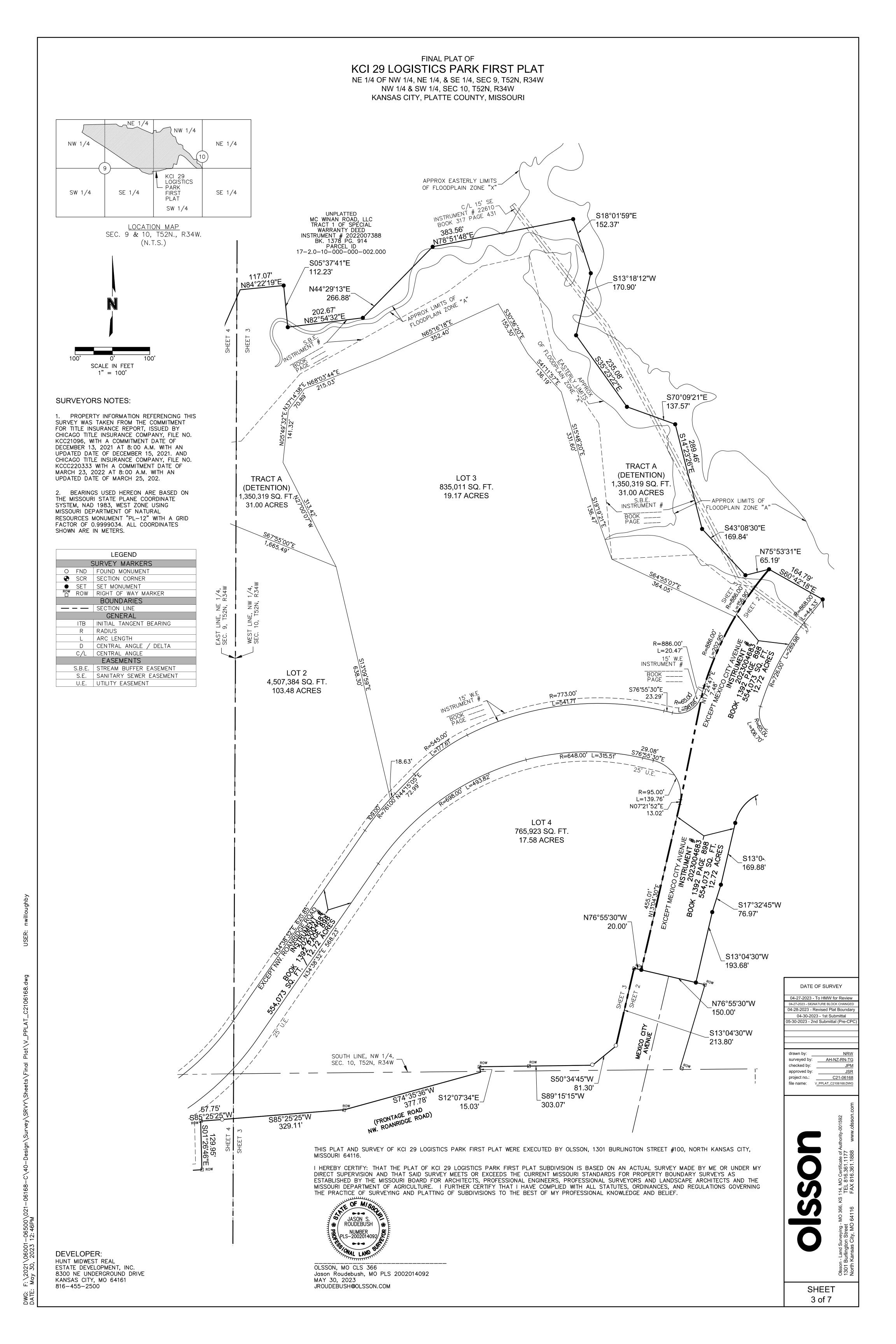
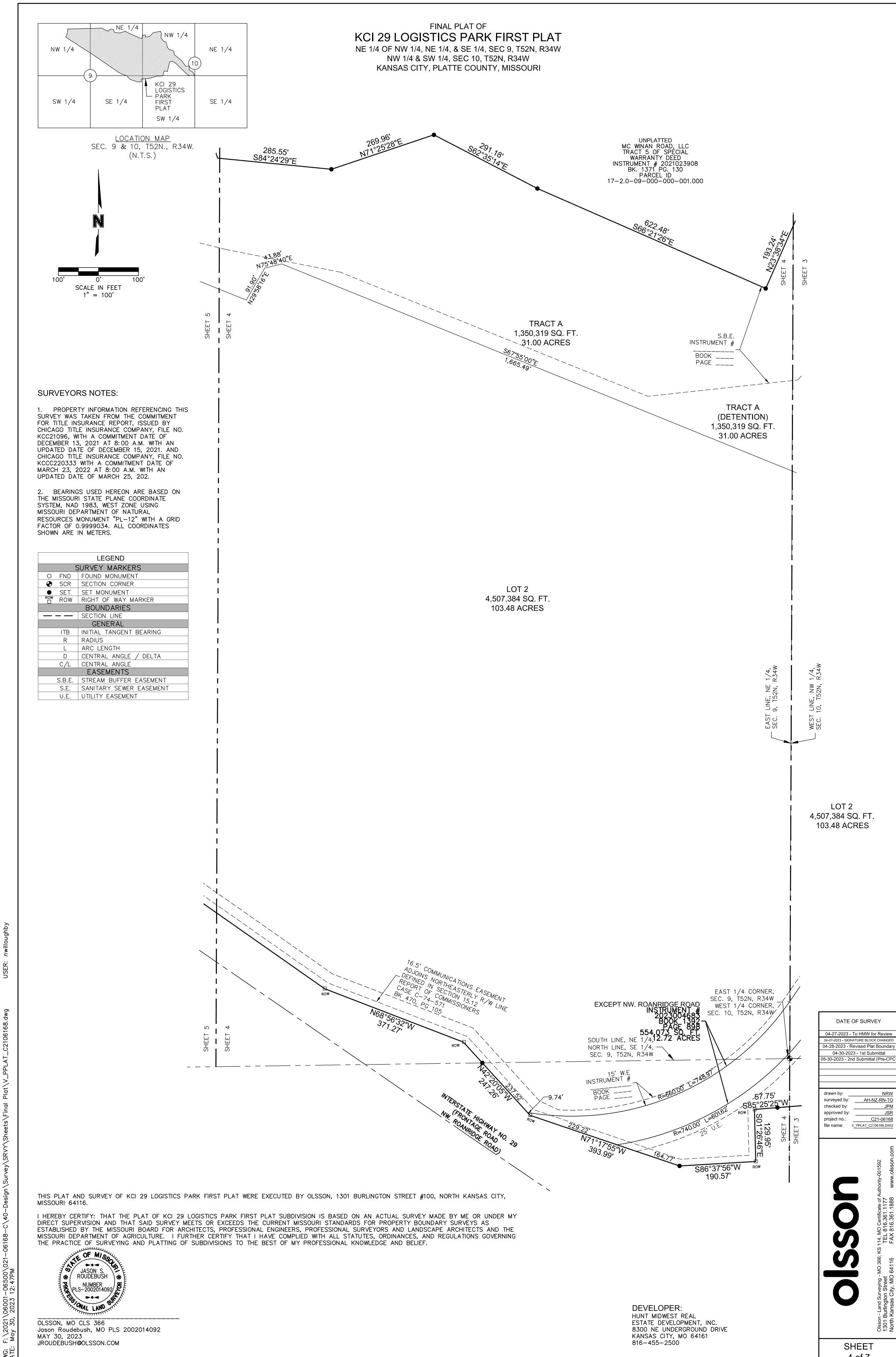
STATE PLANE COORDINATE TABLE		ABLE	FINAL PLAT OF KCI 29 LOGISTICS PARK FIRST PLAT	NE 1/4 NW 1/4
Point Number	Grid Northing	Grid Easting	NE 1/4 OF NW 1/4, NE 1/4, & SE 1/4, SEC 9, T52N, R34W	NW 1/4 NE 1/4
1	351428.572	831252.851	NW 1/4 & SW 1/4, SEC 10, T52N, R34W	
2	351419.457	831284.894	S43°08'30"E KANSAS CITY, PLATTE COUNTY, MISSOURI	
3	351460.115	831179.295	169.84'	KCI 29 LOGISTICS
4	351771.739	830734.696	N75°53'31"E 65.19' APPROX WESTERLY LIMITS	SW 1/4 SE 1/4 FIRST SE 1/4
5	351894.091	830541.549	OF FLOODPLAIN ZONE "X"	PLAT
6	351940.191	830480.693	364.05'E	SW 1/4
/	351969.843 352027.367	830427.215 830345.162		LOCATION MAP
9	352042.006	830353.532	SO4°26'43"E	SEC. 9 & 10, T52N., R34W.
10	352125.974	830375.222	835,011 SQ. FT.	(N.T.S.)
11	352147.173	830374.929	19.17 ACRES	CLIDVEVODO MOTEO.
12	352151.807	830379.437	R=886.00'_ 8 S S S S S S S S S S S S S S S S S S	SURVEYORS NOTES:
13	352159.189	830913.284	R=886.00' L=20.47'	1. PROPERTY INFORMATION REFERENCING THIS SURVEY WAS TAKEN FROM THE COMMITMENT FOR TITLE INSURANCE REPORT,
14	352124.701	830962.076	INSTRUMENT # PARCEL ID 17-2.0-10-000-000-002.000	ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. KCC21096, WITH A COMMITMENT DATE OF DECEMBER 13, 2021
15	352114.244	831008.237	PAGE \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \	AT 8:00 A.M. WITH AN UPDATED DATE OF DECEMBER 15, 2021. AND CHICAGO TITLE INSURANCE COMPANY, FILE NO.
16	352143.527	831030.118	S76'55'30"E - 23.29'	KCCC220333 WITH A COMMITMENT DATE OF MARCH 23, 2022 AT 8:00 A.M. WITH AN UPDATED DATE OF MARCH 25, 202.
17	352140.952 352092.235	831081.789 831097.799	POINT OF COMMENCING NE. COR., NW 1/4, SEC. 10, T52N, R34W	2. BEARINGS USED HEREON ARE BASED ON THE MISSOURI
19	352083.755	831184.415		STATE PLANE COORDINATE SYSTEM, NAD 1983, WEST ZONE USING MISSOURI DEPARTMENT OF NATURAL RESOURCES
20	352109.965	831262.408	S00°28'01"W	MONUMENT "PL-12" WITH A GRID FACTOR OF 0.9999034. ALL
21	352069.105	831341.190	6. F=204.75 BOD ROWN A">	COORDINATES SHOWN ARE IN METERS.
22	351993.021	831514.986		
23	352046.975	831538.606	25' U.E	
24	352050.474	831574.115		LEGEND
25	352016.433	831577.470	R=95.00'	SURVEY MARKERS O FND FOUND MONUMENT
26	352024.058	831638.768	L=139.76' N07*21'52"E	◆ SCR SECTION CORNER◆ SET SET MONUMENT
27	352082.087 352104.667	831695.768 831810.470	13.02' LOT 4	ROW RIGHT OF WAY MARKER
29	352060.509	831824.846	765.923 SQ. FT. R=110.00' 0 > 50 > 0 > 0 > 0 > 0 > 0 > 0 > 0 > 0	BOUNDARIES — — SECTION LINE
30	352009.820	831812.861	17.58 ACRES L=184.82' D=96°16'10" Δ D=96°16'10"	ITB INITIAL TANGENT BEARING
31	351951.408	831854.355	A B G W G G C S 13.04,30, M S 13.04,30, M	R RADIUS
32	351937.175	831893.795	179.10'	L ARC LENGTH D CENTRAL ANGLE / DELTA
33	351851.720	831915.721	80 My 15'13"E	C/L CENTRAL ANGLE EASEMENTS
34	351813.950	831951.117		S.B.E. STREAM BUFFER EASEMENT S.E. SANITARY SEWER EASEMENT
35	351818.793 351794.218	831970.388 832014.189	S17°32'45"W S17°32'45"W TRACT B TRACT B S17°32'45"W	U.E. UTILITY EASEMENT
36	351794.218	832018.127	NIZGO E E 120 III \mathbf{Q} \mathbf{T} \mathbf{T} \mathbf{Q} \mathbf{T} \mathbf{T}	
38	351658.537	832123.641	20.00' \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	
39	351562.625	832194.251	UNPLATTED MC WIN AN ROAD, LLC MC WIN AN ROAD, LLC MC WIN AN ROAD, LLC	
40	351565.240	832248.775	UNPLATTED MC WINAN ROAD, LLC TRACT 1 OF SPECIAL WARRANTY DEED INSTRUMENT # 2022007388 BK, 1378 PG, 914	
41	351503.748	832246.505	PÁRCFI ID	
42	351475.681	832298.104	17-2.0-10-000-002.000	
43	351418.252 351418.000	832331.617 832333.632		
44	351414.546	832333.604	R=660 150.00'	
46	351413.784	832252.991	R=752.00' -230.65	
47	351454.881	832196.295	S13°04'30"W S13°04'W S13°04'W	82°35'05"E 04-30-2023 - 1st Submittal
48	351589.744	832060.124	ITB=N62°51'00"W $ \begin{array}{cccccccccccccccccccccccccccccccccc$	2001 VV
49	351635.769	831986.567	SOUTH LINE, NW 1/4,	
50	351611.720	831942.805	S89°27'30"W 264.51'	checked by: JPM approved by: JSR
51 52	351561.285 351538.918	831931.091 831924.019	S50°34'45"W	project no.: C21-06168 file name: V_PPLAT_C2106168.DWG
53	351481.417	831910.664	(FRONTAGE ROAD POINT OF BEGINNING	Ĕ E
54	351491.759	831866.132	NW. ROANRIDGE ROAD SE CORNER, NW 1/4, — SEC 10, T52N, R34W	01592 son.cc
55	351493.138	831860.194	THIS PLAT AND SURVEY OF KCI 29 LOGISTICS PARK FIRST PLAT WER	EE EXECUTED BY OLSSON, 1301 BURLINGTON STREET #100,
56	351429.665	831845.453	NORTH KANSAS CITY, MISSOURI 64116.	A Auth
57	351413.929	831826.310	I HEREBY CERTIFY: THAT THE PLAT OF KCI 29 LOGISTICS PARK FIRS / ROW F MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SU	RVEY MEETS OR EXCEEDS THE CURRENT MISSOURI
58	351412.727	831733.946	STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED B' ENGINEERS, PROFESSIONAL SURVEYORS AND LANDSCAPE ARCHITECTS	Y THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL AND THE MISSOURI DEPARTMENT OF AGRICULTURE. I
59 60	351408.248 351377.659	831734.908 831623.904	FURTHER CERTIFY THAT I HAVE COMPLIED WITH ALL STATUTES, ORDIN SURVEYING AND PLATTING OF SUBDIVISIONS TO THE BEST OF MY PRO	NANCES, AND REGULATIONS GOVERNING THE PRACTICE OF SOME SOME SOME SOME SOME SOME SOME SOME
61	351377.659	831523.917	STILL OF MISSELE	2 S S S S S S S S S S S S S S S S S S S
62	351368.252	831506.372	JASON S. JASON S.	D 366,
63	351328.657	831507.371	NUMBER PLS-2002014092/ € E	ig - MC
64	351325.245	831449.389	3 (PLS-2002014092)	surveying - on Street City, MO
65	351363.748	831335.646	DEVELOPER:	and St. lington reas (
			HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC	son - L T Bur L
			8300 NE UNDERGROUND DRIVE KANSAS CITY, MO 64161 816—455—2500	O O N O N O N O N O N O N O N O N O N O
			816-455-2500 JROUDEBUSH@OLSSON.COM	SHEET

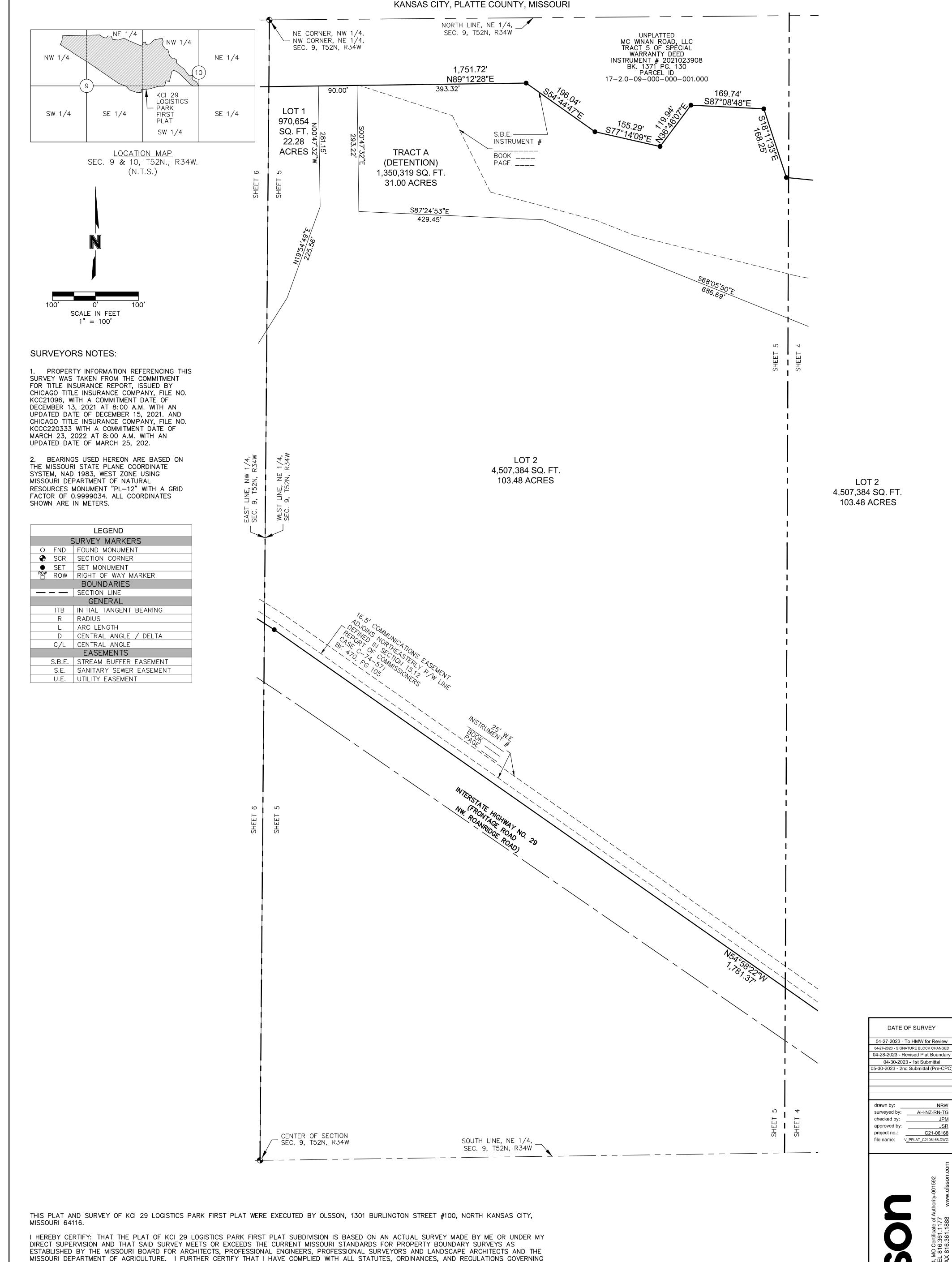
FINAL PLAT OF

SHEET 2 of 7





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FINAL PLAT OF KCI 29 LOGISTICS PARK FIRST PLAT

NE 1/4 OF NW 1/4, NE 1/4, & SE 1/4, SEC 9, T52N, R34W NW 1/4 & SW 1/4, SEC 10, T52N, R34W

OLSSON, MO CLS 366

JROUDEBUSH@OLSSON.COM

MAY 30, 2023

Jason Roudebush, MO PLS 2002014092

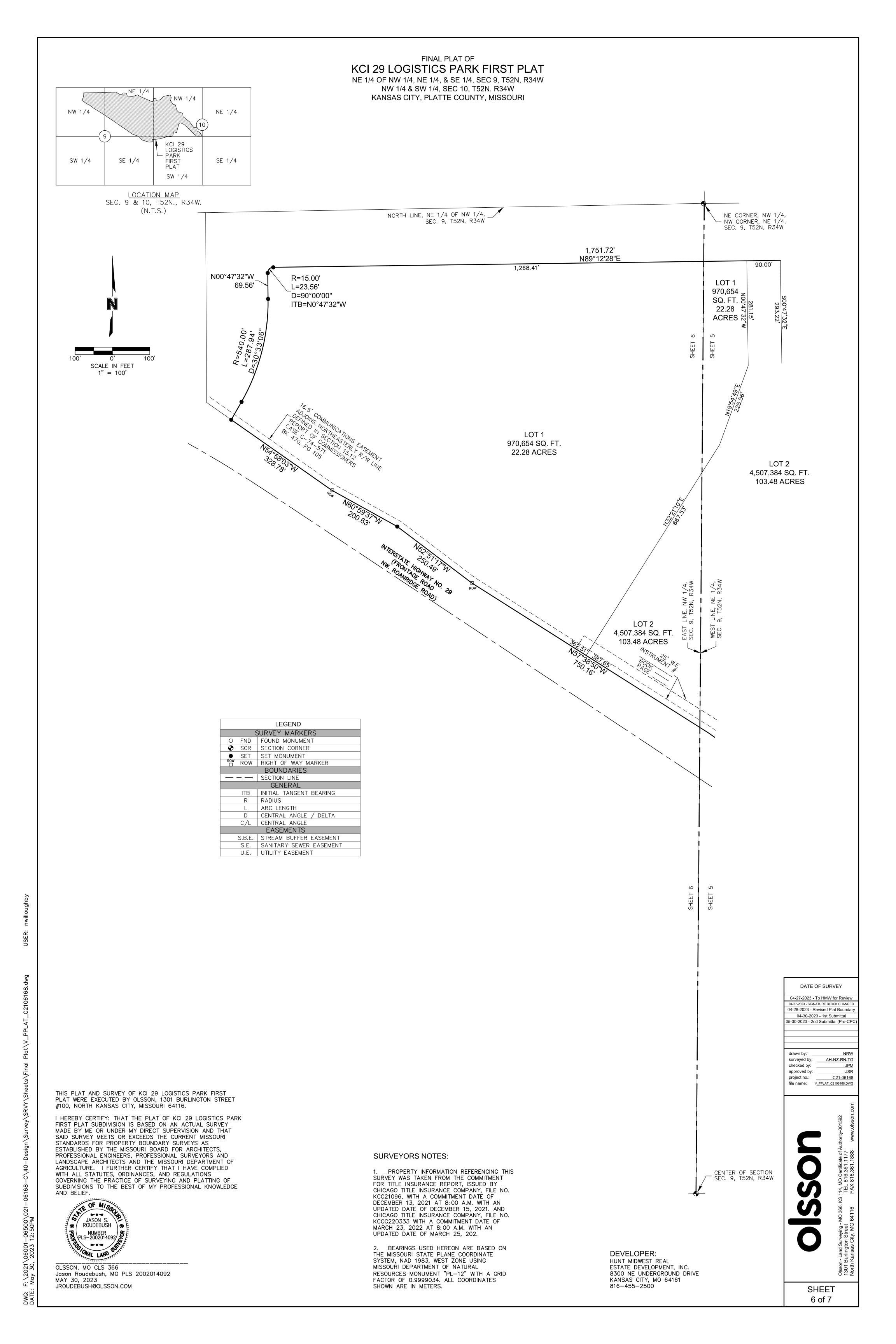
THE PRACTICE OF SURVEYING AND PLATTING OF SUBDIVISIONS TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC. 8300 NE UNDERGROUND DRIVE KANSAS CITY, MO 64161 816-455-2500

DEVELOPER:

SHEET

5 of 7



FINAL PLAT OF KCI 29 LOGISTICS PARK FIRST PLAT

NE 1/4 OF NW 1/4, NE 1/4, & SE 1/4, SEC 9, T52N, R34W NW 1/4 & SW 1/4, SEC 10, T52N, R34W KANSAS CITY, PLATTE COUNTY, MISSOURI

INI	WITNIFCC	WHEREOF

MC WINAN ROAD, LLC A MISSOURI LIMITED LIABILITY COMPANY LICENSED TO DO BUSINESS IN THE STATE OF MISSOURI, HAS CAUSED THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF _____, 20___.

MC WINAN ROAD, LLC A MISSOURI LIMITED LIABILITY COMPANY

BY: BLANKENBAKER LOGISTICS LLC A KENTUCKY LIMITED LIABILITY COMPANY, ITS SOLE MEMBER

BY: HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC.

ITS SOLE MEMEBER

VINCENT T. JOHNSON, SENIOR VICE PRESIDENT

STATE OF _____ COUNTY OF _____

BE IT REMEMBERED THAT ON THIS __ , 20___, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, CAME VINCENT T. JOHNSON TO ME PERSONALLY KNOWN, WHO BEING BY ME DULY SWORN, DID SAY THAT HE IS SENIOR VICE PRESIDENT OF HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC, A SOLE MEMBER OF BLANKENBAKER LOGISTICS LLC, A KENTUCKY LIMITED LIABILITY COMPANY, A SOLE MEMBER OF MC WINAN ROAD, LLC, A MISSOURI LIMITED LIABILITY COMPANY, AND THAT SAID INSTRUMENT WAS SIGNED IN BEHALF OF SAID LIMITED LIABILITY COMPANY AND THAT SAID VINCENT T. JOHNSON, ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY.

IN WITNESS WHEREOF:

I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL IN THE DATE HEREIN LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

CITY PLAN COMMISSION:

APPROVED: _____

PUBLIC WORKS:

NOTARY PUBLIC

MICHAEL J. SHAW DIRECTOR OF PUBLIC WORKS

CITY COUNCIL:

THIS IS TO CERTIFY THAT THE WITHIN PLAT WAS DULY SUBMITTED TO AND APPROVED BY THE COUNCIL OF KANSAS CITY, MISSOURI, BY ORDINANCE NO. _____ DULY AUTHENTICATED AS PASSED THIS ____ DAY OF _____,

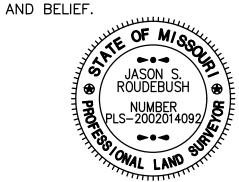
QUINTON LUCAS MAYOR

MARILYN SANDERS CITY CLERK

CITY SEAL

THIS PLAT AND SURVEY OF KCI 29 LOGISTICS PARK FIRST PLAT WERE EXECUTED BY OLSSON, 1301 BURLINGTON STREET #100, NORTH KANSAS CITY, MISSOURI 64116.

I HEREBY CERTIFY: THAT THE PLAT OF KCI 29 LOGISTICS PARK FIRST PLAT SUBDIVISION IS BASED ON AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS AND LANDSCAPE ARCHITECTS AND THE MISSOURI DEPARTMENT OF AGRICULTURE. I FURTHER CERTIFY THAT I HAVE COMPLIED WITH ALL STATUTES, ORDINANCES, AND REGULATIONS GOVERNING THE PRACTICE OF SURVEYING AND PLATTING OF SUBDIVISIONS TO THE BEST OF MY PROFESSIONAL KNOWLEDGE



OLSSON, MO CLS 366 JASON S. ROUDEBUSH, MO PLS 2002014092 MAY 30, 2023 JROUDEBUSH@OLSSON.COM

PLAT DEDICATION:

THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER AS SHOWN ON THE ACCOMPANYING PLAT, WHICH SUBDIVISION AND PLAT SHALL HEREAFTER BE KNOWN AS:

KCI 29 LOGISTICS PARK FIRST PLAT

EASEMENT DEDICATION - AN EASEMENT IS HEREBY GRANTED TO KANSAS CITY, MISSOURI, FOR THE PURPOSE OF LOCATING, CONSTRUCTING, OPERATING, AND MAINTAINING FACILITIES FOR WATER, GAS, ELECTRICITY, SEWAGE, TELEPHONE, CABLE TV AND SURFACE DRAINAGE, AND GRADING, INCLUDING, BUT NOT LIMITED TO. UNDERGROUND PIPES AND CONDUITS. PAD MOUNTED TRANSFORMERS, SERVICES PEDESTALS, ANY OR ALL OF THEM UPON, OVER, UNDER AND ALONG THE STRIPS OF LAND DESIGNATED UTILITY EASEMENTS (U.E.), PROVIDED THAT THE EASEMENT GRANTED HEREIN IS SUBJECT TO ANY AND ALL EXISTING EASEMENTS. ANY UTILITIES LOCATED WITHIN THE DESIGNATED UTILITY EASEMENTS, BY VIRTUE OF THEIR EXISTENCE, DO HEREBY COVENANT, CONSENT, AND AGREE THAT THEY SHALL BE SUBORDINATE TO SAID PUBLIC RIGHT OF WAY IN THE EVENT THAT ADDITIONAL PUBLIC RIGHT OF WAY IS DEDICATED OVER THE LOCATION OF THE UTILITY EASEMENT. WHERE OTHER EASEMENTS ARE DESIGNATED FOR A PARTICULAR PURPOSE, THE USE THEREOF SHALL BE LIMITED TO THAT PURPOSE ONLY. ALL OF THE ABOVE EASEMENTS SHALL BE KEPT FREE FROM ANY AND ALL OBSTRUCTIONS WHICH WOULD INTERFERE WITH THE CONSTRUCTION OR RECONSTRUCTION AND PROPER, SAFE AND CONTINUOUS MAINTENANCE OF THE AFORESAID USES AND SPECIFICALLY THERE SHALL NOT BE BUILT THEREON OR THEREOVER ANY STRUCTURE (EXCEPT DRIVEWAYS, PAVED AREAS, GRASS, SHRUBS AND FENCES) NOR SHALL THERE BE ANY OBSTRUCTION TO INTERFERE WITH THE AGENTS AND EMPLOYEES OF KANSAS CITY, MISSOURI, AND ITS FRANCHISED UTILITIES FROM GOING UPON SAID EASEMENT AND AS MUCH OF THE ADJOINING LANDS AS MAY BE REASONABLY NECESSARY IN EXERCISING THE RIGHTS GRANTED BY THE EASEMENT. NO EXCAVATION OR FILL SHALL BE MADE OR OPERATION OF ANY KIND OR NATURE SHALL BE PERFORMED WHICH WILL REDUCE OR INCREASE THE EARTH COVERAGE OVER THE UTILITIES ABOVE STATED OR THE APPURTENANCES THERETO WITHOUT A VALID PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS AS TO UTILITY EASEMENTS, AND/OR WRITTEN APPROVAL OF THE DIRECTOR OF WATER SERVICES AS TO WATER MAIN EASEMENTS.

DRAINAGE EASEMENT:

A DRAINAGE EASEMENT (D.E.) FOR THE PURPOSE OF STORM WATER DRAINAGE INCLUDING THE RIGHT TO BUILD, CONSTRUCT. KEEP, REPAIR AND MAINTAIN STORM WATER DRAINAGE FACILITIES UNDER, IN, OVER, AND UPON AS MAY BE NECESSARY, BEING AND SITUATED IN KANSAS CITY, MISSOURI ("THE CITY") IS HEREBY GRANTED TO THE CITY. THE CITY SHALL HAVE THE RIGHT AT ALL TIMES TO GO UPON THE LANDS HEREIN DESCRIBED TO CONSTRUCT, MAINTAIN AND REPAIR THE SAID DRAINAGE FACILITIES AS MAY BE NECESSARY. SHALL IN ANY WAY INTERFERE WITH THE SAFE AND UNRESTRICTED USE OF THE LAND ADJACENT TO AND ABOVE SAID DRAINAGE FACILITIES, NOR ATTEMPT TO USE SAID PROPERTY IN SUCH MANNER AS WOULD INTERFERE WITH THE PROPER, SAFE AND CONTINUOUS MAINTENANCE AND USE OF SAID DRAINAGE FACILITIES AND SPECIFICALLY SHALL NOT BUILD THEREON OR THEREOVER ANY STRUCTURE WHICH MAY INTERFERE WITH THE MAINTENANCE AND USE THEREOF.

SEWER EASEMENT:

A SEWER EASEMENT (S.E.) FOR THE LOCATION, CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, OPERATION AND REPAIR OF SEWERAGE IMPROVEMENTS AND ANY AND ALL APPURTENANCES INCIDENTAL THERETO IN, UNDER, UPON, OVER AND THROUGH LAND LYING, BEING AND SITUATED IN KANSAS CITY, MISSOURI ("THE CITY") IS HEREBY GRANTED TO THE CITY. BY THE GRANTING OF THIS EASEMENT, IT SHALL NOT BE CONSTRUED TO PROHIBIT DEVELOPMENT OF ANY ADJOINING PROPERTY OR FROM THE LAYING OUT, ESTABLISHING AND CONSTRUCTING PAVEMENT, SURFACING OF ROADWAYS, CURBING AND GUTTERS ALONG, UPON, OVER OR ACROSS SAID EASEMENT OR ANY PORTION THEREOF; PROVIDED, HOWEVER, SAID EASEMENT SHALL BE KEPT FREE FROM ADDITIONAL DEPTH OF OVERBURDEN, BUILDINGS, AND ANY OTHER STRUCTURE OR OBSTRUCTION (EXCEPT SIDEWALKS, ROADWAYS, PAVEMENT, GRASS, SHRUBS, FENCES, OR CURBS), WHICH WILL INTERFERE WITH THE CITY IN ENTERING UPON SAID ADJACENT LAND AND EASEMENT FOR THE PURPOSE OF LAYING, CONSTRUCTING, RECONSTRUCTING. OPERATING, REPAIRING AND MAINTAINING SUCH SEWERAGE IMPROVEMENTS AND APPURTENANCES.

STREET DEDICATION:

STREETS SHOWN HEREON AND NOT HERETOFORE DEDICATED FOR PUBLIC USE AS STREET RIGHT-OF-WAY ARE HEREBY DEDICATED.

FLOODPLAIN:

ACCORDING TO "FLOOD INSURANCE RATE MAP" COMMUNITY PANEL NO. 2909500035G, MAP REVISED JANUARY 20, 2017, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THIS SUBJECT PROPERTY LINES WITH FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE "A" (THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. THE LANDS HEREIN PLATTED LIE TOTALLY OR PARTIALLY WITHIN THE LIMITS OF THE REGULATORY FLOODPLAIN, AS DESIGNATED ON THE OFFICIAL FLOODPLAIN DOCUMENTS AND ARE SUBJECT TO THE RESTRICTIONS OF CHAPTER 28. CODE OF ORDINANCES OF KANSAS CITY, MISSOURI, AND ARE FURTHER SUBJECT TO THE REVISIONS OF CHAPTER X — FEDERAL INSURANCE ADMINISTRATION, SUBCHAPTER B - NATIONAL FLOOD INSURANCE PROGRAM FOR ELIGIBILITY THEREOF. HOWEVER, DUE TO CHANGE IN CIRCUMSTANCES, THE BOUNDARIES AS SHOWN HEREON MAY BE MODIFIED FROM TIME TO TIME. THEREFORE, SPECIFIC INFORMATION CONCERNING THE LOCATION OF THE FLOODPLAIN BOUNDARIES SHOULD BE ASCERTAINED AT THE PERTINENT TIME FROM THE APPROPRIATE AUTHORITIES, THE CITY OF KANSAS CITY, MISSOURI AND THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SURVEYORS NOTES:

1. PROPERTY INFORMATION REFERENCING THIS SURVEY WAS TAKEN FROM THE COMMITMENT FOR TITLE INSURANCE REPORT. ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. KCC212096, WITH A COMMITMENT DATE OF DECEMBER 13, 2021 AT 8:00 A.M. WITH AN UPDATED DATE OF DECEMBER 15, 2021. AND CHICAGO TITLE INSURANCE COMPANY, FILE NO. KCCC220333 WITH A COMMITMENT DATE OF MARCH 23, 2022 AT 8:00 A.M. WITH AN UPDATED DATE OF MARCH 25, 202.

2. BEARINGS USED HEREON ARE BASED ON THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983, WEST ZONE USING MISSOURI DEPARTMENT OF NATURAL RESOURCES MONUMENT "PL-12" WITH A GRID FACTOR OF 0.9999034. ALL COORDINATES SHOWN ARE IN METERS.

RIGHT OF ENTRANCE:

THE RIGHT OF ENTRANCE AND EGRESS IN TRAVEL ALONG ANY STREET OR DRIVE WITHIN THE BOUNDARIES OF THE PROPERTY IS HEREBY GRANTED TO KANSAS CITY, MISSOURI, FOR THE PURPOSE OF FIRE AND POLICE PROTECTION, MAINTENANCE OF WATER MAINS, SANITARY AND STORM SEWER LINES, COLLECTION OF GARBAGE AND REFUSE AND TO THE UNITED STATES POSTAL SERVICES FOR THE DELIVERY OF MAIL; PROVIDED, HOWEVER, SUCH RIGHT OF INGRESS AND EGRESS DOES NOT INCLUDE ANY OBLIGATION TO CONTRIBUTE FOR ANY DAMAGE TO ANY PRIVATE STREET OR DRIVE BY VIRTUE OF THE EXERCISE OF THE RIGHTS STATED HEREIN AND SPECIFICALLY, NEITHER KANSAS CITY, MISSOURI NOR THE U.S. POSTAL SERVICE SHALL INCUR ANY LIABILITY BY VIRTUE OF THE EXERCISE OF SUCH RIGHTS.

MAINTENANCE OF TRACTS:

TRACT A (31.00 ACRES) AND TRACT B (6.33 ACRES) ARE TO BE USED FOR STORM WATER DETENTION AND SHALL BE MAINTAINED BY THE OWNERS OF THE LOTS, TRACTS, AND PARCELS SHOWN WITHIN THIS PLAT PURSUANT TO THE COVENANT TO MAINTAIN STORM WATER DETENTION AND BMP FACILITIES PLAT OF KCI 29 LOGISTICS PARK FIRST PLAT.

STREET GRADES:

STREET GRADES FOR A PORTION OF NW 132ND STREET WERE UNAVAILABLE THROUGH A SEARCH OF CITY ORDINANCES.

NW. ROANRIDGE ROAD

GRADE POINT ELEV. DESC. V.C.T.

MEXICO CITY AVENUE

GRADE POINT ELEV. DESC. V.C.T.

NW. 132ND STREET

ELEV. DESC. V.C.T. **GRADE POINT** -----

> DATE OF SURVEY 04-27-2023 - To HMW for Review

04-27-2023 - SIGNATURE BLOCK CHANGED 04-28-2023 - Revised Plat Boundary 04-30-2023 - 1st Submittal 05-30-2023 - 2nd Submittal (Pre-CPC)

drawn by: NRW surveyed by: AH-NZ-RN-TG checked by: approved by: <u>JSR</u> project no.: C21-06168 file name: V_PPLAT_C2106168.DWG

8300 NE UNDERGROUND DRIVE KANSAS CITY, MO 64161

DEVELOPER:

816-455-2500

DEVELOPMENT, INC.

HUNT MIDWEST REAL ESTATE

SHEET 7 of 7