



PLAZA PARKING GARAGE: FINAL DEVELOPMENT PLAN

NOT FOR CONSTRUCTION

OWNER:
EMRES III KC, LLC
 589 FIFTH AVE FL 16
 NEW YORK, NY 10017
 212.725.7910
 ihaynie@emetcap.com

CONSULTANT:
SK DESIGN GROUP, INC
 4600 COLLEGE BLVD #100
 OVERLAND PARK, KS 66211
 913.451.1818
<https://www.skdg.com/>

STRUCTURAL:
WGI, INC
 8910 PURDUE RD #210
 INDIANAPOLIS, IN 46268
 317.735.3349
<https://wginc.com/>

ARCHITECT:
MULTISTUDIO
 4200 PENNSYLVANIA
 KANSAS CITY, MO 64111
 816.931.6655
 MULTI.STUDIO

CONSULTANT:
FP&C CONSULTANTS KC
 1330 BURLINGTON ST STE 200
 NORTH KANSAS CITY, MO 64116
 816.931.3377
<http://www.fpc-consultants.com/>

MEP:
LANKFORD | FENDLER
 1730 WALNUT ST.
 KANSAS CITY, MO 64108
 816.221.1411
<https://lankfordfendler.com/>

PROJECT ADDRESS:

609 W 46TH ST
KANSAS CITY, MO 64112
 Project Number: 0225-2004
 Issue Date: 03/20/2026

Multistudio

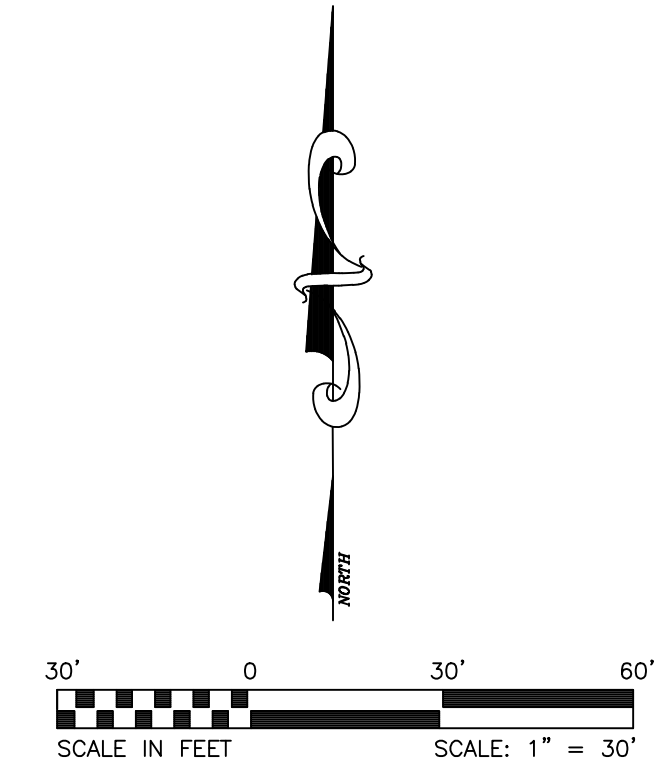
PRELIMINARY PLAT OF PLAZA CLUB

A REPLAT OF LOTS 1 THRU 7 GUSHURST, THE NORTH 178.63 FEET OF LOT 18 AND ALL OF LOT 17 EXCEPT THE WEST 18.00 FEET HOME PLACE, SUBDIVISIONS IN THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI



DESCRIPTION

ALL OF LOTS 1, 2, 3, 4, 5, 6, AND 7 GUSHURST SUBDIVISION, THE NORTH 178.63 FEET OF LOT 18 AND LOT 17 EXCEPT THE WEST 18 FEET, HOME PLACE SUBDIVISION IN THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI DESCRIBED MORE PARTICULARLY AS:
 BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 02°27'38" WEST A DISTANCE OF 210.13 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; THENCE NORTH 87°22'33" WEST A DISTANCE OF 100.74 FEET TO THE SOUTHWEST CORNER OF SAID LOT 7, SAID POINT ALSO BEING ON THE EAST LINE OF SAID LOT 18; THENCE NORTH 03°03'59" EAST ALONG THE EAST LINE OF SAID LOT 18, A DISTANCE OF 31.27 FEET; THENCE NORTH 87°31'07" WEST A DISTANCE OF 100.19 FEET TO A 1/2" REBAR WITH SKW61 STAMPED CAP ON THE EAST LINE OF SAID LOT 17; THENCE SOUTH 02°23'50" WEST A DISTANCE OF 271.78 FEET TO THE SOUTHEAST CORNER OF SAID LOT 17; THENCE NORTH 87°11'25" WEST ALONG THE SOUTH LINE OF SAID LOT 17, 81.96 FEET TO A POINT 18.00 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 17; THENCE NORTH 02°22'50" EAST PARALLEL WITH THE WEST LINE OF SAID LOT 17, 449.97 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 17; THENCE SOUTH 87°30'33" EAST 282.88 FEET TO THE POINT OF BEGINNING. CONTAINING 1.74 ACRES OF LAND MORE OR LESS



NOTE:

TRACT 1:
 ALL OF LOT 17, EXCEPT THE WEST 18.00 FEET THEREOF WHICH LIES IN THE EXISTING RIGHT-OF-WAY FOR JEFFERSON STREET NOW ESTABLISHED, AND THE NORTH 178.63 FEET OF LOT 18, HOME PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT 2:
 ALL OF LOTS 1, 2, 3, 4, 5, 6 AND 7, GUSHURST SUBDIVISION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

PLAZA CLUB
 609 W. 49TH ST.
 KANSAS CITY, MO 64112

REVISIONS

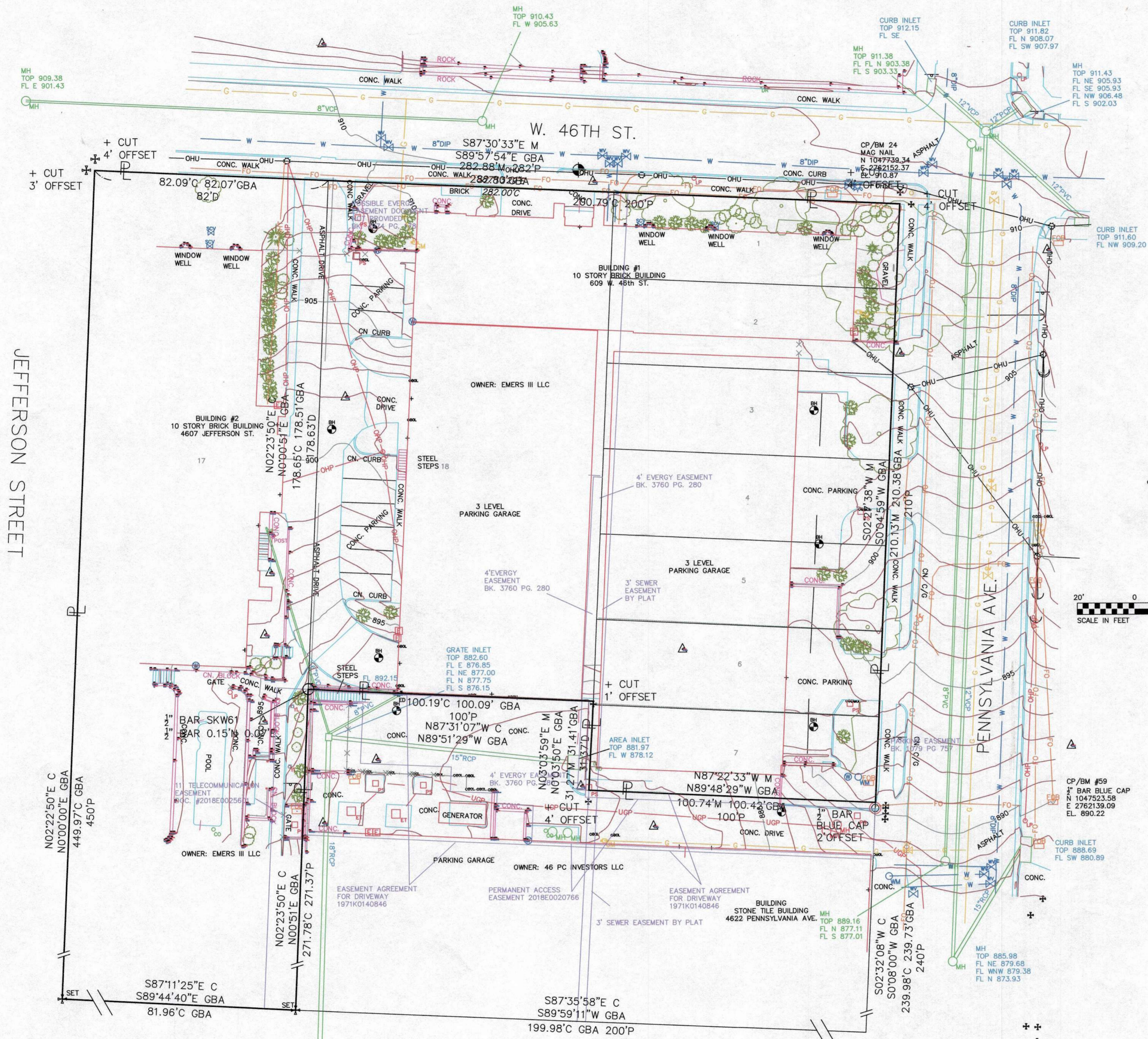
DATE:	12-4-2025
DRAWING NAME:	
JOB NUMBER:	

GREG GRANT
 14343 E. 2450 ROAD
 FONTANA, KANSAS

COVER

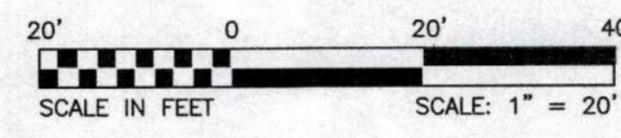
TOPOGRAPHY SURVEY

PLAZA CLUB
609 W. 49TH ST.
KANSAS CITY, MO 64112



LEGEND

- | | | | |
|--|------------------------------|--|-------------------------------------|
| | DECIDUOUS TREE | | WATER VALVE |
| | CONIFEROUS TREE | | FIRE HYDRANT |
| | BUSH | | GAS VALVE |
| | SHRUB | | CENTERLINE |
| | BOLLARD | | PROPERTY LINE |
| | GRATE INLET ROUND | | SECTION LINE |
| | GRATE INLET SQUARE | | BENCH MARK |
| | ELECTRICAL TRANSFORMER BOX | | FOUND MONUMENT AS NOTED |
| | GAS METER | | SET 1/2" BAR & CAP |
| | LIGHT POLE | | CHISELED "+" |
| | MANHOLE | | YARD LIGHT |
| | TELEPHONE POLE | | SINGLE POST SIGN |
| | WATER METER | | DOUBLE POST SIGN |
| | POWER POLE | | DEED |
| | GUY WIRE | | MEASURED |
| | TELEPHONE SPLICE BOX | | RADIALLY MEASURED |
| | CURB INLET | | CALCULATED |
| | RAILROAD | | POWER/PLAT |
| | FENCE | | FOUND |
| | CONTINUING LINE | | RIGHT-OF-WAY |
| | TRAFFIC SIGNAL POLE | | GAS |
| | TV SPLICE BOX | | SANITARY SEWER |
| | ELECTRIC METER | | STORM SEWER |
| | POWER SPLICE BOX | | WATER |
| | POST | | TELEPHONE |
| | MAIL BOX | | UNDERGROUND (UGP) UNDERGROUND POWER |
| | STUMP | | OVERHEAD (OHT) OVERHEAD TELEPHONE |
| | MATCH POINT | | CAST IRON PIPE |
| | CP (CONTROL POINT) | | CORRUGATED METAL PIPE |
| | GAS TEST | | REINFORCED CONCRETE PIPE |
| | GAS REGULATOR | | VITRIFIED CLAY PIPE |
| | SIAMESE CONNECTOR | | PLASTIC CORRUGATED PIPE |
| | STEAM VALVE | | CABLE TELEVISION |
| | WATER FAUCET | | ELECTRIC |
| | DRAIN | | EAVES DRAIN |
| | FLAG POLE | | ROOF DRAIN |
| | TEST HOLE | | PLASTIC |
| | FIBER OPTIC TELEPHONE MARKER | | MARSH AREA |
| | AIR CONDITIONER | | POST INDICATOR VALVE |
| | CLEAN OUT | | PARKING METER |
| | UTILITY POLE | | STEAM |
| | | | AREA INLET |
| | | | GRATE INLET |
| | | | CORRUGATED METAL ARCH PIPE |
| | | | FIBER OPTIC |
| | | | SPRINKLER CONTROL VALVE |
| | | | MAG NAIL |



NOTE:

- CP/BM #12
1" BAR
N 1047678.83
E 2761569.33
EL. 932.16
- CP #13
1" BAR
N 1047740.38
E 2761801.14
- CP/BM #24
MAG NAIL
N 1047739.34
E 2762152.37
EL. 910.87
- CP/BM #59
1" BAR BLUE CAP
N 1047523.58
E 2762139.09
EL. 890.22

NOTE: THE INFORMATION CONCERNING THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON, WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN TAKEN FROM THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND FROM FIELD LOCATIONS AS MARKED BY LOCATORS REPRESENTING SAID UTILITY COMPANIES. THESE LOCATIONS ARE NOT TO BE CONSTRUED AS ACCURATE OR COMPLETE. WHERE MEASUREMENTS WERE NOT AVAILABLE, THE LOCATION OF THESE UNDERGROUND LINES HAVE BEEN SCALED FROM RECORD DRAWINGS. UTILITY LOCATIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.

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14343 E. 2450 ROAD
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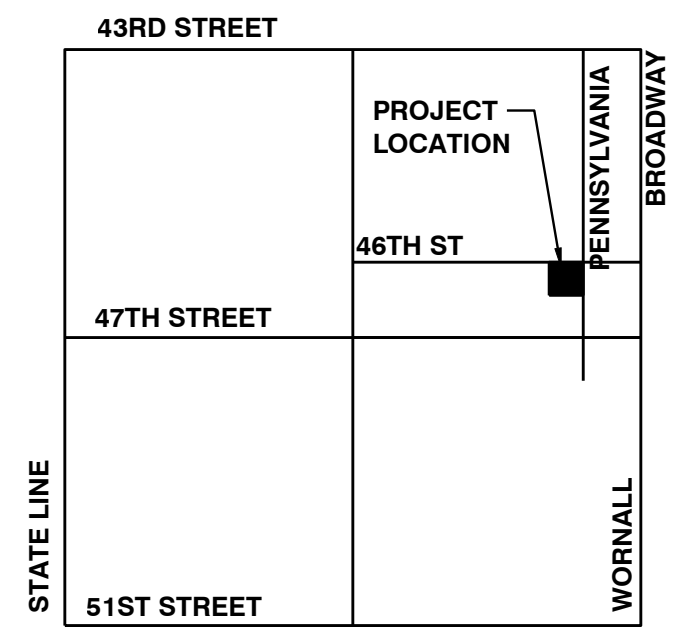
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OVERLAND PARK, KS 66211
913.451.1818
SKDGROUP.COM

MEP ENGINEER: LANFORD FENDLER
1730 WALNUT ST.
INDIANAPOLIS, IN 46208
317.735.3349
WFI.COM

SECTION 30
TOWNSHIP 48N
RANGE 33W



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E 2762152.37
EL. 910.87

CP/BM #59
Iⁿ BAR BLUE CAP
N 1047623.58
E 2762139.09
EL. 890.22

SITE DATA	Existing	Proposed	Deviation Requested?	Approved
Lotting	R-0.5	R-0.5		
Gross Land Area	75,471	75,471		
in square feet	1.73	1.73		
in acres	0	0		
Right-of-way Dedication	0	0		
in square feet	0	0		
in acres	0	0		
Net Land Area	75,471	75,471		
in square feet	1.73	1.73		
in acres	17,648	22,360		
Garage Area (sq. ft.)	1,03			
Floor Area Ratio				
Residential Use Info				
Total Dwelling Units	214	214		
Building Area (SF)	16,600			
Floor Area Ratio	650			
Total Lots				
Residential	2	1*		

*The two existing parcels to be replatted to one lot.

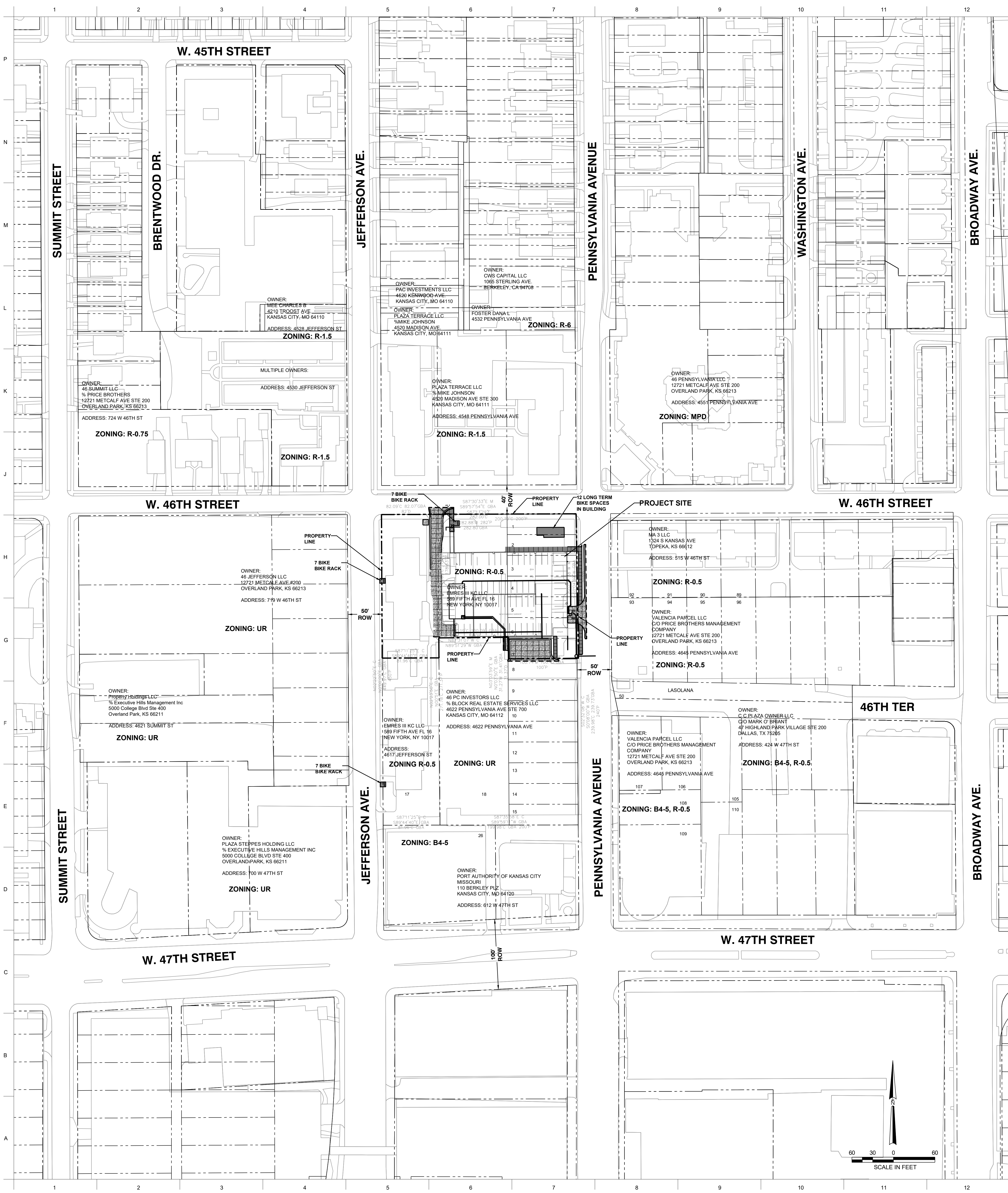
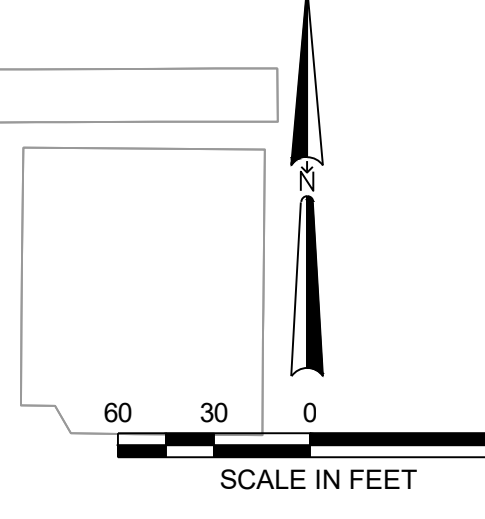
BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback	52' 0"	0'	YES*	
Front Setback	31' 0"	10'	YES*	
Side Setback	28' 3"	15'	YES*	
Side Setback (abutting street)	42' 0"	15'	YES*	
Height				

*Replat consists of one large lot with existing buildings. Existing building locations cannot meet the required setbacks for the large lot.

88-420 PARKING	Vehicle Spaces		Bike Spaces		Alternatives Proposed? (See 88-420-14)
	Required	Proposed	Required	Proposed	
Proposed Use Residential	214	227			
Standard		207	229		
Accessible Car	5	5			
Accessible Van	2	2			
Short Term			23	21	YES
Long Term			61	12	YES
TOTALS	214	227	84	33	

LEGEND:

- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- NEW TYPE CG-1 CURB & GUTTER
- NEW TYPE CG-1 CURB & GUTTER (DRY)
- NEW FLUSH CURB
- CURB HEIGHT TRANSITION 6" HIGH TO 0" HIGH
- NEW RETAINING WALL



ISSUE DATE: 03/17/2026

REVISIONS		
NUMBER	DESCRIPTION	DATE

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

NOT FOR CONSTRUCTION

OVERALL SITE PLAN

C100

FINAL DEVELOPMENT PLAN

PLAZA PARKING GARAGE

609 W 46TH ST
KANSAS CITY, MO 64112

PROJECT NUMBER: 0225-2004

OWNER: EMERS III KC, LLC
589 FIFTH AVE FL 16
NEW YORK, NY 10017
212.725.7910
EMETCAP.COM

ARCHITECT: MULTISTUDIO
4300 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.6655
MULTI.STUDIO

CIVIL ENGINEER: SK DESIGN GROUP, INC
4600 COLLEGE BLVD #100
OVERLAND PARK, KS 66211
913.451.1818
SKDG.COM

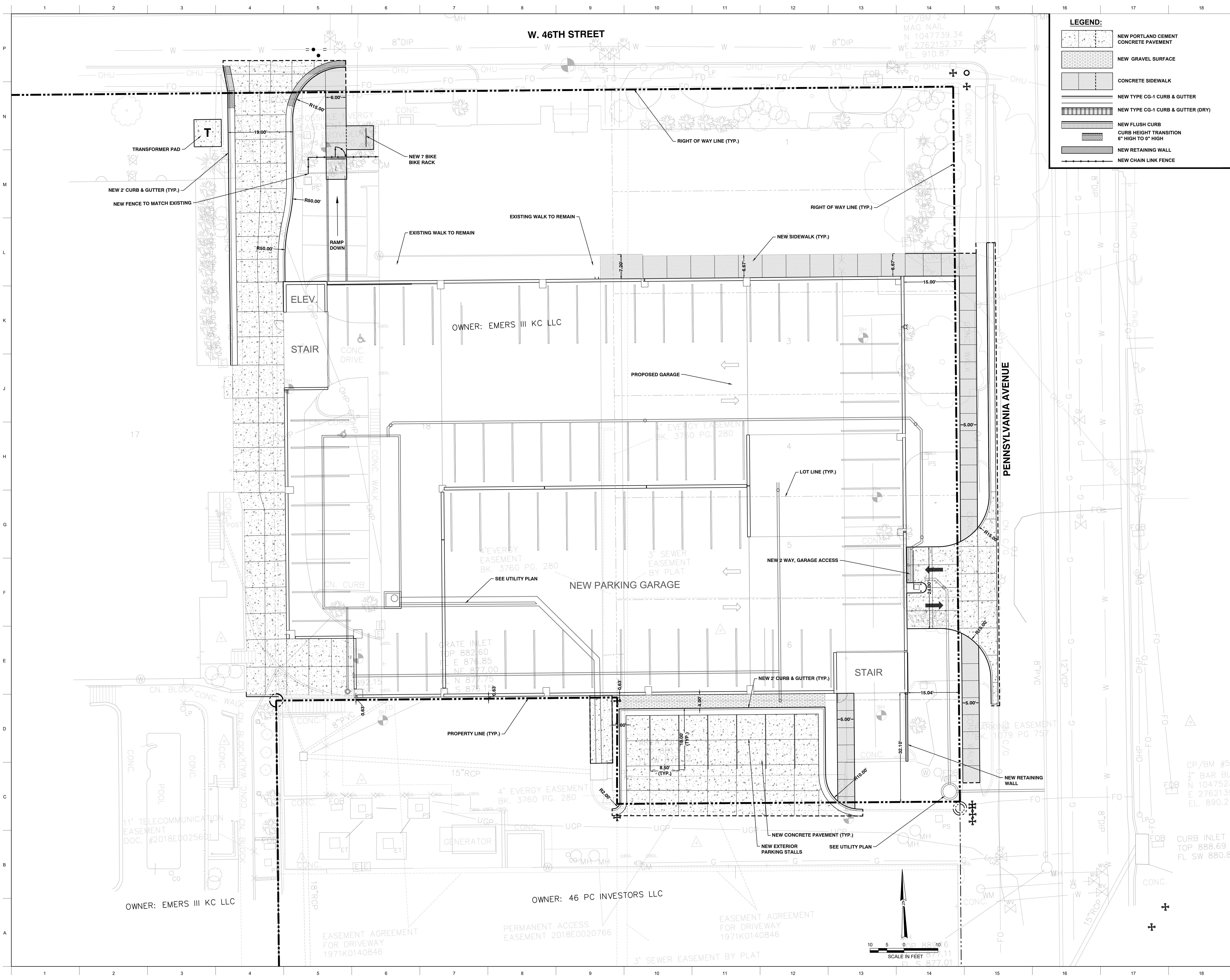
STRUCTURAL ENGINEER: WGI, INC
8910 PURDUE RD #210
INDIANAPOLIS, IN 46268
317.735.3349
WGI.COM

MEP ENGINEER: LANFORD FENDLER
1730 WALNUT ST.
KANSAS CITY, MO 64108
816.221.1411
LANFORDFENDLER.COM

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PAVING PLAN

C200

FINAL DEVELOPMENT PLAN

PLAZA PARKING GARAGE

609 W 46TH ST
KANSAS CITY, MO 64112

PROJECT NUMBER: 0225-2004

OWNER: EMERS III KC, LLC
589 FIFTH AVE FL 16
NEW YORK, NY 10017
212.725.7910
EMETCAP.COM

ARCHITECT: MULTISTUDIO
430 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.8655
MULTI.STUDIO

CIVIL ENGINEER: SK DESIGN GROUP, INC
4600 COLLEGE BLVD #100
OVERLAND PARK, KS 66211
913.451.1819
SKDG.COM

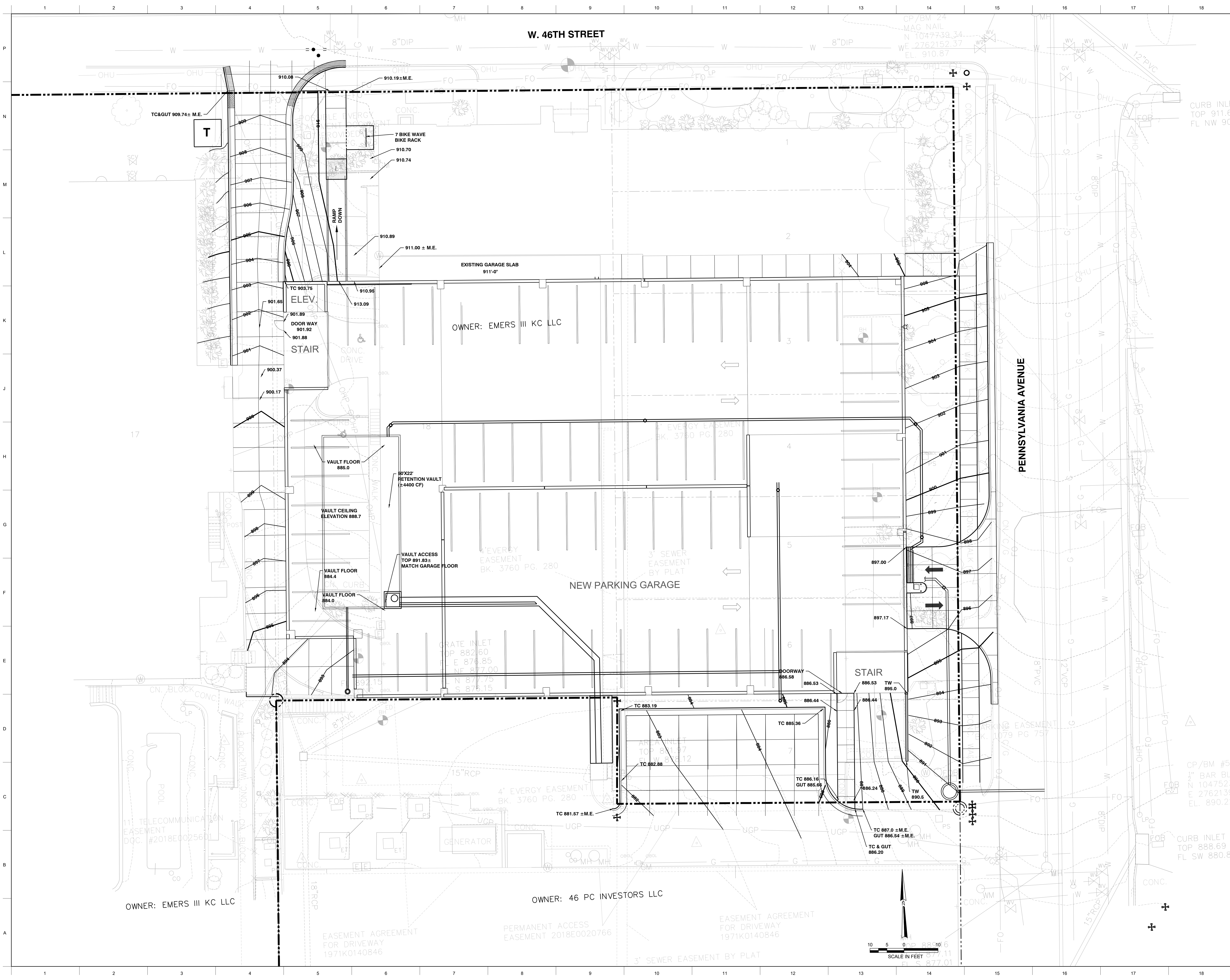
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GRADING PLAN

C300

FINAL DEVELOPMENT PLAN

PLAZA PARKING GARAGE

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589 FIFTH AVE FL 16
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4300 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.6655
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CIVIL ENGINEER: SK DESIGN GROUP, INC
4600 COLLEGE BLVD #100
OVERLAND PARK, KS 66211
913.451.1818
SKDG.COM

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8910 PURDUE RD #210
INDIANAPOLIS, IN 46268
317.735.3349
WGI.COM

STRUCTURAL ENGINEER: LANFORD FENDLER
1330 BURLINGTON ST #200
NORTH KC, MO 64116
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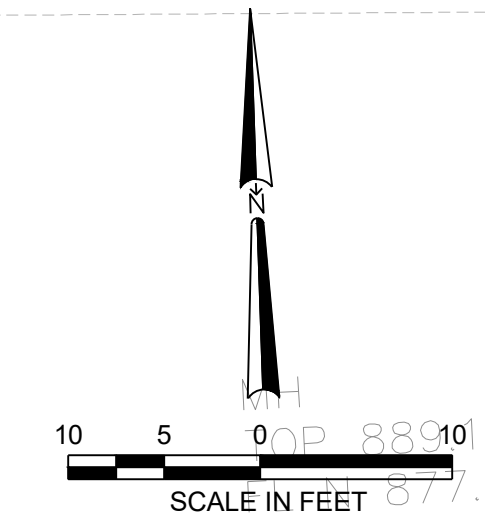
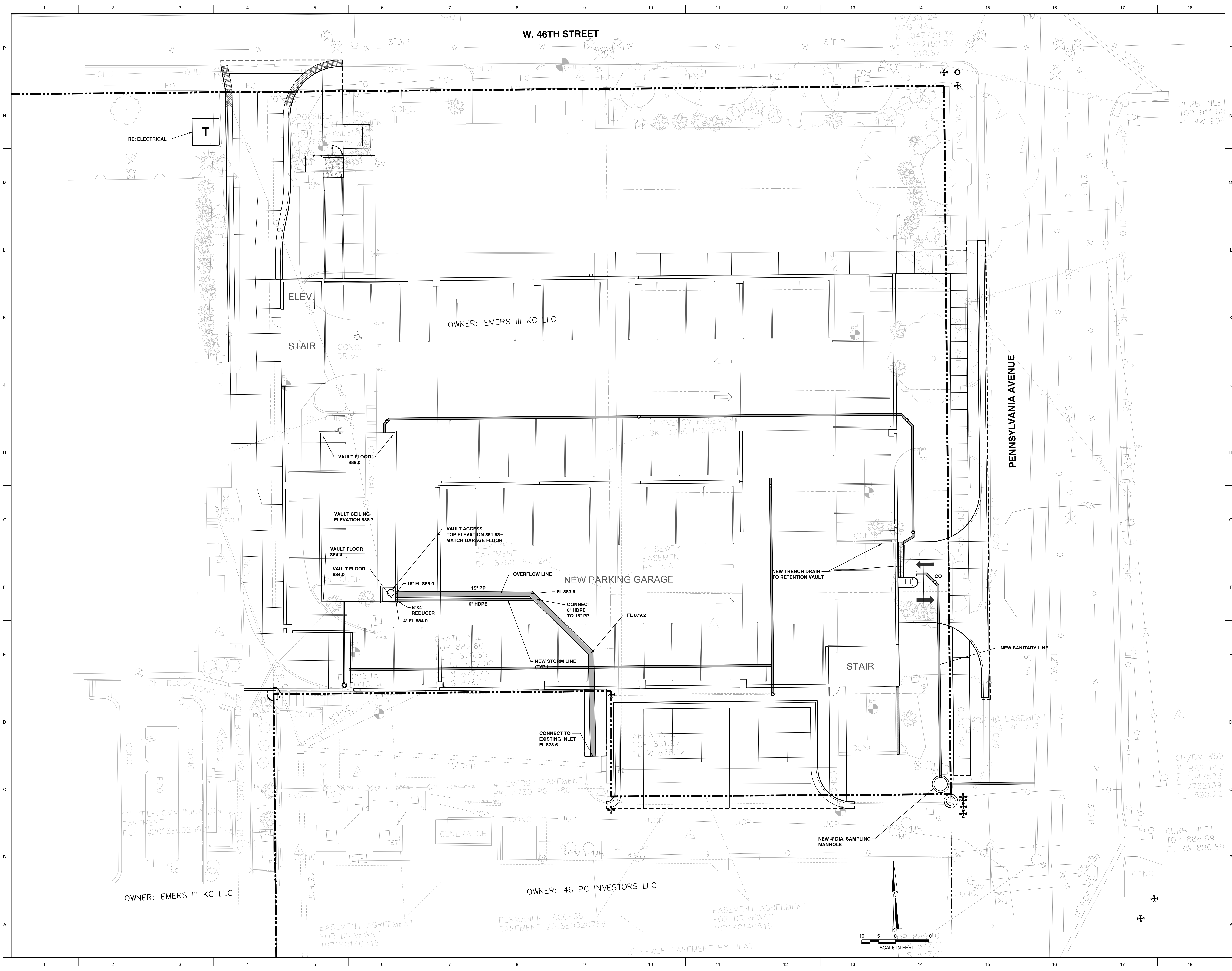
NUMBER DESCRIPTION DATE

NOT FOR CONSTRUCTION

UTILITIES PLAN

C400

FINAL DEVELOPMENT PLAN



W. 46TH STREET

PENNSYLVANIA AVENUE

OWNER: EMERS III KC LLC

NEW PARKING GARAGE

STAIR

OWNER: 46 PC INVESTORS LLC

OWNER: EMERS III KC LLC

11' TELECOMMUNICATION EASEMENT DOC. #2018E0025601

EASEMENT AGREEMENT FOR DRIVEWAY 1971K0140846

PERMANENT ACCESS EASEMENT 2018E0020766

EASEMENT AGREEMENT FOR DRIVEWAY 1971K0140846

3' SEWER EASEMENT BY PLAT

4' ENERGY EASEMENT BK. 3760 PG. 280

VAULT ACCESS TOP ELEVATION 891.83± MATCH GARAGE FLOOR

VAULT FLOOR 885.0

VAULT CEILING ELEVATION 888.7

VAULT FLOOR 884.4

VAULT FLOOR 884.0

15" FL 889.0

6" HDPE

CONNECT 6" HDPE TO 15" PP

FL 879.2

NEW STORM LINE (SVP)

CONNECT TO EXISTING INLET FL 876.6

AREA INLET TOP 881.97 FL W 878.12

NEW TRENCH DRAIN TO RETENTION VAULT

NEW SANITARY LINE

CURB INLET TOP 911.60 FL NW 909

CP/BM #59 3" BAR BLU N 1047523 E 2762139 EL. 890.22

CURB INLET TOP 888.69 FL SW 880.89

CP/BM 24 MAC NAIL N 1047739.34 E 2762152.37 EL. 910.87

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RE: ELECTRICAL T

POSSIBLE ENERGY CASEMENT

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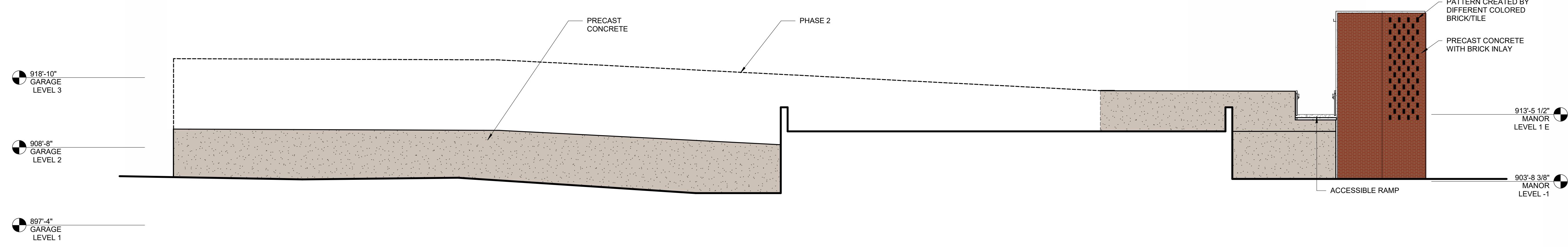
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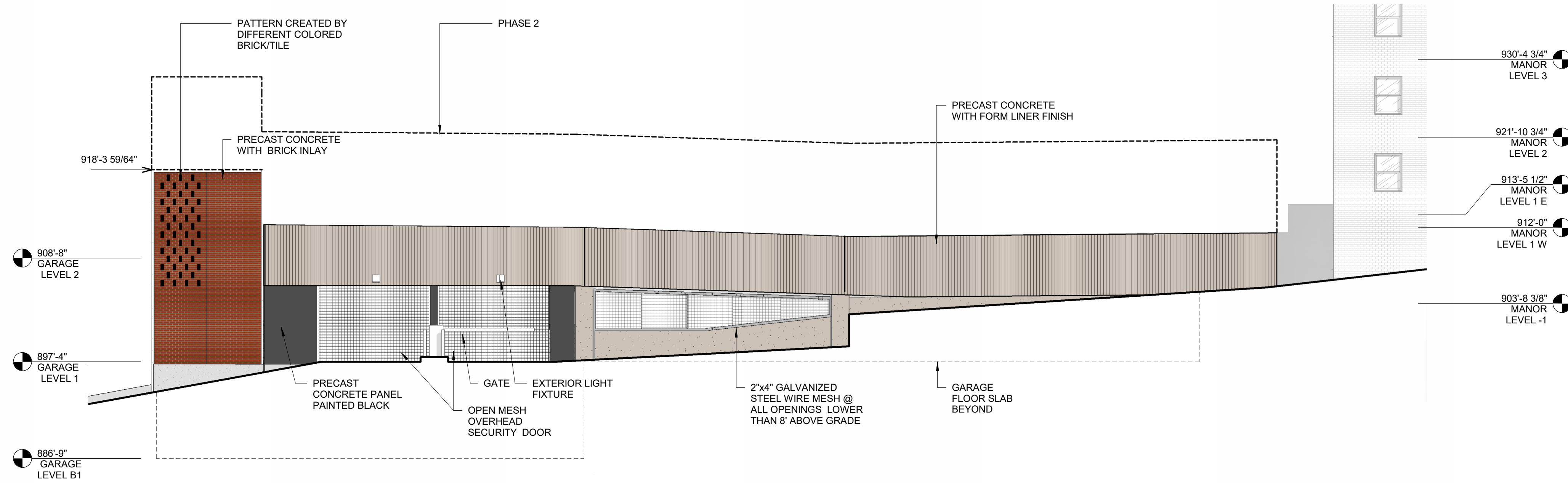
GENERAL NOTES (EXTERIOR ELEVATIONS):

1. MATERIALS AND FINISHES INDICATED APPLY TO ALL SIMILAR ELEMENTS.
2. COORDINATE EXTERIOR LIGHTING FIXTURE TYPES AND LOCATIONS WITH ELECTRICAL DRAWINGS.
3. CONFIRM LOCATION OF EXTERIOR WALL LOUVERS WITH ARCHITECT PRIOR TO INSTALLATION.

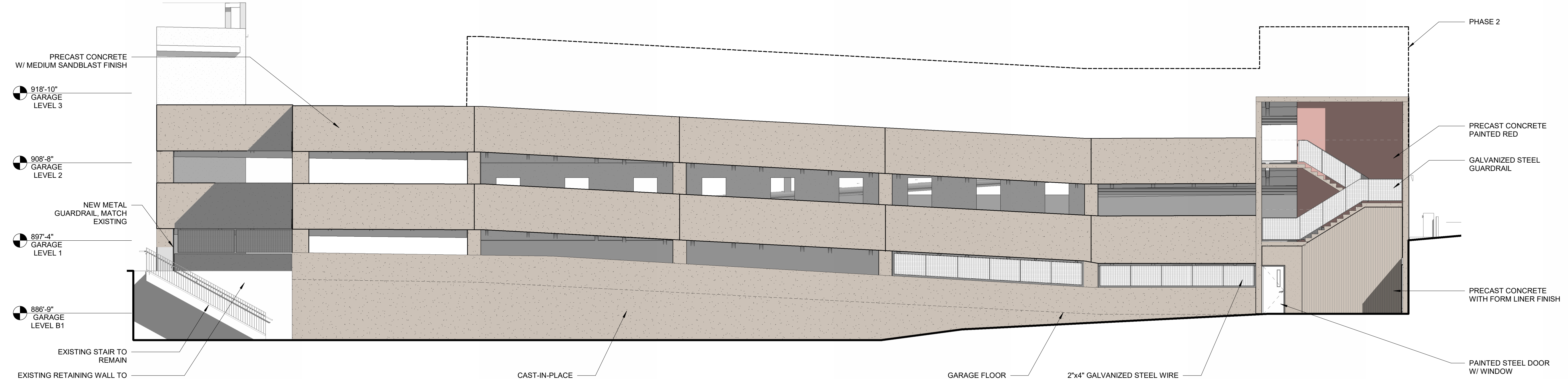
M1 NORTH ELEVATION - ENLARGED PHASE 1
1/8" = 1'-0"



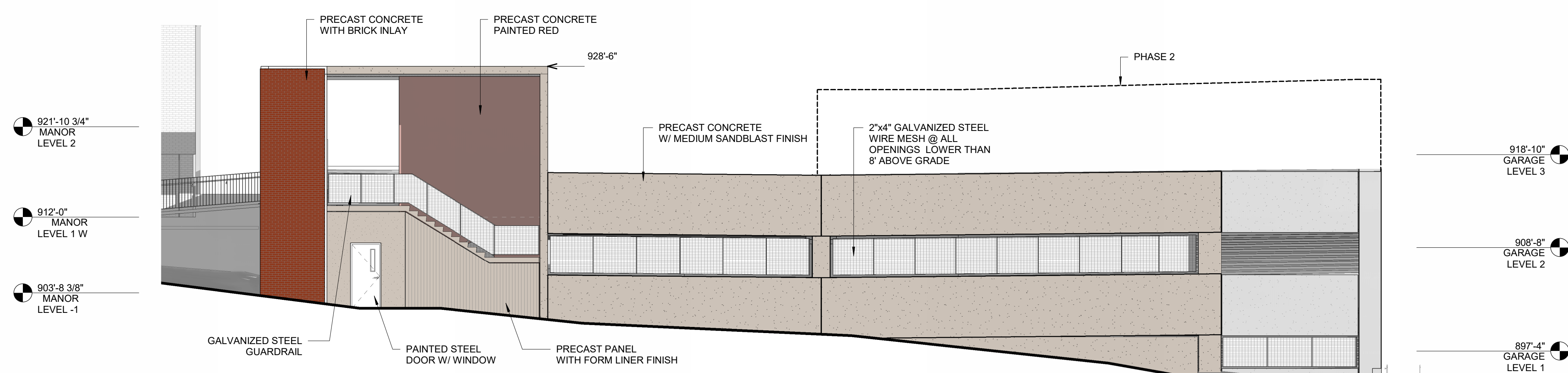
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1/8" = 1'-0"



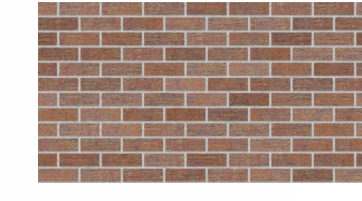
D1 SOUTH ELEVATION - ENLARGED PHASE 1
1/8" = 1'-0"



A1 WEST ELEVATION - ENLARGED PHASE 1
1/8" = 1'-0"



PRECAST FORMLINER PANEL



THIN BRICK MASONRY



GALVANIZED STEEL GUARDRAIL WITH MESH INFILL



RED PAINT



BLACK PAINT

ISSUE DATE: 03/20/2026

REVISIONS

NUMBER	DESCRIPTION	DATE

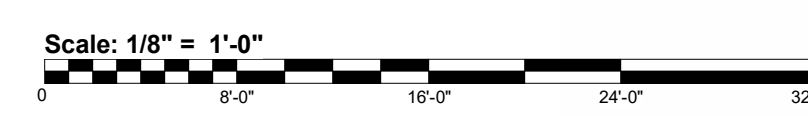
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EXTERIOR ELEVATIONS - PHASE 1

A202

FINAL DEVELOPMENT PLAN



PLAZA PARKING GARAGE

609 W 46TH ST
KANSAS CITY, MO 64112

PROJECT NUMBER: 0225-2004

OWNER: EMRES III KC, LLC
589 FIFTH AVE FL 18
NEW YORK, NY 10017
212.725.7910
EMETCAP.COM

ARCHITECT: MULTISTUDIO
4200 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.6655
MULTI.STUDIO

CIVIL ENGINEER: SK DESIGN GROUP, INC
4600 COLLEGE BLVD #100
OVERLAND PARK, KS 66211
913.451.1818
SKDGG.COM

CODE CONSULTANT: FPC CONSULTANTS KC
1330 BURLINGTON ST #200
NORTH KC, MO 64116
816.931.3377
FPC-CONSULTANTS.COM

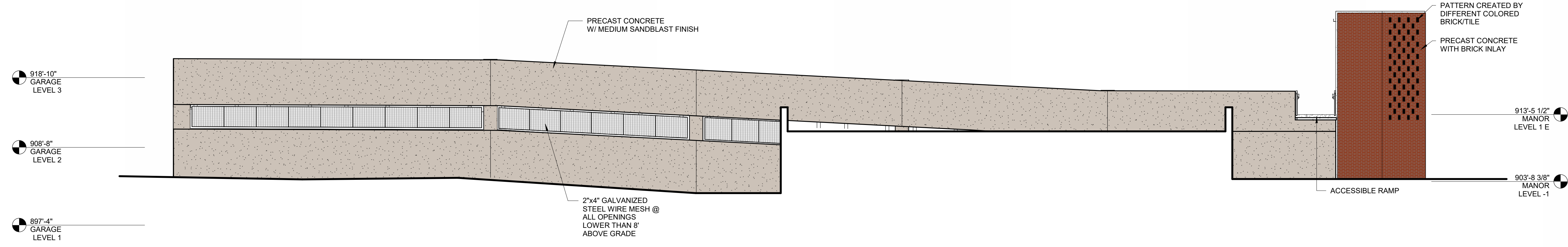
STRUCTURAL ENGINEER: WGL INC
8910 PURDUE RD #210
INDIANAPOLIS, IN 46268
317.735.3349
WGI.COM

MEP ENGINEER: LANKFORD FENDLER
1730 WALNUT ST.
KANSAS CITY, MO 64108
816.221.1411
LANKFORDFENDLER.COM

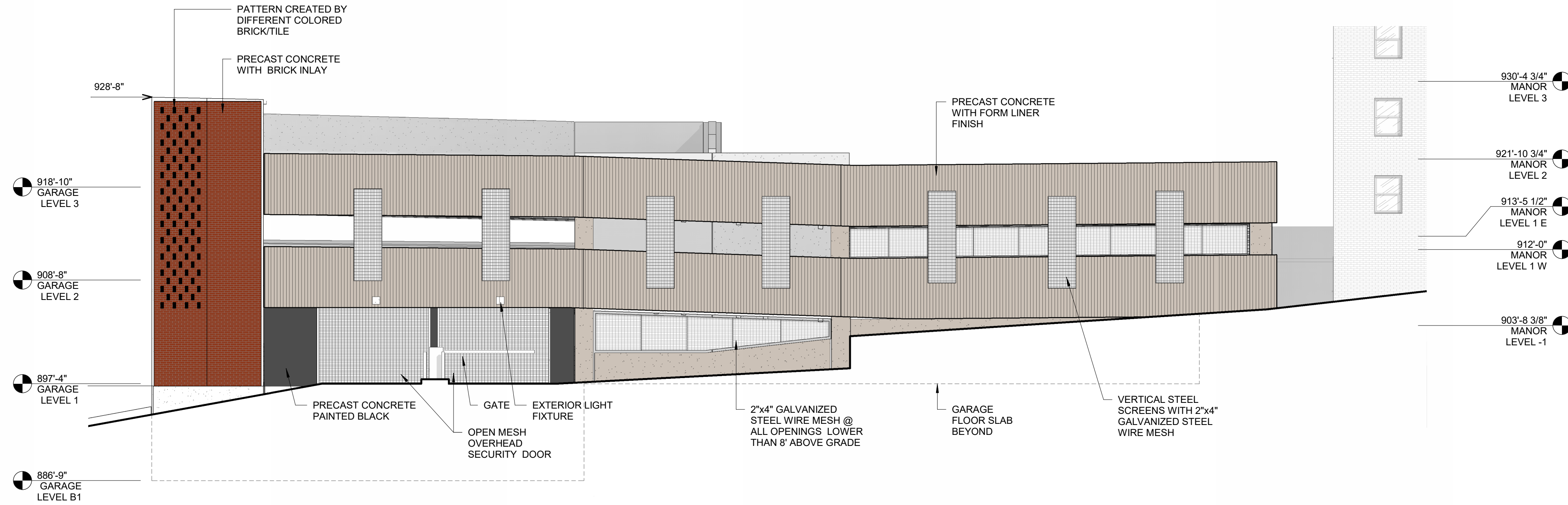
GENERAL NOTES (EXTERIOR ELEVATIONS):

1. MATERIALS AND FINISHES INDICATED APPLY TO ALL SIMILAR ELEMENTS.
2. COORDINATE EXTERIOR LIGHTING FIXTURE TYPES AND LOCATIONS WITH ELECTRICAL DRAWINGS.
3. CONFIRM LOCATION OF EXTERIOR WALL LOUVERS WITH ARCHITECT PRIOR TO INSTALLATION.

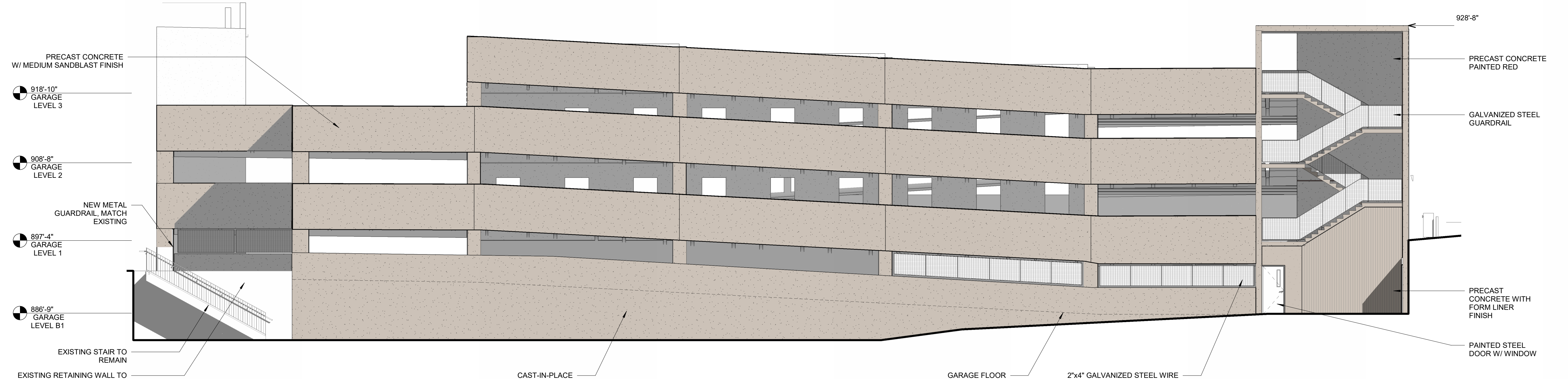
M1 NORTH ELEVATION - ENLARGED PHASE 2
1/8" = 1'-0"



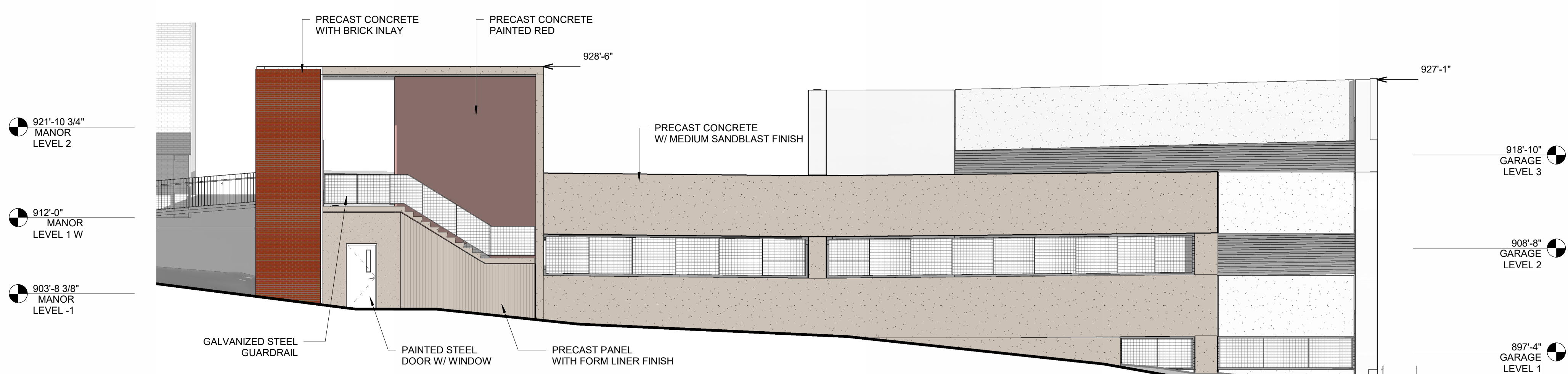
H1 EAST ELEVATION - ENLARGED PHASE 2
1/8" = 1'-0"



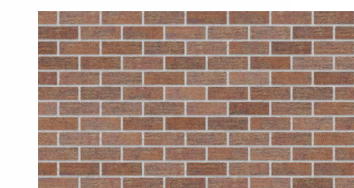
D1 SOUTH ELEVATION - ENLARGED PHASE 2
1/8" = 1'-0"



A1 WEST ELEVATION - ENLARGED PHASE 2
1/8" = 1'-0"



PRECAST FORMLINER PANEL



THIN BRICK MASONRY



GALVANIZED STEEL GUARDRAIL WITH MESH INFILL



RED PAINT



BLACK PAINT

ISSUE DATE: 03/20/2026

REVISIONS

NUMBER	DESCRIPTION	DATE

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EXTERIOR ELEVATIONS - PHASE 2

A203

FINAL DEVELOPMENT PLAN

1. RENDERINGS ON THIS SHEET ARE PROVIDED FOR REFERENCE AND ORIENTATION ONLY.

PLAZA PARKING GARAGE

608 W 46TH ST
KANSAS CITY, MO 64112

PROJECT NUMBER: 0225-2004

OWNER: EMRES III KC, LLC
585 FIFTH AVE PL 18
NEW YORK, NY 10017
212.725.7910
EMETCAP.COM

ARCHITECT: MULTISTUDIO
4200 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.8655
MULTI.STUDIO

CIVIL ENGINEER: SK DESIGN GROUP, INC
4600 COLLEGE BLVD #100
OVERLAND PARK, KS 66211
913.451.1519
SKDG.COM

STRUCTURAL ENGINEER: WGL, INC
8910 PURDUE RD #210
INDIANAPOLIS, IN 46268
317.735.3349
WGL.COM

MEP ENGINEER: LANKFORD | FENDLER
1730 WALNUT ST.
KANSAS CITY, MO 64108
816.221.1411
LANKFORDFENDLER.COM

ISSUE DATE: 03/20/2026

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3D RENDERINGS
G002
FINAL DEVELOPMENT PLAN



SOUTH-EAST VIEW - PHASE 1



SOUTH-EAST VIEW - PHASE 2



NORTH-EAST VIEW - PHASE 1



NORTH-EAST VIEW - PHASE 2



NORTH-WEST VIEW



NORTH-EAST VIEW - PHASE 2 - ADDITIONAL

PLAZA PARKING GARAGE

609 W 48TH ST
KANSAS CITY, MO 64112

PROJECT NUMBER: 0225-2004

OWNER: EMRES III KC, LLC
450 FIFTH AVE FL 16
NEW YORK, NY 10017
212.220.7810
EMETCAP.COM

ARCHITECT: MULTISTUDIO
4200 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.6652
MULTI.STUDIO

CIVIL ENGINEER: SK DESIGN GROUP, INC
4600 COLLEGE BLVD #100
OVERLAND PARK, KS 66211
913.451.1818
SKDGS.COM

CODE CONSULTANT: FPAC CONSULTANTS KC
1330 BURLINGTON ST #200
NORTH KC, MO 64116
816.931.3377
FPAC-CONSULTANTS.COM

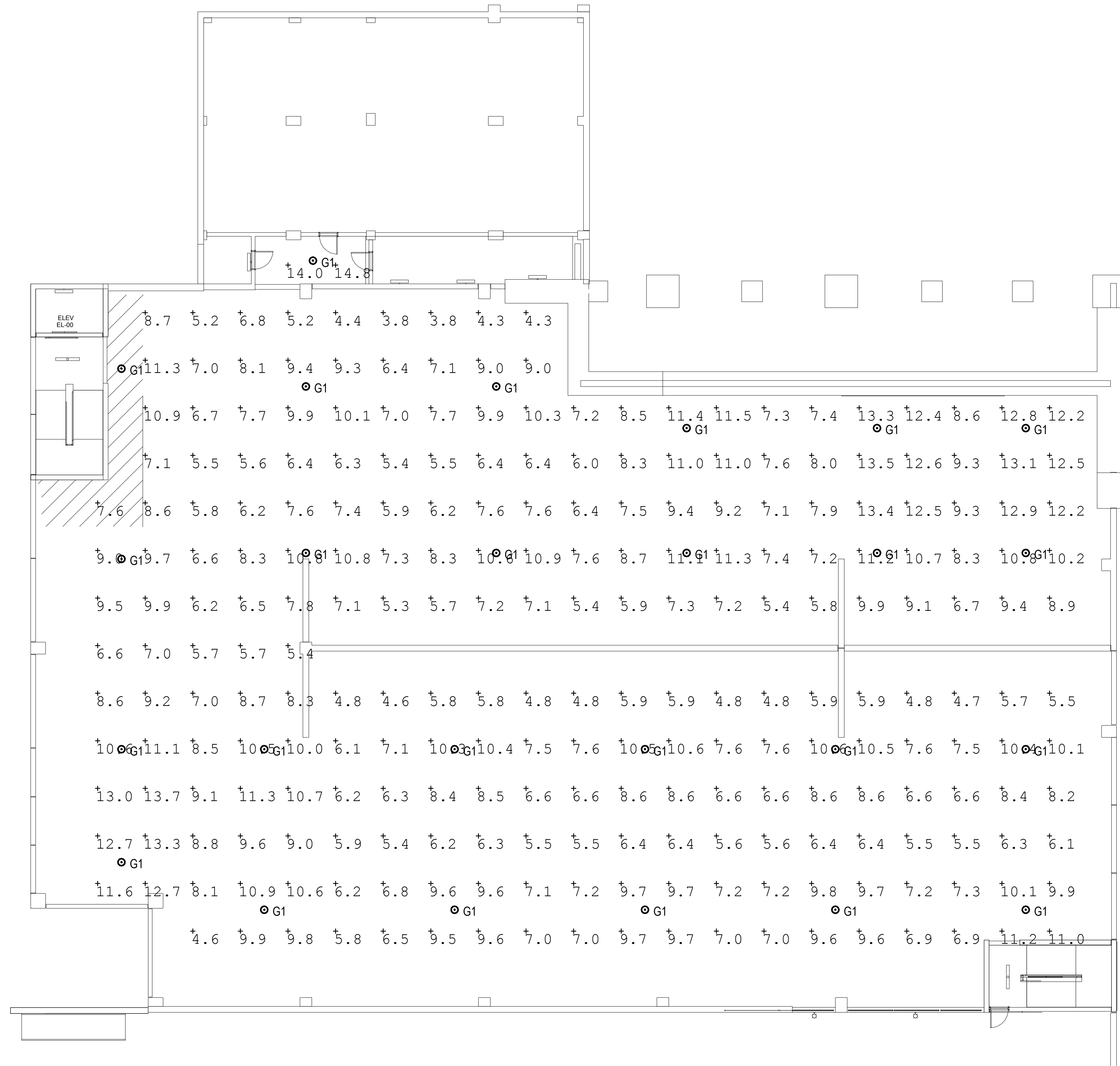
STRUCTURAL ENGINEER: WGI, INC
8510 PURDUE RD #210
INDIANAPOLIS, IN 46268
317.335.3349
WGI.COM

MEP ENGINEER: LANKFORD | FENDLER
1730 WALNUT ST
KANSAS CITY, MO 64108
816.221.1411
LANKFORDFENDLER.COM

Symbol	Tag	Label	Description	ULP	Luminaire Lumens	Luminaire Watts
□	S1	10X1 LED P7 AIR RECR TSW	LED Area Light Mount on Pole	5,900	2300	164.4
○	G1	VCPD LED P3 4W 15R MVOLS	LED Parking Garage Light	5,900	2884	43.37

Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
Garage #1 to Level 1	Illuminance	Fc	8.19	14.8	3.8	2.16	3.89
Garage Level 1 to Level 2	Illuminance	Fc	7.95	13.4	3.3	2.35	4.05
Garage Level 2 to Level 3	Illuminance	Fc	6.96	13.5	3.3	2.11	4.09
Garage Level 3 to Roof Top Parking	Illuminance	Fc	1.45	3.7	0.2	7.25	18.50

DISCLAIMER:
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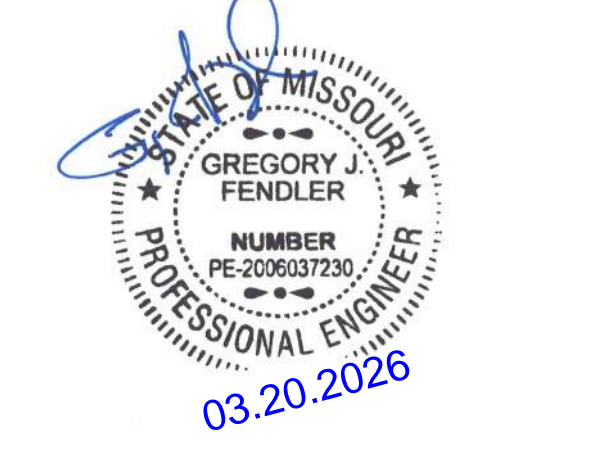
PHOTOMETRIC PLAN - GARAGE
SCALE: 3/32" = 1'-0"

ISSUE DATE: 03/20/2026

REVISIONS

NUMBER	DESCRIPTION	DATE
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Lankford + Fendler
+ associates
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Kansas City, Missouri 64108
816.221.1411
Fax: 816.221.1420
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L|F+A Project No. 257607-00
Greg J. Fendler License No. MO PE000007230
DCA #2006037230

PHOTOMETRIC PLAN
PH100
FINAL DEVELOPMENT PLAN

PLAZA PARKING GARAGE

609 W 48TH ST
KANSAS CITY, MO 64112

PROJECT NUMBER: 0225-2004

OWNER: EMRES III KC, LLC
450 FIFTH AVE FL 16
NEW YORK, NY 10017
212.220.7810
EMETCAP.COM

ARCHITECT: MULTISTUDIO
4200 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.6652
MULTI.STUDIO

CODE CONSULTANT: FPAC CONSULTANTS KC
1330 BURLINGTON ST #200
NORTH KC, MO 64116
816.931.3377
FPAC-CONSULTANTS.COM

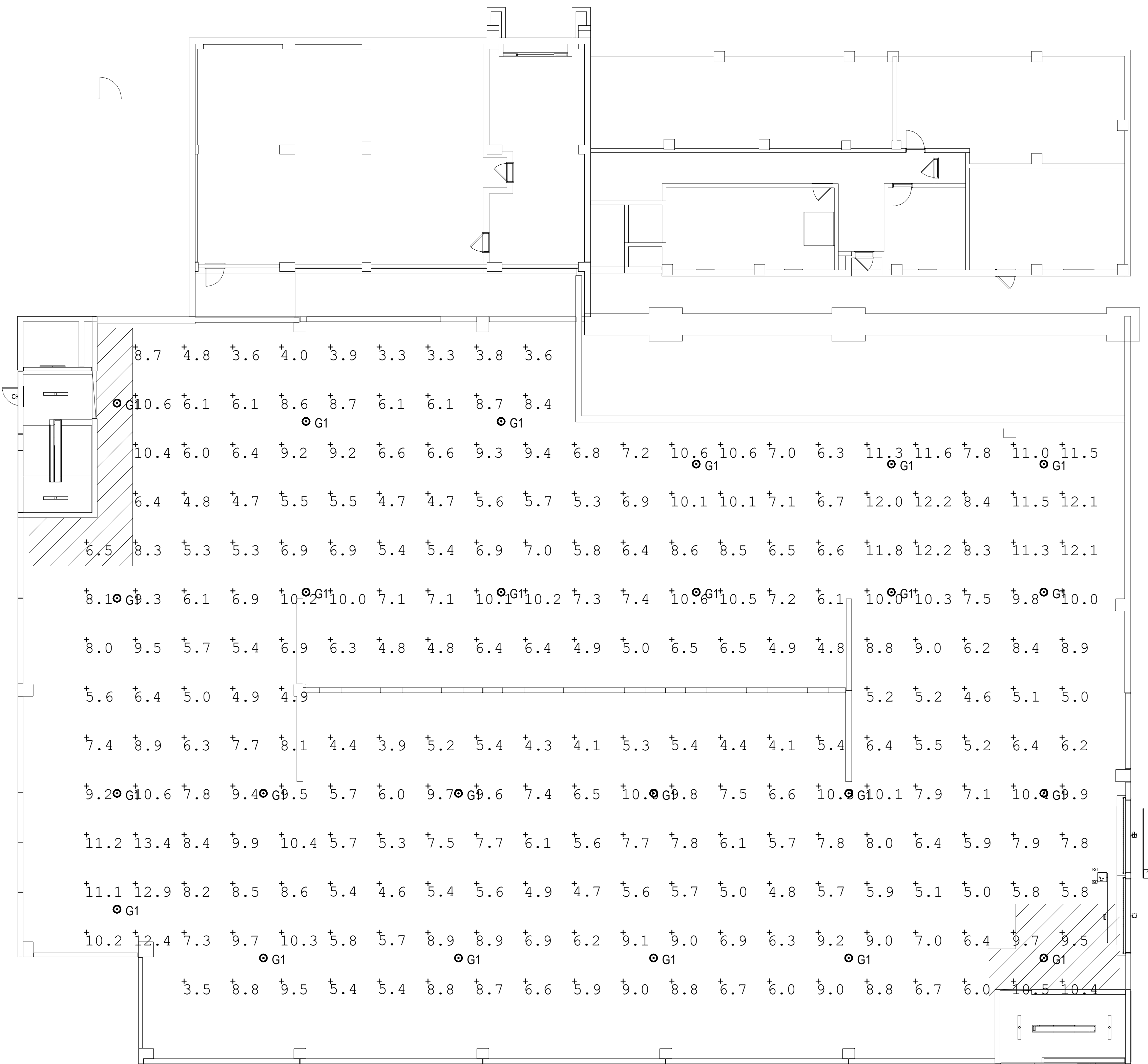
STRUCTURAL ENGINEER: WGI, INC.
8510 PURDUE RD #210
INDIANAPOLIS, IN 46268
317.335.3349
WGI.COM

MEP ENGINEER: LANKFORD | FENDLER
1730 WALNUT ST
KANSAS CITY, MO 64108
816.221.1411
LANKFORDFENDLER.COM

Symbol	Tag	Label	Description	LLF	Lumens	Lumens Watts
□	S1	100X1 LED P7 4K RCR TRW	LED Area Light Mount on Pole Type 2 Distribution	0.900	2300	164.4
○	G1	VCPD LED P3 4K 15R WVCL	LED Parking Garage Light	0.900	2884	43.37

Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
Garage #1 to Level 1	Illuminance	Fc	8.19	14.8	3.8	2.16	3.89
Garage Level 1 to	Illuminance	Fc	7.95	13.4	3.3	2.45	4.05
Level 2	Illuminance	Fc	6.96	13.5	3.3	2.11	4.09
Garage Level 2 to	Illuminance	Fc	6.96	13.5	3.3	2.11	4.09
Level 3	Illuminance	Fc	7.45	13.7	3.2	2.25	3.90
Garage Level 3 to	Illuminance	Fc	7.45	13.7	3.2	2.25	3.90
Roof Top Parking	Illuminance	Fc	7.45	13.7	3.2	2.25	3.90

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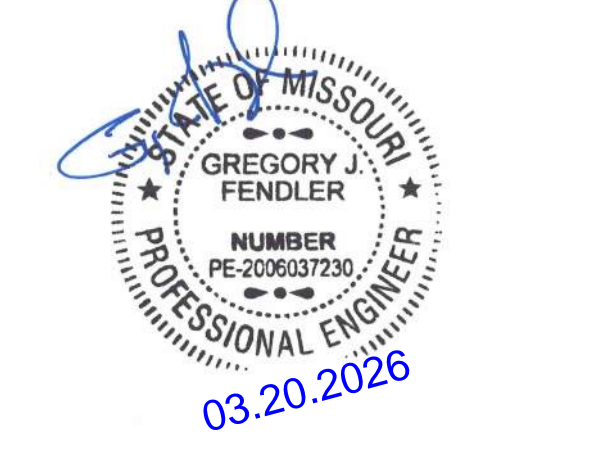


PHOTOMETRIC PLAN - GARAGE
SCALE: 3/32" = 1'-0"

ISSUE DATE: 03/20/2026

NUMBER	DESCRIPTION	DATE

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PLAZA PARKING GARAGE

609 W 48TH ST
KANSAS CITY, MO 64112

PROJECT NUMBER: 0225-2004

OWNER: EMRES III KC, LLC
450 FIFTH AVE FL 16
NEW YORK, NY 10017
212.220.7810
EMETCAP.COM

ARCHITECT: MULTISTUDIO
4200 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.6652
MULTI.STUDIO

CODE CONSULTANT: FPAC CONSULTANTS KC
1330 BURLINGTON ST #200
NORTH KC, MO 64116
816.931.3377
FPAC-CONSULTANTS.COM

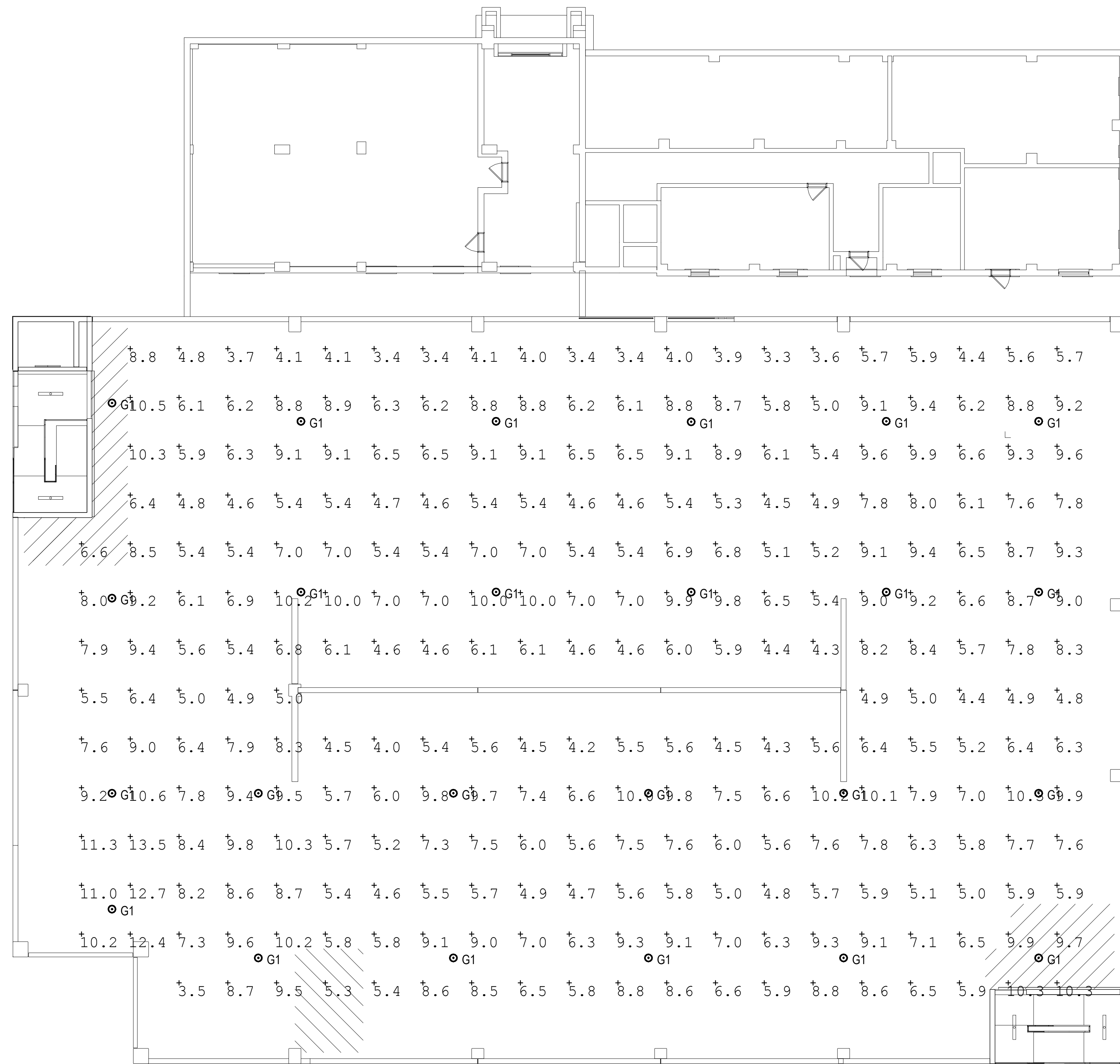
STRUCTURAL ENGINEER: WGI, INC
8510 PURDUE RD #210
INDIANAPOLIS, IN 46268
317.335.3349
WGI.COM

MEP ENGINEER: LANKFORD | FENDLER
1730 WALNUT ST
KANSAS CITY, MO 64108
816.221.1411
LANKFORDFENDLER.COM

Symbol	Tag	Label	Description	LLF	Lumens	Lumens Wats
☐	S1	DOX1 LED P7 4K RCR TSW	LED Area Light Mount on Pole	0.900	2300	164.4
⊙	G1	VCPD LED P3 4K 15R WCOL	LED Parking Garage Light	0.900	2884	43.37

Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
Garage #1 to Level 1	Illuminance	Fc	8.19	14.8	3.8	2.16	3.89
Garage Level 1 to	Illuminance	Fc	7.95	13.4	3.3	2.45	4.05
Garage Level 2 to	Illuminance	Fc	6.96	13.5	3.3	2.11	4.09
Garage Level 3 to	Illuminance	Fc	7.45	13.7	0.2	7.25	18.50
Roof Top Parking	Illuminance	Fc	7.45	13.7	0.2	7.25	18.50

DISCLAIMER:
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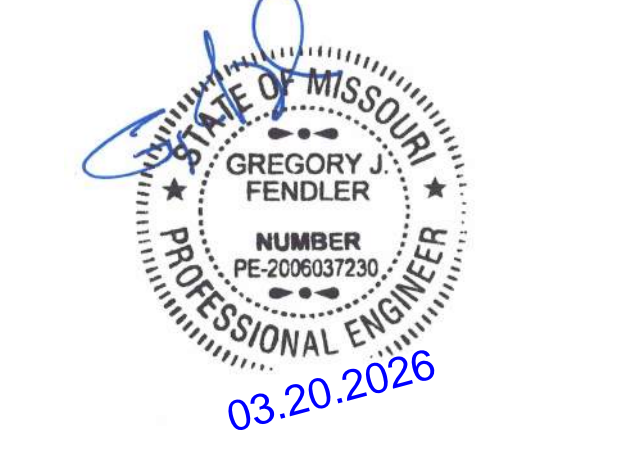
PHOTOMETRIC PLAN - GARAGE
SCALE: 3/32" = 1'-0"

ISSUE DATE: 03/20/2026

REVISIONS

NUMBER	DESCRIPTION	DATE
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Lankford + Fendler
+ ASSOCIATES
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Kansas City, Missouri 64108
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Fax: 816.221.1420
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L.F.A. Project No. 257607-00
Greg J. Fendler - License Number: MO PE2026037230
DCA #2006037230

PHOTOMETRIC PLAN
PH102
FINAL DEVELOPMENT PLAN

PLAZA PARKING GARAGE

609 W 48TH ST
KANSAS CITY, MO 64112

PROJECT NUMBER: 0225-2004

OWNER: EMRES III KC, LLC
450 FIFTH AVE FL 16
NEW YORK, NY 10017
212.220.7610
EMETCAP.COM

ARCHITECT: MULTISTUDIO
4200 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.6652
MULTI.STUDIO

CODE CONSULTANT: FPAC CONSULTANTS KC
1330 BURLINGTON ST #200
NORTH KC, MO 64116
816.931.3377
FPAC-CONSULTANTS.COM

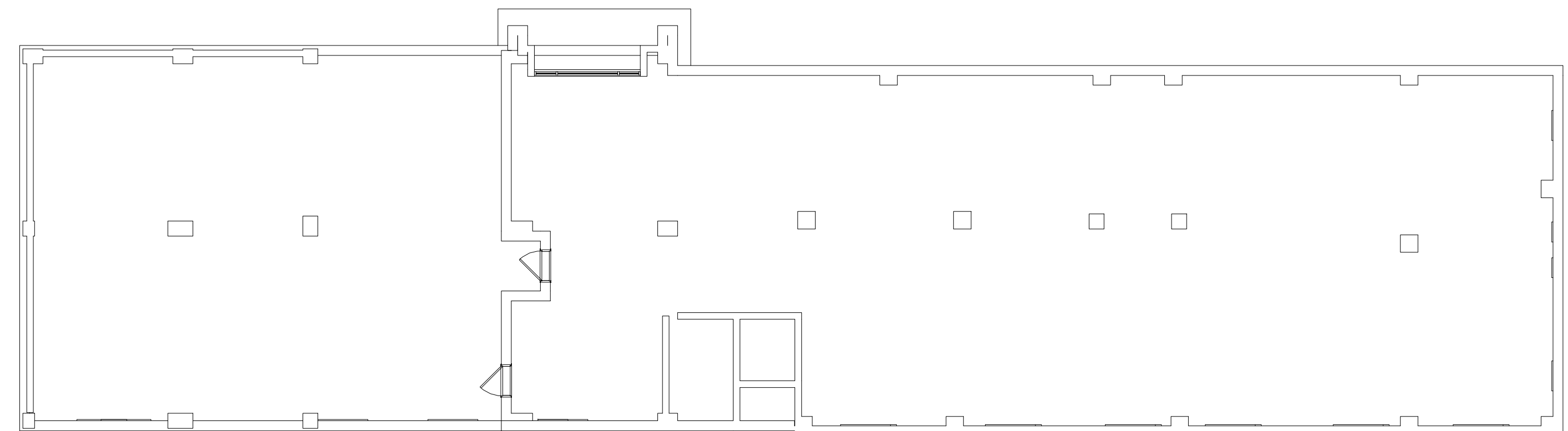
STRUCTURAL ENGINEER: WGI, INC.
8510 PURDUE RD #210
INDIANAPOLIS, IN 46268
317.335.3349
WGI.COM

MEP ENGINEER: LANKFORD | FENDLER
1730 WALNUT ST
KANSAS CITY, MO 64108
816.221.1411
LANKFORDFENDLER.COM

Symbol	Tag	Label	Description	ULP	Lumens	Lumens Wats
□	S1	DOX1 LED P7 4K RCR TSW	LED Area Light Mount on Pole	0.900	2300	164.4
○	G1	VCPD LED P3 4K 15R WVOLS	LED Parking Garage Light	0.900	2884	43.37

Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
Garage #1 to Level 1	Illuminance	Fc	0.19	14.8	3.8	2.16	3.89
Garage Level 1 to Level 2	Illuminance	Fc	0.79	13.4	3.3	2.25	4.09
Garage Level 2 to Level 3	Illuminance	Fc	0.96	13.5	3.3	2.11	4.09
Garage Level 3 to Roof Top Parking	Illuminance	Fc	1.45	37	0.2	7.25	18.50

DISCLAIMER:
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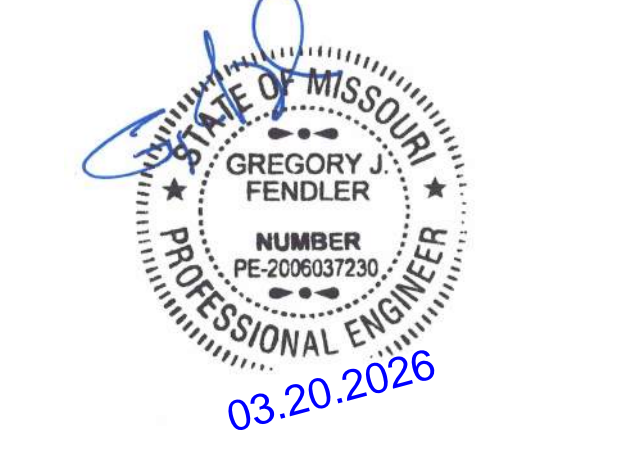


PHOTOMETRIC PLAN - GARAGE
SCALE: 3/32" = 1'-0"

ISSUE DATE: 03/20/2026

NUMBER	DESCRIPTION	DATE

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PLAZA PARKING GARAGE

609 W 48TH ST
KANSAS CITY, MO 64112

PROJECT NUMBER: 0225-2004

OWNER: EMRES III KC, LLC
589 FIFTH AVE FL 16
NEW YORK, NY 10017
212.220.7610
EMETCAP.COM

ARCHITECT: MULTISTUDIO
4200 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.6652
MULTI.STUDIO

CIVIL ENGINEER: SK DESIGN GROUP, INC
4600 COLLEGE BLVD #100
OVERLAND PARK, KS 66211
913.451.1818
SKDGS.COM

CODE CONSULTANT: FPAC CONSULTANTS KC
1330 BURLINGTON ST #200
NORTH KC, MO 64116
913.931.5377
FPAC-CONSULTANTS.COM

STRUCTURAL ENGINEER: WGI, INC
8510 PURDUE RD #210
INDIANAPOLIS, IN 46268
317.335.3549
WGI.COM

MEP ENGINEER: LANKFORD | FENDLER
1730 WALNUT ST
KANSAS CITY, MO 64108
816.221.1411
LANKFORDFENDLER.COM

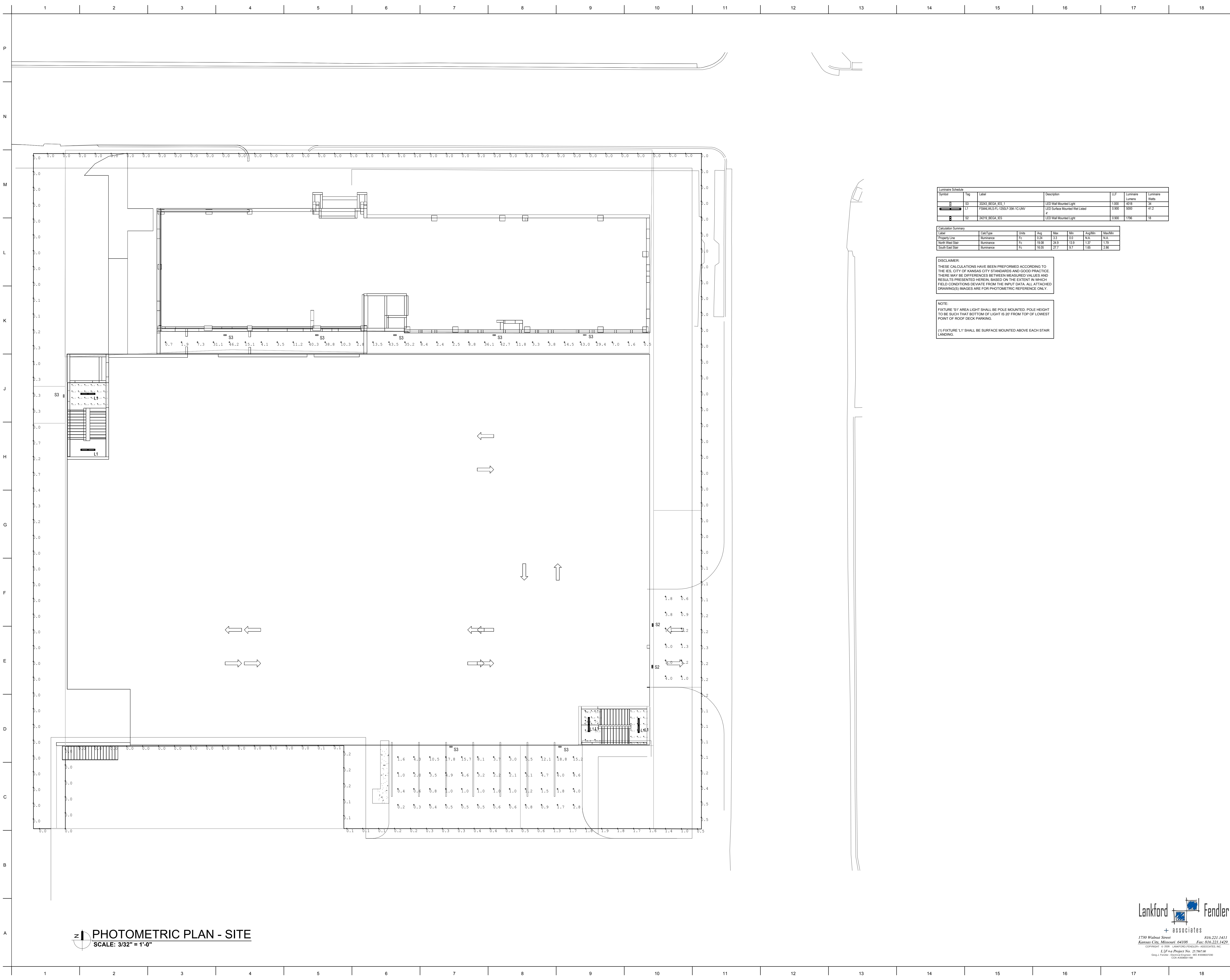
Luminaire Schedule	Tag	Label	Description	LLF	Lumens	Luminaire Watts
S3	S3	33342 BEGA IES J	LED Wall Mounted Light	1.000	4076	34
L1	L1	F30ALVLS-FL-155LF-36C-TCUNV	LED Surface Mounted Wet Landed	0.900	5000	412
S2	S2	24170 BEGA IES	LED Wall Mounted Light	0.900	1796	18

Calculation Summary	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.26	3.3	0.2	N/A	N/A
North-West Spot	Illuminance	Fc	19.38	26.0	13.0	1.27	1.75
South-East Spot	Illuminance	Fc	16.58	27.7	9.7	1.60	2.86

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NOTE:
FIXTURE 'S1' AREA LIGHT SHALL BE POLE MOUNTED. POLE HEIGHT TO BE SUCH THAT BOTTOM OF LIGHT IS 20' FROM TOP OF LOWEST POINT OF ROOF DECK PARKING.

(1) FIXTURE 'L1' SHALL BE SURFACE MOUNTED ABOVE EACH STAIR LANDING.

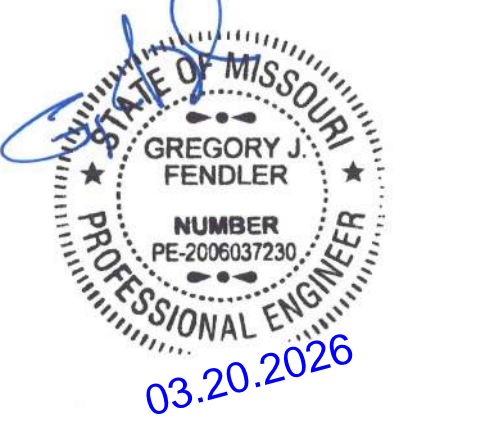


ISSUE DATE: 03/20/2026

REVISIONS

NUMBER	DESCRIPTION	DATE

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Kansas City, Missouri 64108
816.221.1411
Fax: 816.221.1420
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L|F-A Project No. 25.7607.00
Greg J. Fendler - License No. PE-20206037230
SKA #200001706

PHOTOMETRIC PLAN
PH104
FINAL DEVELOPMENT PLAN

PHOTOMETRIC PLAN - SITE
SCALE: 3/32" = 1'-0"

PLAZA PARKING GARAGE

609 W 48TH ST
KANSAS CITY, MO 64112

PROJECT NUMBER: 0225-2004

OWNER: EMRES III KC, LLC
589 FIFTH AVE FL 16
NEW YORK, NY 10017
212.226.7810
EMETCAP.COM

ARCHITECT: MULTISTUDIO
4200 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.8652
MULTI.STUDIO

OWNER: EMRES III KC, LLC
589 FIFTH AVE FL 16
NEW YORK, NY 10017
212.226.7810
EMETCAP.COM

ARCHITECT: MULTISTUDIO
4200 PENNSYLVANIA
KANSAS CITY, MO 64111
816.931.8652
MULTI.STUDIO

CIVIL ENGINEER: SK DESIGN GROUP, INC
4600 COLLEGE BLVD #100
OVERLAND PARK, KS 66211
913.451.1818
SKDSG.COM

CODE CONSULTANT: FPAC CONSULTANTS KC
1330 BURLINGTON ST #200
NORTH KC, MO 64116
816.931.3377
FP-CONSULTANTS.COM

STRUCTURAL ENGINEER: WGI, INC
8510 PURDUE RD #210
INDIANAPOLIS, IN 46268
317.336.3949
WGI.COM

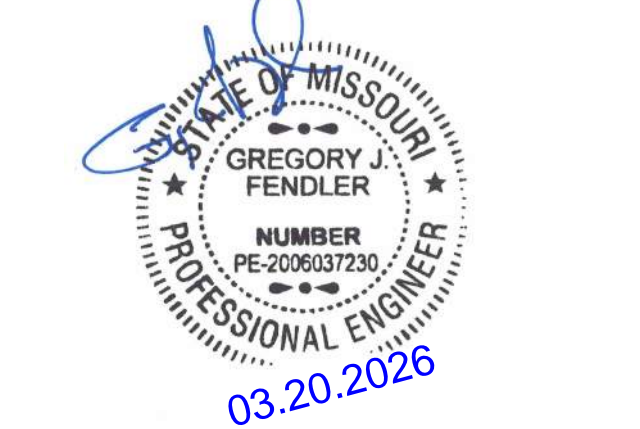
MEP ENGINEER: LANFORD FENDLER
1730 WALNUT ST
KANSAS CITY, MO 64108
816.221.1411
LANFORDFENDLER.COM

ISSUE DATE: 03/20/2026

REVISIONS

NUMBER	DESCRIPTION	DATE

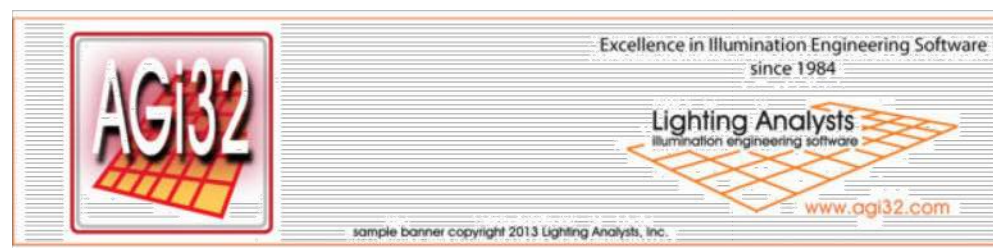
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PHOTOMETRIC PLAN

PH105

FINAL DEVELOPMENT PLAN



G1

Photometric Report (Type C)

Filename: VCPG_LED_P3_40K_T5R_MVOLT.ies
[TEST] ISF 38225P03C00
[TESTLAB] SCALED PHOTOMETRY
[ISSUE DATE] 3/4/2026
[MANUFAC] Lithonia Lighting
[LUMCAT] VCPG_LED_P3_40K_T5R_MVOLT
[LUMINAIRE] VCPG_LED_WITH_P3 - PERFORMANCE PACKAGE, 4000K, T5R OPTIC TYPE



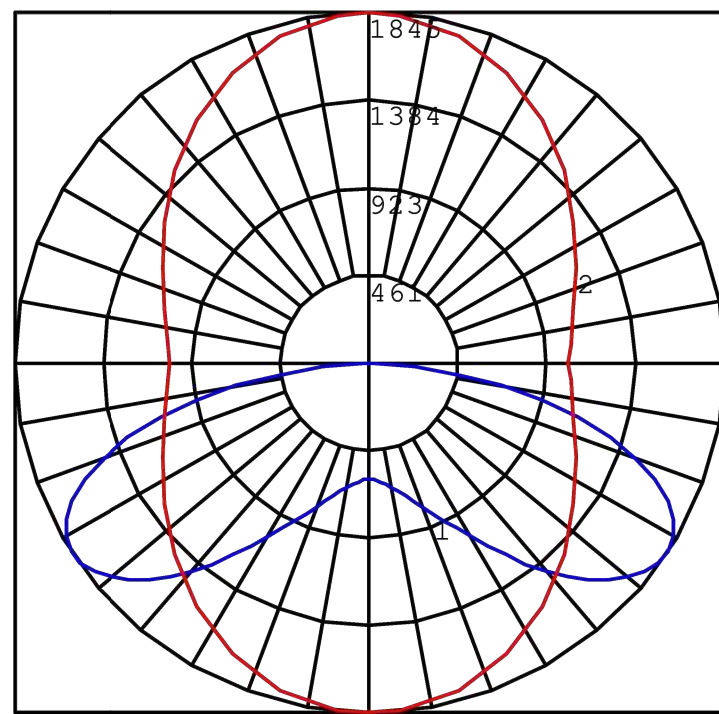
Maximum Candela = 1845.08621692657 at 90 H 57.5 V

Classification:

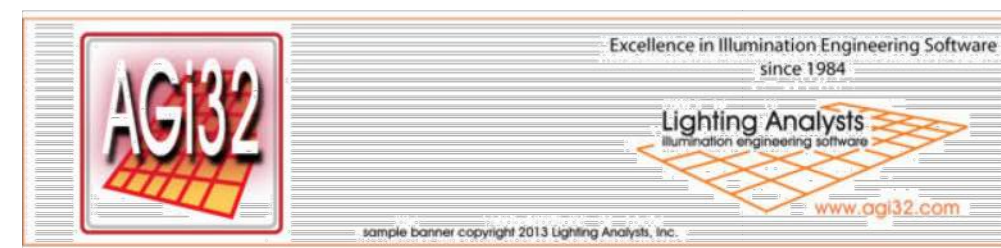
Road Classification: Type III, Short, N.A. (deprecated)
Upward West Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 138
Maximum UGR: 34.3
Indoor Classification: Direct
BUG Rating: B5-U0-G3

Polar Candela Curves:

Vertical Plane Through:
1) 90 - 270 Horizontal
Horizontal Cone Through:
2) 57.5 Vertical



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Calculations based on published IES Methods and recommendations, values rounded for display purposes.
Results derived from content of manufacturer photometric file.



L1

Photometric Report (Type C)

Filename: FSM4MLWS-FL-1250LF-35K-1C-UNV-WH-4FT.ies
[TEST] scaled from 5160(1)
[TESTLAB] Focal Point Goniophotometer Lab
[ISSUE DATE] 2/23/2024
[MANUFAC] Focal Point, LLC
[LUMCAT] FSM4MLWS-FL-1250LF-35K-1C-UNV-WH-4FT
[LUMINAIRE] Seven 4 LED Surface Mount - Wet Location
[LAMP] 3500K 80 CRI LED



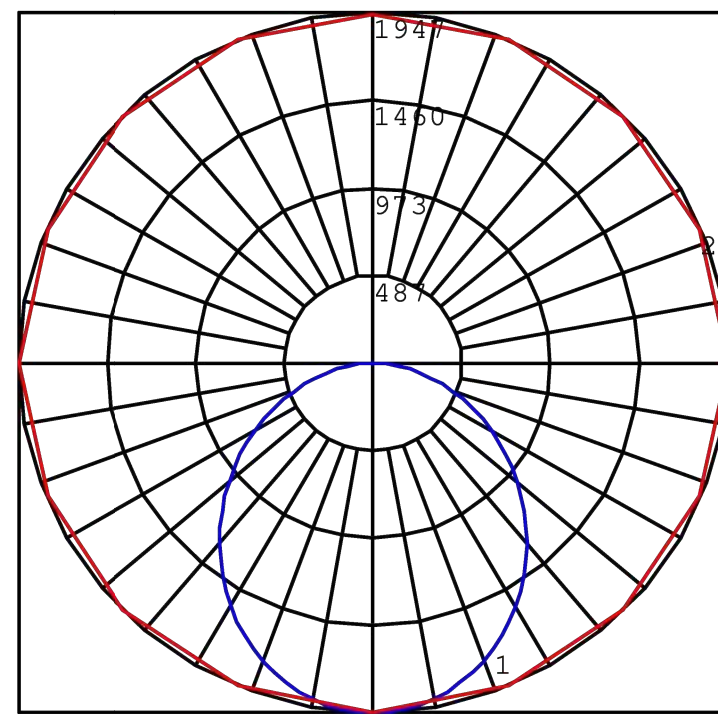
Maximum Candela = 1946.84 at 0 H 2.5 V

Classification:

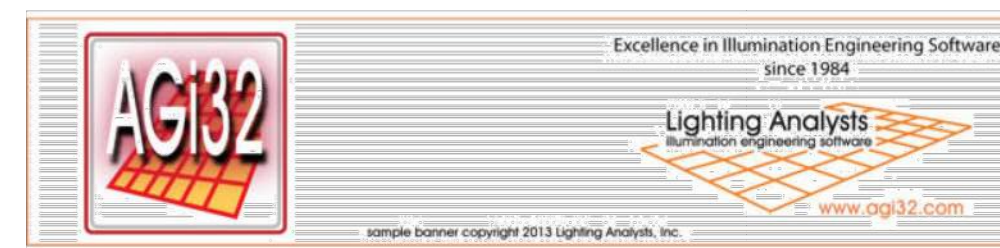
Road Classification: Type VS, Very Short, N.A. (deprecated)
Upward West Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 121
Maximum UGR: 27.5
Indoor Classification: Direct
BUG Rating: B2-U1-G1

Polar Candela Curves:

Vertical Plane Through:
1) 0 - 180 Horizontal
Horizontal Cone Through:
2) 2.5 Vertical



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S1

Photometric Report (Type C)

Filename: DSX1_LED_P7_40K_80CRI_T5W (1).ies
[TEST] ISF 221268BP110
[TESTLAB] SCALED PHOTOMETRY
[ISSUE DATE] 2/4/2026
[MANUFAC] Lithonia Lighting
[LUMCAT] DSX1_LED_P7_40K_80CRI_T5W
[LUMINAIRE] D-Series Size 1 Area Luminaire P7 Performance Package 4000K CCT 80 CRI Type 5 Wide



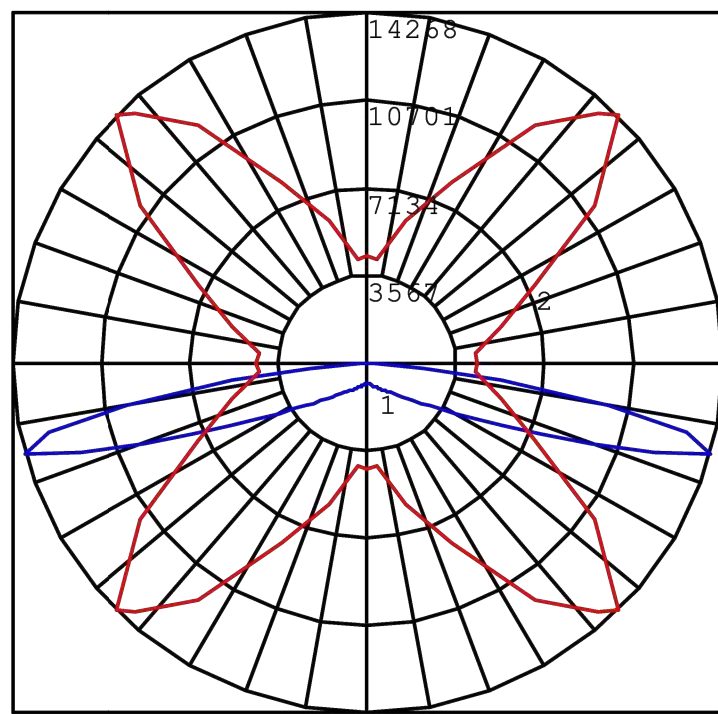
Maximum Candela = 14268.2776350975 at 45 H 75 V

Classification:

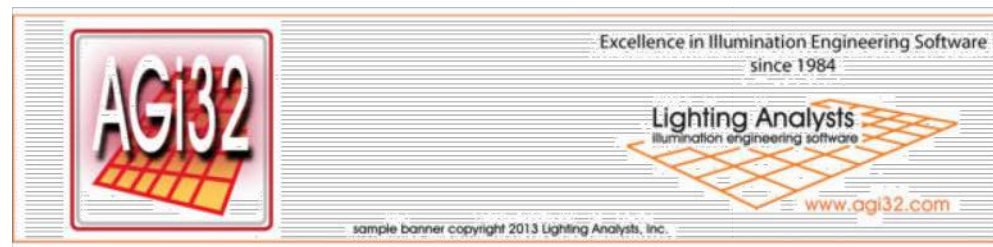
Road Classification: Type VS, Medium, N.A. (deprecated)
Upward West Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 117
Maximum UGR: 42.3
Indoor Classification: Direct
BUG Rating: B5-U0-G3

Polar Candela Curves:

Vertical Plane Through:
1) 45 - 225 Horizontal
Horizontal Cone Through:
2) 75 Vertical



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S2

Photometric Report (Type C)

Filename: 24219_BEGA_TES.ies
[MANUFAC] BEGA Converted by LUMCat V 16.09.2016 / H.R.
[LUMINAIRE] 24 219 K4
[LUMPCAT] LED 14,9W 1793 lm, 18 W
[LAMP] LED 14,9W



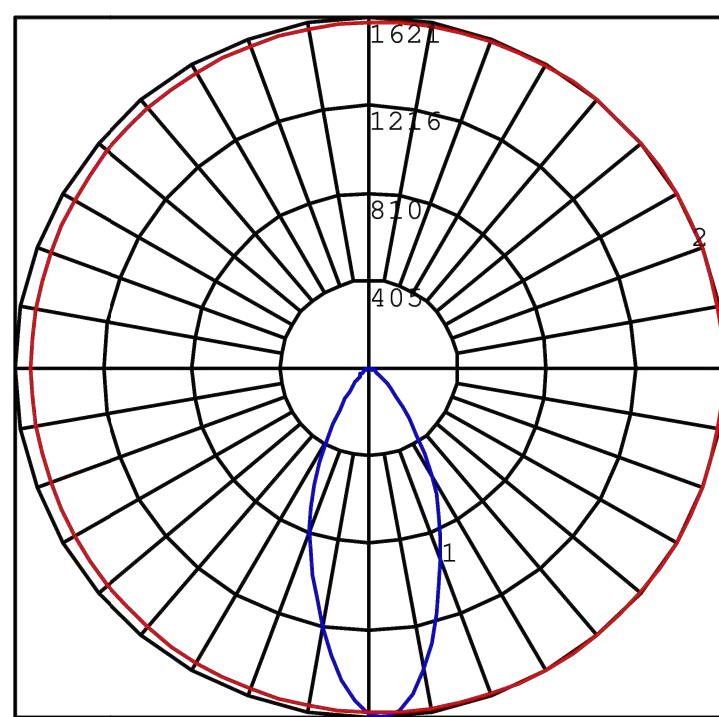
Maximum Candela = 1620.7 at 0 H 2.5 V

Classification:

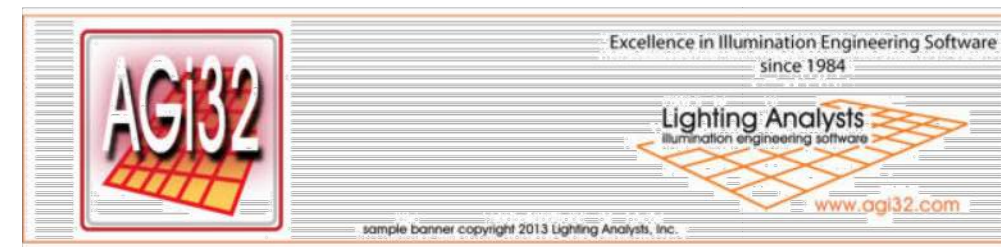
Road Classification: Type I, Very Short, N.A. (deprecated)
Luminaire Efficacy Rating (LER): 100
Maximum UGR: 24.6
Indoor Classification: Direct
BUG Rating: B0-U0-G0

Polar Candela Curves:

Vertical Plane Through:
1) 0 - 180 Horizontal
Horizontal Cone Through:
2) 2.5 Vertical



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Results derived from content of manufacturer photometric file.



S3

Photometric Report (Type C)

Filename: 33243_BEGA_TES.ies
[MANUFAC] BEGA Converted by LUMCat V 17.05.2017 / H.R.
[LUMINAIRE] 33 243 K3
[LUMPCAT] LED 29,8W 4012 lm, 34 W
[LAMP] LED 29,8W



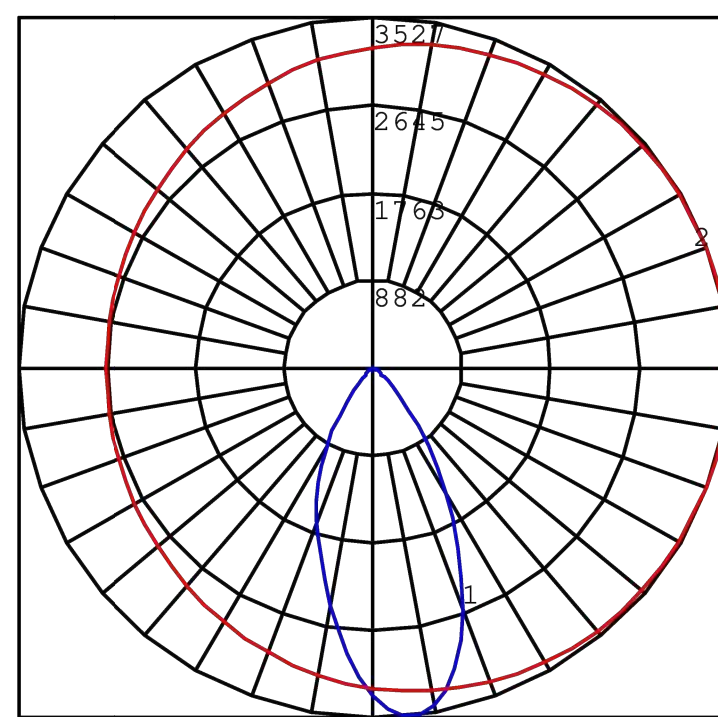
Maximum Candela = 3526.9 at 5 H 7.5 V

Classification:

Road Classification: Type I, Very Short, N.A. (deprecated)
Luminaire Efficacy Rating (LER): 118
Maximum UGR: 28.6
Indoor Classification: Direct
BUG Rating: B0-U0-G0

Polar Candela Curves:

Vertical Plane Through:
1) 5 - 185 Horizontal
Horizontal Cone Through:
2) 7.5 Vertical



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