



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

August 7, 2024

**Project Name**  
Shiraz Condominium

**Docket #2**

**Request**  
CD-CPC-2023-00017  
- Development Plan (Preliminary Plat)

**Applicant**  
Masoud Shabazi

**Owners**  
UC IV, LLC.

Location 609 W. 49<sup>th</sup> Street  
Area About 0.73 acres  
Zoning R-5  
Council District 6<sup>th</sup>  
County Jackson  
School District KCMO

**Surrounding Land Uses**  
**North:** 433 Ward Parkway Condominiums, zoned R-0.5.  
**South:** Single Family residences, zoned R-6.  
**East:** Intercontinental Hotel.  
**West:** Duplex townhomes, zoned R-5.

**Major Street Plan**  
The City's Major Street Plan does not identify Sunset Drive at this location. West 49<sup>th</sup> Street is a private street.

**Land Use Plan**  
The Midtown Plaza Area Plan recommends Residential Medium-High Density land use for this location. This proposal is consistent with the future land use plan recommendation.

## APPROVAL PROCESS



## PROJECT TIMELINE

The application for the subject request was filed on October 10, 2023. Scheduling deviation from 2023 Cycle V has occurred due to the need to update the plan and hold public engagement meeting prior to the CPC hearing.

## NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The 433 Ward Parkway Condominium Association is tied to the subject site.

## REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. Applicant hosted a meeting on June 29, 2024. A summary of the meeting is attached to the staff report, see Attachment #3.

## EXISTING CONDITIONS

The subject site of this proposed development plan (preliminary plat) is generally located at the southeast corner of W. 49<sup>th</sup> Street and Sunset Drive. The site is platted as Lot 2 of Arnold Place. West 49<sup>th</sup> Street was vacated and now acts as a private drive serving 433 Ward Parkway Condo and this parcel. There is an existing duplex on the south side of vacated W. 49<sup>th</sup> Street. One of the major challenges of this site is the vertical change in grade from north to south.

To the north is 433 Ward Parkway Condominiums, and to the east is the Intercontinental Hotel. To the south are existing single-family residences. To the west is an existing duplex like the one on this parcel.

## SUMMARY OF REQUEST + KEY POINTS

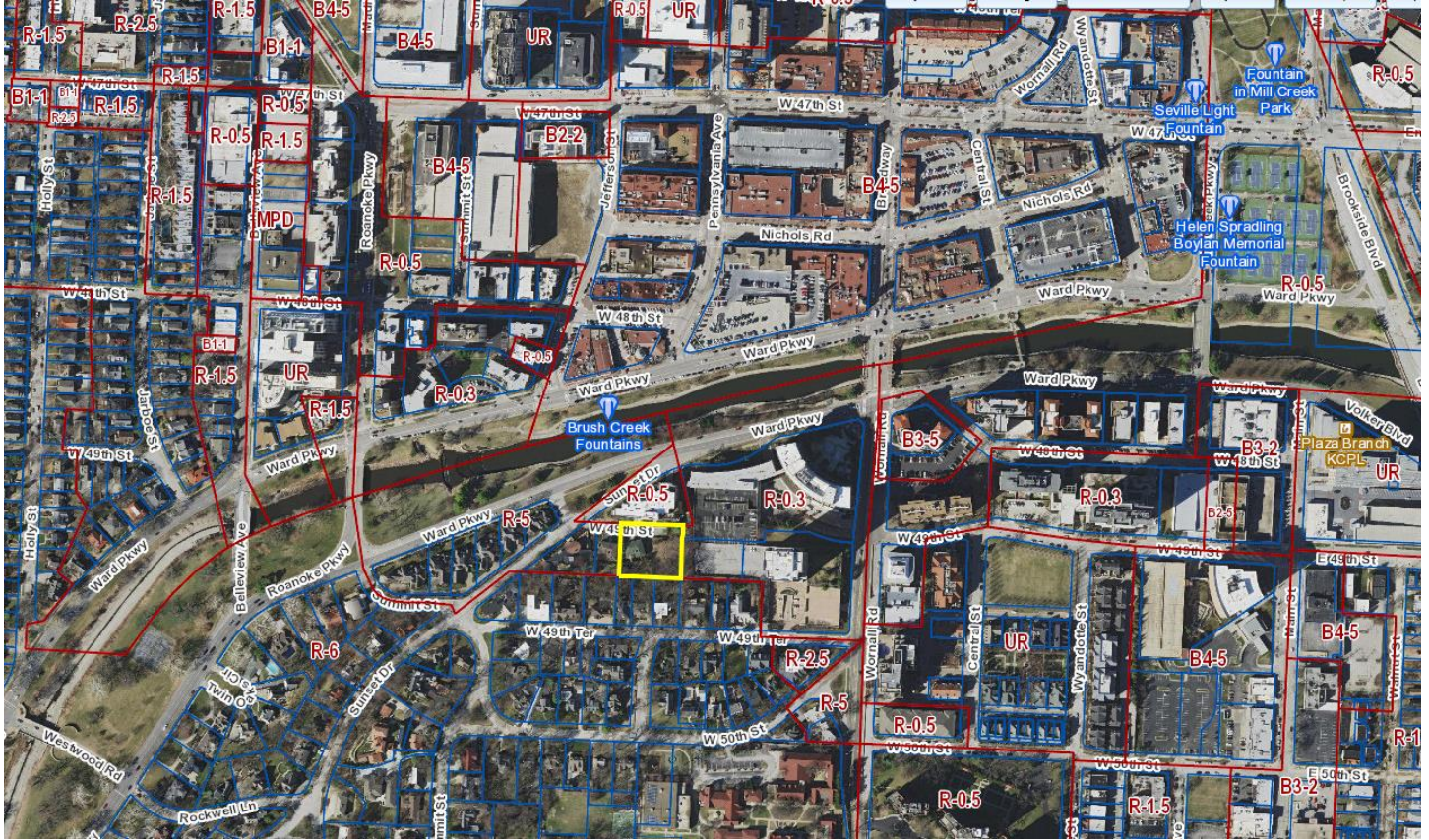
The applicant is seeking approval of a development plan which also serves as a preliminary plat, in District R-5 (Residential) to allow for five (5) residential townhomes in two (2) phases on one (1) lot.

## PROFESSIONAL STAFF RECOMMENDATION

Docket #2. **Approval with Conditions**

## CONTROLLING

There is no controlling case for the site.

**PROJECT LOCATION****PLAN REVIEW**

The applicant is seeking approval of a development plan which also serves as a preliminary plat, in District R-5 (Residential) to allow for five (5) residential townhomes in two (2) phases on one (1) lot. The development plan acts as a preliminary plat to allow the existing building (duplex) to remain and seeks entitlement for three additional townhomes. Phase I is to allow for a minor subdivision (condo plat) of the existing duplex and creation of a separate tract that allows for phase II. This phase will house the three-unit condo plat (3D) to allow for the sale of the existing units.

The existing structure is a three-story building with garages on the first floor. The proposed buildings will also be three stories due to the topography of the site. The new building will be constructed of primarily stucco and accented with Pac clad metal flush panels. The foundation and exterior walls will be structurally engineered with reinforced concrete walls.

Access to the development will be via vacated W. 49<sup>th</sup> Street. This is a private drive that serves this parcel and the 433 Ward Parkway Condominiums. As part of the approval of the development and the vacation of W. 49<sup>th</sup> Street, a permanent turnaround was required at the terminus of W. 49<sup>th</sup> Street. This development will be able to provide the required turnaround per KCFD specifications. Staff recommends that the book and page number of the reciprocal cross access easement be shown on the face of the plan.

The site slopes from south to north towards Ward Parkway (Brush Creek). The 45-40 feet change in grade from north to south presents additional challenge on this site. The developer has been stabilized the site with retaining walls and ground cover.

**PLAN ANALYSIS**

Residential, Commercial, or Industrial Lot and Building (88-110), Use- Specific (88-300), and Development Standards (88-400)

*\*indicates adjustment/deviation*

<b>Standards</b>	<b>Applies</b>	<b>Meets</b>	<b>More Information</b>
Lot and Building Standards (88-110)	YES	YES	
Boulevard and Parkway Standards (88-323)	NO	N/A	
Parkland Dedication (88-408)	YES	YES	*Will be at Building Permit/ Condo Plat
Parking and Loading Standards (88-420)	YES	YES	
Landscape and Screening Standards (88-425)	YES	YES	
Outdoor Lighting Standards (88-430)	NO	N/A	
Sign Standards (88-445)	YES	YES	Must comply with 88-445.
Pedestrian Standards (88-450)	YES	YES	Sidewalk provided

**Requested Waivers**

None

**Parkland Dedication:**

According to Chapter 88-408 of the Zoning and Development Code, the developer can either dedicate land for public park, provide open space for park purposes or provide money in lieu of parkland dedication. A plat is providing a need for the following:

3 additional multi-family units x 2.0 x 0.006 = 0.036 acres  
0.036 acres x \$64,220.18 (2024 Fees) = \$2,311.93

**SPECIFIC REVIEW CRITERIA**

**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

- A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**  
*The development plan complies with the applicable sections of the Zoning and Development Code and the recommended land use of the Midtown/ Plaza Area Plan. (OA)*
- B. The proposed use must be allowed in the district in which it is located;**  
*Attached townhomes are allowed in the R-5 zoning district. (OA)*
- C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**  
*The proposed plan meets the requirements for vehicular access and circulation. (OA)*
- D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**  
*The proposed development plan is compliant. (OA)*
- E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**  
*There are adequate utilities proposed for the site. Existing water main connections are available. (OA)*
- F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**  
*The Development Plan is proposing a new building on W. 49<sup>th</sup> Street that is compatible with the surrounding land uses. (OA)*

- G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

*The development plan shall include a preliminary landscape plan which shows a streetscape plan that includes planters per staff approval. (OA)*

- H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

*The proposed site plan provides an efficient layout for the proposed uses and does not create unnecessary impervious surfaces. (OA)*

- I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

*The site is currently stabilized with no trees or vegetation due to the existing rock face. (OA)*

**ATTACHMENTS**

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

**PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends the following as stated in the conditions report:

**Approval with Conditions**

Respectfully Submitted,



Olofu Agbaji  
Planner



City Planning & Development
Development Management Division
Corrections Report

Report Date: 31-Jul-2024
Plan: CD-CPC-2023-00159
Address: 609 W 49th St
Project: Shiraz Condo Development Plan

This report shows all plan review items that are required and each correction that is associated with that plan review item regardless of if it has been resolved or not.

CPDM - Quality Control Review

Item Review: Development Management - Manager v. 1
Plan Reviewer: Olofu Agbaji - (816) 513-8815
Completed Date: 10/20/2023
Review Status: Approved
General Comment:

CPDM - Plan Review - MPD/UR Preliminary

Item Review: DRC - Development Management v. 1
Plan Reviewer: Olofu Agbaji - (816) 513-8815
Completed Date: 11/08/2023
Review Status: Not Approved
General Comment:

- 0. Correction: Consolidate all plans into one set.
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
1. Correction: Remove Sheets G201, G211, A302 - A802 .
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
2. Correction: Name of Plan set should be "Shiraz Condominium Development Plan/ Preliminary Plat".
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
3. Correction: Add plan revision dates to the plan set.
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
4. Correction: Provide a "Preliminary Plat" sheet showing how each lot/ unit will be served from public utilities.
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No

## Corrections Report

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5. Correction:	Provide all information required for Development Plan and Preliminary plat as outlined on the Director's Minimum Submittal checklist. Please execute the "Acknowledgment Page" and upload to the system. Make sure to include all the necessary information beyond the few corrections I have noted. Also make sure to update the Development Data to provide all the information required by #28 (a-m).
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
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6. Correction:	Show underlying platted lot info on preliminary plat sheet.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
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7. Correction:	Show reciprocal cross access easement (book and page number) for W. 49th Street as the only access to serve the parcel to the north and east of the subject parcel.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
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8. Correction:	Show vacated right of way of W. 49th Street with vacation ordinance information on the face of the plan.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
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9. Correction:	Show internal sidewalks connection from Sunset Drive extended to terminus of W. 49th Street.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
10. Correction:	Show all building and parking setbacks and dimensions on Sheet A001.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
11. Correction:	Provide property legal description in word document format.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
12. Correction:	Revise title to read Replat of Lots 1&2 Arnold Place and unplatted/vacated portions of W. 49th Street right of way.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
13. Correction:	Show location of all existing public utilities adjacent to the existing project parcel. Clearly show each lot and how they will be served by these utilities.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
14. Correction:	Revise plan to show separate water service lines to existing the duplex. Provide individual water service lines for each unit (up and down).
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
15. Correction:	Show single service line to be properly abandon in lieu of the two new lines.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
16. Correction:	Clearly show phasing plan with expected entitlement per phase.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
17. Correction:	Revise plan to provide acceptable turn around at the terminus of W. 49th Street. Provide turning template per approval by KCFD.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
18. Correction:	Call out any request for waiver, deviation and modification to the subdivision regulations.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No

## Corrections Report

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19. Correction:	Call out any request for deferment or desire to post bonds in lieu of constructions of public improvements.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
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20. Correction:	Identification and written dimensions of the width from centerline and total width of existing perimeter and interior streets, other rights-of-way, and proposed/existing easements.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
21. Correction:	Identification and written dimensions of the total width of pavement of existing streets and drives.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
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22. Correction:	Existing and proposed medians, thru-lanes, turn lanes, sidewalks, trails, and other vertical or horizontal obstructions within the public right-of-way and all other pertinent information necessary to understand of conditions in the right-of-way.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
<hr/>	
23. Correction:	Location and dimensions of the widths of existing or proposed private vehicular access into the property from perimeter streets and location of existing or approved accesses on properties adjacent or opposite the property, with off-set dimension from the centerlines of such streets and private access.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
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24. Correction:	Show existing conditions of surrounding property within 300 feet, including: properties with ownership, lots including lot numbers and use, rights-of-way and streets with labels. For properties which abut the subject property (i.e physically touching the subject property or lying on the opposite side of the right-of-way), include building footprint on abutting property with approximate dimension from the shared property line.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
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25. Correction:	Provide preliminary landscape plan sheet depicting foundation plantings and any streetscape along W. 49th Street.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No

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Item Review: DRC - Fire Department v. 1  
Plan Reviewer: Michael Schroeder - (816) 513-4604  
[michael.schroeder@kcmo.org](mailto:michael.schroeder@kcmo.org)  
Completed Date: 11/01/2023  
Review Status: Not Approved  
General Comment:

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0. Correction:	Shall show sight access. Will also need a turn around for distance.
Correction Information:	Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No

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Item Review: DRC - Land Development Division v. 1  
Plan Reviewer: Terry Thomas - (816) 513-2510  
[Terry.A.Thomas@kcmo.org](mailto:Terry.A.Thomas@kcmo.org)

## Corrections Report

Completed Date: 11/01/2023  
Review Status: Recommend Approval with Conditions  
General Comment:

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Item Review: DRC - Long Range Planning v. 1  
Plan Reviewer: Susan Cronander - (816) 513-2889  
[susan.cronander@kcmo.org](mailto:susan.cronander@kcmo.org)

Completed Date: 11/03/2023  
Review Status: Not Approved  
General Comment:

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Item Review: DRC - Mobility v. 1  
Plan Reviewer: Bailey Waters - (816) 513-2791  
[bailey.waters@kcmo.org](mailto:bailey.waters@kcmo.org)

Completed Date: 10/30/2023  
Review Status: Approved  
General Comment:

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Item Review: DRC - Parks Department v. 1  
Plan Reviewer: Justin Peterson - (816) 513-7599  
[Justin.Peterson@kcmo.org](mailto:Justin.Peterson@kcmo.org)

Completed Date: 10/31/2023  
Review Status: Not Approved  
General Comment:

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0. Correction: Please confirm how the developer intends to satisfy the parkland dedication requirements of 88-408 with this project.  
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
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Item Review: DRC - Police v. 1  
Plan Reviewer: Lisa Sidenstick - (816) 234-5530  
[Lisa.Sidenstick@kcmo.org](mailto:Lisa.Sidenstick@kcmo.org)

Completed Date: 11/01/2023  
Review Status: Not Approved  
General Comment:

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0. Correction: KCPD  
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No
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## Corrections Report

Item Review: DRC - Public Works - Plan Review v. 1  
Plan Reviewer: Sam Akula - (816) 513-9861  
[sam.akula@kcmo.org](mailto:sam.akula@kcmo.org)  
Completed Date: 10/31/2023  
Review Status: Approved  
General Comment:

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Item Review: DRC - Public Works - Transportation v. 1  
Plan Reviewer: Sam Akula - (816) 513-9861  
[sam.akula@kcmo.org](mailto:sam.akula@kcmo.org)  
Completed Date: 10/31/2023  
Review Status: Approved  
General Comment:

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Item Review: DRC - Water Services - Permitting v. 1  
Plan Reviewer: Heather Massey - (816) 513-2111  
[heather.massey@kcmo.org](mailto:heather.massey@kcmo.org)  
Completed Date: 11/01/2023  
Review Status: Not Approved  
General Comment:

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0. Correction: Please Provide a Utility Plan Sealed by a Registered Engineer (Architect Seals aren't accepted) in the State of Missouri Showing the Sizes of the Existing & Proposed Easements, Water Mains, Domestic & Fire Service Lines, Kills & Meter Locations.  
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No

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Item Review: DRC - Water Services - Sewer v. 1  
Plan Reviewer: Lucas Kaspar - (816) 513-2131  
[Lucas.Kaspar@kcmo.org](mailto:Lucas.Kaspar@kcmo.org)  
Completed Date: 11/01/2023  
Review Status: Not Approved  
General Comment:

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0. Correction: Utility Plan  
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No

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Item Review: DRC - Water Services - Stormwater v. 1  
Plan Reviewer: Lucas Kaspar - (816) 513-2131  
[Lucas.Kaspar@kcmo.org](mailto:Lucas.Kaspar@kcmo.org)

## Corrections Report

Completed Date: 11/01/2023  
Review Status: Not Approved  
General Comment:

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0. Correction: Storm Water Detention  
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No

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1. Correction: Storm Water Detention and Conveyance  
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No

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Item Review: DRC - Water Services - Water v. 1  
Plan Reviewer: Kirk Rome - (816) 513-0368  
[kirk.rome@kcmo.org](mailto:kirk.rome@kcmo.org)  
Completed Date: 11/01/2023  
Review Status: Not Approved  
General Comment:

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0. Correction: Water distribution mains  
Correction Information: Created Date: 10/23/2023 - Electronic Markup: No - Resolved: No

### CPDM - Plan Review - MPD/UR Preliminary

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Item Review: DRC - Building Plans Review v. 2  
Plan Reviewer: Ray Rhodes - (816) 513-1487  
[Raymund.rhodes@kcmo.org](mailto:Raymund.rhodes@kcmo.org)  
Completed Date: 06/07/2024  
Review Status: Review Period Expired - Pass  
General Comment:

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Item Review: DRC - Development Management v. 2  
Plan Reviewer: Olofu Agbaji - (816) 513-8815  
[Olofu.Agbaji@kcmo.org](mailto:Olofu.Agbaji@kcmo.org)  
Completed Date: 05/30/2024  
Review Status: Not Approved  
General Comment:

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9. Correction: Show internal sidewalks connection from Sunset Drive extended to terminus of W. 49th Street.  
Correction Information: Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No

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11. Correction: Provide property legal description in word document format.  
Correction Information: Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No

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12. Correction: Revise title to read Replat of Lots 1&2 Arnold Place and unplatted/vacated portions of W. 49th Street right of way.  
Correction Information: Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No

## Corrections Report

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14. Correction:	Revise plan to show separate water service lines to existing the duplex. Provide individual water service lines for each unit (up and down).
Correction Information:	Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No
15. Correction:	Show single service line to be properly abandon in lieu of the two new lines.
Correction Information:	Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No
16. Correction:	Clearly show phasing plan with expected entitlement per phase.
Correction Information:	Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No
17. Correction:	Revise plan to provide acceptable turn around at the terminus of W. 49th Street. Provide turning template per approval by KCFD.
Correction Information:	Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No
18. Correction:	Call out any request for waiver, deviation and modification to the subdivision regulations.
Correction Information:	Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No
19. Correction:	Call out any request for deferment or desire to post bonds in lieu of constructions of public improvements.
Correction Information:	Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No
25. Correction:	Provide preliminary landscape plan sheet depicting foundation plantings and any streetscape along W. 49th Street.
Correction Information:	Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No

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Item Review: DRC - Fire Department v. 2  
Plan Reviewer: Michael Schroeder - (816) 513-4604  
[michael.schroeder@kcmo.org](mailto:michael.schroeder@kcmo.org)  
Completed Date: 05/02/2024  
Review Status: Approved, Subject to Conditions  
General Comment:

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Item Review: DRC - Long Range Planning v. 2  
Plan Reviewer: Susan Cronander - (816) 513-2889  
[susan.cronander@kcmo.org](mailto:susan.cronander@kcmo.org)  
Completed Date: 05/28/2024  
Review Status: Approved, Subject to Conditions  
General Comment:

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Item Review: DRC - Parks Department v. 2  
Plan Reviewer: Richard Sanchez - (816) 513-7678  
[Richard.Sanchez@kcmo.org](mailto:Richard.Sanchez@kcmo.org)

## Corrections Report

Completed Date: 05/31/2024  
Review Status: Not Approved  
General Comment:

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1. Correction: Provide the following language on the plat: PAYMENT IN LIEU OF PARKLAND: The developer elects to pay the City of Kansas City, Missouri, a sum of \$5,779.81 in lieu of required parkland dedicating for 5 attached residential units pursuant to Section 88-408-C of the Zoning and Development Code.  
Correction Information: Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No
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Item Review: DRC - Police v. 2  
Plan Reviewer: Jeffrey Krebs - (816) 234-5530  
[Jeffrey.Krebs@kcmo.org](mailto:Jeffrey.Krebs@kcmo.org)  
Completed Date: 05/02/2024  
Review Status: Recommend Approval with Conditions  
General Comment:

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Item Review: DRC - Water Services - Permitting v. 2  
Plan Reviewer: Heather Massey - (816) 513-2111  
[heather.massey@kcmo.org](mailto:heather.massey@kcmo.org)  
Completed Date: 05/03/2024  
Review Status: Approved, Subject to Conditions  
General Comment:

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Item Review: DRC - Water Services - Sewer v. 2  
Plan Reviewer: Lucas Kaspar - (816) 513-2131  
[Lucas.Kaspar@kcmo.org](mailto:Lucas.Kaspar@kcmo.org)  
Completed Date: 05/02/2024  
Review Status: Approved  
General Comment:

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Item Review: DRC - Water Services - Stormwater v. 2  
Plan Reviewer: Lucas Kaspar - (816) 513-2131  
[Lucas.Kaspar@kcmo.org](mailto:Lucas.Kaspar@kcmo.org)  
Completed Date: 05/02/2024  
Review Status: Not Approved  
General Comment:

## Corrections Report

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2. Correction: Storm under drain and trench drain should not cross property line. Revise accordingly.  
Correction Information: Created Date: 05/01/2024 - Electronic Markup: No - Resolved: No

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Item Review: DRC - Water Services - Water v. 2  
Plan Reviewer: Kirk Rome - (816) 513-0368  
[kirk.rome@kcmo.org](mailto:kirk.rome@kcmo.org)  
Completed Date: 05/02/2024  
Review Status: Approved, Subject to Conditions  
General Comment:

### CPDM - Plan Review - MPD/UR Preliminary

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Item Review: DRC - Development Management v. 3  
Plan Reviewer: Olofu Agbaji - (816) 513-8815  
[Olofu.Agbaji@kcmo.org](mailto:Olofu.Agbaji@kcmo.org)  
Completed Date: 07/03/2024  
Review Status: Not Approved  
General Comment:

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11. Correction: Provide property legal description in word document format.  
Correction Information: Created Date: 06/25/2024 - Electronic Markup: No - Resolved: No

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12. Correction: Revise title to read Replat of Lots 1&2 Arnold Place and unplatted/vacated portions of W. 49th Street right of way.  
Correction Information: Created Date: 06/25/2024 - Electronic Markup: No - Resolved: No

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14. Correction: Revise plan to show separate water service lines to existing the duplex. Provide individual water service lines for each unit (up and down).  
Correction Information: Created Date: 06/25/2024 - Electronic Markup: No - Resolved: No

---

15. Correction: Show single service line to be properly abandon in lieu of the two new lines.  
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16. Correction: Clearly show phasing plan with expected entitlement per phase.  
Correction Information: Created Date: 06/25/2024 - Electronic Markup: No - Resolved: No

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18. Correction: Call out any request for waiver, deviation and modification to the subdivision regulations.  
Correction Information: Created Date: 06/25/2024 - Electronic Markup: No - Resolved: No

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19. Correction: Call out any request for deferment or desire to post bonds in lieu of constructions of public improvements.  
Correction Information: Created Date: 06/25/2024 - Electronic Markup: No - Resolved: No

---

25. Correction: Provide preliminary landscape plan sheet depicting foundation plantings and any streetscape along W. 49th Street.  
Correction Information: Created Date: 06/25/2024 - Electronic Markup: No - Resolved: No

## Corrections Report

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Item Review: DRC - Long Range Planning v. 3  
Plan Reviewer: Luke Ranker - (816) 513-2802  
[Luke.Ranker@kcmo.org](mailto:Luke.Ranker@kcmo.org)  
Completed Date: 07/02/2024  
Review Status: Not Approved  
General Comment:

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Item Review: DRC - Parks Department v. 3  
Plan Reviewer: Richard Sanchez - (816) 513-7678  
[Richard.Sanchez@kcmo.org](mailto:Richard.Sanchez@kcmo.org)  
Completed Date: 07/02/2024  
Review Status: Not Approved  
General Comment:

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1. Correction: Provide the following language on the plat: PAYMENT IN LIEU OF PARKLAND: The developer elects to pay the City of Kansas City, Missouri, a sum of \$5,779.81 in lieu of required parkland dedicating for 5 attached residential units pursuant to Section 88-408-C of the Zoning and Development Code.  
Correction Information: Created Date: 06/25/2024 - Electronic Markup: No - Resolved: No
- 

Item Review: DRC - Water Services - Stormwater v. 3  
Plan Reviewer: Lucas Kaspar - (816) 513-2131  
[Lucas.Kaspar@kcmo.org](mailto:Lucas.Kaspar@kcmo.org)  
Completed Date: 06/28/2024  
Review Status: Not Approved  
General Comment:

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2. Correction:  
Correction Information: Created Date: 06/25/2024 - Electronic Markup: No - Resolved: No
-



## Plan Conditions

Report Date: July 31, 2024

Case Number: CD-CPC-2023-00159

Project: Shiraz Condo Development Plan

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*Condition(s) by City Planning and Development Department. Contact Justin Smith at (816) 513-8823 / [justin.smith@kcmo.org](mailto:justin.smith@kcmo.org) with questions.*

1. That prior to ordinance request, the applicant satisfy all the corrections in the attached corrections report.

*Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at (816) 513-8815 / [Olofu.Agbaji@kcmo.org](mailto:Olofu.Agbaji@kcmo.org) with questions.*

2. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
3. That the developer provide reciprocal cross access easement to serve the parcel to the north and east of the subject parcel. Show book and page number on the face of the plan.
4. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
5. The developer shall secure approval of a streetscape plan from Development Management Division staff prior to building permit. The plan shall include all vertical and horizontal obstructions within and adjacent to the right-of-way along the project frontage including but not limited to signage, sidewalks, driveways, landscaping, etc. and shall demonstrate compliance with applicable policies and regulations.
6. That the plan be revised to provide the following conditions prior to ordinance request:
  - a) Consolidate all plans into one set (civil and architectural). Make sure to provide a unified index sheet on the cover sheet.
  - b) That the developer provide reciprocal cross access easement to serve the parcel to the north and east of the subject parcel. Show book and page number on the face of the plan.
  - c) Clearly show phasing plan with expected entitlement per phase. The expectation is to do a minor subdivision as phase 1 to split the existing duplex into two for sale units. The three new units will be applied for after the foundation is poured.
  - d) Provide property legal description in word document format.
  - e) Provide preliminary landscape plan sheet depicting foundation plantings and any streetscape along W. 49th Street.
7. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / [michael.schroeder@kcmo.org](mailto:michael.schroeder@kcmo.org) with questions.*

- 8.
- 9.
- 10.
- 11.
- 12.

*Condition(s) by KCPD. Contact Jeffrey Krebs at (816)234-5530 / [Jeffrey.Krebs@kcmo.org](mailto:Jeffrey.Krebs@kcmo.org) with questions.*

- 13.

*Condition(s) by KCPD. Contact Lisa Sidenstick at (816)234-5530 / [Lisa.Sidenstick@kcmo.org](mailto:Lisa.Sidenstick@kcmo.org) with questions.*

*Condition(s) by KCPD. Contact Lisa Sidenstick at (816)234-5530 / Lisa.Sidenstick@kcmo.org with questions.*

14.

15.

*Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.*

16. The developer shall be responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the 2023 acquisition rate of \$64,220.18 per acre. This requirement shall be satisfied prior to certificate of occupancy.

*Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / Richard.Sanchez@kcmo.org with questions.*

17. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way

*Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

18. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.

19. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

20. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.

21. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system and manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted, and the developer shall secure permits to construct any improvements required by the Land Development Division prior to recording the plat.

22. The developer shall construct temporary off-site cul-de-sacs and grant a city approved temporary cul-de-sac easement, for that portion outside of the dedicated street right-of-way, to the City as required by the Land Development Division, prior to recording the plat.

23. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.

24. The developer shall submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval for the maintenance of private open space and enter into a covenant agreement for the maintenance of any stormwater detention area tracts, prior to recording the plat.

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

25. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.

<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

26. No water service tap permits will be issued until the public water main is released for taps.

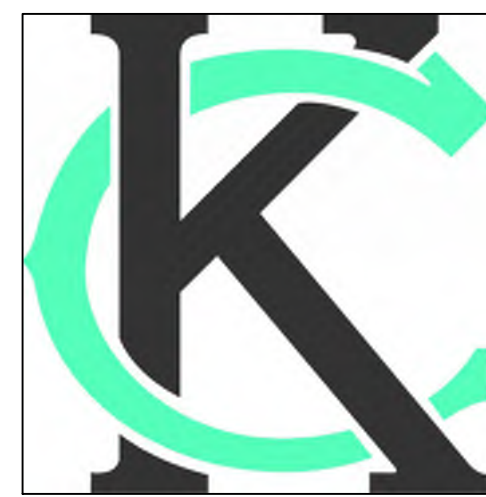
27. Water/Sewer Service lines shall serve only one lot or tract and shall not cross a separate lot or tract.

28. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact - Bryan Wagner 816-513-0275  
North of River contact - Pedro Colato 816-513-4892

*Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.*

29.



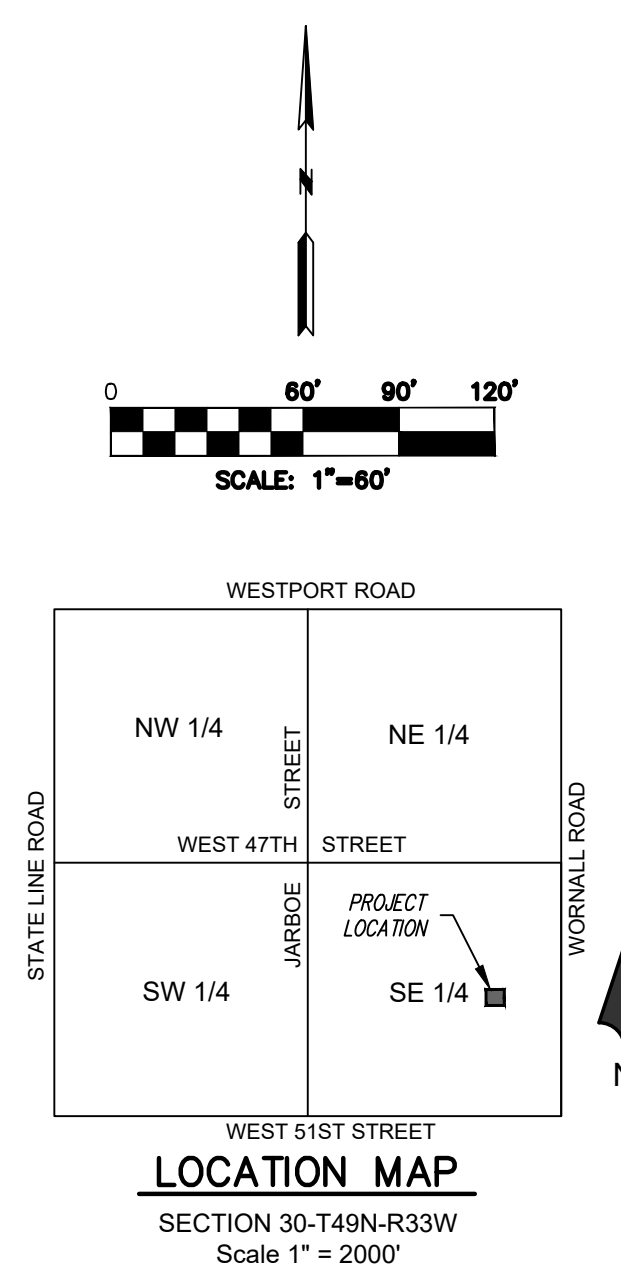
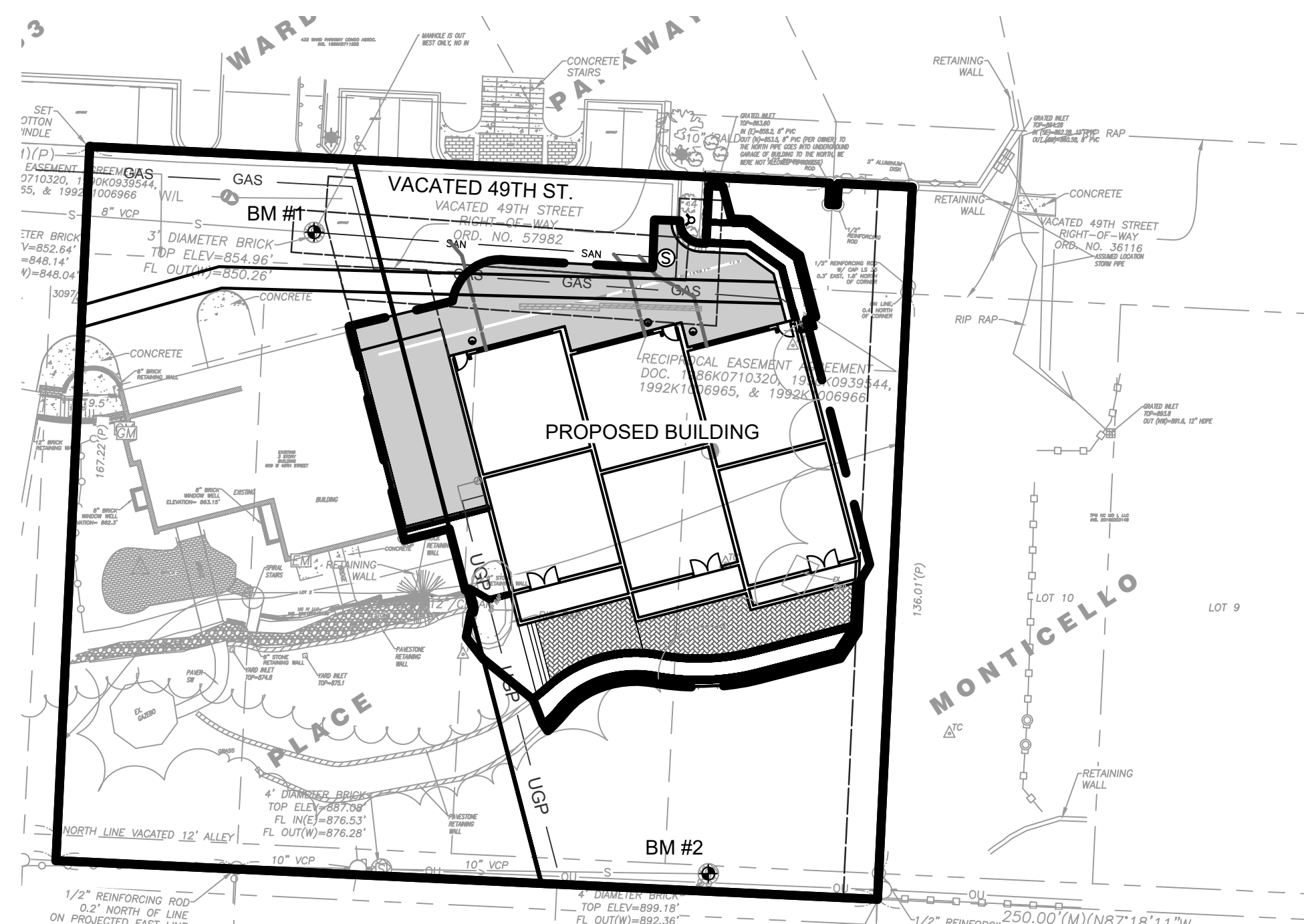


# SHIRAZ CONDOMINIUMS PRELIMINARY DEVELOPMENT PLANS / PLAT

A REPLAT OF LOT TWO, ARNOLD PLACE AND UNPLATTED / VACATED  
PORTIONS OF 49TH STREET RIGHT-OF-WAY  
KANSAS CITY, JACKSON COUNTY, MISSOURI

## FINAL DEVELOPMENT PLANS

FILE NUMBER 2023-234 / PROJECT NUMBER CRBG-2023-30984



### CIVIL INDEX OF SHEETS

#### GENERAL PLANS

- C0.01 CIVIL GENERAL NOTES
- C0.02 EXISTING CONDITIONS

#### SITE PLANS

- C1.01 SITE DIMENSION PLAN
- C1.02 SITE GRADING PLAN
- C1.03 SITE UTILITY PLAN
- C1.04 FIRE TRUCK TURNING TEMPLATE

#### LANDSCAPE PLAN

- C2.01 LANDSCAPE PLAN

#### MISCELLANEOUS DETAILS

- C3.01 MISCELLANEOUS DETAILS

### GENERAL STANDARD NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE KCMO PUBLIC WORKS DEPARTMENTS STANDARDS AND SPECIFICATIONS AND DESIGN CRITERIA AND APWA, KC, FOR CONSTRUCTION OF THE KANSAS CITY, MISSOURI PUBLIC WORKS DEPARTMENT (KCPWD).
- THE LOCATIONS OF EXISTING UTILITIES, AS SHOWN, ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES. CONTRACTORS SHALL POTHOLE AND EXPOSE ALL UTILITIES (INDICATED ON THE DRAWINGS, LOCATED AT GRADE BY A UTILITY LOCATING SERVICE, OR EVIDENT FROM UTILITY COMPANY INFORMATION) AT LEAST 500 FEET IN ADVANCE OF WATER MAIN CONSTRUCTION, DETERMINING THE DEPTH, SIZE, AND MATERIAL OF THE UTILITIES IN PROXIMITY TO THE PROPOSED WATER MAIN ALIGNMENT. CONTRACTOR SHALL PROVIDE THIS INFORMATION TO THE ENGINEER & ADVISE OF ANY POTENTIAL CONFLICTS WITH THE PROPOSED PIPELINE ALIGNMENT. DEFLECT PIPE TO MAINTAIN MINIMUM 5 FEET HORIZONTAL AND 18 INCH VERTICAL CLEARANCES BETWEEN PROPOSED WATER MAIN AND ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL COMPLY WITH STATE LAW REQUIRING ANY PERSON OR FIRM DOING EXCAVATION ON THE PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO AND OBTAINING INFORMATION FROM UTILITY COMPANIES.
- AN EXCAVATION PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY. CONTACT THE PUBLIC WORKS DEPARTMENT PERMIT COUNTER AT CITY HALL.
- A STREET CLOSURE PERMIT MAY BE REQUIRED FOR THIS WORK. CONTACT THE PUBLIC WORKS DEPARTMENT PERMIT COUNTER AT CITY HALL.
- ALL WORK SHALL CONFORM TO THE LATEST REVISION OF THE KANSAS CITY, MISSOURI EROSION AND SEDIMENT CONTROL SPECIFICATIONS, WHICH ARE MADE A PART HEREOF BY REFERENCE. EROSION CONTROL PLANS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO THE START OF THIS PROJECT.
- CONTRACTORS SHALL PROTECT EXISTING POWER POLES AND LIGHT POLES FROM DAMAGE AND SHALL PROVIDE BRACING, SHORING, OR OTHER WORK NECESSARY FOR SUCH PROTECTION. ANY STRUCTURES REMOVED DURING CONSTRUCTION OPERATIONS SHALL BE REPLACED.
- ANY EXISTING STRUCTURE, YARD FEATURE, FENCE OR OTHER ITEM DAMAGED BY THE CONTRACTOR SHALL BE REPLACED OR REPAIRED TO LIKE OR BETTER CONDITION. THERE WILL BE NO SEPARATE PAYMENT FOR THIS WORK.
- ANY EXISTING YARD STRUCTURE WITHIN THE STREET RIGHT-OF-WAY SHALL BE REMOVED AS NECESSARY DURING CONSTRUCTION, UNLESS OTHERWISE NOTED. OTHER STRUCTURES MAY BE RELOCATED TO A DIFFERENT LOCATION IF AGREED UPON BY THE PROPERTY OWNER AND THE ENGINEER.
- EROSION CONTROL PLANS AND PROCEDURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION. CONTRACTOR TO REFER TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED BY DESIGN ENGINEER FOR THIS PROJECT. A COPY OF THE SWPPP CAN BE FOUND IN THE PROJECT DOCUMENTS.
- SURFACE RESTORATION FOR THE AREAS NOT PAVED OR LANDSCAPED SHALL BE WITH SOD OR SEED. AREAS WITH ESTABLISHED MOWED LAWNS SHALL BE SODDED. ALL OTHER AREAS THAT ARE NOT PAVED OR LANDSCAPED SHALL BE SODDED. SODDING SHALL BE IN ACCORDANCE WITH SECTION 02931 - SODDING AND SEEDING SHALL BE IN ACCORDANCE WITH SECTION 02930 - SEEDING OF THE PROJECT MANUAL.
- ALL RIGHT-OF-WAY MONUMENTS SHALL NOT BE DISTURBED OR DESTROYED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND RESETTING ALL DISTURBED PROPERTY CORNER MARKERS. THERE WILL BE NO SEPARATE PAYMENT FOR THIS WORK.
- CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO SAVE ANY BUSHES, TREES, EXISTING STRUCTURE, YARD FEATURE OR OTHER ITEM. ANY ITEM DAMAGED BY THE CONTRACTOR SHALL BE REPLACED OR REPAIRED TO LIKE NEW OR BETTER CONDITION. THERE WILL BE NO SEPARATE PAYMENT FOR THIS WORK.
- THE CONTRACTOR SHALL PROVIDE & MAINTAIN TEMPORARY SURFACING CAPABLE TO SUPPORTING HEAVY WHEELED TRAFFIC (E.G., UNTREATED COMPACT AGGREGATE, STEEL PLATES) IN ANY PAVED AREAS CUT OR DISTURBED UNTIL CONCRETE OR ASPHALT CAN BE PLACED.
- ALL PAVED SURFACES THAT ARE EITHER COMPRISED OF CONCRETE OR ASPHALT (E.G., STREETS, DRIVEWAYS, PARKING LOTS, ETC.) THAT ARE REMOVED BY THIS CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH SECTION 02575 - SURFACE RESTORATION OF THE PROJECT MANUAL AND THE CURRENT "STREET CUT RESTORATION" STANDARD DRAWING SR-1.

### PROPERTY DESCRIPTION:

#### OVERALL BOUNDARY:

ALL OF LOT TWO, ARNOLD PLACE, A RESURVEY AND RESUBDIVISION OF ALL OF LOT 1, ARNOLD PLACE CONDOMINIUM, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI LOCATED IN SECTION 30, TOWNSHIP 49 NORTH, RANGE 33 WEST.

### UTILITY CONTACTS

AT&T.....	1-800-246-8464
LUMEN.....	1-800-283-4237
CONSOLIDATED.....	844-968-7224
COMCAST.....	800-391-3000
FIDELITY COMMUNICATIONS.....	800-392-8070
GOOGLE FIBER NOC.....	1-866-954-1572
KCMO PARKS & RECREATION.....	816-513-7500
KCMO STREET AND TRAFFIC DIVISION.....	816-513-0421
KCMO STREET LIGHTING/ BLACK & MCDONALD.....	816-483-0257
KCMO WATER SERVICES DEPT DISPATCHER.....	816-513-1313
KCMO WATER SERVICES POLLUTION CONTROL.....	816-513-1313
EVERGY.....	888-544-4852
LEVEL 3.....	877-2LEVEL3
MAGELLAN MIDSTREAM PARTNERSHIP LP.....	800-720-2417
SPIRE.....	800-582-0000
MISSOURI DEPARTMENT OF TRANSPORTATION.....	888-275-6636
MISSOURI ONE-CALL.....	800-344-7483
SOUTHERN STAR CGP.....	800-324-9696
SINCLAIR TRANSPORTATION.....	800-321-3994
T-MOBILE.....	800-521-0579
SUREWEST.....	913-825-3000
SPECTRUM.....	833-493-4939
TRI COUNTY WATER.....	816-796-4100
TW TELECOM.....	800-829-0420
UNITE PRIVATE NETWORKS.....	866-963-4237
VERIZON/ MCI COMMUNICATIONS INC.....	800-624-9675
ZAYO.....	866-236-2824



1 - 800 - 344 - 7483  
1 - 800 - (DIG-RITE)  
(811)

### LEGEND

	Existing Section Line		Proposed Right-of-Way
	Existing Right-of-Way Line		Proposed Property Line
	Existing Lot Line		Proposed Lot Line
	Existing Easement Line		Proposed Easement
	Existing Curb & Gutter		Proposed Curb & Gutter
	Existing Sidewalk		Proposed Sidewalk
	Existing Storm Sewer		Proposed Storm Sewer
	Existing Storm Structure		Proposed Storm Structure
	Existing Waterline		Proposed Fire Hydrant
	Existing Gas Main		Proposed Waterline
	Existing Sanitary Sewer		Proposed Sanitary Sewer
	Existing Sanitary Manhole		Proposed Sanitary Manhole
	Existing Light Pole		Proposed Light Pole
	Existing Contour Major		Proposed Contour Major
	Existing Contour Minor		Proposed Contour Minor
	Future Curb & Gutter		

### NOTE:

- According to the F.E.M.A. Flood Insurance Rate Map Number 29095C0261G, Revised January 20, 2017, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside of 0.2% annual chance floodplain. Base flood elevations have been determined.
- There are no oil or gas wells located on the subject property as of January 30, 2024 as shown by the Missouri Geological Survey GEOSTRAT (Geosciences Technical Resource Assessment Tool).

### PROJECT BENCHMARKS:

#1 CENTER OF EXISTING SANITARY SEWER MANHOLE APPROX. 53 FEET EAST AND APPROX. 17 FEET NORTH OF THE NORTHWEST CORNER OF LOT TWO, ARNOLD PLACE.  
N: 1045774.72 E: 2781912.48  
TOP ELEV. 854.98

#2 CENTER OF EXISTING SANITARY SEWER MANHOLE APPROX. 40 FEET WEST AND APPROX. 5 FEET NORTH OF THE SOUTHEAST CORNER OF LOT TWO, ARNOLD PLACE.  
N: 1045628.74 E: 2782004.60  
TOP ELEV. 859.18

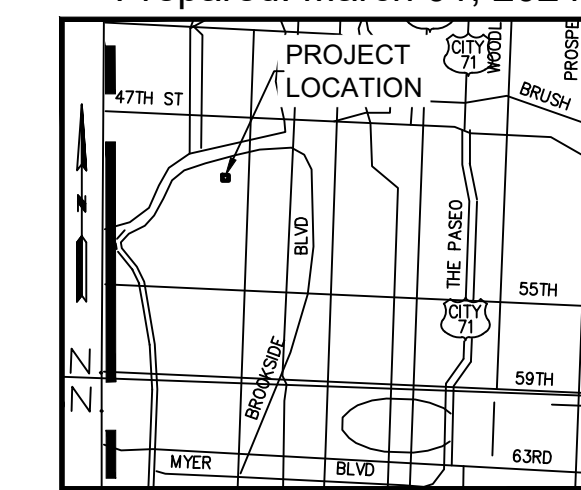
#### DEVELOPER

UC IV, LLC  
3930 WASHINGTON STREET  
KANSAS CITY, MO. 64111  
(913) 526-6833  
CONTACT - AHMED AWAD  
DRAWAD@KCKIDNEY.COM

#### ENGINEER

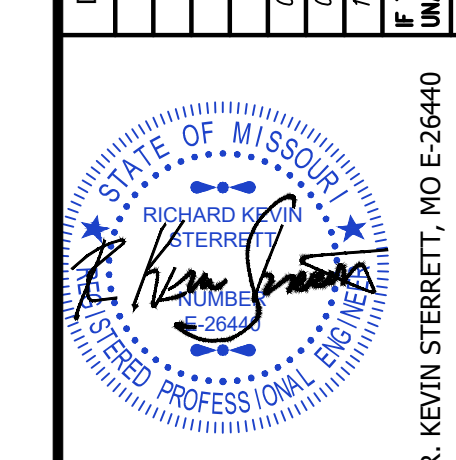
Hg CONSULT, INC.  
1411 NE TODD GEORGE RD.  
LEE'S SUMMIT, MISSOURI 64086  
(816) 703-7098  
CONTACT - KEVIN STERRETT  
EMAIL: KSTERRETT@HGCONS.COM

Prepared: March 01, 2024



**VICINITY MAP**  
NOT TO SCALE

NO.	BY	DATE	REVISION
1	SW	06/16/24	PER CITY'S COMMENTS
2	SW	07/29/24	PER CITY'S COMMENTS
1	SW	11/08/24	SUBMITTED TO CITY OF KANSAS CITY



**g Consult Inc**  
engineers  
planners

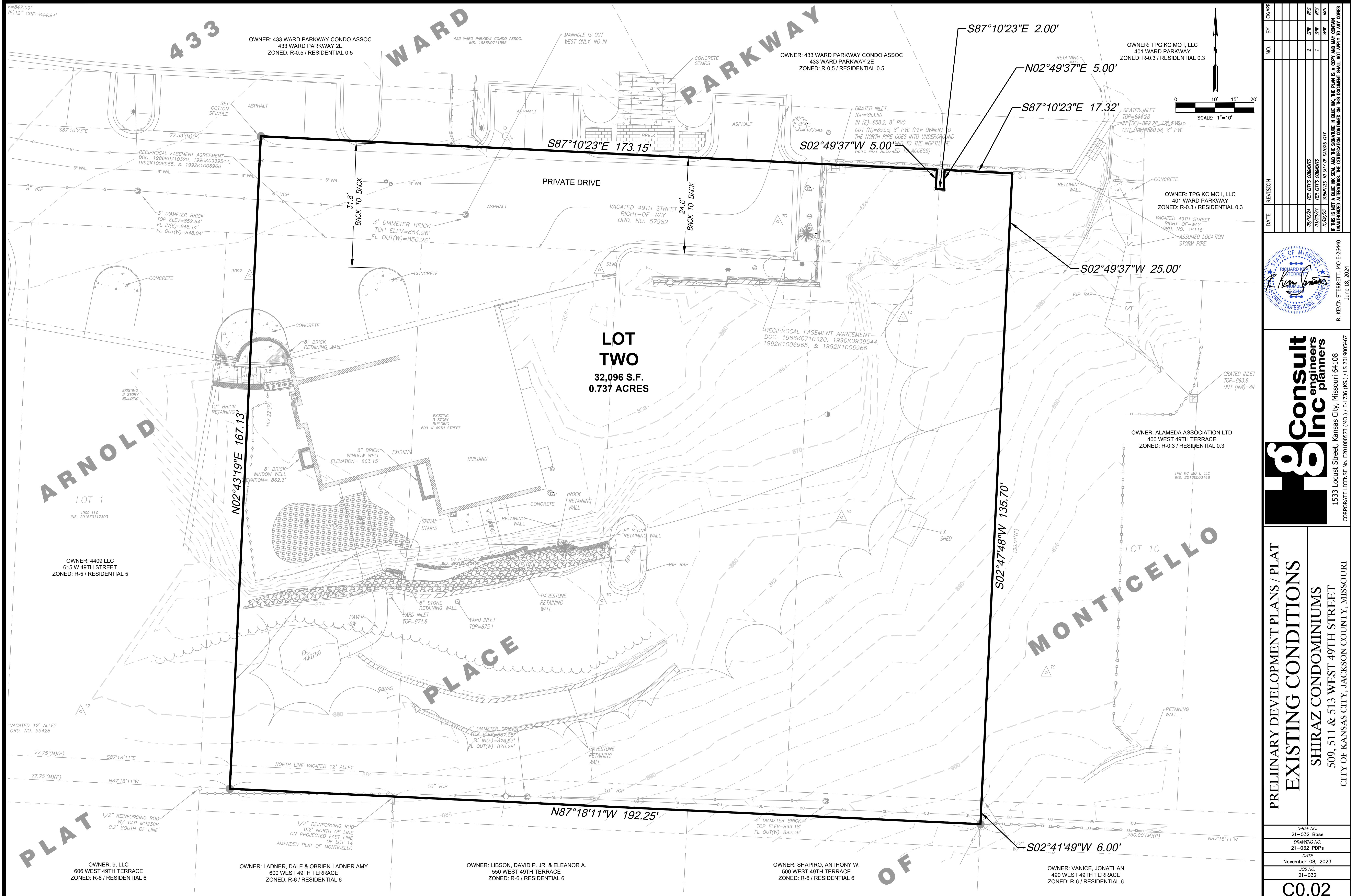
1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE NO. E20100573 (MO.) / E-1736 (KS.) / LS 2019005467

PRELIMINARY DEVELOPMENT PLANS / PLAT  
CIVIL GENERAL NOTES

SHIRAZ CONDOMINIUMS  
509, 511 & 513 WEST 49TH STREET  
CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

X-REF NO. 21-032 Base  
DRAWING NO. 21-032 PDPs  
DATE November 08, 2023  
JOB NO. 21-032

**C0.01**



NO.	BY	DATE	REVISION
1	SW	08/2023	PER CITY'S COMMENTS
2	SW	08/2023	PER CITY'S COMMENTS
3	SW	08/2023	SUBMITTED TO CITY OF KANSAS CITY
4	SW	08/2023	PER CITY'S COMMENTS

STATE OF MISSOURI  
 RICHARDSON  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 201905467  
 June 18, 2024

**g Inc**  
**consult Inc**  
 engineers planners  
 1533 Locust Street, Kansas City, Missouri 64108  
 CORPORATE LICENSE NO. E20100573 (MO.) / E-1736 (KS.) / LS 201905467

PRELIMINARY DEVELOPMENT PLANS / PLAT  
 EXISTING CONDITIONS  
 SHIRAZ CONDOMINIUMS  
 509, 511 & 513 WEST 49TH STREET  
 CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

X-REF NO. 21-032 Base  
 DRAWING NO. 21-032 PDPs

DATE November 08, 2023  
 JOB NO. 21-032

**C0.02**

433

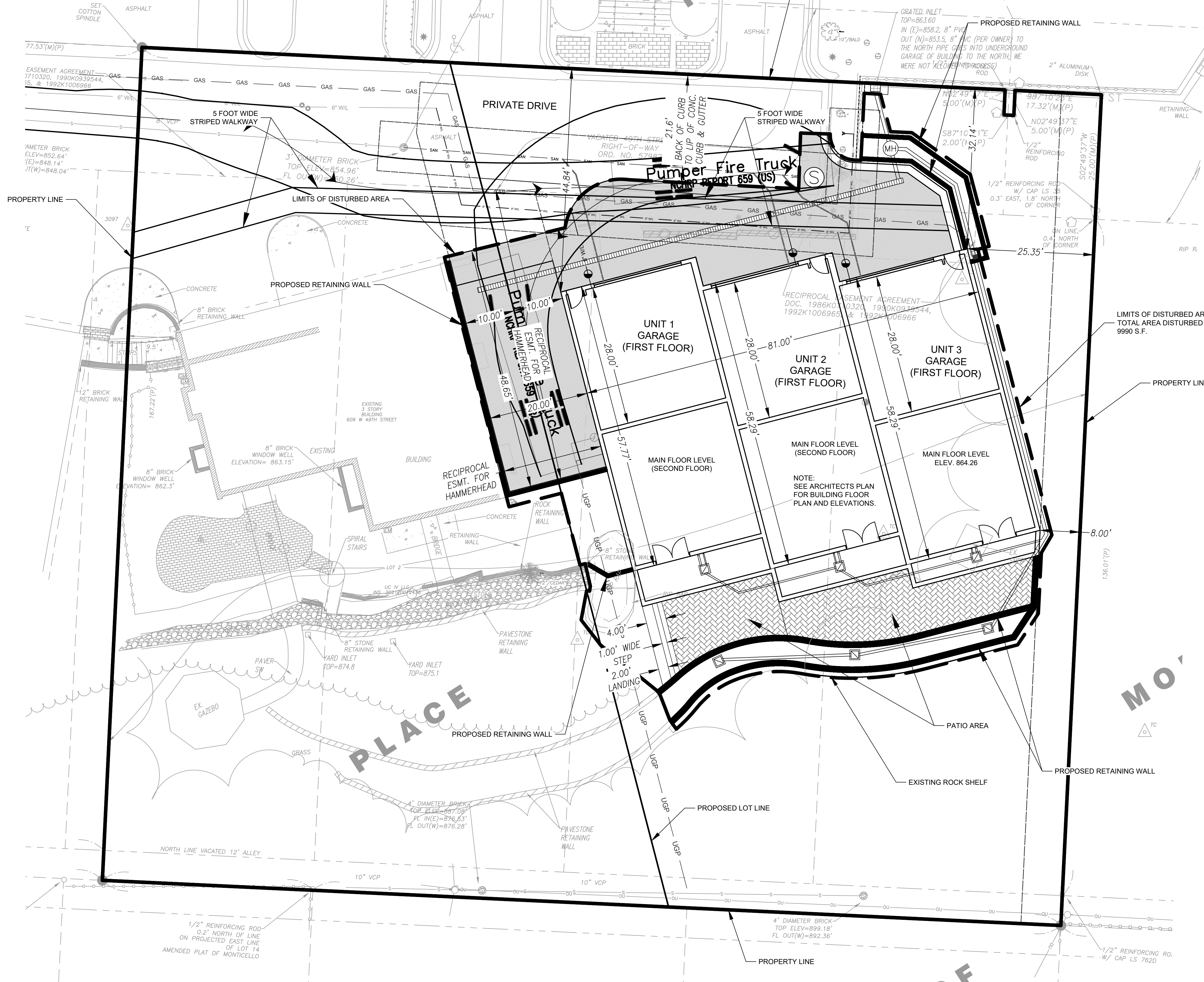
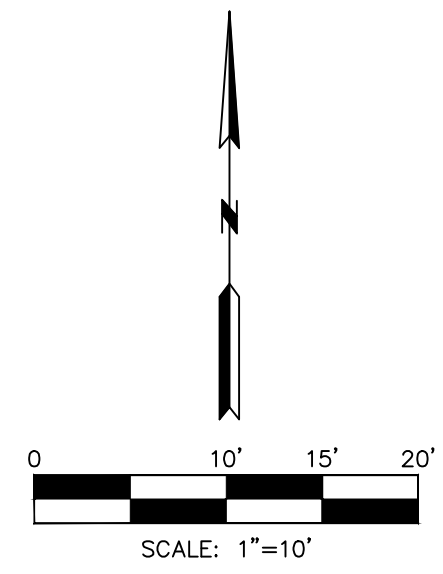
# WARD PARKWAY

433 WARD PARKWAY CONDO ASSOC.  
INS. 1986K0711555

MANHOLE IS OUT  
WEST ONLY, NO IN

CONCRETE STAIRS

PROPERTY LINE



### PROJECT SUMMARY:

EXISTING ZONING: R-5 / RESIDENTIAL 5  
 PROPOSED ZONING: R-5 / RESIDENTIAL 5  
 EXISTING LAND USE: R-5 / RESIDENTIAL 5  
 TOTAL BOUNDARY AREA: LOT TWO: 32,096 S.F. / 0.737 ACRES  
 LOT AREA AFTER SPLIT OF LOT TWO:  
 LOT 2A: GROSS 14,643 S.F. / 0.336 ACRES - NET 13,167 S.F. / 0.302 ACRES  
 LOT 2B: GROSS 17,453 S.F. / 0.401 ACRES - NET 12,661 S.F. / 0.291 ACRES  
 STREET TYPE: PRIVATE LOCAL STREET  
 BUILDING TYPE: STUCCO WITH WOOD ENHANCEMENTS  
 FRONTAGE TYPE: N/A  
 APPROXIMATE BUILDING SIZE: 81 FEET WIDE x 66 FEET DEEP  
 BUILDING FLOOR AREA: 9,627 SQUARE FEET

RESIDENTIAL PARKING:  
 PARKING SPACES REQUIRED: (1 SPACE PER UNIT x 3) = 3 SPACES  
 PARKING SPACES PROVIDED: (2 PER UNIT (GARAGE) x 3) = 6 SPACES

FAR RATIO: 0.55 TO 1

BUILDING STANDARDS SUMMARY	
MINIMUM FRONT SETBACK	0 FEET
MINIMUM SIDE SETBACK	8 FEET
MINIMUM REAR SETBACK	25 FEET
MAXIMUM BUILDING HEIGHT	35 FEET

SITE DATA	EXISTING	PROPOSED	DEVIATION REQUESTED	APPROVED
ZONING	R-5 / RESIDENTIAL 5	R-5 / RESIDENTIAL 5	NO	
GROSS LAND AREA				
IN SQUARE FEET	32,096			
IN ACRES	0.737			
RIGHT-OF-WAY DEDICATION				
IN SQUARE FEET	0			
IN ACRES	0			
NET LAND AREA				
IN SQUARE FEET	32,096			
IN ACRES	0.737			
BUILDING AREA (SQ.FT.)	11,533			
FLOOR AREA RATIO	0.36			
RESIDENTIAL USE INFO				
TOTAL DWELLING UNITS				
DETACHED HOUSE				
ZERO LOT LINE HOUSE				
COTTAGE HOUSE				
SEMI-ATTACHED HOUSE				
TWO-UNIT HOUSE				
MULTI-UNIT HOUSE				
COLONNADE				
MULTI-PLEX				
MULTI-UNIT BUILDING	1	2		
TOTAL LOTS				
RESIDENTIAL	1	5		
PUBLIC / CIVIC				
COMMERCIAL				
INDUSTRIAL				
OTHER				

**SITE DATA**  
 TOTAL AREA - 17,453 S.F. / 0.401 AC.  
 EXISTING SITE:  
 PERVIOUS - 15,433 S.F. / 0.354 AC.  
 IMPERVIOUS - 2,020 S.F. / 0.047 AC.  
 PROPOSED SITE:  
 PERVIOUS - 7,075 S.F. / 0.162 AC.  
 IMPERVIOUS - 10,378 S.F. / 0.239 AC.

NO.	BY	DATE	REVISION
1	SPW	06/19/24	PER CITY'S COMMENTS
2	SPW	07/29/24	PER CITY'S COMMENTS
1	SPW	11/08/24	SUBMITTED TO CITY OF KANSAS CITY
1	SPW		UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES.

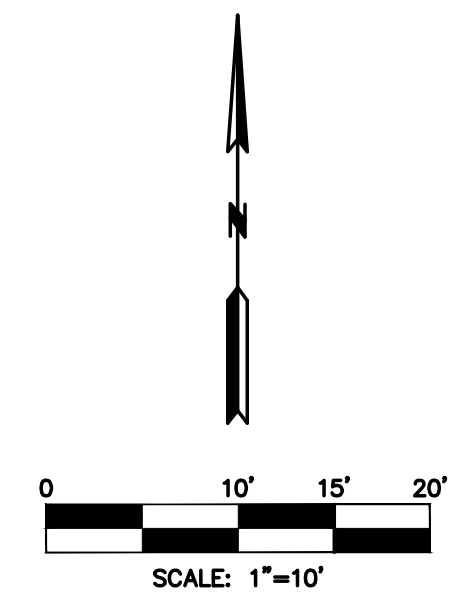
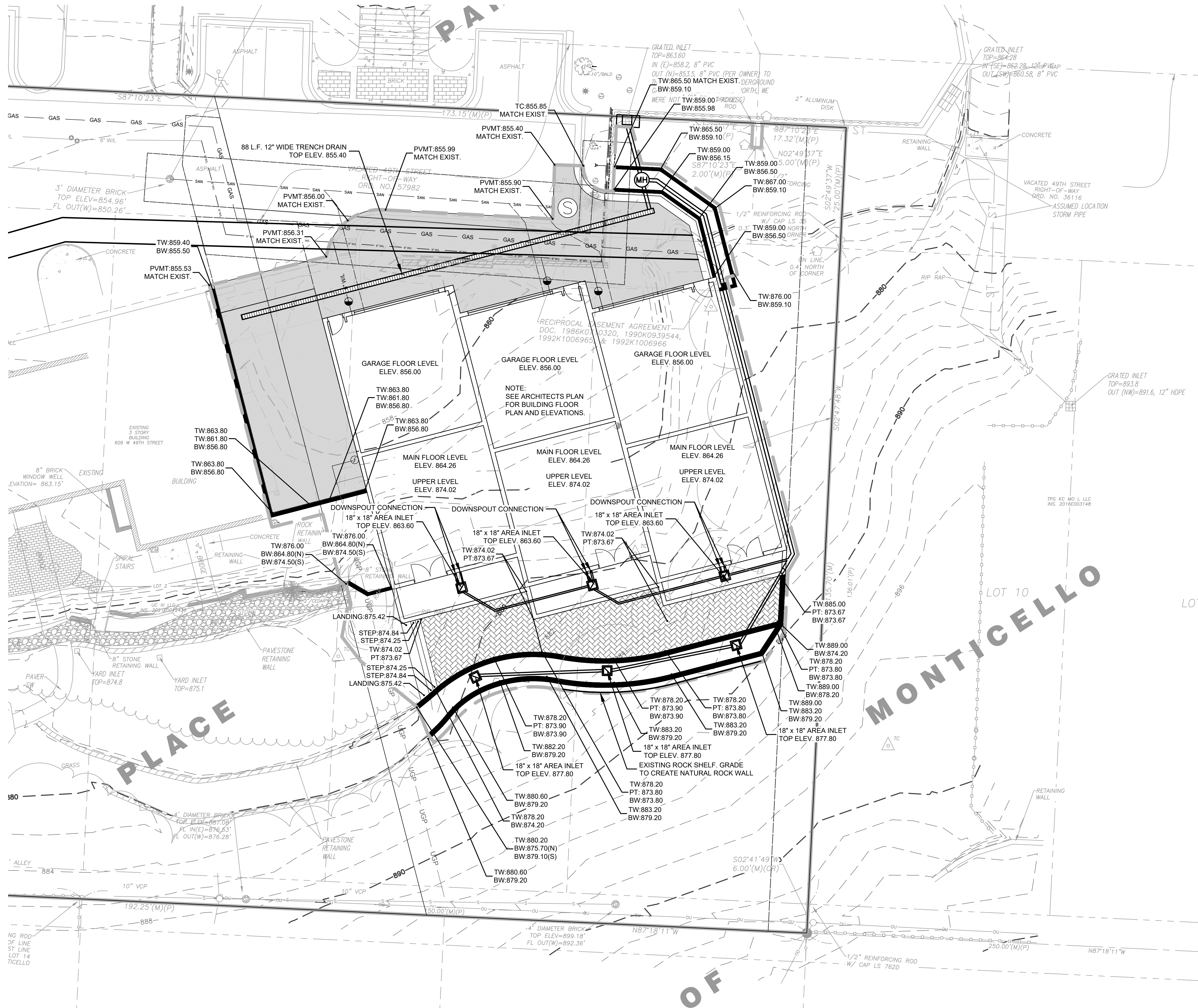


**g Inc**  
 consultants  
 engineers  
 planners

1533 Locust Street, Kansas City, Missouri 64108  
 CORPORATE LICENSE NO. E20100573 (MO.) / E-1736 (KS.) / LS 2019005467

PRELIMINARY DEVELOPMENT PLANS / PLAT  
**SITE DIMENSION PLAN**  
 SHIRAZ CONDOMINIUMS  
 509, 511 & 513 WEST 49TH STREET  
 CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

X-REF NO.  
21-032 Base  
 DRAWING NO.  
21-032 PDPs  
 DATE  
November 08, 2023  
 JOB NO.  
21-032



**LEGEND**

TC = Top of Curb  
 SW = Edge of Sidewalk  
 TW = Top of Wall  
 BW = Bottom of Wall  
 PT = Patio  
 H.P. = High Point  
 L.P. = Low Point

- GENERAL GRADING NOTES**
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
  - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
  - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
  - CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
  - ALL SIDEWALKS, RAMPS, AND ACCESSIBLE ROUTES TO MEET ADA REQUIREMENTS.
    - SIDEWALKS TO HAVE MAXIMUM LONGITUDINAL SLOPE OF 5% AND MAXIMUM CROSS SLOPE OF 2%.
    - RAMPS TO HAVE A MAXIMUM LONGITUDINAL SLOPE OF 8.3% AND MAXIMUM CROSS SLOPE OF 2%.
  - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
  - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.

**\*\*\*\*\*CAUTION\*\*\*\*\***

NOTICE TO CONTRACTOR  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.

NO.	REVISION	DATE	BY	CHKD
1	PER CITY COMMENTS	06/16/24	SW	ARS
2	PER CITY COMMENTS	07/29/24	SW	ARS
1	PER CITY COMMENTS	11/08/23	SW	ARS

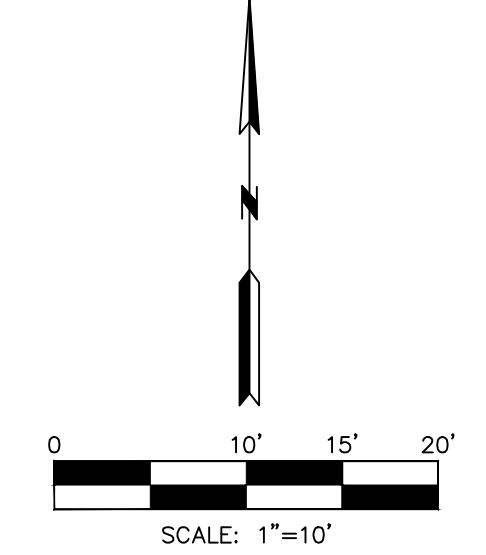
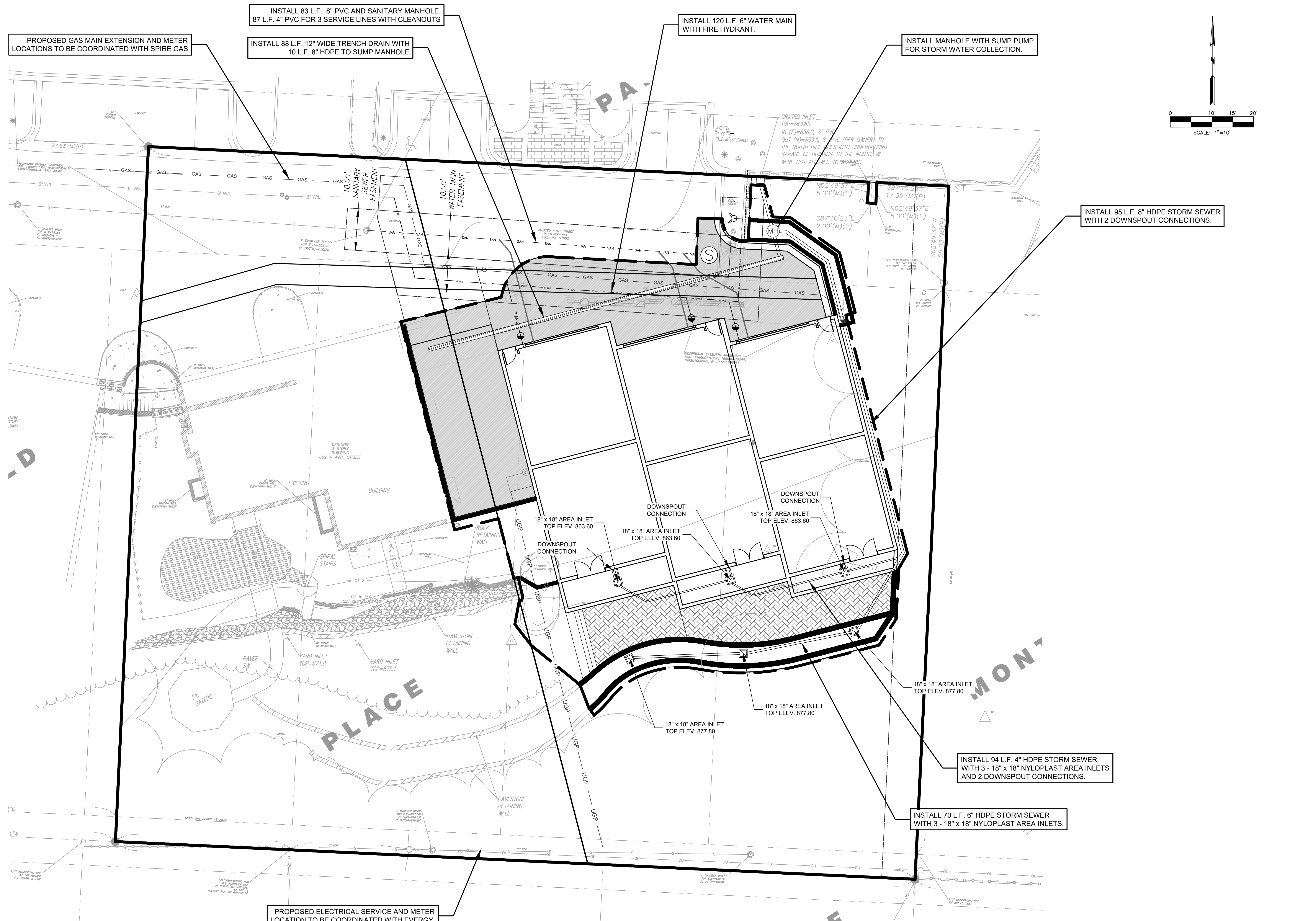


**g consultants inc**  
 engineers planners

1533 Locust Street, Kansas City, Missouri 64108  
 CORPORATE LICENSE NO. E20100573 (NO.) / E-1736 (KS.) / LS 2019005467  
 June 18, 2024

PRELIMINARY DEVELOPMENT PLANS / PLAT  
**SITE GRADING PLAN**  
 SHIRAZ CONDOMINIUMS  
 509, 511 & 513 WEST 49TH STREET  
 CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

X-REF NO. 21-032 Base
DRAWING NO. 21-032 PDPs
DATE November 08, 2023
JOB NO. 21-032
<b>C1.02</b>



PROPOSED GAS MAIN EXTENSION AND METER LOCATIONS TO BE COORDINATED WITH SPIRE GAS

INSTALL 83 L.F. 8" PVC AND SANITARY MANHOLE. 87 L.F. 4" PVC FOR 3 SERVICE LINES WITH CLEANOUTS

INSTALL 88 L.F. 12" WIDE TRENCH DRAIN WITH 10 L.F. 8" HDPE TO SUMP MANHOLE

INSTALL 120 L.F. 6" WATER MAIN WITH FIRE HYDRANT.

INSTALL MANHOLE WITH SUMP PUMP FOR STORM WATER COLLECTION.

INSTALL 95 L.F. 8" HDPE STORM SEWER WITH 2 DOWNSPOUT CONNECTIONS.

INSTALL 94 L.F. 4" HDPE STORM SEWER WITH 3 - 18" x 18" NYLOPLAST AREA INLETS AND 2 DOWNSPOUT CONNECTIONS.

INSTALL 70 L.F. 6" HDPE STORM SEWER WITH 3 - 18" x 18" NYLOPLAST AREA INLETS.

PROPOSED ELECTRICAL SERVICE AND METER LOCATION TO BE COORDINATED WITH EVERY.

NO.	BY	DATE	REVISION
1	SPW	08/18/24	PER CITY'S COMMENTS
2	SPW	08/29/24	PER CITY'S COMMENTS
3	SPW	11/08/24	SUBMITTED TO CITY OF KANSAS CITY
4	SPW		

IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN BLUE INK, THE PLAN IS A COPY AND MAY CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES.

R. KEVIN STERRETT, MO E-26440

**G & Inc** engineers planners

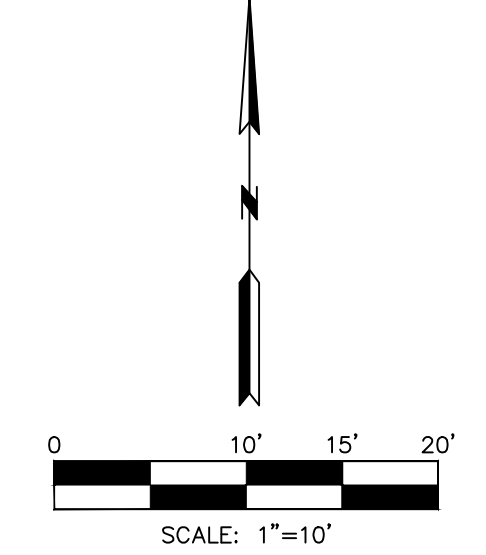
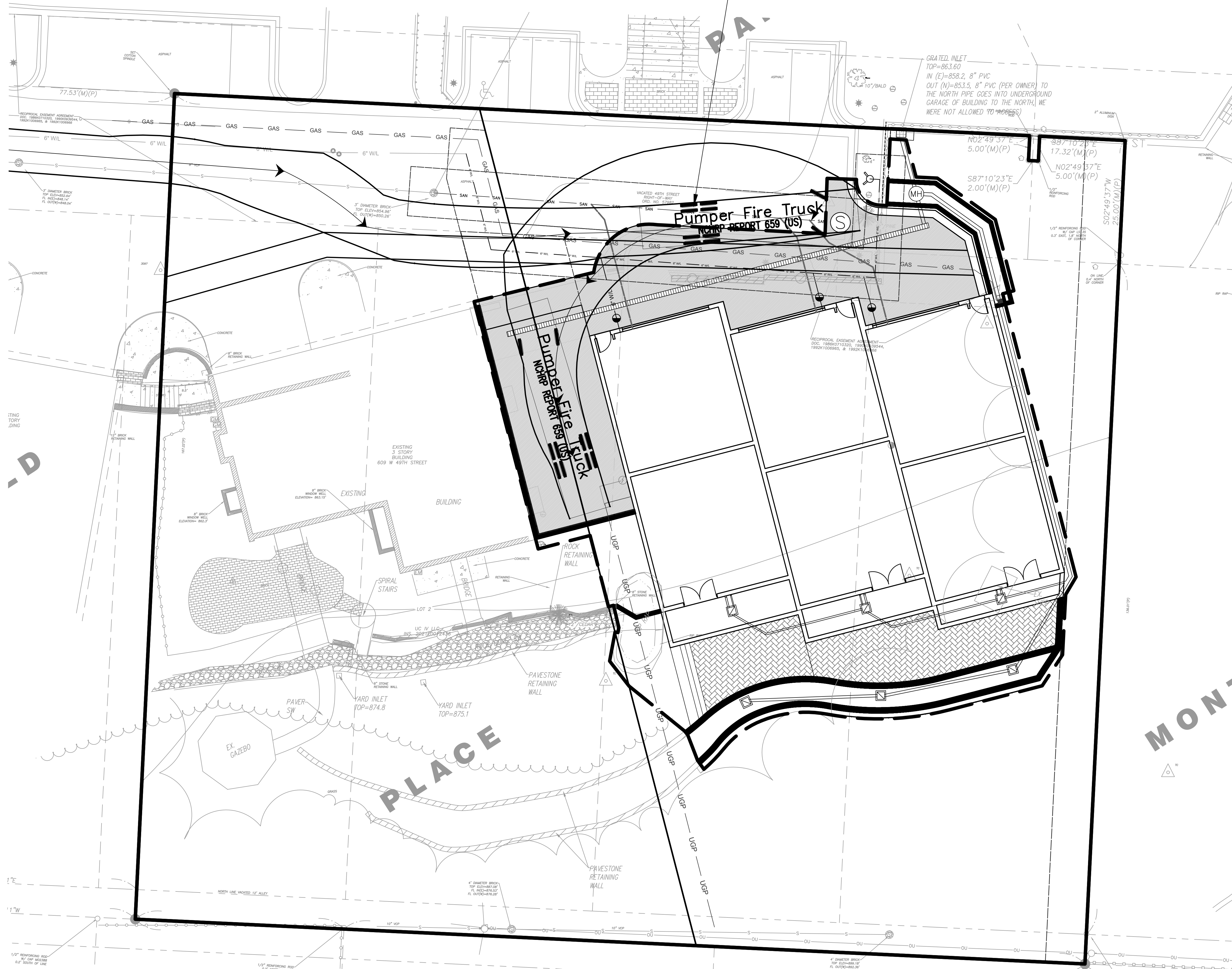
1533 Locust Street, Kansas City, Missouri 64108  
 CORPORATE LICENSE NO. E201000573 (MO.); / E-1736 (KS.); / LS 2019005467

PRELIMINARY DEVELOPMENT PLANS / PLAT  
**SITE UTILITY PLAN**  
**SHIRAZ CONDOMINIUMS**  
 509, 511 & 513 WEST 49TH STREET  
 CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

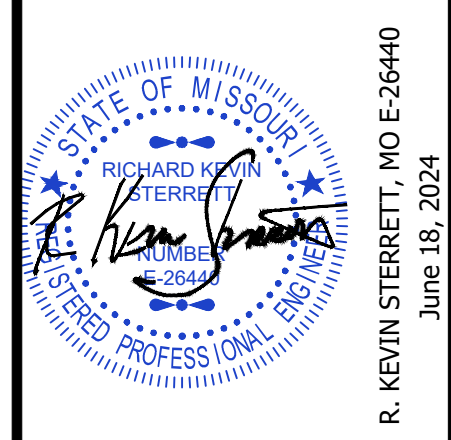
X-REF NO.	21-032 Base
DRAWING NO.	21-032 PDPs
DATE	November 08, 2023
JOB NO.	21-032

C1.03

FIRE TRUCK TURNING TEMPLATE FOR  
HAMMERHEAD BETWEEN BUILDINGS



NO.	BY	DATE	REVISION
1	SPW	06/19/24	PER CITY'S COMMENTS
2	SPW	07/29/24	PER CITY'S COMMENTS
1	SPW	11/08/23	SUBMITTED TO CITY OF KANSAS CITY
1	SPW		
1	SPW		
1	SPW		
1	SPW		
1	SPW		



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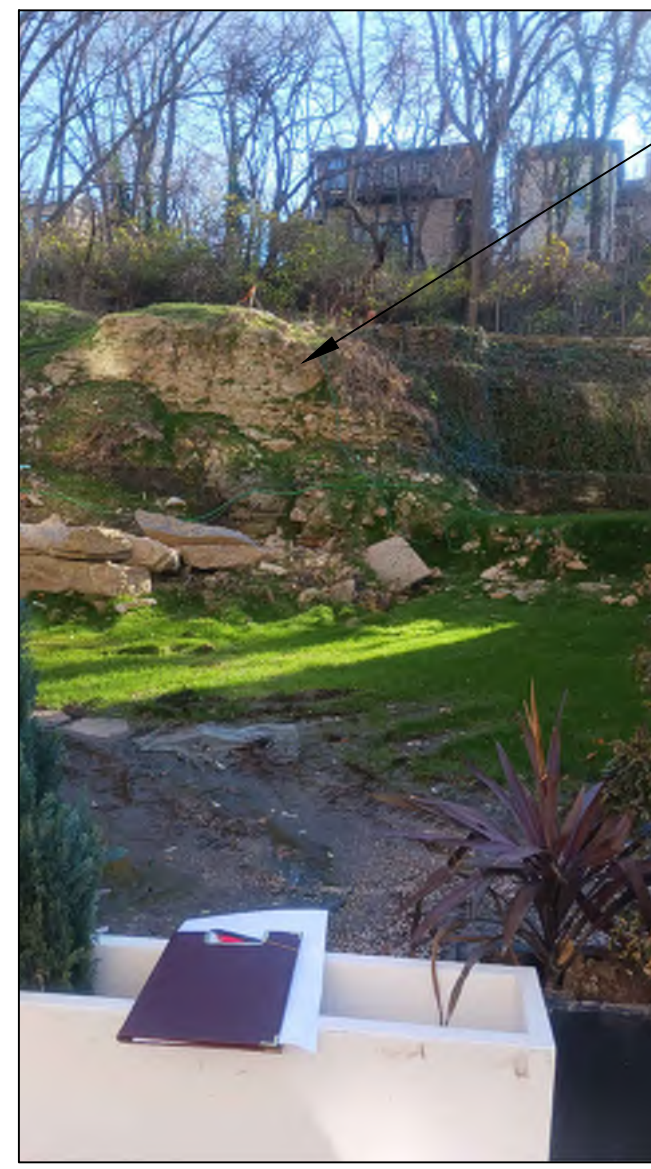
1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE NO. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

PRELIMINARY DEVELOPMENT PLANS / PLAT  
FIRE TRUCK TURNING TEMPLATE

**SHIRAZ CONDOMINIUMS**  
509, 511 & 513 WEST 49TH STREET  
CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

X-REF NO. 21-032 Base
DRAWING NO. 21-032 PDPs
DATE November 08, 2023
JOB NO. 21-032

C1.04



EXISTING ROCK SHELF

VIEW SOUTH FROM  
VACATED 49TH STREET



EXISTING ROCK SHELF

VIEW SOUTH FROM  
VACATED 49TH STREET



EXISTING ROCK SHELF

VIEW EAST FROM  
REAR EXISTING CONDO

EXISTING ROCK SHELF



RETAINING WALL (TWIN ALIGNMENT)



RETAINING WALL (SHORT SECTION)

DATE	REVISION	NO.	BY	CHKD
06/18/24	PER CITY'S COMMENTS	2	SPW	RMS
07/29/24	PER CITY'S COMMENTS	1	SPW	RMS
11/08/23	SUBMITTED TO CITY OF KANSAS CITY			



R. KEVIN STERRETT, NO. E-26440  
June 18, 2024

**g Inc**  
consult  
engineers  
planners

1533 Locust Street, Kansas City, Missouri 64108  
CORPORATE LICENSE NO. E201000573 (MO.) / E-1736 (KS.) / LS 2019005467

PRELIMINARY DEVELOPMENT PLANS / PLAT  
**MISCELLANEOUS DETAILS**  
SHIRAZ CONDOMINIUMS  
509, 511 & 513 WEST 49TH STREET  
CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

X-REF NO.  
21-032 Base  
DRAWING NO.  
21-032 PDPs  
DATE  
November 08, 2023  
JOB NO.  
21-032

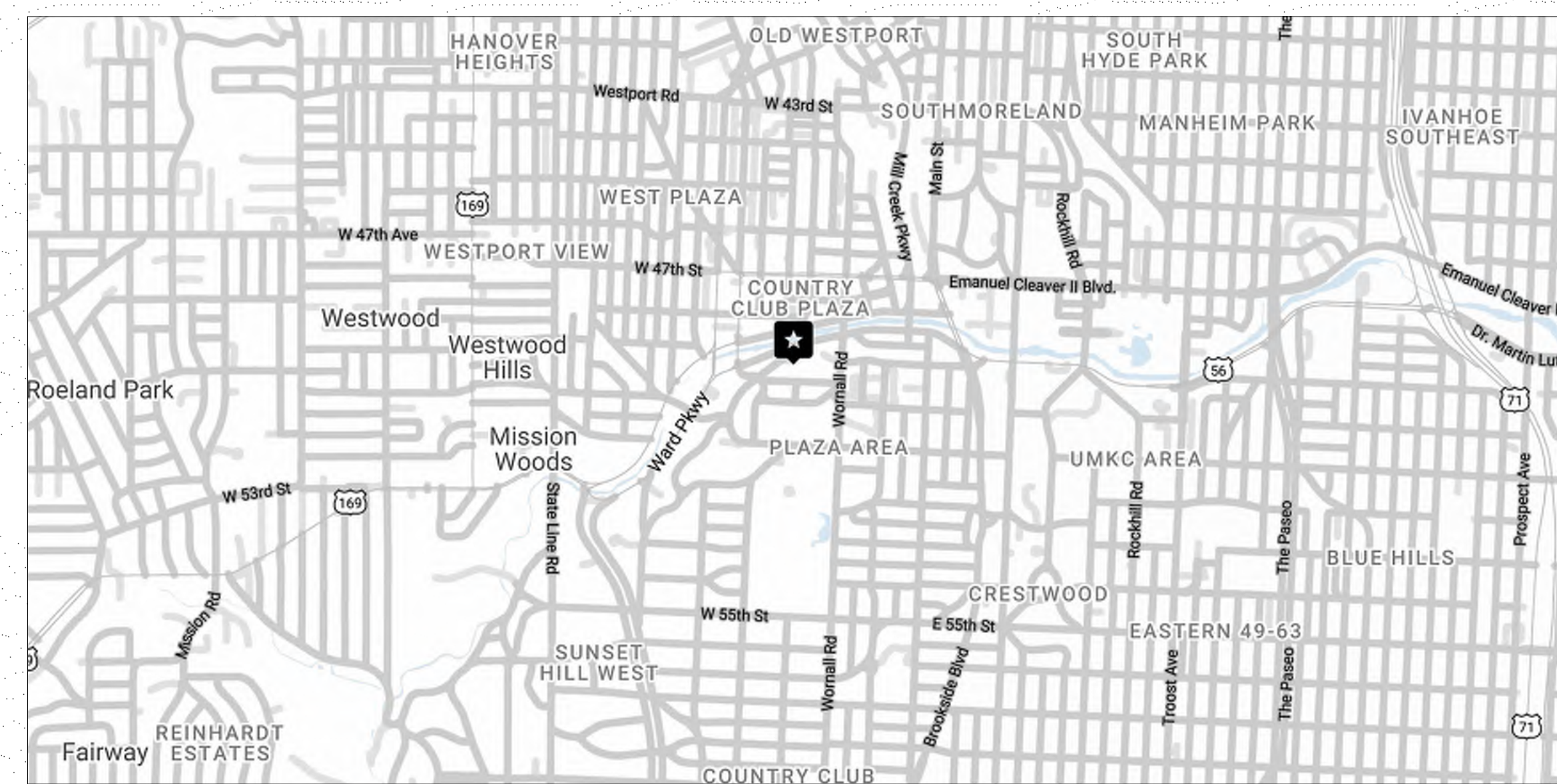
**C3.01**

# SHIRAZ TOWNHOMES

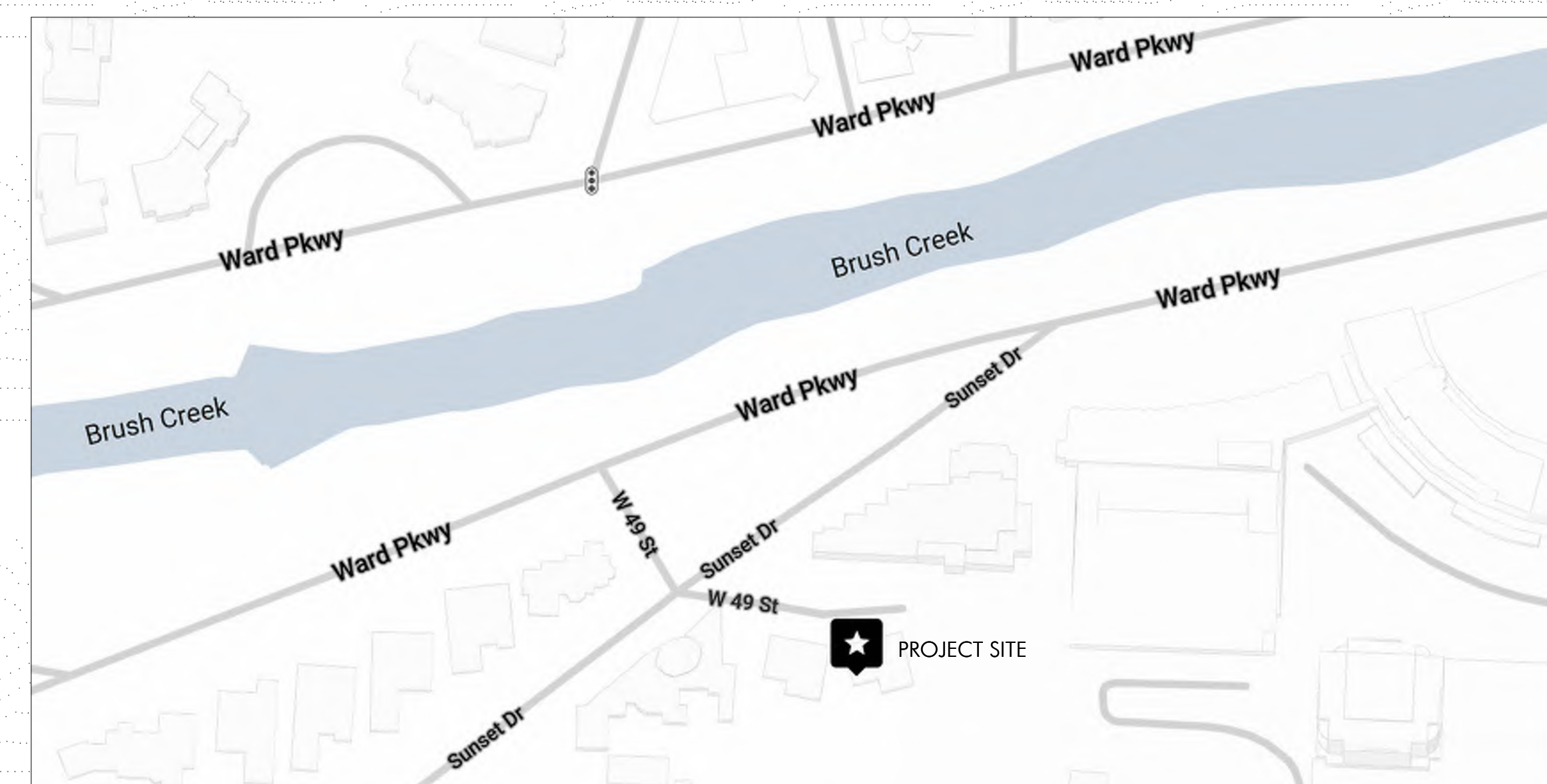
603, 605, & 607 W. 49th ST. KANSAS CITY, MO 64112  
20.32



VICINITY MAP



LOCATION MAP



## SHEET INDEX

### INFORMATION

- G101 TITLE SHEET
- G201 INFORMATION
- G202 INFORMATION
- G203 CODE ANALYSIS
- G204 FIRE RESISTANT ASSEMBLIES

### ARCHITECTURAL

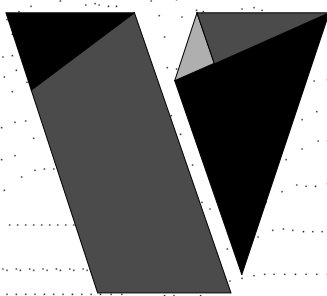
- A001 ARCHITECTURAL SITE PLAN
- A100 ARCHITECTURAL FLOOR PLAN - LOWER LEVEL
- A101 ARCHITECTURAL FLOOR PLAN - MAIN LEVEL
- A102 ARCHITECTURAL FLOOR PLAN - UPPER LEVEL
- A201 EXTERIOR ELEVATIONS
- A202 EXTERIOR ELEVATIONS
- A301 BUILDING SECTIONS
- A302 BUILDING SECTIONS
- A303 WALL SECTIONS
- A304 SECTIONS
- A305 STAIR SECTIONS
- A306 DETAILS
- A307 DETAILS
- A308 FACADE COMPONENT
- A311 ARCHITECTURAL FLOOR PLAN - REAR PATIO
- A401 ROOF PLAN & DETAILS
- A501 WINDOW INFORMATION
- A502 DOOR INFORMATION
- A600 CEILING / ELECTRICAL PLAN - GARAGE LEVEL
- A601 CEILING / ELECTRICAL PLAN - MAIN LEVEL
- A602 CEILING / ELECTRICAL PLAN - UPPER LEVEL
- A700 FINISH FLOOR PLAN - GARAGE LEVEL
- A701 FINISH FLOOR PLAN - MAIN LEVEL
- A702 FINISH FLOOR PLAN - UPPER LEVEL
- A703 ENLARGED FLOOR PLANS AND ELEVATIONS
- A704 ENLARGED FLOOR PLANS AND ELEVATIONS
- A705 INTERIOR ELEVATIONS & FINISH SCHEDULE
- A800 UTILITY INFORMATION - GARAGE LEVEL
- A801 UTILITY INFORMATION - MAIN LEVEL
- A802 UTILITY INFORMATION - UPPER LEVEL

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- S001 GENERAL STRUCTURAL NOTES
- S100 FOUNDATION PLAN
- S101 MAIN FLOOR PLAN
- S102 UPPER FLOOR PLAN
- S103 ROOF PLAN
- S200 DETAILS
- S201 DETAILS
- S300 SECTIONS
- S301 SECTIONS
- S400 ELEVATIONS

### CIVIL

- C001 GENERAL NOTES
- C002 EXISTING CONDITIONS
- C003 LOT SPLIT
- C101 SITE DIMENSION PLAN
- C102 SITE GRADING PLAN
- C103 SITE UTILITY PLAN
- C201 LANDSCAPE PLAN
- C301 MISCELLANEOUS DETAILS



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consulting engineer:

FOR REVIEW

SHIRAZ TOWNHOMES

603, 605, & 607 W. 49th ST. KANSAS CITY, MO 64112

### REVISIONS

No.	Description	Date
C001	GENERAL NOTES	
C002	EXISTING CONDITIONS	
C003	LOT SPLIT	
C101	SITE DIMENSION PLAN	
C102	SITE GRADING PLAN	
C103	SITE UTILITY PLAN	
C201	LANDSCAPE PLAN	
C301	MISCELLANEOUS DETAILS	

sheet issue date:  
06.17.2024

project no.:  
20.32

sheet contents:  
TITLE SHEET

sheet no.:

G101



FOR REVIEW

SHIRAZ TOWNHOMES

603, 605, & 607 W. 49th ST. KANSAS CITY, MO 64112

REVISIONS	No.	Description	Date

sheet issue date:  
06.17.2024

project no.:  
20.32

sheet contents:  
ARCHITECTURAL  
FLOOR PLAN - LOWER  
LEVEL

sheet no.:

A100

general notes

- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS, AND BETWEEN MULTIPLE DRAWINGS. THE ARCHITECT WILL DETERMINE WHICH SHALL GOVERN.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE INCLUDING UTILITIES AND EXISTING STRUCTURES PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY OF THE STRUCTURE DURING CONSTRUCTION INCLUDING ALL SHORING AND BRACING REQUIRED TO RESIST REQUIRED VERTICAL AND LATERAL FORCES.
- ALL ARCHITECTURAL FLOOR PLAN DIMENSIONS ARE FROM FACE OF CONCRETE OR FACE OF STUD.
- INTERIOR WALLS ARE TO BE COMPRISED OF 2x4 STUDS AT 16" O.C. MAX WITH 1/2" DRYWALL EACH SIDE UNLESS NOTED OTHERWISE.
- MECHANICAL/PLUMBING SCOPES ARE DESIGN/BUILD. DESIGN TO BE PROVIDED BY SUB-CONTRACTOR TO MEET OR EXCEED CODE REQUIREMENTS; CONTRACTOR TO COORDINATE EACH OTHERS' WORK WITH ARCHITECTURAL PLANS AND TO NOTIFY ARCHITECT OF NEED FOR SOFFITS OR CHASES FOR INSTALLATION OF DUCTWORK OR PLUMBING.
- ELECTRICAL SCOPES ARE DESIGN/BUILD. DESIGN TO BE PROVIDED BY SUB-CONTRACTOR TO MEET OR EXCEED CODE REQUIREMENTS; CONTRACTOR TO INSTALL OUTLETS AS REQUIRED PER CODE. VERIFY ALL LOCATIONS WITH OWNER PRIOR TO BEGINNING DRYWALL.
- COORDINATE ALL WALLS AND DIMENSIONS ON ARCHITECTURAL DRAWINGS WITH STRUCTURAL DRAWINGS.

architectural plan notes

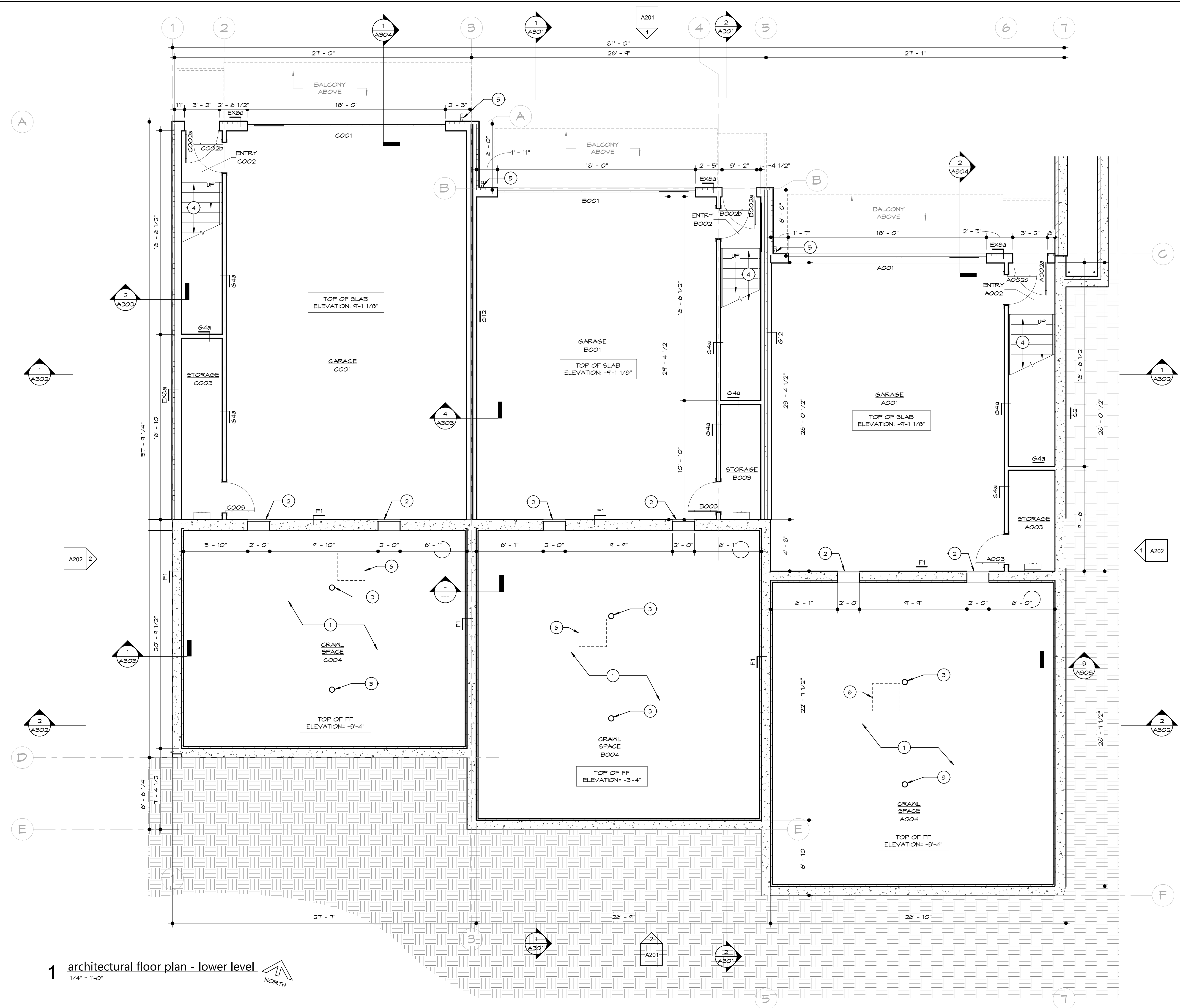
GENERAL: COORDINATE WITH WORK SHOWN ON STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, REF. FE SHEET FOR EQUIP. COORDINATION

- | NUMBER | NOTE TEXT  |
|--------|--|
| 1      | MIN 3" CONCRETE "MUD" SLAB OVER MIN R12.6 RIGID INSULATION             |
| 2      | 12"H x 24"W VENT FOR CRAWL SPACE. SILL HT = 0'-8" ABOVE CRAWL SPACE FF |
| 3      | STEEL COLUMN, REF. STRUCTURAL.   |
| 4      | REF BUILDING SECTIONS & STAIR SECTIONS                                 |
| 5      | ALUMINUM DOWNSPOUT, REF. ELEVATIONS.                                   |
| 6      | CRAWL SPACE ACCESS HATCH ABOVE, MIN. 18" x 24".                        |

NOTE: REFER TO STRUCTURAL DRAWINGS FOR REINF. STEEL IN EXTERIOR WALLS AND CONCRETE NOT SHOWN

NOTE: REFER TO ALL DETAILS (DETAILS LOCATED ON THIS SHEET, PRECEDING SHEETS AND FOLLOWING SHEETS) FOR APPLICABLE NOTES NOT SHOWN

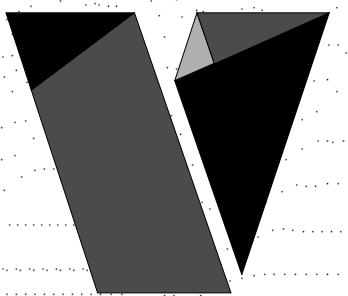
NOTE: REFER TO ALL SECTIONS (SECTIONS LOCATED ON THIS SHEET, PRECEDING SHEETS AND FOLLOWING SHEETS) FOR APPLICABLE NOTES NOT SHOWN



1 architectural floor plan - lower level  
1/4" = 1'-0"



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FOR REVIEW

SHIRAZ TOWNHOMES

603, 605, & 607 W. 49th ST. KANSAS CITY, MO 64112

REVISIONS  
No. Description Date

sheet issue date:  
06.17.2024

project no.:  
20.32

sheet contents:  
EXTERIOR ELEVATIONS

sheet no.:  
A201

### exterior elevation general notes

1. SLOPE GRADE A MINIMUM OF 5% AWAY FROM THE HOUSE FOR A MINIMUM DISTANCE OF 10'-0"
2. MAINTAIN MIN. 5' CLEARANCE BETWEEN FINAL GRADE AND EXPOSED WOOD
3. EXTERIOR SIDING INDICATED ON DRAWINGS SHALL BE INSTALLED OVER BUILDING WRAP, RESULTING IN A WATER-RESISTIVE EXTERIOR WALL SYSTEM COMPLIANT WITH IRC SECTION 103.2
4. WHERE DIFFERENTIAL BETWEEN PORCH/PATIO AND SURROUNDING GRADE IS GREATER THAN 18" GUARDRAIL SHALL BE PROVIDED. THE GUARDRAIL SHALL BE 42" TALL AND SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH IT.
5. REFER TO REFLECTED CEILING PLAN FOR LIGHTING. ALL EXTERIOR LIGHTING SHALL HAVE A CONCEALED LIGHT SOURCE.
6. ALL EXTERIOR METAL SHALL BE CORROSION RESISTANT.
7. ALL EXTERIOR MECHANICAL AND PLUMBING VENT LOCATIONS SHALL BE APPROVED WITH ARCHITECT. PRIOR TO INSTALLATION. ALL PIPING SHALL PAINTED TO MATCH SURROUNDING CONTEXT.

### exterior finishes legend

- TO PARAPET  
122' - 2 5/8"
- SECOND LEVEL  
110' - 1 1/8"
- MAIN LEVEL  
100' - 0"
- CRAWL SPACE  
96' - 8"
- LOWER LEVEL  
90' - 10 1/8"
- TRADITIONAL STUCCO - SMOOTH:**
- 3-COAT SYSTEM OVER DELTA- DRY & LATH OVER R-4 (2") ZIP R-SHEATHING
  - SMOOTH FINISH (MEDIUM)
  - ELASTOMERIC PAINT - XXXX COLOR OR APPROVED EQUIVALENT
- TRADITIONAL STUCCO - SMOOTH:**
- 3-COAT SYSTEM OVER DELTA DRY AND LATH
  - OVER FIBERGLASS LATH OVER POLYISO INSULATION
  - SMOOTH FINISH (MEDIUM)
  - ELASTOMERIC PAINT - XXXX COLOR OR APPROVED EQUIVALENT
- PAC-GLAD METAL FLUSH PANEL SYSTEM**
- INSTALL PER MANUFACTURER INSTRUCTIONS.
  - COLOR SPECIFIC PER EACH UNIT, REFERENCE PLANS AND WALL TYPES.
  - OVER 1/16" ZIP SHEATHING (TAPE SEAMS PER MANUFACTURER.)

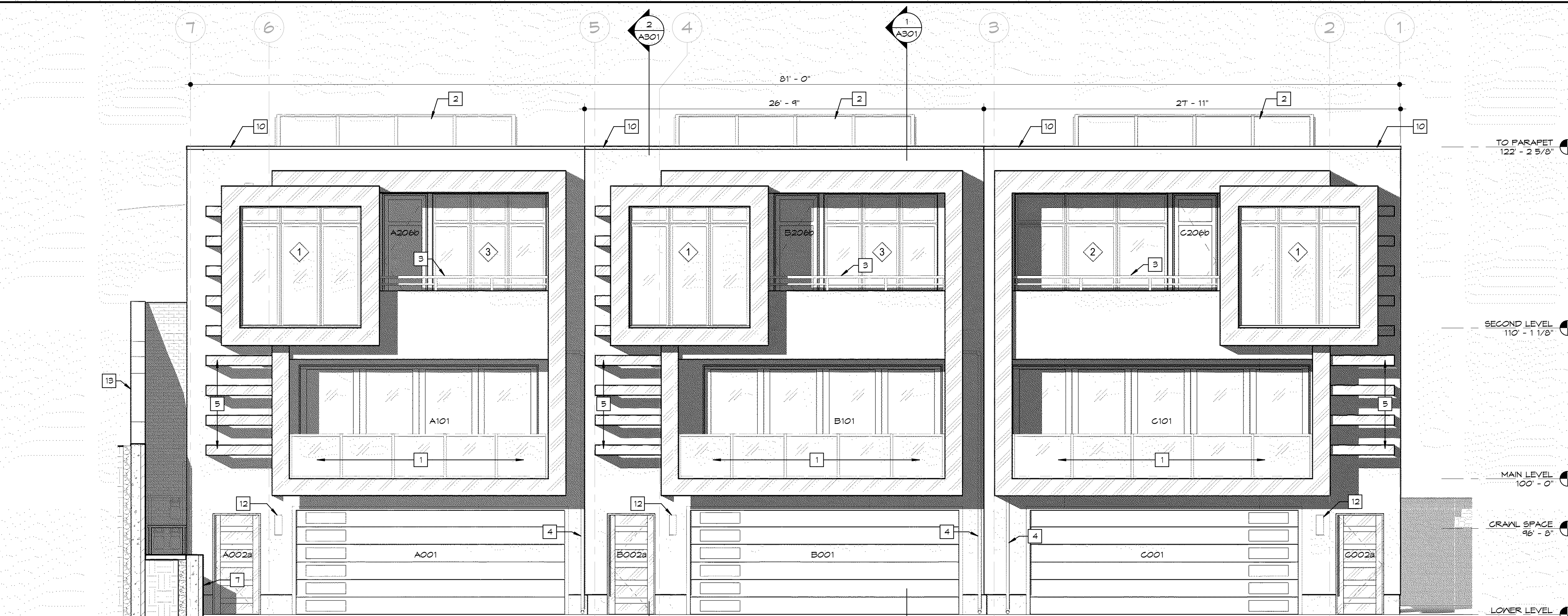
### exterior elevation keynotes

- 1 GLASS BALCONY RAILING, 36"H. BY OTHERS.
- 2 CUSTOM SKYLIGHT BY OTHERS, REF. REFLECTED CEILING PLAN & DETAIL 1/A306 FOR ADDITIONAL INFO.
- 3 DECORATIVE STEEL WALL/GUARDRAIL, REF. DETAIL 2/A306
- 4 ALUMINUM DOWNSPOUT FOR STORMWATER ROOF DRAINAGE OF EXTERIOR CANOPY & UPPER LEVEL BATHROOM.
- 5 EXTERIOR METAL "RIB" SCULPTURE COMPONENT, REF. SHEET A308.
- 6 ALUMINUM DOWNSPOUT FOR STORMWATER ROOF DRAINAGE OF EXTERIOR CANOPY & MAIN BUILDING ROOF.
- 7 PLANTER RETAINING WALL, REF. CIVIL & STRUCTURAL.
- 8 COLLECTOR BOX FOR THRU-WALL SCUPPER.
- 9 CONCRETE WALL OF WINDOW WELL, REF. STRUCTURAL.
- 10 PARAPET COPING CAP. PAINT TO MATCH COLOR OF STUCCO EXTERIOR FINISH.
- 11 OVERFLOW LAMBS TONGUE DRAIN.
- 12 WALL SCONCE.
- 13 RETAINING WALL, REF. STRUCTURAL.

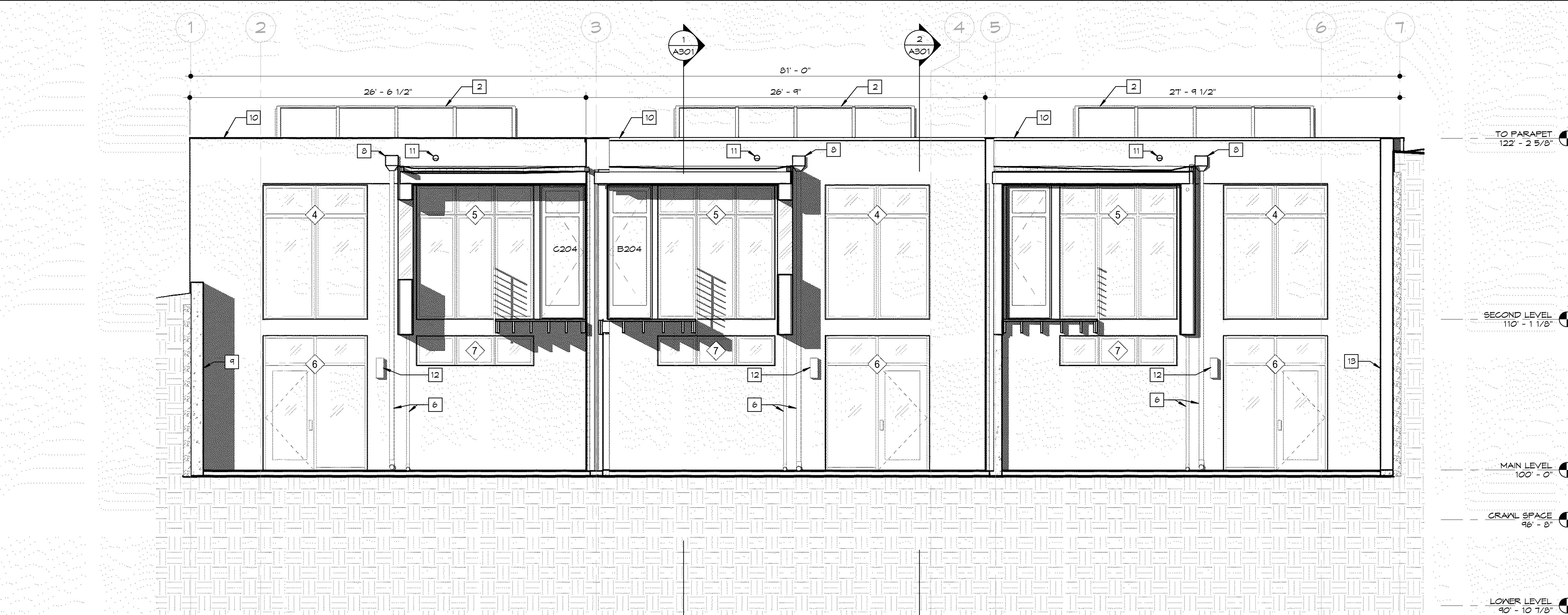
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NOTE: REFER TO ALL DETAILS (DETAILS LOCATED ON THIS SHEET, PRECEDING SHEETS AND FOLLOWING SHEETS) FOR APPLICABLE NOTES NOT SHOWN

NOTE: REFER TO ALL SECTIONS (SECTIONS LOCATED ON THIS SHEET, PRECEDING SHEETS AND FOLLOWING SHEETS) FOR APPLICABLE NOTES NOT SHOWN



1 north elevation  
1/4" = 1'-0"



2 south elevation  
1/4" = 1'-0"

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CITY OF  
KANSAS CITY  
MISSOURI

## CITY PLANNING & DEVELOPMENT

### Public Meeting Summary Form

Project Case # CD-COC-2023-00159

Meeting Date: Saturday Jun 29, 2024

Meeting Location: At the job sit 609 W 49th st Kansas City MO 64112

Meeting Time (include start and end time): 9 am to 11 am

Additional Comments (optional):

Good meeting we had 7 of the neighbors came by.

## Meeting Sign-In Sheet

### Project Name and Address

Shiraz Town home

Shiraz Town home 609 W 49 th st Kansas City MO 64112

Name	Address	Phone	Email
Ken Dixon	433		
L. Martin	25	Express traffic Coming into parking lot	
Beverly Summers	721 W. 49th St		
Bob Schulte	612 W 50th St		
G. W. Gandy	433 W. 49th St		
Bruce Sondern	615 W 49th St	913 439 9503	brucesondern@al.com