:	4
PROVIDED PARKING STALLS:	207
PROVIDED ACCESSIBLE PARKING:	8
REQUIRED LOADING ZONES:	2
PROVIDED LOADING ZONES:	8
BICYCLE PARKING TOTAL (EXPANSION):	3 SHORT : 1 LONG
IMPERVIOUS COVERAGE:	879,978 SQ FT = 66.0%
COMMENCEMENT DATE:	OCTOBER 2020
COMPLETION DATE:	OCTOBER 2022

SITE LEGEND	
	PROPOSED BUILDING
	EXISTING BUILDING
	HEAVY DUTY PCC PAVEMENT
	LIGHT DUTY PCC PAVEMENT
	DUST FREE GRAVEL SURFACE
	PARKING STALL COUNT
	STANDARD CURB & GUTTER
	RETAINING WALL

PROPERTY OWNER	
FOLEY EQUIPMENT, INC SHANE HAM 1550 S WEST STREET WICHITA, KS 67213 P: 816-753-5300 F: 816-200-5409 SLHAM@FOLEYEQ.COM	

ENGINEER OF RECORD	
BHC RHODES MATTHEW GIBBS, P.E. 7101 COLLEGE BLVD. #400 OVERLAND PARK, KS 66210 P: 913-663-1900 F: 913-663-1633 MATT.GIBBS@IBHC.COM	

CONSTRUCTION NOTES	
01	PROPOSED UNDERGROUND DETENTION AREA
02	PROPOSED CONCRETE STORAGE AREA
03	PROPOSED VISITOR PARKING AND DROP-OFF AREA
04	PROPOSED DUST FREE EQUIPMENT STORAGE AREA
05	PROPOSED SMALL BLOCK RETAINING WALL
06	PROPOSED STREAM RE-ALIGNMENT
07	PROPOSED PUBLIC STORM SEWER EXTENSION
08	PROPOSED ADDITIONAL SITE ACCESS AND TURN LANE
09	PROPOSED BICYCLE PARKING



**PROPERTY DESCRIPTION**  
LOT 1, DEAN MACHINERY FIRST PLAT, A SUBDIVISION AS SURVEYED AND PLATTED IN JACKSON COUNTY, MISSOURI.  
"LOT 2" IS A COMBINATION OF 3 UNPLATTED PARCELS.  
KCMO GIS PIN 261204 LEGAL DESCRIPTION: SEC-23 TWP-48 RNG-33---PT SE 1/4 DAF: BEG NW COR SE 1/4 TH E 1120' MOL TH S 94' MOL TO TRU POB TH CONT S 521' MOL TH S 86 DEG 50 MIN 58 SEC E 199' MOL TH N 521' MOL TH W 195' MOL TO TRU POB  
KCMO GIS PIN 261202 LEGAL DESCRIPTION: SEC-23 TWP-48 RNG-33---PT SE 1/4 DAF: BEG NW COR SE 1/4 TH E 707' MOL TH S 105' MOL TO TRU POB TH CONT S 420' MOL TH S 70 DEG 07 MIN 31 SEC E 208.58' TH S 78 DEG 34 MIN 08 SEC E 100.8' TH S 79 DEG 08 MIN 48 SEC E 109.79' TH S 86 DEG 50 MI 58 SEC E 6' MOL TH N 521' MOL TH WLY 344' MOL TH SWLY 65' MOL TO TRU POB  
KCMO GIS PIN 261200 LEGAL DESCRIPTION: SEC-23 TWP-48 RNG-33---PT SE 1/4 DAF: BEG NW COR SE 1/4 TH S 40' MOL TH ELY 276' MOL TH SELY 143' MOL TH SELY 91.5' TH NELY 44' MOL TO TRU POB TH S 06 DEG 30 MIN 41 SEC E 207.58' TH S 25 DEG 07 MIN 04 SEC E 106.35' TH S 48 DEG 10 MIN 35 SEC E 84.82' TH S 68 DEG 15 MIN 19 SEC E 81.91' TH N 420' MOL TH SWLY 226' MOL TO TRU POB

Design:	MGG	Drawn:	MGG
Checked:	LRH	Issue Date:	03/20/2020
Project Number:	028390	Project Number:	028390
<b>FOLEY EQUIPMENT</b> 5701 E 87TH STREET KANSAS CITY, MO 64132 <b>PRELIMINARY COVER SHEET &amp; SITE PLAN</b>			
<b>C0.1</b>			

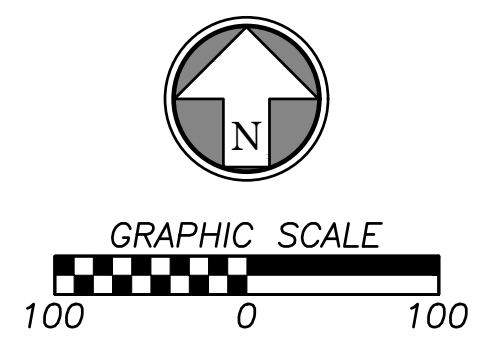
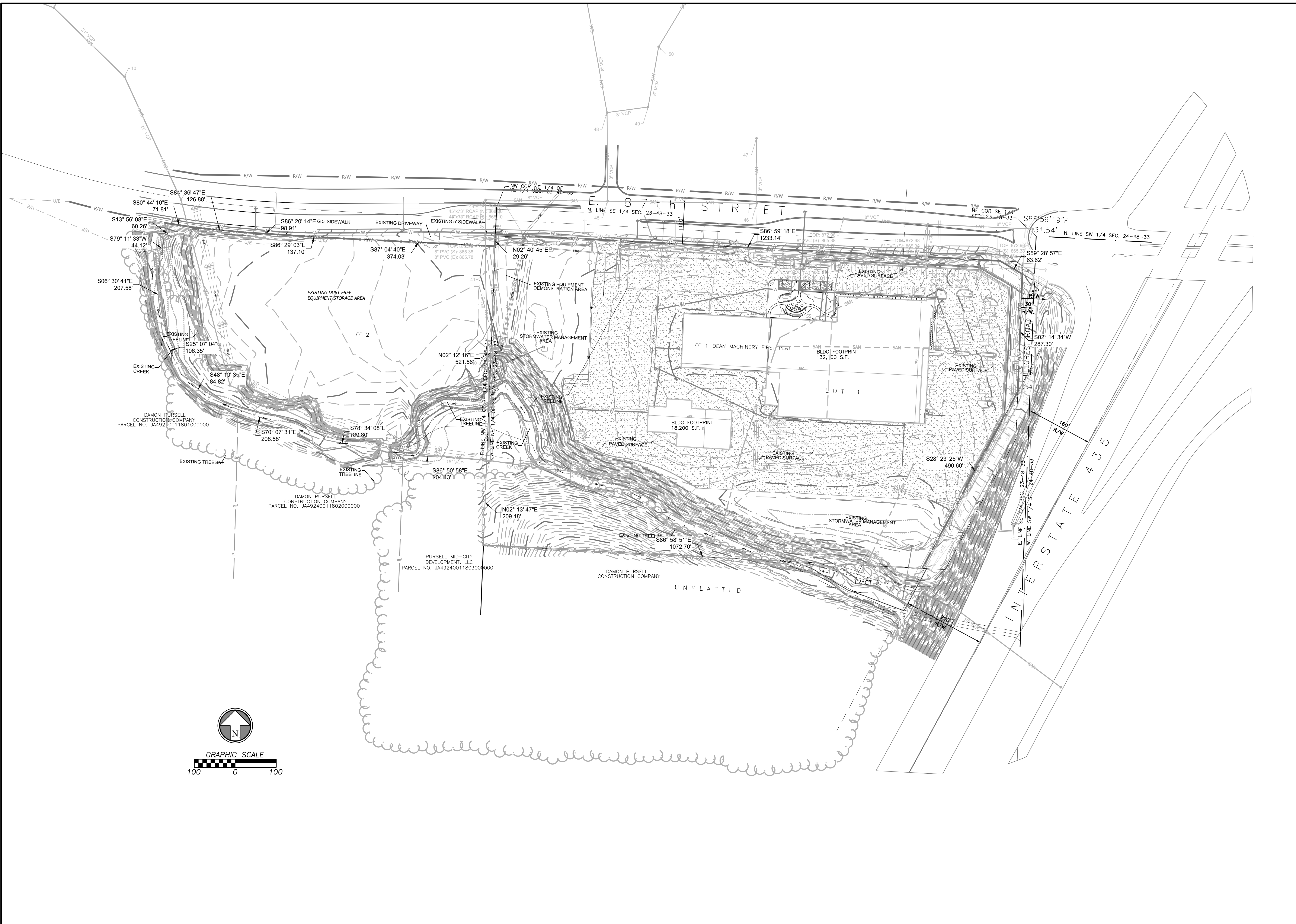
Feb 19, 2021 3:55pm Plotted By: matt.gibbs V:\028390-Foley\_Equipment\04-DWG\Eng\_Sheet\028390-SHTS-SITE.dwg Layout: Site Plan

**BHC RHODES**  
Civil Engineering - Surveying - Utilities  
7101 College Blvd., Suite 400  
Overland Park, Kansas 66210  
P: (913) 663-1900 F: (913) 663-1633  
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Prepared For:  
BELL/KNOTT & ASSOCIATES  
12730 STATE LINE ROAD, SUITE 100  
LEAWOOD, KS 66209  
816-589-7539

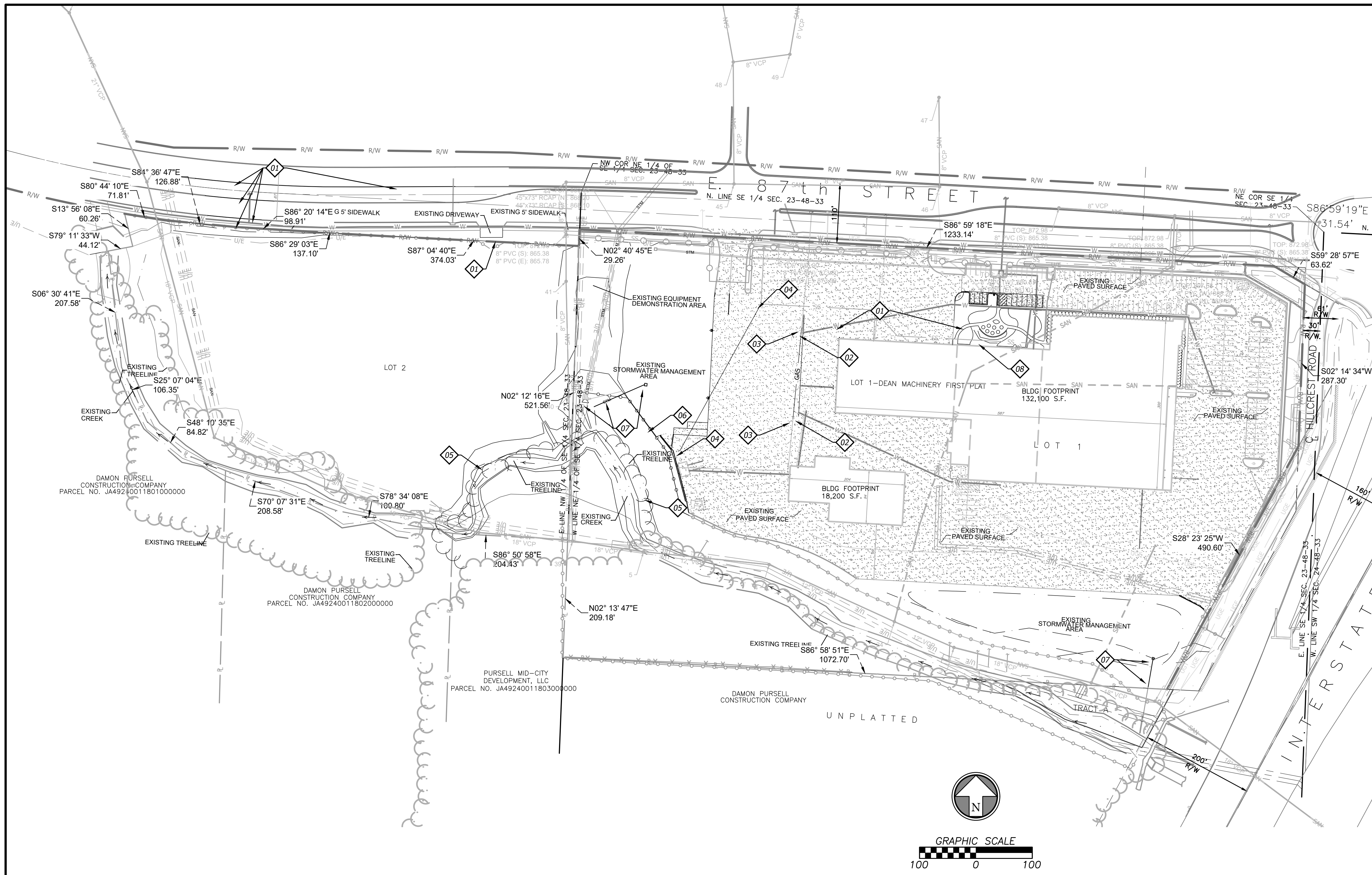
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Date  
Rev.  
Description

Feb 19, 2021 4:43pm Plotted By: matt.gibbs V:\028390-Foley\_Equipment\04-DWG\Eng\_Sheet\028390-SHTS-SR07.dwg Layout: EXISTING CONDITIONS



<p><b>FOLEY EQUIPMENT</b>  <b>5701 E 87TH STREET</b>  <b>KANSAS CITY, MO 64132</b>  <b>EXISTING CONDITIONS</b></p>		<p>Design: MGG   Drawn: MGG          Checked: LRH          Issue Date: 03/20/2020          Project Number: 028390</p>																									
<p>Prepared For:  <b>BELL/KNOTT &amp; ASSOCIATES</b>          12730 STATE LINE ROAD, SUITE 100          LEAWOOD, KS 66209</p>		<p>816-589-7539</p>																									
<p><b>BHC RHODES</b>          Civil Engineering - Surveying - Utilities          7101 College Blvd., Suite 400          Overland Park, Kansas 66210          P. (913) 663-1900 F. (913) 663-1633  <small>BHC RHODES is a trademark of Bhangert Homebased &amp; Company, P.A.</small></p>		<table border="1"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>By</th> <th>App.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev.	Date	Description	By	App.																				
Rev.	Date	Description	By	App.																							

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**GENERAL NOTES**

1. ALL MATERIALS SHALL BE REMOVED AND DISPOSED OF OFF-SITE. IT IS THE CONTRACTORS RESPONSIBILITY TO MEET ALL APPLICABLE LAWS AND REGULATIONS PERTAINING TO THE DISPOSAL OF CONSTRUCTION/DEMOLITION MATERIAL.
2. ALL PROTECTION FENCING SHALL BE INSTALLED PRIOR TO DEMOLITION/CONSTRUCTION ACTIVITY.
3. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY.
4. EXISTING STORM & STRUCTURES SHALL BE EXCAVATED AND REMOVED.

**DEMOLITION NOTES**

- 01 SAW CUT FULL DEPTH, REMOVE & DISPOSE OF EXISTING PAVEMENT.
- 02 REMOVE AND DISPOSE OF EXISTING WATER LINE AND CAP FOR FUTURE CONNECTION.
- 03 REMOVE AND DISPOSE OF EXISTING GAS LINE AND CAP FOR FUTURE USE.
- 04 REMOVE AND DISPOSE OF EXISTING SANITARY LINE AND CAP FOR FUTURE USE.
- 05 REMOVE AND DISPOSE OF EXISTING TREES NECESSARY FOR STREAM RE-ALIGNMENT.
- 06 REMOVE AND DISPOSE OF EXISTING FENCE, POSTS AND FOUNDATIONS.
- 07 REMOVE AND DISPOSE OF EXISTING STORM SEWER LINE AND STRUCTURE.
- 08 REMOVE AND DISPOSE OF EXISTING LANDSCAPING.

**DEMOLITION LEGEND**

- SAW CUT LINE
- ▨ ASPHALT PAVEMENT TO BE REMOVED

Rev.	Date	Description	By	App.

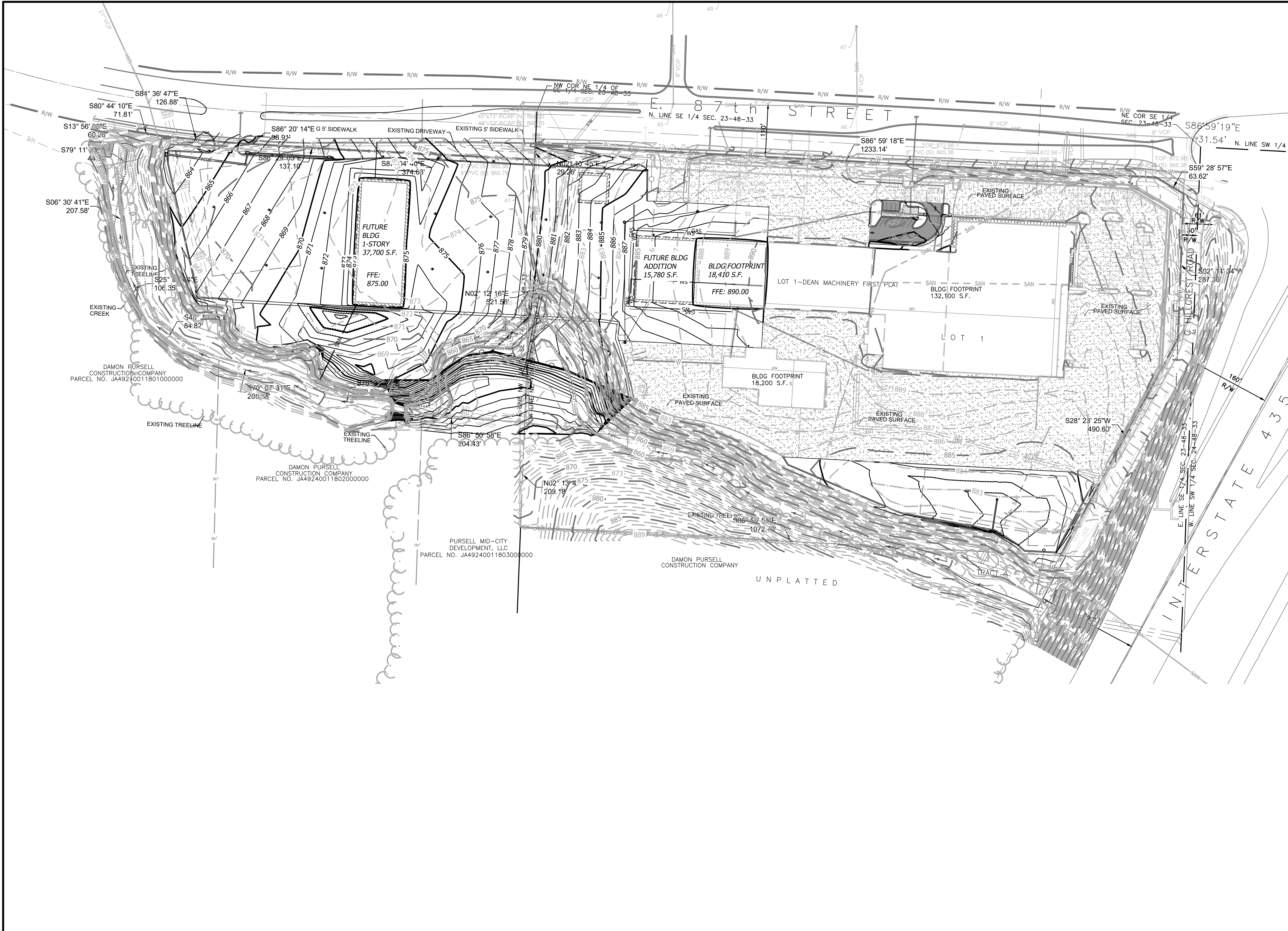
**BHC RHODES**  
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 7101 College Blvd., Suite 400  
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Prepared For:  
 BELL/KNOTT & ASSOCIATES  
 12730 STATE LINE ROAD, SUITE 100  
 LEAWOOD, KS 66209  
 816-589-7539

**FOLEY EQUIPMENT**  
 5701 E 87TH STREET  
 KANSAS CITY, MO 64132  
**PRELIMINARY DEMOLITION PLAN**

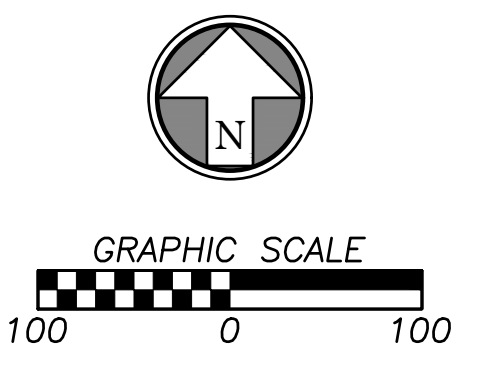
Design: MGG Drawn: MGG  
 Checked: LRH  
 Issue Date: 03/20/2020  
 Project Number: 028390

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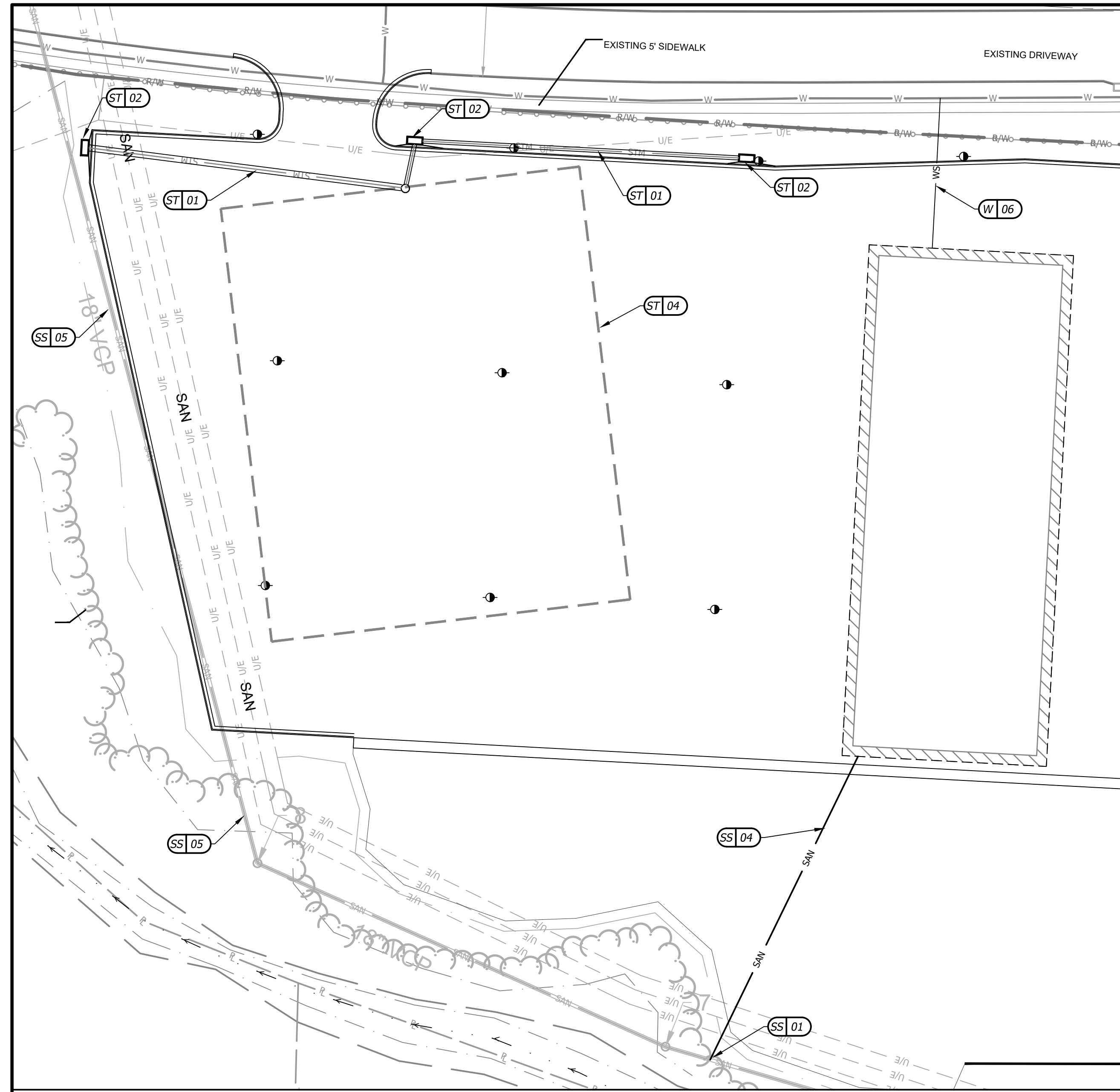
**GRADING LEGEND**

- |  |                        |  |                               |
|--|------------------------|--|-------------------------------|
|  | STANDARD CURB & GUTTER |  | FINISH GRADE MAJOR CONTOURS   |
|  | RETAINING WALL         |  | FINISH GRADE MINOR CONTOURS   |
|  | DRAINAGE DIRECTION     |  | EXISTING GRADE MAJOR CONTOURS |
|  |                        |  | EXISTING GRADE MINOR CONTOURS |
|  |                        |  | PROPOSED STORM SEWER LINE     |
|  |                        |  | PROPERTY LINE                 |
|  |                        |  | RIGHT-OF-WAY LINE             |

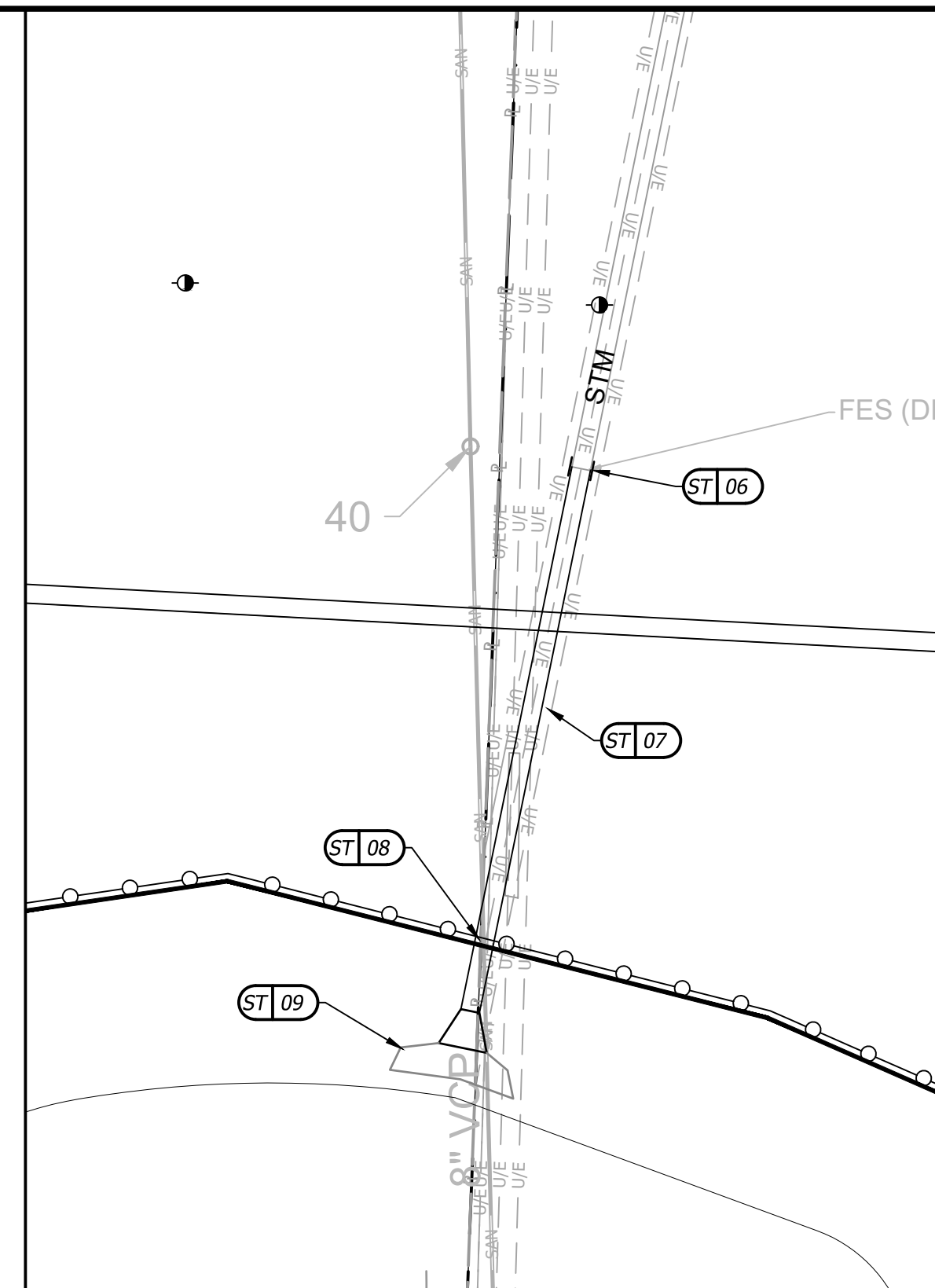


<p><b>FOLEY EQUIPMENT</b> 5701 E 87TH STREET KANSAS CITY, MO 64132</p>		<p><b>PRELIMINARY GRADING PLAN</b></p>																										
<p>Design: MGG   Drawn: MGG Checked: LRH Issue Date: 03/20/2020 Project Number: 028390</p>	<p>Prepared For: BELL/KNOTT &amp; ASSOCIATES 12730 STATE LINE ROAD, SUITE 100 LEAWOOD, KS 66209 816-589-7539</p>	<p><b>BHC RHODES</b> Civil Engineering - Surveying - Utilities 7101 College Blvd., Suite 400 Overland Park, Kansas 66210 P: (913) 663-1900 F: (913) 663-1633 BHC RHODES is a member of the Banghart International &amp; Company, P.A.</p>	<table border="1"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>By</th> <th>App.</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev.	Date	Description	By	App.																				
Rev.	Date	Description	By	App.																								
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Feb. 19, 2021 - 4:10pm Plotted By: matt.gibbs V:\028390-Foley\_Equipment\04-DWG\Eng\_Sheet\028390-SRHS-LUTL.dwg Layout: UTILITY PLAN



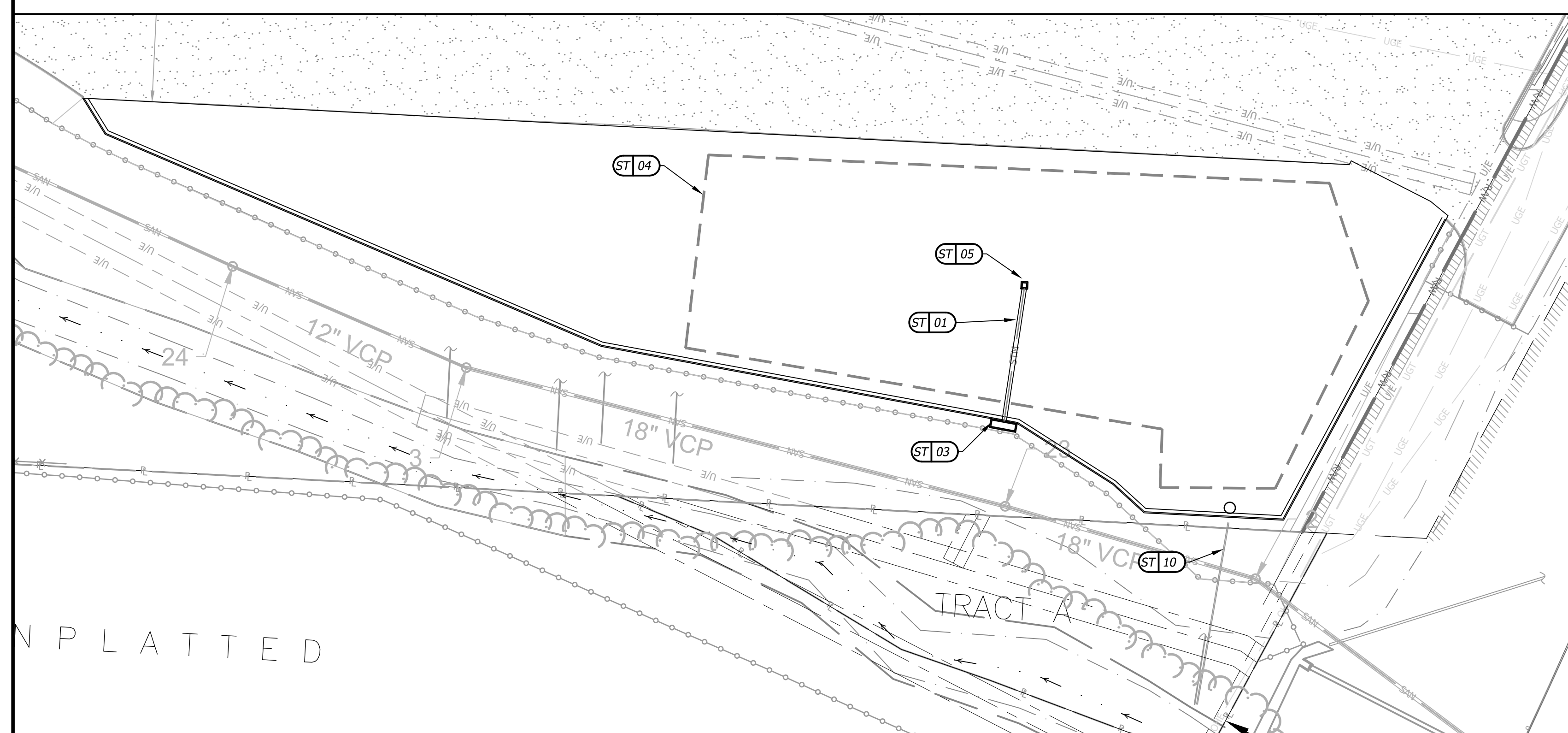
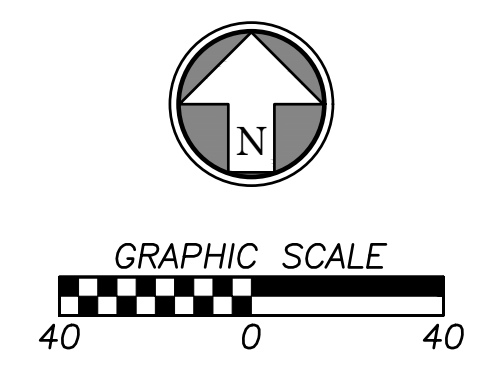
**WEST UTILITY LOCATIONS**



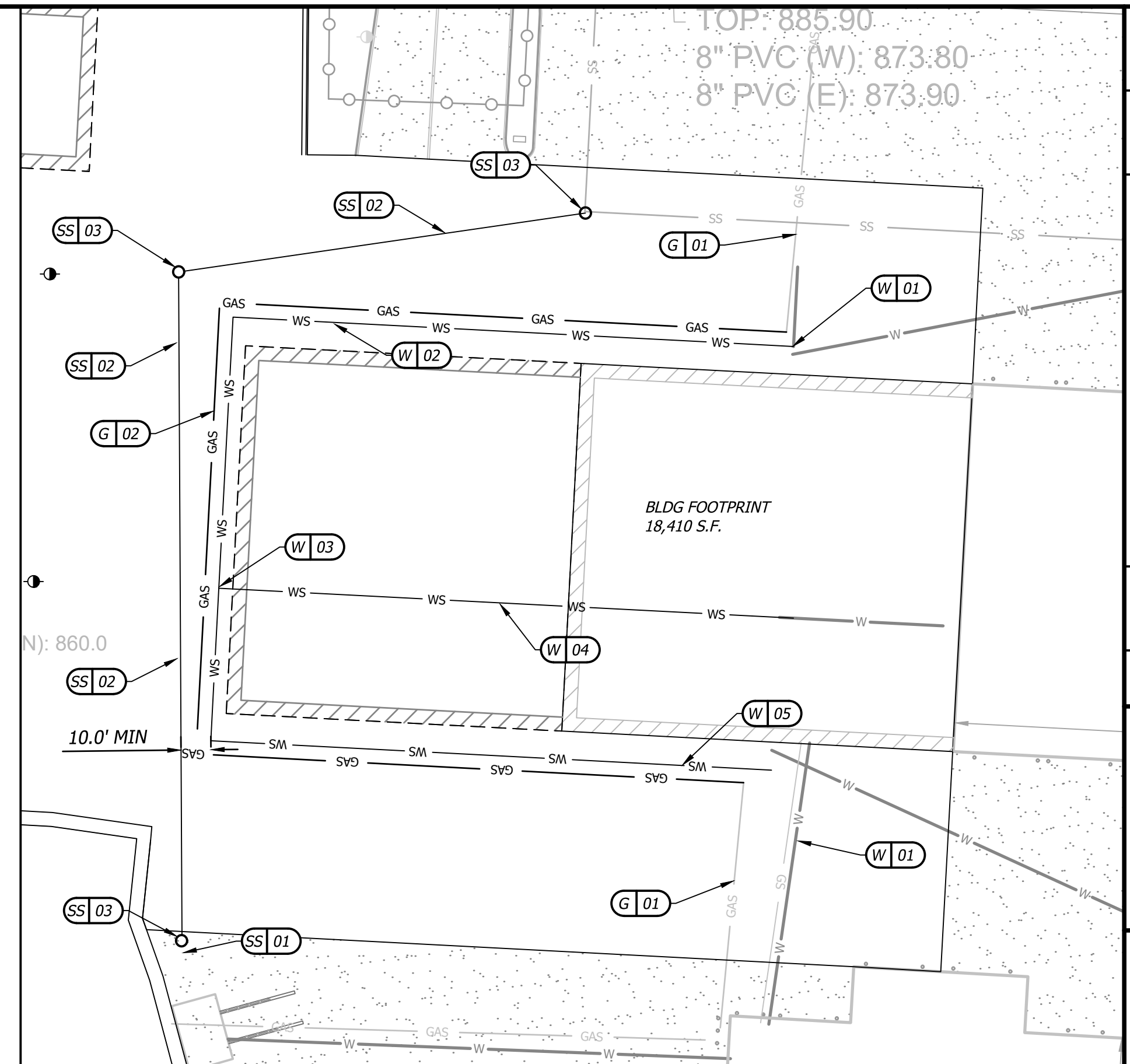
**PUBLIC STORM SEWER EXTENSION**

**UTILITY NOTES**

1. Contractor shall refer to all specifications, guidelines, and installation drawings from utility service provider for the installation of all service lines.
2. Contractor to ensure 6" minimum separation between utilities at crossings. Contractor to call civil if any conflicts between utilities are found.



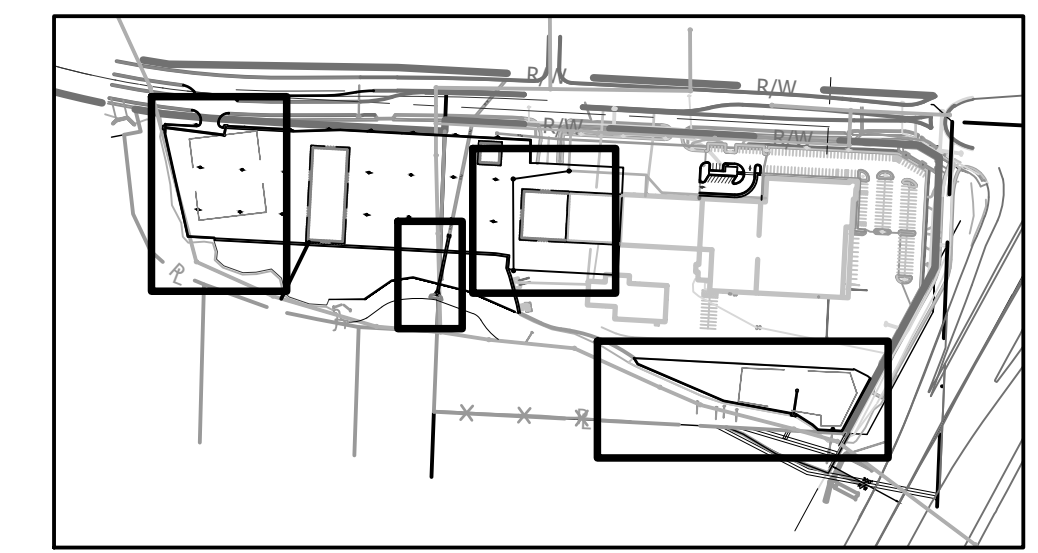
**EAST UTILITY LOCATIONS**



**BUILDING UTILITY RELOCATIONS**

**CONSTRUCTION NOTES**

- W - WATER SERVICE INFORMATION**
- 01 EXISTING WATER SERVICE LINE. CONTRACTOR TO VERIFY SIZE AND DEPTH.
  - 02 INSTALL 303 LF OF WATER SERVICE LINE. CONTRACTOR TO VERIFY AND MATCH SIZE AND DEPTH OF EXISTING SERVICE.
  - 03 INSTALL TEE FOR EXISTING CONNECTION.
  - 04 INSTALL 211 LF OF WATER SERVICE LINE. CONTRACTOR TO VERIFY AND MATCH SIZE AND DEPTH OF EXISTING SERVICE.
  - 05 INSTALL 260 LF OF WATER SERVICE LINE. CONTRACTOR TO VERIFY AND MATCH SIZE AND DEPTH OF EXISTING SERVICE.
  - 06 FUTURE WATER SERVICE CONNECTION
- G - GAS SERVICE INFORMATION**
- 01 EXISTING GAS SERVICE LINE. CONTRACTOR TO VERIFY SIZE AND DEPTH.
  - 02 INSTALL 570 LF GAS SERVICE LINE. CONTRACTOR TO MATCH SIZE AND DEPTH OF EXISTING SERVICE LINE.
- ST - STORM SEWER INFORMATION**
- 01 PRIVATE HPDE STORM SEWER LINE
  - 02 PRIVATE 7' x 3'3" APWA TYPE 2 CURB INLET
  - 03 PRIVATE 11' x 3'3" APWA TYPE 2 CURB INLET
  - 04 PRIVATE UNDERGROUND DETENTION AREA
  - 05 PRIVATE APWA DOUBLE GRATE INLET
  - 06 CONNECT TO EXISTING STORM SEWER ARCH PIPE
  - 07 PUBLIC RCAP STORM SEWER LINE
  - 08 APPROXIMATE STORM SEWER THROUGH RETAINING WALL LOCATION
  - 09 FLARED END SECTION AND ENERGY DISSIPATION DEVICE
  - 10 CONTRACTOR TO POTHOLE EXISTING STORM SEWER. VERIFY DEPTH, SIZE, MATERIAL OF EXISTING STORM SEWER.
- SS - SANITARY SEWER INFORMATION**
- 01 EXISTING SANITARY SEWER LINE. CONTRACTOR TO VERIFY SIZE AND DEPTH.
  - 02 PRIVATE PVC SANITARY SEWER LINE
  - 03 PRIVATE APWA 4' I.D. PCC SANITARY SEWER MANHOLE
  - 04 FUTURE PRIVATE SANITARY SEWER LINE FOR FUTURE BUILDING.
  - 05 CONTRACTOR TO POTHOLE EXISTING SANITARY SEWER MAIN. VERIFY DEPTH, SIZE, MATERIAL OF EXISTING SANITARY SEWER MAIN.



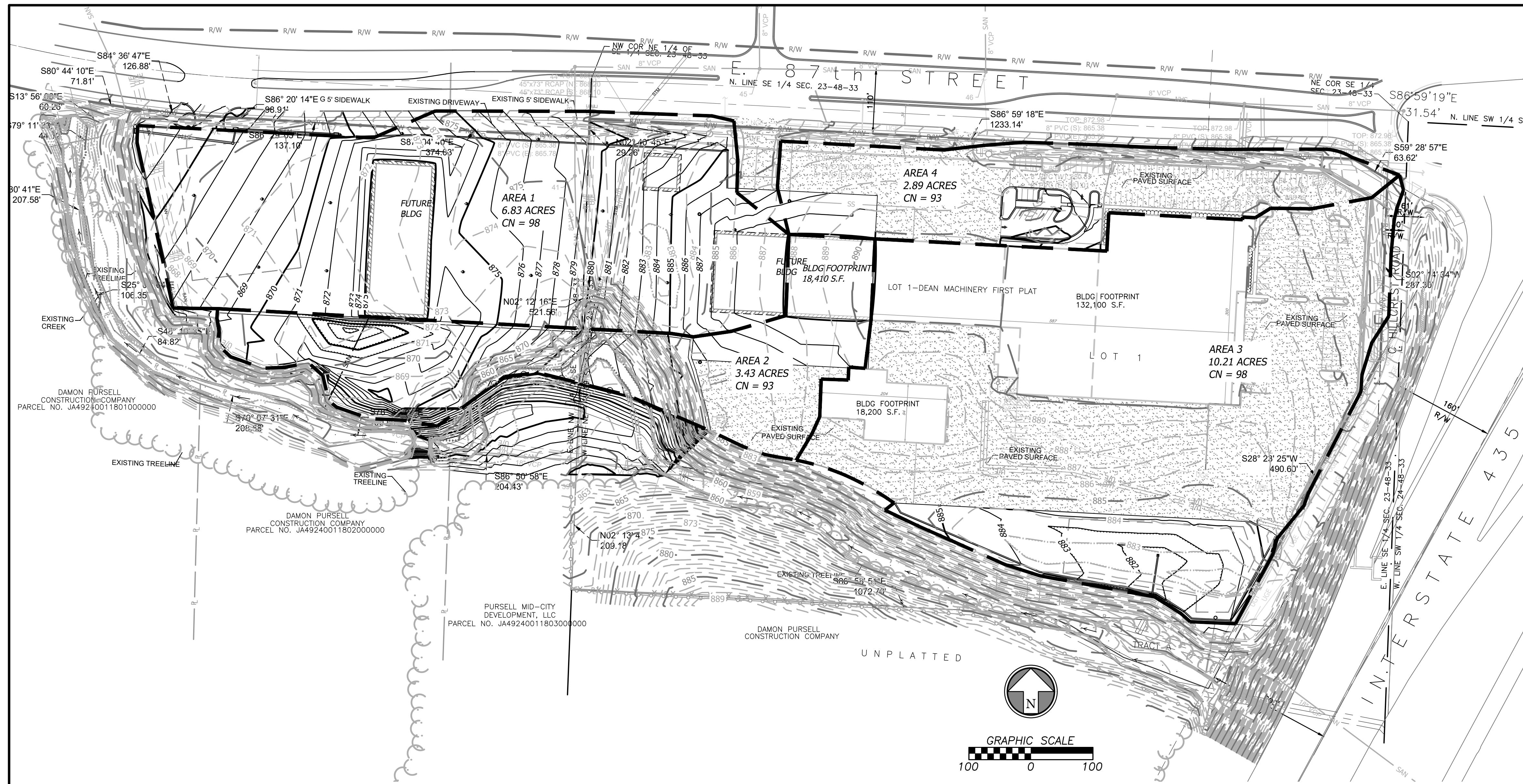
**VICINITY MAP**

Rev.	Date	Description	By	App.

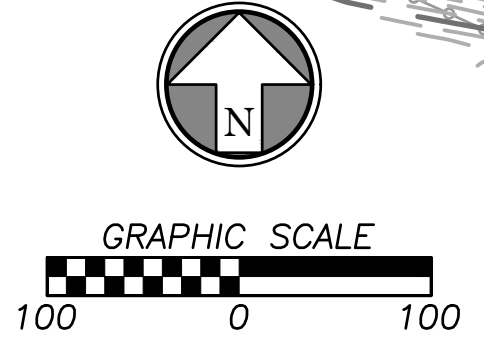
<p><b>BHC RHODES</b> Civil Engineering - Surveying - Utilities 7101 College Blvd., Suite 400 Overland Park, Kansas 66210 P: (913) 663-1900 F: (913) 663-1633 BHC RHODES is a member of the Banghart International &amp; Company, P.A.</p>	
<p>Prepared For: BELL/KNOTT &amp; ASSOCIATES 12730 STATE LINE ROAD, SUITE 100 LEAWOOD, KS 66209</p>	<p>816-589-7539</p>
<p><b>FOLEY EQUIPMENT</b> 5701 E 87TH STREET KANSAS CITY, MO 64132 <b>PRELIMINARY UTILITY PLAN</b></p>	
<p>Design: MGG   Drawn: MGG Checked: LRH Issue Date: 03/20/2020 Project Number: 028390</p>	<p><b>C3.0</b></p>

Feb 19, 2021 4:17pm Plotted By: matt.gibbs V:\028390-Foley\_Equipment\04-DWG\Eng\_Sheet\028390-SHTS-DMAP.dwg Layout: DRAINAGE\_MAP



**DRAINAGE LEGEND**

	DRAINAGE AREA BOUNDARY
	PROPOSED FINISH GRADE MAJOR CONTOUR
	PROPOSED FINISH GRADE MINOR CONTOUR
	EXISTING GRADE MAJOR CONTOUR
	EXISTING GRADE MINOR CONTOUR
	PROPOSED STORM SEWER LINE
	PROPOSED ROOF LINE DRAIN
	PROPERTY LINE
	RIGHT-OF-WAY LINE



**PROPOSED 10 YEAR RUN-OFF CALCULATIONS**

Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	Tc	Intensity	Runoff To Inlet
Area 1	6.83	0.98	23.36	22.58	5.0	8.53	71.37
Area 2	3.43	0.93	16.53	15.88	5.0	8.53	34.01
Area 3	10.21	0.98	13.10	12.69	5.0	8.53	106.69
Area 4	2.89	0.93	2.89	2.69	5.0	8.53	28.66

**PROPOSED 100 YEAR RUN-OFF CALCULATIONS**

Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. CxA	Tc	Intensity	Runoff To Inlet
Area 1	6.83	0.98	23.36	22.58	5.0	10.32	86.37
Area 2	3.43	0.93	16.53	15.88	5.0	10.32	41.16
Area 3	10.21	0.98	13.10	12.69	5.0	10.32	129.11
Area 4	2.89	0.93	2.89	2.69	5.0	10.32	34.68

	By: App.
	Description
	Date
	Rev.
Prepared For: BELL/KNOTT & ASSOCIATES 12730 STATE LINE ROAD, SUITE 100 LEAWOOD, KS 66209	816-589-7539
<b>FOLEY EQUIPMENT                  5701 E 87TH STREET                  KANSAS CITY, MO 64132                  PRELIMINARY DRAINAGE MAP</b>	
Design: MGG   Drawn: MGG Checked: LRH Issue Date: 03/20/2020 Project Number: 028390	
C4.0	





Feb 19, 2021 3:35pm Plotted By: Nnah Butler V:\028390-Foley Equipment\04-DWG\Eng\_Sheet\028390-SRFS-JNSC.dwg Layout: LANDSCAPE PLAN



**GENERAL LANDSCAPE NOTES**

- The Contractor shall verify and coordinate all final grades with the Landscape Architect and or design team prior to completion.
- Location and placement of all plant material shall be coordinated with the Landscape Architect prior to installation.
- Location of all utilities are approximate, the Contractor shall field verify locations prior to commencement of construction operations.
- Refer to Civil Drawings for all grading and berming, erosion control, storm drainage, utilities and site layout.
- The Contractor shall arrange and conduct a pre-construction meeting onsite with Landscape Architect prior to work.
- Plant quantities are for information only, drawing shall prevail if conflict occurs. Contractor is responsible for calculating own quantities and bid accordingly.
- The Contractor is to notify Landscape Architect after staking is complete and before plant pits are excavated.
- Tree locations in areas adjacent to drives, walks, walls and light fixtures may be field adjusted as approved by Landscape Architect.
- The Contractor shall report subsurface soil or drainage problems to the Landscape Architect.
- The plan is subject to changes based on plant size and material availability. All changes or substitutions must be approved by the City of Kansas City, Kansas City, Missouri and the Landscape Architect.
- Aluminum landscape edging to be used on all landscape beds adjoining turf areas as noted on landscape plans.
- Landscape Contractor shall be responsible for watering all plant material until the time that a permanent water source is ready.
- The Contractor shall show proof of procurement, sources, quantities, and varieties for all shrubs, perennials, ornamental grasses, and annuals within 21 days following the award of the contract.
- Contractor shall provide full maintenance for newly landscaped areas for a period of 30 days after the date of final acceptance. At the end of the maintenance period, a healthy, well-rooted, even-colored, viable turf and landscaped area must be established. The landscaped areas shall be free of weeds, open joints, bare areas, and surface irregularities.
- Landscape Contractor shall provide mulch sample to owner for approval.

**GENERAL IRRIGATION NOTES**

- Irrigation plan to be provided during permitting phase of development
- Irrigation plan to not interfere with any proposed improvements shown.
  - Irrigation system design to be based on available psi. Minimum operating pressure for spray heads shall be 30 psi and minimum operating pressure for drip zones shall be 40 psi.
  - The contractor shall be responsible for providing uninterrupted, 110 v electrical service to the controller and for all hook-ups. All exposed low voltage wire shall be enclosed in a conduit.
  - Place valve boxes 12" minimum from and parallel to curbs and walks, grouped valves to be equally spaced.
  - Install all mainlines to 1% minimum slope to drain valves located at low points of main system.
  - Irrigation controller and rain sensor shall be located in owner approved locations.

**SITE DATA**

	Quantity	Required	Provided
<b>Street Tree</b>	917.85		
Installed w/in 10' of ROW			
1 tree / 30 LF of street		30.60	31

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	7	Celtis occidentalis 'Prairie Sentinel' / Prairie Sentinel Hackberry	B & B	2"Cal
	24	Nyssa sylvatica 'JFS-red' TM / Firestarter Tupelo	B & B	2"Cal
	5	Prunus cerasifera 'Thundercloud' / Thundercloud Plum FOR PLANTING DETAILS SEE DETAIL 801 & 802, SHEET L1.2	B & B	2"Cal
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT
	50	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	1 gal	
	16	Juniperus horizontalis 'Blue Rug' / Blue Rug Juniper	5 gal	
	387	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper	5 gal	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	
	34,498 sf	Festuca arundinacea 'Watersaver Blend' / Watersaving Blend of Tall Fescue PLACE LANDSCAPE EDGING WHERE GRASS ADJOINS PLANTING BEDS, SEE DETAIL 805 SHEET L1.2	sod	

**LEGEND**

- 980 PROPOSED FINISH GRADE MAJOR CONTOUR
- 982 PROPOSED FINISH GRADE MINOR CONTOUR
- 980 EXISTING GRADE MAJOR CONTOUR
- 982 EXISTING GRADE MINOR CONTOUR
- PROPOSED STORM SEWER LINE
- RD PROPOSED ROOF LINE DRAIN
- R PROPERTY LINE
- R/W RIGHT-OF-WAY LINE

Rev.	Date	Description	By	App.

**BHC RHODES**  
Civil Engineering - Surveying - Utilities  
7101 College Blvd., Suite 400  
Overland Park, Kansas 66210  
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**BELL/KNOTT & ASSOCIATES**  
12730 STATE LINE ROAD, SUITE 100  
LEAWOOD, KS 66209  
816-589-7539

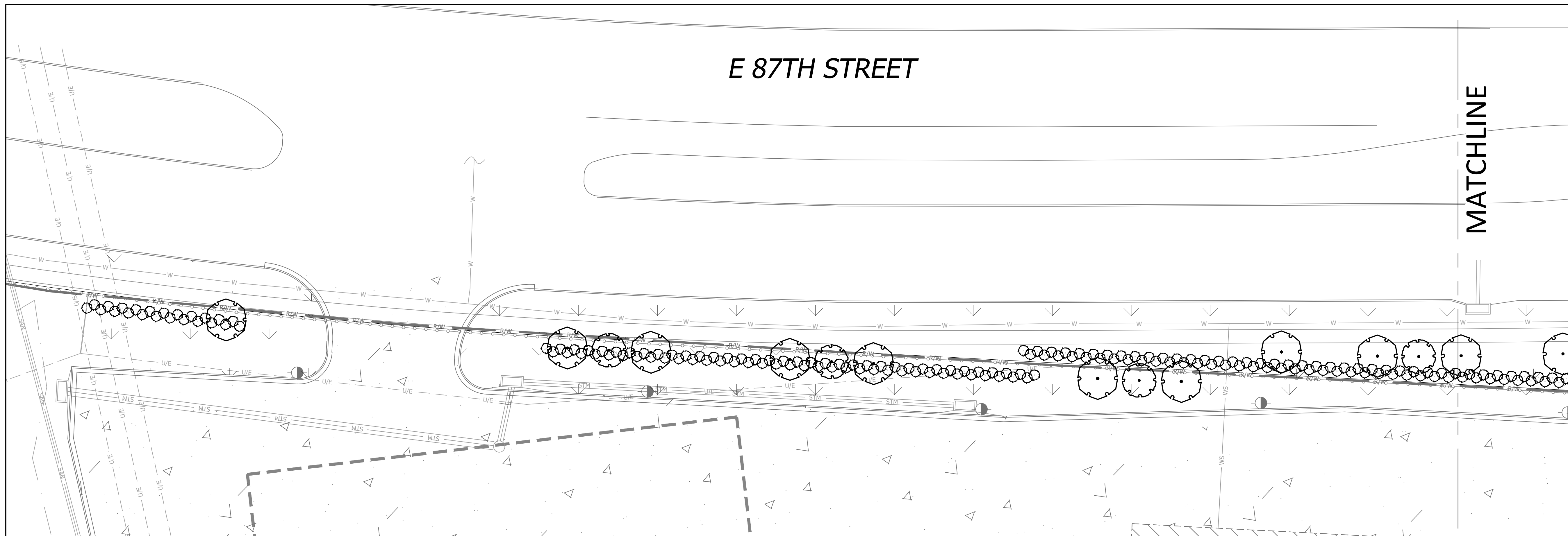
**FOLEY EQUIPMENT**  
5701 E 87TH STREET  
KANSAS CITY, MO 64132

**PRELIMINARY LANDSCAPE PLAN**

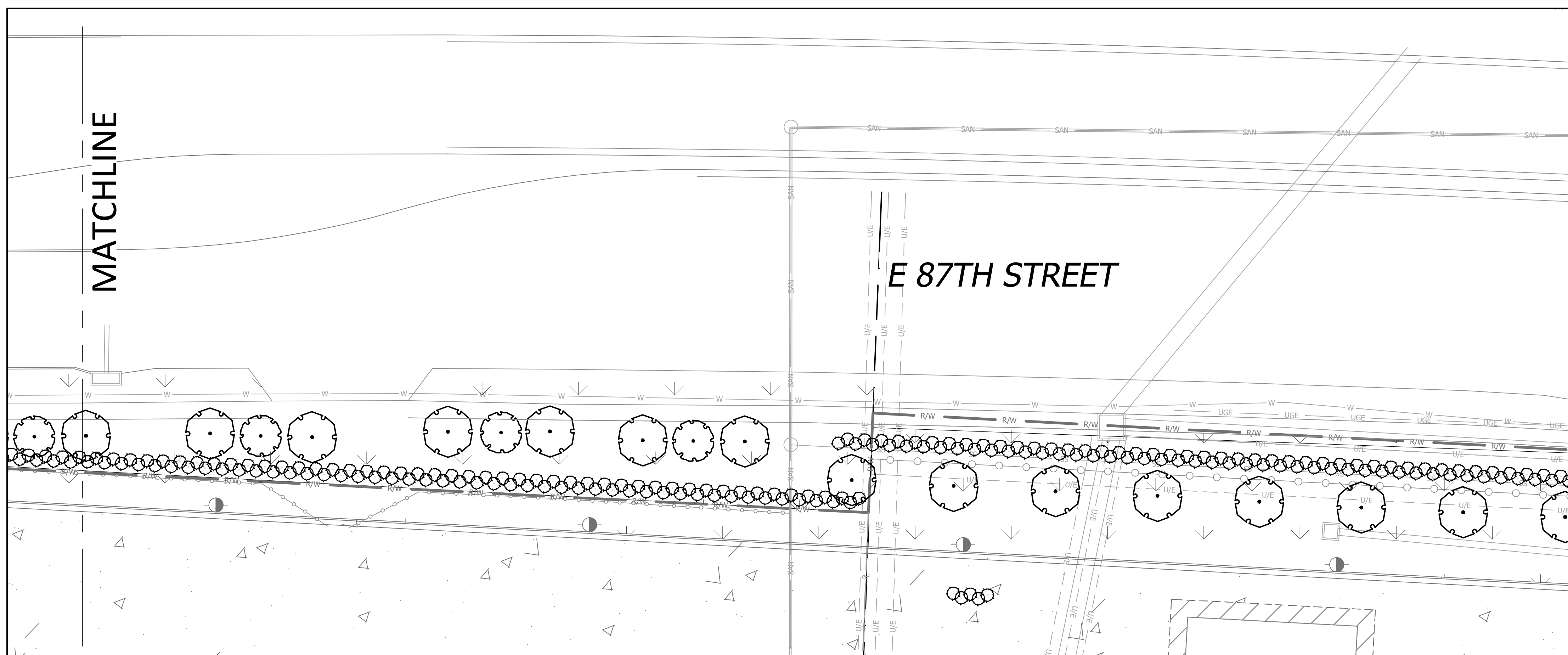
Design: **NAB** Drawn: **NAB**  
Checked: **NAB**  
Issue Date: **03/20/2020**  
Project Number: **028390**

L1.0

Feb 19, 2021 3:35pm Plotted By: Nnah Butler V:\028390-Foley Equipment\04-DWG\Eng\Sheet\028390-SRIS-JASC.dwg Layout: STREETScape\_PLAN



E 87th STREET TREE PLAN - WEST



E 87th STREET TREE PLAN - EAST

**PLANT LEGEND**

- | TREES         | BOTANICAL / COMMON NAME  |
|---------------|--|
|               | <i>Celtis occidentalis</i> 'Prairie Sentinel' / Prairie Sentinel Hackberry       |
|               | <i>Nyssa sylvatica</i> 'JFS-red' TM / Firestarter Tupelo                         |
|               | <i>Prunus cerasifera</i> 'Thundercloud' / Thundercloud Plum                      |
| SHRUBS        | BOTANICAL / COMMON NAME  |
|               | <i>Bouteloua gracilis</i> 'Blonde Ambition' / Blonde Ambition Blue Grama         |
|               | <i>Juniperus horizontalis</i> 'Blue Rug' / Blue Rug Juniper                      |
|               | <i>Juniperus virginiana</i> 'Grey Owl' / Grey Owl Juniper                        |
| GROUND COVERS | BOTANICAL / COMMON NAME  |
|               | <i>Festuca arundinacea</i> 'Watersaver Blend' / Watersaving Blend of Tall Fescue |

Rev.	Date	Description	By	App.

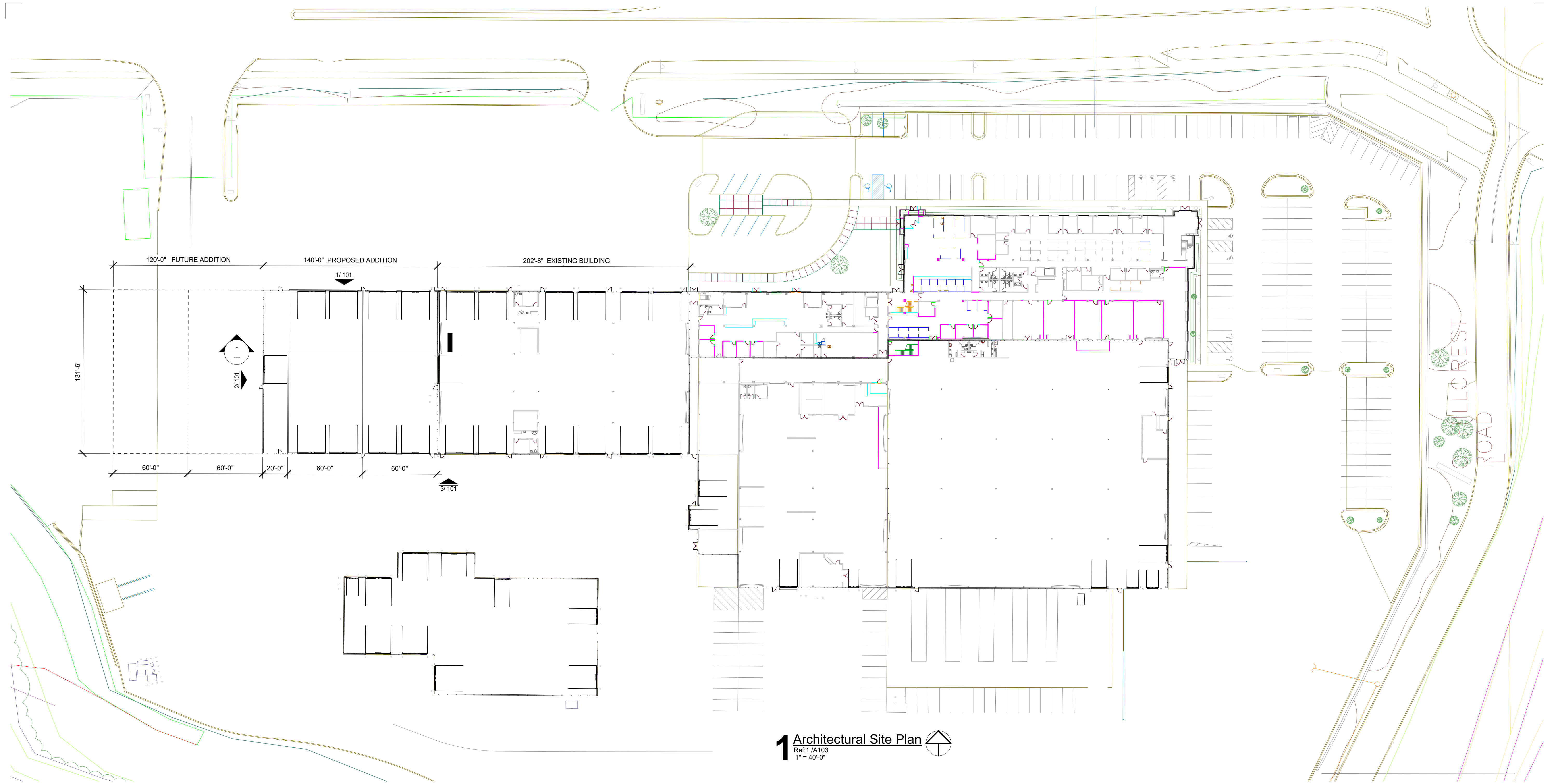
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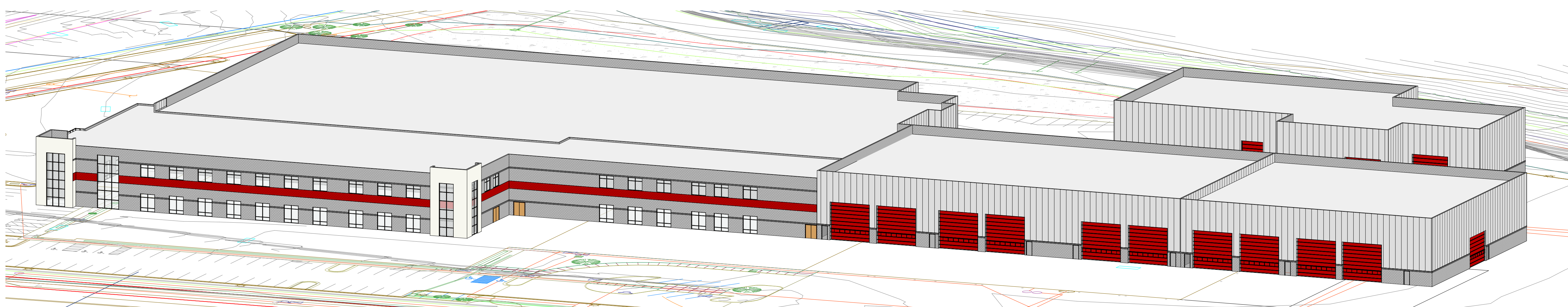
**FOLEY EQUIPMENT**  
 5701 E 87TH STREET  
 KANSAS CITY, MO 64132  
**PRELIMINARY LANDSCAPE PLAN**

Design: NAB Drawn: NAB  
 Checked: NAB  
 Issue Date: 03/20/2020  
 Project Number: 028390

**L1.0**



**1** Architectural Site Plan  
 Ref: 1/A103  
 1" = 40'-0"



**2** Main Building Addition

CLIENT:  
**FOLEY EQUIPMENT**  
**RTR BUILDING**  
 5701 E 87TH STREET  
 KANSAS CITY, MO 64132

ARCHITECT:  
**Bell / Knott & Associates**  
 CORPORATE ARCHITECTS, P. C.  
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**PMA Engineering**  
 6717 Shownee Mission Pkwy  
 Suite 100, Overland Park, KS 66202  
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 www.pmaengineering.com  
 PMA Engineering

M.E.P.:  
**GIBBENS DRAKE SCOTT, INC.**  
 Consulting Engineers  
 9201 E. 63rd Street, Suite 100  
 Raytown, Missouri 64133  
 (816) 358-1790

**FOLEY EQUIPMENT**  
**RETURN TO RENT BUILDING**  
**(RTR)**  
**5701 E 87TH STREET**  
**KANSAS CITY, MO 64132**

SEAL:

Revisions		
No.	Date	Description

ISSUE DATE: January 8, 2021  
 REASON FOR ISSUE: Bidding / Permit  
 PROJECT NUMBER: 20-093  
 PROJECT PHASE: CD  
 SHEET TITLE: Architectural Site Plan

SHEET NUMBER:  
**100**

CLIENT:  
**FOLEY EQUIPMENT**  
**RTR BUILDING**  
 5701 E 87TH STREET  
 KANSAS CITY, MO 64132

ARCHITECT:  
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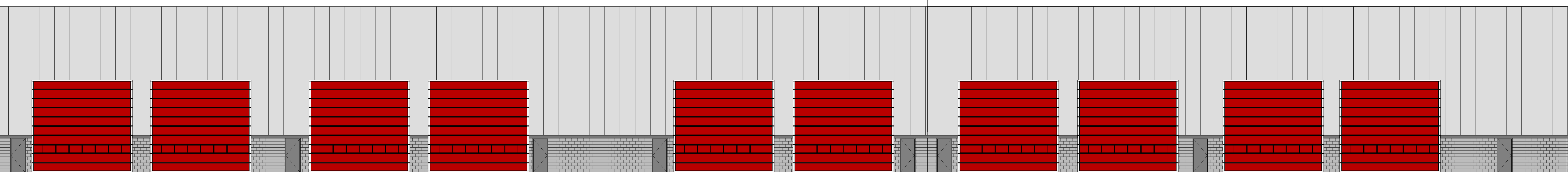
STRUCTURAL:  
**PMA Engineering**  
 6717 Shownee Mission Pkwy  
 Suite 100, Overland Park, KS 66202  
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**5701 E 87TH STREET**  
**KANSAS CITY, MO 64132**

EXISTING MAIN BUILDING

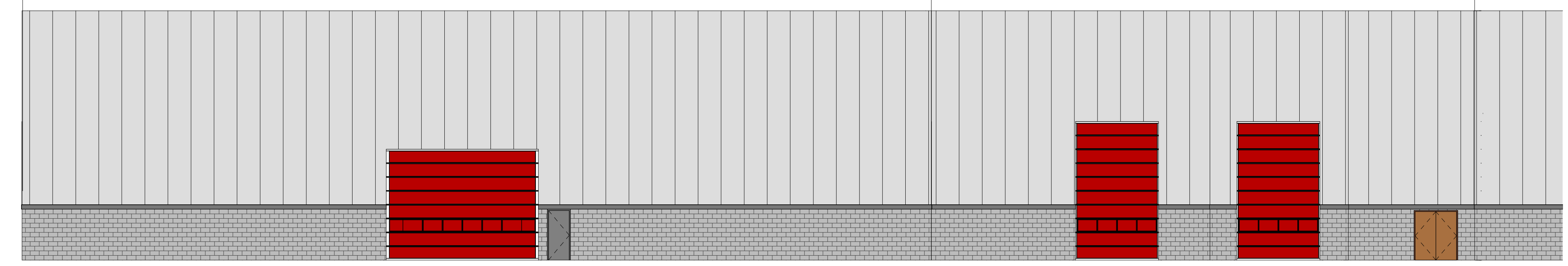
140'-0" PROPOSED ADDITION



**1** South Main Building Addition  
 Ref:1 /100  
 3/32" = 1'-0"

131'-5" PROPOSED ADDITION

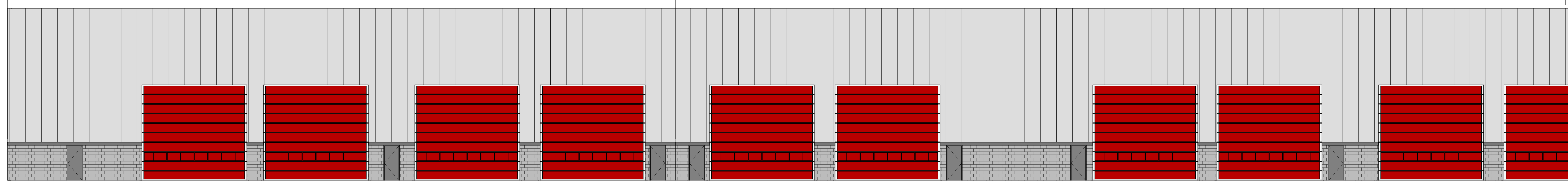
EXISTING MAIN BUILDING



**2** East Main Building Addition  
 Ref:1 /100  
 3/32" = 1'-0"

140'-0" PROPOSED ADDITION

EXISTING MAIN BUILDING



**3** North Main Building Addition  
 Ref:1 /100  
 3/32" = 1'-0"

SEAL:

Revisions

No.	Date	Description

ISSUE DATE: 02/17/21  
 REASON FOR ISSUE: Bidding / Permit  
 PROJECT NUMBER: 20-093  
 PROJECT PHASE: CD  
 SHEET TITLE: Unnamed

SHEET NUMBER:  
**101**

## Hillcrest Neighborhood Meeting Summary

Attendees: Matthew Gibbs (BHC); Randall Gorton (BHC); David Dickey (Foley Equipment), David Doffing (Foley Equipment), Craig Highfill (Foley Equipment), Jeremy Levasseur (Bell Knott)

No neighbors were in attendance.

Meeting started at 6:00 p.m.

Meeting adjourned at 6:15 p.m.

If you have further questions about anything that was discussed at the neighborhood meeting, please contact me at [matt.gibbs@ibhc.com](mailto:matt.gibbs@ibhc.com) or 913-663-1900.

Respectfully,



Matthew Gibbs, PE  
Project Engineer  
BHC  
7101 College Blvd, Suite 400  
Overland Park, KS 66210