

BLUE HILLS TOWNHOUSE

5015 GARFIELD AVENUE

A SUBDIVISION IN PART OF SECTION 28, TOWNSHIP 49 NORTH, RANGE 33 WEST
CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

UR REZONING PLAN

BRUSH CREEK-BLUE RIVER IS THE WATERSHED FOR THIS PROJECT.
THE TOTAL DISTURBED AREA IS ±3.18 ACRES

SWOPE AREA PLAN AMENDED FROM RESIDENTIAL LOW DENSITY TO
RESIDENTIAL MEDIUM HIGH DENSITY.

FLOOD INFORMATION:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP NUMBER 29095C0266G, WHICH BEARS AN EFFECTIVE DATE OF JANUARY 01, 2017 AND IS IN JACKSON COUNTY.

DESCRIPTION:

ALL OF LOTS 1 TO 8, BOTH INCLUSIVE, AND 13 TO 16, BOTH INCLUSIVE, IN GARFIELD HEIGHTS, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI; AND ALL OF LOTS 6 TO 11 IN PARKINA PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

ABOVE DESCRIPTION IS CONTAINED IN THE ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER 1629665, HAVING AN EFFECTIVE DATE OF DECEMBER 28, 2022, AS IT WAS COPIED VERBATIM FROM SAID TITLE COMMITMENT.

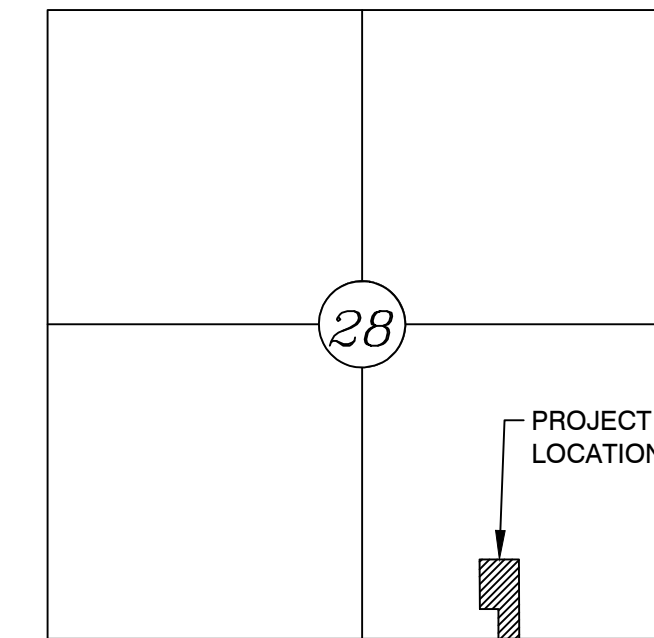
SITE DATA	Existing	Proposed	Deviation Requested?	Approved
Zoning	R-6	UR	R2.5 Underlying District	
Gross Land Area				
in square feet	138,419±	138,419±		
in acres	3.18±	3.18±		
Right-of-way Dedication				
in square feet		692±		
in acres		0.02±		
Net Land Area				
in square feet	138,419±	137,727±		
in acres	3.18±	3.16±		
Building Area (sq. ft.)	32,630±	32,630±		
Floor Area Ratio		48%		
Residential Use Info		Low Income Multi-Family		
Total Dwelling Units	0	45		
Detached House	-	-		
Zero lot line House	-	-		
Cottage House	-	-		
Semi-attached House	-	-		
Townhouse	-	-		
Two-unit House	-	-		
Colonnade	-	-		
Multiplex	-	-		
Multi-unit Building	0	(5) 6-unit buildings (3) 5-unit buildings		
Total Lots	1	1		
Residential	1	1		
Public/Civic	0	0		
Commercial	0	0		
Industrial	0	0		
Other	0	0		

BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback	Min: 25% Max: 25-ft	20-ft	Yes	
Front Setback	Min: 15% Max: 25-ft	20-ft	Yes	
Side Setback (abutting street)	15-ft	20-ft	No	
Side Setback (interior)	Min: 10% Max: 8ft	10-ft	No	
Height	Max: 45ft	28-ft	No	

PARKING	Vehicle Spaces		Bike Spaces		Alternatives Proposed?
	Required	Proposed	Required	Proposed	
Proposed Use(s)					
Household Living	45		Long term: 15 Short Term: 7	Long term: 15 Short Term: 7	
Affordable Housing	-22.5				
Total	23	64	Long term: 15 Short Term: 7	Long term: 15 Short Term: 7	

88-408 - PARKLAND DEDICATION	Number of Units	Number of People	Acre per Person	Required Park Area (Acres)
Detached	0	0	0	0
Semi-Attached	0	0	0	0
Multi-Unit Building	45	90	0.006	0.54

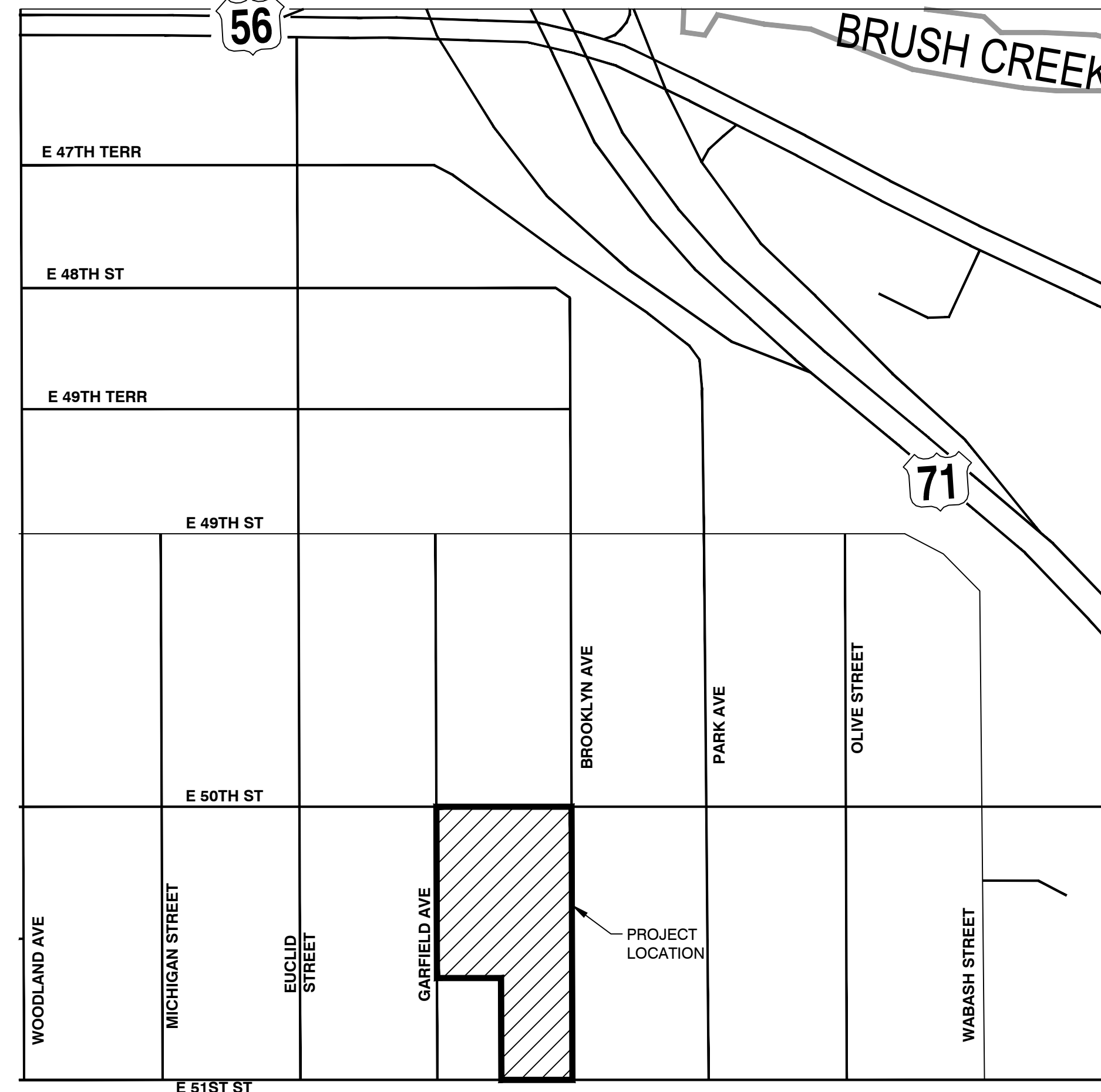
Note: Park Fee to be Paid in Lieu of Land Dedication



VICINITY MAP
N.T.S.

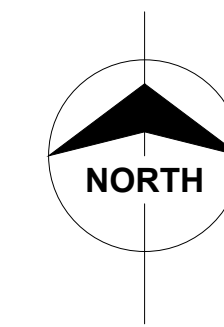
INDEX

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E-100	LIGHTING PLAN
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A-200 - A-206	BUILDING ELEVATIONS
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A-803	COMMUNITY BUILDING ELEVATIONS



SITE LOCATION MAP

SECTION 28, TOWNSHIP 49 NORTH, RANGE 33 WEST
NOT TO SCALE



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ARCHITECTURE/ENGINEERING/SURVEYING
3200 S. State Route 291, Bldg. 1, Independence, MO 64057
(616) 373-4800 | powellcwm.com

Certificates of Authority:
Architecture: MO 310 / KS 73
Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 36

PREPARED FOR:
FULSON HOUSING GROUP
220 NW EXECUTIVE WAY
LEE SUMMIT, MO 64063

UR REZONING PLAN
BLUE HILLS TOWNHOMES
5015 GARFIELD AVENUE
JACKSON COUNTY, MO 64029

Jadrienne S. Rodell-Tipton, PE
PE-2021032725 (MISSOURI #)

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REVISIONS NO.	DATE / DESCRIPTION

DRAWN BY: JDS
CHECKED BY: JSRT
PROJECT #: 23-2156
ISSUE DATE: 03/22/2023

ISSUED FOR:
PRELIMINARY

Cover Sheet

C-001

NOT FOR CONSTRUCTION
 FOR CONSTRUCTION



UR REZONING PLAN
BLUE HILLS TOWNHOMES
5015 GARFIELD AVENUE
 JACKSON COUNTY, MO 64029

Jadrienne S. Rodell-Tipton, PE
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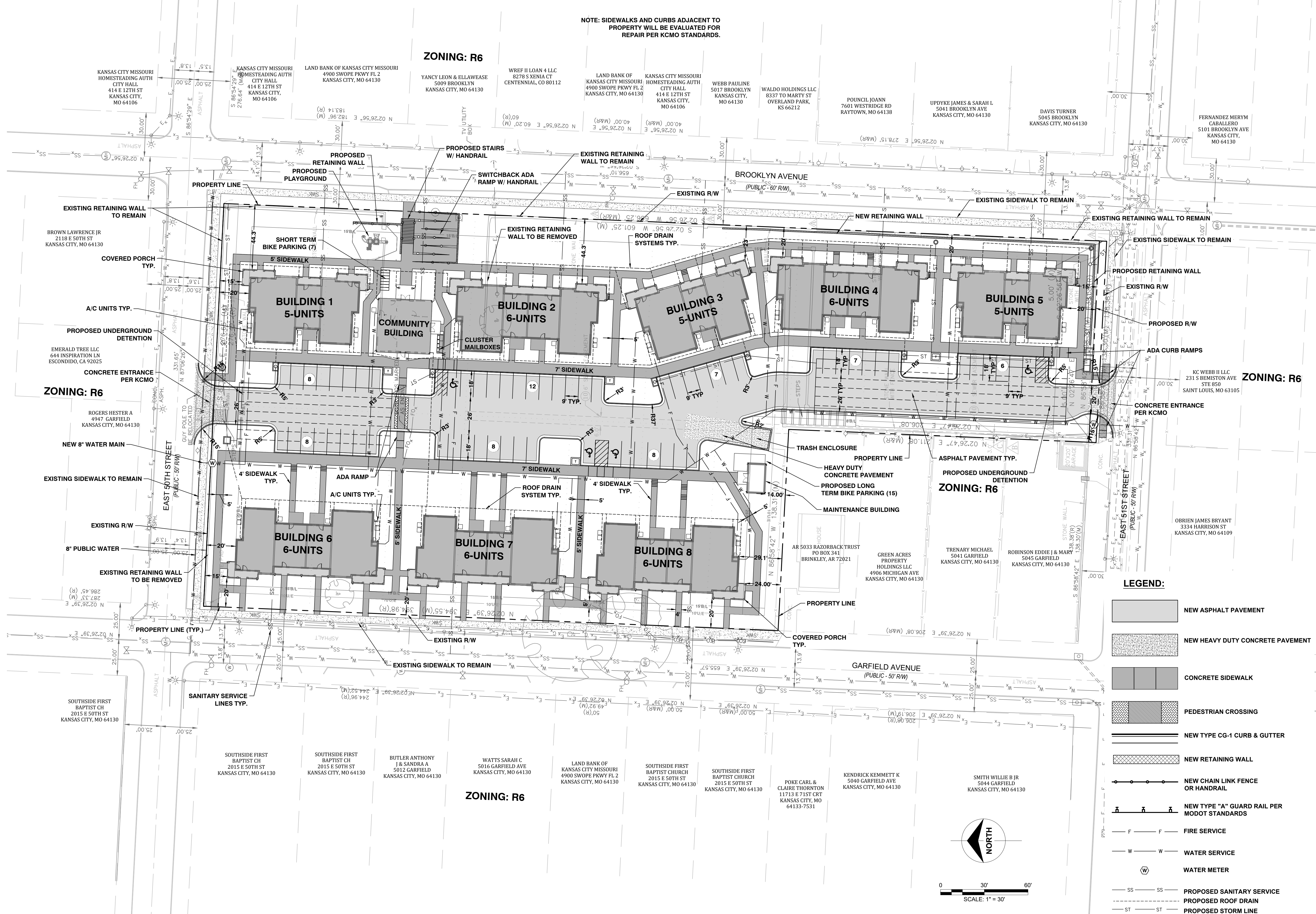
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REVISIONS
 NO. DATE / DESCRIPTION

DRAWN BY: JDS
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 PROJECT #: 23-2156
 ISSUE DATE: 03/22/2023
 ISSUED FOR:
 PRELIMINARY

Concept Site Plan

C-100



NOTE: SIDEWALKS AND CURBS ADJACENT TO PROPERTY WILL BE EVALUATED FOR REPAIR PER KCMO STANDARDS.

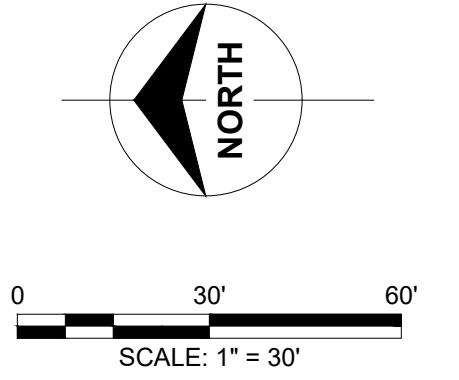
ZONING: R6

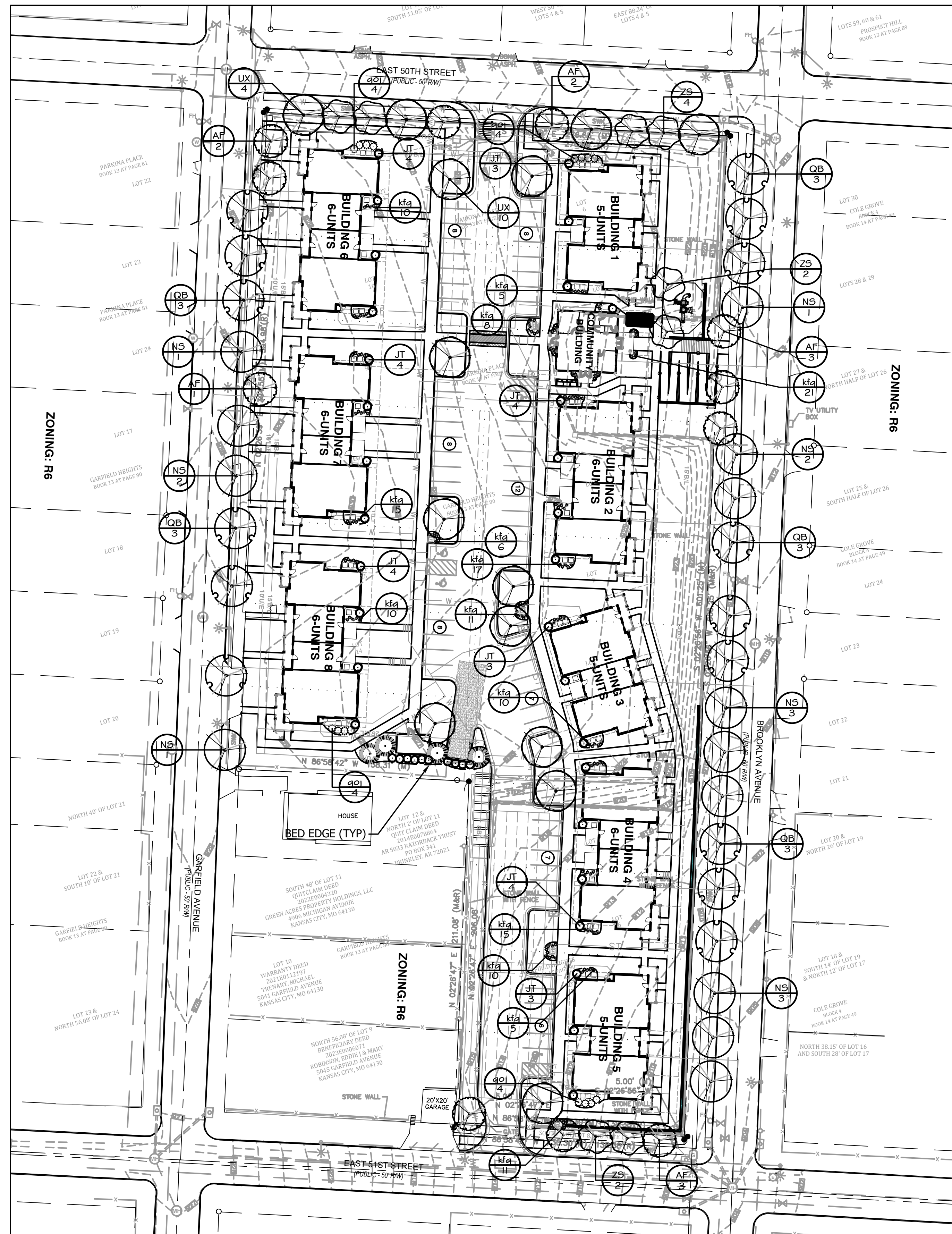
ZONING: R6

ZONING: R6

LEGEND:

- NEW ASPHALT PAVEMENT
- NEW HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- PEDESTRIAN CROSSING
- NEW TYPE CG-1 CURB & GUTTER
- NEW RETAINING WALL
- NEW CHAIN LINK FENCE OR HANDRAIL
- NEW TYPE "A" GUARD RAIL PER MODOT STANDARDS
- FIRE SERVICE
- WATER SERVICE
- WATER METER
- PROPOSED SANITARY SERVICE
- PROPOSED ROOF DRAIN
- PROPOSED STORM LINE





PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	AF	11	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple	2" Cal.	B&B / Cont.
	NS	13	Nyssa sylvatica 'Wildfire'	Wildfire Tupelo	2" Cal.	B&B / Cont.
	QB	15	Quercus bicolor	Swamp White Oak	2" Cal.	B&B / Cont.
	UX	14	Ulmus x 'New Horizon'	New Horizon Elm	2" Cal.	B&B / Cont.
	ZS	8	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2" Cal.	B&B / Cont.
EVERGREEN TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	JT	40	Juniperus virginiana 'Taylor'	Taylor Eastern Redcedar	5' Ht.	B&B / Cont.
	GG	4	Thuja x 'Green Giant'	Green Giant Arborvitae	5' Ht.	B&B / Cont.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	kfg	154	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	24" Ht.	Pot
	goj	16	Juniperus virginiana 'Grey Owl'	Grey Owl Eastern Redcedar	24" Ht.	Pot

88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	47	49		
88-425-04 General	NA			
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets				
Buffer Width				
Trees	NA			
Shrubs/Wall/Berm				
Adjacent to Residential Zones				
Buffer Width				
Shrubs/Berm/Fence/Wall				
88-425-06 Interior Vehicular Use Area				
Interior Area	2,590 SF	5,130 SF		
Trees				
Shrubs				
88-425-07 Parking Garage Screening	Describe	NA		
88-425-08 Mechanical/Utility Equipment Screening	Describe	Supplied around known equipment		
88-425-09 Outdoor Use Screening	Describe	NA		

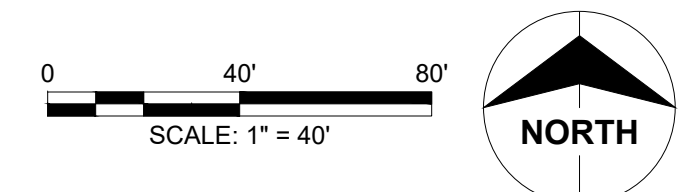
KCMO LANDSCAPE CALCULATIONS:

- SECTION 88-424 - TREE PRESERVATION AND PROTECTION**
- PER 88-424-06-C4, AREA OF EXISTING TREE CANOPY TO BE REMOVED IS LESS THAN ONE ACRE (5,760 SF), THEREFORE NO MITIGATION FOR REMOVED TREES IS REQUIRED.
- SECTION 88-425-03 STREET TREES (1/30 LF FRONTAGE IN R.O.W. OR EASEMENT):**
- 50th STREET (N) = 276.65 LF / 30 = 10 TREES REQ. / 10 TREES PROVIDED
 - 51st STREET (S) = 138.38 LF / 30 = 5 TREES REQ. / 5 TREES PROVIDED
 - BROOKLYN AVE (E) - 606.25 LF / 30 = 21 TREES REQ. / 21 TREES PROVIDED
 - GARFIELD AVE (W) = 394.98 LF / 30 = 14 TREES REQ. / 14 PROVIDED
- SECTION 88-425-06 - INTERIOR LANDSCAPING OF PARKING LOTS (35 SF PER STALL)**
- 74 STALLS X 35 SF = 2,590 SF REQ. / 5,130 SF PROVIDED
- SECTION 88-425-08 - SCREENING OF CONTAINERS & MECH/UTILITY EQUIP:**
- PROVIDED FOR DUMPSTERS, AC UNITS AND CABLE BOXES IDENTIFIED ON THIS PLAN. CONTRACTOR TO ADD ADDITIONAL PLANTINGS OF SAME VARIETIES USED ON THIS PLAN FOR MECH/UTILITY EQUIP AS NEEDED.

LANDSCAPE PLAN NOTES:

- Existing underground (u/g), overhead (o.h.) utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the contractors to verify existence and location of all utilities before starting any work.
- No substitutions for variety or cultivars shall be accepted without first obtaining written approval from Owner's Representative.
- All plant material shall be of excellent quality, free of disease and infestation, and true to type, variety, size specified, and form per American Nursery Association Standards (z60.1).
- For trees planted in turf areas, a ring of died brown shredded hardwood mulch shall be formed into a saucer in a minimum ring twice the diameter of the rootball from the trunk with minimum depth of 3" water settled.
- Contractor shall thoroughly water in each plant immediately following installation.
- Contractor shall be responsible for calculating all areas of sod and seed and the amounts of each needed for optimum coverage.
- Contractor shall install sod in all areas, including rights-of-ways, disturbed during construction not otherwise designated as another material. Sodded areas greater than 4:1 slope shall have sod secured in place with sod staples spaced evenly and adequately to hold sod in place. Sod shall be 90% heat tolerant turf-type tall fescue blend (3 minimum varieties) + 10% Bluegrass. Starter fertilizer with moisture management agent shall also be applied to topsoil at time of sodding.
- Proposed trees shall not be placed over existing or proposed utility service lines. It is the contractor's responsibility to understand utility locations and have them marked during tree planting operations. If utility is damaged during planting, contractor is responsible for notifying the general contractor and owner of utility and paying for repair of the damaged utility.
- No trees shall be planted within 15 feet of a street or parking lot light pole.

1 LANDSCAPE PLAN
1" = 40'

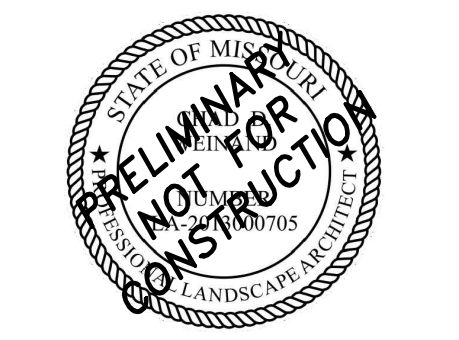


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Engineering: MO 4 / KS 241
Land Surveying: MO 123 / KS 36

PREPARED FOR:
FULSON HOUSING GROUP
220 NW EXECUTIVE WAY
LEE SUMMIT, MO 64063

UR REZONING PLAN
BLUE HILLS TOWNHOMES
JACKSON COUNTY, MO 64029



Chad D. Weinand, PLA
LA-2013000755 (MISSOURI #)

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REVISIONS	NO.	DATE / DESCRIPTION
	1	5.18.23 / CITY REVIEW COMMENTS
	2	6.3.23 / CITY REVIEW COMMENTS

DRAWN BY: CDW
CHECKED BY: CDW
PROJECT #: 23-2156
ISSUE DATE: 05/01/2023
ISSUED FOR:

REVIEW

Landscape Plan
L100

W Chad D. Weinand, PLA, ASLA
Landscape Architecture
15173 W. 157th Terrace, Olathe, Kansas 66062
913.484.3738 - cweinand74@gmail.com
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GENERAL NOTES

1. ALL SITE LIGHTING CONDUITS SHALL BE 1" C MINIMUM, 18" BELOW BELOW GRADE. PROVIDE #10AWG THROUGHOUT ENTIRE CIRCUIT.

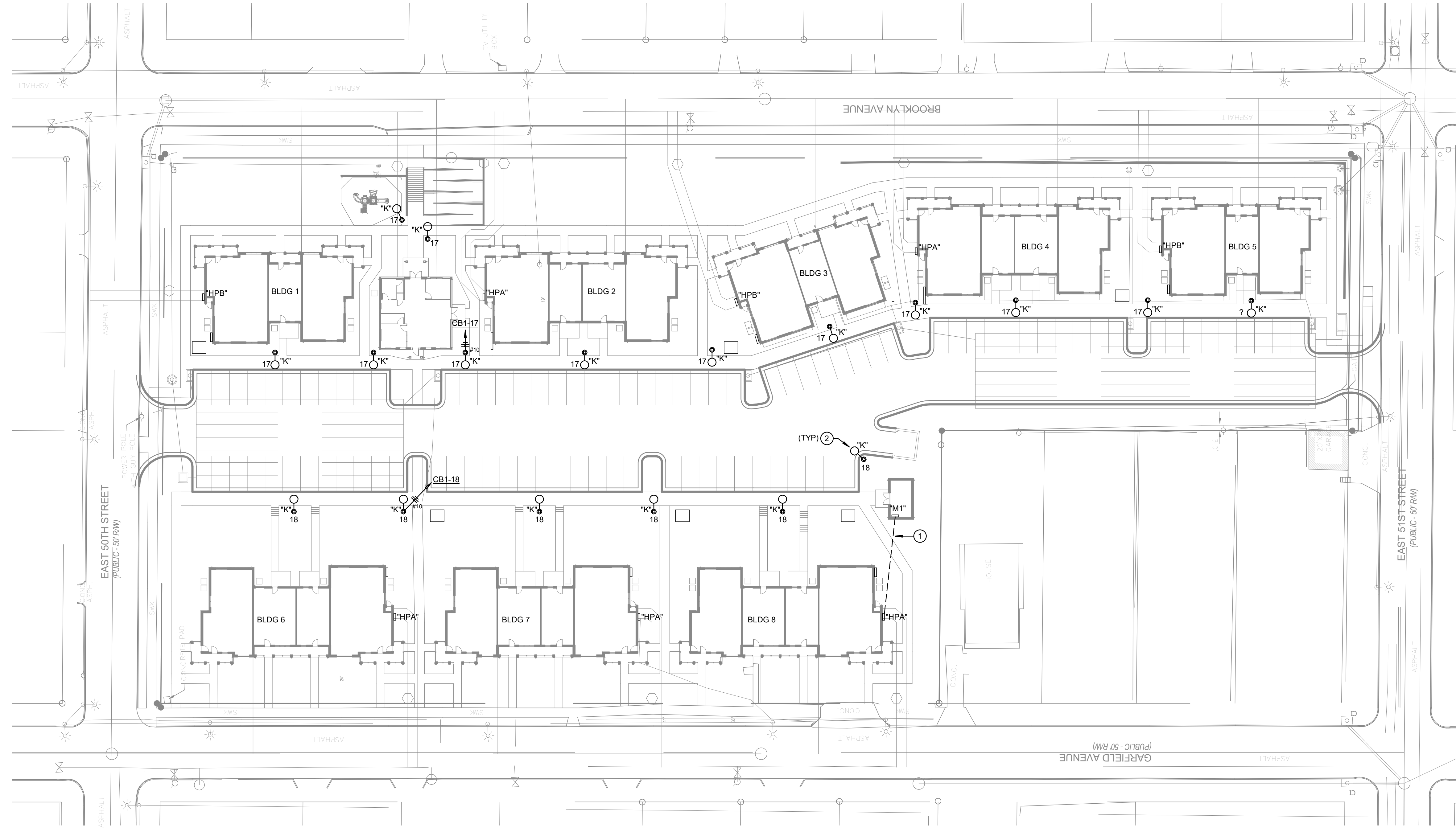
KEYED NOTES

1. PROVIDE SUBJECTED TO MAINTENANCE BLDG PANEL. PROVIDE 3-#6, 1-#10G IN 1-1/2" C.
2. FIXTURES ARE PROVIDED WITH TYPE IV DISTRIBUTION AND HOUSE SIDE SHIELD. FIXTURE SHALL BE AIMED TOWARDS PARKING LOT.

PRINTS ISSUED

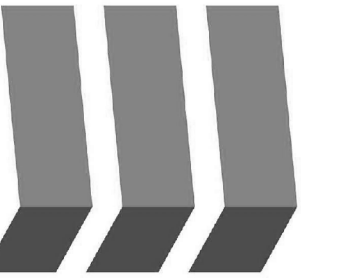
04-30-2023 100% BID

REVISIONS:



SITE PLAN - ELECTRICAL
SCALE: 1" = 30'-0"

ENGENUITY
BUILDING VALUE
BY DESIGN
17057 N. OUTER FORTY ROAD
SUITE 100, NO. 63005
CHESTERFIELD, MO 63005
P: (314) 819-9189
WWW.THEENGUITY.COM
LICENSED PROFESSIONAL ENGINEER
MISSOURI LICENSE # 17254



BLUE HILLS TOWNHOMES

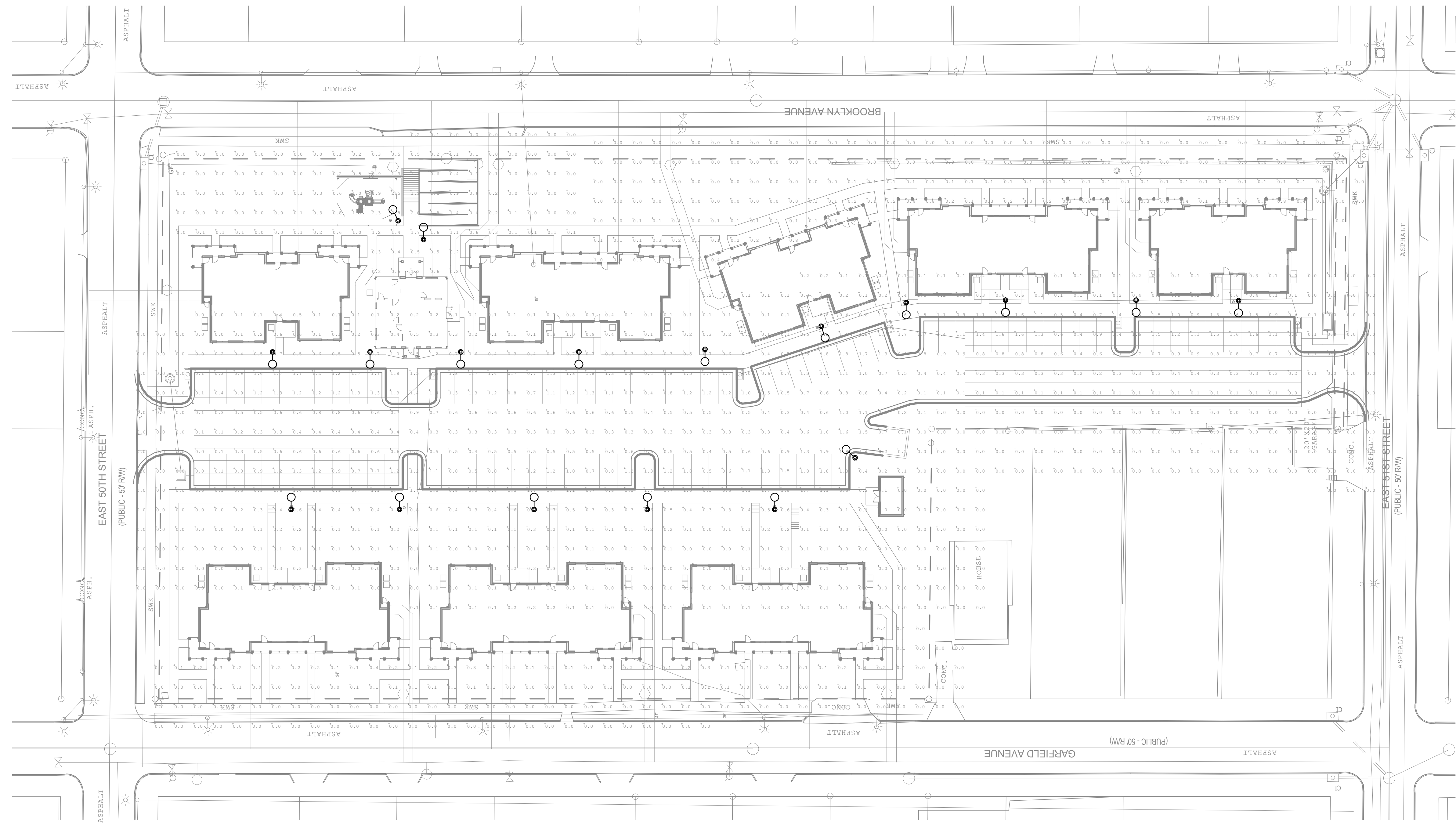
**GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI**

SHEET TITLE
SITE PLAN

PROJECT NUMBER: 23035

SHEET NUMBER:

E-100



PRINTS ISSUED
04-30-2023 100% BID
REVISIONS:

ENGENUITY
BUILDING VALUE
BY DESIGN
17057 N. OUTER FORTY ROAD
CHESTERFIELD, MO 63005
P: (314) 871-9919
WWW.THEENGENUITY.COM
MISOURI CERTIFICATE OF AUTHORITY:
062621017254



BLUE HILLS TOWNHOMES
GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI

SHEET TITLE
SITE PLAN PHOTOMETRIC
PROJECT NUMBER: 23035
SHEET NUMBER:


E-100P

Date: _____ Customer: _____
Project: _____ selux
Type: _____ Qty: _____

SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"

PARKING LOT FIXTURES:
- FULL CUTOFF
- MOUNTED 16'-0" AFG
- ZERO FOOTCANDLES AT PROPERTY LINES

Beta Lantern LED



Order Code: BLL

Series	Height	Finish	Options
BLL Beta Lantern LED			
Optics			
R1 Type I Distribution	R2 Type II Distribution	R3 Type III Distribution	R4 Type IV (Round) Distribution
R5 Type V (Square) Distribution	R6 Type VI Distribution		
Mounting			
1 Single	2 Double	W Wall Mount	
Light Engine			
SG350 3500K 4000lm	SG550 5000K 4000lm	SG700 5000K 4000lm	SG105 5000K 4000lm
CCT	27K 2700K	30K 3000K	35K 3500K
	40K 4000K	50K 5000K	
Power Cord Length	12 12'	15 15'	18 18'
	20 20'	25 25'	XX XX'
Finish	WH White	BK Black	BL Satin Bronze
		BZ Bronze	SV Silver
			SP Security Premium Color
Voltage	UNV 120V/277V	120 120V	240 240V
		277 277V	540V 540V
		480V 480V	480V 480V

Options

H5 Head Side (Not Included)	DM1 Dimming (Not Included)	PCT001 Photocell (Not Included)	HL50+ Head Side (Not Included)	M5+ Motion Sensor with On/Off (Not Included)
-----------------------------	----------------------------	---------------------------------	--------------------------------	--

Product Modifications
Please list modification requirements for review by factory.

Approvals

Date: _____

Bungalow | 3152CDWSBZ Porch / Rear Townhome Light



Measurements:

Height	Width	Extension
11.00"	5.25"	4.35"
RP Height	RP Width	HCO
7.00"	4.25"	2.25"

Lighting:
Incandescent MB 1150 Rated Lumens
100 60W MB Color Temperature
60 total watt 2500 Rated Life
Dimmable: Standard Dimmer

Shipping:

Carton Weight	Carton Width	Carton Height	Carton Length
6.31 lb	9.45"	8.66"	20.08"
Master Pack Weight	Master Pack Width	Master Pack Height	Master Pack Length
37.86 lb	20.87"	18.50"	29.33"
Master Pack Qty	UPC	UPC	UPC
6.000	783209315204	Yes	Yes

Finish: Bronze BZ
Glass: Seedy/Walrus CDWS
Material: Die Cast Aluminum
Certification: Wet Location
Additional: MB (Not Included)

MAXIM LIGHTING
253 NORTH WINDLAND AVE | CITY OF INDUSTRY, CA 91746
T: 626-954-4200 | F: 626-954-4225
www.maximlighting.com #maximlighting





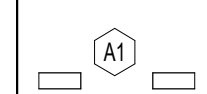
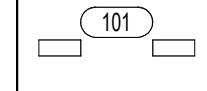
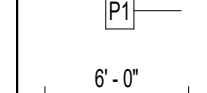


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KEYNOTE LEGEND
23.01 CONDENSER UNIT PAD

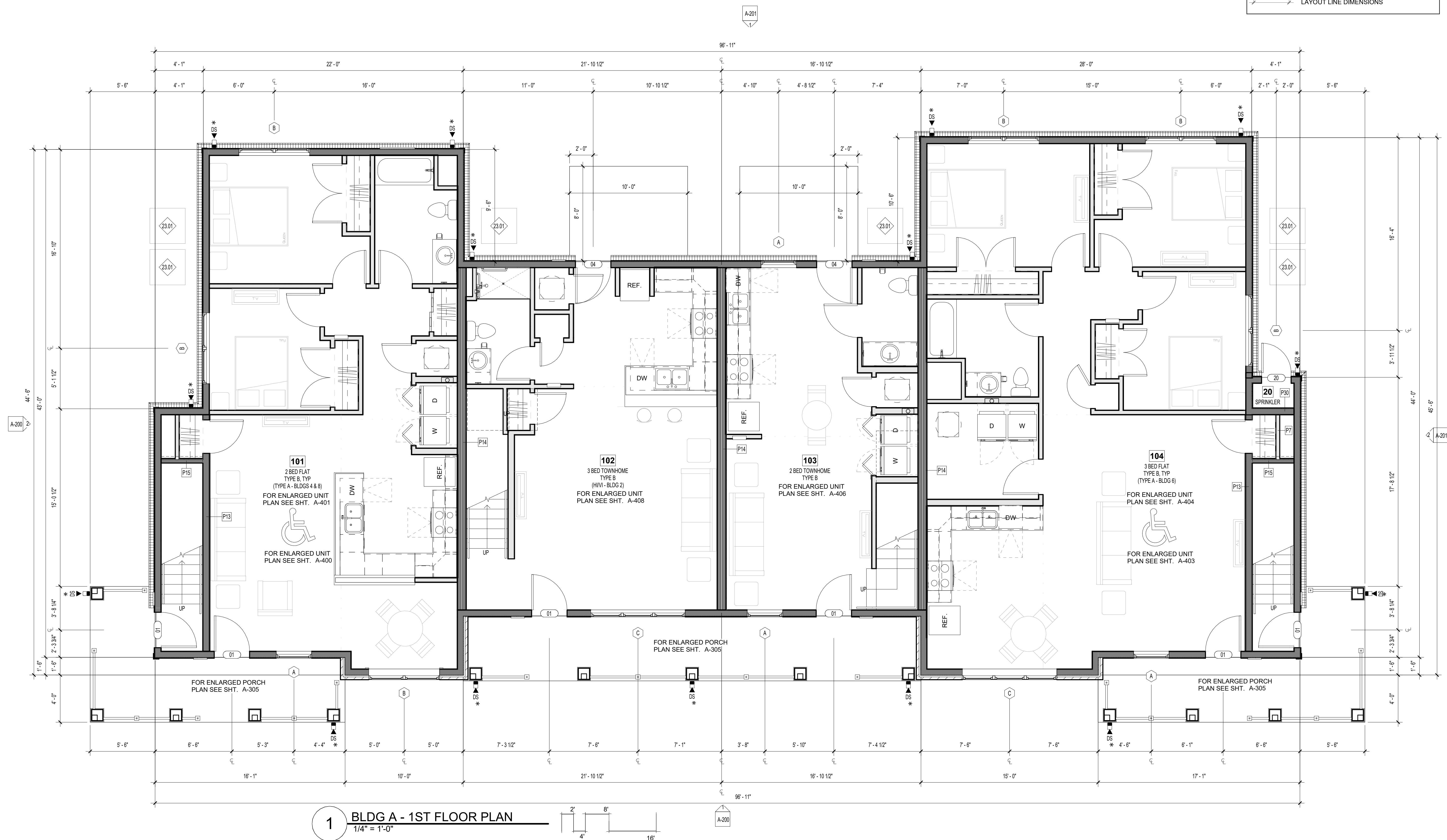
REFERENCE G-003 FOR GENERAL NOTES

PRINTS ISSUED
100% BID SET 04/30/2023
REVISIONS:

PLAN LEGEND

-  PARTIAL HEIGHT PARTITION
-  NON-RATED PARTITION; SEE ASSEMBLIES
-  1 HR RATED PARTITION; SEE ASSEMBLIES
-  2 HR RATED PARTITION; SEE ASSEMBLIES
-  WINDOW TYPE; SEE WINDOW SCHEDULE
-  DOOR TYPE; SEE DOOR SCHEDULE
-  PARTITION TYPE; SEE ASSEMBLIES
INTERIOR: P1 TYP, UNO.
EXTERIOR: P30 TYP, UNO.
-  FRAMING DIMENSIONS
-  LAYOUT LINE DIMENSIONS

rosemann & ASSOCIATES P.C.
ARCHITECTURE
INTERIOR DESIGN
ENGINEERING
PLANNING
168 N. Meramec Avenue, Ste 200
Clyton, MO 63105
P: 314.678.1448
W: www.rosemann.com
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DENVER ■ KANSAS CITY ■ ST. LOUIS ■ ATLANTA



1 BLDG A - 1ST FLOOR PLAN
1/4" = 1'-0"

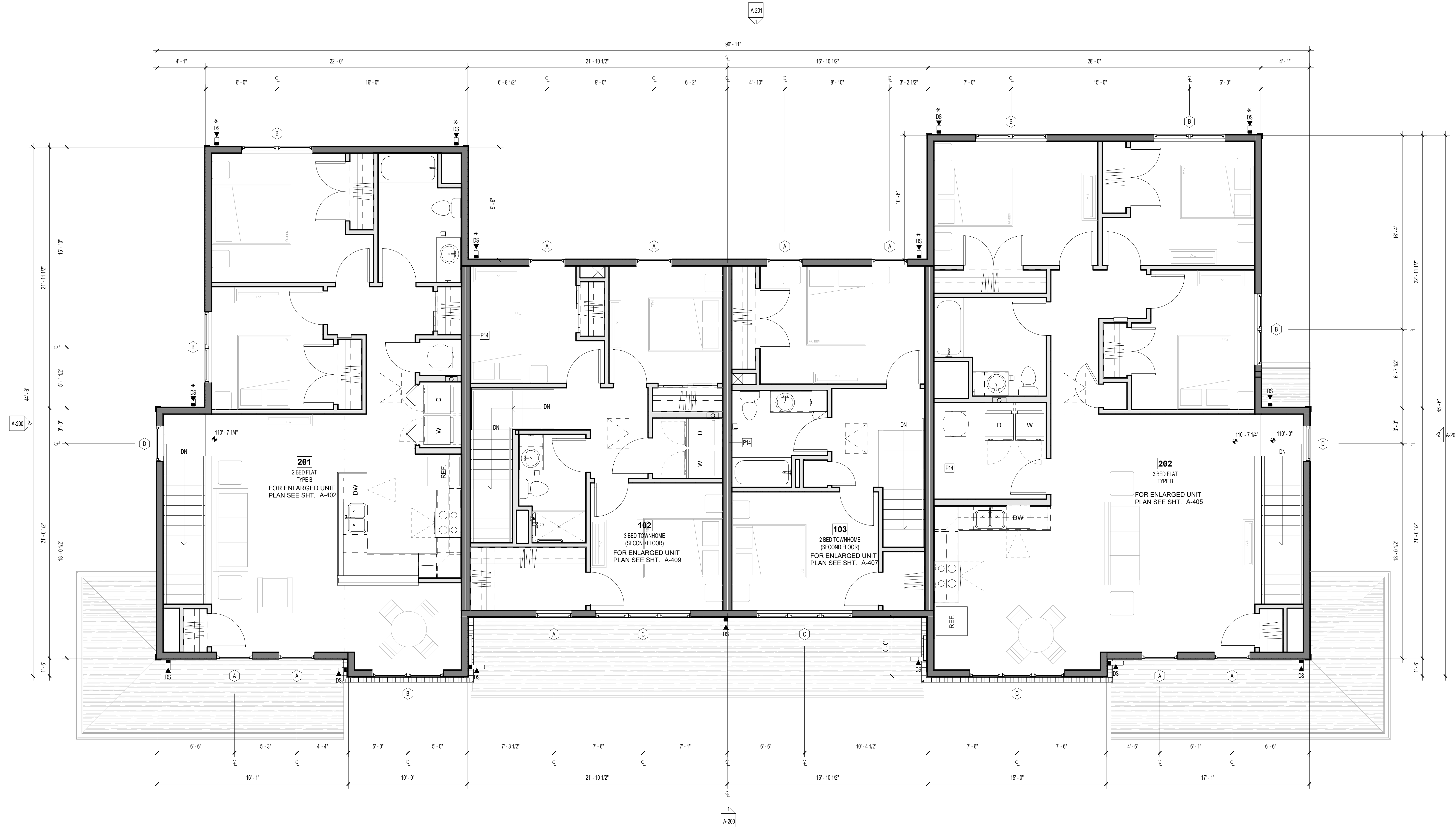
BLUE HILLS TOWNHOMES
GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI

SHEET TITLE
BUILDING A - FIRST FLOOR PLAN
(BLDG #2, 4, 6, 7, 8)
PROJECT NUMBER: 23035
SHEET NUMBER:

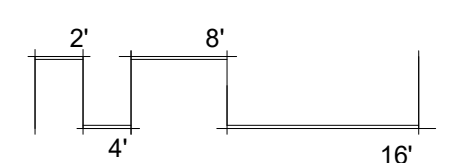
A-101

4/28/2023 10:23:24 AM
C:\pwworking\rosemann.com\23035\Bldg A - First Floor.dwg
User: jmcgovern

KEYNOTE LEGEND



1 BLDG A - 2ND FLOOR PLAN
 1/4" = 1'-0"



BLUE HILLS TOWNHOMES

**GARFIELD & E 50th ST.
 KANSAS CITY, MISSOURI**

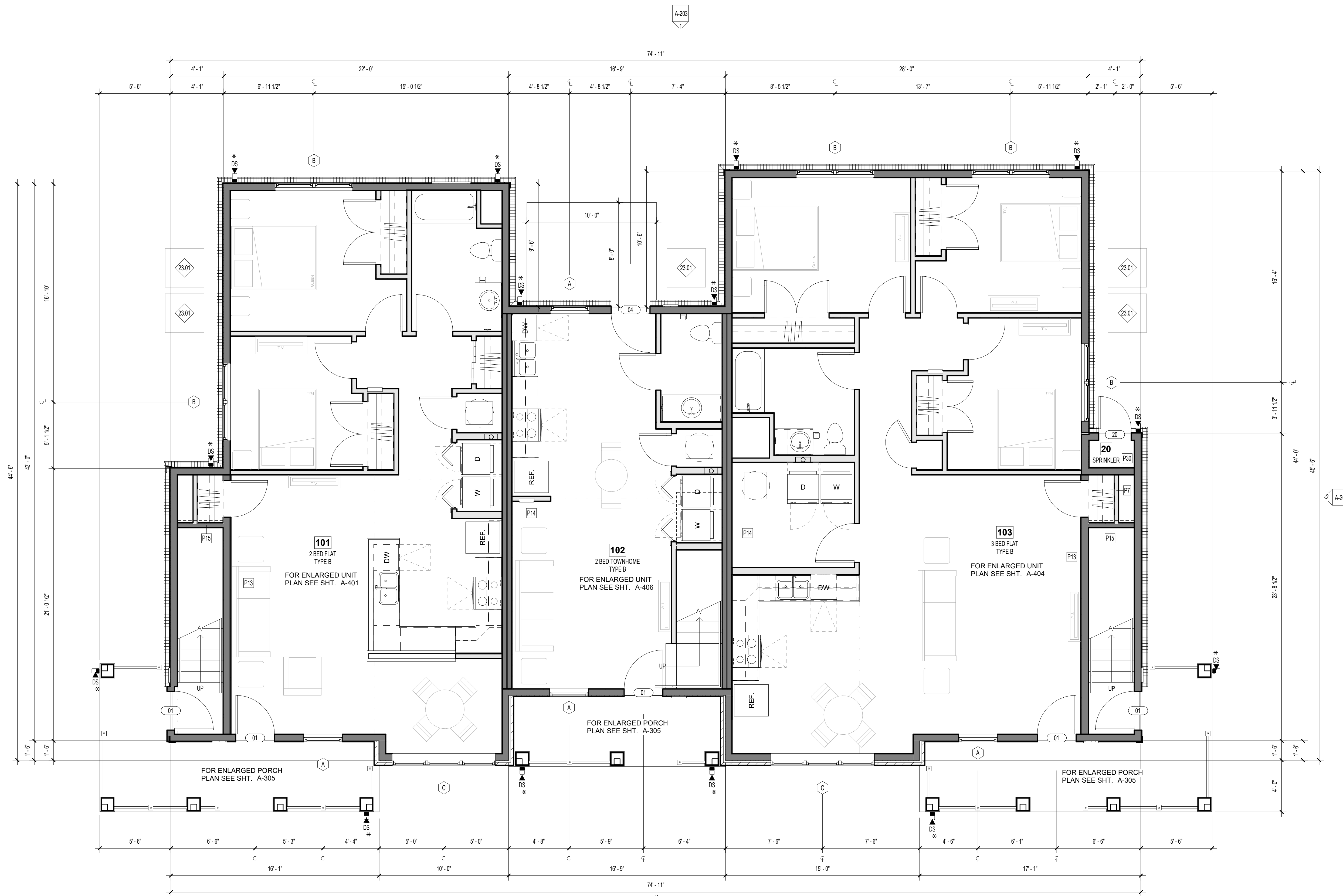
SHEET TITLE
 BUILDING A - SECOND FLOOR
 PLAN (BLDG #2, 4, 6, 7, 8)

PROJECT NUMBER: 23035

SHEET NUMBER:

A-102

4/28/2023 10:23:27 AM
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1 BLDG B - 1ST FLOOR PLAN
 1/4" = 1'-0"

rosemann & ASSOCIATES P.C.
 ARCHITECTURE
 INTERIOR DESIGN
 ENGINEERING
 PLANNING

168 N. Meramec Avenue, Ste 200
 Clayton, MO 63105
 P: 314.678.1448
 W: www.rosemann.com
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BLUE HILLS TOWNHOMES
GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI

SHEET TITLE
 BUILDING B - FIRST FLOOR PLAN
 (BLDG #1, 3, 5)

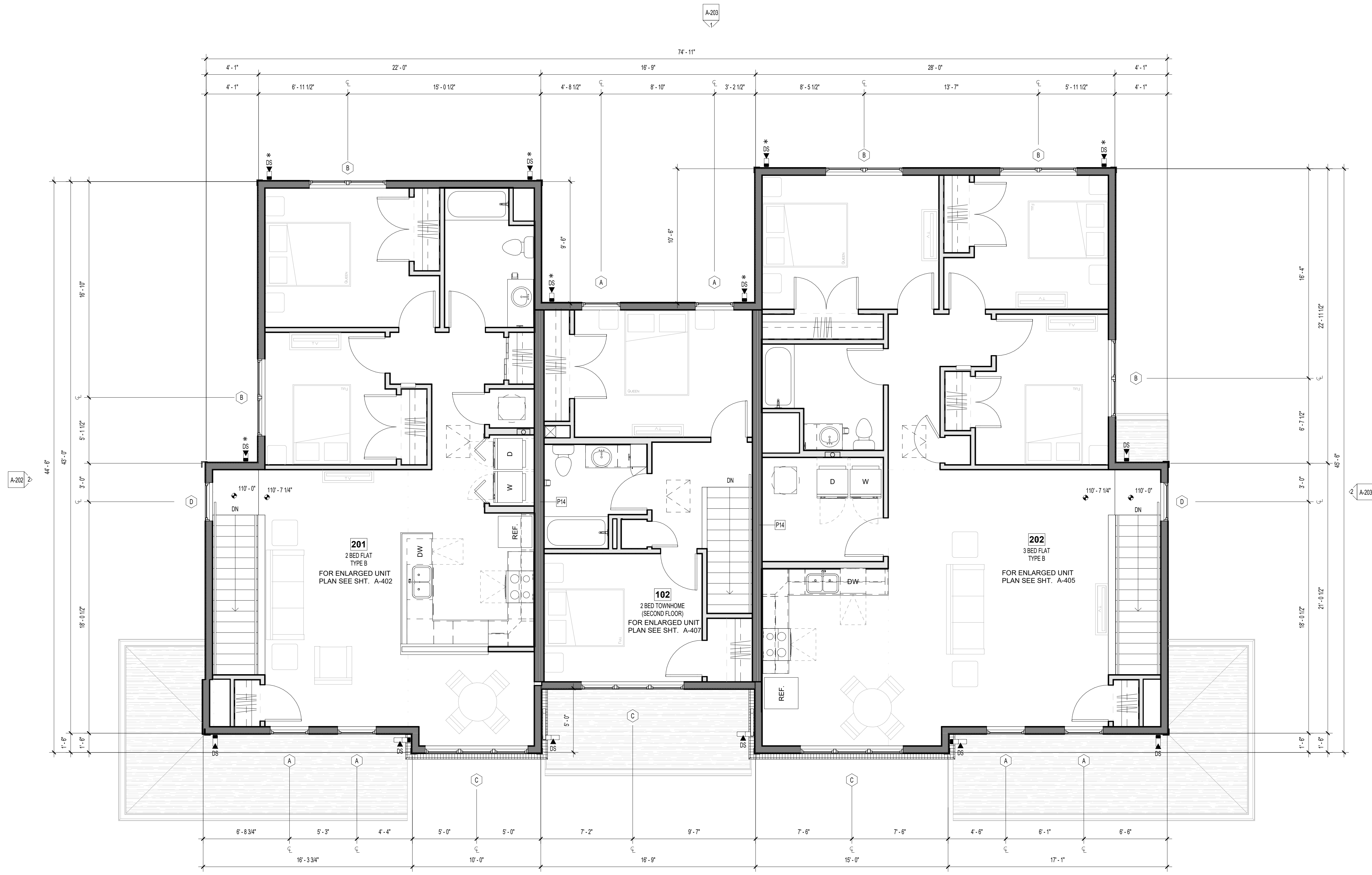
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SHEET NUMBER:

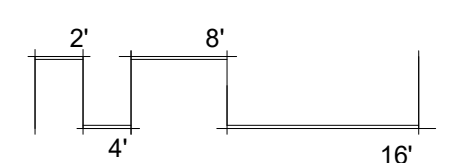
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KEYNOTE LEGEND



1 BLDG B - 2ND FLOOR PLAN
 1/4" = 1'-0"



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BLUE HILLS TOWNHOMES
GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI

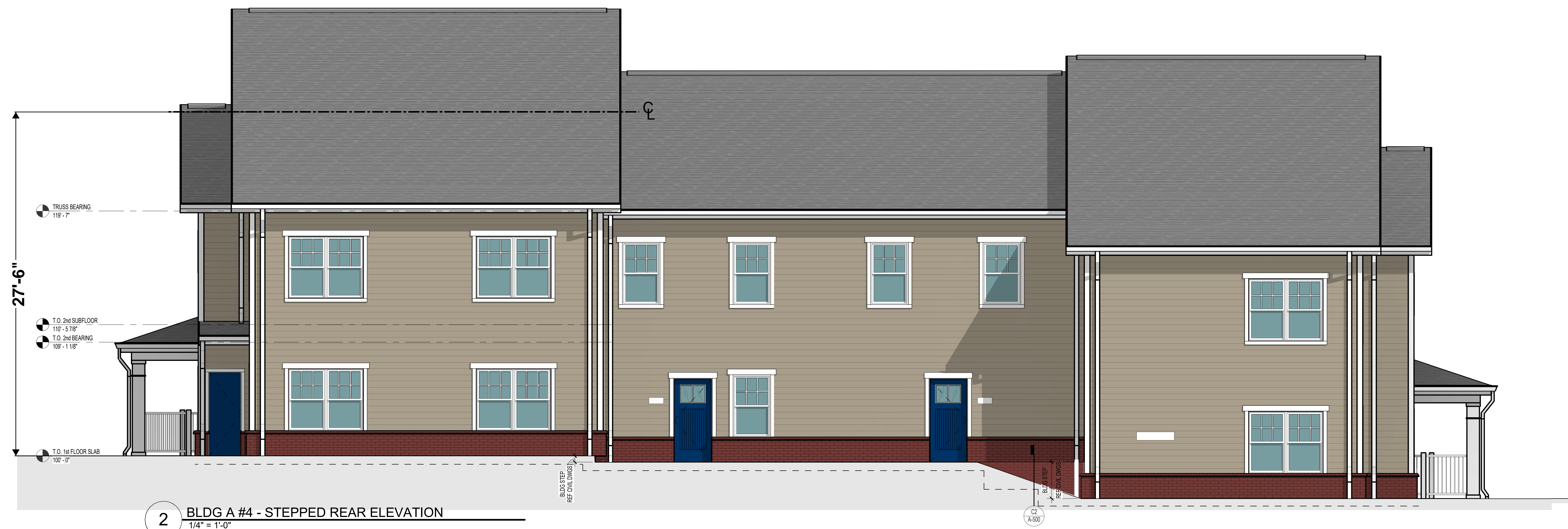
SHEET TITLE
 BUILDING B - SECOND FLOOR
 PLAN (BLDG #1, 3, 5)

PROJECT NUMBER: 23035

SHEET NUMBER:

A-105

4/28/2023 10:23:48 AM
 C:\PWA\Local\23035\Blue Hills Townhomes\Consolidated\23035_2ndFloorMM07214



2 BLDG A #4 - STEPPED REAR ELEVATION
1/4" = 1'-0"



1 BLDG A #4 - STEPPED FRONT ELEVATION
1/4" = 1'-0"

5/10/2018 10:07:31 AM
C:\Users\lucad\OneDrive\Documents\2018\Blue Hills Townhomes\Color\Bldg_002_1601123\0607214



2 BLDG B #5 - STEPPED REAR ELEVATION
1/4" = 1'-0"



1 BLDG B #5 - STEPPED FRONT ELEVATION
1/4" = 1'-0"

ARCHITECTURAL
COLUMN COVERS

BRICK MASONRY
VENEER

5/10/2023 10:07:52 AM
C:\pwworking\rosenn\20230528\Blue Hills Townhomes\Colored EOC_1.mxd (2023/05/10)



2 BLDG A - LEFT ELEVATION
1/4" = 1'-0"

NOTE:
CONTRACTOR TO CONFIRM QUANTITY, HEIGHT, AND
LOCATIONS OF ALL REQUIRED SLAB/FOUNDATION
STEPPING PER CIVIL DOCUMENTATION

REFERENCE G-003 FOR GENERAL NOTES

MATERIAL LEGEND	
[Symbol]	8" PREFINISHED FIBER LAP SIDING
[Symbol]	6" PREFINISHED FIBER LAP SIDING
[Symbol]	FACE BRICK
[Symbol]	CAST STONE BANDING, WINDOW SILLS AND CAPS
[Symbol]	SPLIT FACE CMU
[Symbol]	PREFINISHED FIBER TRIM - 3-1/2" & 5-1/2" AT WINDOW 11-1/4" AT BANDING 3-1/2" VERTICAL OUTSIDE / INSIDE CORNER TRIM

KEYNOTE LEGEND	
04.01	BRICK VENEER, (STANDARD MODULAR)
04.06	BRICK ROWLOCK COURSE SILL.
04.07	BRICK SOLDIER COURSE HEAD.
07.01	FIBER CEMENT BOARD FASCIA AND TRIM. (4.25" X 2.75")
07.02	PREFINISHED (6") ALUMINUM GUTTER & DOWNSPOUT
07.04	FIBER CEMENT TRIM AT WINDOW/DOOR, 1X6 LINTEL AND 1X4 OTHER SIDES
07.06	ARCHITECTURAL SHINGLES.
07.08	PREFINISHED ALUMINUM GABLE VENT
07.11	FIBER CEMENT CORNER BOARD, TYP.
07.16	FIBER CEMENT 6" LAP SIDING.
07.19	SHAKE SIDING PANELS
07.34	CONTINUOUS RIDGE VENT WITH ASPHALT SHINGLE CAP, TYPICAL.
10.08	HOUSE NUMBERS - 4" HIGH MIN. COLOR TO CONTRAST WITH SIDING FOR VISIBILITY

PRINTS ISSUED
100% BID SET 04/30/2023

REVISIONS:

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1 BLDG A - FRONT ELEVATION
1/4" = 1'-0"

BLUE HILLS TOWNHOMES

**GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI**

SHEET TITLE
BUILDING A - EXTERIOR
ELEVATIONS (BLDG #2, 4, 6, 7, 8)

PROJECT NUMBER: 23035

SHEET NUMBER:

A-200

4/28/2023 10:24 AM
C:\pwworking\rosemann.com\Projects\23035\1000000000.dwg, jmk, 10/28/2023 10:24



2 BLDG A - RIGHT ELEVATION
1/4" = 1'-0"

NOTE:
CONTRACTOR TO CONFIRM QUANTITY, HEIGHT, AND
LOCATIONS OF ALL REQUIRED SLAB/FOUNDATION
STEPPING PER CIVIL DOCUMENTATION

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-200 FOR MATERIALS LEGEND

KEYNOTE LEGEND

- 04.01 BRICK VENEER (STANDARD MODULAR)
- 04.06 BRICK ROWLOCK COURSE SILL
- 07.02 PREFINISHED (6") ALUMINUM GUTTER & DOWNSPOUT (4.25" X 2.75")
- 07.04 FIBER CEMENT TRIM AT WINDOW/DOOR, 1X6 LINTEL AND 1X4 OTHER SIDES
- 07.06 ARCHITECTURAL SHINGLES
- 07.08 PREFINISHED ALUMINUM GABLE VENT
- 07.11 FIBER CEMENT CORNER BOARD, TYP.
- 07.16 FIBER CEMENT 6" LAP SIDING
- 07.19 SHAKE SIDING PANELS
- 07.34 CONTINUOUS RIDGE VENT WITH ASPHALT SHINGLE CAP, TYPICAL
- 10.08 HOUSE NUMBERS - 4" HIGH MIN. COLOR TO CONTRAST WITH SIDING FOR VISIBILITY
- 10.09 BUILDING NUMBERS - 6" HIGH MIN. COLOR TO CONTRAST WITH SIDING FOR VISIBILITY. REFERENCE AS-100 FOR BUILDING NUMBER

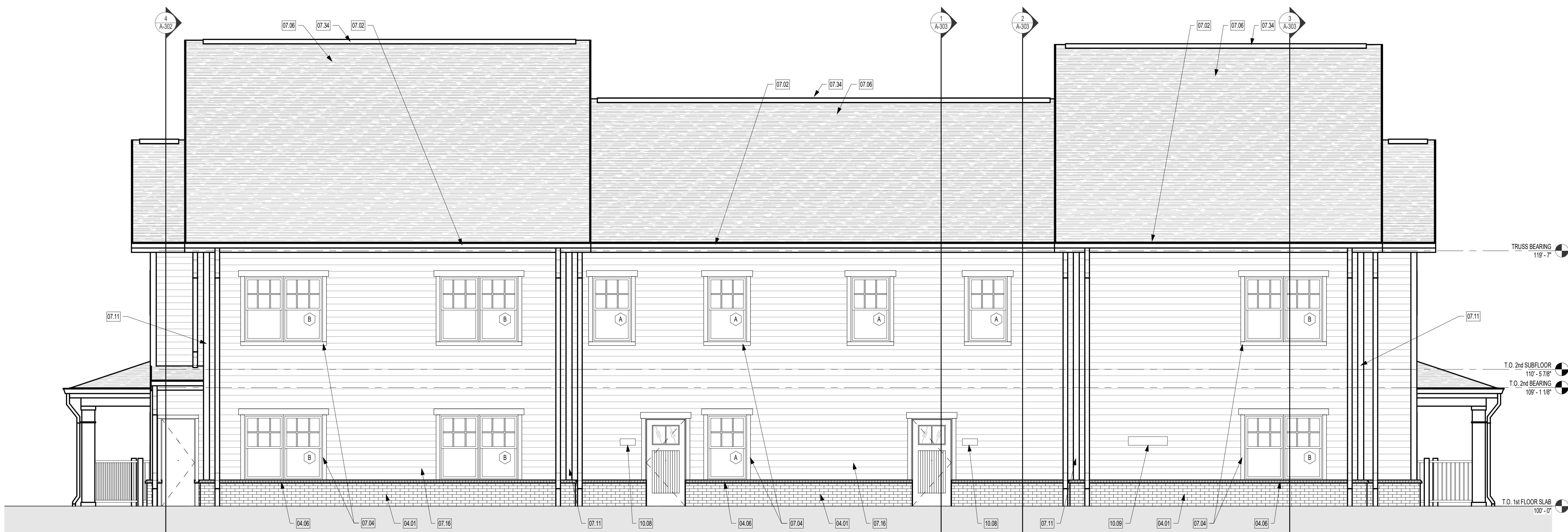
PRINTS ISSUED
100% BID SET 04/30/2023

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1 BLDG A - REAR ELEVATION
1/4" = 1'-0"

BLUE HILLS TOWNHOMES

**GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI**

SHEET TITLE
BUILDING A - EXTERIOR
ELEVATIONS (BLDG #2, 4, 6, 7, 8)

PROJECT NUMBER: 23035

SHEET NUMBER:

A-201

4/28/2023 10:24:10 AM
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2 BLDG B - LEFT ELEVATION
1/4" = 1'-0"

NOTE:
CONTRACTOR TO CONFIRM QUANTITY, HEIGHT, AND
LOCATIONS OF ALL REQUIRED SLAB/FOUNDATION
STEPPING PER CIVIL DOCUMENTATION

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-200 FOR MATERIALS LEGEND

KEYNOTE LEGEND

- 04.01 BRICK VENEER (STANDARD MODULAR)
- 04.06 BRICK ROWLOCK COURSE SILL
- 04.07 BRICK SOLDIER COURSE HEAD
- 07.01 FIBER CEMENT BOARD FASCIA AND TRIM
- 07.02 PREFINISHED (6") ALUMINUM GUTTER & DOWNSPOUT (4.25" X 2.75")
- 07.04 FIBER CEMENT TRIM AT WINDOW/DOOR, 1X6 LINTEL AND 1X4 OTHER SIDES
- 07.06 ARCHITECTURAL SHINGLES
- 07.08 PREFINISHED ALUMINUM GABLE VENT
- 07.11 FIBER CEMENT CORNER BOARD, TYP.
- 07.16 FIBER CEMENT 6" LAP SIDING
- 07.19 SHAKE SIDING PANELS
- 07.34 CONTINUOUS RIDGE VENT WITH ASPHALT SHINGLE CAP, TYPICAL
- 10.08 HOUSE NUMBERS - 4" HIGH MIN. COLOR TO CONTRAST WITH SIDING FOR VISIBILITY

PRINTS ISSUED
100% BID SET 04/30/2023

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BLUE HILLS TOWNHOMES

**GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI**

SHEET TITLE
BUILDING B - EXTERIOR
ELEVATIONS (BLDG #1, 3, 5)

PROJECT NUMBER: 23035

SHEET NUMBER:

A-202



1 BLDG B - FRONT ELEVATION
1/4" = 1'-0"

4/28/2023 10:24:14 AM
C:\pwworking\23035\Bldg B - Townhome\Exterior\23035_Ext\23035A02.rvt



2 BLDG B - RIGHT ELEVATION
1/4" = 1'-0"

NOTE:
CONTRACTOR TO CONFIRM QUANTITY, HEIGHT, AND
LOCATIONS OF ALL REQUIRED SLAB/FOUNDATION
STEPPING PER CIVIL DOCUMENTATION

REFERENCE G-003 FOR GENERAL NOTES
REFERENCE A-200 FOR MATERIALS LEGEND

KEYNOTE LEGEND

- 04.01 BRICK VENEER (STANDARD MODULAR)
- 04.06 BRICK ROWLOCK COURSE SILL
- 07.01 FIBER CEMENT BOARD FASCIA AND TRIM
- 07.04 FIBER CEMENT TRIM AT WINDOW/DOOR, 1X6 LINTEL AND 1X4 OTHER SIDES
- 07.06 ARCHITECTURAL SHINGLES
- 07.08 PREFINISHED ALUMINUM GABLE VENT
- 07.11 FIBER CEMENT CORNER BOARD, TYP.
- 07.16 FIBER CEMENT 6" LAP SIDING
- 07.19 SHAKE SIDING PANELS
- 07.34 CONTINUOUS RIDGE VENT WITH ASPHALT SHINGLE CAP, TYPICAL
- 10.08 HOUSE NUMBERS - 4" HIGH MIN. COLOR TO CONTRAST WITH SIDING FOR VISIBILITY
- 10.09 BUILDING NUMBERS - 6" HIGH MIN. COLOR TO CONTRAST WITH SIDING FOR VISIBILITY. REFERENCE AS-100 FOR BUILDING NUMBER

PRINTS ISSUED
100% BID SET 04/30/2023

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1 BLDG B - REAR ELEVATION
1/4" = 1'-0"

BLUE HILLS TOWNHOMES

**GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI**

SHEET TITLE
BUILDING B - EXTERIOR
ELEVATIONS (BLDG #1, 3, 5)

PROJECT NUMBER: 23035

SHEET NUMBER:

A-203

4/28/2023 10:24:18 AM
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NOTE: THIS SHEET IS TO HIGHLIGHT ONLY THE DIFFERENCES FOR THIS BUILDING -
REFERENCE SHEET A-200 & A-201 FOR ALL OTHER NOTES AND CALLOUTS.

NOTE: REFERENCE CIVIL DRAWINGS FOR FLOOR ELEVATION AT THE UNITS

PRINTS ISSUED
100% BID SET 04/30/2023

REVISIONS:



2 BLDG A #4 - STEPPED REAR ELEVATION
1/4" = 1'-0"



1 BLDG A #4 - STEPPED FRONT ELEVATION
1/4" = 1'-0"

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BLUE HILLS TOWNHOMES

**GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI**

SHEET TITLE
BUILDING A #4 - EXTERIOR
ELEVATIONS DIFFERENCES

PROJECT NUMBER: 23035

SHEET NUMBER:

A-204

4/28/2023 10:24:28 AM
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NOTE: THIS SHEET IS TO HIGHLIGHT ONLY THE DIFFERENCES FOR THIS BUILDING -
REFERENCE SHEET A-202 & A-203 FOR ALL OTHER NOTES AND CALLOUTS.

NOTE: REFERENCE CIVIL DRAWINGS FOR FLOOR ELEVATION AT THE UNITS

PRINTS ISSUED
100% BID SET 04/30/2023

REVISIONS:



2 BLDG B #3 - STEPPED REAR ELEVATION
1/4" = 1'-0"



1 BLDG B #3 - STEPPED FRONT ELEVATION
1/4" = 1'-0"

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BLUE HILLS TOWNHOMES

GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI

SHEET TITLE
BUILDING B #3 - EXTERIOR
ELEVATIONS DIFFERENCES

PROJECT NUMBER: 23035

SHEET NUMBER:

A-205

4/28/2023 9:24:22 AM
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NOTE: THIS SHEET IS TO HIGHLIGHT ONLY THE DIFFERENCES FOR THIS BUILDING -
REFERENCE SHEET A-202 & A-203 FOR ALL OTHER NOTES AND CALLOUTS.

NOTE: REFERENCE CIVIL DRAWINGS FOR FLOOR ELEVATION AT THE UNITS

PRINTS ISSUED
100% BID SET 04/30/2023

REVISIONS:



2 BLDG B #5 - STEPPED REAR ELEVATION
1/4" = 1'-0"



1 BLDG B #5 - STEPPED FRONT ELEVATION
1/4" = 1'-0"

BLUE HILLS TOWNHOMES

GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI

SHEET TITLE
BUILDING B #5 - EXTERIOR
ELEVATIONS DIFFERENCES

PROJECT NUMBER: 23035

SHEET NUMBER:

A-206

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
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4/28/2023 10:24:28 AM
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RCP LEGEND










-  C3 - GWB ON METAL STUD
-  C4 - SMOOTH FIBERCEMENT BOARD, PROVIDE 1X BATTEN @ SEAMS, PAINT FINISH
-  INDICATES CEILING HEIGHT

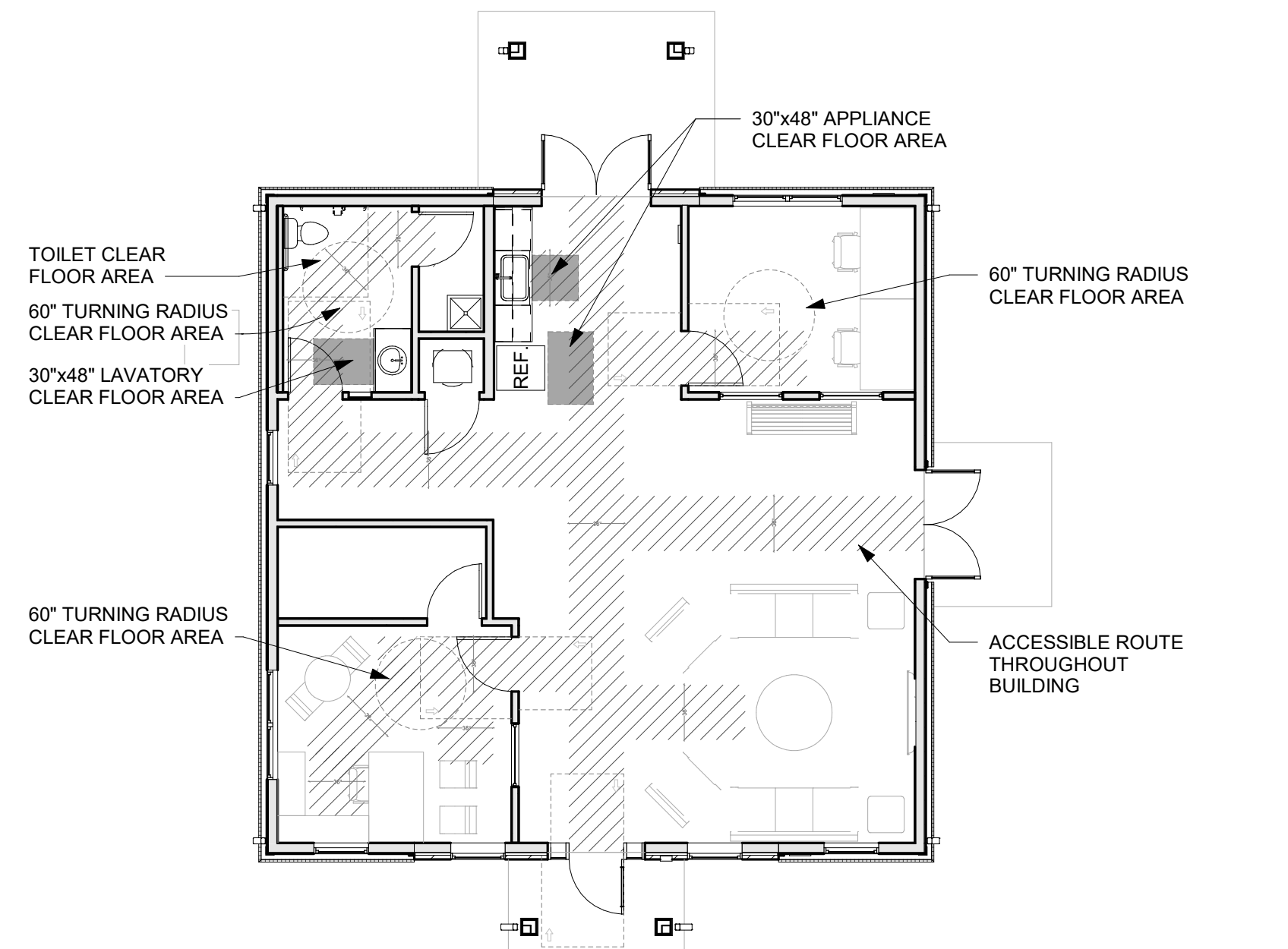
KEYNOTE LEGEND

- 08.02 (22" X 30") ATTIC ACCESS PANEL, TYPICAL. REFERENCE (A4/A-500) FOR DETAIL.
- 10.06 SEMI RECESSED EXTINGUIHER CABINET PER SPECIFICATIONS.
- 10.10 KNOX BOX - QUANTITY, SIZE AND LOCATION TO BE COORDINATED BY THE G.C. AND THE FIRE DEPT./AHJ.
- 10.11 UTILITY SHELF/MOP AND BROOM HOLDER - PROVIDE BLOCKING IN WALL AS REQUIRED.
- 12.02 PROVIDE (1") VINYL HORIZONTAL WINDOW BLINDS AT ALL WINDOWS PER SPECIFICATIONS.
- 23.01 CONDENSER UNIT PAD

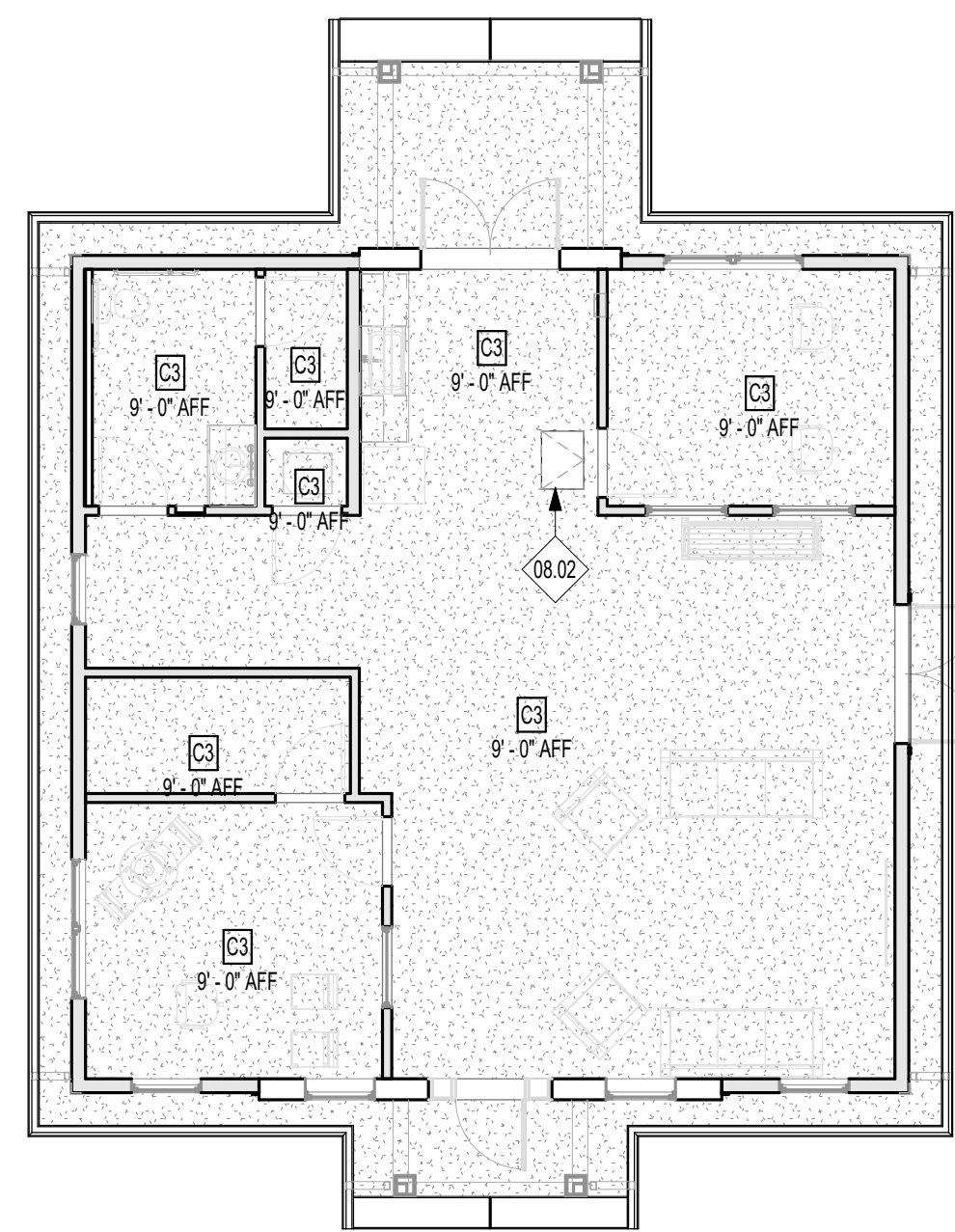
REFERENCE G-003 FOR GENERAL NOTES

PLAN LEGEND

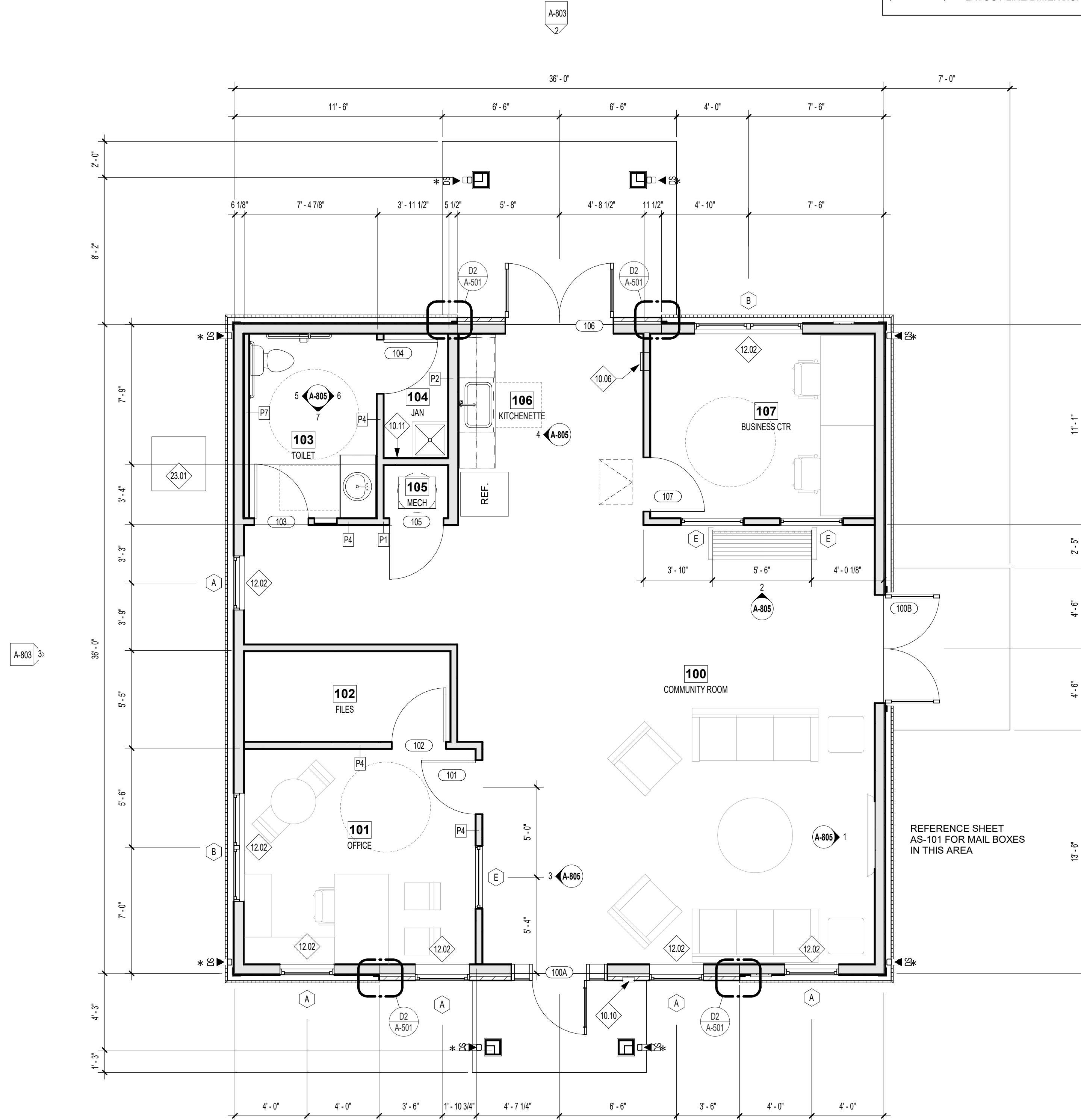
-  PARTIAL HEIGHT PARTITION
-  NON-RATED PARTITION; SEE ASSEMBLIES
-  1 HR RATED PARTITION; SEE ASSEMBLIES
-  2 HR RATED PARTITION; SEE ASSEMBLIES
-  WINDOW TYPE; SEE WINDOW SCHEDULE
-  DOOR TYPE; SEE DOOR SCHEDULE
-  PARTITION TYPE; SEE ASSEMBLIES
INTERIOR: P1 TYP, UNO.
EXTERIOR: F30 TYP, UNO.
-  FRAMING DIMENSIONS
-  LAYOUT LINE DIMENSIONS



3 COMMUNITY BLDG FLOOR CLEAR SPACE PLAN
1/8" = 1'-0"



2 COMMUNITY BLDG REFLECTED CEILING PLAN
1/8" = 1'-0"



1 COMMUNITY BLDG FLOOR PLAN
1/4" = 1'-0"

PRINTS ISSUED
100% BID SET 04/30/2023

REVISIONS:

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BLUE HILLS TOWNHOMES

**GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI**

SHEET TITLE
COMMUNITY BLDG - FLOOR PLAN

PROJECT NUMBER: 23035

SHEET NUMBER:

A-801

REFERENCE G-003 FOR GENERAL NOTES

KEYNOTE LEGEND

- 04.01 BRICK VENEER (STANDARD MODULAR)
- 04.02 BRICK VENEER, SOLDIER COURSE.
- 04.06 BRICK ROWLOCK COURSE SILL.
- 04.07 BRICK SOLDIER COURSE HEAD.
- 07.01 FIBER CEMENT BOARD FASCIA AND TRIM.
- 07.02 PREFINISHED (6") ALUMINUM GUTTER & DOWNSPOUT (4.25" X 2.75").
- 07.04 FIBER CEMENT TRIM AT WINDOW/DOOR, 1X6 LINTEL AND 1X4 OTHER SIDES
- 07.05 STANDING SEAM METAL ROOF.
- 07.06 ARCHITECTURAL SHINGLES.
- 07.09 PREFINISHED ROOF VENT PER SPEC
- 07.11 FIBER CEMENT CORNER BOARD, TYP.
- 07.16 FIBER CEMENT 6" LAP SIDING.
- 07.19 SHAKE SIDING PANELS
- 07.45 ARCHITECTURAL COLUMN WRAP
- 10.08 HOUSE NUMBERS - 4" HIGH MIN. COLOR TO CONTRAST WITH SIDING FOR VISIBILITY
- 10.09 BUILDING NUMBERS - 6" HIGH MIN. COLOR TO CONTRAST WITH SIDING FOR VISIBILITY. REFERENCE AS-100 FOR BUILDING NUMBER
- 10.10 KNOX BOX - QUANTITY, SIZE, AND LOCATION TO BE COORDINATED BY THE G.C. AND THE FIRE DEPT./A.H.J.

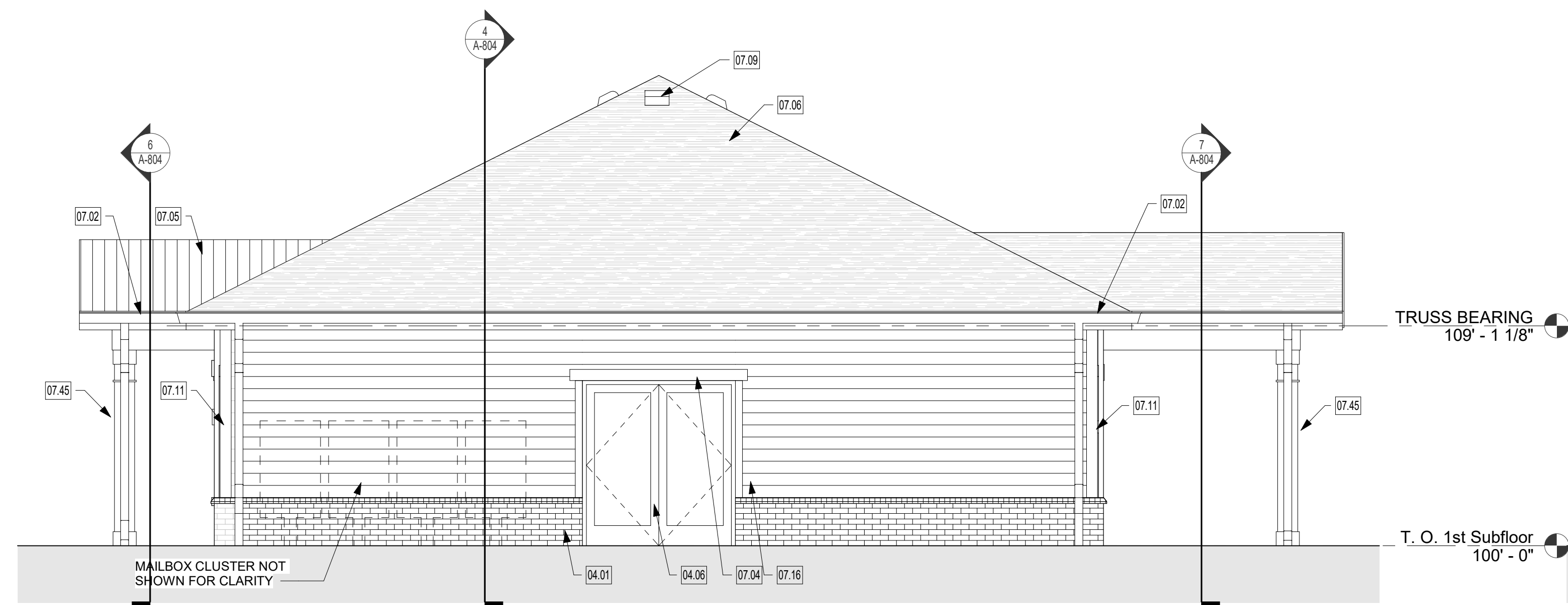
PRINTS ISSUED
100% BID SET 04/30/2023

REVISIONS:

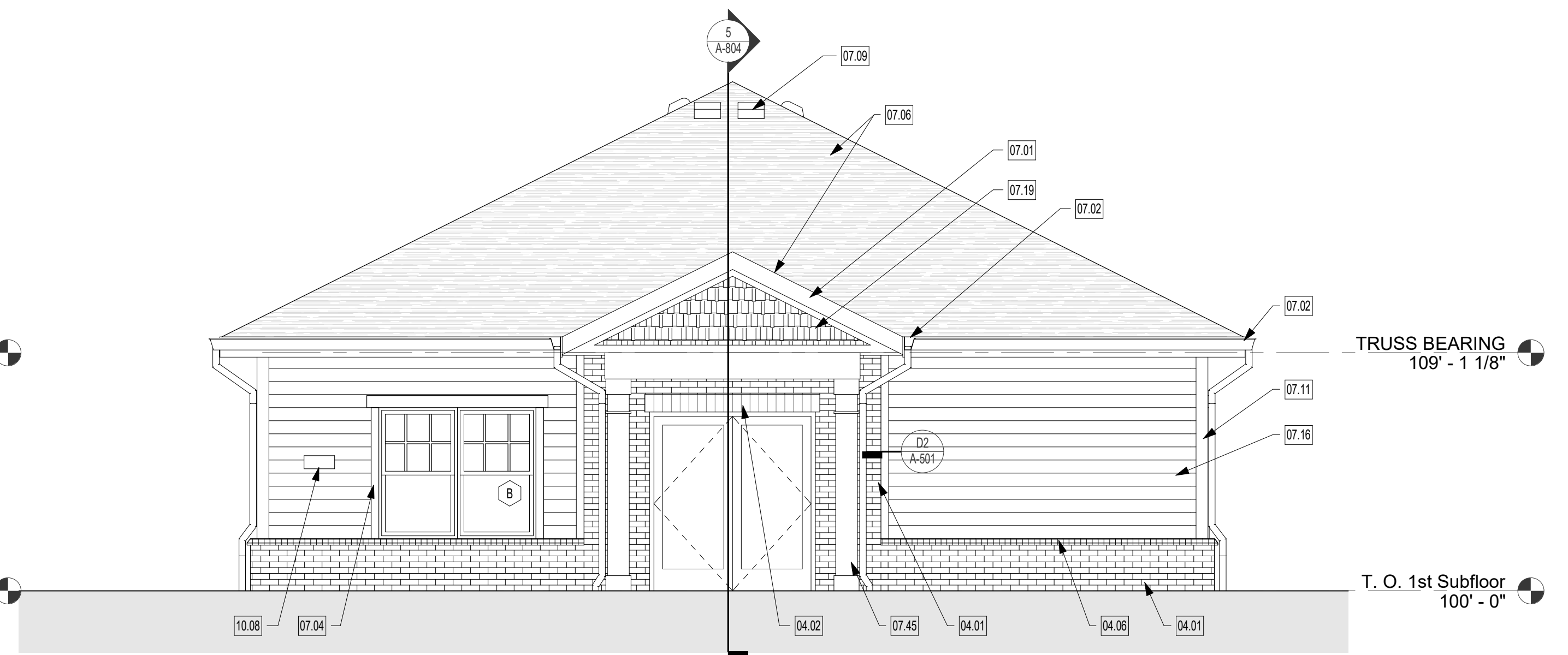
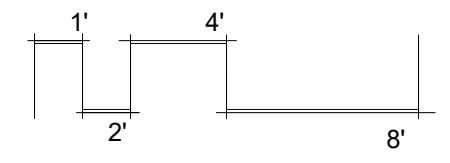
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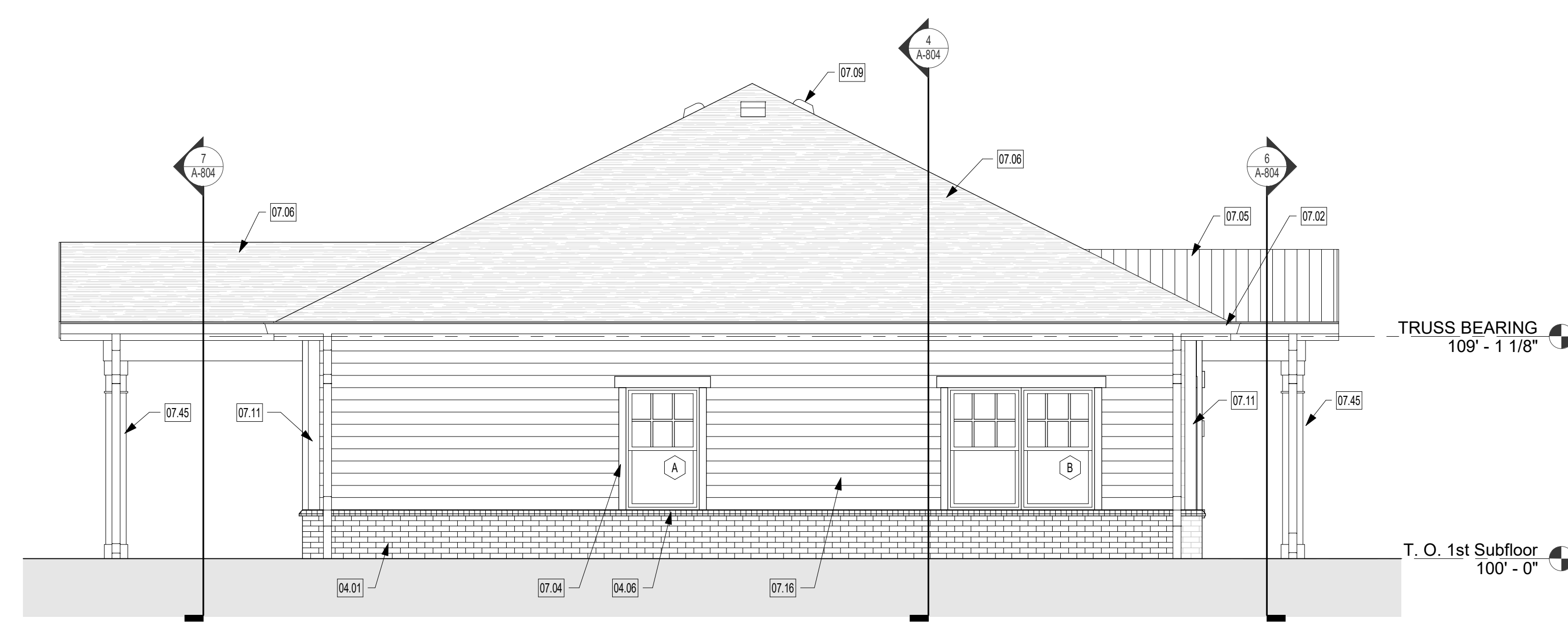
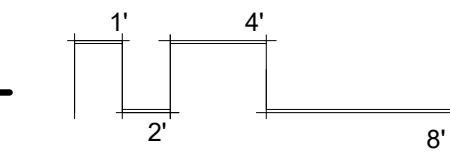
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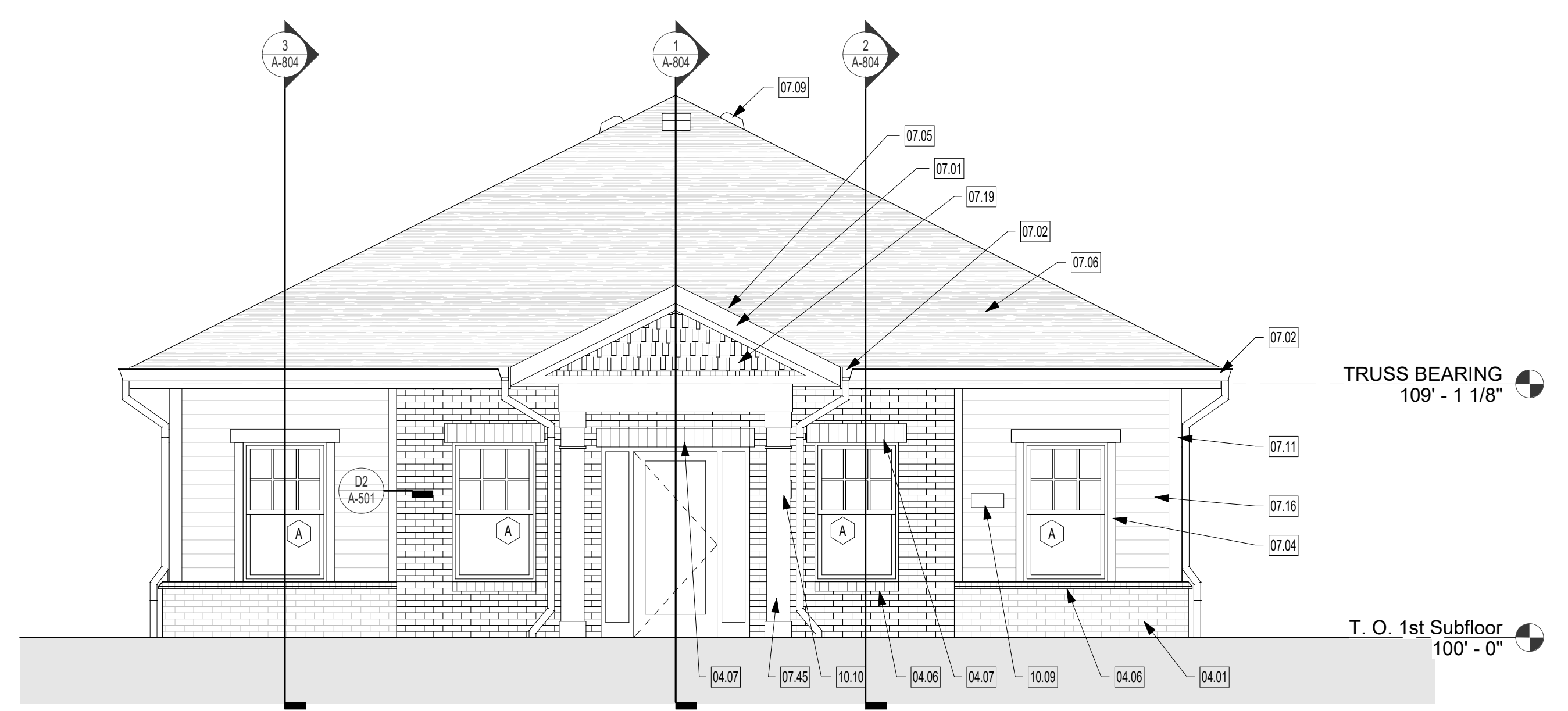
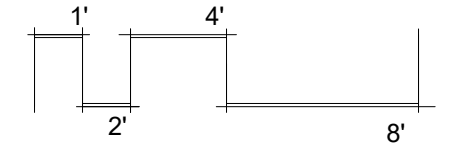
4 COMMUNITY BLDG - SOUTH ELEVATION
1/4" = 1'-0"



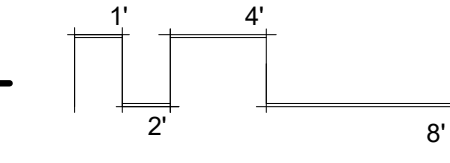
2 COMMUNITY BLDG - EAST ELEVATION
1/4" = 1'-0"



3 COMMUNITY BLDG - NORTH ELEVATION
1/4" = 1'-0"



1 COMMUNITY BLDG - WEST ELEVATION
1/4" = 1'-0"



BLUE HILLS TOWNHOMES

GARFIELD & E 50th ST.
KANSAS CITY, MISSOURI

SHEET TITLE
COMMUNITY BLDG - EXTERIOR ELEVATIONS

PROJECT NUMBER: 23035

SHEET NUMBER:

A-803

4/28/2023 10:27:48 AM
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