

**FINAL PLAT OF  
KCI 29 LOGISTICS PARK FIRST PLAT**  
NE 1/4 OF NW 1/4, NE 1/4, & SE 1/4, SEC 9, T52N, R34W  
NW 1/4 & SW 1/4, SEC 10, T52N, R34W  
KANSAS CITY, PLATTE COUNTY, MISSOURI

**LOT 1**  
970,654 SQ. FT.  
22.28 ACRES

**TRACT A  
(DETENTION)**  
1,350,319 SQ. FT.  
31.00 ACRES

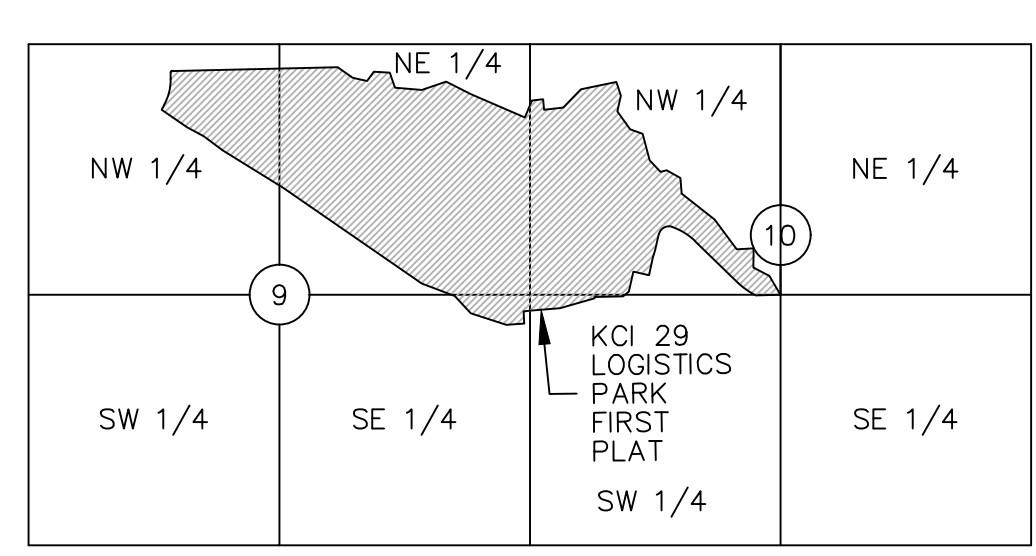
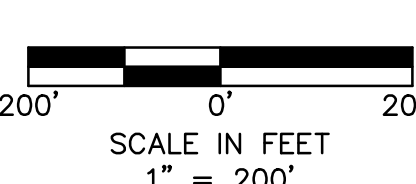
**LOT 3**  
835,011 SQ. FT.  
19.17 ACRES

**LOT 2**  
4,507,384 SQ. FT.  
103.48 ACRES

**EXCEPT THAT  
PART IN  
STREETS AND  
ROADS**  
554,073 SQ. FT.  
12.72 ACRES

**LOT 4**  
765,923 SQ. FT.  
17.58 ACRES

**TRACT B**  
275,933 SQ. FT.  
6.33 ACRES



**LEGEND**

SURVEY MARKERS	
○	FND FOUND MONUMENT
●	SCR SECTION CORNER
●	SET SET MONUMENT
□	ROW RIGHT OF WAY MARKER
BOUNDARIES	
---	SECTION LINE

**SURVEYORS NOTES:**

- PROPERTY INFORMATION REFERENCING THIS SURVEY WAS TAKEN FROM THE COMMITMENT FOR TITLE INSURANCE REPORT, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. KCC21096, WITH A COMMITMENT DATE OF DECEMBER 13, 2021 AT 8:00 A.M. WITH AN UPDATED DATE OF DECEMBER 15, 2021. AND CHICAGO TITLE INSURANCE COMPANY, FILE NO. KCCC220333 WITH A COMMITMENT DATE OF MARCH 23, 2022 AT 8:00 A.M. WITH AN UPDATED DATE OF MARCH 25, 2022.
- BEARINGS USED HEREON ARE BASED ON THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983, WEST ZONE USING MISSOURI DEPARTMENT OF NATURAL RESOURCES MONUMENT "PL-12" WITH A GRID FACTOR OF 0.9999034. ALL COORDINATES SHOWN ARE IN METERS.

**BOUNDARY CURVE TABLE**

BOUNDARY CURVE ID	INITIAL TANGENT BEARING	RADIUS	DELTA	LENGTH
C1	S82°35'05"W	660.00'	00°34'42"	6.66'

**BOUNDARY LINE TABLE**

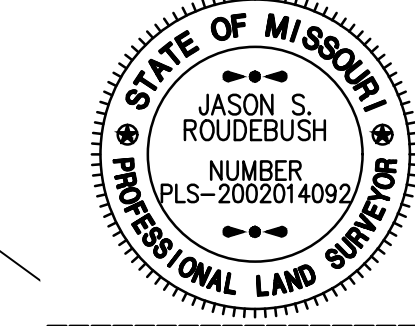
BOUNDARY LINE ID	BEARING	DISTANCE
L1	S00°28'01"W	11.33'

**DATE OF SURVEY**  
04-27-2023 - To HWW for Review  
04-28-2023 - Review Block Complete  
04-28-2023 - Revised Final Boundary  
04-30-2023 - 1st Submittal  
05-30-2023 - 2nd Submittal (Pre-CPD)

drawn by: NRW  
surveyed by: AHZN-RN-TG  
checked by: JRM  
approved by: JSR  
project no.: C21-06168  
file name: V\_PPLAT\_C2106168.DWG

THIS PLAT AND SURVEY OF KCI 29 LOGISTICS PARK FIRST PLAT WERE EXECUTED BY OLSSON, 1301 BURLINGTON STREET #100, NORTH KANSAS CITY, MISSOURI 64116.

I HEREBY CERTIFY THAT THE PLAT OF KCI 29 LOGISTICS PARK FIRST PLAT SUBDIVISION IS BASED ON AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS AND LANDSCAPE ARCHITECTS AND THE MISSOURI DEPARTMENT OF AGRICULTURE. I FURTHER CERTIFY THAT I HAVE COMPLIED WITH ALL STATUTES, ORDINANCES, AND REGULATIONS GOVERNING THE PRACTICE OF SURVEYING AND PLATTING OF SUBDIVISIONS TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

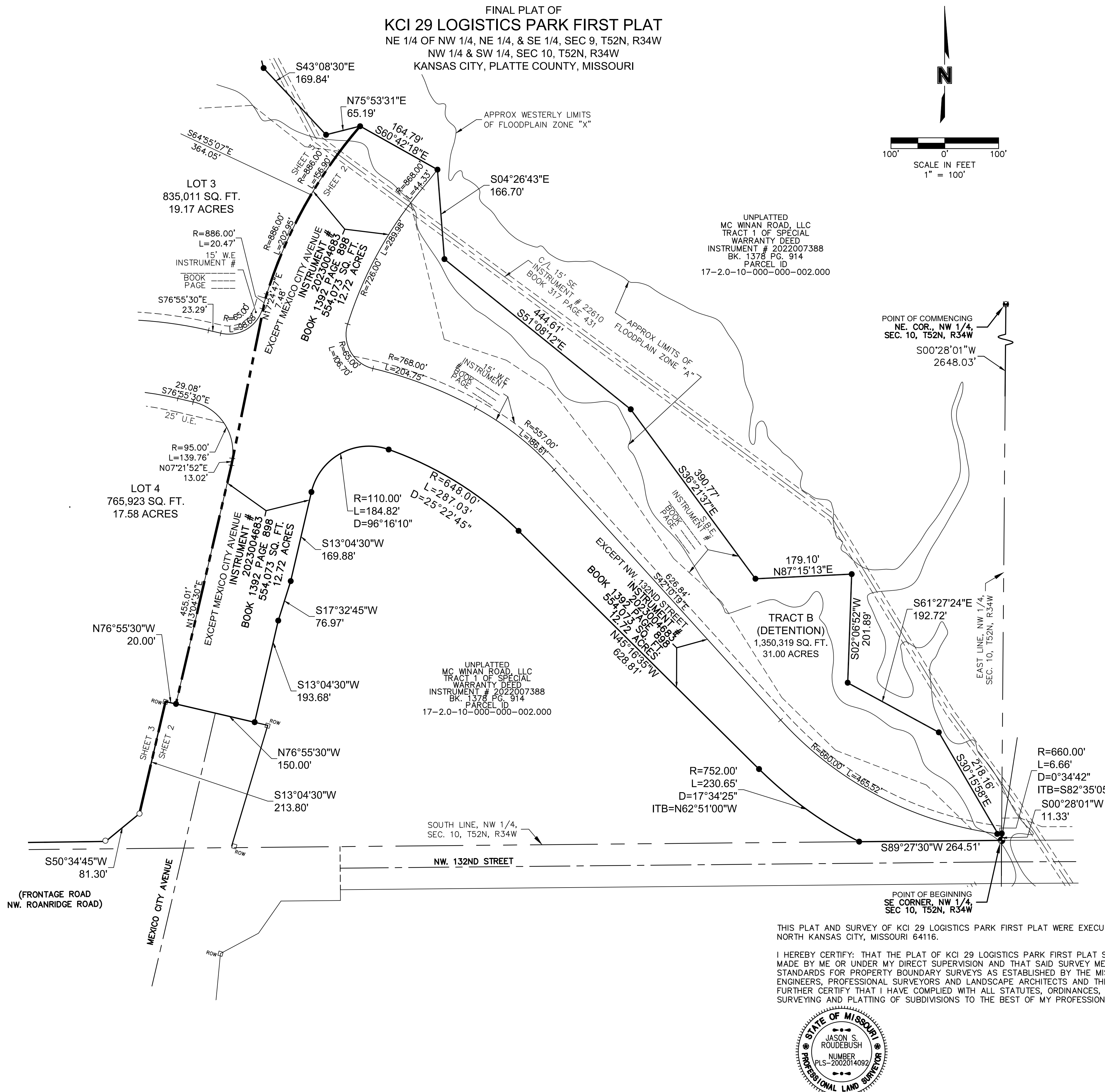


OLSSON, MO CLS 366  
Jason Roubush, MO PLS 200214092  
1301 Burlington Street, North Kansas City, MO 64116  
TEL 816.361.1177  
FAX 816.361.1888  
www.olsson.com

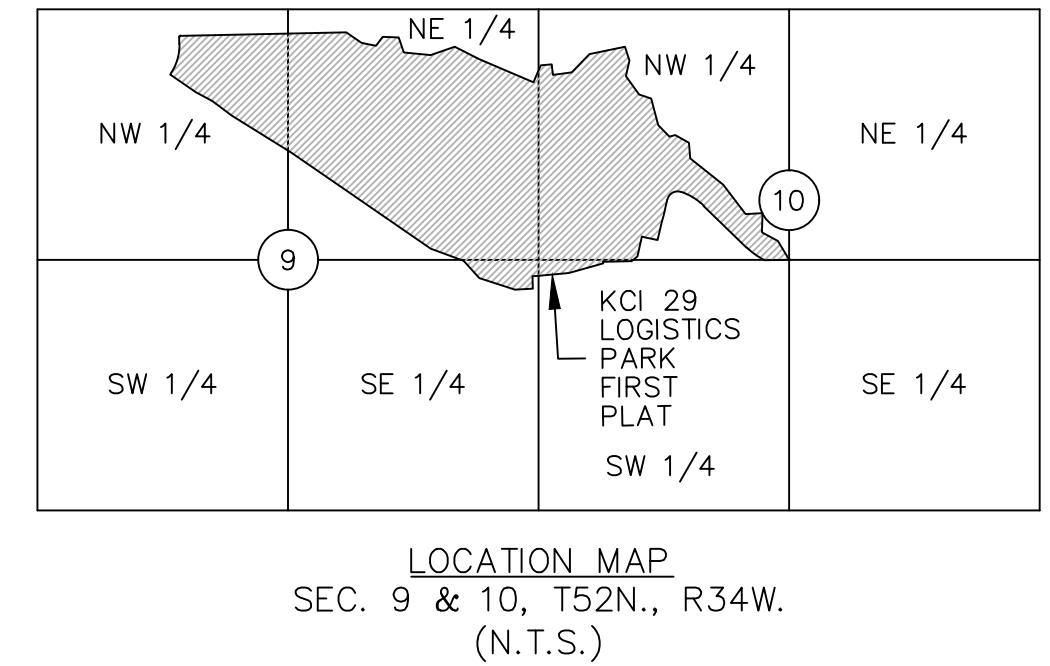
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 USER: nwilloughby  
 DATE: May 30, 2023 12:26PM

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 DATE: May 30, 2023 12:28PM  
 USER: nwilloughby

STATE PLANE COORDINATE TABLE		
Point Number	Grid Northing	Grid Easting
1	351428.572	831252.851
2	351419.457	831284.894
3	351460.115	831179.295
4	351771.739	830734.696
5	351894.091	830541.549
6	351940.191	830480.693
7	351969.843	830427.215
8	352027.367	830345.162
9	352042.006	830353.532
10	352125.974	830375.222
11	352147.173	830374.929
12	352151.807	830379.437
13	352159.189	830913.284
14	352124.701	830962.076
15	352114.244	831008.237
16	352143.527	831030.118
17	352140.952	831081.789
18	352092.235	831097.799
19	352083.755	831184.415
20	352109.965	831262.408
21	352069.105	831341.190
22	351993.021	831514.986
23	352046.975	831538.606
24	352050.474	831574.115
25	352016.433	831577.470
26	352024.058	831638.768
27	352082.087	831695.768
28	352104.667	831810.470
29	352060.509	831824.846
30	352009.820	831812.861
31	351951.408	831854.355
32	351937.175	831893.795
33	351851.720	831915.721
34	351813.950	831951.117
35	351818.793	831970.388
36	351794.218	832014.189
37	351743.565	832018.127
38	351658.537	832123.641
39	351562.625	832194.251
40	351565.240	832248.775
41	351503.748	832246.505
42	351475.681	832298.104
43	351418.252	832331.617
44	351418.000	832333.632
45	351414.546	832333.604
46	351413.784	832252.991
47	351454.881	832196.295
48	351589.744	832060.124
49	351635.769	831986.567
50	351611.720	831942.805
51	351561.285	831931.091
52	351538.918	831924.019
53	351481.417	831910.664
54	351491.759	831866.132
55	351493.138	831860.194
56	351429.665	831845.453
57	351413.929	831826.310
58	351412.727	831733.946
59	351408.248	831734.908
60	351377.659	831623.904
61	351369.656	831523.917
62	351368.252	831506.372
63	351328.657	831507.371
64	351325.245	831449.389
65	351363.748	831335.646



DEVELOPER:  
 HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC  
 8300 NE UNDERGROUND DRIVE  
 KANSAS CITY, MO 64161  
 816-455-2500



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⊠	ROW RIGHT OF WAY MARKER
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R	RADIUS
L	ARC LENGTH
D	CENTRAL ANGLE / DELTA
C/L	CENTRAL ANGLE
EASEMENTS	
S.B.E.	STREAM BUFFER EASEMENT
S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT

DATE OF SURVEY	
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04-27-2023	Signature Block Complete
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04-30-2023	1st Submittal
05-30-2023	2nd Submittal (Pre-PCP)

drawn by: NRW  
 surveyed by: AHZ, RN, TG  
 checked by: JPM  
 approved by: JSR  
 project no.: C21-06168  
 file name: V\_PLAT\_C2106168.DWG

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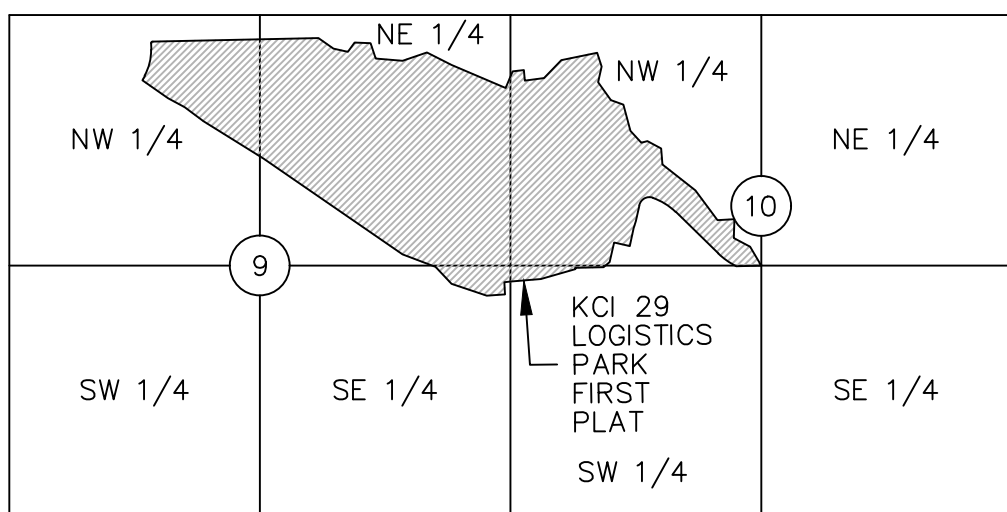


OLSSON, MO CLS 366  
 Jason Roudebush, MO PLS 2002014092  
 MAY 30, 2023  
 JROUDEBUSH@OLSSON.COM

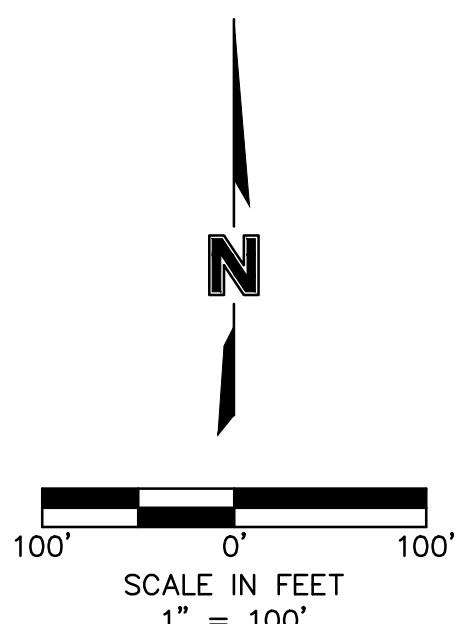
**olsson**

Olsson, Land Surveyors, MO 366, KS 114, MO Certificate of Authority-001892  
 1301 Burlington Street, North Kansas City, MO 64116  
 TEL: 816.361.1177 FAX: 816.361.1888 www.olsson.com

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 KANSAS CITY, PLATTE COUNTY, MISSOURI



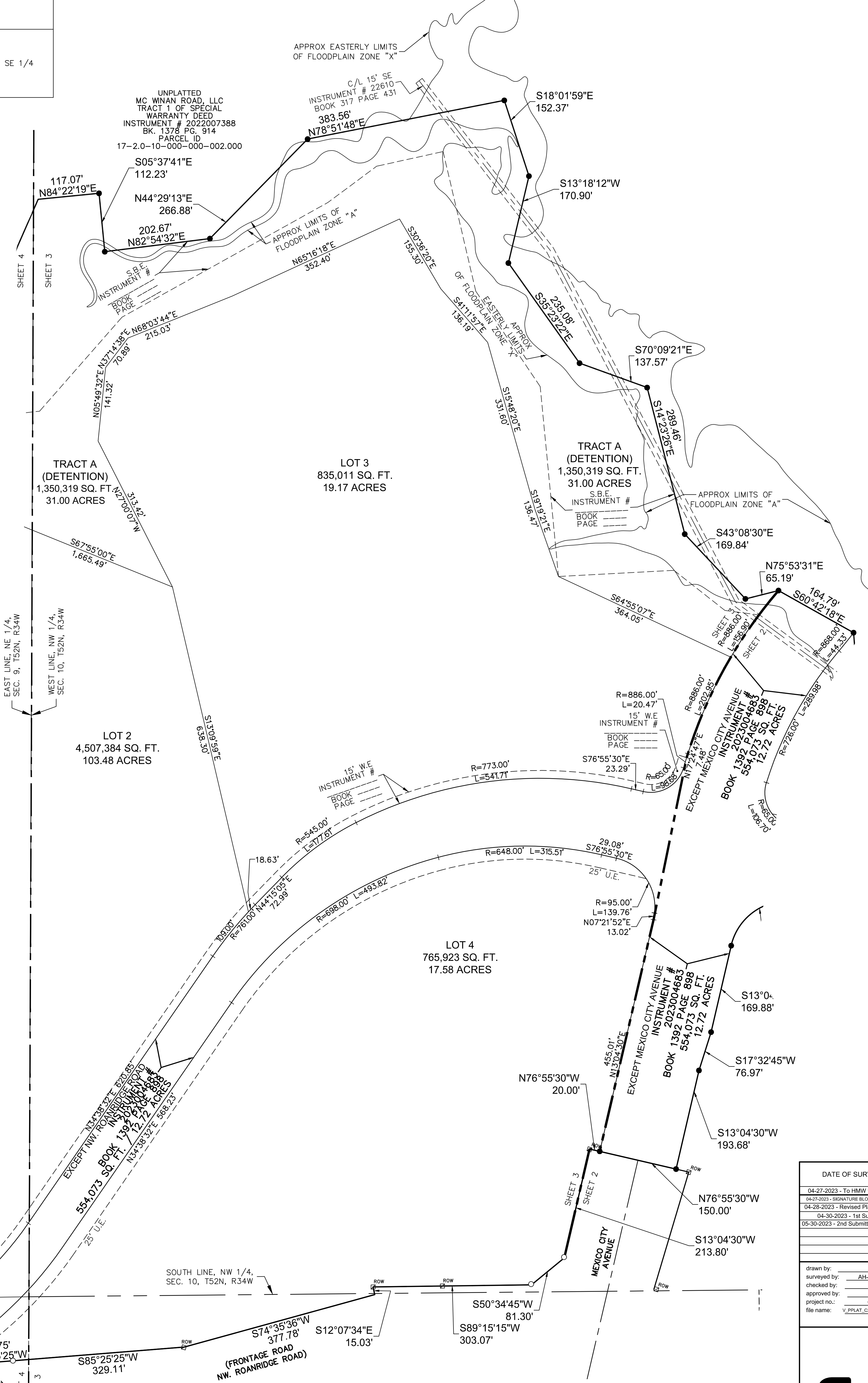
LOCATION MAP  
 SEC. 9 & 10, T52N., R34W.  
 (N.T.S.)



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<b>EASEMENTS</b>	
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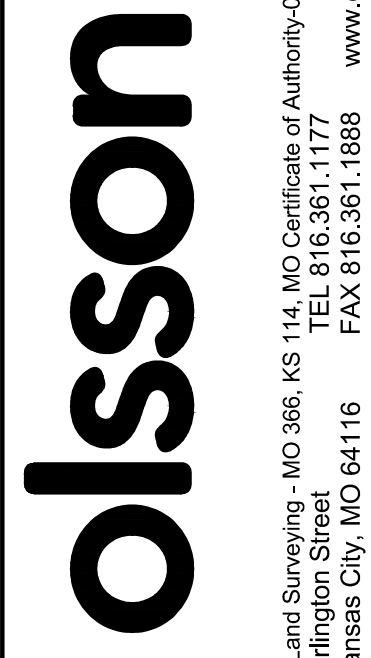
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 Jason Roudebush, MO PLS 2002014092  
 MAY 30, 2023  
 JROUDEBUSH@OLSSON.COM

DATE OF SURVEY	
04-27-2023	To HMW for Review
04-27-2023	Signature Block Changes
04-28-2023	Revised Plat Boundary
04-30-2023	1st Submittal
05-30-2023	2nd Submittal (Pre-CPG)

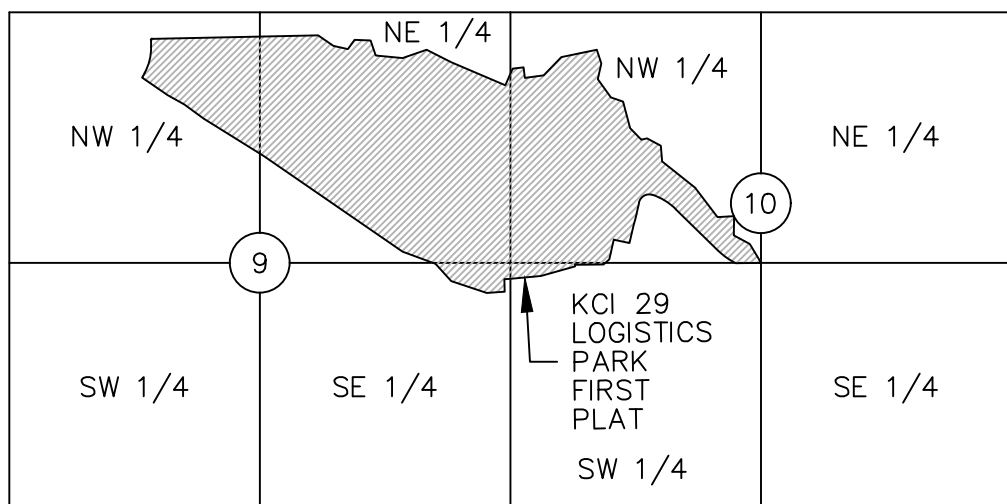
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 surveyed by: AH-NZ-RN-TG  
 checked by: JPM  
 approved by: JSR  
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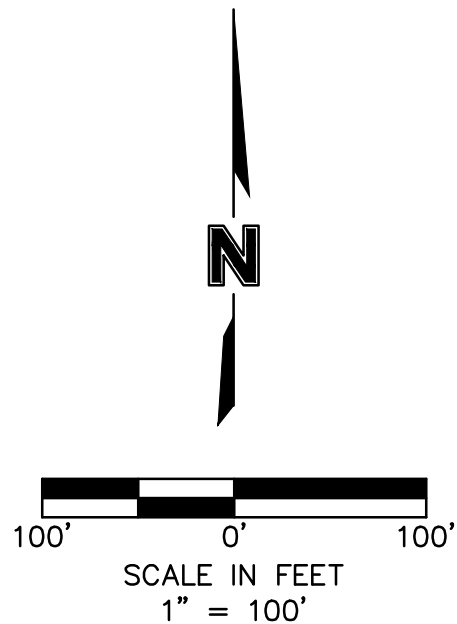
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 DATE: May 30, 2023 12:46PM

DEVELOPER:  
 HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC.  
 8300 NE UNDERGROUND DRIVE  
 KANSAS CITY, MO 64161  
 816-455-2500

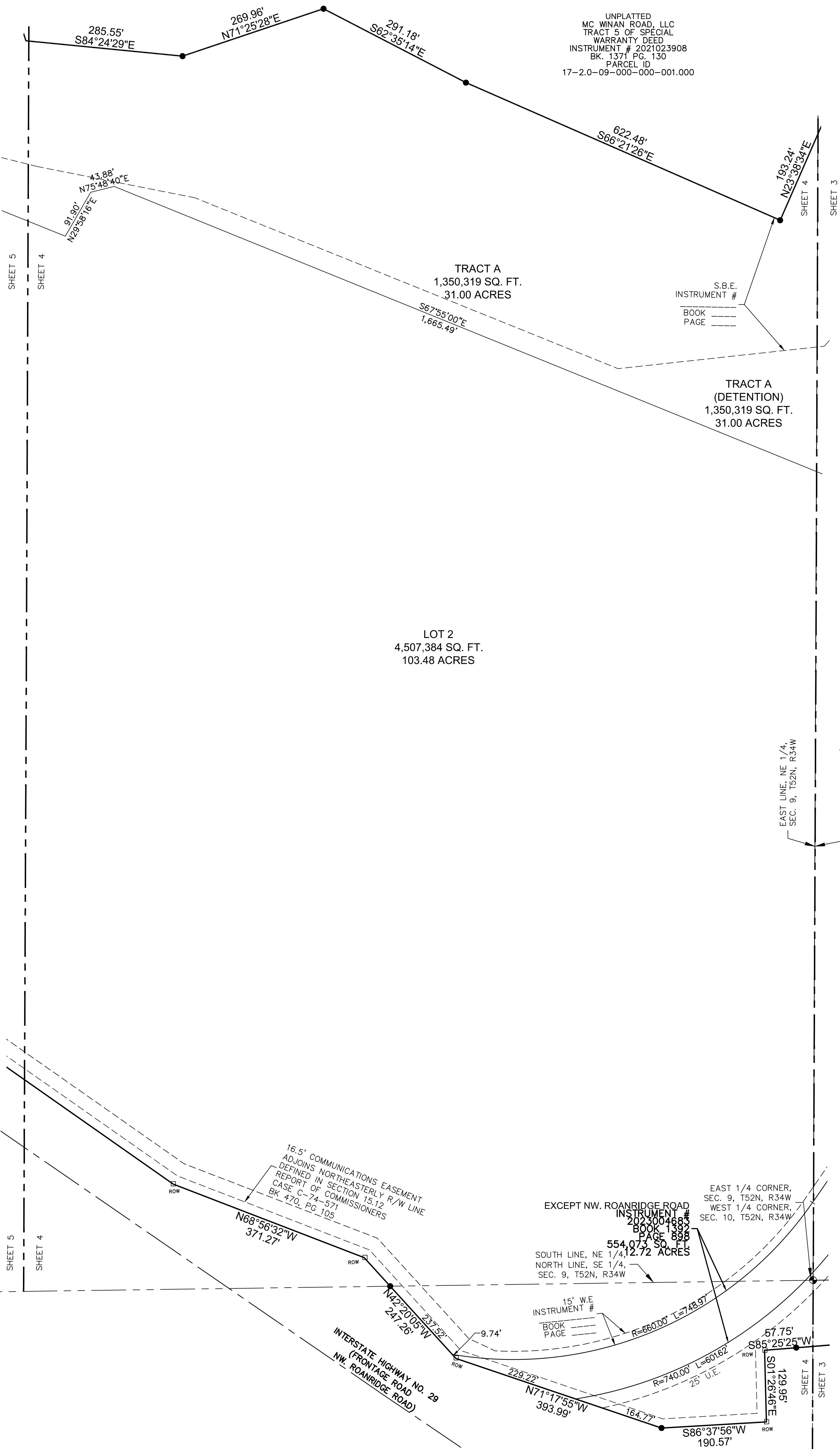
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 NW 1/4 & SW 1/4, SEC 10, T52N, R34W  
 KANSAS CITY, PLATTE COUNTY, MISSOURI



LOCATION MAP  
 SEC. 9 & 10, T52N., R34W.  
 (N.T.S.)



UNPLATTED  
 MC WINAN ROAD, LLC  
 TRACT 5 OF SPECIAL  
 WARRANTY DEED  
 INSTRUMENT # 2021023908  
 BK. 1371 PG. 130  
 PARCEL ID  
 17-2.0-09-000-000-001.000



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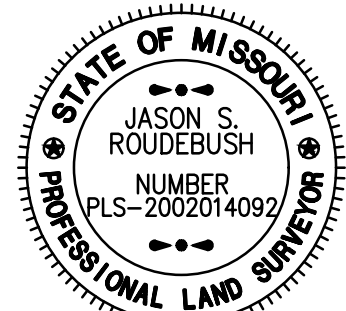
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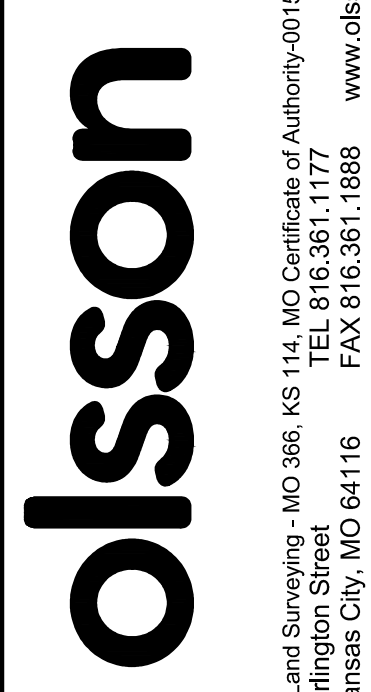
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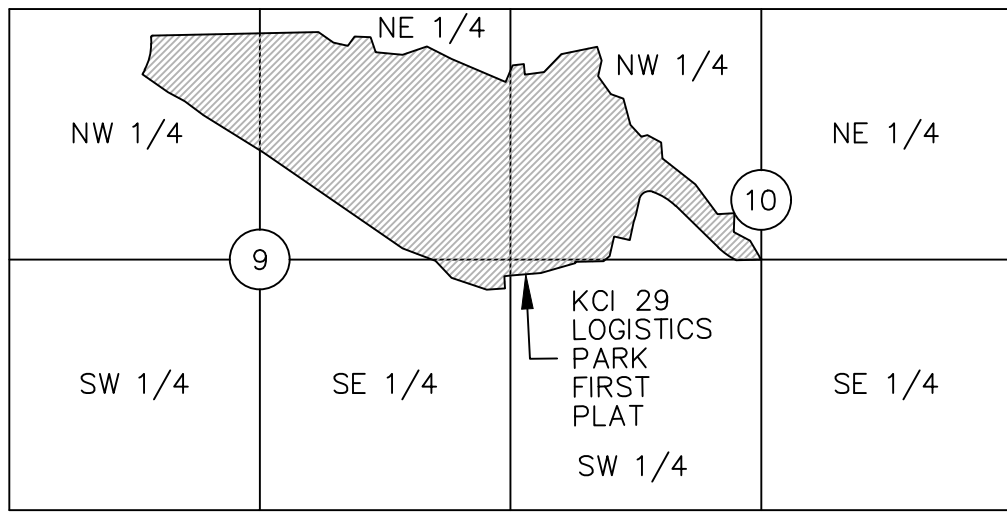
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 MAY 30, 2023  
 JROUDEBUSH@OLSSON.COM

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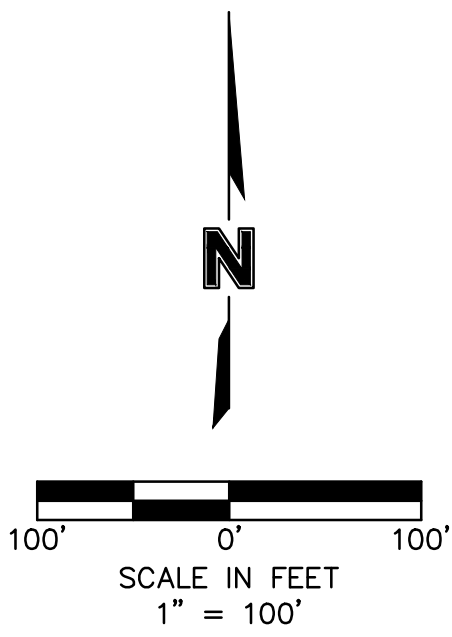


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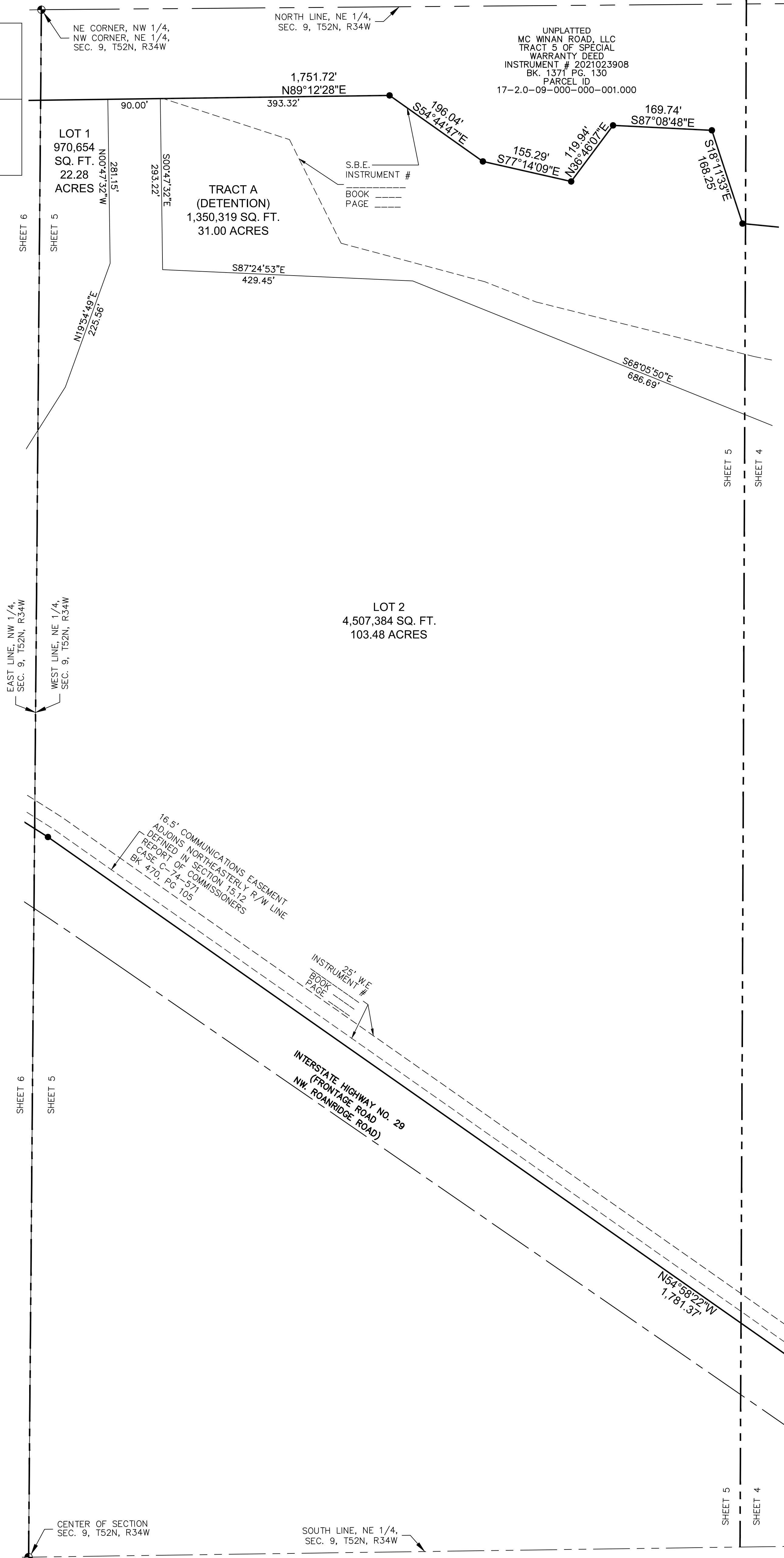
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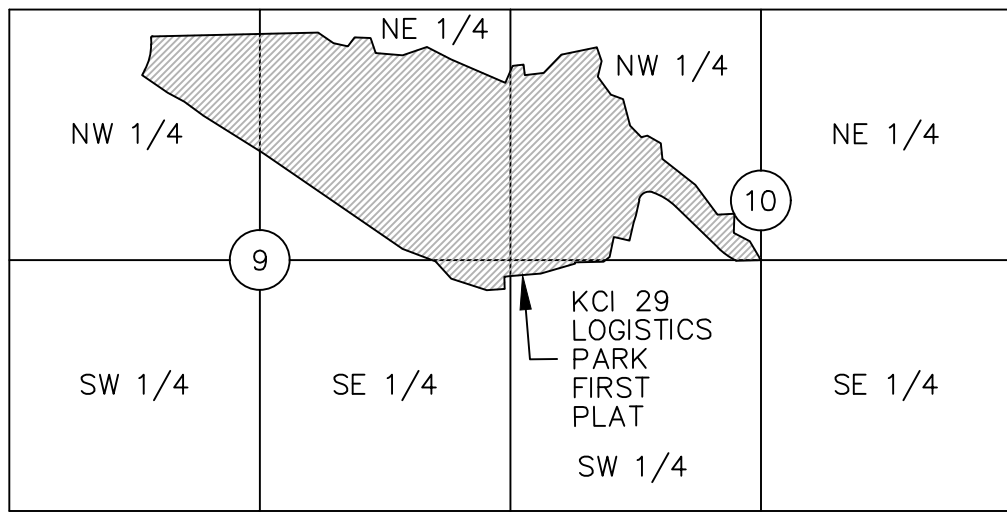
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 816-455-2500

DATE OF SURVEY	
04-27-2023	To HMW for Review
04-27-2023	SIGNATURE BLOCK CHANGES
04-28-2023	Revised Plat Boundary
04-30-2023	1st Submittal
05-30-2023	2nd Submittal (Pre-CPC)

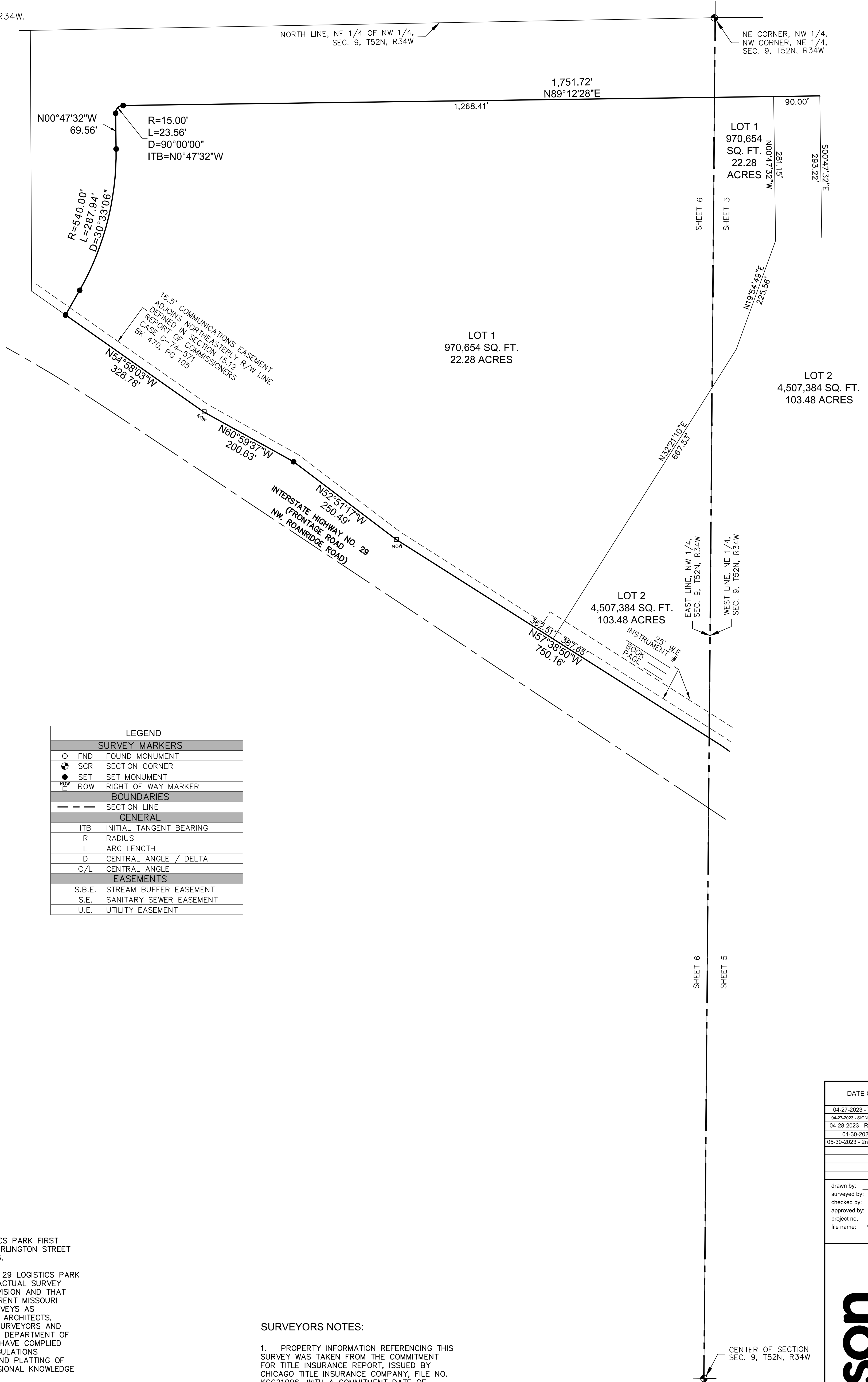
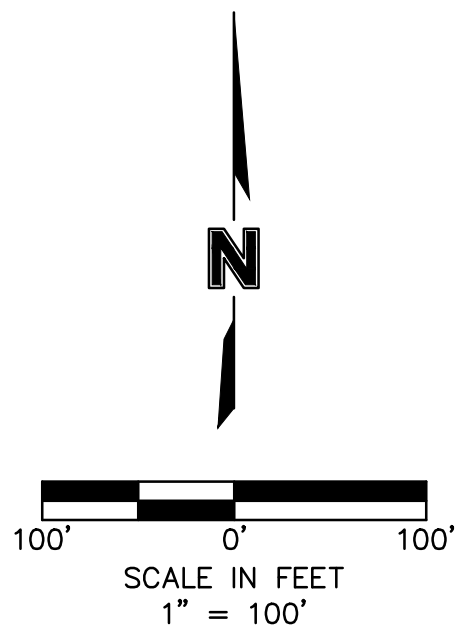
drawn by: NRW  
 surveyed by: AH-NZ-RN-TG  
 checked by: JPM  
 approved by: JSR  
 project no.: C21-06168  
 file name: V\_PLAT\_C2106168.DWG

USER: nwilloughby  
 DWG: F:\2021\06001-06500\021-06168-C\40-Design\Survey\SRVY\Sheets\Final\Plat\V\_PLAT\_C2106168.dwg  
 DATE: May 30, 2023 12:49PM

FINAL PLAT OF  
**KCI 29 LOGISTICS PARK FIRST PLAT**  
 NE 1/4 OF NW 1/4, NE 1/4, & SE 1/4, SEC 9, T52N, R34W  
 NW 1/4 & SW 1/4, SEC 10, T52N, R34W  
 KANSAS CITY, PLATTE COUNTY, MISSOURI



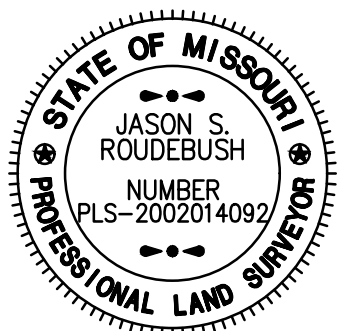
LOCATION MAP  
 SEC. 9 & 10, T52N., R34W.  
 (N.T.S.)



LEGEND	
<b>SURVEY MARKERS</b>	
○	FND FOUND MONUMENT
●	SCR SECTION CORNER
●	SET SET MONUMENT
ROW	ROW RIGHT OF WAY MARKER
<b>BOUNDARIES</b>	
---	SECTION LINE
<b>GENERAL</b>	
ITB	INITIAL TANGENT BEARING
R	RADIUS
L	ARC LENGTH
D	CENTRAL ANGLE / DELTA
C/L	CENTRAL ANGLE
<b>EASEMENTS</b>	
S.B.E.	STREAM BUFFER EASEMENT
S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT

THIS PLAT AND SURVEY OF KCI 29 LOGISTICS PARK FIRST PLAT WERE EXECUTED BY OLSSON, 1301 BURLINGTON STREET #100, NORTH KANSAS CITY, MISSOURI 64116.

I HEREBY CERTIFY: THAT THE PLAT OF KCI 29 LOGISTICS PARK FIRST PLAT SUBDIVISION IS BASED ON AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS AND LANDSCAPE ARCHITECTS AND THE MISSOURI DEPARTMENT OF AGRICULTURE. I FURTHER CERTIFY THAT I HAVE COMPLIED WITH ALL STATUTES, ORDINANCES, AND REGULATIONS GOVERNING THE PRACTICE OF SURVEYING AND PLATTING OF SUBDIVISIONS TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.



OLSSON, MO CLS 366  
 Jason Roudebush, MO PLS 2002014092  
 MAY 30, 2023  
 JROUDEBUSH@OLSSON.COM

**SURVEYORS NOTES:**

- PROPERTY INFORMATION REFERENCING THIS SURVEY WAS TAKEN FROM THE COMMITMENT FOR TITLE INSURANCE REPORT, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. KCC21096, WITH A COMMITMENT DATE OF DECEMBER 13, 2021 AT 8:00 A.M. WITH AN UPDATED DATE OF DECEMBER 15, 2021. AND CHICAGO TITLE INSURANCE COMPANY, FILE NO. KCCC220333 WITH A COMMITMENT DATE OF MARCH 23, 2022 AT 8:00 A.M. WITH AN UPDATED DATE OF MARCH 25, 2022.
- BEARINGS USED HEREON ARE BASED ON THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983, WEST ZONE USING MISSOURI DEPARTMENT OF NATURAL RESOURCES MONUMENT "PL-12" WITH A GRID FACTOR OF 0.9999034. ALL COORDINATES SHOWN ARE IN METERS.

**DEVELOPER:**  
 HUNT MIDWEST REAL ESTATE DEVELOPMENT, INC.  
 8300 NE UNDERGROUND DRIVE  
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