

CITY PLAN COMMISSION STAFF REPORT

CD-CPC-2026-00060

Midwest Recovery Center Expansion



KANSAS CITY
Planning & Dev

July 15, 2026

Docket #6

Request

Development Plan

Applicant

Kyle Kippes
Kaw Valley Engineering

Owner

GKJ Investments LLC

Site Information

Location	13645 Holmes Rd
Area	1.7 Acres
Zoning	B3-2
Council District	6 th
County	Jackson
School District	Grandview

Surrounding Land Uses

North: B3-2, Commercial
South: B3-2, Commercial
East: Undeveloped, R-80
West: M1-5, Undeveloped

Land Use Plan

The Martin City/Richards-Gebaur Area Plan recommends Open Space/Buffer for this location.

Major Street Plan

Holmes Road is identified as Local Link in this location.

Approval Process



Overview

The applicant is seeking approval of a Development Plan in District B3-2 (commercial) on about 1.7 acres generally located at the northeast corner of East 137th Street and Holmes Road, allowing for a third principal structure to be built on site of the existing recovery center.

Existing Conditions

The subject site is currently developed with two structures which house the existing recovery center. The existing site is entirely paved. There is no associated regulated stream with the subject site.

Neighborhood

This site is not located within a registered neighborhood or homes association.

Required Public Engagement

Section 88-505-12, Public Engagement does apply to this request. The applicant hosted a meeting on July 7, 2026. A meeting summary is attached; see Attachment #3.

Controlling + Related Cases

There are no controlling cases for this site.

Project Timeline

The application was filed on May 6, 2026. No scheduling deviations have occurred.

Professional Staff Recommendation

Docket #6 Approval with Conditions

VICINITY MAP



PLAN REVIEW

The applicant is seeking approval of a Development Plan in District B3-2 (Commercial) on approximately 1.7 acres generally located at the northeast corner of East 137th Street and Holmes Road. The request would allow the construction of a third principal structure on the site of the existing recovery center.

The proposal includes consolidating the two existing parcels into a single lot. The Development Plan would permit three buildings on the newly created lot, allowing for the expansion of the existing recovery center.

The proposed building will have a footprint of approximately 6,693 square feet. A total of 50 parking spaces are provided throughout the site. The new building is proposed on the east side of the property, behind the existing northern building. No changes are proposed to the existing parking area adjacent to Holmes Road. Vehicular access will continue to be provided from the existing driveway on Holmes Road. Pedestrian connections are proposed between all three buildings. In addition, the applicant is providing a striped pedestrian path to Holmes Road; however, there are currently no public sidewalks along the frontage to connect to. Holmes Road is identified on the Major Street Plan, and sidewalks will be constructed by the City when funding becomes available.

Existing vehicular use area landscaping provides screening between the parking lot and Holmes Road. The applicant is not proposing any modifications to the existing landscaping.

The proposed building materials and architectural design are consistent with the existing buildings on the site. The new structure will be constructed primarily of gray Hardie Plank siding.

PLAN ANALYSIS

Standards	Meets	Notes
Lot and Building Standards (88-120)	Yes	
Parkland Dedication (88-408)	Yes	
Tree Preservation & Protection (88-424)	Yes	
Parking & Loading (88-420)	Yes, Subject to Conditions	A separate alternative compliance bicycle parking must be submitted prior to permit approval.
Landscaping & Screening (88-425)	Yes	
Outdoor Lighting (88-430)	Yes	
Pedestrian Standards (88-450)	Yes	Pedestrian connections will connect to Holmes once fully improved.

SPECIFIC REVIEW CRITERIA

Development Plan, Project Plan, or Site Plan (88-516-05)

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies.

The proposed Development Plan complies with all standards of the Zoning and Development Code.

B. The proposed use must be allowed in the district in which it is located.

The proposed expansion of an existing recovery center is allowed within the B3-2 Zoning District.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways.

Vehicular ingress and egress to and from the site is not inhibited by this Development Plan. No new vehicular drives are proposed.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site.

The proposed Development Plan does not inhibit pedestrian circulation and safety.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

Adequate utilities are existing on site for the Development Plan.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

Proposed structures are compatible with the adjacent properties and buildings within the plan area.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

Proposed landscaping is in conformance with the requirements as set forth in Section 88-425 of the Zoning and Development Code.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

Excess impervious area is not proposed with this Development Plan.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

The Development Plan identifies trees to remain and new trees to be planted.

ATTACHMENTS

1. Conditions Report
2. Applicant's Submittal
3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends APPROVAL WITH CONDITIONS as stated in the conditions report.

Respectfully submitted,



Matthew Barnes, AICP

Lead Planner



Plan Conditions

Report Date: July 09, 2026

Case Number: CD-CPC-2026-00060

Project: Midwest Recovery Center Expansion

Condition(s) by City Planning and Development Department. Contact Matthew Barnes at (816) 513-8817 / matthew.barnes@kcmo.org with questions.

1. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with Section 88-425-08 of the Zoning and Development Code. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
2. All signage shall conform to Section 88-445 and shall require a sign permit prior to installation. This condition may be satisfied by an assigned City Planning and Development Department Building Inspector.
3. That prior to issuance of the Certificate of Occupancy for each lot within the plat the developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved Street Tree Planting Plan and are healthy. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
4. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
5. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
6. That prior to issuance of any certificate of occupancy, the lots must be consolidated by a City approved process.
7. That prior to issuance of any certificate of occupancy, the applicant gain approval of an alternative bicycle parking plan.
8. That prior to issuance of the final certificate of occupancy, the applicant must provide photographic evidence that landscape beds along Holmes Road have been cleared of weeds and excess brush.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

9. A Knox Box shall be provided near the main entrance to the building (IFC-2018 § 506.1).
10. Required fire department access roads shall be a minimum unobstructed width of twenty (20) feet and 13 ft-6 in clearance height. Check with Streets & Traffic (KCMO Public Works Department) or Missouri Department of Transportation (MODOT) that may have street planning regulations that supersede the Fire Code. (IFC-2018: § 503.2.1)
11. Fire hydrant distribution shall follow IFC-2018 Table C102.1
12. The developer shall provide fire lane signage on fire access drives.
13. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
14. All Fire Department Connections (FDC) shall be threaded connections, Storz connections are not allowed in the City of Kansas City, Missouri (IFC-2018 § 903.3.6; NFPA 13-2010 § 6.8.1).
15. The Fire Department Connection (FDC) shall not be located that obstructs access/egress to the building when in use (IFC-2018 § 912.2).
16. Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

17. Fire hydrant(s) shall be within 400 feet on a fire access road following an approved route established by the Authority Having Jurisdiction (AHJ) of any exterior portion of a building. The use of existing fire hydrant(s) may be used to satisfy this requirement otherwise a private fire hydrant(s) or hydrant system may be required. This distance may be increased to 600 feet for R-3 and U occupancy(s) or the building(s) is fully protected by an approved automatic fire sprinkler system(s). (IFC-2018: § 507.5.1)
18. The developer shall provide Fire Department access roads prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
19. The developer shall provide an approved temporary turnaround feature (i.e cul-de-sac, hammerhead) for all dead-end streets in excess of 150 feet in length. (IFC-2018: § 503.2.5)
20. The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
21. The building's FDC shall be immediately recognizable from the street or nearest point of Fire Department access (IFC-2018 § 912.2.1).
22. All required fire department access roads shall be an all weather surface. Grass pavers are not permitted. (IFC-2012: § 503.2.3)
23. The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
24. Proposed buildings shall have a fire department access road within 150 feet of any exterior portion of the structure. (IFC-2018: § 503.1.1)

Condition(s) by KCPD. Contact Jeffrey Krebs at (816)651-8809 / Jeffrey.Krebs@kcmo.org with questions.

25. Provide a note on the plans for residential units to have 180-degree eye viewers, such as peep holes, at the time of building plan review. City Planning and Development Department - Development Management Division reviewer may satisfy this condition.
26. Provide a note on the plans indicating the use of metal door frames or Jamb Braces on the multi-family unit exterior doors at the time of building plan review. City Planning and Development Department - Development Management Division reviewer may satisfy this condition.

Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

27. The developer shall pay the arterial street impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

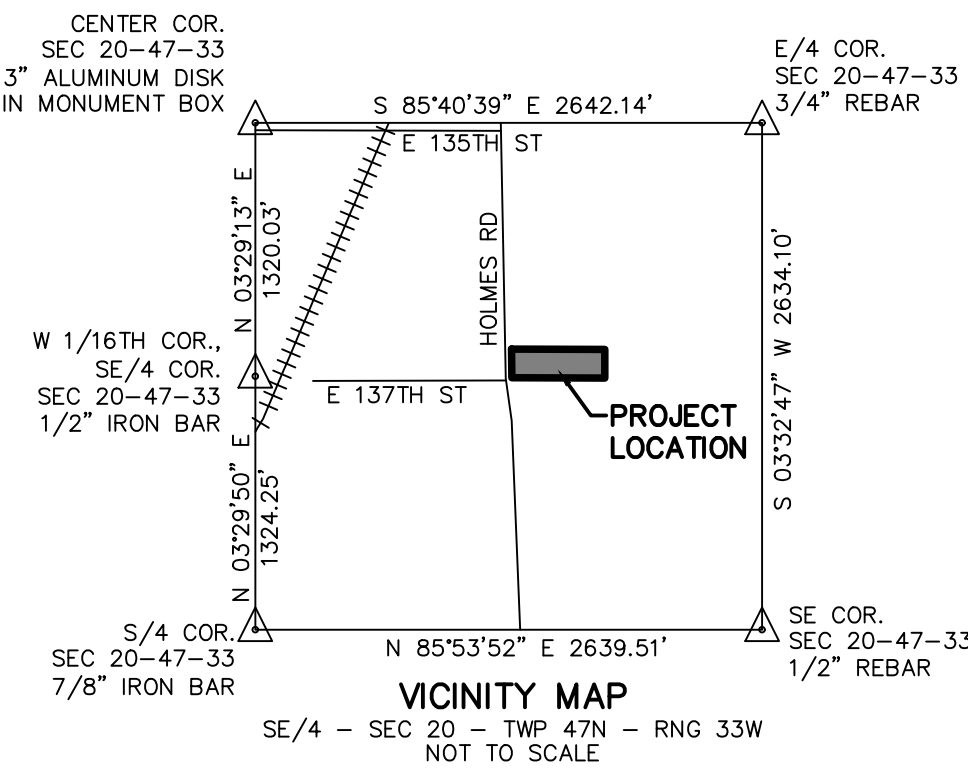
28. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact - Patrick Lewis (816) 513-0423
North of River contact - David Gilyard (816) 513-4772
29. When an existing building is being renovated, is being changed in use or occupancy, or is undergoing a building addition, and the existing water service line(s) will be reused, the water service line(s) and related appurtenances shall meet the most current version of KC Water Rules and Regulations.
30. Water/Sewer Service lines shall serve only one lot or tract and shall not cross a separate lot or tract.
31. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to issuance of Certificate of Occupancy.
<https://www.kcwater.us/wp-content/uploads/2025/02/2025-Final-Rules-and-Regulations-for-Water-Service-Lines.pdf>

Condition(s) by Water Services Department. Contact Philip Taylor at (816) 513-0146 / philip.taylor@kcmo.org with questions.

32. The developer shall show the limits of the 100-year floodplain on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year flood prone area (including detention basins and engineered surface drainage conveyances) on any plat and plan, as required by KC Water.
33. The developer shall obtain a Floodplain Development Permit from Development Services prior to beginning any construction activities with the floodplain.

34. The developer shall submit a storm drainage analysis from a Missouri-licensed civil engineer to KC Water, in accordance with adopted standards, including a BMP level of service analysis prior to approval and issuance of any building permits, and that the developer secure permits to construct any improvements as required by KC Water prior to issuance of any certificate of occupancy.
35. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by KC Water prior to recording the plat or issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
36. The developer shall grant a [BMP and/or Surface Drainage Easement] to the City as required by KC Water, prior to recording the plat or issuance of any building permits.
37. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations, by making application under said code for a Minor Subdivision and submitting and recording a Lot Consolidation Plat or replatting the property in accordance therewith.

MIDWEST RECOVERY CENTERS
SITE PLAN
13645 HOLMES ROAD
KANSAS CITY, MISSOURI 64145
CD - CPC - 2026 - 00060



Sheet List Table

C000	TITLE SHEET
C100	SITE PLAN
C300	GRADING PLAN
C500	UTILITY PLAN

ARCHITECT:

BASE 4
5030 CHAMPION BLVD #G11-230
BOCA RATON, FLORIDA 33496
CONTACT: CARLOS PERALTA
PHONE: 561-453-0544
EMAIL: carlosp@base-4.com

ENGINEER/SURVEYOR:

KAW VALLEY ENGINEERING, INC.
14700 W 114TH TERRACE
LENEXA, KANSAS 66215
CONTACT: GARY LEEDS
PHONE: 913-894-5150
EMAIL: leeds@kveng.com

FLOOD STATEMENT:

SURVEYED PARCEL IS SHOWN TO BE LOCATED IN ZONE "AE" (AREAS DETERMINED TO BE WITHIN OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND SURVEYED PARCEL IS SHOWN TO BE LOCATED IN FLOODWAY ZONE "AE" OTHER FLOOD AREAS (AREAS DETERMINED TO BE WITHIN OF THE REGULATORY FLOODWAY) AS DEPICTED ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 29095C0389G, MAP REVISED JANUARY 20, 2017, CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI.
LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THESE UTILITY LOCATIONS MEET UTILITY QUALITY LEVEL B AS OUTLINED IN STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA, BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS PUBLICATION C/ASCE 38-02, AVAILABLE AT:
[HTTPS://WEBSTORE.ANSI.ORG/STANDARDS/ASCE/CIASCE3802](https://webstore.ansi.org/standards/asce/ciasce3802).
THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.
MISSOURI ONE CALL TICKET #250870868, #250870877 & #250870911.

NOTE:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
- ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

SAFETY NOTICE TO CONTRACTOR

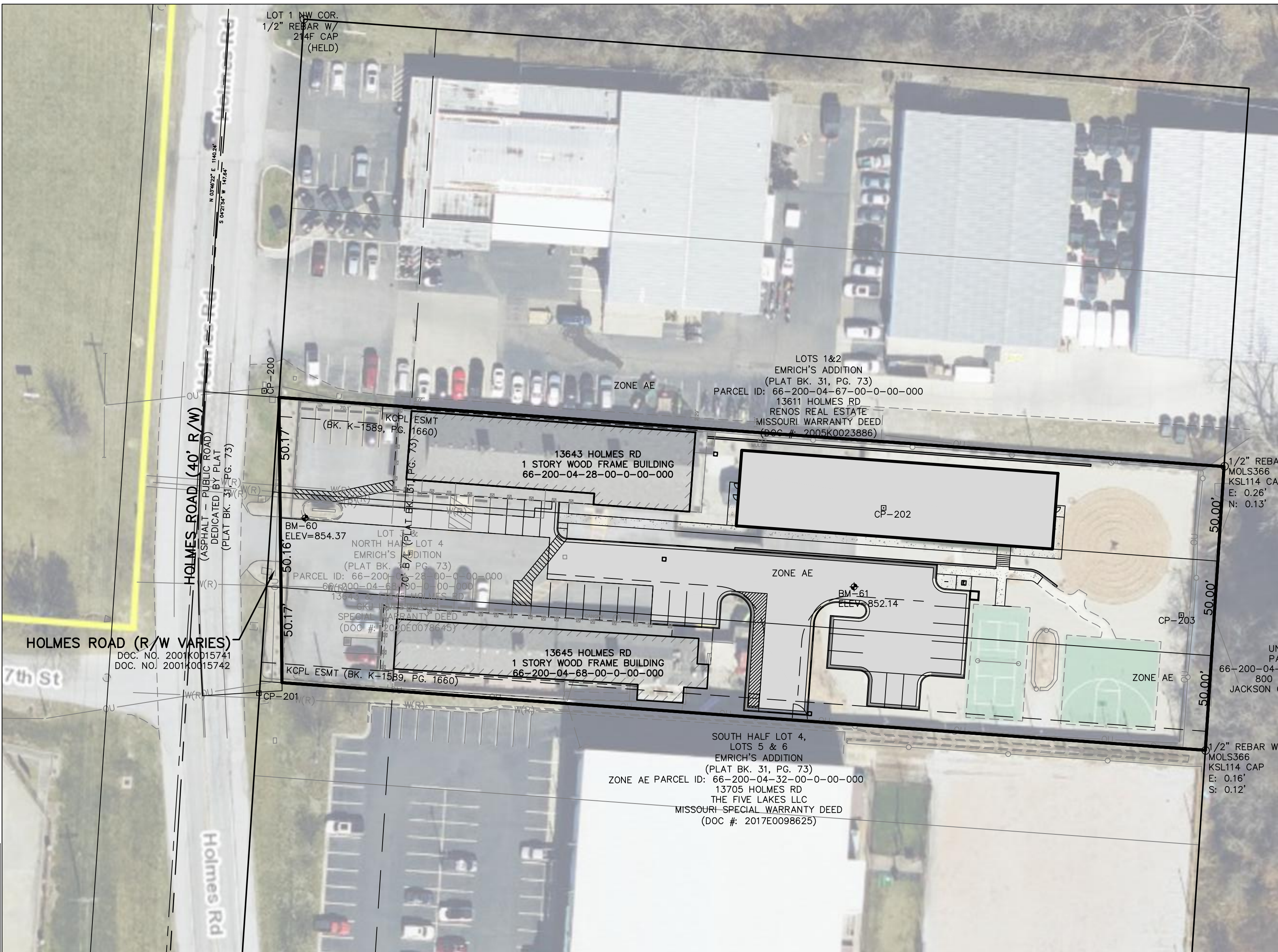
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.



PROJECT BENCH MARKS:

- BM-60
CHISELED SQUARE ON TOP CURB AT THE SOUTHWEST CORNER OF BUSINESS SIGN, 1250 FEET ± SOUTH OF INTERSECTION OF 135TH STREET AND HOLMES ROAD, AT 13643 HOLMES ROAD, 30 FEET ± FROM THE EAST EDGE OF ASPHALT.
ELEV = 854.37
- BM-61
CHISELED SQUARE ON THE SOUTHWEST CORNER OF A CONCRETE WALK, WHERE CONCRETE MEETS ASPHALT AND GRAVEL LANDSCAPE, 1250 FEET ± SOUTH OF INTERSECTION OF 135TH STREET AND HOLMES ROAD AND 350 FEET ± EAST OF ENTRANCE AT 13643 HOLMES ROAD.
ELEV = 852.14

PROJECT CONTROL:

- CP-#200
1/2"x24" REBAR W/ CONTROL POINT CAP
NORTHING: 987764.19 (GROUND)
EASTING: 2764293.14 (GROUND)
ELEV = 853.97
- CP-#201
1/2"x24" REBAR W/ CONTROL POINT CAP
NORTHING: 987604.73 (GROUND)
EASTING: 2764290.34 (GROUND)
ELEV = 853.77
- CP-#202
1/2"x24" REBAR W/ CONTROL POINT CAP
NORTHING: 987702.51 (GROUND)
EASTING: 2764620.01 (GROUND)
ELEV = 850.97
- CP-#203
1/2"x24" REBAR W/ CONTROL POINT CAP
NORTHING: 987645.92 (GROUND)
EASTING: 2764777.10 (GROUND)
ELEV = 850.95

DESCRIPTION: (SPECIAL WARRANTY DEED, INSTRUMENT NO. 2020E0078645)

TRACT 1:
THE NORTH HALF OF LOT 3, EMRICH'S ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, EXCEPT THAT PART DEEDED TO THE STATE OF MISSOURI, ACTING BY AND THROUGH THE MISSOURI HIGHWAY AND TRANSPORTATION COMMISSION AS SET FORTH IN THE WARRANTY DEED RECORDED MARCH 28, 2001 AS DOCUMENT NO. 2001K0015741 AND DOCUMENT NO. 2001K0015742.

TRACT 2:
THE SOUTH HALF OF LOT 3 AND THE NORTH HALF OF LOT 4, EMRICH'S ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, EXCEPT THAT PART DEEDED TO THE STATE OF MISSOURI, ACTING BY AND THROUGH THE MISSOURI HIGHWAY AND TRANSPORTATION COMMISSION AS SET FORTH IN THE WARRANTY DEED RECORDED MARCH 28, 2001 AS DOCUMENT NO. 2001K0015741 AND DOCUMENT NO. 2001K0015742.

HORIZONTAL AND VERTICAL DATUM:

UNLESS OTHERWISE NOTED THE COORDINATES SHOWN HEREON ARE GROUND COORDINATES BASED ON THE MISSOURI STATE PLANE, WEST ZONE (NAD 1983 2003) (NAVD 1988 (2003))
CAF: 0.9999044
1 METER = 3.28083333 U.S. SURVEY FEET
GROUND COORDINATES X COMBINED ADJUSTMENT FACTOR (CAF) = GRID COORDINATES SCALED AROUND 0.0

JA-130 (PID 095130)	JA-130 (PID 095130) VALUES USED IN THIS SURVEY
NORTHING: 301496.041 (GRID)(METERS)	889252.620 (GROUND)(U.S. SURVEY FEET)
EASTING: 842490.018 (GRID)(METERS)	2764333.580 (GROUND)(U.S. SURVEY FEET)
ELEV = 271.3 (METERS)(NAVD 1988 (2003))	GPS DERIVED 889.93 (NAVD 1988 GEOID18)(U.S. SURVEY FEET)

THE SURVEY ELEVATION OF JA-130 WAS DETERMINED BY OPUS FROM A FOUR (4) HOUR STATIC GPS OBSERVATION 05/21/2025

SITE DATA:

1. SITE DATA:

A. Table 1: Site Data

Site Data	Existing	Proposed	Variance Requested	Approved
Zoning	B3-2	B3-2	No	
Gross Land Area				
in square feet	74,135	No Change	No	
in acres	1.70	No Change	No	
Right-of-Way Dedication				
in square feet	0	No Change	No	
in acres	0	No Change	No	
Net Land Area				
in square feet	74,135	No Change	No	
in acres	1.70	No Change	No	
Building Area (sq. ft.)				
Midwest Recovery Center (13643 Holmes Rd)	4,634			
Midwest Recovery Center (13645 Holmes Rd)	3,316			
Building Addition		6,693		
Future Additions		TBD		
Floor Area Ratio (Non Permanent Structures N.I.C.)	10.7%	19.8%	No	

B. MINIMUM LOT AREA: NONE

C. LAND USE: REHABILITATION SERVICES

2. BUILDING DATA TABLE

A. Table 2: Building Data

Building Data	Existing	Proposed	Variance Requested	Approved
Rear Setback	None	None	No	
Front Setback	70' (Platted)	See Plan	No	
North Side Setback	None	None	No	
South Side Setback	None	None	No	
Height	60	See Plan	No	

3. LAND COVER

HISTORICAL RIGHT-OF-WAY: NA
HISTORICAL IMPERVIOUS COVERAGE: 67,013 SF OR 1.54 AC
PROPOSED IMPERVIOUS COVERAGE: 52,160 SF OR 1.20 AC
DECREASE: 0.34 AC ±

4. PARKING TABLE

A.

Table 4: Parking (88-420)

88-420 Parking	Building Area	Vehicle Spaces Required	Existing	Proposed
Commercial - Personal Improvement Service				
2.5 Stalls per 1,000 sq ft (Existing)	7,950	20	21	
2.5 Stalls per 1,000 sq ft (Existing + Proposed)	21,336	53	21	50
Variance Requested				

Table 4: Parking (88-420)

88-420-09 Bicycle Parking	Vehicle Parking	Bike Spaces Required	Existing	Proposed
Proposed Use(s)				
Non-Residential (10% Vehicle Parking)	50	5	0	3
Total		5	0	3

B. VEHICLE PARKING (88-420.06):

REQUIRED PARKING STALLS: 2.5 STALLS PER 1,000 SQFT = 53 STALLS

PARKING SETBACK: NONE

PROPOSED PARKING STALLS: 12

4. OTHER DEVELOPMENT STANDARDS

A. Table 5: Other Development Standards

88-425 - Other Development Standards	Method of Compliance
88-408 Parkland Dedication	N/A
88-415 Stream Buffers	N/A
88-430 Outdoor Lighting	N/A
88-435 Outdoor Display, Storage and Work Areas	N/A
88-445 Signs	Existing Monument Sign to Remain. No Additional Signage Proposed at this time.
88-450 Pedestrian Standards	No existing pedestrian routes along Holmes Road. No new pedestrian access to Holmes Road is proposed.

OWNER:

BETTY LOU WALLACE RECOVERY, LLC D/B/A MIDWEST RECOVERY CENTERS
13350 HOLMES ROAD,
KANSAS CITY, MISSOURI 64145

I HAVE REVIEWED THESE PLANS AND UNDERSTAND WHAT IS PROPOSED. THE WORK WILL BE ACCOMPLISHED IN 1 CONTRACT WITH A WORK BREAKDOWN AS FOLLOWS:

1. SITE IMPROVEMENTS

ANY WORK NOT SPECIFICALLY PERMITTED (I.E. FINAL CLEANUP) WILL BE COMPLETED BY THE CONTRACTOR.

OWNER'S SIGNATURE

DATE

APPROVED BY

ENGINEER:

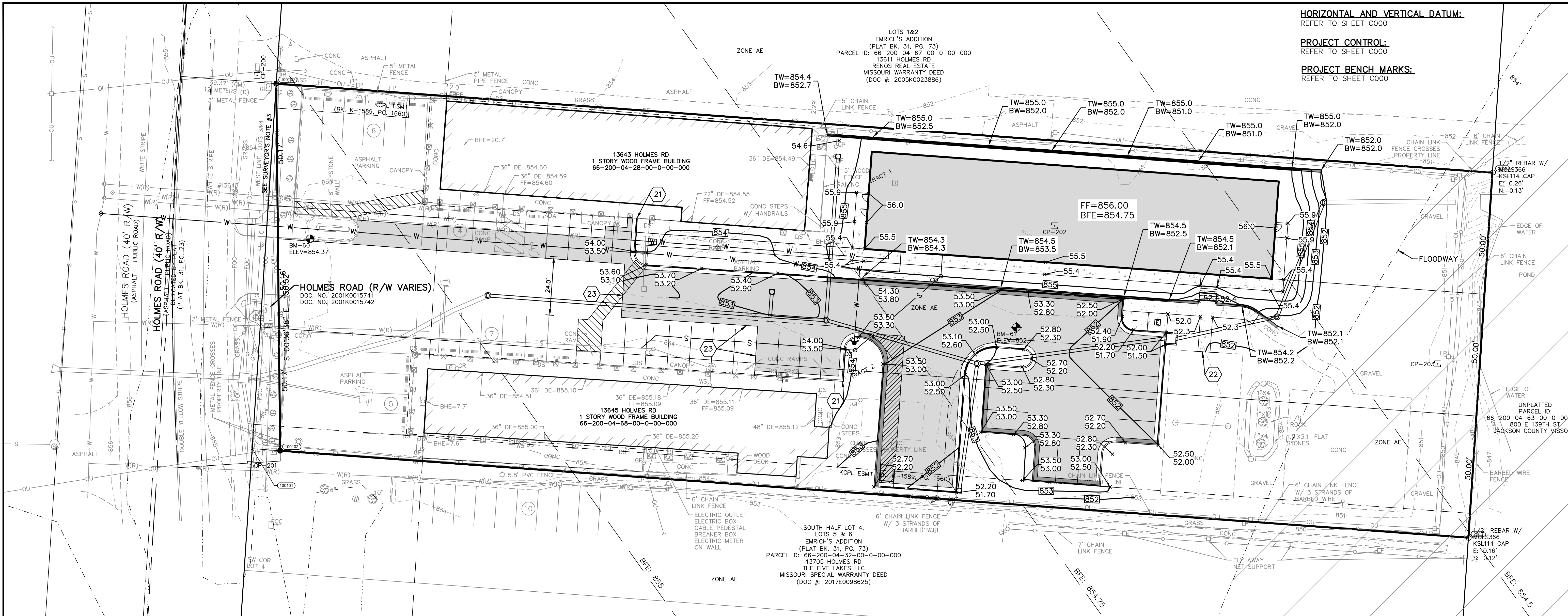
I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED, AND THESE PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF KANSAS CITY, MISSOURI, IN CURRENT USAGE.



CHRISTIAN J. CROWDER
MISSOURI PROFESSIONAL ENGINEER
PE-2015000538



		CHK
		DWN
		DSN
		DESCRIPTION
		DATE
		REV
CHRISTIAN J. CROWDER ENGINEER MO # 2015000538		
 KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/27		
MIDWEST RECOVERY CENTERS 13645 HOLMES ROAD KANSAS CITY, MO 64145 SITE PLAN TITLE SHEET		
PROJ. NO.	C25_2304	
DESIGNER	KGK	DRAWN BY JON
CFN	2304SP	
SHEET	C000	REV



HORIZONTAL AND VERTICAL DATUM:
REFER TO SHEET C000

PROJECT CONTROL:
REFER TO SHEET C000

PROJECT BENCH MARKS:
REFER TO SHEET C000

CONSTRUCTION NOTES:

1. SEE SHEET C490 FOR EROSION CONTROL NOTES, TEMPORARY AND PERMANENT STABILIZATION REQUIREMENTS, REFER TO APWA STANDARD ESC DRAWINGS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
2. ALL SLOPES THAT ARE 4:1 OR STEEPER MUST BE FULLY OR PERMANENTLY STABILIZED WITHIN TWO WEEKS OF FINAL GRADING.
3. ESC INLET PROTECTION ESC-06 AND ESC-07 MAY BE REMOVED AFTER TURF IN UPSTREAM DRAINAGE AREAS IS ESTABLISHED.
4. LINEAR EROSION CONTROL MEASURES: SILT FENCES (ESC-03) AND WATTLES (ESC-04) MAY BE REMOVED AFTER TURF REINFORCEMENT MAT IS INSTALLED AND/OR TURF IS ESTABLISHED IN UPSTREAM AREAS.

LEGEND:

- MONUMENT SET
- MONUMENT FOUND OR
ORIGIN UNKNOWN UNLESS
OTHERWISE NOTED
- △ SECTION CORNER
- ⊕ BENCHMARK
- ⊙ CONTROL POINT
- E— UNDERGROUND ELECTRIC
- (W)— OVERHEAD POWER LINE (# OF LINES)
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE W/ LIGHT
- ⊙ UTILITY POLE W/ TRANS & LIGHT

- | | |
|---|---------------------------|
| VCP | VITRIFIED CLAY PIPE |
|  | STREET/TRAFFIC SIGN |
|  | PARKING STALL COUNT |
| • | BOLLARD |
| ADA | HANDICAP SIGN |
|  | HANDICAP SYMBOL |
|  | WHEEL STOP |
|  850 | EXISTING GRADE 5' CONTOUR |
|  1 | EXISTING GRADE 1' CONTOUR |
| DE | DOOR ELEVATION |
| BHE | BUILDING HEIGHT/ELEVATION |

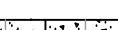
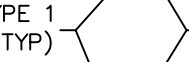
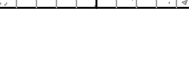
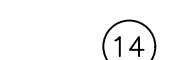
NOTES:

- 21 MATCH EXISTING CURB ELEVATION.
22 MATCH EXISTING SIDEWALK ELEVATION.
23 MATCH EXISTING PAVEMENT ELEVATION.

LEGEND (PROPOSED)

- 47.6 SPOT ELEVATION (ADD 800),
 TOP OF PAVEMENT
 47.6 TOP OF CURB (ADD 800)
 47.1 FLOWLINE OF CURB (ADD 800)
 FLOW DIRECTION

PROPOSED LEGEND

- | | |
|---|--|
|  | CONCRETE CURB AND GUTTER |
|  | CONCRETE CURB AND GUTTER WITH REVERSE FLOW |
|  | CONCRETE CURB AND GUTTER WITH PAINTED RED |
|  | 13 |
|  | AREAS OF FULL DEPTH ASPHALT (040) |
|  | CONCRETE PAVEMENT (042) W/Jointing |
|  | PE 1 (TYP) |
|  | Joint (TYP) |
|  | CONCRETE SIDEWALK (055+005) W/Jointing |
|  | PROJECT AREA (APPROXIMATE LIMITS OF DISTURBANCE) |
|  | 14 PROPOSED PARKING COUNT |
|  | FIRE ACCESS LANE |
| FF | FINISHED FLOOR ELEVATION |
| BFE | BASE FLOOD ELEVATION AT STRUCTURE |
|  | 100-YR FLOODWAY |
| BFE: 855 | INTERPOLATED 100 YEAR BASE FLOOD ELEVATIONS |

GRADING NOTES:

1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. STOCKPILING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES. CONSTRUCTION MANAGER SHALL DESIGNATE LOCATION OF STOCKPILE AREAS DURING CONSTRUCTION. ANY UNAUTHORIZED STOCKPILE SHALL BE REMOVE/RELOADED AT THE CONTRACTORS EXPENSE.
2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 12-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 WITH A MOISTURE CONTENT OF $+/-2\%$ OF OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF LESS THAN 40 AND $+/-4\%$ FOR SOILS WITH A LIQUID LIMIT GREATER THAN 40. GRANULAR MATERIALS WITH $+15\%$ FINE SHALL BE COMPACTED AT A MOISTURE CONTENT OF -3 TO 3% OF OPTIMUM. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
3. OFF-SITE SOIL MATERIAL FOR USE UNDER BUILDING AND PAVED AREAS SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 50 OR LESS AND CONTAIN NO ROCK LARGER THAN THREE INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND OWNER'S TESTING AGENCY PRIOR TO BRINGING ON SITE.
4. EARTHWORK UNDER THE BUILDING, PAVING AND LIGHTLY LOADED STRUCTURAL FEATURES SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND PROJECT GEOTECHNICAL REPORT. THE BUILDING PAD SHALL BE EXCAVATED AS REQUIRED TO ALLOW THE PLACEMENT OF LOW VOLUME CHANGE MATERIAL. REFER TO GEOTECHNICAL REPORT FOR PREPARING BUILDING PAD AND LOW VOLUME CHANGE THICKNESS REQUIREMENTS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698. FILL SHOULD BE BENCHED IN ANY LOOSE AREAS GREATER THAN ONE VERTICAL TO FIVE HORIZONTAL TO MAINTAIN HORIZONTAL LIFTS. THE BENCHING SHALL BE PLACED AT NOT LESS THAN 12-INCH RISES OVER THOSE AREAS. LVC SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT OF 0 TO $+4\%$ OF OPTIMUM FOR SOILS WITH A LIQUID LIMIT GREATER THAN 40 AND $+/-3\%$ OF OPTIMUM FOR SOILS WITH A LIQUID LIMIT LESS THAN 40. GRANULAR MATERIALS WITH $+15\%$ FINES SHALL BE COMPACTED AT A MOISTURE CONTENT OF -3 TO 3% OF OPTIMUM. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 24 INCHES OF EMBANKMENT.
5. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER AND OWNER'S TESTING AGENCY.
6. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, THE OWNER'S ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.

7. ALL EXCAVATIONS SHALL BE CONSIDERED AS UNCLASSIFIED. REFER TO PROJECT GEOTECHNICAL REPORT.
8. ALL DISTURBED SLOPES ARE TO BE 3:1 OR FLATTER.
9. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND A MINIMUM OF FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODDED OR SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. REFER TO THE NOTES ON SHEET C490 FOR SEEDING AND SODDING SPECIFICATIONS. REFER TO PROJECT SITE AND LANDSCAPE PLANS FOR FINAL STABILIZATION TREATMENTS.
10. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
11. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT UNDISTURBED AREAS DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
12. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
13. IF ANY OF THESE NOTES CONFLICT WITH THE PROJECT GEOTECHNICAL REPORT (PROJECT C25G2304) AND ALL ADDENDUMS PREPARED BY KAW VALLEY ENGINEERING DATED AFTER JULY 23, 2025 RECOMMENDATIONS IN GEOTECHNICAL REPORT SHALL GOVERN.

FLOOD STATEMENT:

SURVEYED PARCEL IS SHOWN TO BE LOCATED IN ZONE "AE" (AREAS DETERMINED TO BE WITHIN OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND SURVEYED PARCEL IS SHOWN TO BE LOCATED IN FLOODWAY ZONE "AE" OTHER FLOOD AREAS (AREAS DETERMINED TO BE WITHIN OF THE REGULATORY FLOODWAY) AS DEPICTED ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 230905C03896, MAP REVISED JANUARY 20, 2017, CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI. LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.



Know what's **below**.
Call before you dig.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER

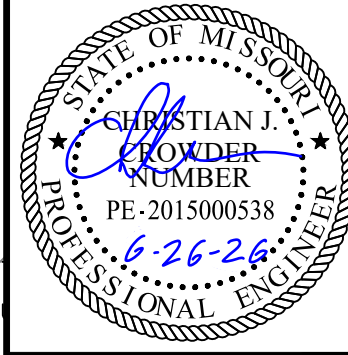
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

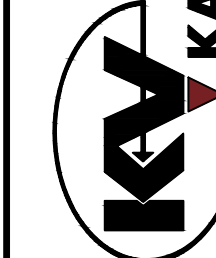
THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.



CHRISTIAN J. CROWDER
ENGINEER
MO # 2015000538

14700 WEST 114TH TERRACE
LENEKA, KANSAS 66215
PH. (913) 894-5150
lx@kveg.com | www.kveg.com



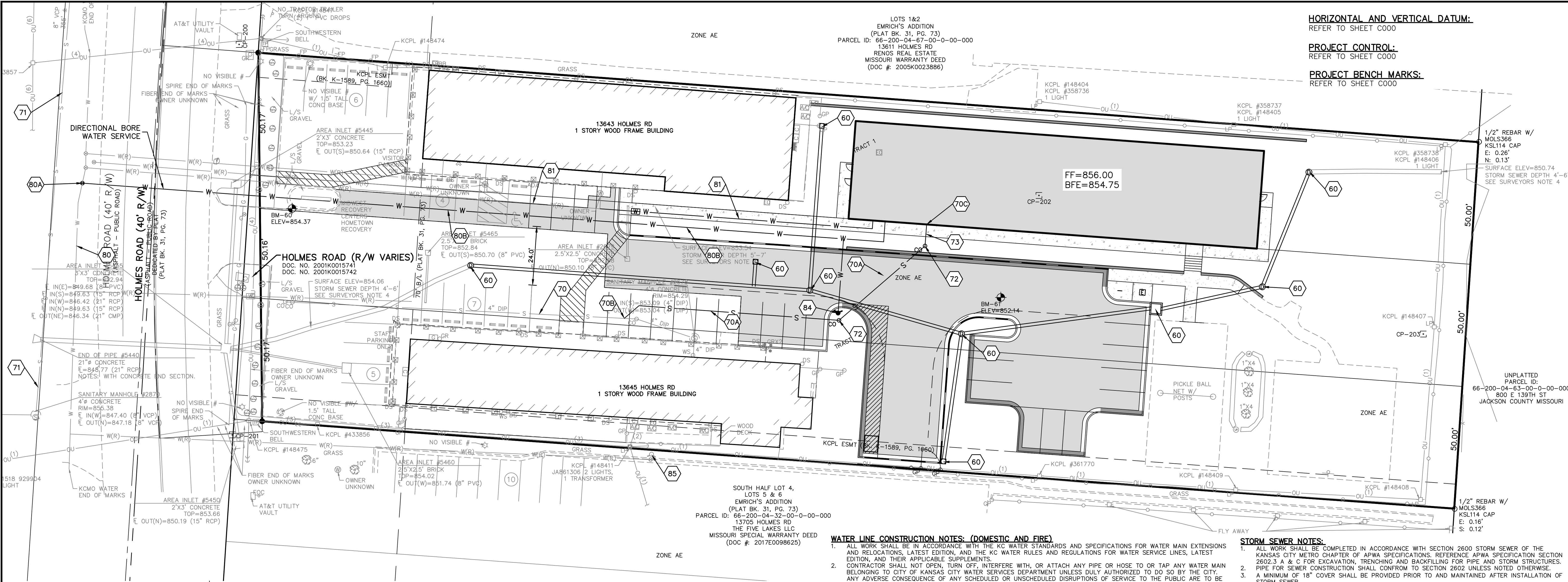
KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/27

MIDWEST RECOVERY CENTERS

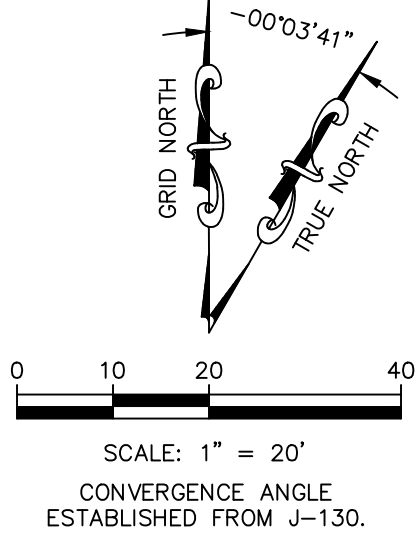
113645 HOLMES ROAD
KANSAS CITY, MO 64145

SITE PLAN

PROJ. NO.		C25_2304	
DESIGNER		DRAWN BY	
K GK		JQN	
CFN			
2304GP			
SHEET		REV	
C300			



Know what's below.
Call before you dig.



SCALE: 1" = 20'
CONVERGENCE ANGLE
ESTABLISHED FROM J-130.

- NOTE:**
- REFER TO E AND AS SERIES SHEETS FOR ADDITIONAL SITE ELECTRICAL AND TELECOM REQUIREMENTS FOR SITE ELECTRICAL, LIGHTING AND SIGNAGE.
 - REFER TO LANDSCAPE AND MECHANICAL PLAN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS RELATED TO IRRIGATION.
 - ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.

- NOTE:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.

- ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

SAFETY NOTICE TO CONTRACTOR

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WARRANTY / DISCLAIMER

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CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

- LEGEND:**
- | | |
|--|------------------------------------|
| ● MONUMENT SET | CMP CORRUGATED METAL PIPE |
| ○ MONUMENT FOUND | RCP REINFORCED CONCRETE PIPE |
| △ SECTION CORNER | PVC POLYVINYL CHLORIDE PIPE |
| ◆ BENCHMARK | VCP VITRIFIED CLAY PIPE |
| □ CONTROL POINT | — STREET/TRAFFIC SIGN |
| — UNDERGROUND ELECTRIC | ③ PARKING STALL COUNT |
| (U) OVERHEAD POWER LINE (# OF LINES) | ● BOLLARD |
| — UTILITY POLE | ADA HANDICAP SIGN |
| — UTILITY POLE W/ LIGHT | — HANDICAP SYMBOL |
| — UTILITY POLE W/ TRANS & LIGHT | — WHEEL STOP |
| — UTILITY POLE W/ TRANSFORMER | — EXISTING GRADE 5' CONTOUR |
| — LIGHT POLE | — EXISTING GRADE 1' CONTOUR |
| — DEADMAN ANCHOR | DE DOOR ELEVATION |
| — BREAKER BOX | BHE BUILDING HEIGHT/ELEVATION |
| — ELECTRIC METER | FF FINISH FLOOR ELEVATION |
| — ELECTRIC OUTLET | E/E EDGE TO EDGE OF ASPHALT |
| — ELECTRIC CONTROL BOX | — AIR CONDITIONER UNIT |
| — UNDERGROUND GAS | — CANOPY SUPPORT |
| — GAS METER | — DECIDUOUS TREE |
| — GAS LINE RISER | — BUSH |
| — WATER LINE | — BASKETBALL GOAL |
| — WATER METER | — MAIL BOX |
| — WATER LINE GATE VALVE | — PICNIC TABLE |
| — FIRE HYDRANT | — LARGE STONE |
| — WATER SPIGOT | L/S LANDSCAPING AREA |
| — WATER MANHOLE | — WALL MOUNTED CAMERA |
| — WALL MOUNTED SIAMSESE FIRE CONNECTOR | — WALL MOUNTED LIGHT |
| — UNDERGROUND FIBER OPTIC CABLE | — RAILROAD TRACKS |
| — TELEPHONE PEDESTAL | — CHAIN LINK FENCE |
| — FIBER OPTIC CABLE SIGN | — WOOD FENCE |
| — CABLE TV PEDESTAL | — GATE POST |
| — SANITARY SEWER LINE | — METAL FENCE |
| — SANITARY SEWER MANHOLE | — PVC FENCE |
| — SANITARY SEWER CLEAN OUT | — 2.5" OLD WOOD FENCE POST |
| — DOWN SPOUT | — BARBED WIRE FENCE |
| — UNDERGROUND WATER (FROM RECORDS) | — UNDERGROUND WATER (FROM RECORDS) |

- NOTES:**
- PRIVATE STORM SEWER
 - PRIVATE SANITARY SEWER LINE AND
 - PRIVATE 4" PVC SDR-26 SANITARY SEWER SERVICE, SLOPE @ 2.0% EXCEPT AS NOTED CONNECT TO EXISTING SANITARY SEWER SERVICE - 4"x4" WYE
 - 4" SEWER SERVICE CONNECTION AT BUILDING
 - EXISTING PUBLIC SANITARY SEWER LINE AND APPURTENANCES
 - SANITARY SEWER CLEANOUTS
 - 4" SANITARY SEWER SERVICE SAMPLING PORT. INSTALL STRAIGHT TEE.
 - EXISTING WATER MAIN
 - 6"x6" SADDLE TAP
 - 6" FIRE SERVICE - CLASS 52 DIP, AWWA C150/C151
 - EXISTING 1 1/2" TYPE K COPPER DOMESTIC WATER SERVICE LINE
 - PROPOSED 1 1/2" TYPE K COPPER
 - FIRE HYDRANT
 - EXISTING FIRE HYDRANT

PROPOSED LEGEND

- | | |
|---|---|
| — CONCRETE CURB AND GUTTER | — CONCRETE CURB AND GUTTER WITH REVERSE FLOW |
| — CONCRETE CURB AND GUTTER WITH PAINTED RED | — AREAS OF FULL DEPTH ASPHALT (040) |
| — CONCRETE PAVEMENT (042) W/JOINTING TYPE 3 JOINT (TYP) | — CONCRETE PAVEMENT (042) W/JOINTING TYPE 3 JOINT (TYP) |
| — CONCRETE SIDEWALK (055+005) W/JOINTING | — PROJECT AREA (APPROXIMATE LIMITS OF DISTURBANCE) |
| — PROPOSED PARKING COUNT | |

WATER LINE CONSTRUCTION NOTES: (DOMESTIC AND FIRE)

- ALL WORK SHALL BE IN ACCORDANCE WITH THE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS, LATEST EDITION, AND THE KC WATER RULES AND REGULATIONS FOR WATER SERVICE LINES, LATEST EDITION, AND THEIR APPLICABLE SUPPLEMENTS.
- CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO CITY OF KANSAS CITY WATER SERVICES DEPARTMENT UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. KAW VALLEY ENGINEERING AND OWNER ARE TO BE HELD HARMLESS. CONTRACTOR SHALL PROVIDE A MINIMUM OF 72 HOURS NOTICE TO THE CITY OF KANSAS CITY WATER SERVICES DEPARTMENT PRIOR TO STARTING ANY WORK.
- THE UTILITIES AS SHOWN ON THESE DRAWINGS WERE DEVELOPED FROM THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE. CONTRACTOR SHALL POthOLE AND EXPOSE ALL UTILITIES AT LEAST 500 FEET IN ADVANCE OF WATER MAIN CONSTRUCTION, DETERMINING THE DEPTH, SIZE, AND MATERIAL OF THE UTILITIES IN PROXIMITY TO THE PROPOSED WATER MAIN ALIGNMENT. DEFLECT PIPE TO MAINTAIN MINIMUM 5 FEET HORIZONTAL AND 18 INCH VERTICAL CLEARANCES BETWEEN PROPOSED WATER MAIN AND EXISTING UTILITIES. SEPARATION WITH SANITARY LINES REQUIRES 24 INCH VERTICAL CLEARANCE. SEE CONST. NOTE 8.
- THE CONTRACTOR SHALL FURNISH AND INSTALL, AT NO EXTRA COST, ALL FITTINGS AND RESTRAINING DEVICES REQUIRED TO PROVIDE PROPER HORIZONTAL AND VERTICAL ALIGNMENT FOR THE NEW WATER SERVICE, CONNECTING TO EXISTING WATER MAIN, AND INSTALLATION OF FIRE HYDRANTS AT THE PROPER LOCATION AND ELEVATION. WHETHER OR NOT THE FITTINGS ARE CALLED OUT ON THESE PLANS, REFERENCE KC WATER STANDARDS RULES AND REGULATIONS SECTIONS 3, 4, 5, AND 6, AND KC WATER STANDARDS AND SPECIFICATION FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTIONS 02168, 02641, 02645, 02669.
- THE CONTRACTOR SHALL FURNISH AND INSTALL, AT NO EXTRA COST, ALL TEMPORARY BLOW-OFF ASSEMBLIES, FITTINGS, AND RESTRAINING DEVICES NECESSARY FOR TEMPORARY CONNECTIONS FOR PRESSURE TESTING, CHLORINATING, DE-CHLORINATING, AND FLUSHING THE NEW WATER MAINS AND SERVICE LINES. THE CONTRACTOR SHALL REMOVE ANY CORPORATION COCKS USED FOR TESTING OR CHLORINATION AND REPLACE THEM WITH TAPERED BRASS PLUGS PRIOR TO PLACING NEW MAINS IN SERVICE. REFERENCE KC WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02675.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS, PAYING ALL FEES AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.
- ALL DISTURBED AREAS SHALL BE LANDSCAPED, SEEDED OR SOODED PER PLANS.
- WHEN WATER MAINS AND SANITARY SEWERS CROSS, A MINIMUM OF 24 INCHES OF CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE WATER MAIN AND THE TOP OF SANITARY SEWER. WHEN 24 INCHES OF CLEARANCE CANNOT BE MAINTAINED OR WHEN A WATER MAIN MUST CROSS UNDER A SANITARY SEWER, THE SANITARY SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, PVC PRESSURE PIPE OR PRE-STRESSED CONCRETE CYLINDER PIPE FOR A DISTANCE OF 10.0 FEET ON EACH SIDE OF THE CROSSING. WHEN A WATER MAIN IS CONSTRUCTED PARALLEL TO A SANITARY SEWER, THE HORIZONTAL SEPARATION SHALL BE 24 INCHES. WHEN A WATER MAIN IS CONSTRUCTED PARALLEL TO A SANITARY SEWER, AND IF THE WATER MAIN IS CONSTRUCTED CLOSER THAN 10.0 FEET TO THE SANITARY SEWER, THE SANITARY SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, PVC PRESSURE PIPE OR PRE-STRESSED CONCRETE CYLINDER PIPE, AND SHALL BE PRESSURE TESTED TO 150 PSI. REFERENCE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02168.
- CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS, COORDINATES AND ELEVATIONS BEFORE PROCEEDING WITH NEW WORK AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. NO NEW CONSTRUCTION SHOULD BE PERFORMED BY "SCALING" FROM THE PLANS.
- ALL EXCAVATION AND BACKFILL SHALL MEET OR EXCEED THE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02200. ALL TRENCHES SHALL BE BACKFILLED IN UNIFORM LIFTS NOT TO EXCEED 8 INCHES IN LOOSE MEASUREMENT. EACH LIFT SHALL BE COMPACTED TO THE REQUIRED DENSITY PRIOR TO THE NEXT LIFT BEING PLACED. THE BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF WITHIN A RANGE OF OPTIMUM TO BE 4 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AS DEFINED BY THE STANDARD PROCTOR (ASTM-D698) UNDER AREAS TO BE PAVED. THE BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE, PLUS 4% IN AREAS NOT TO BE PAVED. COMPACTION TESTS SHALL BE TAKEN AT EACH PAVEMENT CROSSING AND AT LOCATIONS DESIGNATED BY THE ENGINEER. ALL TRENCH BACKFILL, WHICH DOES NOT MEET THE REQUIRED DENSITY, SHALL BE RE-EXCAVATED AND RE-COMPACTED UNTIL THE REQUIRED DENSITY IS OBTAINED. COPIES OF ALL COMPACTION TEST REPORTS SHALL BE PROVIDED TO THE ENGINEER.
- NO ROCK LARGER THAN FOUR INCHES MAXIMUM DIMENSION SHALL BE PLACED WITHIN TWO FEET OF THE TOP OF THE PIPE. NO ROCK GREATER THAN ONE FOOT SHALL BE PLACED IN ANY EXCAVATION AS A BACKFILL.
- LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER.
- TAPS AT EXISTING PUBLIC MAIN WILL BE RESPONSIBILITY OF THE CONTRACTOR. WORK WILL BE COORDINATED WITH THE CITY.
- ALL PIPE 3" AND LARGER SHALL BE POLYETHYLENE ENCASED CLASS 52 DUCTILE IRON PIPE. ALL WATER MAIN MATERIALS ARE TO BE RESTRAINED AT ALL JOINTS, VALVES, HYDRANTS, COUPLINGS AND FITTINGS. REFERENCE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02618.
- HYDRANTS SHALL BE CURRENT KANSAS CITY, MO. PATTERN HYDRANTS MANUFACTURED ESPECIALLY FOR KC WATER. ALL HYDRANTS SHALL BE DESIGNED AND MANUFACTURED IN STRICT COMPLIANCE WITH AWWA C-502 INSTALLED "A.W.W.A. STANDARD FOR DRY-BARREL FIRE HYDRANTS" UNLESS OTHERWISE SPECIFIED. ALL HYDRANTS AND RELATED VALVES/ASSEMBLIES AND INSTALLATION SHALL COMPLY WITH KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS SECTION 02645.
- WATER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 4 FEET AND A MAXIMUM COVER OF 5 FEET. DEEPER EXCAVATIONS FOR CLEARANCE AT EXISTING PROPOSED UTILITIES IS ACCEPTABLE. REFERENCE CONST. NOTES 3 AND 8 AND KC WATER RULES AND REGULATIONS WATER SERVICE LINES SECTION 3.03E. FOR WATER MAINS CONSTRUCTED UNDER DRIVES OR PARKING AREAS THE DRIVES OR PARKING AREAS ARE TO BE SUBGRADE PRIOR TO WATER MAIN CONSTRUCTION. WATER MAINS 16-INCH AND LARGER SHALL BE INSTALLED WITH 60" MINIMUM GROUND COVER BELOW FINISH GRADE.
- THE CONTRACTOR SHALL FLUSH AND TEST LINES AS REQUIRED BY APWA AND KC WATER SPECIFICATIONS, LATEST EDITIONS, WHICHEVER IS STRICTER.
- WHERE FIRE HYDRANTS ARE NOT LOCATED AT THE END OF LINES, THE CONTRACTOR SHALL FURNISH A FLUSHING DEVICE. ALL FIRE HYDRANT BRANCHES SHALL BE RESTRAINED USING APPROVED RESTRAINING DEVICES. HYDRANTS SHALL BE INSTALLED SO THAT THE CENTERLINE OF THE OUTLET NOZZLE IS BETWEEN EIGHTEEN AND TWENTY-ONE INCHES ABOVE FINISHED GRADE, AND SO THAT THERE IS A MINIMUM CLEAR AREA OF 5' IN EACH DIRECTION TO ALLOW OPERATION OF THE HYDRANT. ALL FIRE HYDRANTS ARE TO BE SET WITH THE BASE 1" ABOVE THE TOP OF CURB OR GRADE.
- ALL TREES SHALL BE SPARED UNLESS MARKED. REFERENCE PROJECT LAND DISTURBANCE PLANS.
- ALL THIRST BLOOMS SHALL BE PROVIDED AT ALL HYDRANT ASSEMBLIES. REFERENCE KC WATER STANDARDS AND SPECIFICATIONS FOR WATER MAINS AND RELOCATIONS SECTION 02669.
- CONSTRUCTION INSPECTION WILL BE PROVIDED BY OWNER.
- LINE IS TO BE 6'-BUILT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE AS-BUILTS AND SUBMIT TO OWNER. ALL BENDS, TEES, VALVES AND LINE 25' INTERVALS SHALL BE FLAGGED AND MARKED WITH DUCTS TO TOP OF PIPE BY CONTRACTOR UPON COMPLETION OF BACKFILL AND MAINTAINED UNTIL LINE IS SURVEYED.
- SERVICE LINES SHALL HAVE A COVER OF NOT LESS THAN FOUR (4) FEET OR MORE THAN FIVE (5) FEET, UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR CLEARANCE THAT IS APPROVED BY KC WATER.

HORIZONTAL AND VERTICAL DATUM:

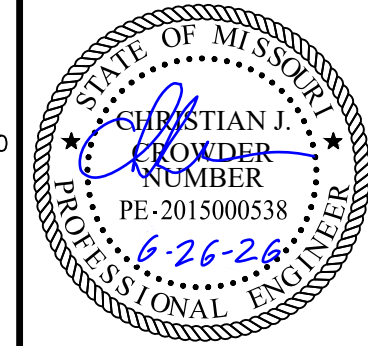
REFER TO SHEET C000

PROJECT CONTROL:

REFER TO SHEET C000

PROJECT BENCH MARKS:

REFER TO SHEET C000

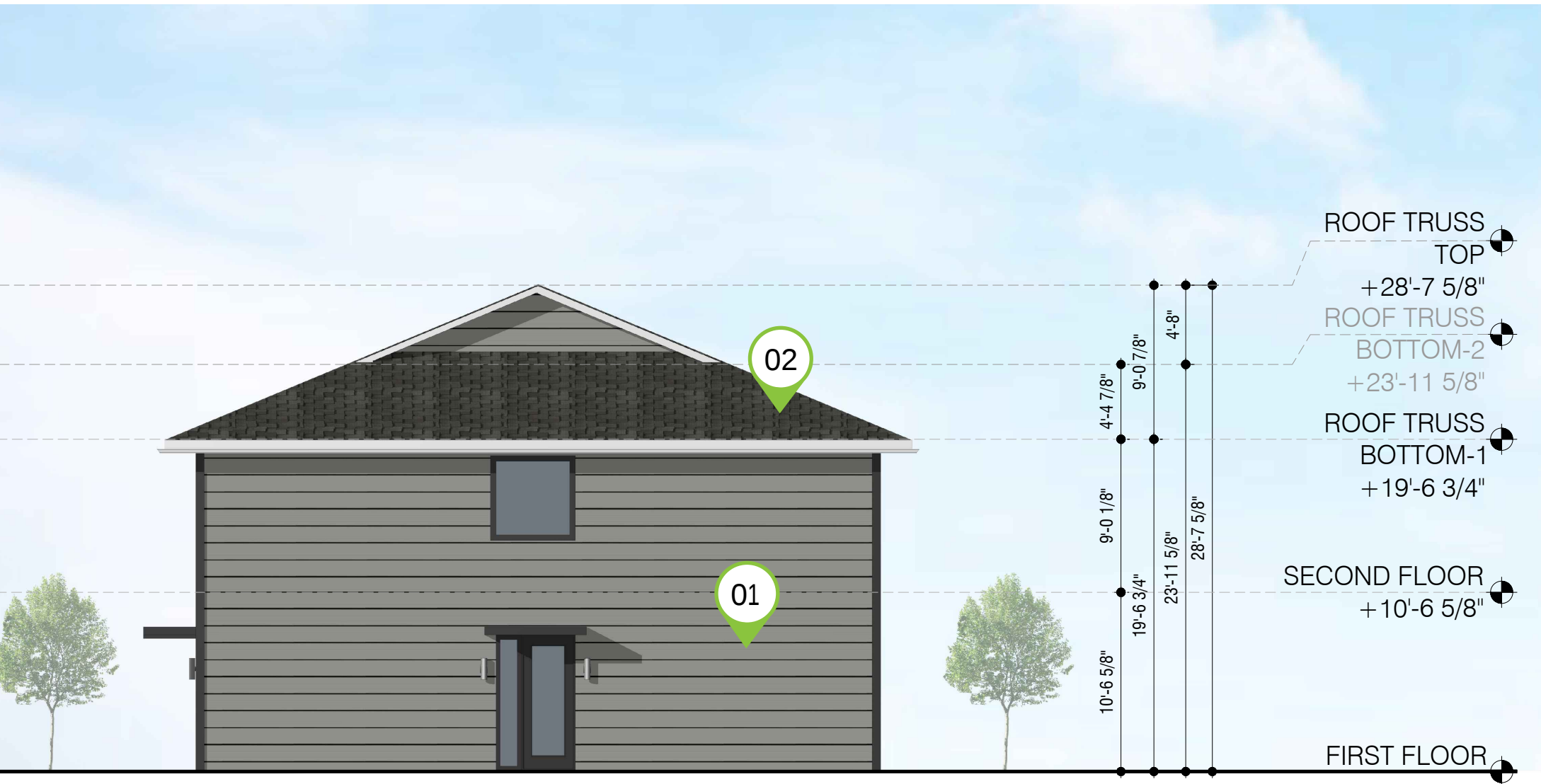


CHRISTIAN J. CROWDER
ENGINEER
MO # 2015000538

14700 WEST 114TH TERRACE
LENEXA, KANSAS 66215
PH: (913) 894-5150
www.kawvalley.com | www.kawvalley.com
KAW VALLEY ENGINEERING
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EXPIRES 12/31/27

MIDWEST RECOVERY CENTERS
13645 HOLMES ROAD
KANSAS CITY, MO 64145
SITE PLAN
UTILITY PLAN

PROJ. NO. **C25-2304**
DESIGNER **KGK** DRAWN BY **JON**
CFN **2304UP**
SHEET **C500**



2 RIGHT ELEVATION
1/8" = 1'-0"



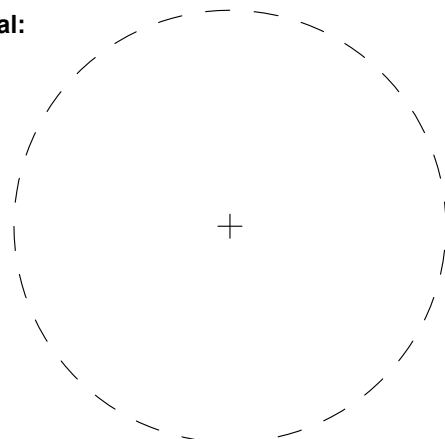
1 FRONT ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES LEGEND			
MARK	BRAND	FINISH-COLOR	IMAGE
01	JAMES HARDIE	HARDIE PLANK SMOOTH ROBO GRAY	
02	CERTAINTED	PRESIDENTIAL SHAKE COUNTRY GRAY	



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BASE4 International, LLP
#G11-230 5030 Champion Blvd.
Boca Raton, Florida 33496
888.901.8008
www.base-4.com

Seal:



Owner:


KEN HEINZ
kheinz@lodgingone.com
913.897.2889

PROJECT INFORMATION:

MIDWEST RECOVERY CENTER

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

PROGRESS SET

CURRENT ISSUE DATE:

2026.04.28

DRAWN BY:

HA

CHECKED BY:

MK/SD

PROJECT #:

B4-295-2501

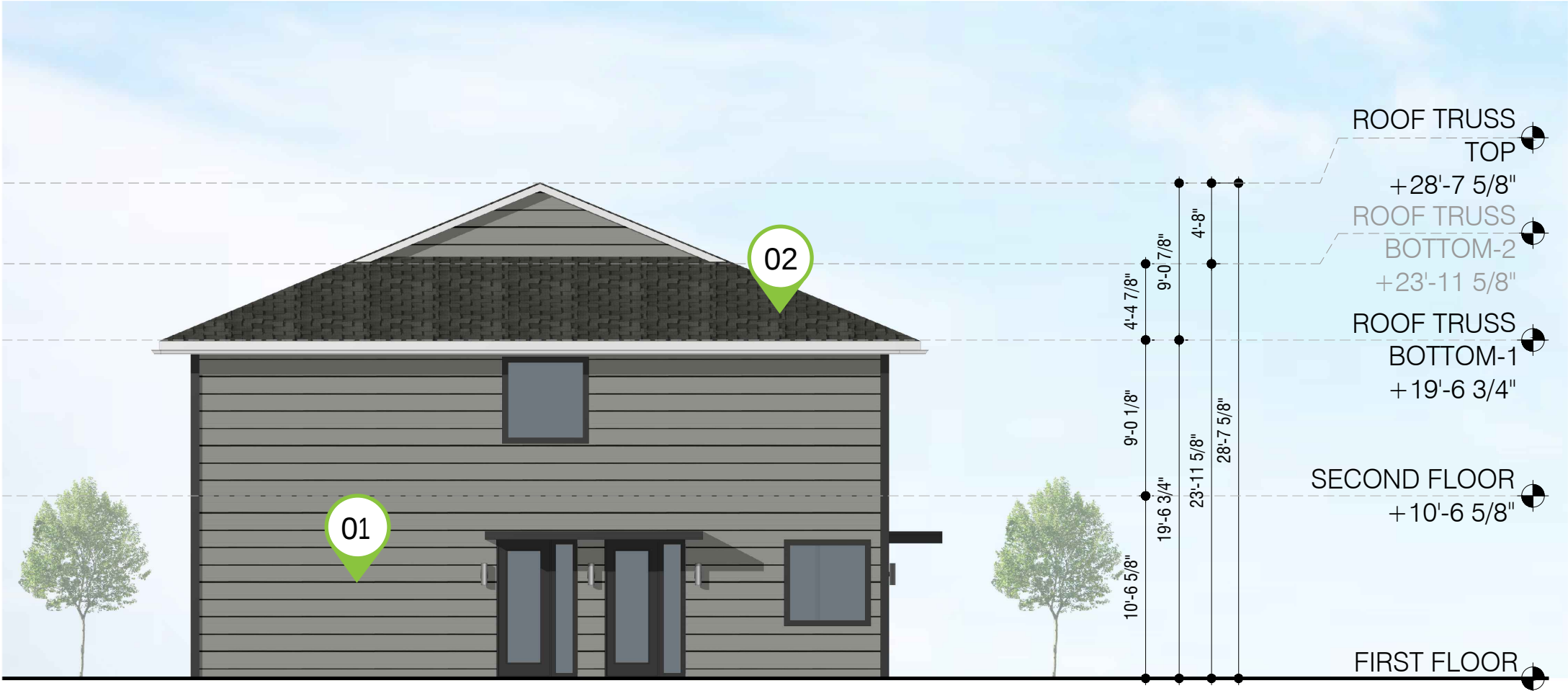
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ELEVATIONS

SHEET NUMBER:

A-5.1

EXTERIOR FINISHES LEGEND			
MARK	BRAND	FINISH-COLOR	IMAGE
01	JAMES HARDIE	HARDIE PLANK SMOOTH ROBO GRAY	
02	CERTAINTED	PRESIDENTIAL SHAKE COUNTRY GRAY	



2 LEFT ELEVATION
1/8" = 1'-0"



1 REAR ELEVATION
1/8" = 1'-0"



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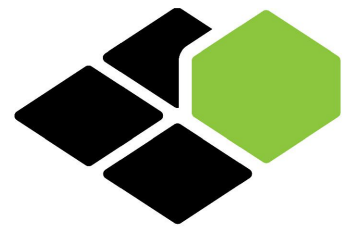
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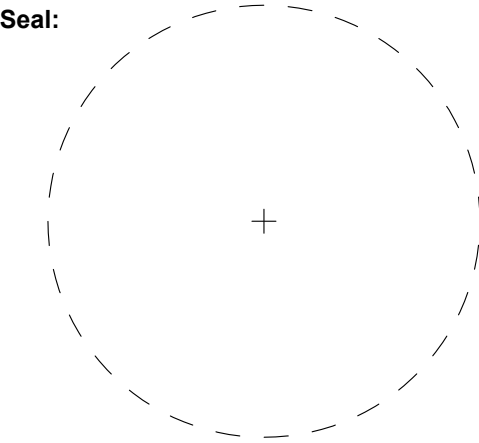


1 3D VIEW
N.T.S



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Boca Raton, Florida 33496
888.901.8008
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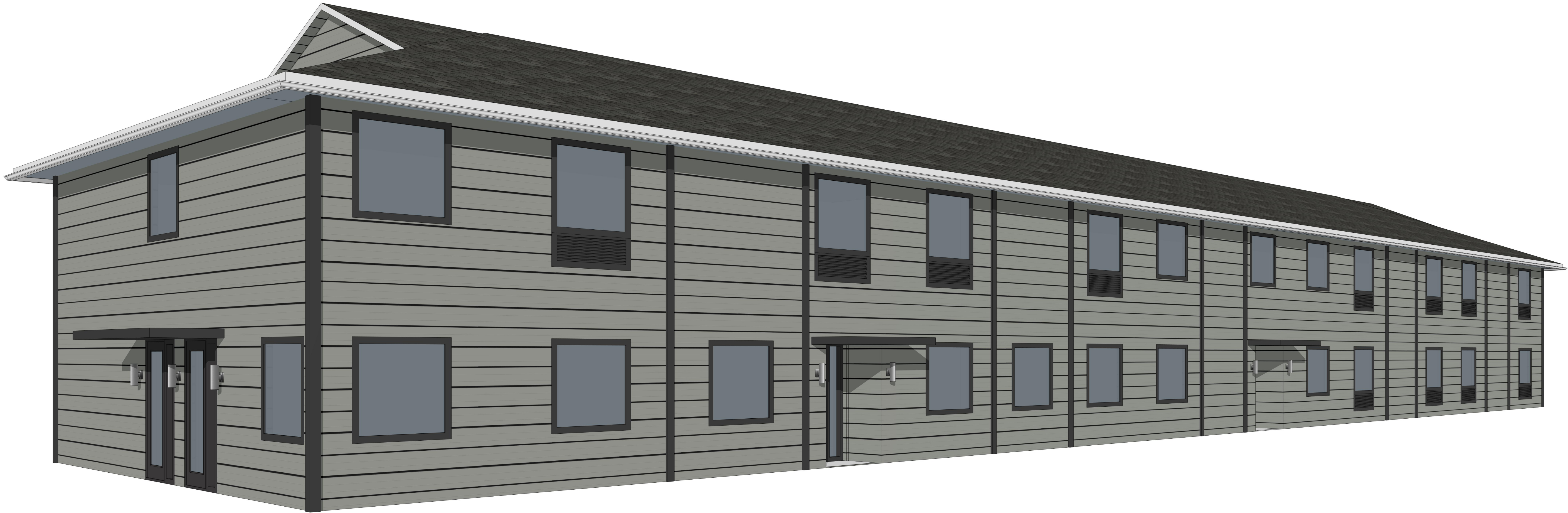
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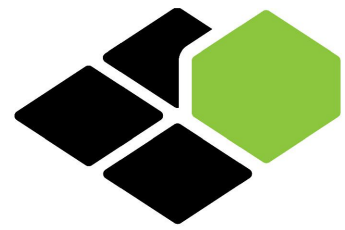
VIEWS

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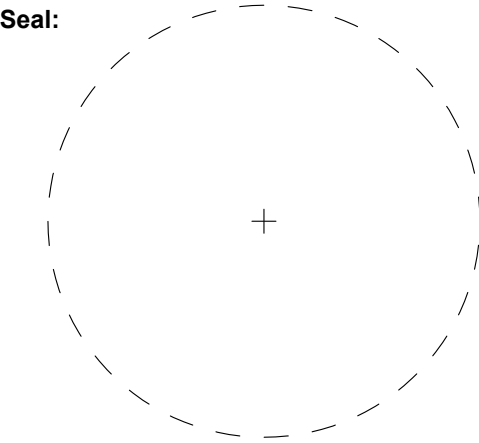


1 3D VIEW
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KEN HEINZ
kheinz@lodgingone.com
913.897.2889

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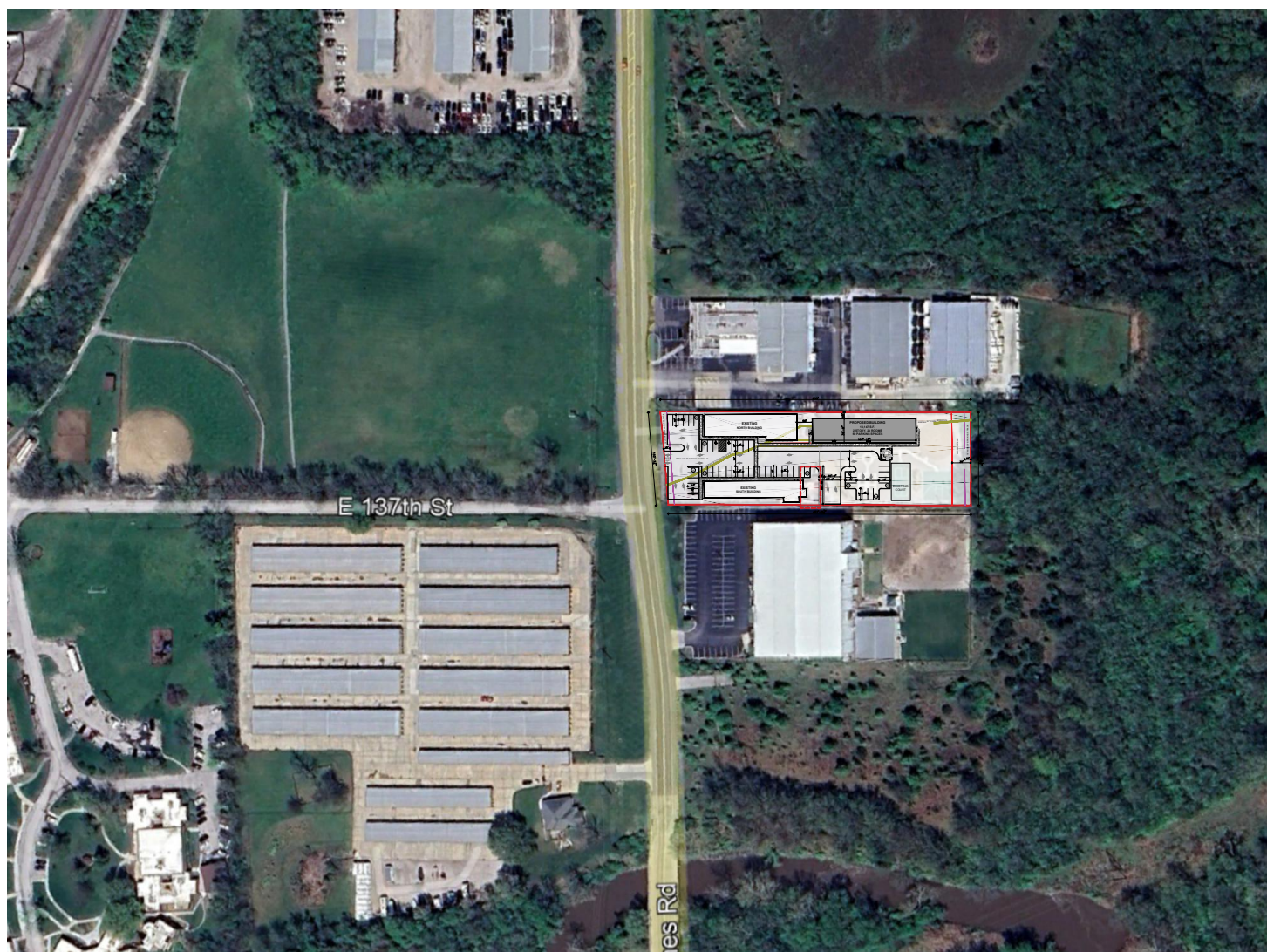
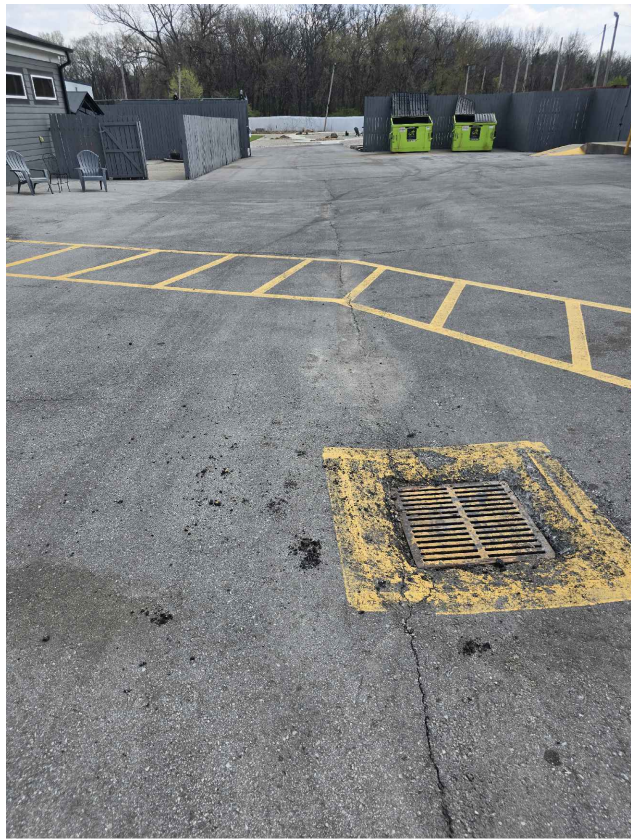
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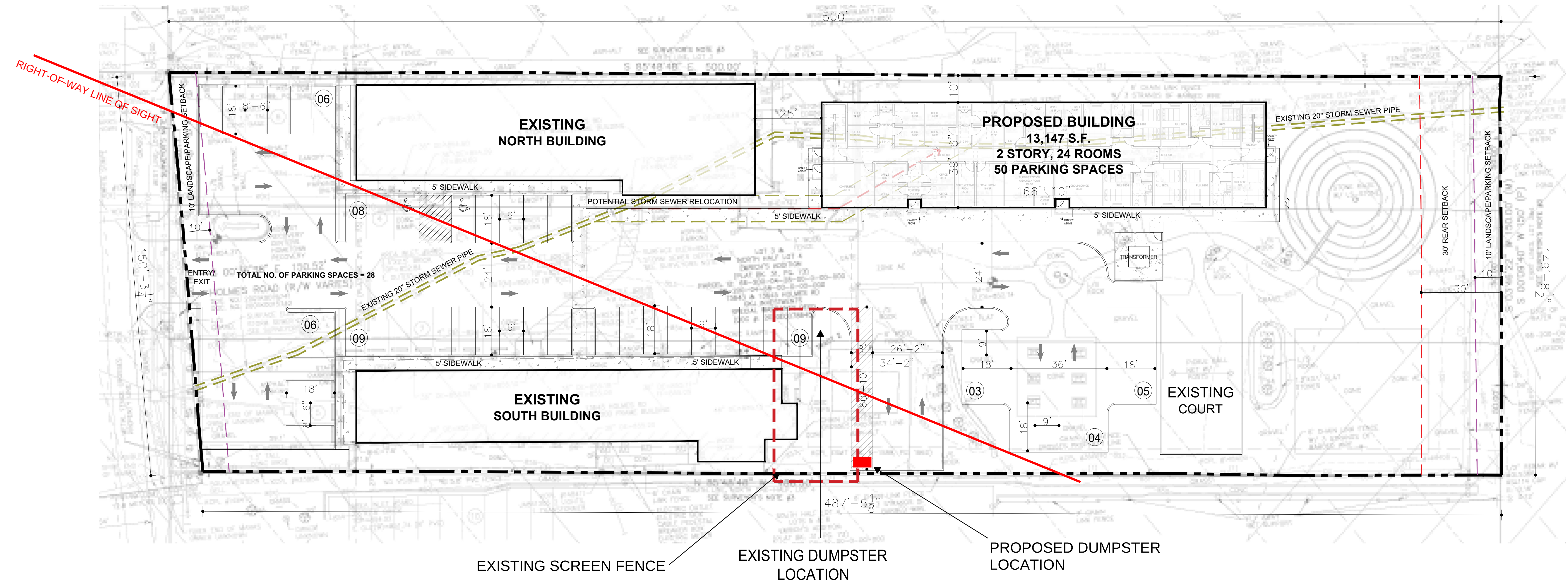
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SHEET NUMBER:
A-5.4



NOTE: EXISTING DUMPSTER LOCATION, HIDDEN FROM PUBLIC VIEW

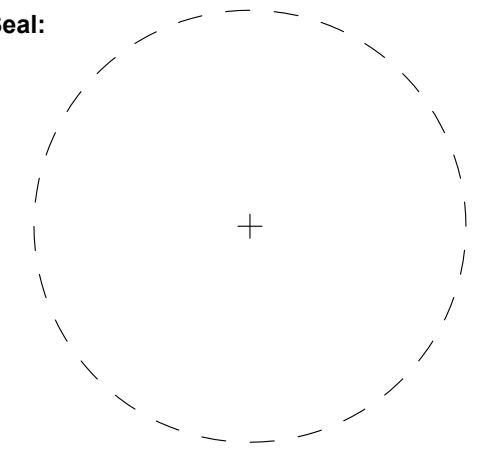
VICINITY MAP
SCALE- N.T.S





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Seal:



Owner:

LODGING ONE
HOSPITALITY

KEN HEINZ
kheinze@lodgingone.com
913.897.2889

PROJECT INFORMATION:

MIDWEST RECOVERY CENTER

KANSAS CITY, MO

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

PROGRESS SET

CURRENT ISSUE DATE: 2026.06.29

DRAWN BY: PH/SD

CHECKED BY: MK/SD

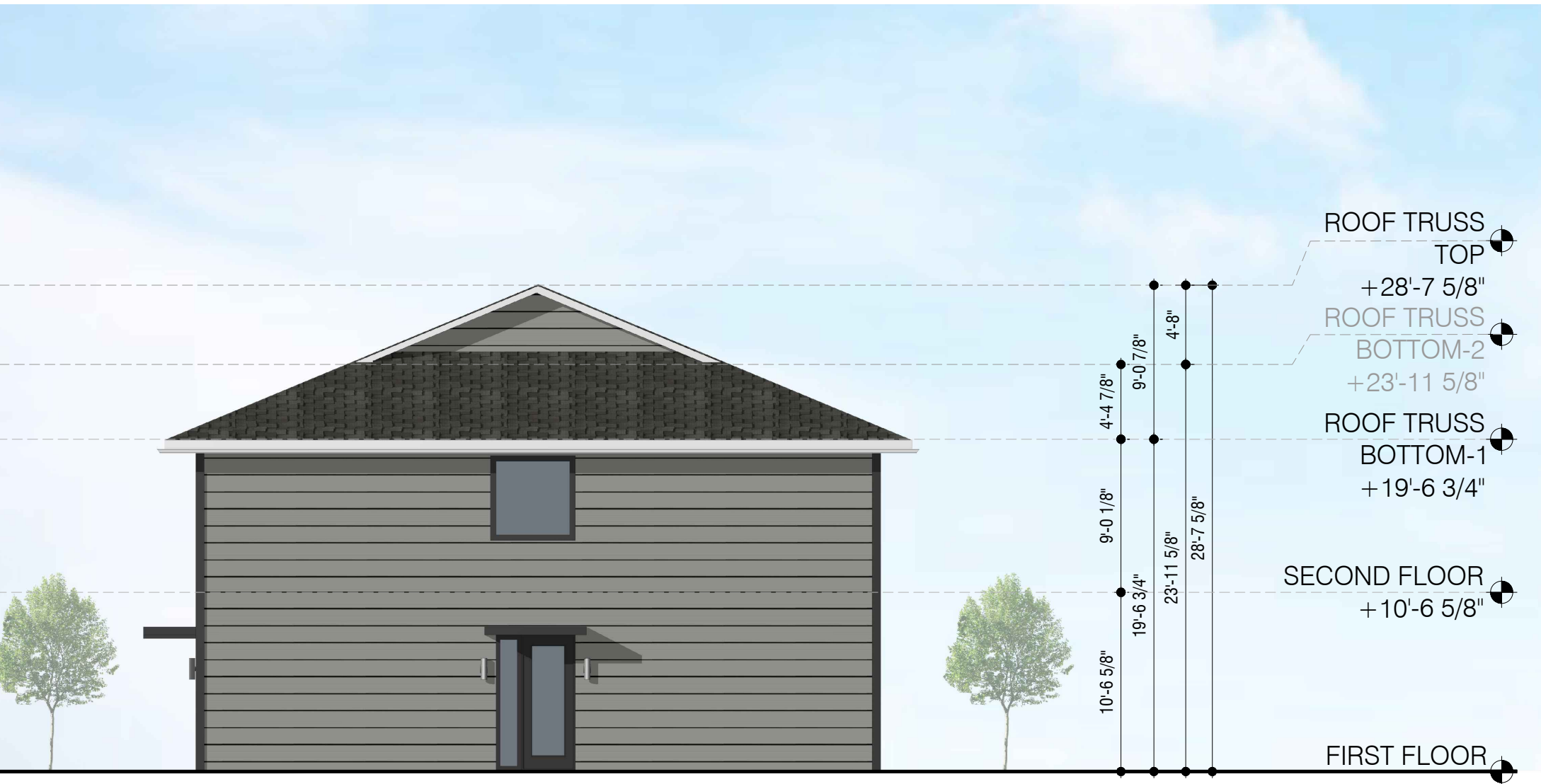
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DUMPSTER LOCATION

SHEET NUMBER:

A-1.2

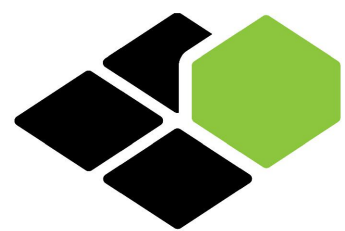


2 RIGHT ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES LEGEND			
MARK	BRAND	FINISH-COLOR	IMAGE
01	JAMES HARDIE	HARDIE PLANK SMOOTH ROBO GRAY	
02	CERTAINTED	PRESIDENTIAL SHAKE COUNTRY GRAY	

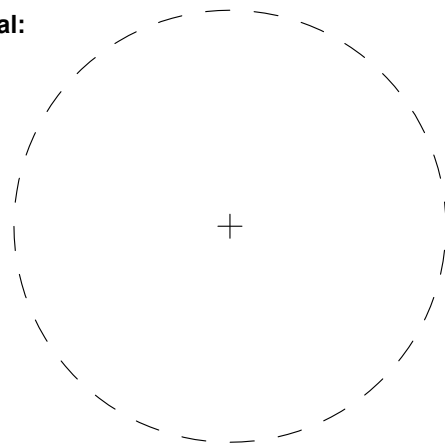


1 FRONT ELEVATION
1/8" = 1'-0"



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kheinz@lodgingone.com
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SHEET NUMBER:

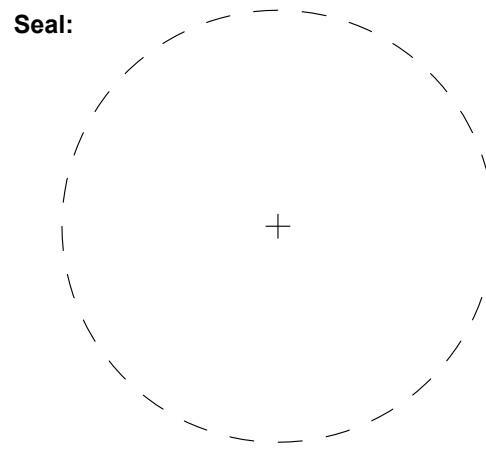
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EXTERIOR FINISHES LEGEND			
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kheinz@lodgingone.com
913.897.2889

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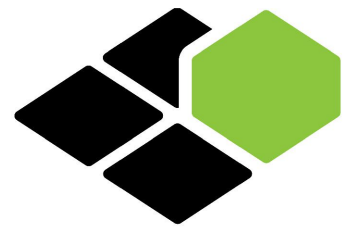
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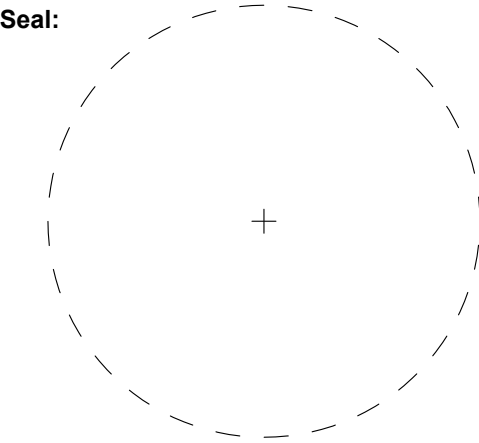


1 3D VIEW
N.T.S



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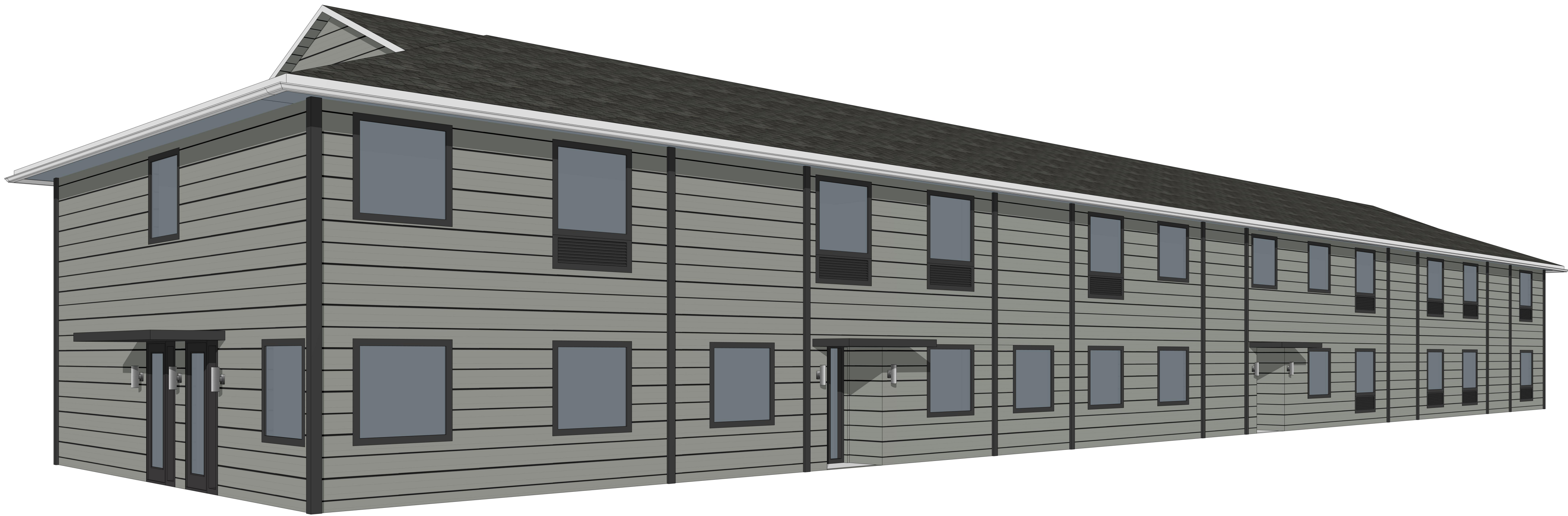
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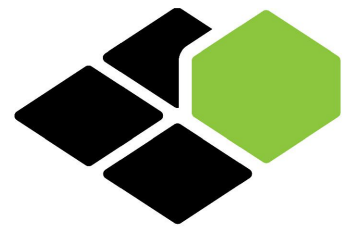
VIEWS

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A-5.3

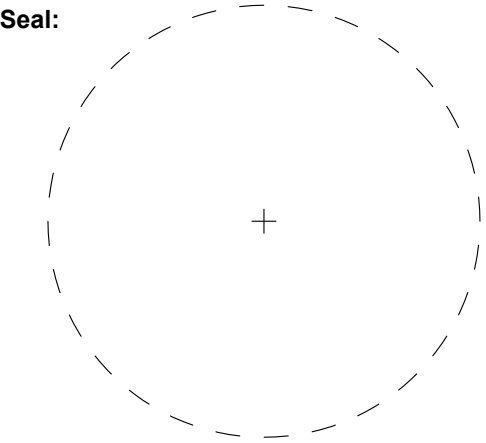


1 3D VIEW
N.T.S



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KANSAS CITY, MO

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PROJECT #:
B4-295-2501

SHEET NAME:

VIEWS

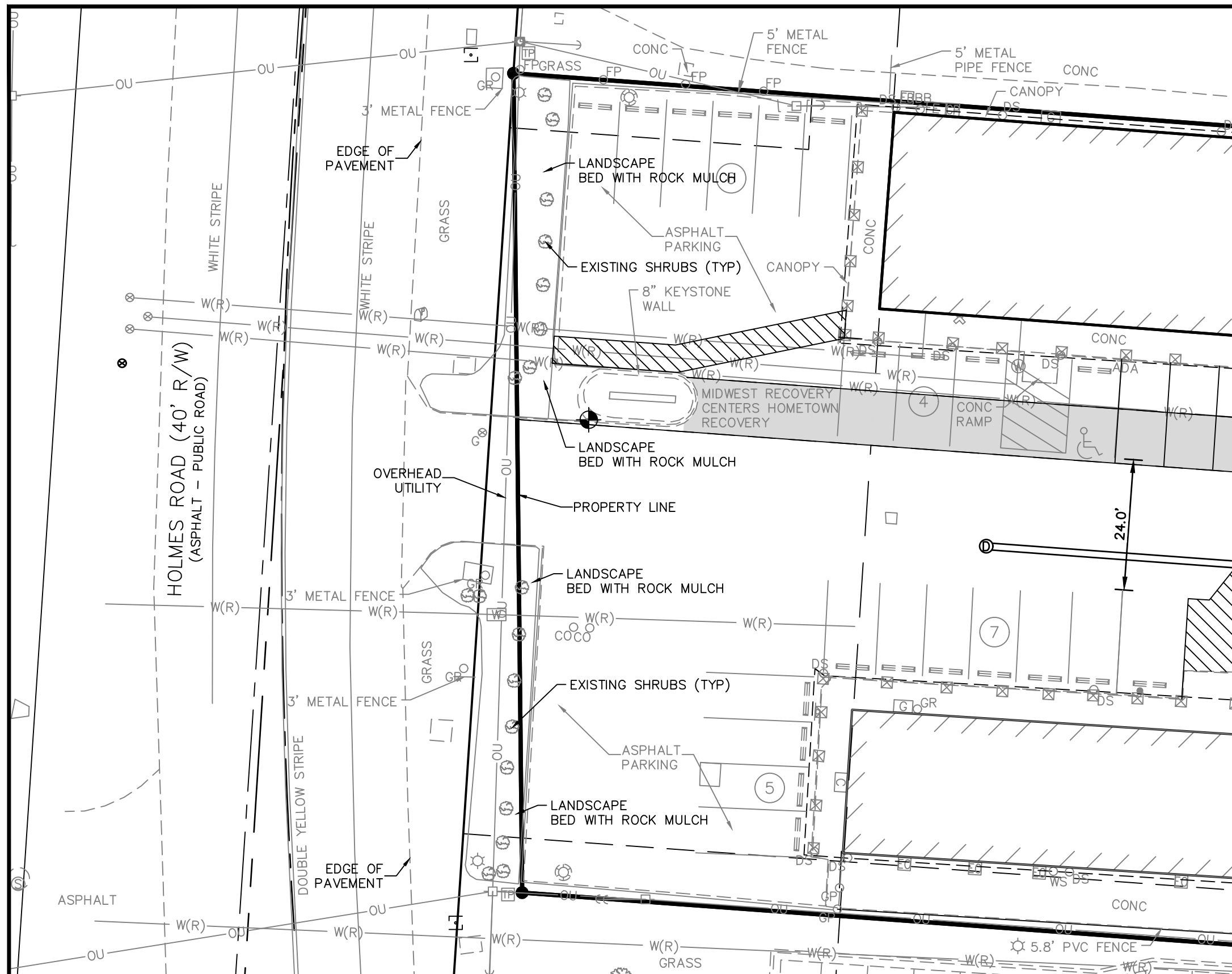
SHEET NUMBER:
A-5.4



Existing screen fence viewed from adjacent property.



Existing screen fence viewed from adjacent property.



LOOKING NORTH FROM DRIVE ENTRANCE



LOOKING SOUTH FROM DRIVE ENTRANCE



CITY OF
KANSAS CITY,
MISSOURI

CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

Meeting Minutes from Midwest Recovery Centers Martin City Expansion: July 7, 2026

- City Case Number: CD-CPC-2026-00060

Meeting was held virtually - 5:30PM to 6:30PM

Attendees:

- Kyle Kippes, Kaw Valley Engineering
- Kevin O'Grady, Midwest Recovery Centers
- CJ Heinz, Midwest Recovery Centers
- Geffen Liberman, Midwest Recovery Centers

In Summary:

No attendees.