

# CITY PLAN COMMISSION STAFF REPORT



**KANSAS CITY**  
Planning & Dev

**CD-CPC-2026-00008**

**ABC/Anderson Apartments**

**March 4, 2026**

## Docket #4

### Request

Development Plan

### Applicant

Annie Rouse  
Exact Architects

### Owner

Exact Abc LLC

### Site Information

Location 3244 Main Street  
Area 0.44 Acres  
Zoning B4-5  
Council District 4<sup>th</sup>  
County Jackson  
School District Kansas City

### Surrounding Land Uses

North: Commercial, B4-5  
South: Vacant (paved), UR  
East: Surface Parking, B4-5  
West: Surface Parking/Commercial, B4-5

### KC Spirit Playbook Alignment

CD-CPC-2026-00008 - High

### Land Use Plan

The Midtown/Plaza Area Plan recommends Mixed Use Community for this location. The proposed plan has a high alignment with this designation. See Criteria A for more information.

### Major Street Plan

Main Street is identified as a Commerce/Mixed Use in this location.

## Approval Process



### Overview

The applicant seeks approval of a mixed use development plan for approximately 52 residential units with ground floor commercial space and a rooftop amenity on about 0.44 acres generally located 140 feet south of W Linwood Boulevard on the west side of Main Street.

### Existing Conditions

The subject property contains two buildings registered on the National Register of Historic Buildings. There is a small paved parking area behind the southern building and no existing landscaping. The structures are located on the KC Streetcar Line.

### Neighborhood(s)

This site is located within the Midtown KC Now and Old Hyde Park Historic District Neighborhood Association, Inc associations.

### Required Public Engagement

Section 88-505-12, Public Engagement does apply to this request. The applicant hosted a meeting on February 25, 2026. A meeting summary is attached; see Attachment #3.

### Controlling + Related Cases

CD-CPC-2022-00094 - Approving the Main Street - ABC/36 Block Urban Renewal Plan, declaring the area blighted and in need of redevelopment, pursuant to LCRA approval on 2.4 acres located at 3244 Main and 3634 Main Street (Ord. No 220730).

CRBC-2025-40200 - Building plan for an addition with a change of occupancy (under review).

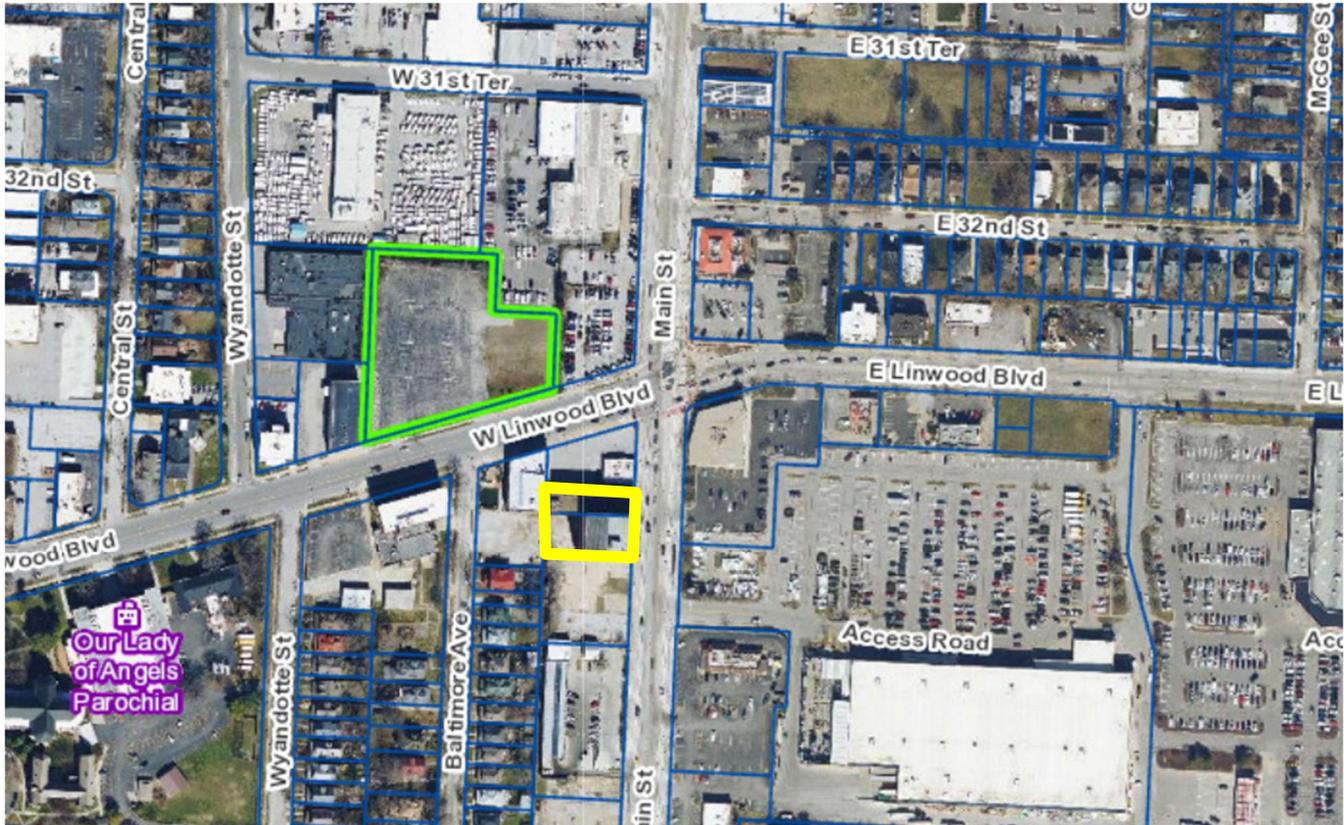
### Project Timeline

The application was filed on January 23, 2026. No scheduling deviations have occurred.

### Professional Staff Recommendation

Docket #4 Approval, subject to conditions

## VICINITY MAP



## PLAN REVIEW

The applicant is proposing to rehabilitate two buildings from office to a mixed-use building and small parking lot on the west side of the building. The building will consist of commercial uses fronting Main Street on the lower level, first floor, and will include a commercial tenant space on the roof, totaling 9,153 square feet of commercial. The remaining areas will be converted to 52 residential units. A part of the rehabilitation includes providing connections between the buildings on the second and third floors, converting it into one single building.

The applicant is proposing to maintain the existing façade of the building and is planning to protect the existing painted mural on the southern elevation. The plan does not require landscaping; however, the applicant is proposing potted plants around the parking area. The building is located on the National Register of Historic Places; therefore, no parking is required. The applicant is proposing 7 tandem parking spaces accessed from the Irish Center’s parking lot to the west (condition 5) and 16 short-term bicycle parking spaces.

**PLAN ANALYSIS**

Standards	Meets	Notes
Lot and Building Standards (88-120)	No	The two structures will be rehabilitated. The only proposed addition is a rooftop amenity/bar area.  The applicant will be required to receive approval of a variance to section 88-120-07-B, see below.
Parkland Dedication (88-408)	Yes	
Parking & Loading (88-420)	Yes	The two structures on the site are listed on the National Register of Historic Places; therefore, no parking is required.
Landscaping & Screening (88-425)	Yes	The proposed development does not require landscaping. See below.
Outdoor Lighting (88-430)	Yes, subject to conditions	
Signs (88-445)	Yes, subject to conditions	
Pedestrian Standards (88-450)	Yes	

**Section 88-120-07-B – Ground Floor Commercial Floor Size**

Commercial and other nonresidential uses allowed in the subject zoning districts must occupy at least 800 square feet or 50% of the building’s ground floor area, whichever is greater. The current proposal has a total ground floor area of 11,021 square feet. This includes 3,081 square feet of commercial space; to comply with this section of code, the layout will need to be revised to include 5,510.5 square feet of commercial space or a variance will be required (condition 3).

**Section 88-425 – Landscaping and Screening Standards**

The proposal does not include the construction of a principal building, the construction of new vehicular use areas or reconstructing a vehicular use area by more than 50% or 5,000 square feet, will not contain more than 10 parking spaces, and does not propose a parking garage; therefore, the proposal does not require landscaping.

**Main Corridor Overlay District**

The property is located within the Main Corridor Overlay District. The Main Street Overlay allows Taverns with a special use permit should a Tavern have a gross floor area equal to or greater than 3,000 square feet. The applicant is proposing a bar (tavern) on the roof and in one of the main commercial areas; both tavern spaces are over than the allowed 3,000 square feet, therefore the development plan is acting as a special use permit for the Tavern.

## **SPECIFIC REVIEW CRITERIA**

### **Development Plan, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

**A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies.**

The plan complies with most of the Zoning and Development Code and Main Corridor Overlay District. As stated above, the applicant is required to revise their plans or receive approval of a variance from the Board of Zoning Adjustment to comply with the required commercial square footage on the ground floor requirement.

"This project has a high alignment with both the KC Spirit Playbook and the Midtown/Plaza Area Plan as it preserves two historic buildings while adding housing density along the streetcar corridor. Conversion of the buildings to apartments with retail fits the future land use of mixed-use community, and the project follows the Main Street Overlay. The applicant's response letter clarified questions regarding landscaping, parking access, and hours of operation for the rooftop commercial space." - Luke Ranker, 4<sup>th</sup> District Planner, Community Planning Division

**B. The proposed use must be allowed in the district in which it is located.**

The proposed use is allowed in the B4-5 district and within the Main Corridor Overlay District.

**C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways.**

The property is not required to provide parking due to the historic designation of the structures however the applicant is proposing seven parking spaces including an ADA parking stall. The applicant is proposing access to the proposed parking lot from the existing parking lot to the West belonging to the Irish Center. The applicant is currently working with the Irish Center on a cross-access easement (condition 5). The applicant is proposing tandem parking spaces. While unconventional for a project with this many units, the applicant has stated that tandem parking spaces will be assigned to those sharing a unit. The parking lot design provides safe and efficient movement of traffic.

**D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site.**

The applicant is proposing 16 short-term bicycle parking spaces for future residents. The building is located on the KC Streetcar line, and many residents are expected to use the streetcar as their primary mode of transportation. The plan provides for safe, efficient, and convenient non-motorized travel opportunities.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

The plan provides for adequate utilities based on City standards.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

The applicant is rehabilitating two historic structures. The location, orientations, and architectural features will remain unchanged and are compatible with adjacent properties. The applicant is proposing a roof top bar that will include materials that are compatible with the existing building.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

There is no existing or proposed landscaping for the site. As stated on page 3 of this report, the application does not trigger the requirements for landscaping. The applicant is also not proposing landscaping for the rooftop bar.

There is a gate on the east side of the property south of the existing building that will provide added safety for residents heading to the parking area behind the building. This gate is in compliance with applicable codes and overlay standards.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The proposed development is not adding any more impervious surface to the site, the site is completely developed with buildings and a paved parking area.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

The applicant was not required to identify trees to be removed or preserved as there are no trees on the property.

## **ATTACHMENTS**

1. Conditions Report
2. Applicant's Submittal
3. Public Engagement Materials
4. KC Spirit Alignment
5. Public Testimony

**PROFESSIONAL STAFF RECOMMENDATION**

**City staff recommends APPROVAL, SUBJECT TO CONDITIONS as stated in the conditions report.**

Respectfully submitted,



Larisa Chamb, AICP

Planning Supervisor



## Plan Conditions

Report Date: February 25, 2026

Case Number: CD-CPC-2026-00008

Project: ABC/Anderson Apartments

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*Condition(s) by City Planning and Development Department. Contact Larisa Chambi at (816) 513-8822 / Larisa.Chambi@kcmo.org with questions.*

1. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with Section 88-425-08 of the Zoning and Development Code. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
2. All signage shall conform to 88-445 and shall require a sign permit prior to installation. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
3. Per 88-120-07-B, Commercial and other non residential uses allowed in the subject zoning districts must occupy at least 800 square or 50% of the building's ground floor area, whichever is greater. The applicant shall be required to receive approval of a variance request to this standard from the Board of Zoning Adjustment or shall revise their floor plans prior the issuance of a building permit.
4. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
5. The applicant shall provide a cross-access easement with the Irish Center to the West prior to the issuance of any building permit.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

6. The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
7. Shall meet the minimum fire hydrant requirements of KCMO Water Services applicable to a water main extension which is every 300 feet commercial or 600 feet residentially zoned area.
8. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
9. A Knox Box shall be provided near the main entrance to the building (IFC-2018 § 506.1).
10. Buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)
11. The building's FDC shall be immediately recognizable from the street or nearest point of Fire Department access ( IFC-2018 § 912.2.1).
12. Any significant occupancy type change shall be done in conformance with the applicable building codes which are in effect at the time of the change with a valid Certificate of Occupancy issued by City Planning and Development. (IFC-2018 § 102.3)
13. All Fire Department Connections (FDC) shall be threaded connections, Storz connections are not allowed in the City of Kansas City, Missouri (IFC-2018 § 903.3.6; NFPA 13-2010 § 6.8.1).
14. The Fire Department Connection (FDC) shall not be located that obstructs access/egress to the building when in use (IFC-2018 § 912.2).
15. Fire and life safety systems shall be brought up to IFC 2018 standards for the new occupancy.

*Condition(s) by KCPD. Contact Jeffrey Krebs at (816)651-8809 / Jeffrey.Krebs@kcmo.org with questions.*

*Condition(s) by KCPD. Contact Jeffrey Krebs at (816)651-8809 / Jeffrey.Krebs@kcmo.org with questions.*

16. Provide a note on the plans for residential units to have 180-degree eye viewers, such as peep holes, at the time of building plan review. Development Management Division reviewer may satisfy this condition.
17. Provide a note on the plans indicating the use of metal door frames or Jamb Braces on exterior doors at the time of building plan review. Development Management Division reviewer may satisfy this condition.

*Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / richard.sanchez@kcmo.org with questions.*

18. The developer shall be responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the 2026 acquisition rate of \$20,065.67 per acre. This requirement shall be satisfied prior to certificate of occupancy.

*Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

19. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
20. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

21. For all work under the Streetcar a Track Access Permit must be applied for with public works and the plumber must be track access certified. See <https://kcstreetcar.org/about-streetcar/track-access/> for additional information.
22. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact - Patrick Lewis (816) 513-0423  
North of River contact - David Gilyard (816) 513-4772
23. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to issuance of Certificate of Occupancy.  
<https://www.kcwater.us/wp-content/uploads/2025/02/2025-Final-Rules-and-Regulations-for-Water-Service-Lines.pdf>



# BUILDING CODE SUMMARY

## ADOPTED CODES + PROJECT REFERENCES

2018 International Building Code	2018 International Existing Building Code	2021 International Energy Code	2018 International Mechanical Code	2018 International Fuel Gas Code	2018 International Fire Code	2018 Uniform Plumbing Code	2017 National Electrical Code	2018 IBC + IEBC, ICC ANSI A117.1 - 2009, Accessibility and Usability Code and Fair Housing Act
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BUILDING DATA	
General	Interior conversion of a historic 6-story plus 1-level basement commercial storage building with concrete column beam structure.
Construction Type	1-B Non-Combustible Exterior
Fully Sprinkled	Yes - NFPA 13 shall be provided throughout
Use / Change	Existing Storage converted to New Commercial and Multi-Family Residential
Zoning	B4-5
Parking	Not Required (Historic Building); off-street provided
Historical Data	Building listed on the National Register of Historic Places

USE AND CLASSIFICATION		Chapter 3
Basement	A-2 (Future Commercial) and R-2 (Residential)	
First Floor	B (Future Business) and R-2 (Residential)	
Second Floor	R-2 (Residential)	
Third Floor	R-2 (Residential)	
Fourth Floor	R-2 (Residential)	
Fifth Floor	R-2 (Residential)	
Sixth Floor	R-2 (Residential)	
Rooftop	A-2 (Future Commercial)	

BUILDING HEIGHTS AND AREAS		Chapter 5
Previous Occupancy Group	B - Taken from most recent permits for both buildings.	
Occupancy	R-2, 52 Dwelling Units A-2, 6,137 SF B, 2,978 SF	
Area (Existing)	Lower Floor 7,493 SF First Floor 11,021 SF Second Floor 13,092 SF Third Floor 13,092 SF Fourth Floor 6,892 SF Fifth Floor 6,892 SF Sixth Floor 6,892 SF Roof Top 2,763 SF Total: 68,138 SF	
Allowable Area	UL (Total)	Table 506.2
Height (Existing)	Mid-Rise 6-stories and Rooftop Amenity Max. = 74'-10" to top of occupied floor	
Allowable Height	12-stories 180'-0" (R-2 occupancy 1-B)	
Historic Exceptions	Every historic building that does not conform to the construction requirements specified in the IBC shall be provided with an approved automatic fire sprinkler system	IEBC 1203.2 & 1203.12
Incidental Occupancy Separation	Mechanical Rooms (over 15 psi and 10 horsepower): 1 hour or approved automatic fire extinguishing system	Table 508.2
Accessory Occupancy	Aggregate accessory occupancies shall not occupy more than 10% of the building area of the story in which they are located.	Section 508.3.1
	No separation is required between the accessory occupancy and main occupancy.	Section 508.3.1.3
Occupancy separation	1 hour separation between R and B or M occupancies	Table 508.4
Historic Exceptions	Historic stairways shall be accepted without complying with handrail requirements, provided they are not structurally dangerous.	IEBC Section 1203.9
	Occupancy separations of 1 hour can be omitted with an approved automatic sprinkler systems	IEBC Section 1205.4

TYPE OF CONSTRUCTION		Chapter 6
Type	1-B; Non-Combustible Exterior Walls	
Fire Resistance Ratings	Primary Structural Frame 2 hours Columns Supporting Floors 1 hours Bearing Walls - Exterior 2 hours Bearing Walls - Interior 2 hours Non-Bearing Walls - Exterior 1 hours Non-Bearing Walls - Interior 0 hours Floor Construction and Secondary Members 2 hours Roof Construction and Secondary Members 1 hours	Table 601

FIRE + SMOKE PROTECTION		Chapter 7
Hazard Category	Means of Egress = Higher Hazard Heights and Area = Higher Hazard Exterior Wall Expose = Higher Hazard	IEBC Table 1011.5 IEBC Table 1011.6 IEBC Table 1011.6
Shaft Enclosures & Vertical Openings	Existing shaft and vertical opening enclosure is only required to be in a one hour enclosure	IEBC Section 802.2.1
Corridors	Group R: 0.5 hour required ; 1-hour provided	Table 1020.1
Dwelling Separation	Group R: 1 hour required ; 1-hour provided	Section 708.3
Horizontal Assemblies	Group R: 1 hour required ; 1-hour (existing)	Section 711.2.4.1
Opening Protection	Interior: 90 min. within 2-hour fire wall 60 min. within 1-hour fire barriers (shaft, exit enclosures, exit passageways) 45 min. within 1-hour fire partitions (other than listed above) 20 min. within 0.5 and 1-hour fire partitions (corridors) 45 min. within 1-hour fire partitions (other than corridors) 20 min. within 0.5-hour fire partitions (other than corridors)	Table 716
Fireblocking	Provide in concealed spaces of stud walls and partitions, including furred spaces, and parallel rows of studs horizontally at intervals not exceeding 10 feet vertically. Unface batt insulation tightly fit in decking wall cavities provided.	Section 718.2.2 Section 718.2.1
Historic Exceptions		
Stairway Enclosure	Every historic building that cannot be made to conform to the requirements in IBC for occupancy or use and that constitutes a distinct fire hazard shall be deemed to be in compliance if provided with an approved automatic fire-extinguishing system.	IEBC 1203.12.
Corridor Doors	Existing doors in buildings protected throughout with an approved automatic sprinkler system shall be required ONLY to resist smoke, be reasonably tight fitting, and contain no louvers. Dwelling unit entry doors shall be self-closing with a positive latch and perimeter smoke sealing.	IEBC Section 804.6.1

INTERIOR FINISHES		Chapter 8
Wall + Ceiling	Group R-2 Rating C Location Exit Enclosure + Passageway Corridors Rooms and Enclosed Spaces	Table 803.13
Flame Spread	C	
Historic Exception	Existing nonconforming historic materials are allowed to remain with an automatic sprinkler system.	IEBC Section 1204.9

FIRE PROTECTION SYSTEMS		Chapter 9
Automatic Sprinkler System	NFPA 13 system required - will be provided throughout Quick response sprinklers are required in all dwelling and sleeping units, and Light-Hazard occupancies	Section 903.2.8
Standpipe Systems	Required per IBC Section 905 and NFPA 14	Section 905
Fire Extinguishers	Will be provided in occupancies/locations required by IFC	Section 906.1
Fire Alarm	Addressible fire alarm system will be provided	Section 907.2.9
Smoke Alarm	Required to be installed and maintained for each bedroom, for each room in the means of egress path to each sleeping unit exit, and each story within sleeping unit -Battery backup required. Interconnection required where more than one alarm is required in individual unit	Section 907.2.10
Visible Alarms	Required & will be provided. All dwelling and sleeping units provided with capability to support visible notification appliances per ICC A117.1	Section 907.5.2.3
Audible Alarms	Required and will be provided	Section 907.5.2.1

MEANS OF EGRESS		Chapter 10
Exits per Floor	Lower Level 2 required ; 2 provided 1st Floor 2 required ; 2 provided 2nd-6th Floors 2 required ; 2 provided	Section 1006.3.2
Vertical Exit Enclosure	Interior exit stairways serving only the first and second stories equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 are not required to be enclosed	Section 1019.3; Except. 1
Exits per Space	Group-R; Less than 50 occupants when fully sprinkled Single exit allowed (existing to remain, no change)	Table 1006.2.1
Exit Separation	Existing exits meet the 1/3 length of the max. diagonal distance at each floor	Section 1015
Exit Access	250'-0" maximum when building is fully sprinkled	Table 1017.2
Travel Distance	Group R - 125'-0" when building is fully sprinkled	Table 1006.2.1
Common Path of Travel (Single Exit)	Minimum width: 44" ; 36" with occupant load less than 50 Dead End (new): 50'-0" maximum when fully sprinkled Dead End (exist): 70'-0" maximum when fully sprinkled	Section 1020.2 Section 1020.4 IEBC Section 805.6.3
Corridors	Not required when fully sprinkled with multiple exits Fire sprinkler shall satisfy code requirements where not feasible	Section 1030 IEBC 1203.12
Emergency Escape	Not required to comply with IBC Section 1009	Section 3408.3
Historic Exception	Handrails shall be 34"-38" above nosing and provided on one side only and extend from top riser to bottom riser	Section 1011 Section 1011.11; 1012
Existing Stairs	7 3/4" max riser ; 10" min tread ; 6'-8" min headroom	
New Stair Req. (within dwelling units)		

ACCESSIBILITY		Chapter 11
Accessible Entrance And Route	Provided from public sidewalk	
Dwelling Units	Type 'A' (Adaptable) - at least 2% 2 units required Type 'A' units shall comply with ICC ANSI A117.1 Type 'B' Not required in historic buildings	Section 1107.6.2.2.1 IEBC Section 305.9
Accessible Chair Lift		

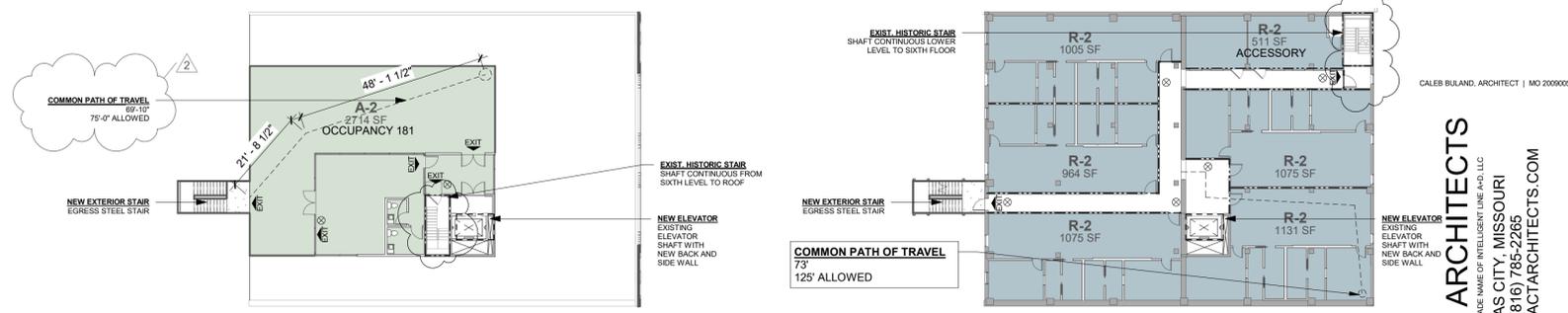
PLUMBING FIXTURES							
Min. # of Fixtures	Toilets	Lavatory	Kitchen Sink	Tub/Shower	Fountain	Jan. Sink	Washer
R-2 (per unit)	1	1	1	1	-	-	provided
A-2	6	6	1	-	-	-	-
B	1	1	-	-	-	-	-

OCCUPANCY LOAD CALCULATIONS			
Occupancy	Area	Load Factor	Total Occupants
R-2	42,061 sf	200 gross	210 occupants
A-2	6,137 sf	15 net	409 occupants
B	2,668 sf	150 gross	18 occupants
<b>Total</b>			<b>637 occupants</b>

ADDITIONAL LIFE SAFETY NOTES	
1.	Complete automatic fire sprinkler design for the building is a delegated design and deferred submittal. Monitored by a proprietary supervising station (alarm company).
2.	Complete fire alarm design for the building is a delegated design and deferred submittal.
3.	Provide and install 1 exterior knock box (with building master key inside). Coordinate type, keying, location, and any additional requirements with fire department.
4.	Portable fire extinguishers will be provided in the R, and S occupancies per NFPA 10-2018.
5.	Provide emergency elevator communication system per 3001.2 with two way visual and text based interactive communication system.

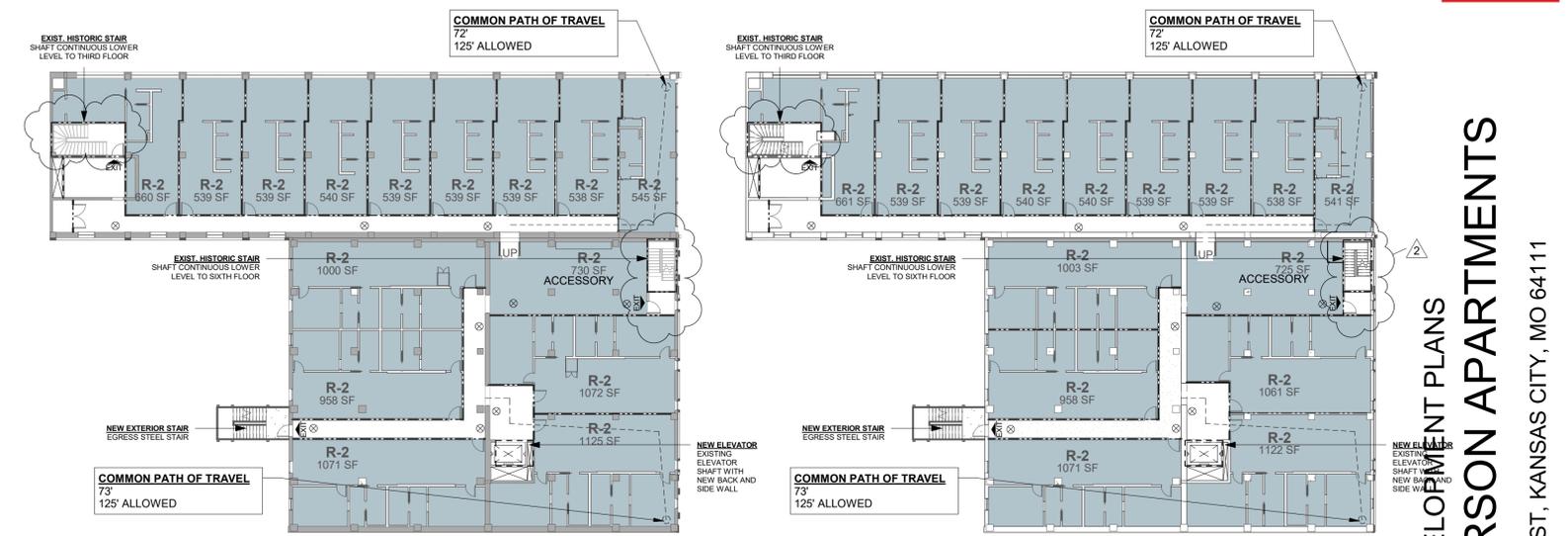
HISTORIC EXCEPTIONS		Chapter 11
Corridor Doors	Existing doors in buildings protected throughout with an approved automatic sprinkler system shall be required ONLY to resist smoke, be reasonably tight fitting, and contain no louvers. Dwelling unit entry doors shall be self-closing with a positive latch.	IEBC Section 805.5.1
Means of Egress	Existing means of egress conforming to the requirements of the building code under which the building was constructed shall be considered compliant means of egress. All constructed means of egress shall remain, with accessory life safety updates required by IBC.	IEBC Chapter 10
Accessible Means of Egress	Accessible Means of Egress required by Chapter 10 are not required to be provided in existing buildings.	IBC 3411.6, Exception 2
Change of Occupancy	Where a portion of an existing building is changed to a new occupancy classification and that portion is not separated from the remainder of the building with fire barriers having a fire-resistance rating as required in the International Building Code for the separate occupancy, the entire building shall comply with all of the requirements of Chapter 9 applied throughout the building for the most restrictive occupancy classification in the building and with the requirements of this chapter.	IEBC 1012.1.1.1

GRAPHIC LEGEND	
-----	.5 Hour Fire Partition Required, 1 Hour Provided
-----	2-Hour Fire Barrier
▲	Egress Discharge Point
⊙	Directional Exit Sign with Battery Back-Up
⊗	Non-Directional Exit Sign with Battery Back-Up



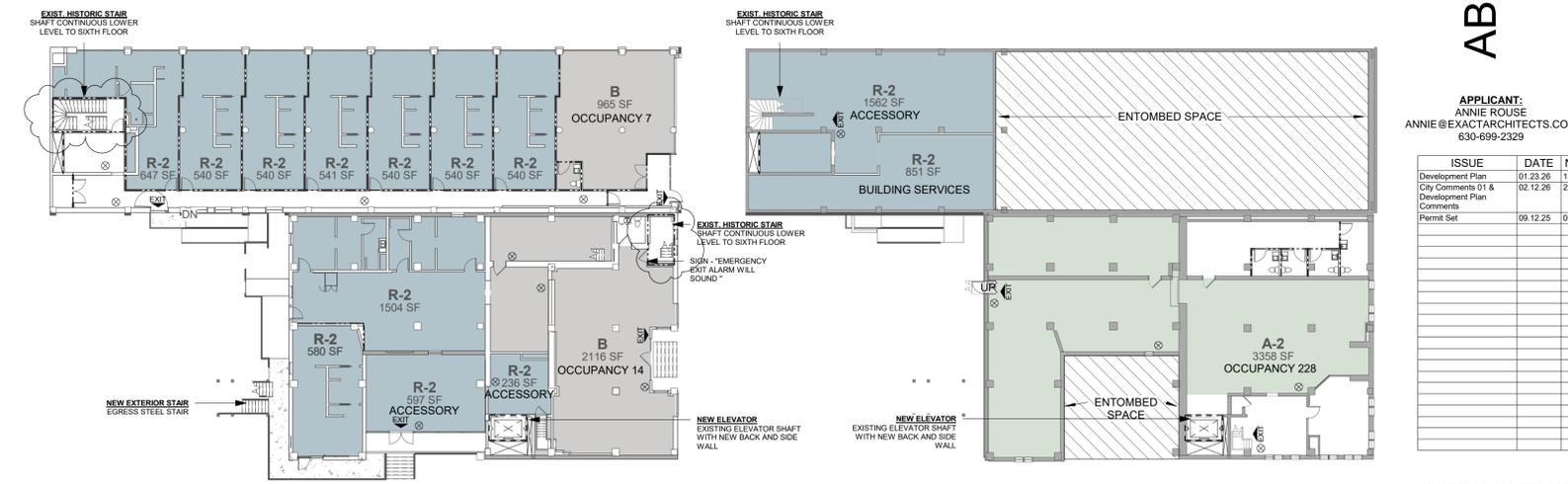
6 ROOFTOP PATIO  
3/64" = 1'-0"

5 FOURTH - SIXTH FLOOR  
3/64" = 1'-0"



4 THIRD FLOOR  
3/64" = 1'-0"

3 SECOND FLOOR  
3/64" = 1'-0"



2 FIRST FLOOR  
3/64" = 1'-0"

1 LOWER LEVEL  
3/64" = 1'-0"

**EXACT ARCHITECTS**  
REGISTERED TRADE NAME OF INTELLIGENT LINE A+L LLC  
KANSAS CITY, MISSOURI  
(816) 785-2265  
WWW.EXACTARCHITECTS.COM



**DEVELOPMENT PLANS**  
**ABC/ANDERSON APARTMENTS**  
3244 MAIN ST, KANSAS CITY, MO 64111

APPLICANT:  
ANNIE ROUSE  
ANNIE@EXACTARCHITECTS.COM  
630-699-2329

ISSUE	DATE	NO
Development Plan	01.23.26	1
City Comments 01 & Development Plan Comments	02.12.26	2
Permit Set	09.12.25	0

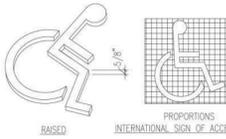
CODE ANALYSIS AND LIFE SAFETY PLANS

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INTERNATIONAL ACCESSIBILITY SYMBOL



RAISED INTERNATIONAL SIGN OF ACCESSIBILITY

RESERVED PARKING



VAN ACCESSIBLE



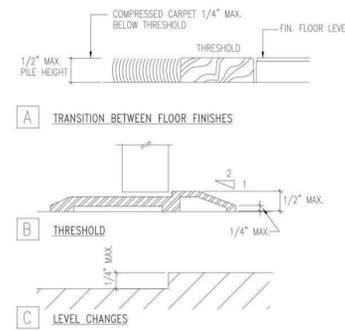
INTERNATIONAL TDD SYMBOL



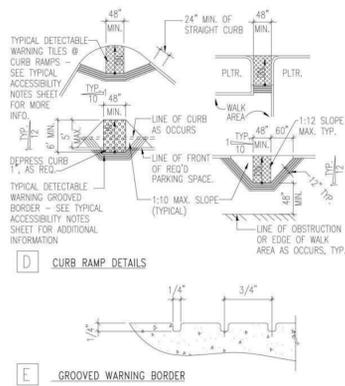
INTERNATIONAL SYMBOL OF ACCESS FOR HEARING IMPAIRED

- LETTERS AND NUMBERS**
- LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE. (SEC. 1117B.5.6.1)
  - RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 5/8" HIGH. (SEC. 1117B.5.6.2)
  - PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT. (SEC. 1117B.5.6.3)
  - LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3.5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1.5 AND 1:1.0. (SEC. 1117B.5.6.4)
  - CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND. (SEC. 1117B.5.6.5)
  - CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPER CASE X. LOWER CASE CHARACTERS ARE PERMITTED. FOR SIGNS SUSPENDED OR PROJECTED ABOVE THE FINISH FLOOR IN COMPLIANCE WITH SECTION 1121B, THE MINIMUM CHARACTER HEIGHT SHALL BE 3". (SEC. 1117B.5.6.6)
  - CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE REGULATIONS. DOTS SHALL BE 1/10" ON CENTERS IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND. (SEC. 1117B.5.6.7)
- SIGN LOCATIONS:**
- ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS. (SEC. 1117B.5.7 & 1127B.3)
  - WHEN PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 1117B.5.6.1. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTERING OF THE SIGN MOUNTING LOCATION SHALL BE DETERMINED SO THAT THE PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (SEC. 1117B.5.8)
  - ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
  - BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY:**
- STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
  - WHITE FIGURE ON BLUE BACKGROUND, COLOR # 15590 ON FEDERAL STANDARD # 595A.
  - WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL DESIGNS AND COLORS MAY BE APPROVED.
  - USE CONTRASTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
  - 0.2 INCH SPACE BETWEEN CELLS.
  - DOTS RAISED MINIMUM 0.025 INCH ABOVE BACKGROUND.
  - SEE 4/7-4 FOR MORE INFO.

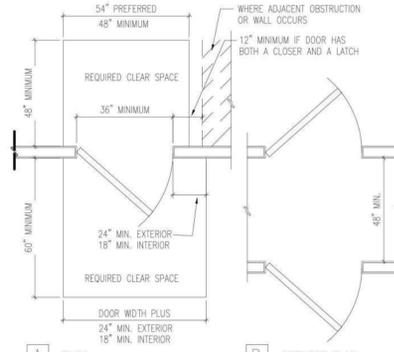
**G SIGNS / PICTOGRAMS**  
NTS



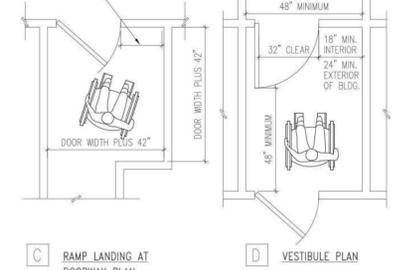
- NOTES:**
- 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE.
  - 1 : 2 SLOPED LEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERTICAL LEVEL CHANGE.
  - 1/4" MAXIMUM VERTICAL LEVEL CHANGE.



**F LEVEL CHANGES**  
NTS

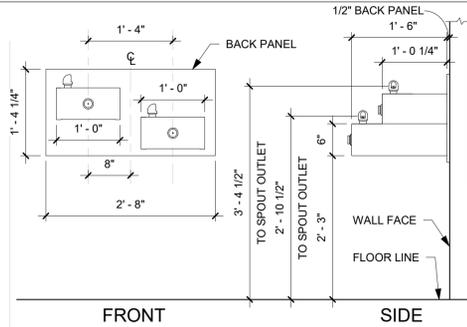


- NOTES:**
- 24" MIN. EXTERIOR & 18" MIN. INTERIOR BEYOND STRIKE EDGE OF A GATE OR DOOR ON THE SIDE TOWARD WHICH IT SWINGS.



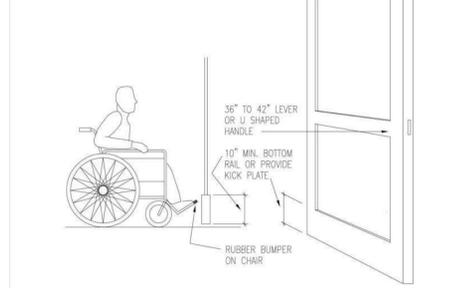
- NOTES:**
- CLEAR SPACES MUST BE LEVEL TO PREVENT WHEELCHAIRS FROM ROLLING WHEN THE OCCUPANT RELEASES THE WHEEL GRIPS TO REACH FOR THE DOOR. 1/4" PER FOOT IS ALLOWED FOR DRAINAGE.
  - WHERE DOORS OPEN ONTO, BUT NOT INTO A CORRIDOR, THE REQUIRED LEVEL AREA BEYOND THE DOORS MAY BE A MINIMUM OF 48". FOR ADDITIONAL INFORMATION, SEE APPLICABLE NOTES ON TYPICAL ACCESSIBILITY NOTES SHEET.

**E DOOR CLEAR SPACE**  
NTS

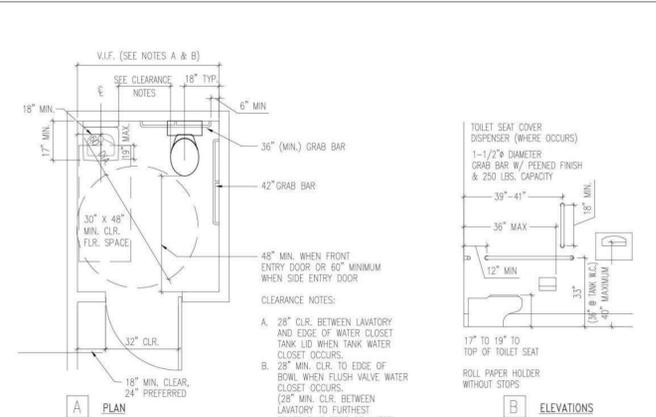


**H ADA DRINKING FOUNTAIN**  
3/4" = 1'-0"  
DOOR TYPE:

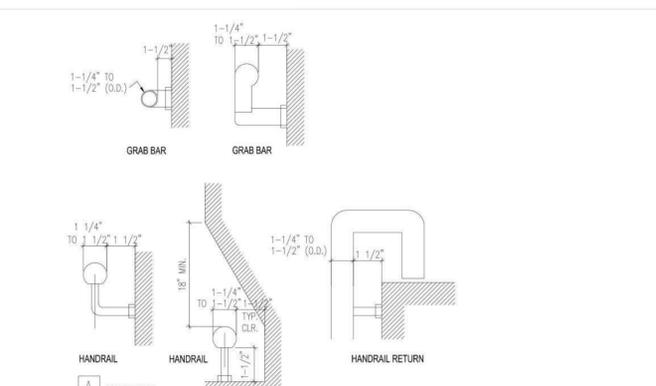
- MINIMUM 10" HIGH SMOOTH SURFACE AT DOOR BOTTOM, EITHER ATTACHED PANEL OR BOTTOM RAIL.
- HARDWARE:
- OPENABLE BY SINGLE EFFORT LEVER-TYPE DEVICE (NOT REQUIRING GRASPING).
- OPENABLE BY SINGLE EFFORT LEVER-TYPE DEVICE (NOT REQUIRING GRASPING).
- MOUNTED 36" TO 42".
- MAXIMUM 8.5 LBS. EFFORT TO OPERATE EXTERIOR DOOR, 5 LBS. FOR INTERIOR.



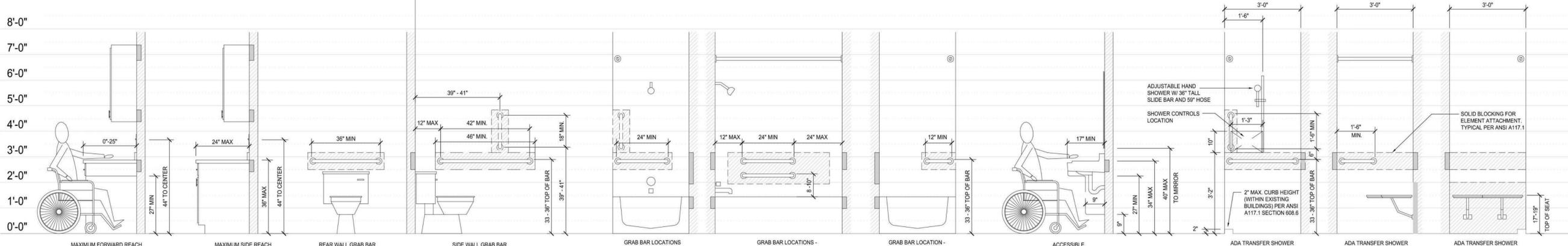
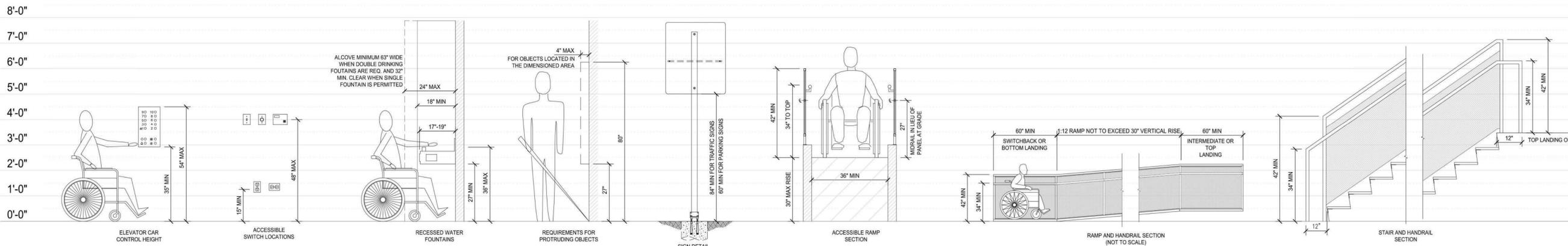
**D DOORS**  
NTS



**C UNISEX TOILETS**  
NTS



**B HANDRAILS / GRAB BARS**  
NTS



**A ACCESSIBLE LOCATIONS**  
1/2" = 1'-0"

EXACT ARCHITECTS  
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC  
KANSAS CITY, MISSOURI  
(816) 785-2265  
WWW.EXACTARCHITECTS.COM

DEVELOPMENT PLANS  
**ABC/ANDERSON APARTMENTS**  
3244 MAIN ST, KANSAS CITY, MO 64111

APPLICANT: ANNIE ROUSE  
ANNIE@EXACTARCHITECTS.COM  
630-699-2329

ISSUE	DATE	NO
Development Plan	01.23.26	1
City Comments 01 & Development Plan Comments	02.12.26	2
Permit Set	09.12.25	0

ACCESSIBILITY REQUIREMENTS

A0.02









# SPECIFICATIONS: DIVISION 1 - GENERAL REQUIREMENTS

## SECTION 01 10 00 - SUMMARY

### PROJECT INFORMATION

- A. Contractor: Supplementing the definitions of the General Condition of the Contract, AIA A201-2007, the "Contractor" is identified as an entity that has a direct contract with the Owner to prepare a portion of the Work of the project at the site. Communications will be issued to Contractors that are prepared by the Owner.
- B. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.

### ACCESS TO SITE

- A. General: Contractor shall have full use of Project site for construction operations during construction period.
- A. Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project.
- B. Use of Site: Limit use of Project site to areas within the Contract limits indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.

- 1. Limits: Confine construction operations to interior and exterior areas of the existing building.
- 2. Driveways, Walkways and Entrances: Keep driveways loading areas, and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
- a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
- b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.

- 3. Contractor Parking: Limit vehicle parking for Contractor and construction personnel to locations approved by Owner. Applicable parking fees shall be paid by the Contractor.
- a. Coordinate parking with Owner. Any vehicles parked on site in areas not approved by Owner will be towed.
- C. Condition of Existing Building and Grounds: Maintain portions of existing building affected by construction operations in a weather tight condition throughout construction period. Repair damage caused by construction operations.

- 1. Where it is necessary for the Contractor to use portions of existing buildings or grounds for operations, such use shall be strictly in accordance with requirements and approval of the Owner's Representative.
- Contractor shall provide proper and safe access to the Owner occupied areas at all times.

### COORDINATION WITH OCCUPANTS

- A. Owner Limited Occupancy of Completed Areas of Construction: Owner reserves the right to occupy and to place and install equipment in completed portions of the Work, prior to Substantial Completion of the Work, provided such occupancy does not interfere with completion of the Work. Such placement of equipment and limited occupancy shall not constitute acceptance of the total Work.

- 1. Architect will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied prior to Owner acceptance of the completed Work.
- 2. Obtain a Certificate of Occupancy from authorities having jurisdiction before limited Owner occupancy.
- 3. Before limited Owner occupancy, mechanical and electrical systems shall be fully operational, and required tests and inspections shall be successfully completed. On occupancy, Owner will operate and maintain mechanical and electrical systems serving occupied portions of Work.
- 4. On occupancy, Owner will assume responsibility for maintenance and custodial service for occupied portions of Work.

- 5. For each limited occupancy, Owner agrees to obtain written consent of Contractor, secure endorsement from insurance carriers, and consent of Surety.
- 6. Prior to occupying a specific portion of the Work, Owner and Contractor shall make mutually acceptable arrangements for security, protection and insurance for people and property; warranties; and operation, maintenance and payment for utilities and services for each complete area to be occupied.

- 7. Owner reserves the right to use and occupy in whole or any part of the improvements that have been substantially completed. Use and occupancy by Owner shall not be construed as an acceptance of Work or any part, and any work that Owner may have against Contractor shall not be deemed to have been waived by occupancy. If limited occupancy increases cost of Work or imposes delay in completion, Contractor shall be entitled to extra compensation, or extension of time, or both, but claims for extra compensation shall be in writing and shall be substantiated with receipted vouchers and other supporting data.

- 8. Execute Certificate of Substantial Completion for each specific portion of Work prior to Owner occupancy. After Owner occupancy Contractor shall allow access for Owner personnel, access for the public, operation of HVAC, plumbing, and electrical systems for occupied areas, Owner's security and protection of occupied areas, Owner's maintenance of occupied areas, and Owner's insurance for occupied areas.

### WORK RESTRICTIONS

- A. Comply with limitations on use of public streets and with other requirements of authorities having jurisdiction.
- B. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated.

- 1. Notify Owner not less than two days in advance of proposed utility interruptions.
- 2. Obtain Owner's written permission before proceeding with utility interruptions.
- a. Unless otherwise directed, existing water, gas, power and communication systems, sanitary sewer lines, and other surface and subsurface structures and systems, shall be protected during progress of Work. Should Contractor in performance of Work disturb, disconnect or damage any of above, expenses arising from disturbance or in replacing or repairing shall be borne by Contractor.
- C. Nonsmoking Building: Smoking is not permitted within the building or within 25 feet (8 m) of entrances, operable windows, or outdoor-air intakes.
- D. Controlled Substances: Use of tobacco products and other controlled substances within the existing building is not permitted.

- E. Contractor shall:
  - 1. Not unnecessarily encumber site with materials and equipment.
  - 2. Not load structure with weight that will endanger structure.
  - 3. Control use of existing stairwells for vertical circulation.
  - 4. Restrict parking for construction vehicles to spaces adjacent to the building designated for vehicles actively used in the construction process. Make arrangements and pay for parking required to supplement on-site parking.
  - 5. Make deliveries of construction materials, equipment, supplies and similar products and make removals at the area designated by the Owner's Representative.
  - 6. Assume full responsibility for protection and safekeeping of stored products.
  - 7. Move stored products that interfere with operations of Owner and other contractors.
  - 8. Obtain and pay for land required for additional storage or work areas to supplement onsite operations.
  - 9. Cooperate with other contractors and coordinate Work with work under separate contracts, including access to the Work.

### SECURITY REQUIREMENTS

- A. Access Badges: All Contractor and Subcontractor personnel shall wear a current identification badge that shall be clearly visible at all times. Badges shall be provided by the Contractor or Subcontractor. All Contractor and Subcontractor personnel shall also have a valid and current recognizable photo identification, such as a driver's license, on their person at all times.
- B. The Contractor shall maintain the security and integrity of the site by enclosure fences and gates. All gates shall be locked at the end of each working day, and the Contractor shall verify that the site is clear of personnel and secure before departing.

### SECTION 01 25 00 - SUBSTITUTION PROCEDURES

#### DEFINITIONS

- A. Substitutions: Changes in products, materials, equipment, and methods of construction from those required by the Contract Documents and proposed by Contractor.
- 1. Substitutions for Cause: Changes proposed by Contractor that are required due to changed Project conditions, such as unavailability of product, regulatory changes, or unavailability of required warranty terms.
- 2. Substitutions for Convenience: Changes proposed by Contractor or Owner that are not required in order to meet other Project requirements but may offer advantage to Contractor or Owner.

#### ADMINISTRATIVE REQUIREMENTS

- A. Architect's Process: Tracking and responding to communications from the Contractor and for submitting requests and information to the Contractor will be handled electronically.
- 1. Contractor shall prepare requests and submittals on electronic forms acceptable to Architect and Owner provided the data included is consistent with the forms included at the end of this Section.

#### ACTION SUBMITTALS

- A. Substitution Requests: Submit electronic requests for consideration. Identify product or fabrication or installation method to be replaced. Include Specification Section number and title and Drawing numbers and titles.
- 1. Documentation: Show compliance with requirements for substitutions and the following, as applicable:
  - a. Statement indicating why specified product or fabrication or installation method is not applicable, if applicable.
  - b. Coordination information, including a list of changes or revisions needed to other parts of the Work and to construction performed by Owner and separate contractors, that will be necessary to accommodate proposed substitution.
  - c. Detailed comparison of significant qualities of proposed substitution with those of the Work specified. Include annotated copy of applicable Specification Section. Significant qualities may include attributes such as performance, weight, size, durability, visual effect, sustainable design characteristics, warranties, and specific features and requirements indicated. Indicate deviations, if any, from the Work specified.
  - d. Product Data, including drawings and descriptions of products and fabrication and installation procedures.
  - e. Samples, where applicable or requested.
  - f. Certificates and qualification data, where applicable or requested.
  - g. List of similar installations for completed projects with project names and addresses and names and addresses of architects and owners.
  - h. Material test reports from a qualified testing agency indicating and interpreting test results for compliance with requirements indicated.
  - i. Research reports evidencing compliance with building code in effect for Project, from ICC-ES.
  - j. Detailed comparison of Contractor's construction schedule using proposed substitution with products specified for the Work, including effect on the overall Contract Time. If specified product or method of construction cannot be provided within the Contract Time, include letter from manufacturer, on manufacturer's letterhead, stating date of receipt of purchase order, lack of availability, or delays in delivery.
  - k. Cost information, including a proposal of change, if any, in the Contract Sum.

- l. Contractor's certification that proposed substitution complies with requirements in the Contract Documents except as indicated in substitution request, is compatible with related materials, and is appropriate for applications indicated.
- m. Contractor's waiver of rights to additional payment or time that may subsequently become necessary because of failure of proposed substitution to produce indicated results.
- 2. Architect's Action: If necessary, Architect will request additional information or documentation for evaluation within seven days of receipt of a request for substitution. Architect will notify Contractor of acceptance or rejection of proposed substitution within 10 working days of receipt of request, or seven working days of receipt of additional information or documentation, whichever is later.
- a. Forms of Acceptance: Change Order, Construction Change Directive, or Architect's Supplemental Instructions for minor changes in the Work.
- b. Use product specified if Architect does not issue a decision on use of a proposed substitution within time allocated.
- B. Source and Quantity of Substitution Requests: Only one request for substitution submitted directly from Contractor will be considered for an item; repetitive submittals of the same item will not be considered.

Substitution requests from others, or that contain incomplete information, or that contain incomplete information will be returned without review. Refer Section 01 33 00 "Submittal Procedures" for additional requirements.

#### QUALITY ASSURANCE

- A. Compatibility of Substitutions: Investigate and document compatibility of proposed substitution with related products and materials.

#### PROCEDURES

- A. Coordination: Revise or adjust affected work as necessary to integrate work of the approved substitutions.

#### SUBSTITUTIONS

- A. Substitutions for Cause: Submit requests for substitution immediately on discovery of need for change, but not later than 15 working days prior to time required for preparation and review of related submittals.

- 1. Conditions: Architect will consider Contractor's request for substitution when the following conditions are satisfied, if the following conditions are not satisfied, Architect will return requests without action, except to request noncompliance with these requirements:
  - a. Requested substitution is consistent with the Contract Documents and will produce indicated results.
  - b. Requested substitution provides sustainable design characteristics that specified product provided.
  - c. Substitution request is fully documented and properly submitted.
  - d. Requested substitution will not adversely affect Contractor's construction schedule.
  - e. Requested substitution has received necessary approvals of authorities having jurisdiction.
  - f. Requested substitution is compatible with other portions of the Work.
  - g. Requested substitution has been coordinated with other portions of the Work.
  - h. Requested substitution provides specified warranty.
  - i. If requested substitution involves more than one contractor, requested substitution has been coordinated with other portions of the Work, is uniform and consistent, is compatible with other products, and is acceptable to all contractors involved.

- B. Substitutions for Convenience: Architect will consider requests for substitution if received within 60 days after the Notice to Proceed. Requests received after that time may be considered or rejected at discretion of Architect.

#### APPLICATIONS FOR PAYMENT

- A. Each Application for Payment following the initial Application for Payment shall be consistent with previous applications and payments as certified by Architect and paid for by Owner.

- B. Payment Application Terms: The date for each progress payment is indicated in the Agreement between Owner and Contractor. The period of construction work covered by each Application for Payment is the period indicated in the Agreement.

- 1. Submit draft copy of Application for Payment five days prior to due date for review by Architect.
- C. Application for Payment Forms: Use forms acceptable to Owner for Applications for Payment. Submit forms for approval with initial submittal of schedule of values.
- D. Application Preparation: Complete every entry on form. Notarize and execute by a person authorized by sign legal documents on behalf of Contractor. Architect will return incomplete applications without action.

- 1. Entries shall match data on the schedule of values and Contractor's construction schedule. Use updated schedules if revisions were made.
- 2. Include amounts for work completed following previous Application for Payment, whether or not payment of other construction by Owner, and similar considerations.
- 3. Include amounts of Change Orders and Construction Change Directives issued before last day of construction period covered by application.
- 4. Indicate separate amounts for work being carried out under Owner-requested project acceleration.
- E. Stored Materials: Include in Application for Payment amounts applied for materials or equipment purchased or fabricated and stored, but not yet installed. Differentiate between items stored on-site and items stored off-site.

- 1. Provide certificate of insurance, evidence of transfer of title to Owner, and consent of surety to payment, for stored materials.

- 2. Provide supporting documentation that verifies amount requested, such as paid invoices. Match amount requested with amounts indicated on documentation; do not include overhead and profit on stored materials.

- 3. Provide summary documentation for stored materials indicating the following:
  - a. Value of materials previously stored and remaining stored as of date of previous Applications for Payment.
  - b. Value of materials stored in place at date of previous Application for Payment and on or before date of current Application for Payment.
  - c. Value of materials stored since date of previous Application for Payment and remaining stored as of date of current Application for Payment.

- F. Transmittal: Submit three signed and notarized original copies of each Application for Payment to Architect by a method ensuring receipt within 24 hours. One copy shall include waivers of lien and similar attachments if required.

- 1. Transmitt each copy with a transmittal form listing attachments and recording appropriate information about attachments.

- 2. Waivers of Mechanic's Lien: With each Application for Payment, submit waivers of mechanic's liens from subcontractors, sub-subcontractors, and suppliers for construction period covered by the previous application.

- 1. Submit partial waivers on each item for amount requested in previous application, after deduction for retainage, on each item.

- 2. When an application shows completion of an item, submit conditional final or full waivers.

- 3. Owner-Initiated Proposal Requests: Architect will issue a detailed description of proposed changes in the Work that may require adjustment to the Contract Sum or the Contract Time. If necessary, the description will include supplemental or revised Drawings and Specifications.

- 1. Work Change Proposal Requests issued by Architect are not instructions either to stop work in progress or to execute the proposed change.

- a. Work Change Proposal Requests will be issued on AIA Document G709 or similar.

- 2. Within time specified in Proposal Request after receipt of Proposal Request, submit a quotation estimating cost adjustments to the Contract Sum and the Contract Time necessary to execute the change.

- a. Include a list of quantities of products required or eliminated and unit costs, with total amount of purchases and credits to be made. If requested, furnish survey data to substantiate quantities.

- b. Indicate applicable taxes, delivery charges, equipment rental, and amounts of trade discounts.

- c. Include costs of labor and supervision directly attributable to the change.

- d. Include an updated Contractor's construction schedule that indicates the effect of the change, including, but not limited to, changes in activity duration, start and finish times, and activity relationship. Use available total float before requesting an extension of the Contract Time.

- e. Contractor's Question Form: Use Contractor-generated form acceptable to Architect.

- B. Contractor-Initiated Proposals: If latent or changed conditions require modifications to the Contract, Contractor may initiate a claim by submitting a request for a change to Architect.

- 1. Include a statement outlining reasons for the change and the effect of the change on the Work. Provide a complete description of the proposed change. Indicate the effect of the proposed change on the Contract Sum and the Contract Time.

- 2. Include a list of quantities of products required or eliminated and unit costs, with total amount of purchases and credits to be made. If requested, furnish survey data to substantiate quantities.

- 3. Indicate applicable taxes, delivery charges, equipment rental, and amounts of trade discounts.

- 4. Include costs of labor and supervision directly attributable to the change.

- 5. Include an updated Contractor's construction schedule that indicates the effect of the change, including, but not limited to, changes in activity duration, start and finish times, and activity relationship. Use available total float before requesting an extension of the Contract Time.

- 6. Comply with requirements in Section 01 25 00 "Substitution Procedures" if the proposed change requires substitution of one product or system for product or system specified.

- 7. Proposal Request Form: Use Contractor-generated form acceptable to Architect.

#### CHANGE ORDER PROCEDURES

- A. On Owner's approval of a Work Changes Proposal Request, Architect will issue a Change Order for signatures of Owner and Contractor on AIA Document G701, Change Order Form.

- C. CONSTRUCTION CHANGE AUTHORIZATION: Consent of Surety to Final Payment.\*

- A. Definition: Construction Change Authorization as used in this Project Manual shall have the same meaning as the Construction Change Directive used in the AIA Document A201-2007 General Conditions of the Contract for Construction.

- B. Construction Change Authorization: Architect may issue a Construction Change Authorization. Construction Change Authorization instructs Contractor to proceed with a change in the Work, for subsequent inclusion in a Change Order.

- 1. Construction Change Authorization contains a complete description of change in the Work. It also designates method to be followed to determine change in the Contract Sum or the Contract Time.

- C. Documentation: Maintain detailed records on a time and material basis of work required by the Construction Change Authorization.

- 1. After completion of change, submit an itemized account and supporting data necessary to substantiate cost and time adjustments to the Contract.

#### SECTION 01 29 00 - PAYMENT PROCEDURES

##### SUMMARY

- A. Section includes administrative and procedural requirements necessary to prepare and process Applications for Payment.

##### DEFINITIONS

- A. Schedule of Values: A statement furnished by Contractor allocating portions of the Contract Sum to various portions of the Work and used as the basis for reviewing Contractor's Applications for Payment.

##### SCHEDULE OF VALUES

- A. Coordination: Coordinate preparation of the schedule of values with preparation of Contractor's construction schedule.

- 1. Coordinate line items in the schedule of values with other required administrative forms and schedules, including the following:
  - a. Application for Payment forms with continuation sheets.
  - b. Submittal schedules.
  - c. Items required to be indicated as separate activities in Contractor's construction schedule.

- 2. Submit the schedule of values to Architect at earliest possible date, but no later than seven working days before the date scheduled for submittal of initial Applications for Payment.

- 3. Subelements for Separate Elements of Work: Where the Contractor's construction schedule defines separate elements of Work, provide subelements showing values coordinated with each element.

- B. Format and Content: Use Project Manual table of contents and/or CSI latest edition specification list as a guide to establish line items for the schedule of values. Provide at least one line item for each Specification Section.

- 1. Arrange schedule of values consistent with format of AIA Document G703.
- 2. Arrange the schedule of values in tabular form with separate columns to indicate the following for each item listed:
  - a. Each Specification Section or Division.
  - b. Description of the Work.
  - c. Name of subcontractor.
  - d. Name of manufacturer or fabricator.
  - e. Name of supplier.
  - f. Change Orders (numbers) that affect value.
  - g. Dollar value of the following, as a percentage of the Contract Sum to nearest one-hundredth percent, applicable:
    - 1. Preparation of the Schedule of Values.
    - 2. Installation and removal of temporary facilities and controls.
    - 3. Delivery and processing of submittals.
    - 4. Progress meetings.
    - 5. Preinstallation conferences.
    - 6. Project closeout activities.
    - 7. Startup and adjustment of systems.

- C. Provide a breakdown of the Contract Sum in enough detail to facilitate continued evaluation of Applications for Payment and progress reports. Coordinate with Project Manual table of contents. Provide multiple line items for principal subcontract amounts in excess of five percent of the Contract Sum.

- a. Include separate line items under Contractor and principal subcontractors for Project closeout requirements in an amount totaling five percent of the Contract Sum and subcontract amount.

- 5. Round amounts to nearest whole dollar, total shall equal the Contract Sum.

- 6. Provide a separate line item in the schedule of values for each part of the Work where Applications for Payment may include materials or equipment purchased or fabricated and stored, but not yet installed.

- a. Differentiate between items stored on-site and items stored off-site. If required, include evidence of insurance.

- 7. Provide separate line items in the schedule of values for initial cost of materials, for each subsequent stage of completion, and for total installed value of that part of the Work.

- 8. Each item in the schedule of values and Applications for Payment shall be complete. Include total cost and composite drawings for controls, specialty spaces, mechanical rooms, shafts, tunnels, and other areas of limited space with complex systems. Distribute copies of composite drawings to all trades to assure a complete, coordinated installation of work within the space available. Include elevation drawings indicating finish ceiling heights, and heights above finished floor to bottom of ductwork, piping, conduit and other overhead fixtures and equipment.

- 9. Schedule Updating: Update and resubmit the schedule of values before the next Applications for Payment when Change Orders or Construction Change Directives result in a change in the Contract Sum.

##### APPLICATIONS FOR PAYMENT

- A. Each Application for Payment following the initial Application for Payment shall be consistent with previous applications and payments as certified by Architect and paid for by Owner.

- B. Payment Application Terms: The date for each progress payment is indicated in the Agreement between Owner and Contractor. The period of construction work covered by each Application for Payment is the period indicated in the Agreement.

- 1. Submit draft copy of Application for Payment five days prior to due date for review by Architect.

- C. Application for Payment Forms: Use forms acceptable to Owner for Applications for Payment. Submit forms for approval with initial submittal of schedule of values.

- D. Application Preparation: Complete every entry on form. Notarize and execute by a person authorized by sign legal documents on behalf of Contractor. Architect will return incomplete applications without action.

- 1. Entries shall match data on the schedule of values and Contractor's construction schedule. Use updated schedules if revisions were made.

- 2. Include amounts for work completed following previous Application for Payment, whether or not payment of other construction by Owner, and similar considerations.

- 3. Include amounts of Change Orders and Construction Change Directives issued before last day of construction period covered by application.

- 4. Indicate separate amounts for work being carried out under Owner-requested project acceleration.

- E. Stored Materials: Include in Application for Payment amounts applied for materials or equipment purchased or fabricated and stored, but not yet installed. Differentiate between items stored on-site and items stored off-site.

- 1. Provide certificate of insurance, evidence of transfer of title to Owner, and consent of surety to payment, for stored materials.

- 2. Provide supporting documentation that verifies amount requested, such as paid invoices. Match amount requested with amounts indicated on documentation; do not include overhead and profit on stored materials.

- 3. Provide summary documentation for stored materials indicating the following:
  - a. Value of materials previously stored and remaining stored as of date of previous Applications for Payment.
  - b. Value of materials stored in place at date of previous Application for Payment and on or before date of current Application for Payment.
  - c. Value of materials stored since date of previous Application for Payment and remaining stored as of date of current Application for Payment.

- F. Transmittal: Submit three signed and notarized original copies of each Application for Payment to Architect by a method ensuring receipt within 24 hours. One copy shall include waivers of lien and similar attachments if required.

- 1. Transmitt each copy with a transmittal form listing attachments and recording appropriate information about attachments.

- 2. Waivers of Mechanic's Lien: With each Application for Payment, submit waivers of mechanic's liens from subcontractors, sub-subcontractors, and suppliers for construction period covered by the previous application.

- 1. Submit partial waivers on each item for amount requested in previous application, after deduction for retainage, on each item.

- 2. When an application shows completion of an item, submit conditional final or full waivers.

- 3. Owner-Initiated Proposal Requests: Architect will issue a detailed description of proposed changes in the Work that may require adjustment to the Contract Sum or the Contract Time. If necessary, the description will include supplemental or revised Drawings and Specifications.

- 1. Work Change Proposal Requests issued by Architect are not instructions either to stop work in progress or to execute the proposed change.

- a. Work Change Proposal Requests will be issued on AIA Document G709 or similar.

- 2. Within time specified in Proposal Request after receipt of Proposal Request, submit a quotation estimating cost adjustments to the Contract Sum and the Contract Time necessary to execute the change.

- a. Include a list of quantities of products required or eliminated and unit costs, with total amount of purchases and credits to be made. If requested, furnish survey data to substantiate quantities.

- b. Indicate applicable taxes, delivery charges, equipment rental, and amounts of trade discounts.

- c. Include costs of labor and supervision directly attributable to the change.

- d. Include an updated Contractor's construction schedule that indicates the effect of the change, including, but not limited to, changes in activity duration, start and finish times, and activity relationship. Use available total float before requesting an extension of the Contract Time.

- e. Contractor's Question Form: Use Contractor-generated form acceptable to Architect.

- B. Contractor-Initiated Proposals: If latent or changed conditions require modifications to the Contract, Contractor may initiate a claim by submitting a request for a change to Architect.

- 1. Include a statement outlining reasons for the change and the effect of the change on the Work. Provide a complete description of the proposed change. Indicate the effect of the proposed change on the Contract Sum and the Contract Time.

- 2. Include a list of quantities of products required or eliminated and unit costs, with total amount of purchases and credits to be made. If requested, furnish survey data to substantiate quantities.

- 3. Indicate applicable taxes, delivery charges, equipment rental, and amounts of trade discounts.

- 4. Include costs of labor and supervision directly attributable to the change.

- 5. Include an updated Contractor's construction schedule that indicates the effect of the change, including, but not limited to, changes in activity duration, start and finish times, and activity relationship. Use available total float before requesting an extension of the Contract Time.

- 6. Comply with requirements in Section 01 25 00 "Substitution Procedures" if the proposed change requires substitution of one product or system for product or system specified.

- 7. Proposal Request Form: Use Contractor-generated form acceptable to Architect.

- 1. Application for Payment at Substantial Completion: After Architect issues the Certificate of Substantial Completion, submit an Application for Payment showing 100 percent completion for portion of the Work claimed as substantially complete.

- 2. Provide a separate supporting claim that the Work is substantially complete and a statement showing an accounting of changes to the Contract Sum.

- 2. This application shall reflect Certificate(s) of Substantial Completion issued previously for Owner occupancy of designated portions of the Work.

- 3. Final Payment Application: After completing Project closeout requirements, submit final Application for Payment with releases and supporting documentation not previously submitted and accepted, including, but not limited to, the following:
  - 1. Evidence of completion of Project closeout requirements.
  - 2. Insurance certificates for products and completed operations where required and proof that taxes, fees, and similar obligations were paid.
  - 3. Updated final statement, accounting for final changes to the Contract Sum.
  - 4. AIA Document G706, "Contractor's Affidavit of Payment of Debts and Claims."
  - 5. AIA Document G708A, "Contractor's Affidavit of Release of Liens."
  - 6. AIA Document G709, "Contractor's Consent of Surety to Final Payment."
  - 7. Evidence that claims have been settled.
  - 8. Final meter readings for utilities, a measured record of stored fuel, and similar data as of date of Substantial Completion or when Owner took possession of and assumed responsibility for corresponding elements of the Work.
  - 9. Final liquidated damages settlement statement.

#### SECTION 01 31 00 - PROJECT MANAGEMENT AND COORDINATION

##### SUMMARY

- A. Section includes administrative provisions for coordinating construction operations on Project including, but not limited to, the following:
  - 1. General coordination procedures.
  - 2. Coordination drawings.
  - 3. Requests for information (RFIs).

##### INFORMATIONAL SUBMITTALS

- A. Subcontract List: Prepare a written summary identifying individuals or firms proposed for each principal portion of the Work, including those who are to furnish materials or equipment fabricated to a special design.

- 1. Name, address, and telephone number of entity performing subcontract or supplying products.

- 2. Number and title of related Specification Section(s) covered by subcontract.

- 3. Drawing number and detail references, as appropriate, covered by subcontract.

- B. Digital Coordination Drawings: Submit electronic digital files for full coordination.

- C. Key Personnel Names: Within 15 working days of starting construction operations, submit a list of key personnel assignments, including supervising and other personnel in attendance at Project site.

##### GENERAL COORDINATION PROCEDURES

- A. Coordination: Coordinate construction operations included in different Sections of the Specifications to ensure efficient and orderly installation of each part of the Work. Coordinate construction operations, included in different Sections, that depend on each other for proper installation, connection, and operation.

- 1. Schedule construction operations in sequence required to obtain the best results where installation of one part of the Work depends on installation of other components, before or after its own installation.

- 2. Coordinate installation of different components to ensure maximum performance and accessibility for required maintenance, service, and repair.



# SPECIFICATIONS: DIVISION 1 - GENERAL REQUIREMENTS CONTINUED

## SECTION 01 42 00 - REFERENCES

### DEFINITIONS

- A. General: Basic Contract definitions are included in the Conditions of the Contract.
- \*Approved: When used to convey Architect's action on Contractor's submittals, applications, and requests, "approved" is limited to Architect's duties and responsibilities as stated in the Conditions of the Contract.
- C. "Directed": A command or instruction by Architect. Other terms including "requested," "authorized," "selected," "required," and "permitted" have the same meaning as "directed."
- D. "Indicates": Requirements expressed by graphic representations or in written form on Drawings, in Specifications, and in other Contract Documents. Other terms including "shown," "noted," "scheduled," and "specified" have the same meaning as "indicated."
- E. "Regulations": Laws, ordinances, statutes, and lawful orders issued by authorities having jurisdiction, and rules, conventions, and agreements within the construction industry that control performance of the Work.
- F. "Furnish": Supply and deliver to Project site, ready for unloading, unpacking, assembly, installation, and similar operations.
- G. "Install": Operations at Project site including unloading, temporarily storing, unpacking, assembling, erecting, placing, anchoring, applying, working to dimension, finishing, curing, protecting, cleaning, and similar operations.

- 1. "Installer": Entity engaged by the Contractor, either as an employee or subcontractor, to perform an "install" construction activity.
- a. Installer shall be experienced in the operations they are engaged to perform.
- 2. "Experienced Installer": Entity that has successfully completed a minimum of five previous projects similar in size and scope to this Project, is familiar with the special requirements indicated, and has complied with requirements of authorities having jurisdiction.
- H. "Provide": Furnish and install, complete and ready for the intended use.
- I. "Project Site": Space available for performing construction activities. The extent of Project site is shown on Drawings and may or may not be identical with the description of the land on which Project is to be built.

### INDUSTRY STANDARDS

- A. Applicability of Standards: Unless the Contract Documents include more stringent requirements, applicable construction industry standards have the same force and effect as if found or copied directly into the Contract Documents to the extent referenced. Such standards are made a part of the Contract Documents by reference.
- B. Publication Dates: Comply with standards in effect as of date of the Contract Documents unless otherwise indicated.
- C. Copies of Standards: Each entity engaged in construction on Project should be familiar with industry standards applicable to its construction activity. Copies of applicable standards are not bound with the Contract Documents.

### ABBREVIATIONS AND ACRONYMS

- A. Industry Organizations: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities indicated in Thomson Gale's "Encyclopedia of Associations" or in Columbia Books' "National Trade & Professional Associations of the U.S."
- B. Materials, equipment, and operations specified by reference to published standards and specifications of a technical society, trade association, or other agency standard, shall comply with the requirements of the current edition of the listed document that is in effect on the issue date of the Specifications or Addendum page making reference thereto, unless otherwise specified.
- C. Code, Federal Government Agencies, Standards and Regulations and State Government Agencies: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities from professional standards in the industry.

## SECTION 01 50 00 - TEMPORARY FACILITIES AND CONTROLS

### DEFINITIONS

- A. Permanent Enclosure: As determined by Architect, permanent or temporary roofing is complete, insulated, and weathertight; exterior walls are insulated and weathertight; and all openings are closed with permanent construction or substantial temporary closures.

### USE CHARGES

- A. General: Installation and removal of and use charges for temporary facilities shall be included in the Contract Sum unless otherwise indicated.
- B. Water and Sewer Service from Existing System: Water from Owner's existing water system is available for use without metering and without payment of use charges. Provide connections and extensions of services as required for construction operations.
- C. Electric Power Service from Existing System: Electric power from Owner's existing system is available for use without metering and without payment of use charges. Provide connections and extensions of services as required for construction operations.

### INFORMATIONAL SUBMITTALS

- A. Implementation and Termination Schedule: Within 15 days of date established for submittal of Contractor's Construction Schedule, submit a schedule including implementation and termination of each temporary utility.
- B. Site Utilization Plan: Coordinate location of required facilities with Owner.
- C. Moisture-Protection Plan: Describe procedures and controls for protecting materials and construction from water absorption and damage.
- D. Dust and HVAC Control Plan: Submit coordination drawing and narrative that indicates the dust- and HVAC-control measures proposed for use, proposed locations, and proposed time frame for their operation. Identify further options if proposed measures are later determined to be inadequate.

### QUALITY ASSURANCE

- A. Electric Service: Comply with NECA, NEMA, and UL standards and regulations for temporary electric service. Install service to comply with NFPA 70.
- B. Tests and Inspections: Arrange for authorities having jurisdiction to test and inspect each temporary utility before use. Obtain required certifications and permits.
- C. Regulations: Comply with industry standards and applicable laws and regulations of authorities having jurisdiction.
- D. Trade Jurisdictions: Assigned responsibilities for installation and operation of temporary utilities are not intended to interfere with trade regulations and union jurisdictions.
- E. Accessible Temporary Egress: Comply with applicable provisions in the U.S. Architectural & Transportation Barriers Compliance Board's ADA-ABA Accessibility Guidelines and ICC/ANSI A117.1.

### PART 2 - PRODUCTS

#### MATERIALS

- A. Polyethylene Sheet: Reinforced, fire-resistant sheet, 10-mil (0.25-mm) minimum thickness, with flame-spread rating of 15 or less per ASTM E 84 and passing NFPA 701 Test Method 2.
- B. Dust-Control Adhesive Surface Walk-off Mats: Provide mats minimum 36 by 60 inches.
- C. Insulation: Unfaced mineral-fiber blanket, manufactured from glass, slag wool, or rock wool, with maximum flame-spread and smoke-developed indexes of 25 and 50, respectively.

#### TEMPORARY FACILITIES

- A. Field Offices, General: Prefabricated or mobile units with serviceable finishes, temperature controls, and foundations adequate for normal loading.
- B. Storage and Fabrication Sheds: Provide sheds sized, furnished, and equipped to accommodate materials and equipment for construction operations.
- 1. Store combustible materials apart from building.

#### EQUIPMENT

- A. Fire Extinguishers: Portable, UL rated, with class and extinguishing agent as required by locations and classes of fire exposures.
- B. HVAC Equipment: Unless Owner authorizes use of permanent HVAC system, provide vented, self-contained, liquid-propane-gas or fuel-oil heaters with individual space thermostatic control.
- 1. Use of gasoline-burning space heaters, open-flame heaters, or salamander-type heating units is prohibited.
- 2. Heating Units: Listed and labeled for type of fuel being consumed, by a listing testing agency acceptable to authorities having jurisdiction, and marked for intended location and application.
- 3. Permanent HVAC System: If Owner authorizes use of permanent HVAC system for temporary use during construction, provide filter with MERV of 8 at each return-air grille in system and remove at end of construction and clean HVAC system as required in Section 01 77 00 "Closeout Procedures".
- C. Air-Filtration Units: Primary and secondary HEPA-filter-equipped portable units with four-stage filtration.
- Provide single switch for emergency shutoff. Configure to run continuously.

### PART 3 - EXECUTION

#### INSTALLATION, GENERAL

- A. Locate facilities where they will serve Project adequately and result in minimum interference with performance of the Work. Relocate and modify facilities as required by progress of the Work.
- B. Provide each facility ready for use when needed to avoid delay. Do not remove utility facilities are no longer needed or are replaced by authorized use of completed permanent facilities.

#### TEMPORARY UTILITY INSTALLATION

- A. General: Install temporary service or connect to existing service.
- 1. Arrange with utility company, Owner, and existing users for time when service can be interrupted, if necessary, to make connections for temporary services.
- B. Sewers and Drainage: Provide temporary utilities to remove effluent lawfully.
- 1. Connect temporary sewers to municipal system as directed by authorities having jurisdiction.
- 2. Water Service: Connect to Owner's existing water service facilities. Clean and maintain water service facilities in a condition acceptable to Owner. At Substantial Completion, restore these facilities to condition existing before initial use.
- D. Sanitary Facilities: Provide temporary toilets, wash facilities, and drinking water for use of construction personnel. Comply with requirements of authorities having jurisdiction for type, number, location, operation, and maintenance of fixtures and facilities.
- 1. Toilets: Use of Owner's existing toilet facilities will be permitted, as long as facilities are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore these facilities to condition existing before initial use.
- E. Heating and Cooling: Provide temporary heating and cooling required by construction activities for curing or drying of completed installations or for protecting installed construction from adverse effects of low temperatures or high humidity. Select equipment that will not have a harmful effect on completed installations or elements being installed.
- F. Isolation of Work Areas in Occupied Facilities: Prevent dust, fumes, and odors from entering occupied areas.
- G. Ventilation and Humidity Control: Provide temporary ventilation required by construction activities for curing or drying of completed installations or for protecting installed construction from adverse effects of high humidity. Select equipment that will not have a harmful effect on completed installations or elements being installed.

Coordinate ventilation requirements to produce ambient condition and minimize energy consumption.

- 1. Provide dehumidification systems when required to reduce substrate moisture levels to level required to allow installation or application of finishes.
  - H. Electric Power Service: Connect to Owner's existing electric power service. Maintain equipment in a condition acceptable to Owner.
  - I. Lighting: Provide temporary lighting with local switching that provides adequate illumination for construction operations, observations, inspections, and traffic conditions.
- #### SUPPORT FACILITIES INSTALLATION
- A. Traffic Controls: Comply with requirements of authorities having jurisdiction.
  - B. Parking: Use designated areas of Owner's existing parking areas for construction personnel.
  - C. Project Identification Sign: Provide Project signs
  - D. Temporary Signs: Provide temporary, directional signs for construction personnel and visitors for information concerning entrance to Project.
  - E. Waste Disposal Facilities: Provide waste-collection containers in sizes adequate to handle waste from construction operations.
  - F. Life and Hoists: Provide facilities necessary for hoisting materials and personnel.
  - G. Existing Elevator Use: Use of Owner's existing elevators will be permitted, provided elevators are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore elevators to condition existing before initial use, including replacing worn cables, guide shoes, and similar items of limited life.
  - 1. Do not load elevators beyond their rated weight capacity.
  - 2. Provide protective coverings, barriers, devices, signs, or other procedures to protect elevator car and entrance doors and frame. If, despite such protection, elevators become damaged, engage elevator installer to restore damaged parts so no evidence remains of correction work.
  - I. Temporary Stairs: Until permanent stairs are available, provide temporary stairs where elevators are not adequate.
  - J. Existing Stair Usage: Use of Owner's existing stairs will be permitted, provided stairs are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore stairs to condition existing before initial use.
  - 1. Provide protective coverings, barriers, devices, signs, or other procedures to protect stairs and to maintain means of egress. If stairs become damaged, restore damaged areas so no evidence remains of correction work.
  - K. Temporary Use of Permanent Stairs: Use of new stairs for construction traffic will be permitted, provided stairs are protected and finishes restored to new condition at time of Substantial Completion.

- #### SECURITY AND PROTECTION FACILITIES INSTALLATION
- A. Protection of Existing Facilities: Protect existing vegetation, equipment, structures, utilities, and other improvements at Project site and on adjacent properties, except those indicated to be removed or altered. Repair damage to existing facilities.
  - B. Environmental Protection: Provide protection, operate temporary facilities, and conduct construction as required to comply with environmental regulations and that minimize possible air, watery, and subsoil contamination or pollution or other undesirable effects.
  - C. Security Enclosures and Lockup: Install temporary enclosure around partially completed areas of construction. Provide lockable entrances to prevent unauthorized entrance, vandalism, theft, and similar violations of security. Lock entrances at end of each work day.
  - E. Temporary Egress: Maintain temporary egress from existing occupied facilities as indicated and as required by authorities having jurisdiction.
  - F. Covered Walkway: Erect protective, covered walkway for passage of individuals through or adjacent to Project site. Coordinate with entrance gates, other facilities, and obstructions. Comply with regulations of authorities having jurisdiction.
  - G. Temporary Enclosures: Provide temporary enclosures for protection of construction, in progress and completed, from exposure, foul weather, other construction operations, and similar activities. Provide temporary weathertight enclosure for building exterior.
  - H. Temporary Partitions: Provide floor-to-ceiling dustproof partitions to limit dust and dirt migration and to separate occupied areas from fumes and noise.

- 1. Temporary Fire Protection: Install and maintain temporary fire-protection facilities of types needed to protect against reasonably predictable and controllable fire losses. Comply with NFPA 241; manage fire-prevention program.
- 1. Prohibit smoking in construction areas.
- 2. Supervise welding operations, combustion-type temporary heating units, and similar sources of fire ignition according to requirements of authorities having jurisdiction.
- 3. Develop and supervise an overall fire-prevention and protection program for personnel at Project site. Review needs with local fire department and establish procedures to be followed. Instruct personnel in methods and procedures. Post warnings and information.

### MOISTURE AND MOLD CONTROL

- A. Moisture-Protection Plan: Avoid trapping water in finished work. Document visible signs of mold that may appear during construction.
- B. Exposed Construction Phase: Before installation of weather barriers, when materials are subject to wetting and exposure and to airborne mold spores, protect as follows:
  1. Protect porous materials from water damage.
  2. Protect stored and installed material from flowing or standing water.
  3. Keep porous and organic materials from coming into prolonged contact with concrete.
  4. Remove standing water from decks.
  5. Keep deck openings covered or dammed.
- C. Partly Enclosed Construction Phase: Before installation of weather barriers but before full enclosure and conditioning of building, when installed materials are still subject to infiltration of moisture and ambient mold spores, protect as follows:
  1. Do not load or install drywall or other porous materials or components, or items with high organic content, into partially enclosed building.
  2. Keep interior spaces reasonably clean and protected from water damage.
  3. Periodically collect and remove waste containing cellulose or other organic matter.
  4. Discard or replace water-damaged material.
  5. Do not install material that is wet.
  6. Discard, replace, or clean stored or installed material that begins to grow mold.
  7. Perform work in a sequence that allows any wet materials adequate time to dry before enclosing the material in drywall or other interior finishes.
- D. Controlled Construction Phase of Construction: After completing and sealing of the building enclosure but prior to the full operation of permanent HVAC systems, maintain as follows:
  1. Control moisture and humidity inside building by maintaining effective dry-in conditions.
  2. Use permanent HVAC system to control humidity.
  3. Comply with manufacturer's written instructions for temperature, relative humidity, and exposure to water limits.
- a. Hygroscopic materials that may support mold growth, including wood and gypsum based products, that become wet during the course of construction and remain wet for 48 hours are considered defective.
- 2. Measure moisture content of materials that have been exposed to moisture during construction operations or after installation. Record readings beginning at time of exposure and continuing daily for 48 hours. Identify materials containing moisture levels higher than allowed. Report findings in writing to Architect.
- c. Remove materials that cannot be completely restored to their manufactured moisture level within 48 hours.

### OPERATION, TERMINATION, AND REMOVAL

- A. Supervision: Enforce strict discipline in use of temporary facilities. To minimize waste and abuse, limit availability of temporary facilities to essential and intended uses.
- B. Maintenance: Maintain facilities in good operating condition until removal.
- 1. Maintain operation of temporary enclosures, heating, cooling, humidity control, ventilation, and similar facilities on a 24-hour basis where required to achieve indicated results and to avoid possibility of damage.
- C. Termination and Removal: Remove each temporary facility when need for its service has ended, when it has been replaced by authorized use of a permanent facility, or no later than Substantial Completion. Complete or, if necessary, restore permanent construction that may have been delayed because of interference with temporary facility. Repair damaged Work, clean exposed surfaces, and replace construction that cannot be satisfactorily repaired.
- 1. Materials and facilities that constitute temporary facilities are property of Contractor. Owner reserves right to take possession of Project identification signs.
- 2. At Substantial Completion, repair, renovate, and clean permanent facilities used during construction period. Comply with final cleaning requirements specified in Section 01 77 00 "Closeout Procedures."

## SECTION 01 60 00 - PRODUCT REQUIREMENTS

### SUMMARY

- A. Section includes administrative and procedural requirements for selection of products for use in Project; product delivery, storage, and handling; manufacturers' standard warranties on products; special warranties; and comparable products.
- #### DEFINITIONS
- A. Products: Items obtained for incorporating into the Work, whether purchased for Project or taken from previously purchased stock. The term "product" includes the terms "material," "equipment," "system," and "terms of similar intent."
  - B. Basis-of-Design Product Specification: A specification in which a specific manufacturer's product is named and accompanied by the words "basis-of-design product," including make or model number or other designation, to establish the significant qualities related to type, function, dimension, in-service performance, physical properties, appearance, and other characteristics for purposes of evaluating comparable products of additional manufacturers named in the specification.

### ACTION SUBMITTALS

- A. Comparable Product Requests: Submit request for consideration of each comparable product. Identify product or fabrication or installation method to be replaced. Include Specification Section number and title and Drawing numbers and titles.
- B. Basis-of-Design Product Specification Submittal: Comply with requirements in Section 01 33 00 "Submittal Procedures." Show compliance with requirements.

### QUALITY ASSURANCE

- A. Compatibility of Options: If Contractor is given option of selecting between two or more products for use on Project, select product compatible with products previously selected, even if previously selected products were also options.
- 1. Each contractor is responsible for providing products and construction methods compatible with products and construction methods of other contractors.
- 2. If a dispute arises between contractors over concurrently selectable but incompatible products, Architect will

determine which products shall be used.

- B. Nameplates: Except for required labels and operating data, do not attach or imprint manufacturer's or producer's nameplates or trademarks on exposed surfaces of products or equipment which will be exposed to view in occupied spaces or on the exterior.
- 1. Equipment Nameplates: Provide a permanent nameplate on each item of service connected or power-operated equipment. Locate on accessible, but inconspicuous, surface in occupied spaces. The nameplate shall contain essential operating data.

### PRODUCT DELIVERY, STORAGE, AND HANDLING

- A. Deliver, store, and handle products using means and methods that will prevent damage, deterioration, and loss, including theft and vandalism. Comply with manufacturer's written instructions.
- B. Delivery and Handling:
  1. Schedule delivery to minimize long-term storage at Project site and to prevent overcrowding of construction spaces.
  2. Coordinate delivery with installation time to ensure minimum holding time for items that are flammable, hazardous, easily damaged, or sensitive to deterioration, theft, and other losses.
- 3. Deliver products to Project site in an undamaged condition in manufacturer's original sealed container or other packaging system, complete with labels and instructions for handling, storing, unpacking, protecting, and installing.
- 4. Inspect products on delivery to determine compliance with the Contract Documents and to determine that products are undamaged and properly protected.
- C. Storage:
  1. Store products to allow for inspection and measurement of quantity or counting of units.
  2. Store materials in a manner that will not endanger Project structure.
  3. Store products that are subject to damage by the elements, under cover in a weathertight enclosure above ground, with ventilation adequate to prevent condensation.
  4. Protect foam plastic from exposure to sunlight, except to extent necessary for period of installation and concealment.
  5. Comply with product manufacturer's written instructions for temperature, humidity, ventilation, and weather protection requirements for storage.
  6. Protect stored products from damage and liquids from freezing.
  7. Provide a secure location and enclosure at Project site for storage of materials and equipment by Owner's construction forces. Coordinate location with Owner.

### PRODUCT WARRANTIES

- A. Warranties specified in other Sections shall be in addition to, and run concurrent with, and property warranties required by the Contract Documents. Manufacturer's disclaimers and limitations on product warranties do not relieve Contractor of obligations under requirements of the Contract Documents.
- 1. Manufacturer's Warranty: Written warranty furnished by individual manufacturer for a particular product and specifically endorsed by manufacturer to Owner.
- 2. Special Warranty: Written warranty required by the Contract Documents to provide specific rights for Owner.
- B. Special Warranties: Prepare a written document that contains appropriate terms and identification, ready for execution.

### PART 2 - PRODUCTS

#### PRODUCT SELECTION PROCEDURES

- A. General Product Requirements: Provide products that comply with the Contract Documents, are undamaged and, unless otherwise indicated, are new at time of installation.
- B. Provide materials and equipment that are of good quality and new, unless otherwise specified, are free from faults and defects not inherent in the quality required, that conform with requirements of Contract Documents, that are suitable for use and function intended, that are corresponding in quality to related materials in the absence of a complete specification, that are of quality appearance where exposed to view, that are of one manufacturer or source for the same specific purpose, with uniform appearance and physical properties, and that are identical and interchangeable when required in quantity.
- 1. Provide products complete with accessories, trim, finish, fasteners, and other items needed for a complete installation and indicated use and effect.
- 2. Standard Products: If available, and unless custom products or nonstandard options are specified, provide standard products of types that have been produced and used successfully in similar situations on other projects.
- 3. Owner reserves the right to limit selection to products with warranties not in conflict with requirements of the Contract Documents.
- 4. Where products are accompanied by the term "as selected," Architect will make selection.
- 5. Descriptive, performance, and reference standard requirements in the Specifications establish salient characteristics of products.
- 6. Product Selection Procedures:
  1. Product: Where Specifications name a single manufacturer and product, provide the named product that complies with requirements.
  2. Manufacturer/Source: Where Specifications name a single manufacturer or source, provide a product by the named manufacturer or source that complies with requirements.
  3. Products and Manufacturers:
    - a. Restricted List: Where Specifications include a list of names of both manufacturers and products, provide one of the products listed that complies with requirements. Comparable products or substitutions for Contractor's convenience may be considered unless otherwise indicated.
    - b. Nonrestricted List: Where Specifications include a list of names of both available manufacturers and products, provide one of the products listed.
    4. Basis-of-Design Product: Where Specifications name a product, or refer to a product indicated on Drawings, and include a list of manufacturers, provide the specified or indicated product or a comparable product by one of the other named manufacturers. Drawings and Specifications indicate sizes, profiles, dimensions, and other characteristics that are based on the product named. Comply with requirements in "Comparable Products" Article for consideration of an unnamed product by one of the other named manufacturers.
  - E. Visual Matching Specification: Where Specifications require "match Architect's sample," provide a product that complies with requirements and matches Architect's sample. Architect's decision will be final on whether a proposed product matches.
  - F. If no product available within specified category matches and complies with other specified requirements, comply with requirements of Section 01 25 00 "Substitution Procedure" for proposed product.

### HAZARDOUS MATERIALS

- 1. Product: Where Specifications name a single manufacturer and product, provide the named product that complies with requirements.
- 2. Manufacturer/Source: Where Specifications name a single manufacturer or source, provide a product by the named manufacturer or source that complies with requirements.
- 3. Products and Manufacturers:
  - a. Restricted List: Where Specifications include a list of names of both manufacturers and products, provide one of the products listed that complies with requirements. Comparable products or substitutions for Contractor's convenience may be considered unless otherwise indicated.
  - b. Nonrestricted List: Where Specifications include a list of names of both available manufacturers and products, provide one of the products listed.
  4. Basis-of-Design Product: Where Specifications name a product, or refer to a product indicated on Drawings, and include a list of manufacturers, provide the specified or indicated product or a comparable product by one of the other named manufacturers. Drawings and Specifications indicate sizes, profiles, dimensions, and other characteristics that are based on the product named. Comply with requirements in "Comparable Products" Article for consideration of an unnamed product by one of the other named manufacturers.
- E. Visual Matching Specification: Where Specifications require "match Architect's sample," provide a product that complies with requirements and matches Architect's sample. Architect's decision will be final on whether a proposed product matches.

- 1. If no product available within specified category matches and complies with other specified requirements, comply with requirements of Section 01 25 00 "Substitution Procedure" for proposed product.
- F. Hazardous Materials: Use products, cleaners, and installation materials that are not considered hazardous.

- A. Site Access: Provide access to Project site for Owner's construction personnel.
- B. Coordination: Coordinate construction and operations of the Work with work performed by Owner's construction personnel.
- 1. Construction Schedule: Inform Owner of Contractor's preferred construction schedule for Owner's portion of the Work. Adjust construction schedule based on a mutually agreeable timetable. Notify Owner if changes to schedule are required due to differences in actual construction progress.
- 2. Preinstallation Conferences: Include Owner's construction personnel at preinstallation conferences covering portions of the Work that are to receive Owner's work. Attend preinstallation conferences conducted by Owner's construction personnel if portions of the Work depend on Owner's construction.

### PROGRESS CLEANING

- A. General: Clean Project site and work areas daily, including common areas. Enforce requirements strictly. Dispose of materials lawfully.
  1. Comply with requirements in NFPA 241 for removal of combustible waste materials and debris.
  2. Do not hold waste materials more than seven days during normal weather or three days if the temperature is expected to rise above 80 deg F (27 deg C).
  3. Contain hazardous and unsanitary waste materials separately from other waste. Mark containers appropriately and dispose of legally, according to regulations.
- a. Use containers intended for holding waste materials of type to be stored.
- 4. Coordinate progress cleaning for joint-use areas where Contractor and other contractors are working concurrently.
- B. Site: Maintain Project site free of waste materials and debris.
- C. Work Areas: Clean areas where work is in progress to the level of cleanliness necessary for proper execution of the Work.
  1. Remove liquid spills promptly.
  2. Where dust would impair proper execution of the Work, broom-clean or vacuum the entire work area, as appropriate.
  3. Installed Work: Keep installed work clean. Clean installed surfaces according to written instructions of manufacturer or fabricator of product installed, using only cleaning materials specifically recommended. If specific cleaning materials are not recommended, use cleaning materials that are not hazardous to health or property and that will not damage exposed surfaces.
- E. Concealed Spaces: Remove debris from concealed spaces before enclosing the space.
- F. Exposed Surfaces in Finished Areas: Clean exposed surfaces and protect as necessary to ensure freedom from damage and deterioration at time of Substantial Completion.
- G. Waste Disposal: Do not bury or burn waste materials on-site. Do not wash waste materials down sewers or into waterways. Comply with waste disposal requirements in Section 01 50 00 "Temporary Facilities & Controls" and in project manual for handling, installation, clean and protect construction in progress and adjoining materials already in place. Apply protective covering where required to ensure protection from damage or deterioration at Substantial Completion.
- I. Clean and provide maintenance on completed construction as frequently as necessary through the remainder of the construction period. Adjust and lubricate operable components to ensure operability without damaging effects.
- J. Limiting Exposures: Supervise construction operations to assure that no part of the construction, completed or in progress, is subject to harmful, dangerous, damaging, or otherwise deleterious exposure during the construction period.

### STARTING AND ADJUSTING

- A. Start equipment and operating components to confirm proper operation. Remove malfunctioning units, replace with new units, and retest.
- B. Adjust equipment for proper operation. Adjust operating components for proper operation without binding.
- C. Test each piece of equipment to verify proper operation. Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment.
- D. Manufacturer's Field Service: Comply with qualification requirements in Section 01 40 00 "Quality Reqrmts"

### PROTECTION OF INSTALLED CONSTRUCTION

- A. Provide final protection and maintain conditions that ensure installed Work is without damage or deterioration at time of Substantial Completion.
- B. Comply with manufacturer's written instructions for temperature and relative humidity.
- C. Owner reserves the right to protect installed Work to prevent damage and deterioration if the Contractor

### PREPARATION

- A. Existing Utility Information: Furnish information to Owner that is necessary to adjust, move, or relocate

existing utility structures, utility poles, lines, services, or other utility appurtenances located in or affected by construction. Coordinate with authorities having jurisdiction.

- B. Field Measurements: Take field measurements as required to fit the Work properly. Recheck measurements before installing each product. Where portions of the Work are indicated to fit to other construction, verify dimensions of other construction by field measurements before fabrication. Coordinate fabrication schedule with construction progress to avoid delaying the Work.
- C. Space Requirements: Verify space requirements and dimensions of items shown diagrammatically on Drawings.
- D. Verification: Before proceeding to lay out the Work, verify layout information shown on Drawings, in relation to the property survey and existing benchmarks. If discrepancies are discovered, notify Architect promptly.
- E. Engage a professional engineer to lay out the Work using accepted surveying practices.
  1. Establish benchmarks and control points to set lines and levels at each story of construction and elsewhere as needed to locate each element of Project.
  2. Establish limits on use of Project site.
  3. Establish dimensions within tolerances indicated. Do not scale Drawings to obtain required dimensions.
  4. Inform installers of lines and levels to which they must comply.
  5. Check the location, level and plumb, of every major element as the Work progresses.
  6. Notify Architect when deviations from required lines and levels exceed allowable tolerances.
  7. Close site surveys with an error of closure equal to or less than the standard established by authorities having jurisdiction.
  - C. Building Lines and Levels: Locate and lay out control lines and levels for structures, building foundations, column grids, and floor levels, including those required for mechanical and electrical work. Transfer survey markings and elevations for use with control lines and levels. Level foundations and piers from two or more locations.
  - D. Record Log: Maintain a log of layout control work. Record deviations from required lines and levels. Include beginning and ending dates and times of surveys, weather conditions, name and duty of each survey party member, and types of instruments and tapes used. Make the log available for reference by Architect.

### FIELD ENGINEERING

- A. Identification: Owner will identify existing benchmarks, control points, and property corners.
- B. Control Points: Locate existing permanent benchmarks, control points, and similar reference points before beginning the Work. Preserve and protect permanent benchmarks and control points during construction operations.
- 1. Do not change or relocate existing benchmarks or control points without prior written approval of Architect. Report lost or destroyed permanent benchmarks or control points promptly. Report the need to relocate permanent benchmarks or control points to Architect before proceeding.
- 2. Replace lost or destroyed permanent benchmarks and control points promptly. Base replacements on the original survey control points.

### INSTALLATION

- A. General: Locate the work and components of the Work accurately, in correct alignment and elevation, as indicated.
  1. Make vertical work plumb and make horizontal work level.
  2. Where space is limited, install components to maximize space available for maintenance and ease of removal for replacement.
  3. Conceal pipes, ducts, and wiring in finished areas unless otherwise indicated.
  4. Maintain minimum headroom clearances.
  - B. Except where more stringent requirements are specified, prepare, install, test, adjust and clean products, materials and equipment in accordance with manufacturer's printed instructions, recommendations and limitations for conditions indicated. Provide recommended accessory materials for a complete installation. If conflict exists between job conditions or specified requirements and with manufacturer's instructions, request written clarification from Architect before proceeding.
  - C. Install products at the time and under conditions that will ensure the best possible results. Maintain conditions required for product performance until Substantial Completion.
  - D. Conduct construction operations so no part of the Work is subjected to damaging operations or loading in excess of that expected during normal conditions of occupancy.
  - E. Coordination of Space: Where space is limited, install components and systems to maximize space available for maintenance and ease of removal for replacement.
- H. Other Equipment: Do not use tools or equipment that produce harmful noise levels.
- I. Templates: Obtain and refer to the parties involved templates for work specified to be factory prepared and field installed. Check Shop Drawings of other work to confirm that adequate provisions are made for locating and installing products with indicated requirements.
- J. Attachment: Provide blocking and attachment plates and anchors and fasteners of adequate size and number to securely anchor each component in place, accurately located and aligned with other portions of the Work. Where size and type of attachments are not indicated, verify size and type required for load conditions.
- 1. Mounting Heights: Where mounting heights are not indicated, mount components at heights directed by Architect.
- 2. Allow for building movement, including thermal expansion and contraction.
- 3. Coordinate installation of anchorages. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors, that are to be embedded in concrete or masonry. Deliver such items to Project site in time for installation.
- K. Joints: Make joints of uniform width. Where joint locations in exposed work are not indicated, arrange joints for the best visual effect. Fit exposed connections together to form hairline joints.
- L. Hazardous Materials: Use products, cleaners, and installation materials that are not considered hazardous.

### OWNER-INSTALLED PRODUCTS

- A. Site Access: Provide access to Project site for Owner's construction personnel.
- B. Coordination: Coordinate construction and operations of the Work with work performed by Owner's construction personnel.
- 1. Construction Schedule: Inform Owner of Contractor's preferred construction schedule for Owner's portion of the Work. Adjust construction schedule based on a mutually agreeable timetable. Notify Owner if changes to schedule are required due to differences in actual construction progress.
- 2. Preinstallation Conferences: Include Owner's construction personnel at preinstallation conferences covering portions of the Work that are to receive Owner's work. Attend preinstallation conferences conducted by Owner's construction personnel if portions of the Work depend on Owner's construction.

### PROGRESS CLEANING

- A. General: Clean Project site and work areas daily, including common areas. Enforce requirements strictly. Dispose of materials lawfully.
  1. Comply with requirements in NFPA 241 for removal of combustible waste materials and debris.
  2. Do not hold waste materials more than seven days during normal weather or three days if the temperature is expected to rise above 80 deg F (27 deg C).
  3. Contain hazardous and unsanitary waste materials separately from other waste. Mark containers appropriately and dispose of legally, according to regulations.
- a. Use containers intended for holding waste materials of type to be stored.
- 4. Coordinate progress cleaning for joint-use areas where Contractor and other contractors are working concurrently.
- B. Site: Maintain Project site free of waste materials and debris.
- C. Work Areas: Clean areas where work is in progress to the level of cleanliness necessary for proper execution of the Work.
  1. Remove liquid spills promptly.
  2. Where dust would impair proper execution of the Work, broom-clean or vacuum the entire work area, as appropriate.
  3. Installed Work: Keep installed work clean. Clean installed surfaces according to written instructions of manufacturer or fabricator of product installed, using only cleaning materials specifically recommended. If specific cleaning materials are not recommended, use cleaning materials that are not hazardous to health or property and that will not damage exposed surfaces.
- E. Concealed Spaces: Remove debris from concealed spaces before enclosing the space.
- F. Exposed Surfaces in Finished Areas: Clean exposed surfaces and protect as necessary to ensure freedom from damage and deterioration at time of Substantial Completion.
- G. Waste Disposal: Do not bury or burn waste materials on-site. Do not wash waste materials down sewers or into waterways. Comply with waste disposal requirements in Section 01 50 00 "Temporary Facilities & Controls" and in project manual for handling, installation, clean and protect construction in progress and adjoining materials already in place. Apply protective covering where required to ensure protection from damage or deterioration at Substantial Completion.
- I. Clean and provide maintenance on completed construction as frequently as necessary through the remainder of the construction period. Adjust and lubricate operable components to ensure operability without damaging effects.
- J. Limiting Exposures: Supervise construction operations to assure that no part of the construction, completed or in progress, is subject to harmful, dangerous, damaging, or otherwise deleterious exposure during the construction period.

### STARTING AND ADJUSTING

- A. Start equipment and operating components to confirm proper operation. Remove malfunctioning units, replace with new units, and retest.
- B. Adjust equipment for proper operation. Adjust operating components for proper operation without binding.
- C. Test each piece of equipment to verify proper operation. Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment.
- D. Manufacturer's Field Service: Comply with qualification requirements in Section 01 40 00 "Quality Reqrmts"

### PROTECTION OF INSTALLED CONSTRUCTION

- A. Provide final protection and maintain conditions that ensure installed Work is without damage or deterioration at time of Substantial Completion.
- B. Comply with manufacturer's written instructions for temperature and relative humidity.
- C. Owner reserves the right to protect installed Work to prevent damage and deterioration if the Contractor

fails to protect the installed Work in a proper manner. The costs incurred by the Owner shall be paid by the Contractor.

# SPECIFICATIONS: DIVISION 1 - GENERAL REQUIREMENTS CONTINUED

## SECTION 01 77 00 - CLOSEOUT PROCEDURES SUMMARY

A. Section includes administrative and procedural requirements for contract closeout.

A. Product Data: For cleaning agents.

B. Contractor's List of Incomplete Items (Punch List): Initial submittal at Substantial Completion.

C. Certified List of Incomplete Items (Punch List): Final submittal at Final Completion.

## CLOSEOUT SUBMITTALS

A. Certificates of Release: From authorities having jurisdiction.

B. Certificate of Insurance: For continuing coverage.

C. Field Report: For pest control inspection.

## MAINTENANCE MATERIAL SUBMITTALS

A. Schedule of Maintenance Material Items: For maintenance material submittal items specified in other Sections.

## SUBSTANTIAL COMPLETION PROCEDURES

A. Contractor's List of Incomplete Items: Prepare and submit a list of items to be completed and corrected (Contractor's Punch List), indicating the value of each item on the list and reasons why the Work is incomplete. Punch List shall be prepared using the Architect's Site Observation web-based database application. The web based application can be accessed by Contractor and Owner personnel.

B. Submittals Prior to Substantial Completion: Complete the following a minimum of 10 working days prior to requesting inspection for determining date of Substantial Completion. List items below that are incomplete at time of request.

1. Certificates of Release: Obtain and submit releases from authorities having jurisdiction permitting Owner unrestricted use of the Work and access to services and utilities. Include occupancy permits, operating certificates, and similar releases.

2. Submit closeout submittals specified in other Division 01 Sections, including project record documents, operation and maintenance manuals, final completion construction photographic documentation, damage or settlement surveys, property surveys, and similar final record information.

3. Submit closeout submittals specified in individual Sections, including specific warranties, workmanship bonds, maintenance service agreements, final certifications, and similar documents.

4. Submit test/adjust/balance records.

5. Submit changeover information related to Owner's occupancy, use, operation, and maintenance.

C. Procedures Prior to Substantial Completion: Complete the following a minimum of 10 working days prior to requesting inspection for determining date of Substantial Completion. List items below that are incomplete at time of request.

1. Advise Owner of pending insurance changeover requirements.

2. Make final changeover of permanent locks and deliver keys to Owner. Advise Owner's personnel of changeover in security provisions.

3. Complete startup and testing of systems and equipment.

4. Perform preventive maintenance on equipment used prior to Substantial Completion.

5. Instruct Owner's personnel in operation, adjustment, and maintenance of products, equipment, and systems. Submit demonstration and training video recordings specified in Section 01 79 00 "Demonstration and Training."

6. Advise Owner of changeover in utility services.

7. Participate with Owner in conducting inspection and walk through with local emergency responders.

8. Terminate and remove temporary facilities from Project site, along with construction tools and similar elements.

9. Complete final cleaning requirements, including touch-up painting.

10. Touch up and otherwise repair and restore named exposed finishes to eliminate visual defects.

D. Inspection: Submit a written request for inspection to determine Substantial Completion a minimum of 10 working days prior to date the work will be completed and ready for final inspection and tests. On receipt of request, Architect will either proceed with inspection or notify Contractor of unfulfilled requirements. Architect will prepare the Certificate of Substantial Completion after inspection or will notify Contractor of Punch List items, either on Contractor's list or additional items identified by Architect, that must be completed or corrected before certificate will be issued.

1. Reinspection: Request reinspection when the Work identified in previous inspections as incomplete is completed or corrected.

2. Results of completed inspection will form the basis of requirements for final completion.

## FINAL COMPLETION PROCEDURES

A. Submittals Prior to Final Completion: Before requesting final inspection for determining final completion, complete the following:

1. Submit a final Application for Payment according to Section 01 29 00 "Payment Procedures."

2. Certified List of Incomplete Items: Submit certified copy of Architect's Substantial Completion inspection list of items to be completed or corrected (Punch List), endorsed and dated by Architect. Final version of the Punch List shall state that each item has been completed or otherwise resolved for acceptance.

3. Certificate of Insurance: Submit evidence of final, continuing insurance coverage complying with insurance requirements.

4. Submit pest-control final inspection report.

B. Inspection: Submit a written request for final inspection to determine acceptance a minimum of 10 working days prior to date the work will be completed and ready for final inspection and tests. On receipt of request, Architect will either proceed with inspection or notify Contractor of unfulfilled requirements. Architect will prepare a final Certificate for Payment after inspection or will notify Contractor of construction that must be completed or corrected before certificate will be issued.

1. Reinspection: Request reinspection when the Work identified in previous inspections as incomplete is completed or corrected.

## LIST OF INCOMPLETE ITEMS (PUNCH LIST)

A. Organization of List: Include name and identification of each space and area affected by construction operations for incomplete items and items needing correction including, if necessary, areas disturbed by Contractor that are outside the limits of construction.

1. Organize list of spaces in sequential order, starting with exterior areas first and proceeding from lowest floor to highest floor.

2. Organize items applying to each space by major element, including categories for ceiling, individual walls, floors, equipment, and building systems.

3. Submit list of incomplete items in PDF electronic file. Architect will return annotated file.

## SUBMITTAL OF PROJECT WARRANTIES

A. Time of Submittal: Submit written warranties on request of Architect for designated portions of the Work where commencement of warranties other than named Substantial Completion is indicated, or when delay in submittal of warranties might limit Owner's rights under warranty.

B. Partial Occupancy: Submit properly executed warranties within 15 working days of completion of designated portions of the Work that are completed and occupied or used by Owner during construction period by separate agreement with Contractor.

C. Warranty Electronic File: Scan warranties and bonds and assemble complete warranty and bond submittal package into a single indexed electronic PDF file with links enabling navigation to each item. Provide bookmarked table of contents at beginning of document.

1. Designate specific warranties that will be included in operation and maintenance manuals

## PART 3 - EXECUTION

### FINAL CLEANING

A. General: Perform final cleaning. Conduct cleaning and waste-removal operations to comply with local laws and ordinances and Federal and local environmental and antipollution regulations.

B. Cleaning: Employ experienced workers or professional cleaners for final cleaning. Clean each surface or unit to condition expected in an average commercial building cleaning and maintenance program. Comply with manufacturer's written instructions.

1. Complete the following cleaning operations before requesting inspection for certification of Substantial Completion for entire Project or for a designated portion of Project:

a. Clean Project site in areas disturbed by construction activities, including landscape development areas, of rubbish, waste material, litter, and other foreign substances.

b. Sweep paved areas broom clean. Remove petrochemical spills, stains, and other foreign deposits.

c. Remove tools, construction equipment, machinery, and surplus material from Project site.

d. Remove snow and ice to provide safe access to building.

e. Clean exposed exterior and interior hard-surfaced finishes to a dirt-free condition, free of stains, films, and similar foreign substances. Avoid disturbing natural weathering of exterior surfaces. Restore reflective surfaces to their original condition.

f. Remove debris and surface dust from limited access spaces, including roofs, plenums, shafts, trenches, equipment vaults, manholes, attics, and similar spaces.

g. Sweep concrete floors broom clean in unoccupied spaces.

h. Clean ceramic tile walls and floors.

i. Clean, buff and wax resilient floors.

j. Vacuum carpet and similar soft surfaces, removing debris and excess nap; clean according to manufacturer's recommendations if visible soil or stains remain.

k. Clean transparent materials, including mirrors and glass in doors and windows. Remove glazing compounds and other noticeable, vision-obscuring materials. Polish mirrors and glass, taking care not to scratch surfaces.

l. Remove labels that are not permanent.

m. Wipe surfaces of mechanical and electrical equipment, elevator equipment, and similar equipment. Remove excess lubrication, paint and mortar droppings, and other foreign substances.

n. Clean plumbing fixtures, accessories, and trim to a sanitary condition, free of stains, including stains resulting from water exposure.

o. Replace disposable air filters and clean permanent air filters. Clean exposed surfaces of diffusers, registers, and grills.

p. Clean ducts, blowers, and coils if units were operated without filters during construction or that display contamination with particulate matter on inspection.

q. Clean light fixtures, lamps, globes, and reflectors to function with full efficiency.

r. Leave Project clean and ready for occupancy.

C. Construction Waste Disposal: Comply with waste disposal requirements in Section 01 50 00 "Temporary Facilities and Controls."

## REPAIR OF THE WORK

A. Complete repair and restoration operations before requesting inspection for determination of Substantial Completion.

B. Repair or remove and replace defective construction. Repairing includes replacing defective parts, refinishing damaged surfaces, touching up with matching materials, and properly adjusting operating equipment. Where damaged or worn items cannot be repaired or restored, provide replacements. Remove and replace operating components that cannot be repaired. Restore damaged construction and permanent facilities used during construction to specified condition.

1. Remove and replace chipped, scratched, and broken glass, reflective surfaces, and other damaged transparent materials.

2. Touch up and otherwise repair and restore named or exposed finishes and surfaces. Replace finishes and surfaces that that already show evidence of repair or restoration.

a. Do not paint over "UL" and other required labels and identification, including mechanical and electrical nameplates. Remove paint applied to required labels and identification.

3. Replace parts subject to operating conditions during construction that may impede operation or reduce longevity.

4. Replace burned-out bulbs, bulbs noticeably dimmed by hours of use, and defective and noisy starters in fluorescent and mercury vapor fixtures to comply with requirements for new fixtures.

## SECTION 01 78 23 - OPERATION AND MAINTENANCE DATA SUMMARY

A. Section includes administrative and procedural requirements for preparing operation and maintenance manuals.

## CLOSEOUT SUBMITTALS

A. Manual Content: Operations and maintenance manual content shall be formatted and organized as required by this Section.

1. Architect will comment on whether content of operations and maintenance submittals are acceptable.

2. Where applicable, clarify and update reviewed manual content to correspond to revisions and field conditions.

B. Format: Submit operations and maintenance manuals in the following format:

1. PDF electronic file. Assemble each manual into a composite electronically indexed file. Submit on digital media acceptable to Architect.

a. Name each indexed document file in composite electronic index with applicable item name. Include a complete electronically linked operation and maintenance directory.

b. Enable inserted reviewer comments on draft submittals.

C. Initial Manual Submittal: Submit electronic draft copy of each manual at least 30 working days before commencing demonstration and training. Architect will comment on whether general scope and content of manual are acceptable.

D. Final Manual Submittal: Submit each manual in final form prior to requesting inspection for Substantial Completion and at least 15 working days before commencing demonstration and training. Architect will return copy with comments.

1. Correct or revise each manual to comply with Architect's comments. Submit copies of each corrected manual within 15 working days of receipt of Architect's comments and prior to commencing demonstration and training.

## PART 2 - PRODUCTS

### OPERATION AND MAINTENANCE DOCUMENTATION DIRECTORY

A. Directory: Prepare a single, comprehensive directory of emergency, operation, and maintenance data and materials, listing items and their location to facilitate ready access to desired information. Include a section in the directory for each of the following:

1. List of documents, List of systems, List of equipment, and Table of contents.

B. List of Systems and Subsystems: List systems alphabetically, include references to operation and maintenance manuals that contain information about each system.

C. List of Equipment: List equipment for each system, organized alphabetically by system. For pieces of equipment not part of system, list alphabetically in separate list.

D. Tables of Contents: Include a table of contents for each emergency, operation, and maintenance manual.

E. Identification: In the documentation directory and in each operation and maintenance manual, identify each system, subsystem, and piece of equipment with same designation used in the Contract Documents. If no designation exists, assign a designation according to ASHRAE Guideline 4, "Preparation of Operating and Maintenance Documentation for Building Systems."

### REQUIREMENTS FOR EMERGENCY, OPERATION, AND MAINTENANCE MANUALS

A. Organization: Unless otherwise indicated, organize each manual into a separate section for each system and subsystem, and a separate section for each piece of equipment not part of a system. Each manual shall contain the following materials, in the order listed: Title page, Table of contents, and Manual contents.

B. Title Page: Include the following information:

1. Subject matter included in manual.

2. Name and address of Project.

3. Name and address of Owner.

4. Date of submittal.

5. Name and contact information for Contractor.

6. Name and contact information for Architect.

7. Names and contact information for major consultants to the Architect that designed the systems contained in the manuals.

8. Cross-reference to related systems in other operation and maintenance manuals.

C. Table of Contents: List each product included in manual, identified by product name, indexed to the content of the volume, and cross-referenced to Specification Section number in Project Manual.

1. If operation or maintenance documentation requires more than one volume to accommodate data, include a comprehensive table of contents for all volumes in each volume of the set.

D. Manual Contents: Organize into sets of manageable size. Arrange contents alphabetically by system, subsystem, and equipment. If possible, assemble instructions for subsystems, equipment, and components of one system into a single binder.

E. Manuals, Electronic Files: Submit manuals in the form of a multiple file composite electronic PDF file for each manual type required.

1. Electronic Files: Use electronic files prepared by manufacturer where available. Where scanning of paper documents is required, configure scanned file for minimum readable file size.

2. File Names and Bookmarks: Enable bookmarking of individual documents based on file names. Name document files to correspond to system, subsystem, and equipment names used in manual directory and table of contents. Group documents for each system and subsystem into individual composite bookmarked files, then create composite manual, so that resulting bookmarks reflect the system, subsystem, and equipment names in a readily navigated file. Configure electronic manual to display bookmark panel on opening file.

## EMERGENCY MANUALS

A. Content: Organize manual into a separate section for each of the following: Type of emergency, Emergency instructions, and Emergency procedures.

B. Type of Emergency: Where applicable for each type of emergency indicated below, include instructions and procedures for each system, subsystem, piece of equipment, and component: Fire, Flood, Gas leak, Water leak, Airfall, Water outage, System, subsystem, or equipment failure, and Chemical release or spill.

C. Emergency Instructions: Describe and explain warnings, trouble indications, error messages, and similar codes and signals. Include responsibilities of Owner's operating personnel for notification of Installer, supplier, and manufacturer to maintain warranties.

D. Emergency Procedures: Include the following, as applicable:

1. Instructions on stopping.

2. Shutdown instructions for each type of emergency.

3. Operating instructions for conditions outside normal operating limits.

4. Required sequences for electric or electronic systems.

5. Special operating instructions and procedures.

## OPERATION MANUALS

A. Content: In addition to requirements in this Section, include operation data required in individual Specification Sections and the following information:

1. System, subsystem, and equipment descriptions. Use designations for systems and equipment indicated on Contract Documents.

2. Performance and design criteria if Contractor has delegated design responsibility.

3. Operating standards.

4. Operating procedures.

5. Operating logs.

6. Wiring diagrams.

7. Control diagrams.

8. Piped system diagrams.

9. Precautions against improper use.

10. License requirements including inspection and renewal dates.

B. Descriptions: Include the following:

1. Product name and model number. Use designations for products indicated on Contract Documents.

2. Equipment identification with serial number of each component.

3. Operating characteristics.

4. Limiting conditions.

5. Performance curves.

6. Engineering data and tests.

7. Complete nomenclature and number of replacement parts.

8. Operating Procedures: Include the following, as applicable:

1. Startup procedures.

2. Equipment or system break-in procedures.

3. Routine and normal operating instructions.

4. Regulation and control procedures.

5. Actual equipment locations.

6. Normal shutdown instructions.

7. Seasonal and weekend operating instructions.

8. Required sequences for electric or electronic systems.

9. Special operating instructions and procedures.

D. Systems and Equipment Controls: Describe the sequence of operation, and diagram controls as installed.

E. Piped Systems: Diagram piping as installed, and identify color-coding where required for identification.

## PRODUCT MAINTENANCE MANUALS

A. Content: Organize manual into a separate section for each product, material, and finish. Include source information, product information, maintenance procedures, repair materials and sources, and warranties and bonds, as described below.

B. Source Information: List each product included in manual, identified by product name and arranged to match manufacturer's table of contents. For each product, list name, address, and telephone number of Installer or manufacturer and supplier and maintenance service agent, and cross-reference Specification Section number and title in Project Manual and drawing or schedule designation or identifier where applicable.

C. Product Information: Include the following, as applicable:

1. Product name and model number.

2. Manufacturer's name.

3. Color, pattern, and texture.

4. Material and chemical composition.

5. Referencing information for specially manufactured products.

D. Maintenance Procedures: Include manufacturer's written recommendations and the following:

1. Inspection procedures.

2. Types of cleaning agents to be used and methods of cleaning.

3. List of cleaning agents and methods of cleaning detrimental to product.

4. Schedule for routine cleaning and maintenance.

5. Repair instructions.

E. Repair Materials and Sources: Include lists of materials and local sources of materials and related services.

F. Warranties and Bonds: Include copies of warranties and bonds and lists of circumstances and conditions that would affect validity of warranties or bonds.

1. Include procedures to follow and required notifications for warranty claims.

## SYSTEMS AND EQUIPMENT MAINTENANCE MANUALS

A. Content: For each system, subsystem, and piece of equipment not part of a system, include source information, manufacturers' maintenance documentation, maintenance procedures, maintenance and service schedules, spare parts list and source information, maintenance service contracts, and warranty and bond information, as described below.

B. Source Information: List each system, subsystem, and piece of equipment included in manual, identified by product name and arranged to match manufacturer's table of contents. For each product, list name, address, and telephone number of Installer or supplier and maintenance service agent, and cross-reference Specification Section number and title in Project Manual and drawing or schedule designation or identifier where applicable.

C. Manufacturers' Maintenance Documentation: Manufacturers' maintenance documentation including the following information for each component part or piece of equipment:

1. Standard maintenance instructions and bulletins.

2. Drawings, diagrams, and instructions required for maintenance, including disassembly and component removal, replacement, and assembly.

3. Precautions against improper use.

4. List of items recommended to be stocked as spare parts.

D. Maintenance Procedures: Include the following information and items that detail essential maintenance procedures:

1. Test and inspection instructions.

2. Troubleshooting guide.

3. Precautions against improper maintenance.

4. Disassembly; component removal, repair, and replacement; and reassembly instructions.

5. Aligning, adjusting, and checking instructions.

6. Demonstration and training video recording, if available.

E. Maintenance and Service Schedules: Include service and lubrication requirements, list of required lubricants for scheduled, and separate schedules for preventive and routine maintenance and service with standard time allowances.

F. Spare Parts List and Source Information: Include lists of replacement and repair parts, with parts identified and cross-referenced to manufacturers' maintenance documentation and local sources of maintenance materials and related services.

G. Maintenance Service Contracts: Include copies of maintenance agreements with name and telephone number of service agent.

H. Warranties and Bonds: Include copies of warranties and bonds and lists of circumstances and conditions that would affect validity of warranties or bonds.

1. Include procedures to follow and required notifications for warranty claims.

## PART 3 - EXECUTION

### MANUAL PREPARATION

A. Operation and Maintenance Documentation Directory: Prepare a separate manual that provides an organized reference to emergency, operation, and maintenance manuals.

B. Emergency Manual: Assemble a complete set of emergency information indicating procedures for use by emergency personnel and by Owner's operating personnel for types of emergencies indicated.

C. Product Maintenance Manual: Assemble a complete set of maintenance data indicating care and maintenance of each product, material, and finish incorporated into the Work.

D. Operation and Maintenance Manuals: Assemble a complete set of operation and maintenance data indicating operation and maintenance of each system, subsystem, and piece of equipment not part of a system.

E. Engage a factory-authorized service representative to assemble and prepare information for each system, subsystem, and piece of equipment not part of a system.

F. Prepare a separate manual for each system and subsystem, in the form of an instructional manual for use by Owner's operating personnel.

G. Information: Each of these manuals contain manufacturers' standard printed data, include only sheets pertinent to product or component installed. Mark each sheet to identify each product or component incorporated into the Work. If data include more than one item in a tabular format, identify each item using appropriate references from the Contract Documents. Identify data applicable to the Work and delete references to information not applicable.

1. Prepare supplementary text if manufacturers' standard printed data are not available and where the information is necessary for proper operation and maintenance of equipment or systems.

F. Drawings: Prepare drawings supplementing manufacturers' printed data to illustrate the relationship of component parts of equipment and systems and to illustrate control sequence and flow diagrams. Coordinate these drawings with information contained in record Drawings to ensure correct illustration of completed installation.

1. Do not use original project record documents as part of operation and maintenance manuals.

2. Comply with requirements of newly prepared record Drawings in Section 01 78 39 "Project Record Documents."

G. Comply with Section 01 77 00 "Closeout Procedures" for schedule for submitting operation and maintenance documentation.

## COORDINATION

A. Coordinate instruction schedule with Owner's operations. Adjust schedule as required to minimize disrupting Owner's operations and to ensure availability of Owner's personnel.

B. Coordinate instructors, including providing notification of dates, times, length of instruction time, and course content.

C. Coordinate content of training modules with content of approved emergency, operation, and maintenance manuals. Do not submit instruction program until operation and maintenance data has been reviewed and approved by Architect.

## PART 2 - PRODUCTS

### INSTRUCTION PROGRAM

A. Program Structure: Develop an instruction program that includes individual training modules for each system and for equipment not part of a system.

B. Training Modules: Develop a learning objective and teaching outline for each module. For each module, include instruction for the following as applicable to the system, equipment, or component:

1. Basis of System Design, Operational Requirements, and Criteria: Include the following:

a. System, subsystem, and equipment descriptions.

b. Performance and design criteria if Contractor is delegated design responsibility.

c. Operating standards.

d. Regulatory requirements.

e. Equipment function.

f. Operating characteristics.

g. Limiting conditions.

# ALTA / NSPS LAND TITLE SURVEY

## 3240 & 3244 MAIN STREET KANSAS CITY, JACKSON COUNTY, MISSOURI

CALEB BULLAND, ARCHITECT | MO 200005509

**EXACT ARCHITECTS**  
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC  
KANSAS CITY, MISSOURI  
(816) 785-2265  
WWW.EXACTARCHITECTS.COM



**DEVELOPMENT PLANS**  
**ABC/ANDERSON APARTMENTS**  
3244 MAIN ST, KANSAS CITY, MO 64111

**APPLICANT:**  
ANNIE ROUSE  
ANNIE@EXACTARCHITECTS.COM  
630-699-2329

ISSUE	DATE	NO
Development Plan	01.23.20	1
City Comments 01 & Development Plan Comments	02.12.20	2
Permit Set	09.12.25	0

SITE SURVEY

A0.11

### SURVEYOR'S NOTES - ALTA/NSPS TABLE A OPTIONAL REQUIREMENTS:

- MONUMENTS PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SURVEYED PROPERTY, UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER; ALL CORNERS ARE FOUND OR SET AS SHOWN HEREON.
- ADDRESSES OF THE SURVEYED PROPERTY IF DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR, OR OBSERVED WHILE CONDUCTING THE FIELDWORK, AS SHOWN.
- FLOOD ZONE CLASSIFICATION (WITH PROPER ANNOTATION BASED ON FEDERAL FLOOD INSURANCE RATE MAPS OR THE STATE OR LOCAL EQUIVALENT) DEPICTED BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY; THE TRACT SHOWN HEREON LIES IN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS INDICATED BY FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR JACKSON COUNTY, MISSOURI, MAP NUMBER 29095C0254G, EFFECTIVE DATE: JANUARY 20, 2017.
- GROSS LAND AREA (AND OTHER AREAS IF SPECIFIED BY THE CLIENT): 0.444 ACRES.
- VERTICAL RELIEF WITH THE SOURCE OF INFORMATION (E.G., GROUND SURVEY, AERIAL MAP), CONTOUR INTERVAL, DATUM, WITH ORIGINATING BENCHMARK, WHEN APPROPRIATE; CONTOURS ARE AT 1 FOOT INTERVALS DEVELOPED FROM A GROUND-RUN SURVEY BASED ON NAVD83 VERTICAL DATUM ORIGINATING FROM KCBM #2009, ALSO KNOWN AS NATIONAL GEODETIC SURVEY MONUMENT "U 171".
- (a) IF THE CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, THE HEIGHT AND FLOOR SPACE AREA RESTRICTIONS, AND PARKING REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY ARE SET FORTH IN A ZONING REPORT OR LETTER PROVIDED TO THE SURVEYOR BY THE CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE, LIST THE ABOVE ITEMS ON THE PLAT OR MAP AND IDENTIFY THE DATE AND SOURCE OF THE REPORT OR LETTER; ZONING REPORT OR LETTER NOT PROVIDED.
- (b) IF THE ZONING SETBACK REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY ARE SET FORTH IN A ZONING REPORT OR LETTER PROVIDED TO THE SURVEYOR BY THE CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE, AND IF THOSE REQUIREMENTS DO NOT REQUIRE AN INTERPRETATION BY THE SURVEYOR, GRAPHICALLY DEPICT THOSE REQUIREMENTS ON THE PLAT OR MAP AND IDENTIFY THE DATE AND SOURCE OF THE REPORT OR LETTER; ZONING REPORT OR LETTER NOT PROVIDED.
- (c) EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL: AS SHOWN.
- (d) MEASURED HEIGHT OF ALL BUILDINGS ABOVE GRADE AT A LOCATION SPECIFIED BY THE CLIENT; IF NO LOCATION IS SPECIFIED, THE POINT OF MEASUREMENT SHALL BE IDENTIFIED: AS SHOWN.
- SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK (IN ADDITION TO THE IMPROVEMENTS AND FEATURES REQUIRED PURSUANT TO SECTION 5 ABOVE) (E.G., PARKING LOTS, BILLBOARDS, SIGNS, SWIMMING POOLS, LANDSCAPED AREAS, SUBSTANTIAL AREAS OF REFUSE); SITE IMPROVEMENTS/CONDITIONS AS SHOWN, FIELD WORK COMPLETED DECEMBER 15, 2022.
- NUMBER AND TYPE (E.G., DISABLED, MOTORCYCLE, REGULAR, AND OTHER MARKED SPECIALIZED TYPES) OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS, LOTS, AND IN PARKING STRUCTURES. STRIPING OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS AND LOTS: NONE OBSERVED.
- EVIDENCE OF UNDERGROUND UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY (IN ADDITION TO THE OBSERVED EVIDENCE OF UTILITIES REQUIRED PURSUANT TO SECTION 5.E.V.) AS DETERMINED BY:
  - PLANS AND/OR REPORTS PROVIDED BY CLIENT (WITH REFERENCE AS TO THE SOURCES OF INFORMATION); NONE PROVIDED BY CLIENT, MISSOURI ONE CALL WAS NOTIFIED DECEMBER 9, 2022, TICKET NUMBERS 223430688 AND 223430629. THE FOLLOWING COMPANIES WERE NOTIFIED: ATT DISTRIBUTION, EVERGY, CITY OF KANSAS CITY WATER-SEWER-TRAFFIC-STREET, SPIRE MO WEST, MCI UNITE PRIVATE NETWORKS, VERIZON WIRELESS.
  - NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES, WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- AS SPECIFIED BY THE CLIENT, GOVERNMENTAL AGENCY SURVEY-RELATED REQUIREMENTS (E.G., HUD SURVEYS, SURVEYS FOR LEASES ON BUREAU OF LAND MANAGEMENT MANAGED LANDS), THE RELEVANT SURVEY REQUIREMENTS ARE TO BE PROVIDED BY THE CLIENT OR CLIENT'S DESIGNATED REPRESENTATIVE; NONE SPECIFIED BY CLIENT.
- NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS. IF MORE THAN ONE OWNER, IDENTIFY THE FIRST OWNER'S NAME LISTED IN THE TAX RECORDS FOLLOWED BY "ET AL.": AS SHOWN.
- EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK; THERE IS ONGOING CONSTRUCTION IN MAIN STREET IN CONNECTION WITH THE KC STREETCAR PROJECT.
- PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, IF SUCH INFORMATION IS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION; EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK; AT THE TIME OF THE SURVEY THERE WERE NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, THERE IS RECENT SIDEWALK REPAIRS ALONG THE WEST SIDE OF MAIN STREET IN CONNECTION WITH THE ONGOING KC STREETCAR PROJECT.
- PURSUANT TO SECTIONS 5 AND 6 (AND APPLICABLE SELECTED TABLE A ITEMS, EXCLUDING TABLE A ITEM 1), INCLUDE AS PART OF THE SURVEY ANY PLOTTABLE OFFSITE (I.E., APPURTENANT) EASEMENTS DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR: AS SHOWN.

### PROPERTY DESCRIPTION:

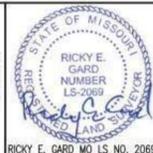
TRACT 1: LOT 3, EXCEPT THE NORTH 4 FEET THEREOF BLOCK 2, HYDE PARK, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, TOGETHER WITH AN EASEMENT FOR PRIVATE ALLEY OR PASSAGEWAY APPURTENANT TO THE ABOVE-DESCRIBED PROPERTY OVER THE NORTH 4 FEET OF SAID LOT 3 AND APPURTENANT TO THE PREMISES ON THE NORTH AS DESCRIBED IN INSTRUMENT RECORDED IN BOOK B-1303, PAGE 363, IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AT KANSAS CITY.

TRACT 2: LOT 4, AND THE NORTH 1/2 OF LOT 5, BLOCK 2, HYDE PARK, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

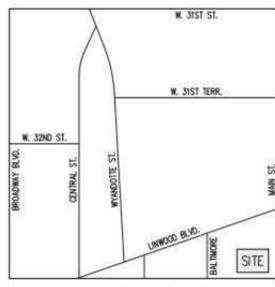
### SURVEYOR'S NOTES:

- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINERS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN HEREON WAS GAINED FROM A COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT/FILE NO. NCS-1084178-1-KCTY, EFFECTIVE DATE: AUGUST 20, 2021 (TRACT 1); AND COMMITMENT/FILE NO. NCS-1084178-KCTY, EFFECTIVE DATE: AUGUST 13, 2021 (TRACT 2).
- COMMITMENT NO. NCS-1084178-1-KCTY SURVEY RELATED SCHEDULE B, PART II ITEMS (TRACT 1):
  - EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS: SURVEYOR IS NOT AWARE OF OR BEEN PROVIDED WITH INFORMATION REGARDING UNRECORDED OR CLAIMS OF EASEMENTS.
  - ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCES AFFECTING TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE SURVEY OF THE LAND OR THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND: SEE LIST OF ENCROACHMENTS.
  - EASEMENTS, RESTRICTIONS OR SETBACK LINES AS PER PLAT, RECORDED SEPTEMBER 24, 1886 IN PLAT BOOK 5, PAGE 18: THERE ARE NO EASEMENTS, RESTRICTIONS OR SETBACK LINES SHOWN ON THE RECORDED PLAT OF HYDE PARK.
  - PRIVATE ALLEY OR PASSAGEWAY EASEMENT GRANTED BY THE INSTRUMENT RECORDED DECEMBER 7, 1910 AS DOCUMENT NO. 790645 IN BOOK B1303, PAGE 363: AS SHOWN.
- COMMITMENT NO. NCS-1084178-KCTY SURVEY RELATED SCHEDULE B, PART II ITEMS (TRACT 1):
  - EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS: SURVEYOR IS NOT AWARE OF OR BEEN PROVIDED WITH INFORMATION REGARDING UNRECORDED OR CLAIMS OF EASEMENTS.
  - ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR ADVERSE CIRCUMSTANCES AFFECTING TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE SURVEY OF THE LAND OR THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND: SEE LIST OF ENCROACHMENTS.
  - EASEMENTS, RESTRICTIONS OR SETBACK LINES AS PER PLAT, RECORDED SEPTEMBER 24, 1886 IN PLAT BOOK 5, PAGE 18: THERE ARE NO EASEMENTS, RESTRICTIONS OR SETBACK LINES SHOWN ON THE RECORDED PLAT OF HYDE PARK.
- THIS SURVEY IS BASED ON THE DESCRIPTION CONTAINED IN EXHIBIT A OF THE ABOVE STATED TITLE COMMITMENTS.
- THE RECORD SOURCE OF THE SUBJECT TRACT IS RECORDED AS DOCUMENT NO. 2010-E-004737 (TRACT 1), AND DOCUMENT NO. 2000-K-001670 (TRACT 2).
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE MISSOURI COORDINATE SYSTEM OF 1983, WEST ZONE, AS DETERMINED BY GPS OBSERVATIONS.
- ACCURACY STANDARD: TYPE URBN

PREPARED FOR:  
EXACT PARTNERS  
3244 MAIN STREET  
KANSAS CITY, MO 64111



T & B PROJECT NO.  
04-4590-001  
DRAWING:  
04-4590V-AS01.DWG  
Sheet 1 of 1

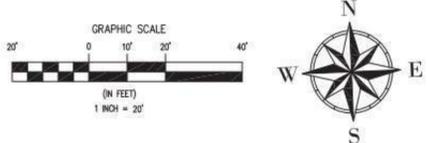
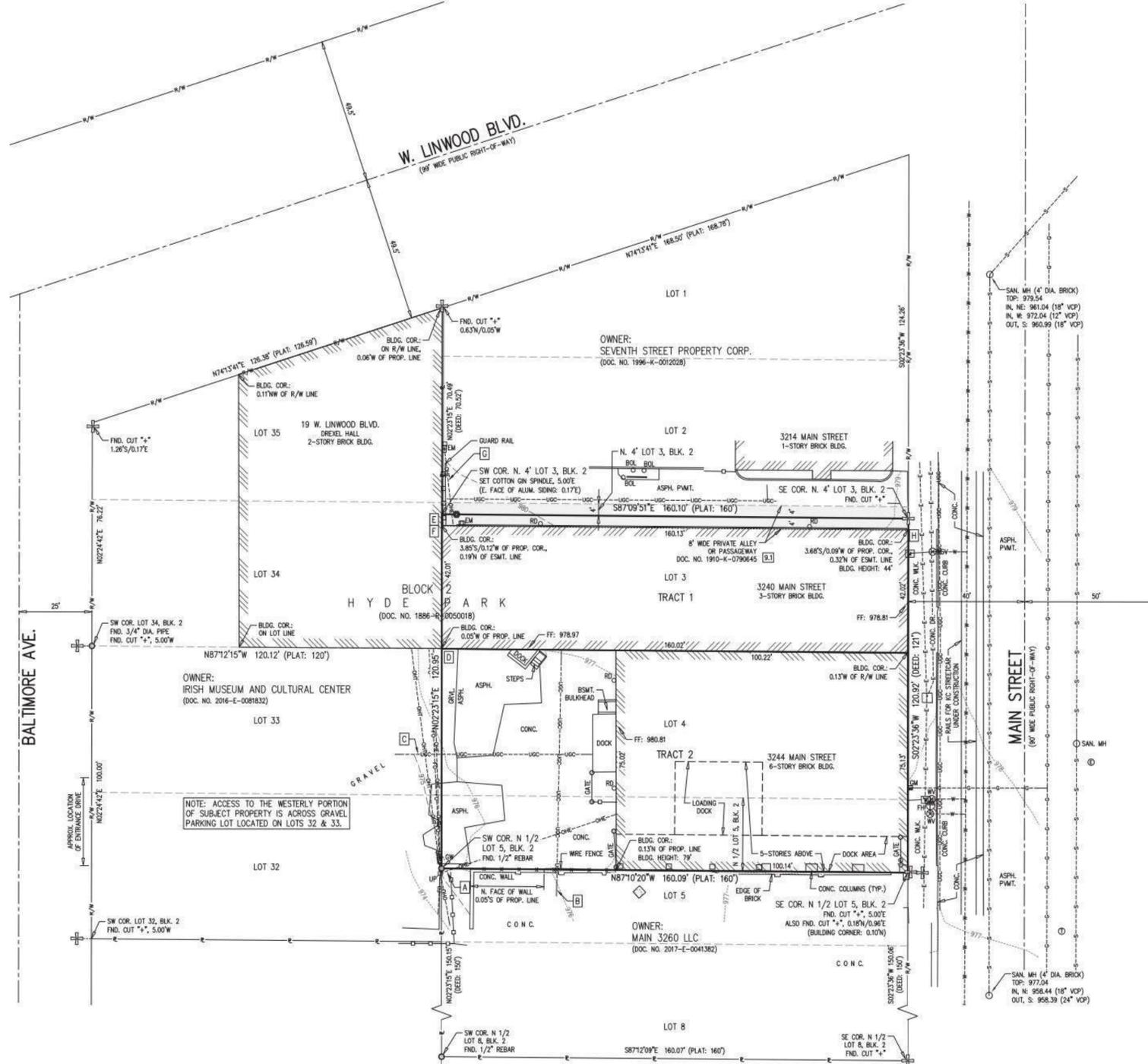


VICINITY MAP  
NW 1/4 SW 1/4 SEC. 17, TWP. 49, RNG. 33  
NOT TO SCALE

BENCHMARK	
DESCRIPTION	ELEV.
KCBM #2009: NATIONAL GEODETIC SURVEY MONUMENT "U 171"; BENCHMARK DISK SET IN FACE OF BUILDING AT 1330 E. LINWOOD BLVD., 0.9' NORTH OF SOUTHEAST CORNER OF BUILDING, 3' ABOVE GROUND.	995.70
TBM: FOUND CUT SQUARE AT SOUTH END OF WALL ON EAST SIDE OF ROAD, IN FRONT OF MCDONALD'S RESTAURANT AT 3255 MAIN STREET.	976.62

LEGEND	
BOL	BOLLARD
EM	ELECTRIC METER
FM	FINISH FLOOR
FF	FINISH FLOOR
GM	GAS METER
CA	CUT WIRE ANCHOR
WH	WATER MANHOLE
RD	ROOF DRAIN
R/W	RIGHT-OF-WAY
SAL	SANITARY
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
UE	UNDERGROUND ELECTRIC
UF	FIBER OPTICS
UG	GAS
UT	OVERHEAD ELECTRIC
UT	OVERHEAD TELEPHONE
UT	OVERHEAD UTILITIES
PL	PROPERTY LINE
R/W	RIGHT-OF-WAY LINE
SM	SANITARY SEWER
UC	UNDERGROUND COMMUNICATION
UM	ELECTRIC MANHOLE
WM	WATER METER
WM	TELEPHONE MANHOLE

LIST OF ENCROACHMENTS	
AS SHOWN ON THE SURVEY, EXCEPT FOR THE FOLLOWING, NO OTHER ENCROACHMENTS AFFECT THE SITE:	
A	OVERHEAD ELECTRIC LINE SERVING SUBJECT PROPERTY CROSSES ADJOINER.
B	UNDERGROUND COMMUNICATION LINE SERVING SUBJECT PROPERTY CROSSES ADJOINER.
C	UNDERGROUND COMMUNICATION LINE SERVING SUBJECT PROPERTY CROSSES ADJOINER.
D	SOUTHWEST CORNER OF BLDG. 0.05' W OF PROP. LINE
E	NORTHWEST CORNER OF BLDG. 0.12' W OF PROP. LINE
F	NORTHWEST CORNER OF BLDG. 0.19' W OF ESMT. LINE
G	OVERHEAD ELECTRIC LINE SERVING SUBJECT PROPERTY CROSSES ADJOINER.
H	NORTHEAST CORNER OF BLDG. 0.32' W OF ESMT. LINE



DATE	REVISIONS AND RECORD OF ISSUE	NO.	BY	CHK	APP
DRAWN: JBP, VAH	DATE: 12.22.2022	CHECKED: REG	DATE: 1.3.2023		
APPROVED: REG	DATE: 12.29.2022	P.C.: JPS	SCALE: 1" = 20'		

**TALIAFERRO & BROWNE, INC.**  
CONSULTING ENGINEERS-SURVEYORS  
1020 EAST 8TH ST., KANSAS CITY, MO, 64106  
PH: (816) 283-3456 FAX: (816) 283-0841

**PROFESSIONAL ENGINEERING CORPORATION**  
MISSOURI LICENSE NO. 000466 KANSAS LICENSE NO. B-1481  
**PROFESSIONAL SURVEYING CORPORATION**  
MISSOURI LICENSE NO. 000094 KANSAS LICENSE NO. LS-106

FOR: EXACT PARTNERS  
**3240-3244 MAIN STREET**  
ALTA/NSPS LAND TITLE SURVEY

CERTIFICATION:  
TO ENTERPRISE BANK & TRUST AND FIRST AMERICAN TITLE COMPANY:  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6a, 6b, 7a, 7c, 8, 9, 10a, 12, 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 15, 2022.

DATE: JANUARY 5, 2023

2/11/2026 11:42:50 AM



**GENERAL SITE PLAN NOTES:**

- REMOVE ALL BRUSH AND OVERGROWTH INCLUDING MISCELLANEOUS DEBRIS AND TRASH THROUGHOUT THE SITE.
- COORDINATE ALL WORK WITH CIVIL DRAWINGS AND MEP SITE PLAN. NOTIFY ARCHITECT IF DISCREPANCIES OCCUR BETWEEN DRAWINGS.
- INSPECT CONDITION OF ALL CURBS, STRUCTURES, SURFACES, AND OTHER SITE ITEMS SCHEDULED TO REMAIN. NOTIFY ARCHITECT OF DISCREPANCIES, OR WHERE REPAIR OR REPLACEMENT IS REQUIRED.
- EXISTING STORM INLETS AND ATTACHED CURBS SHALL REMAIN INTACT. PROTECT THROUGHOUT CONSTRUCTION.
- SLOPE ALL NEW PARKING AND LANDSCAPING AWAY FROM FACE OF NEAREST BUILDING.
- INSTALL STEEL EDGING STRIPS AT ALL LANDSCAPING TRANSITIONS AND AT ALL TRANSITIONS BETWEEN DISSIMILAR MATERIALS.
- COORDINATE NEW PARKING STALL SIGNAGE AND PARKING BLOCKS WITH ARCHITECT.
- SITE PAVING TO INCLUDE PAINTED HANDICAP, STALL STRIPING, ARROWS, AND COMPACT CAR MARKINGS.
- REFER TO ELEVATIONS FOR ANY AND ALL WORK ASSOCIATED WITH THE BUILDING EXTERIOR.
- PREPARE ALL AREAS OF NEW PLANTING OR SOFTSCAPE WITH TOP SOIL, IN CONDITION FOR CONTINUED AND HEALTHY PLANT GROWTH.
- NEW CONCRETE CURBS OR SIDEWALKS SHALL MATCH PROFILE, HEIGHT, AND/OR DEPTH OF EXISTING SITE WORK, WHERE THEY MEET EXISTING CONCRETE SCHEDULED TO REMAIN.
- ALL BUILDING BASE TO HARDSCAPE TRANSITIONS SHALL HAVE NEW EXPANSION JOINT AND BACKER ROD INSTALLED BETWEEN MATERIALS. TYP. JOINT SHALL HAVE A MIN. OF 1/2" WIDE BITUMINOUS JOINT FILLER INSTALLED. WHERE EXISTING JOINT OR SEALANT OCCURS, REMOVE PRIOR TO NEW WORK.
- ALL GRADED AREAS TO RECEIVE EROSION CONTROL FOR A FULL 4-WEEKS AFTER GRASS SEED GERMINATION.
- PROTECT ALL STORM SEWERS WITH EROSION CONTROL.
- EXISTING BRICK STEP AND DOCK AT BACK COURTYARD WILL REMAIN. PROTECT DURING CONSTRUCTION, AND SPOT REPAIR AS REQUIRED BY NEW STEEL STAIR INSTALLATION.
- ALL WORK UNDER THE STREETCAR A TRACK ACCESS PERMIT WILL BE APPLIED FOR PUBLIC WORKS AND PLUMBERS WILL BE TRACK ACCESS CERTIFIED

LEGAL DESCRIPTION OF PROPERTY:  
HYDE PARK LOT 3 (EX N 4') BLK 2 & HYDE PARK LOT 4 & N 1/2 LOT 5 BLK 2 (PARCELS CONSOLIDATED IN 2024 VIA DEED WITH THE COUNTY RECORDER OF DEEDS)

BUILDING COVERAGE AREA		
LEVEL	LOCATION	AREA
LOWER (ANDERSON)	ANDERSON	2511 SF
LOWER (ABC)	ABC	4982 SF
FIRST (ANDERSON)	ANDERSON	6214 SF
FIRST (ABC)	ABC	4807 SF
SECOND FLOOR	ABC / ANDERSON	13092 SF
THIRD FLOOR	ABC / ANDERSON	13092 SF
FOURTH FLOOR	ABC	6892 SF
FIFTH FLOOR	ABC	6892 SF
SIXTH FLOOR	ABC	6892 SF
ROOF PATIO	ABC	2763 SF
TOTAL AREA		68138 SF

UNIT & COMMERCIAL COUNT PER FLOOR			
LEVEL	NAME	COUNT	AREA
LOWER (ABC)			
LOWER (ABC)	COMMERCIAL (LEASABLE)	1	3358 SF
FIRST (ABC)			
FIRST (ABC)	1B ; 1BA	7	3818 SF
FIRST (ABC)	1B ; 1BA (ADA)	1	647 SF
FIRST (ABC)	2B ; 2BA (ADA)	1	1504 SF
FIRST (ABC)	BUSINESS (LEASABLE)	1	2116 SF
FIRST (ABC)	BUSINESS (LEASABLE)	1	965 SF
SECOND FLOOR			
SECOND FLOOR	1B ; 1BA	9	4977 SF
SECOND FLOOR	2B ; 2BA	5	5215 SF
THIRD FLOOR			
THIRD FLOOR	1B ; 1BA	9	4979 SF
THIRD FLOOR	2B ; 2BA	5	5225 SF
FOURTH FLOOR			
FOURTH FLOOR	2B ; 2BA	5	5249 SF
FIFTH FLOOR			
FIFTH FLOOR	2B ; 2BA	5	5267 SF
SIXTH FLOOR			
SIXTH FLOOR	2B ; 2BA	5	5178 SF
ABC EXIST ROOF (HIGH)			
ABC EXIST ROOF (HIGH)	COMMERCIAL (LEASABLE ROOFTOP)	1	2714 SF
TOTAL		56	51214 SF

DEVELOPMENT TABULATION	
<b>BUILDING DATA</b>	
ZONING	B4-5 (EXISTING TO REMAIN)
LAND AREA	19,130 SF
PROPOSED USE	R-2 (RESIDENTIAL APARTMENTS) ; A-2 (COMMERCIAL LEASABLE) ; B (BUSINESS)
HEIGHT (EXISTING)	7-STORIES ABOVE GRADE ; 73'-10" TO ROOF DECK
GROSS FLOOR AREA (EXISTING)	REFER TO TABLE ABOVE
RESIDENTIAL UNITS	REFER TO TABLE ABOVE
NET LAND AREA	19,130 SF TOTAL ; 11,021 SF RESIDENTIAL USE
BUILDING COVERAGE	11,021 SF EXTERIOR / 19,130 SF LAND AREA = .57
FLOOR AREA RATIO	68,138 SF / 19,130 SF LAND AREA = 3.6
GROSS DENSITY	56 UNITS / 19,130 SF LAND AREA = 1 UNIT PER 341 SF
NET DENSITY	56 UNITS / 11,021 SF RESIDENTIAL USE = 1 UNIT PER 196 SF
PARKING	NO PARKING REQUIRED PER 88-420-04-H LANDMARKS AND HISTORIC DISTRICTS. 6 TANDUM SPOTS PROVIDED WITH 1 ADA. POTENTIAL ADDITIONAL PARKING ACROSS MAIN ST WITH LOT AGREEMENT
BICYCLE PARKING (PER 88-420)	SHORT TERM: 3 REQUIRED / 16 PROVIDED LONG TERM: 20 REQUIRED/24 PROVIDED
PHASING	SINGLE-PHASE CONSTRUCTION
SETBACKS	NO NEW SETBACKS; EXISTING BUILDING FOOTPRINT TO REMAIN

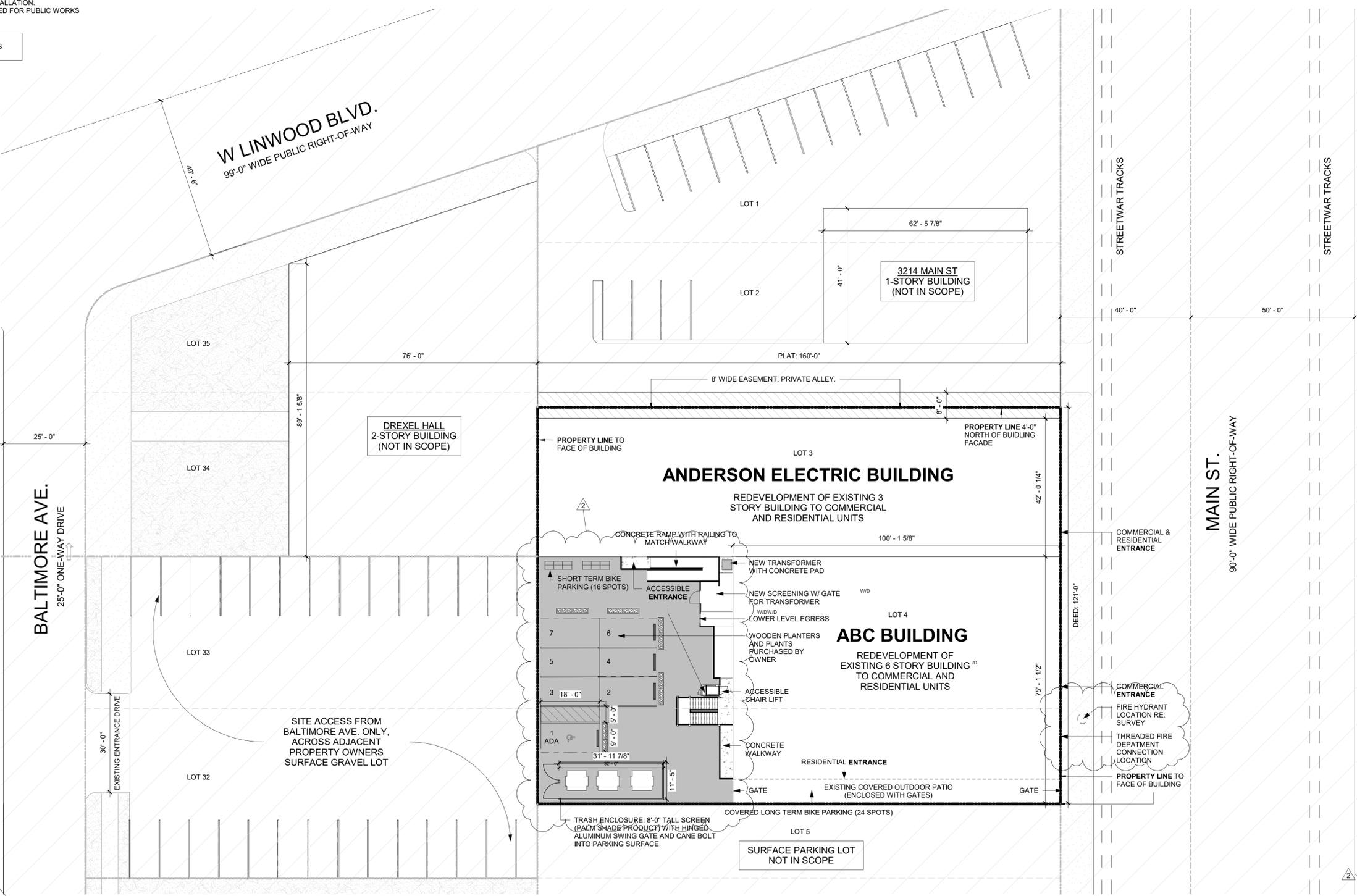
**MATERIAL & LANDSCAPE LEGEND:**  
ESTIMATED TAKE-OFFS LISTED IN LEGEND.

- EXISTING SURFACE TO REMAIN. RE: CIVIL DRAWINGS FOR SCOPES AND MATERIALS.
- NEW - EXTERIOR 5" CONCRETE SLAB, 4" GRAVEL BASE EXPOSED - FINISH LEVEL
- COMPACT EXISTING GRAVEL, TOP WITH 3" ASPHALT BASE AND 1.5" ASPHALT SURFACE

NOTE: PROPOSED SHARED USE AGREEMENT FOR OFF-SITE PARKING ACROSS MAIN ST.

**SIDEWALKS, CURBS, DRIVEWAYS:**

- WORK SHALL INCLUDE REPLACEMENT OF ANY SIDEWALK SQUARE CRACKED OR MISSING A PIECE 1/2" OR MORE WIDE, ADJOINING SQUARE DIFFERING VERTICALLY 1/2" OR MORE, WITH SURFACES NOT OF CONTIGUOUS CONCRETE, AND THE ADJOINING CURB OF THAT WALK OR SHARING THAT CRITERIA OR HAVING A GUTTER 4" BELOW STREET, OR IMPEDING THE FLOW OF WATER.
- REPLACE: ANY CURB HAVING A MEASURED HEIGHT OF 2 1/2" OR LESS ABOVE THE STREET SURFACE, ANY CURB HAVING A GUTTER SECTION OF 4" OR MORE BELOW THE STREET SURFACE, ANY CURB THAT OBSTRUCTS THE INTENDED FLOW OF WATER, SHALL BE REPLACED TO THE NEAREST JOINTS. THE VERTICAL TRANSITION FROM THE NEW CURB TO THE EXISTING CURB SHALL NOT EXCEED A SLOPE OF 1/2" PER FOOT.



2/11/2026 11:42:54 AM



APPLICANT:  
ANNIE ROUSE  
ANNIE@EXACTARCHITECTS.COM  
630-699-2329

ISSUE	DATE	NO
Development Plan	01.23.26	1
City Comments 01 & Development Plan Comments	02.12.26	2
Permit Set	09.12.25	0

ARCHITECTURAL SITE PLAN

**A0.12**

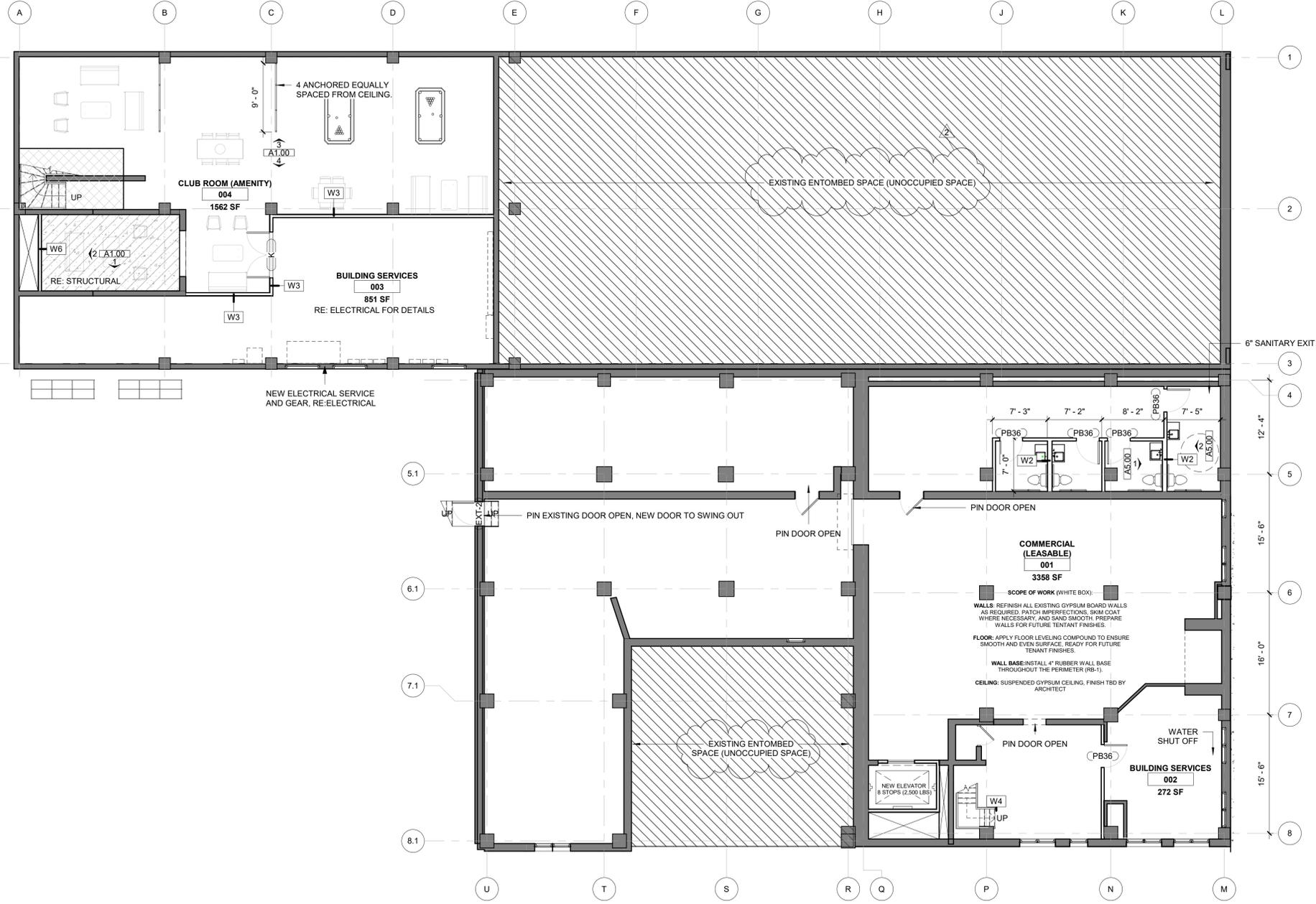


**GENERAL NEW PLAN NOTES:**

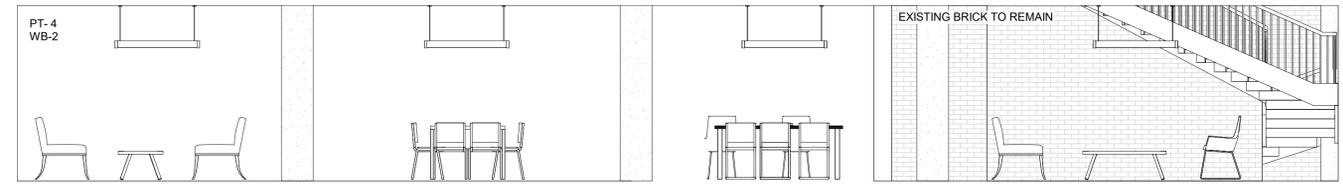
- A. SEE DEMOLITION FLOOR PLANS FOR EXISTING ITEMS TO REMAIN.
- B. AFTER DEMOLITION, REPAIR ALL SURFACES THAT WILL REMAIN EXPOSED TO VIEW TO A SMOOTH & UNIFORM APPEARANCE. NEW FINISHES AND REPAIR WORK SHALL MATCH EXISTING FINISHES. COORDINATE ANY AREAS OF CONCERN WITH ARCHITECT.
- C. REPAIR ALL DAMAGED EXISTING STRUCTURAL ELEMENTS (FOUNDATION WALLS, BEARING WALLS, STRUCTURE COLUMNS, BEAMS, JOISTS, FLOOR & ROOF DECKING). INFILL ALL VACATED FLOOR OPENINGS AND AREAS OF MISSING OR DAMAGED FINISH FLOORING. IN BASEMENT FILL ALL NEW & MISC FLOOR SLAB OPENINGS W/ MINIMUM 4" REINFORCED CONCRETE SLAB ON 6 MIL VAPOR BARRIER ON MINIMUM 4" COMPACTED GRAVEL.
- D. REPAIR ALL DAMAGED MASONRY OR BLOCK INTERIOR WALLS AS REQUIRED. PATCH ALL INTERIOR HOLES SMALLER THAN A 1/2 BRICK IN SIZE W/ MORTAR. HOLES THE SIZE OF A 1/2 BRICK OR LARGER SHALL BE REPLACED W/ FULL SIZE MASONRY UNITS TO MATCH EXISTING. REPORT ALL WALLS AS NEEDED. PATCH & REPAIR ALL MASONRY OR BLOCK WALL AREAS EXPOSED TO VIEW. RE: REFINISH SCHEDULE.
- E. CONSULT STRUCTURAL ENGINEER FOR ALL MASONRY & LINTEL WORK AS REQUIRED. LINTELS ARE LOCATED AT ALL FLAT HEAD MASONRY OPENINGS. REPAIR ALL DAMAGED & FAILED METAL LINTELS W/ NEW AS REQUIRED. HOT-DIPPED GALVANIZED FINISH AT EXTERIOR LOCATIONS. REPAIR ALL EXISTING LINTELS. WIRE BRUSH CLEAN & PAINT METALS EXPOSED TO VIEW. LINTEL COLOR TO MATCH ADJACENT EXISTING LINTELS. PAINT ALL METALS, 1 PRIME COAT & 2 FINISH COATS, SEMI-GLOSS.
- F. REFER TO EXTERIOR ELEVATIONS FOR WORK ASSOCIATED WITH THE BUILDING FACADE AND ASSOCIATED OPENINGS.
- G. REFER TO DOOR SCHEDULE FOR DOOR & HARDWARE REQUIREMENTS. THE HINGE SIDE OF DOOR JAMBS SHALL BE 4" FROM THE ADJACENT WALL, U.N.O.
- H. ALL NEW INTERIOR WALLS TO BE BY TYPE 1, U.N.O REFER TO WALL TYPE SHEET FOR TYPICAL CONSTRUCTION.
- I. NOT USED
- J. ALL FLOOR/CEILING, ROOF/CEILING & WALL PENETRATIONS ARE TO BE PROPERLY FIRECAULKED, FIRESTOPPED, SMOKE/FIRE DAMPERED, ETC AS REQUIRED TO MAINTAIN THE FIRE RESISTIVE RATING OF THE RESPECTIVE ASSEMBLIES, AS REQUIRED BY CODE. RE: LIFE SAFETY PLANS AND CODE ANALYSIS FOR REQUIRED LOCATIONS OF RATED WALLS.
- K. ALL INTERIOR WALLS THAT ABUT NON-GYPSUM BOARD SURFACES OR STRUCTURAL MEMBER SHALL BE FITTED TIGHTLY TO THE NON-GYPSUM BOARD SURFACE. CONSULT ARCHITECT AS NEEDED DURING CONSTRUCTION.
- L. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERTIGHT, AIRTIGHT, ETC PERFORMANCE. INSTALL ACOUSTICAL FIRE CAULK AT ALL PENETRATIONS OF FLOORS, WALLS & CEILINGS THAT SEPARATE APARTMENT UNITS FROM OTHER APARTMENT UNITS, CORRIDORS, ETC.
- M. DUCTWORK EXPOSED TO VIEW TO BE SPIRAL TYPE GALVANIZED SHEETMETAL, SUPPORTED BY TENSION CABLE SYSTEM, W/ SHEETMETAL COLLARS AT WALL PENETRATIONS. ALL REFRIGERANT PIPING TO BE CONCEALED WITHIN CONSTRUCTION.
- N. ALL DOMESTIC WATER PIPING TO BE CONCEALED WITHIN CONSTRUCTION. PLUMBING WASTE PIPING TO BE CONCEALED WITHIN CONSTRUCTION TO FULLEST EXTENT POSSIBLE. ALL EXPOSED PLUMBING WASTE PIPING TO BE CAST IRON. INSTALL INSULATION ON ALL PIPING PRONE TO CONDENSATION (PAINTABLE COVERS AT EXPOSED INSULATION). FIRE SPRINKLER PIPING EXPOSED TO VIEW TO BE METAL TYPE. ELECTRICAL SYSTEMS TO BE CONCEALED WITHIN CONSTRUCTION TO THE FULLEST EXTENT POSSIBLE. ALL EXPOSED WIRING, SHALL BE ENCLOSED IN CONDUIT.
- O. NOT USED
- P. INSTALL NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT ENTIRE BUILDING, AS REQUIRED BY CODE. METALLIC PIPE TYPE WHERE EXPOSED. INCLUDE SPRINKLERING OF CONCEALED AREAS WHERE REQUIRED BY CODE. SPRINKLER SYSTEM SHALL BE MONITORED BY A PROPRIETARY SUPERVISING STATION (ALARM COMPANY). DESIGN-BUILD SUBCONTRACTOR TO SUBMIT REQUIRED DRAWINGS TO CITY CODE DEPARTMENT AS A DEFERRED SUBMITTAL. INSTALL ESCUTCHEONS AT ALL PENETRATIONS. ALL TRIM & HEADS BRUSHED CHROME FINISH.
- Q. ALL EXPOSED MEP, FIRE SPRINKLER, ETC ITEMS TO BE INSTALLED IN A NEAT AND ORDERLY MANNER, WITH STRAIGHT RUNS INSTALLED TIGHT TO UNDERSIDE OF STRUCTURE OR DECK ABOVE, AND WALLS. CONSULT ARCHITECT & MEP ENGINEER AS NEEDED. ALL IN-UNIT CLOSETS SHALL HAVE AN INTERIOR DEPTH OF 2'-0" MIN. RE: WALL TYPE SHEET.
- R. INSTALL IN-WALL BLOCKING AS REQUIRED TO SECURELY ANCHOR CABINETS, TOILET ACCESSORIES, SHELVING, HANDRAILS, SHOWER ACCESSORIES, ETC.
- T. THERE SHALL BE NO PENETRATION OF STAIR SHAFT, ELEVATOR SHAFT, SIMILAR SHAFT WALLS & EXIT PASSAGEWAYS EXCEPT FOR MEP REQUIRED FOR THE SHAFTS / PASSAGEWAYS.
- U. PREPARE EXISTING FLOORS FOR NEW FLOOR FINISHES PER MANUFACTURER'S REQUIREMENTS.
- V. INSTALL 1 MRL TYPE ELEVATOR SYSTEM IN ITS ENTIRETY. INCLUDE HOIST BEAM, STEEL SUPPORTS, GUIDE RAIL BEAMS, SUMP PIT, PIT LADDERS, ETC WHERE REQUIRED BY MANUFACTURER. ALSO INCLUDE IBC 2018 SECTION 3001.2 "EMERGENCY ELEVATION COMMUNICATION SYSTEMS FOR THE DEAF, HARD OF HEARING AND SPEECH IMPAIRED": (A FULLY ACCESSIBLE VISUAL, TEXT-BASED & VIDEO-BASED LIVE INTERACTIVE SYSTEM). ELEVATOR MANUFACTURED BY 'KONE', OR APPROVED EQUAL, MONOSPACE 500 MODEL DX, 2,500 LB CAPACITY, SPEED 150 (CAB INTERIOR CLEARANCES MEETING 2018 IBC STRETCHER REQUIREMENT), 8'-0" CAR HEIGHT AND 7'-0" ENTRANCE HEIGHT. CAB FLOORS: ALUM. DIAMOND PLATE, MILL FINISH.
- W. THE DESIGNATED ACCESSIBLE APARTMENT UNITS SHALL BE CONSTRUCTED TO TYPE 'A' ACCESSIBILITY REQUIREMENTS OF ICC A117.1 - 2009. REFER TO PLAN FOR UNIT LOCATIONS.
- X. INSTALL VERTICAL PLATFORM LIFT SYSTEM IN ITS ENTIRETY. CHAIR MANUFACTURED BY 'LIFEWAYMOBILITY' OR APPROVED EQUAL, SAVARIA MULTILIFT OUTDOOR VERTICAL PLATFORM LIFT, STEEL ULC FIRE RATED DOORS WITH TEMPERED GLASS INSERTS FOR DOORS AND LOW PROFILE ALUMINUM DOORS.

**NEW PLAN LEGEND**

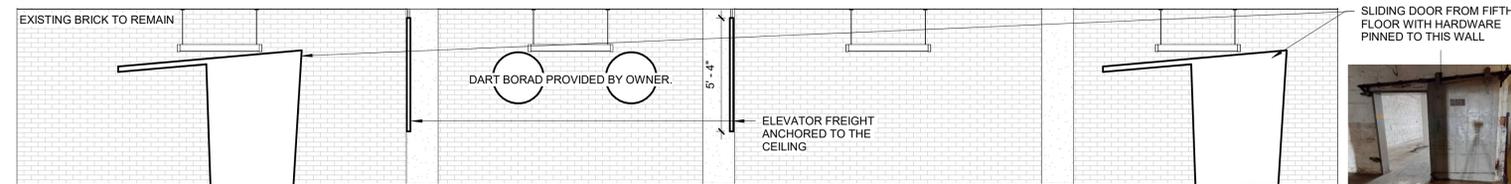
- NOTE: GRAPHICS ARE STANDARD, U.N.O. RE: SCHEDULES FOR ESTIMATED TAKE-OFFS.
- EXISTING WALL TO REMAIN.
  - NEW WALL TO BE CONSTRUCTED.
  - EXISTING DOORS TO REMAIN. (NOTE SOME NEW DOORS SHOWN AT 45 DEGREES AT DOOR SWING CONFLICTS)
  - NEW DOOR TO BE INSTALLED.
  - CONCRETE FLOOR INFILL.
  - SELF-LEVELING CONCRETE, EXPOSED, PREP AND SEAL.
  - FLOOR TO REMAIN, REPAIR AND SEAL.
  - HISTORIC MATERIALS.



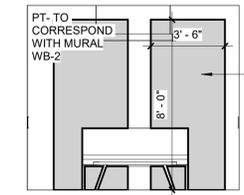
**5** 00\_LOWER LEVEL  
1/8" = 1'-0"



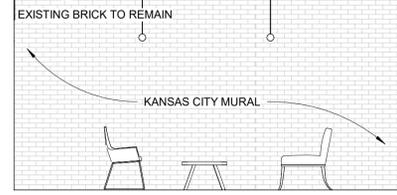
**4** CLUB ROOM SOUTH  
1/4" = 1'-0"



**3** CLUB ROOM NORTH  
1/4" = 1'-0"



**2** CR  
1/4" = 1'-0"



**1** CLUB ROOM ELEVATOR LOUNGE SOUTH  
1/4" = 1'-0"

CALEB BULLARD, ARCHITECT | MO 2000000509

**EXACT ARCHITECTS**  
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC  
KANSAS CITY, MISSOURI  
(816) 785-2265  
WWW.EXACTARCHITECTS.COM



**DEVELOPMENT PLANS**  
**ABC/ANDERSON APARTMENTS**

3244 MAIN ST, KANSAS CITY, MO 64111

APPLICANT:  
ANNIE ROUSE  
ANNIE@EXACTARCHITECTS.COM  
630-699-2329

ISSUE	DATE	NO
Development Plan	01.23.26	1
City Comments 01 & Development Plan Comments	02.12.26	2
Permit Set	09.12.25	0

FLOOR PLANS - LOWER FLOOR

**A1.00**

2/11/2026 11:42:57 AM

**GENERAL NEW PLAN NOTES:**

- A. SEE DEMOLITION FLOOR PLANS FOR EXISTING ITEMS TO REMAIN.
- B. AFTER DEMOLITION, REPAIR ALL SURFACES THAT WILL REMAIN EXPOSED TO VIEW TO A SMOOTH & UNIFORM APPEARANCE. NEW FINISHES AND REPAIR WORK SHALL MATCH EXISTING FINISHES. COORDINATE ANY AREAS OF CONCERN WITH ARCHITECT.
- C. REPAIR ALL DAMAGED EXISTING STRUCTURAL ELEMENTS FOUNDATION WALLS, BEARING WALLS, STRUCTURE (COLUMNS, BEAMS, JOISTS, FLOOR & ROOF DECKING), INFILL ALL VACATED FLOOR OPENINGS AND AREAS OF MISSING OR DAMAGED FINISH FLOORING. IN BASEMENT FILL ALL NEW & MISC FLOOR SLAB OPENINGS W/ MINIMUM 4" REINFORCED CONCRETE SLAB ON 6 MIL. VAPOR BARRIER ON MINIMUM 4" COMPACTED GRAVEL.
- D. REPAIR ALL DAMAGED MASONRY OR BLOCK INTERIOR WALLS AS REQUIRED. PATCH ALL INTERIOR HOLES SMALLER THAN A 1/2 BRICK IN SIZE W/ MORTAR. HOLES THE SIZE OF A 1/2 BRICK OR LARGER SHALL BE REPLACED W/ FULL SIZE MASONRY UNITS TO MATCH EXISTING. REPOINT ALL WALLS AS NEEDED. PATCH & REPAIR ALL MASONRY OR BLOCK WALL AREAS EXPOSED TO VIEW. RE: REFINISH SCHEDULE.
- E. CONSULT STRUCTURAL ENGINEER FOR ALL MASONRY & LINTEL WORK AS REQUIRED. LINTELS ARE LOCATED AT ALL FLAT HEAD MASONRY OPENINGS. REPLACE ALL DAMAGED & FAILED METAL LINTELS W/ NEW AS REQUIRED. HOT-DIPPED GALVANIZED FINISH AT EXTERIOR LOCATIONS. REPAIR ALL EXISTING LINTELS. WIRE BRUSH CLEAN & PAINT METALS EXPOSED TO VIEW. LINTEL COLOR TO MATCH ADJACENT EXISTING LINTELS. PAINT ALL METALS, 1 PRIME COAT & 2 FINISH COATS, SEMI-GLOSS.
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- G. REFER TO DOOR SCHEDULE FOR DOOR & HARDWARE REQUIREMENTS. THE HINGE SIDE OF DOOR JAMBS SHALL BE 4" FROM THE ADJACENT WALL, U.N.O.
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**NEW PLAN LEGEND**

- NOTE: GRAPHICS ARE STANDARD, U.N.O.  
RE: SCHEDULES FOR ESTIMATED TAKE-OFFS.
- EXISTING WALL TO REMAIN.
  - NEW WALL TO BE CONSTRUCTED.
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  - NEW DOOR TO BE INSTALLED.
  - CONCRETE FLOOR INFILL.
  - SELF-LEVELING CONCRETE, EXPOSED. PREP AND SEAL.
  - FLOOR TO REMAIN, REPAIR AND SEAL.

**MATERIAL & LANDSCAPE LEGEND:**

- ESTIMATED TAKE-OFFS FROM PLANS:
- EXISTING SURFACE TO REMAIN. RE: CIVIL DRAWINGS FOR SCOPES AND MATERIALS.
  - NEW - EXTERIOR 5" CONCRETE SLAB, 4" GRAVEL BASE EXPOSED - FINISH LEVEL.
  - COMPACT EXISTING GRAVEL, TOP WITH 3" ASPHALT BASE AND 1.5" ASPHALT SURFACE.

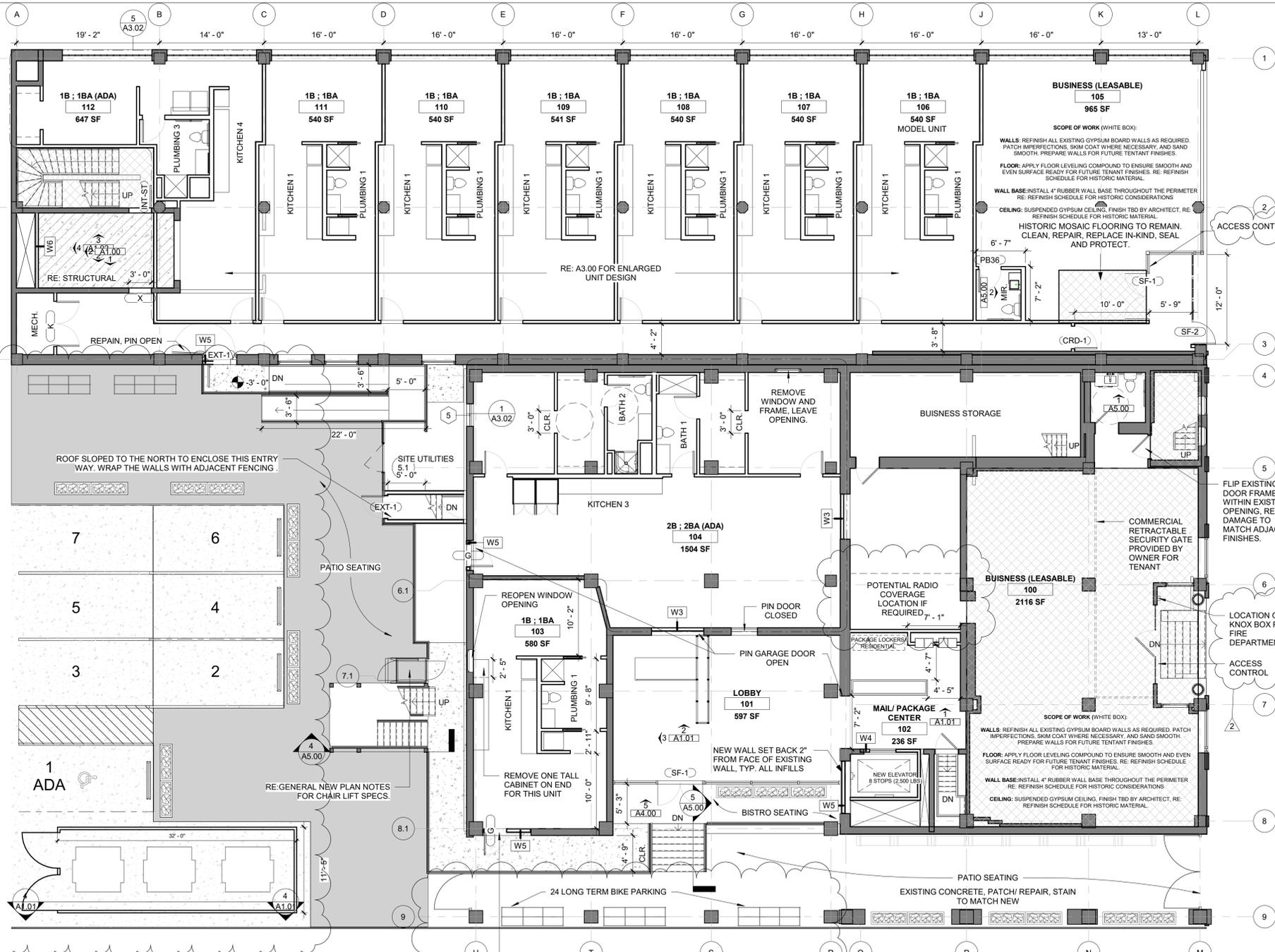
**PARKING COUNT**

10 STANDARD
1 ADA REQUIRED
<b>11 TOTAL</b>

NOTE: PROPOSED SHARED USE AGREEMENT FOR OFF-SITE PARKING ACROSS MAIN ST.

**RESIDENTIAL UNIT COUNT**

NAME	COUNT	AREA
1B : 1BA	25	13775 SF
1B : 1BA (ADA)	1	647 SF
2B : 2BA	25	26135 SF
2B : 2BA (ADA)	1	1504 SF
<b>TOTAL</b>	<b>52</b>	<b>42061 SF</b>



**5 | 01\_FIRST FLOOR**  
1/8" = 1'-0"

**EXACT ARCHITECTS**  
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC  
KANSAS CITY, MISSOURI  
(816) 785-2265  
WWW.EXACTARCHITECTS.COM



**DEVELOPMENT PLANS**  
**ABC/ANDERSON APARTMENTS**  
3244 MAIN ST, KANSAS CITY, MO 64111

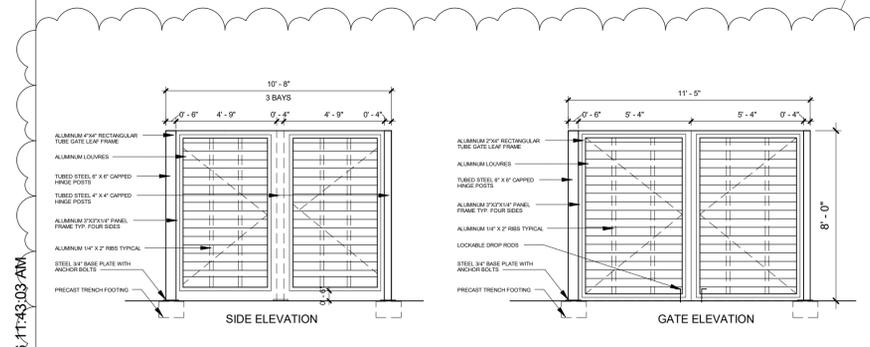
APPLICANT:  
ANNIE ROUSE  
ANNIE@EXACTARCHITECTS.COM  
630-699-2329

ISSUE	DATE	NO
Development Plan	01.23.26	1
City Comments 01 & Development Plan Comments	02.12.26	2
Permit Set	09.12.25	0

FLOOR PLANS - FIRST FLOOR

**A1.01**

2/11/2026, 11:43:03 AM



**4 DUMPSTER ENCLOSURE DETAIL**  
1/4" = 1'-0"

**3 LOBBY WEST**  
1/4" = 1'-0"

**2 LOBBY NORTH**  
1/4" = 1'-0"

**1 PACKAGE LOCKERS**  
1/4" = 1'-0"

GENERAL NEW PLAN NOTES:

- A. SEE DEMOLITION FLOOR PLANS FOR EXISTING ITEMS TO REMAIN.
- B. AFTER DEMOLITION, REPAIR ALL SURFACES THAT WILL REMAIN EXPOSED TO VIEW TO A SMOOTH & UNIFORM APPEARANCE. NEW FINISHES AND REPAIR WORK SHALL MATCH EXISTING FINISHES, COORDINATE ANY AREAS OF CONCERN WITH ARCHITECT.
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- N. REFRIGERANT PIPING TO BE CONCEALED WITHIN CONSTRUCTION. ALL DOMESTIC WATER PIPING TO BE CONCEALED WITHIN CONSTRUCTION. PLUMBING WASTE PIPING TO BE CONCEALED WITHIN CONSTRUCTION TO FULLEST EXTENT POSSIBLE. ALL EXPOSED PLUMBING WASTE PIPING TO BE CAST IRON. INSTALL INSULATION ON ALL PIPING PRONE TO CONDENSATION (PAINTABLE COVERS AT EXPOSED INSULATION). FIRE SPRINKLER PIPING EXPOSED TO VIEW TO BE METAL TYPE. ELECTRICAL SYSTEMS TO BE CONCEALED WITHIN CONSTRUCTION TO THE FULLEST EXTENT POSSIBLE. ALL EXPOSED WIRING, SHALL BE ENCLOSED IN CONDUIT.
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- P. INSTALL NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT ENTIRE BUILDING, AS REQUIRED BY CODE. METALLIC PIPE TYPE WHERE EXPOSED. INCLUDE SPRINKLERING OF CONCEALED AREAS WHERE REQUIRED BY CODE. SPRINKLER SYSTEM SHALL BE MONITORED BY A PROPRIETARY SUPERVISING STATION (ALARM COMPANY). DESIGN-BUILD SUBCONTRACTOR TO SUBMIT REQUIRED DRAWINGS TO CITY CODE DEPARTMENT AS A DEFERRED SUBMITTAL. INSTALL ESCUTCHEONS AT ALL PENETRATIONS. ALL TRIM & HEADS BRUSHED CHROME FINISH.
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- R. INSTALL IN-WALL BLOCKING AS REQUIRED TO SECURELY ANCHOR CABINETS, TOILET ACCESSORIES, SHELVING, HANDRAILS, SHOWER ACCESSORIES, ETC.
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- V. INSTALL 1 MRL TYPE ELEVATOR SYSTEM IN ITS ENTIRETY. INCLUDE HOIST BEAM, STEEL SUPPORTS, GUIDE RAIL BEAMS, SUMP PIT, PIT LADDERS, ETC WHERE REQUIRED BY MANUFACTURER. ALSO INCLUDE IBC 2018 SECTION 3001.2 "EMERGENCY ELEVATION COMMUNICATION SYSTEMS FOR THE DEAF, HARD OF HEARING AND SPEECH IMPAIRED" (A FULLY ACCESSIBLE VISUAL, TEXT-BASED & VIDEO-BASED LIVE INTERACTIVE SYSTEM). ELEVATOR MANUFACTURED BY 'KONE', OR APPROVED EQUAL, MONOSPACE 500 MODEL DX, 2,500 LB CAPACITY, SPEED 150 (CAB INTERIOR CLEARANCES MEETING 2018 IBC STRETCHER REQUIREMENT), 8'-0" CAR HEIGHT AND 7'-0" ENTRANCE HEIGHT. CAB FLOORS: ALUM. DIAMOND PLATE, MILL FINISH.
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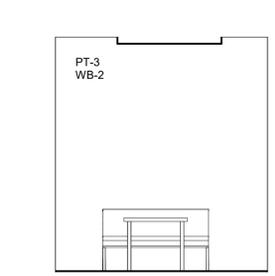
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  - HISTORIC MATERIALS

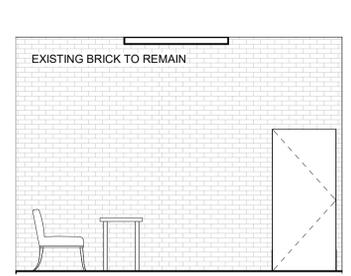
RESIDENTIAL UNIT COUNT		
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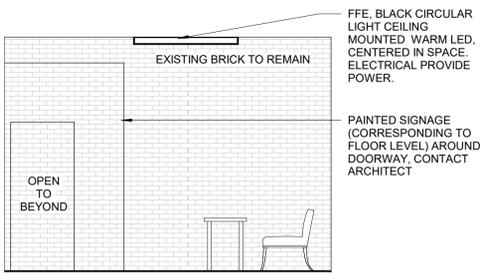
5 | 02\_SECOND FLOOR  
1/8" = 1'-0"



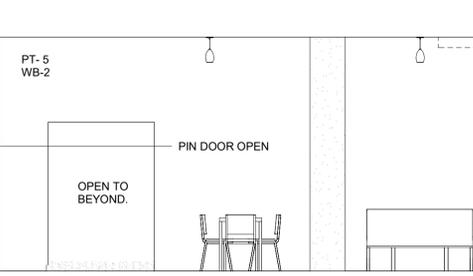
4 | ELEVATOR SHAFT LOUNGE  
1/4" = 1'-0"



3 | ELEVATOR SHAFT NORTH  
1/4" = 1'-0"



2 | ELEVATOR LOUNGE SOUTH  
1/4" = 1'-0"



1 | COFFEE LOUNGE NORTH  
1/4" = 1'-0"

FFE, BLACK CIRCULAR LIGHT CEILING MOUNTED WARM LED, CENTERED IN SPACE ELECTRICAL PROVIDE POWER.

PAINTED SIGNAGE (CORRESPONDING TO FLOOR LEVEL) AROUND DOORWAY, CONTACT ARCHITECT

FFE, ARTIFICIAL SKYLIGHT CENTERED IN COLUMN LINES. ELECTRICAL PROVIDE POWER.

FREIGHT ELEVATOR GATE CUT DOWN AND MOUNTED TO WALL

BASE CABINET AND COUNTERTOP TO MATCH IN UNIT



ISSUE	DATE	NO
Development Plan	01.23.26	1
City Comments 01 & Development Plan	02.12.26	2
Comments		
Permit Set	09.12.25	0





ISSUE	DATE	NO
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**GENERAL NEW PLAN NOTES:**

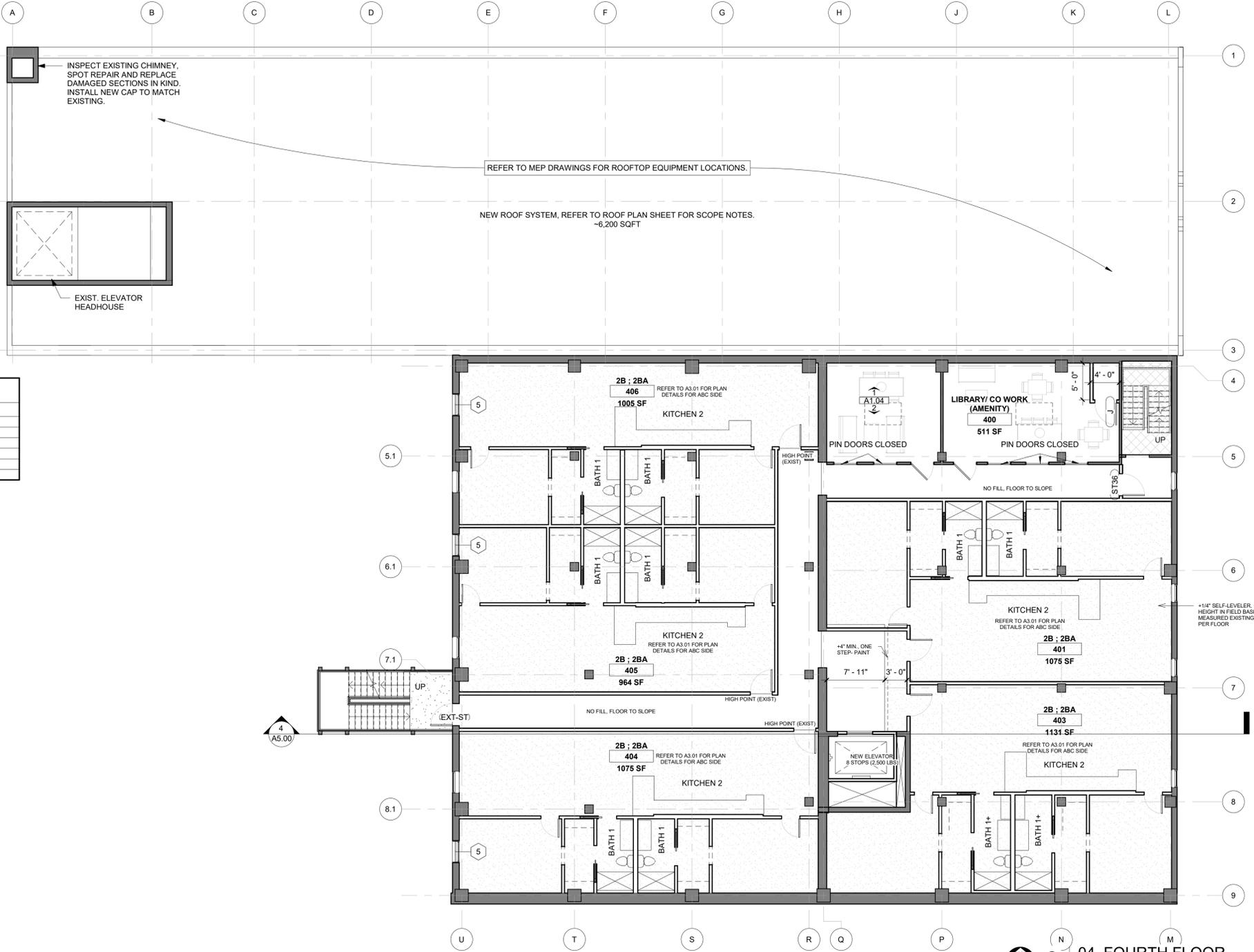
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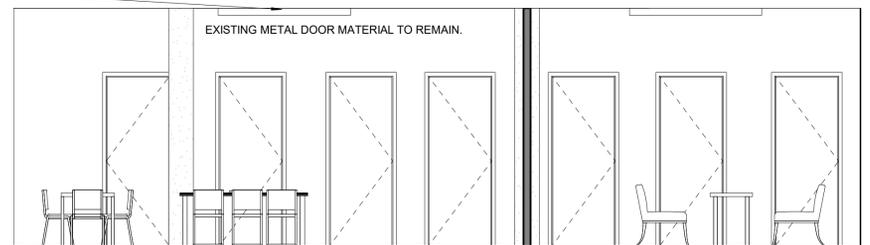
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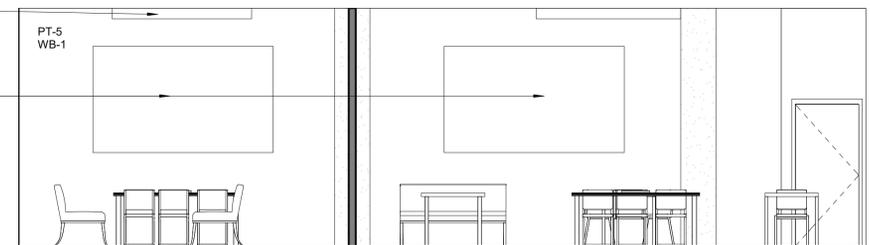


FFE, ARTIFICIAL SKYLIGHT. ELECTRICAL PROVIDE POWER.



**2 | LIBRARY/ CO WORKING SOUTH**  
 1/4" = 1'-0"

FFE, ARTIFICIAL SKYLIGHT. ELECTRICAL PROVIDE POWER.



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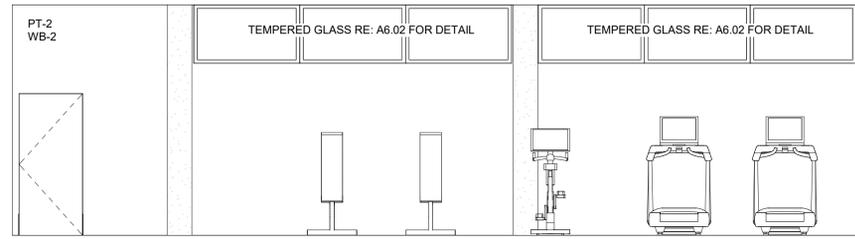
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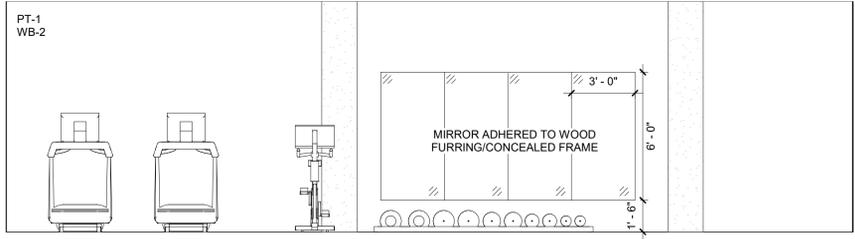
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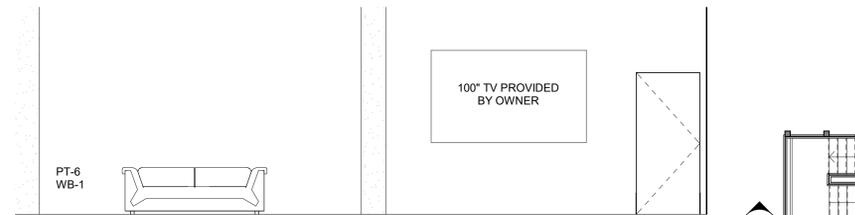
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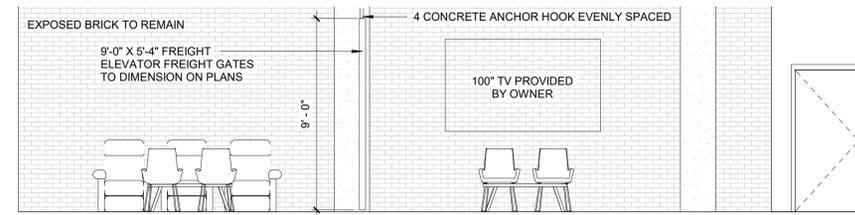
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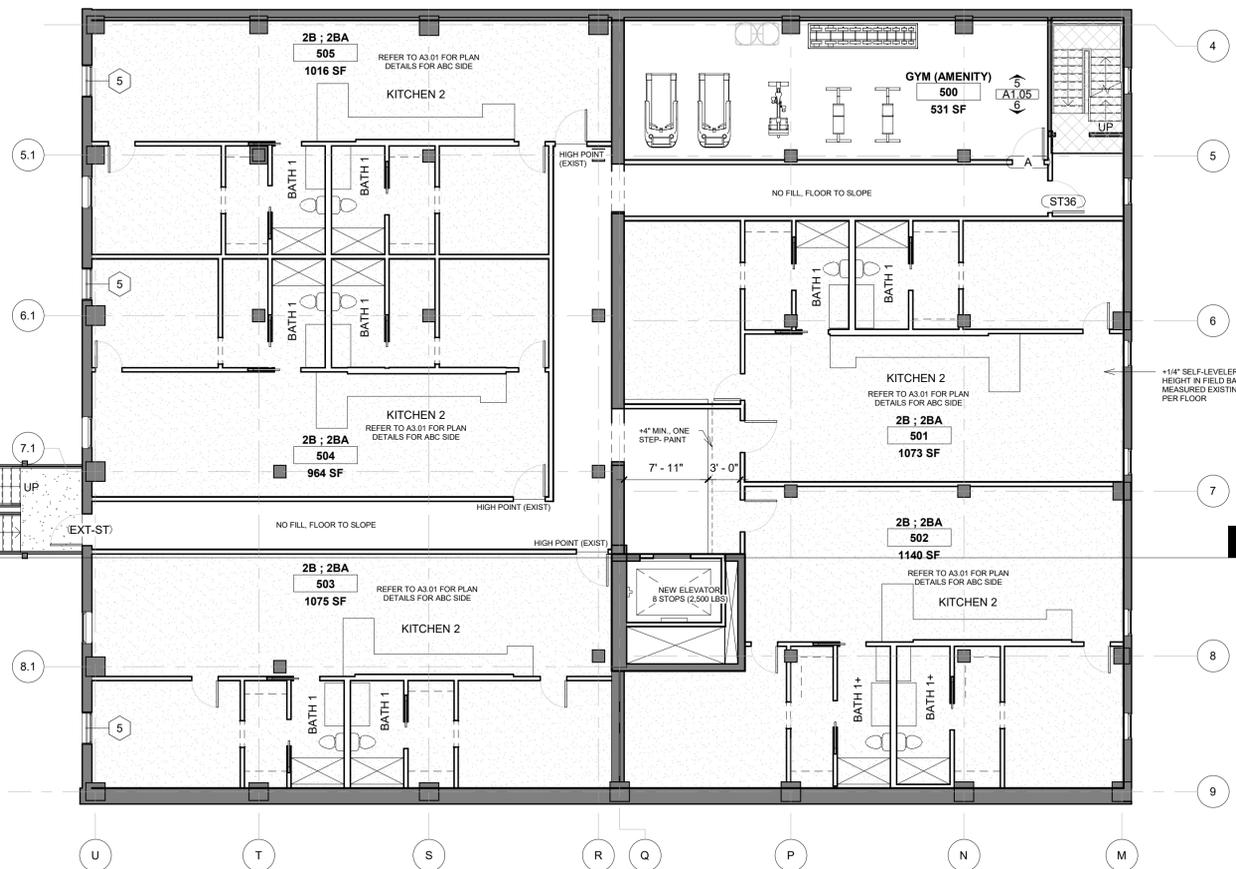
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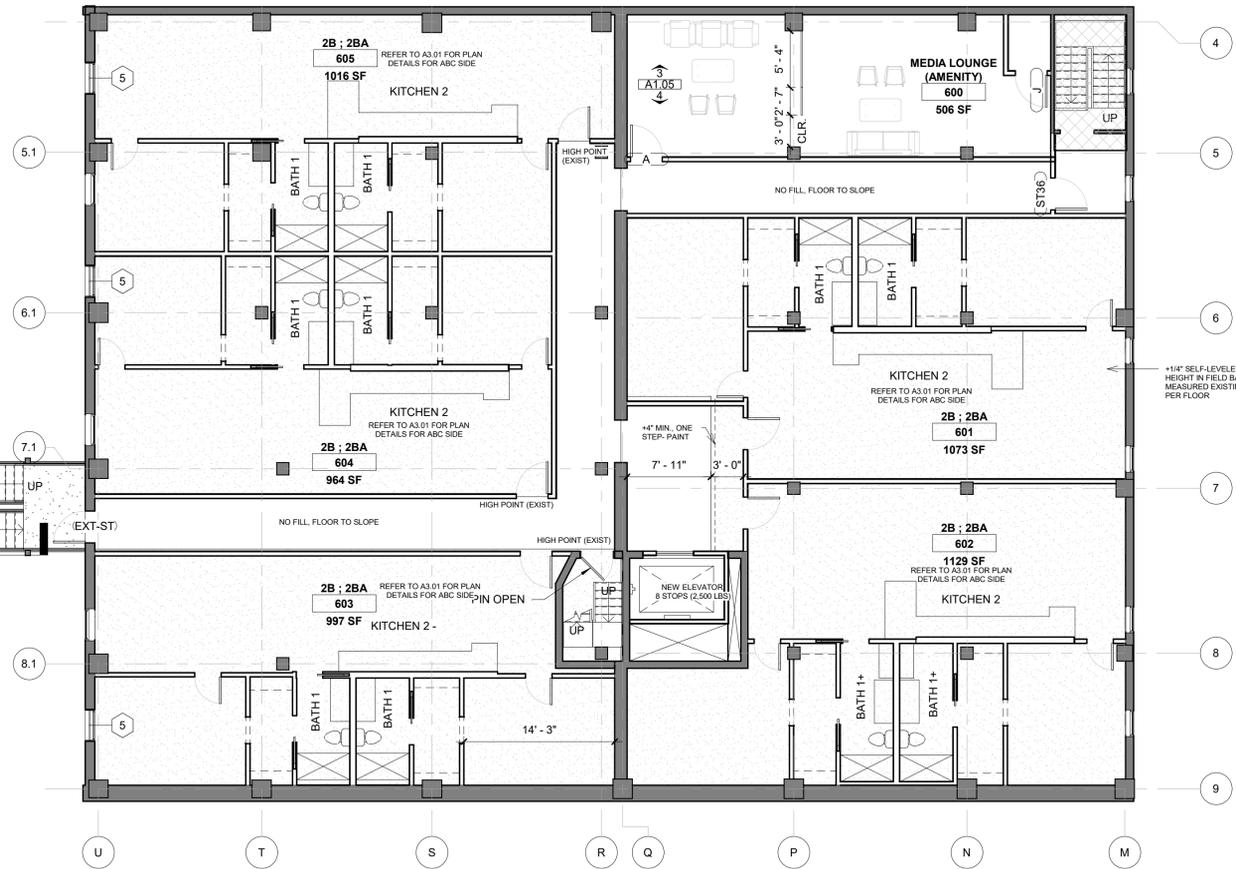
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**05\_FIFTH FLOOR**  
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**06\_SIXTH FLOOR**  
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CALEB BULLARD, ARCHITECT | NO 2000005509

**EXACT ARCHITECTS**  
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC  
KANSAS CITY, MISSOURI  
(816) 785-2265  
WWW.EXACTARCHITECTS.COM



**DEVELOPMENT PLANS**  
**ABC/ANDERSON APARTMENTS**

3244 MAIN ST, KANSAS CITY, MO 64111

APPLICANT:  
ANNIE ROUSE  
ANNIE@EXACTARCHITECTS.COM  
630-699-2329

ISSUE	DATE	NO
Development Plan	01.23.26	1
City Comments 01 & Development Plan Comments	02.12.26	2
Permit Set	09.12.25	0

FLOOR PLANS - FIFTH & SIXTH FLOOR

**A1.05**

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ISSUE	DATE	NO
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**GENERAL REFLECTED CEILING PLAN NOTES:**

1. THE DESIGN INTENT IS TO CONCEAL ALL PIPE, CONDUIT, AND DUCT LINES ABOVE A FINISHED SOFFIT/CEILING OR WITHIN WALL/CHASES (U.N.O.) AT SPECIFIC LOCATIONS WHERE EXISTING CEILING STRUCTURE IS TO REMAIN EXPOSED OR WHERE CONCEALMENT IS INFEASIBLE DUE TO THE LOCATION OF HISTORIC FABRIC (WALLS TO REMAIN, ETC.). INSTALL ALL REQUIRED EXPOSED PIPING, CONDUIT AND DUCTWORK IN A NEAT, ORDERLY AND THOUGHTFUL MANNER TIGHT TO UNDERSIDE OF FLOOR SLABS AND FACES OF WALLS. EXPOSED PIPE, CONDUIT, AND DUCTWORK SHALL BE A METALLIC FINISH. COORDINATE ANY AREAS OF CONCERN WITH ARCHITECT PRIOR TO ROUTING AND INSTALLATION.
2. THE EXPECTED OUTCOME OF MEP WORK IS A CODE COMPLIANT COMPLETE INSTALL WITH NEAT AND ORDERLY ROUTING. PROPOSED MEP DESIGNS OF ALL SYSTEMS SHALL COMPLY WITH THE EXISTING BUILDING CONDITIONS AND THE FINISHED ARCHITECTURAL DESIGN SHOWN IN THIS SET OF DRAWINGS. PROPOSED MEP DESIGNS SHALL BE COORDINATED WITH ALL SUB-CONTRACTOR TRADES.
3. MECHANICAL: COORDINATE ALL CLEARANCE AND INSTALLATION REQUIREMENTS WITH THE MEP CONTRACTOR AND EQUIPMENT MANUFACTURER. ROUTE ALL LINE SETS WITHIN WALLS AND ABOVE CEILINGS / SOFFITS WHERE THEY OCCUR.
4. SPRINKLER SYSTEM (DELEGATED DESIGN): COORDINATE INSTALLATION WITH HISTORIC FINISHES AND CEILINGS SCHEDULED TO REMAIN. PATCH AND REPAIR SURFACES AND MATERIALS DISTURBED OR REMOVED TO MATCH ADJACENT TO REMAIN. PROVIDE SIDEWALL HEADS WITHIN SOFFITS AND RECESSED PENDANT SPRINKLER HEADS AT DROPPED CEILING LOCATIONS, WHITE FINISH. WHERE EXPOSED, PROVIDE NEAT AND ORDERLY SPRINKLER HEADS AND METALLIC PIPE ROUTING.
5. FINISH EXPOSED FACE OF SOFFITS UP TO DECK WITH GYPSUM BOARD. ALL LOCATIONS. REPAIR ALL PLASTER CEILINGS SCHEDULED TO REMAIN TO MATCH EXISTING.
7. REFER TO EXISTING AND NEW FLOOR PLANS FOR AREAS OF CEILING DETERIORATION THAT SHALL BE PATCHED AND REPAIRED IN CONJUNCTION WITH NEW WORK. FIELD WALK IS REQUIRED PRIOR TO BIDDING TO BETTER QUANTIFY SCOPE OF WORK.
8. THE EXISTING STRUCTURE IS NOT SHOWN ON THE DRAWINGS FOR CLARITY. FIELD VERIFY AND INSTALL PER DESIGN INTENT, NOTIFY ARCHITECT OF DISCREPANCIES OR CONFLICTS WITH STRUCTURE PRIOR TO FRAMING OR CORE DRILLING.
9. ALL EXISTING HISTORIC CEILING STRUCTURES AND FINISHES SCHEDULED TO REMAIN EXPOSED SHALL BE PROTECTED / REFINISHED WHERE APPLICABLE. CEILING REFINISH WORK INCLUDES EXISTING SURFACE CLEANING, SEALING, PATCHING/REPLACING IN-KIND, SURFACE PREP FOR NEW PAINT FINISH, AND PROTECTION DURING CONSTRUCTION. ROUTE ALL EXPOSED DUCTWORK TIGHT TO WALLS AND CEILINGS, WHERE POSSIBLE. HEIGHT OF ROUTING TO BE COORDINATED WITH MECHANICAL PLANS AND SUPPLY REQUIREMENTS. MAINTAIN AN 8'-0" CLEARANCE FROM EXTERIOR WINDOWS WHERE VISIBLE FROM EXTERIOR, PER NATIONAL PARK SERVICE REQUIREMENTS.

**CEILING FINISH LEGEND:**

CONTRACTOR IS RESPONSIBLE FOR BIDDING A COMPLETE TAKE-OFF, INCLUDING ALL UNITS. RE: SCHEDULE FOR ESTIMATE TAKE-OFF. PRODUCTS ARE BASIS OF DESIGN, ALTERNATES MUST BE REVIEWED AND APPROVED BY ARCHITECT.

- GYP. BOARD, PAINTED**  
5/8" TYPE 'C' ATTACHED TO UNDERSIDE OF NEW FRAMING OR GRID
- EXISTING CEILING TO REMAIN**  
CONCRETE CEILINGS TO BE PAINTED RE-FINISH SCHEDULE

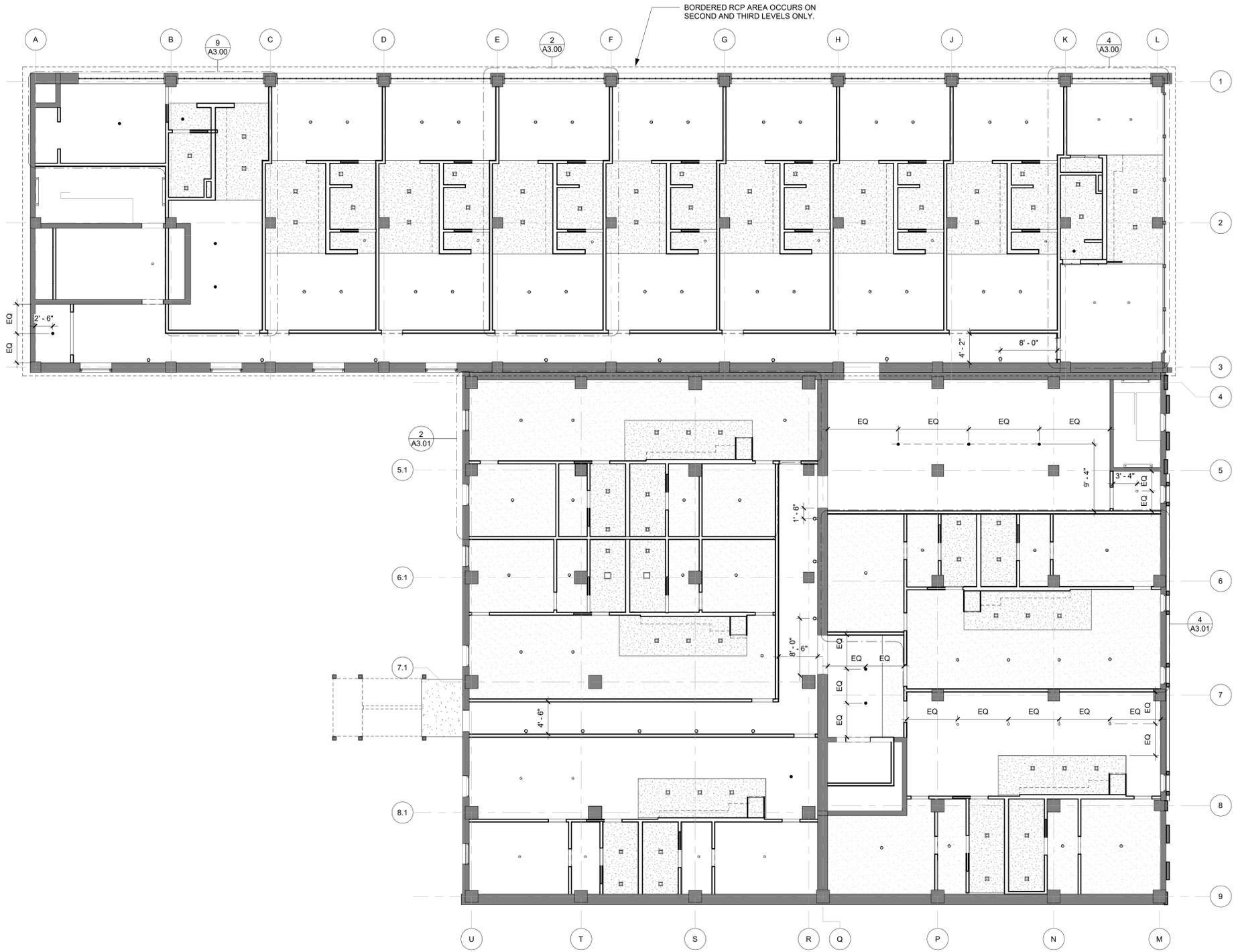
**LIGHT FIXTURE SCHEDULE:**

PRODUCTS ARE BASIS OF DESIGN, ALTERNATES MUST BE REVIEWED AND APPROVED BY ARCHITECT.

- LOW-PROFILE LED SQUARE LIGHT**  
HLB 6 INCH SQUARE WHITE NEW CONSTRUCTION OR REMODEL CANLES RECESSED INTEGRATED LED KIT WARM 3000K.
- BATHROOM VANITY FIXTURE**  
36 INCH FRAMLESS BACKLIT ANTI-FOG GROUND LED MIRROR.
- LINEAR LED PENDANT**  
PROGRESSIVE LIGHT, PMIVT-4-LS- CS 4' STRIP LINEAR LED FIXTURE.
- HIGH-PROFILE ROUND PENDANT LIGHT**  
PROGRESSIVE LIGHT QUOIZEL PICCOLO 1- LIGHT MINI PENDANT IN MATTE BLACK, 8 INCH.
- WALL WASH SCONCE**  
KICAAO MODERN WALL SCONCE LED MODERN LIGHTS SUITABLE FOR INDOOR WARM LIGHT 3000K.

**ESTIMATE LIGHTING TAKE-OFF:**

- 1B ; 1BA | 8 FIXTURES
- 1B ; 1BA (ADA) | 9 FIXTURES
- 2B ; 2BA | 14 FIXTURES
- 2B ; 2BA (ADA) | 9 FIXTURES



**1** | 02\_SECOND THROUGH SIXTH REFLECTED CEILING PLAN  
 1/8" = 1'-0"

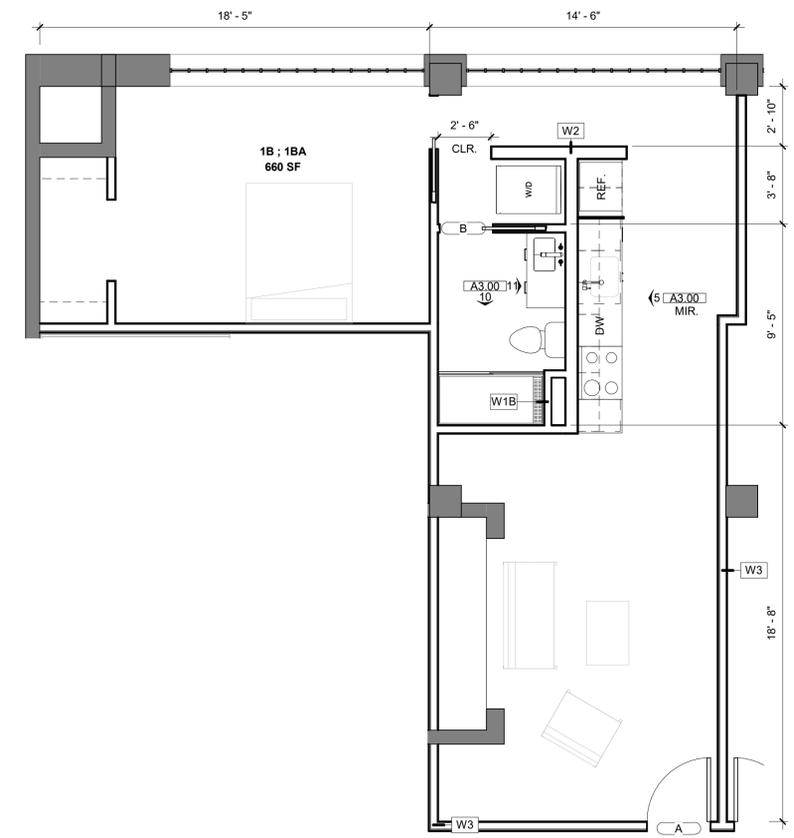


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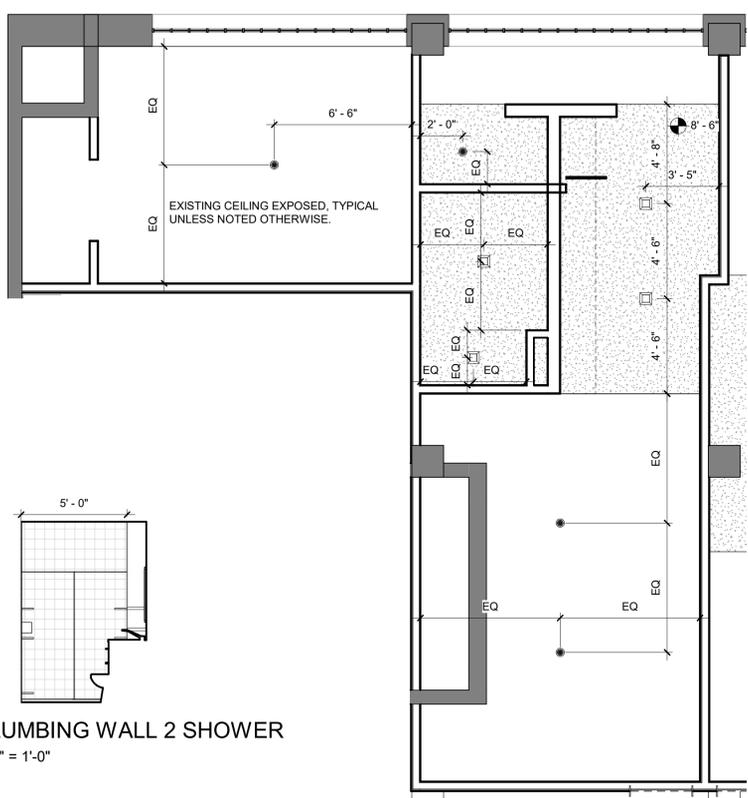
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ENLARGED UNIT DESIGN - ONE BED

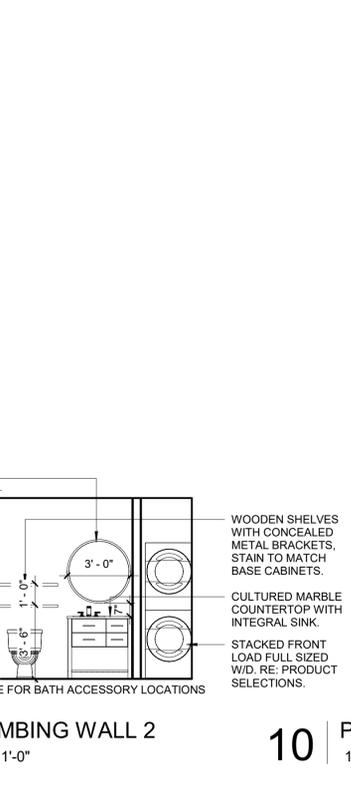
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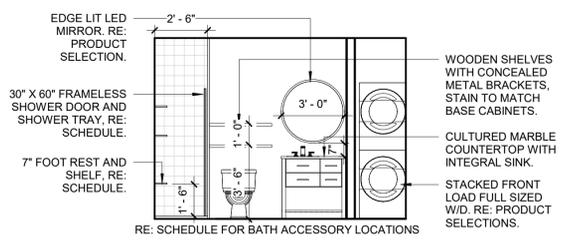
**8** ONE BED TYPICAL UNIT DESIGN 3  
1/4" = 1'-0"



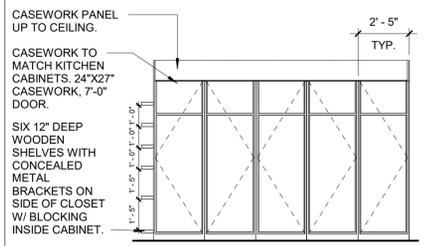
**9** ONE BED TYPICAL UNIT DESIGN 3 RCP  
1/4" = 1'-0"



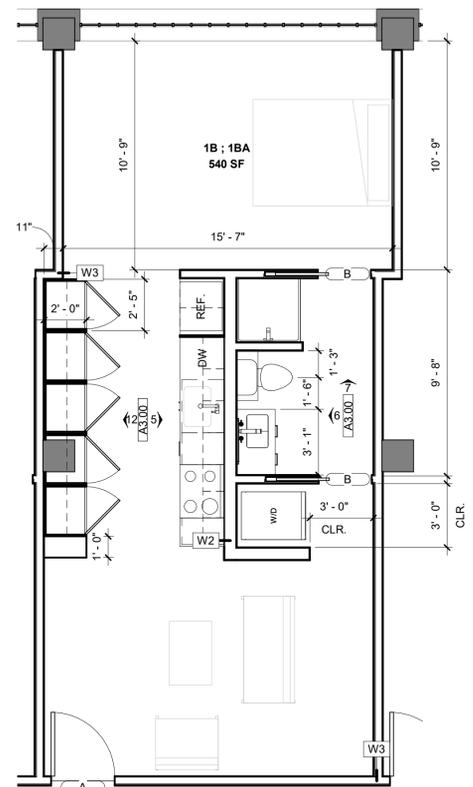
**10** PLUMBING WALL 2 SHOWER  
1/4" = 1'-0"



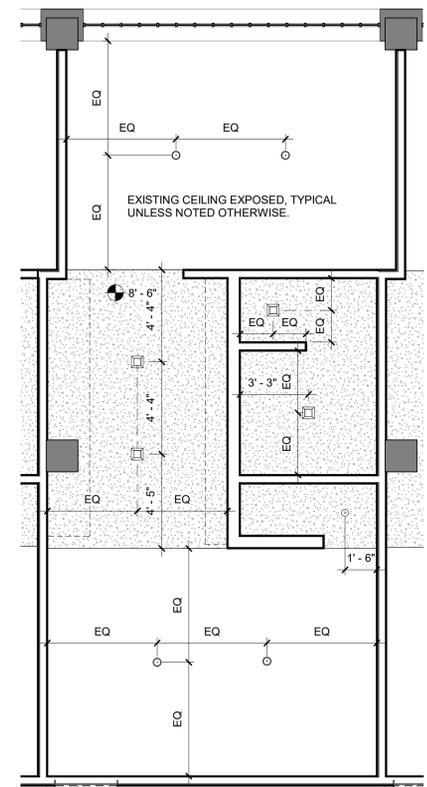
**11** PLUMBING WALL 2  
1/4" = 1'-0"



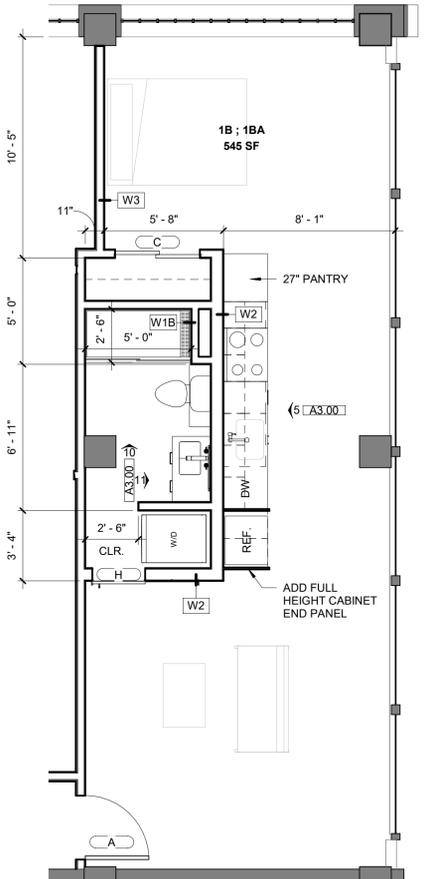
**12** CLOSET 1  
1/4" = 1'-0"



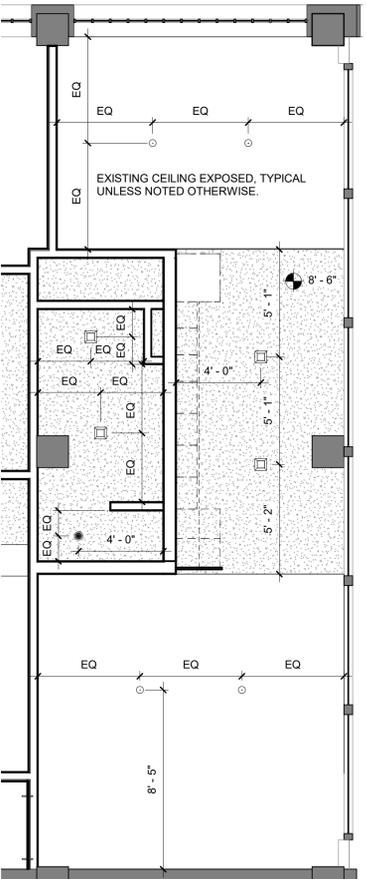
**1** ONE BED TYPICAL UNIT DESIGN 1  
1/4" = 1'-0"



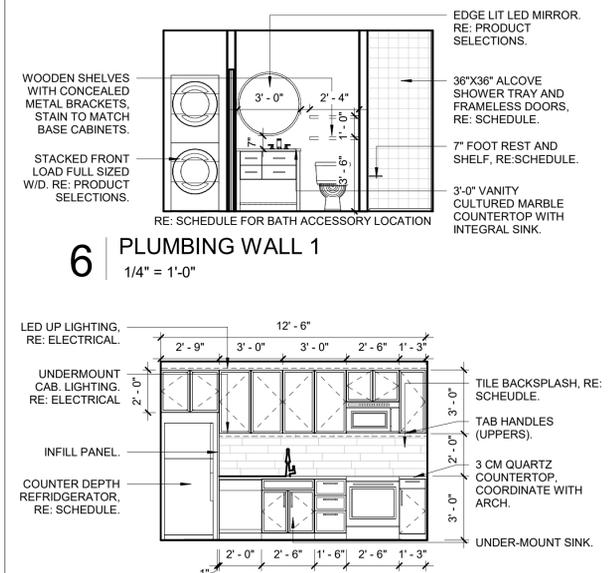
**2** ONE BED TYPICAL UNIT DESIGN 1 RCP  
1/4" = 1'-0"



**3** ONE BED TYPICAL UNIT DESIGN 2  
1/4" = 1'-0"



**4** ONE BED TYPICAL UNIT DESIGN 2 RCP  
1/4" = 1'-0"



**5** KITCHEN 1  
1/4" = 1'-0"

**7** PLUMBING WALL 1 SHOWER  
1/4" = 1'-0"

**6** PLUMBING WALL 1  
1/4" = 1'-0"

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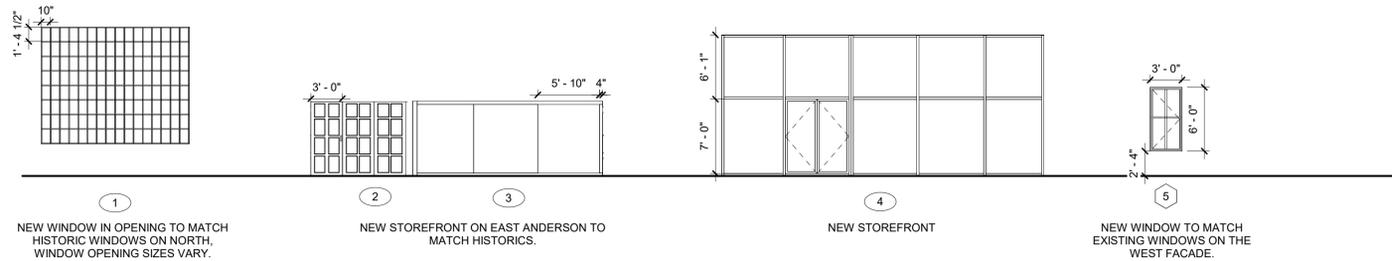




**GENERAL EXTERIOR ELEVATION NOTES:**

- REMOVE FROM THE BUILDING ELEVATIONS ALL MEP SYSTEMS, ELEC. SERVICE, FIXTURES, CONDUIT, ETC NOT SHOWN TO BE REUSED (ALL ITEMS NOT IDENTIFIED FOR CLARITY). REMOVE ALL VACATED HANGERS, RODS, BOLTS, SCREWS, ETC TO A DEPTH OF 3" MINIMUM. DISPOSE OF ALL ITEMS AS REQUIRED. PATCH & REPAIR ALL DAMAGED AREAS TO MATCH ADJACENT APPEARANCE. SEE DEMOLITION PLANS & MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL NEW WINDOWS AND STOREFRONT SHALL BE INSTALLED TO HISTORIC BUILDING STANDARDS OF THE DEPARTMENT OF THE INTERIOR. ALL GLAZING SHALL BE CLEAR, INSULATED MODERATE-SOLAR-GAIN LOW-E TYPE, W/ PERIMETER FLAT BLACK SPACERS. WINDOWS SHALL BE THERMALLY BROKEN TYPE. AT INTERIOR PERIMETER OF EXISTING / ORIGINAL WINDOW OPENINGS (HEAD, JAMB & SILL) INSTALL WOOD TRIM TO MATCH EX SIZE, PROFILE, DETAILING, ETC., PAINT TO MATCH WINDOW. FABRICATE EACH WINDOW TO CUSTOM SIZE AS REQUIRE FOR EACH MASONRY OPENING. DO NOT STANDARDIZE WINDOW SIZES. PROVIDE COMPLETE SHOP DRAWING PACKAGE W/ NEW WINDOW DETAILS ADJACENT TO EX WINDOW DETAILS (WHERE REPLICATING), INCLUDING EXTERIOR & INTERIOR TRIM, FOR ARCHITECT'S & STATE HISTORIC PRESERVATION OFFICER'S APPROVAL. ALL NEW GLAZING SHALL BE SAFETY GLAZING TYPE WHERE REQUIRED BY CODE.
- EX EXTERIOR WALLS ARE VENEER BRICK, CMU & STONE (SILLS, HEADS, BANDING, PARAPET COPING, ORNAMENTATION, BRACKETS, ETC.). ALL FLAT HEAD MASONRY OPENINGS INCLUDE METAL LINTELS. INCLUDE MASONRY WORK AT MISC. EXTERIOR WALL AREAS NOT SHOWN, I.E. BACK SIDE OF PARAPETS; SMALL PORTIONS (RECESSED ENTRIES, ETC) OF EXTERIOR ELEVATIONS NOT SHOWN, ETC.
- CLEAN EX BRICK/GLASS BLOCK. REPLACE ALL DAMAGED, SPALDED, & MISSING UNITS. REPLACE NON-MATCHING UNITS. PATCHING OF SMALL (1" DIA. MAX.) HOLES IS ACCEPTABLE. REPOINT ALL BRICK WALL & SILL JOINTS AS REQUIRED. ALL REPLACEMENT & INFILL BRICK SHALL BE TOOTHED-IN SOLID FULL DEPTH OF WALL, U.N.O. TEXTURE, SIZE, FINISH, COLOR, DETAILING, STRENGTH, ETC. OF NEW BRICK, PATCHES & MORTAR TO MATCH EXISTING. SUBMIT SAMPLES OF REPLACEMENT BRICK, PATCHES & MORTAR FOR ARCHITECT'S APPROVAL. MULTIPLE BRICK & MORTAR COLORS SHALL BE ANTICIPATED.
- CLEAN EX STONE. REPLACE ALL DAMAGED, SPALDED & MISSING STONE UNITS. PATCHING OF SMALL (1" DIA. MAX.) HOLES & CRACKS IS ACCEPTABLE. REPOINT ALL STONE JOINTS AS REQUIRED. REPOINT ALL SKYWARD FACING SILLS, BANDING, ORNAMENTATION, PARAPET COPING, ETC. JOINTS BY PACKING, CAULKING, TOOLING & SAND IMPREGNATING JOINTS TO MATCH EX MORTAR JOINT. REPLACEMENT & INFILL STONE UNITS SHALL BE STONE OR CAST STONE. TEXTURE, SIZE, FINISH, COLOR, JOINT PATTERN, DETAILING, STRENGTH, ETC. OF NEW STONE, PATCHES & MORTAR TO MATCH EXISTING. SUBMIT SAMPLES OF NEW UNITS, PATCHES & MORTAR FOR ARCHITECT'S APPROVAL. MULTIPLE STONE & MORTAR COLORS SHALL BE ANTICIPATED.
- MASONRY CLEANING & REPOINTING: ALL MASONRY SURFACES SHALL BE CLEANED W/ VERY-LOW-PRESSURE WATER SPRAY. MASONRY SHALL BE CLEANED W/ DETERGENTS / MILD CHEMICALS. CLEANING STANDARD: CLEAN TO FULLEST EXTENT. UTILIZING PRODUCTS APPROVED BY NPS, WITHOUT DAMAGING MASONRY. MASONRY CLEANING SHALL BE COMPLETED PRIOR TO WINDOW & DOOR RELATED WORK. ALL MASONRY CLEANING UNDERTAKEN SHALL BE PERFORMED AS PER DEPARTMENT OF THE INTERIOR PRESERVATION BRIEF 1 - "ASSESSING CLEANING & WATER-REPELLENT TREATMENTS FOR HISTORIC MASONRY BUILDINGS". ALL MORTAR REPOINTING SHALL BE PERFORMED AS PER DEPARTMENT OF THE INTERIOR PRESERVATION BRIEF 2 - "REPOINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS".
- EXISTING AREAS OF PAINTED BRICK TO BE PREPPED, AND RE-PAINTED.
- ALL BRICK & STONE REPLACEMENT IS TO BE TOOTHED-IN TO MATCH ADJACENT WALL APPEARANCE. ALL MASONRY INFILL TO MATCH EX WALL THICKNESS, U.N.O. ALL NEW BRICK & STONE TO MATCH EX COLOR, TEXTURE, SIZE, ETC.. PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL.
- LINTELS ARE LOCATED AT ALL FLAT HEAD MASONRY OPENINGS. REPLACE ALL DAMAGED / FAILING LINTELS. REPLACEMENT LINTELS TO BE HOT-DIPPED GALVANIZED FINISH. WIRE BRUSH CLEAN ALL EX LINTELS PRIOR TO PAINTING. PAINT ALL LINTELS, 1 PRIME COAT & 2 FINISH COATS, SEMI-GLOSS. PAINT COLORS TO MATCH ADJACENT MASONRY HEAD COLOR.
- CAULK ALL WINDOW, STOREFRONT & DOOR SILLS, JAMBS & HEADS AS REQUIRED FOR WATERPROOF PERFORMANCE. COLOR TO MATCH ADJACENT WINDOW, STOREFRONT OR DOOR FRAME SURFACE COLOR. CAULK ALL OTHER EXTERIOR WALL PENETRATIONS, COLOR TO MATCH ADJACENT MASONRY COLOR.
- CAULK / RECAULK AT ALL EXTERIOR WALL / PAVING (CONCRETE, PAVING, ASPHALT, ETC.) JOINTS.

**WINDOW TYPES**



**EXTERIOR ELEVATION SCOPE OF WORK NOTES:**

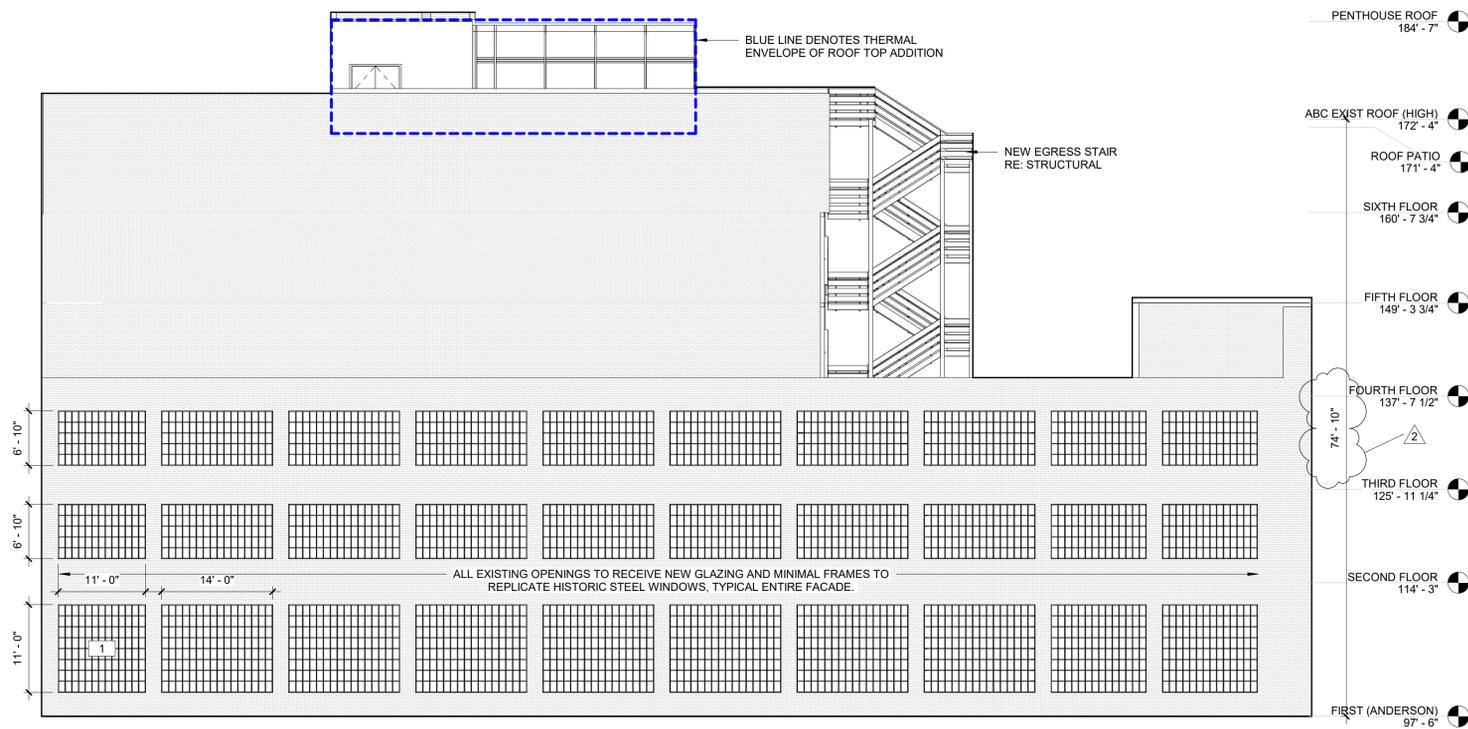
- PROVIDE LOW-E FILM COATING AT ALL EXISTING EXTERIOR WINDOW AND DOOR GLAZING. PROVIDE SAMPLE OF INSTALLATION FOR NATIONAL PARK SERVICE REVIEW AND APPROVAL.
- REPAIR DAMAGED SECTIONS OF PAINTED DECORATIVE METAL CORNICE AND BRACKETS. PREP, PRIME AND RE-PAINT.
- EXISTING LOADING DOCK AWNING AND STEEL SUPPORT STRUCTURE. REPLACE STANDING SEAM METAL AWNING COVER AND GUTTER SYSTEM. REPAIR STEEL ANGLE SUPPORT AS NEEDED. PREP, PRIME AND PAINT STEEL STRUCTURE PRIOR TO NEW ROOF COVER INSTALLATION.
- EXIST. CLAY TILE PARAPET COPING. REPAIR/REPLACE DAMAGED UNITS. RESET AND REPOINT AFTER NEW ROOF SYSTEM INSTALLATION.
- REPLACE GUTTER AND DOWNSPOUT - FINISH TO MATCH ADJACENT MASONRY.



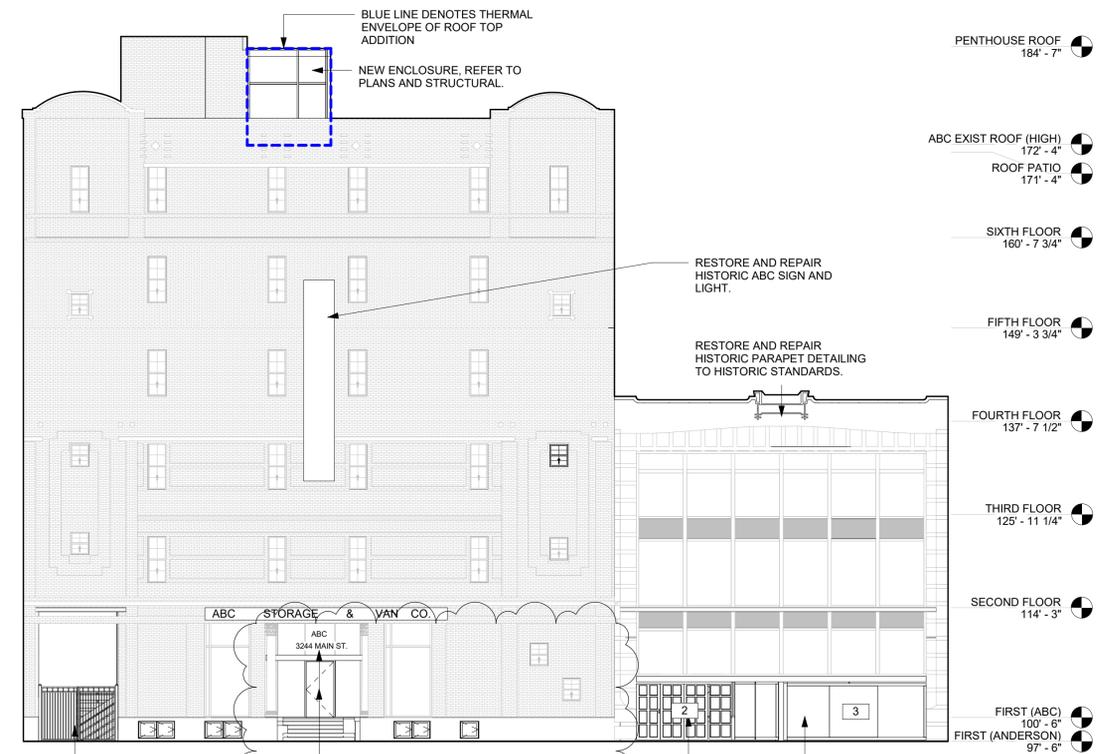
**LOADING DOCK INFILL**  
LOADING DOCK INFILL

LOCATION OF NEW STOREFRONT SET BACK FROM EXISTING OPENING. REFER TO PLANS

PREPARE AREA FOR NEW ELEVATED WALKWAY. REFER TO PLANS AND DETAILS.



**2 NORTH ELEVATION**  
3/32" = 1'-0"



**1 EAST ELEVATION**  
3/32" = 1'-0"



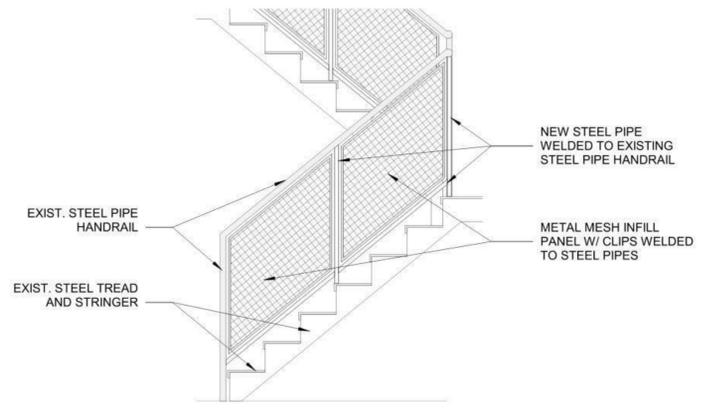
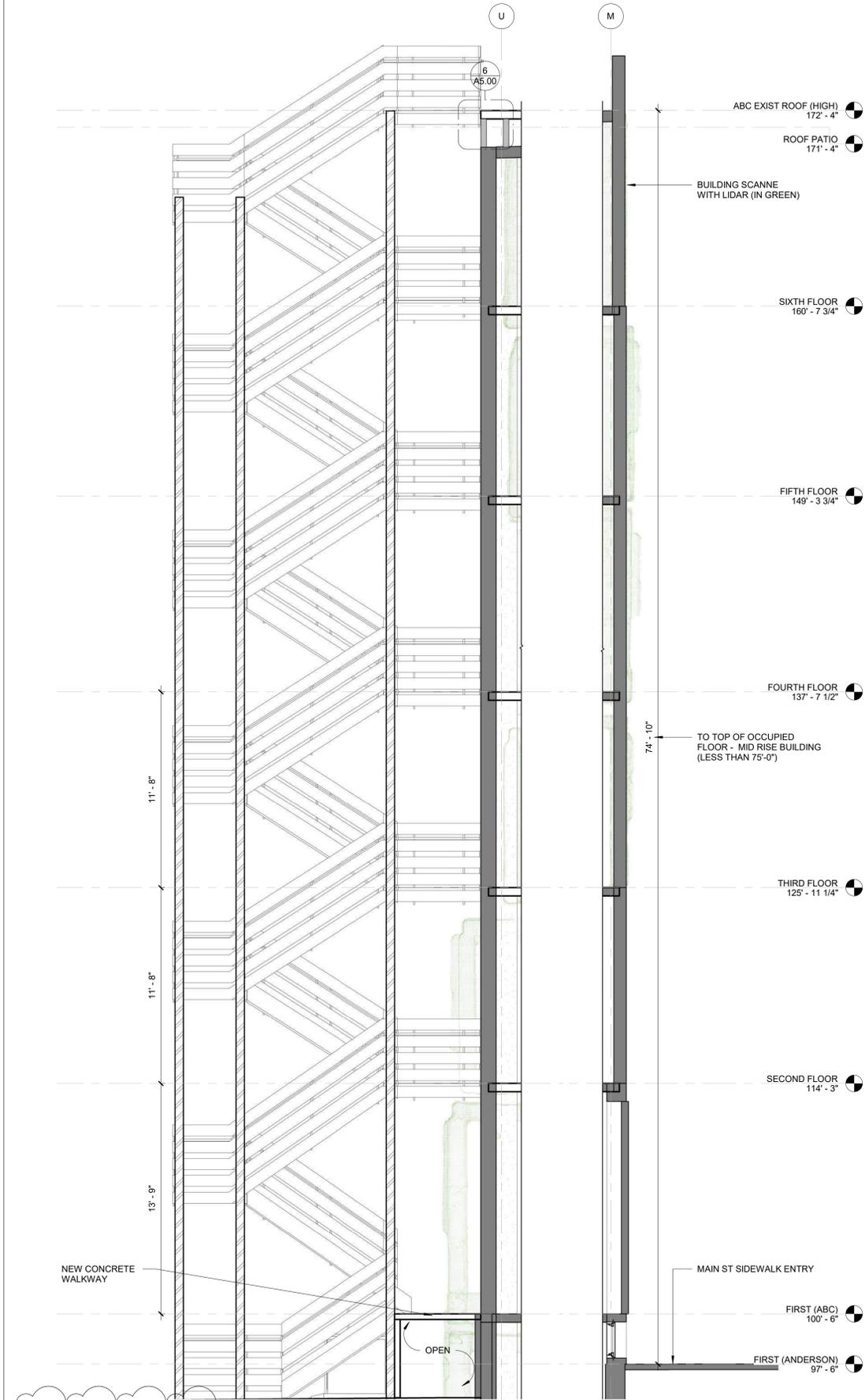
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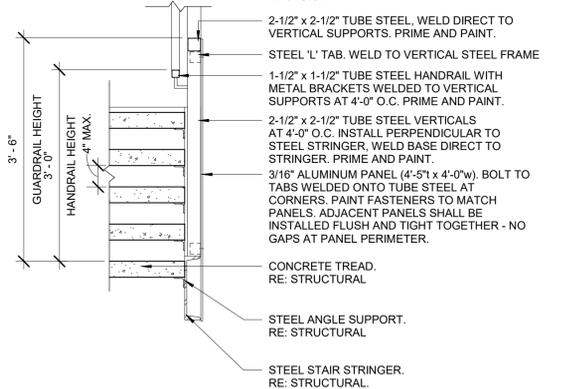
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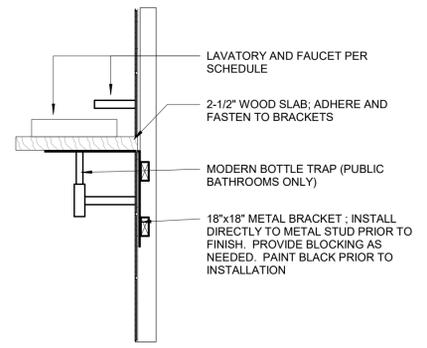
**9** STAIR INFILL ELEVATION  
 1/2" = 1'-0"

GENERAL NOTE:  
 ALL NEW STEEL STAIR COMPONENTS SHALL BE FINISH WITH PAINT OVER A 'RUST INHIBITOR' PRIMER. SCREEN ON SITE TO MATCH.

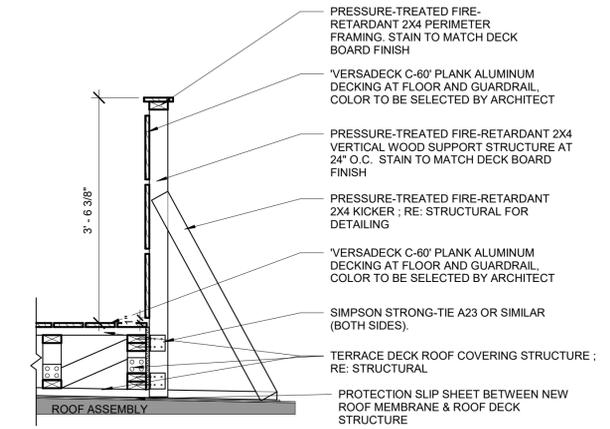
ALTERNATE:  
 IN LIEU OF ALUMINUM PANELS, INSTALL COMPOSITE WOOD SLATS (SIM. TO ROOFTOP DECK) HORIZONTALLY AT 6" O.C.



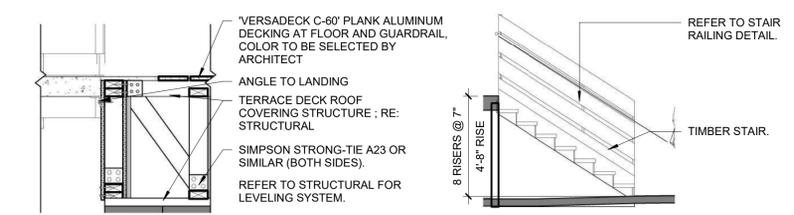
**8** STAIR RAILING DETAIL  
 3/4" = 1'-0"



**3** SINK DETAIL  
 3/4" = 1'-0"

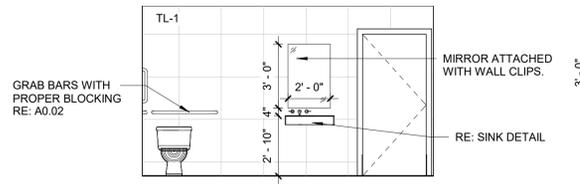


**7** ROOF GUARDRAIL  
 3/4" = 1'-0"

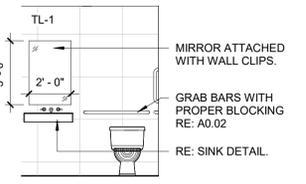


**6** STAIR CONNECTION DETAIL  
 3/4" = 1'-0"

**5** DOCK ENTRY STAIR  
 1/4" = 1'-0"



**2** PUBLIC BATHROOM ADA  
 1/4" = 1'-0"



**1** PUBLIC BATHROOM  
 1/4" = 1'-0"

**4** EXTERIOR STAIR  
 1/4" = 1'-0"

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# CITY PLANNING & DEVELOPMENT

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## Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

# Public Engagement Meeting for ABC & Anderson W - February 25

[VIEW RECORDING - 34 mins \(No highlights\)](#)

## Meeting Purpose

[Finalize the public engagement process for the ABC Anderson project.](#)

## Key Takeaways

- [The public engagement process for ABC Anderson is complete; no attendees joined the final meeting despite invitations sent Feb 13.](#)
- [The project now proceeds to the City Planning Commission \(CPC\) hearing next Wednesday \(Mar 4, 9 AM–12 PM\).](#)

## Topics

### ABC Anderson: Public Engagement & CPC Prep

- [The public engagement process is complete after no attendees joined the final meeting.](#)
  - [Invitations were sent Feb 13 \(~12 days prior\) to the Old Hyde Park neighborhood and Kevin Klinkenberg \(Midtown KC Now\).](#)
  - [A prior meeting was already held with the Old Hyde Park Neighborhood.](#)
- [The project advances to the City Planning Commission \(CPC\) hearing:](#)
  - **Date:** [Next Wednesday, Mar 4, 9 AM–12 PM](#)
  - **Location:** [City Hall](#)
  - **Action:** [Annie to ask Larissa for a preference on virtual vs. in-person attendance.](#)
    - **Rationale:** [Virtual attendance offers flexibility, as the presentation slot is unknown until the docket is released Friday or Monday.](#)

## Next Steps

- **Annie:**
  - [Send debrief, Fathom notes, and sign-in sheets to Larissa.](#)
  - [Ask Larissa for CPC attendance preference \(virtual vs. in-person\).](#)
  - [Send updated Rath set to Chuck.](#)



# CITY PLANNING & DEVELOPMENT

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## Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):



Old Hyde Park  
Historic District

Neighborhood Meeting Date and Location:

2-18-2026 3517 Main St

Name	Street	e-mail address
AURORA SHIELDS	WALNUT	LAPORTELA@AOL.COM
Mike Shields	WALNUT	Shieldsmike@
Alex Crowell	W 36th	MDC. Coen on file
Brian & Misty Gates	Baltimore	Misty@Castlegates.org
Dianna Atkinson	Baltimore Ave	
Mathew Browning	Baltimore Ave	
Amy Meya	Baltimore	amymeya@yahoo
Julie Koehler	Wyndotte	julie.koehler@gmail.com
Craig Anderson	Wyndotte	CDSCOOTER@BOG.MAIL
Deb Jaccuin	Warwick	
Angie Phillips	Warwick	on file
Annie Rouse	Main St	
Jacob & Betsy		
Lon Clark	Baltimore	on file
Patty Craft	35th + Walnut	patty/craft@gmail.com
DENNIS MATNEY	35th + Baltimore	
Ginger Matney	35th + Baltimore	ginger.w.fowle@gmail.com
Mara Martin	36th + Walnut	mariamartinwriter@gmail
NIRVAL KHANSA	36th + Warwick	

Area Plan Alignment: **High**

KC Spirit Playbook Alignment: **High**

- CC- Connected City*
- DO - Diversity & Opportunity*
- HAC- History, Arts & Culture*
- HE - Healthy Environment*
- PAA - People of All Ages*
- POS - Parks & Open Spaces*
- SAN - Strong & Accessible Neighborhoods*
- SC - Smart City*
- SEG - Sustainable & Equitable Growth*
- WDC - Well Designed City*

<b>Evaluation</b>	<b>Goal</b>	<b>Notes</b>
High	CC DO HAC SAN	CC – Proximity to the Streetcar, limited parking DO, SAN – Increasing density and diversity of housing HAC – Preserving historic structures
Medium	PAA SEG WDC	PAA – Diverse housing options and adequate modes of transportation SEG – Utilizes existing infrastructure WDC – Restoration of historic facades
Low		

**Alignment Comments:**

This project has a high alignment with both the KC Spirit Playbook and the Midtown/Plaza Area Plan as it preserves two historic buildings while adding housing density along the streetcar corridor. Conversion of the buildings to apartments with retail fits the future land use of mixed-use community, and the project follows the Main Street Overlay. The applicant's response letter clarified questions regarding landscaping, parking access, and hours of operation for the rooftop commercial space.

Public  
Testimony



# OLD HYDE PARK

## *Historic District*

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*PO Box 10013 Kansas City, MO 64171*

February 22, 2026

To City Planning Commissioners:

At our February 18, 2026 neighborhood meeting, Exact Architects presented their plans to the Old Hyde Park Historic District for redeveloping the historic ABC and Anderson buildings at 3240 and 3244 Main Street.

Staff explained the scope of their project, including the number of residential units; plans for commercial usage; historic attributes; and parking plans. Additionally, renderings were presented and Annie and Tyler answered the neighbors' questions about the project.

The Old Hyde Park Historic District neighborhood is pleased to see these buildings rehabilitated and in use after being vacant for so many years.

The board supports this project and hope the city will approve the plans Exact Architects has for these notable historic properties.

Thank you,

Old Hyde Park Historic District Board

Nadja Karpilow, President  
Angie Phillips, Vice President  
Dianna Atkinson, Treasurer  
Betsy Ambrose, Secretary  
Jacob Ambrose, Director  
Matthew Browning, Director  
Lon Clark, Director  
Tabitha Judson, Director

