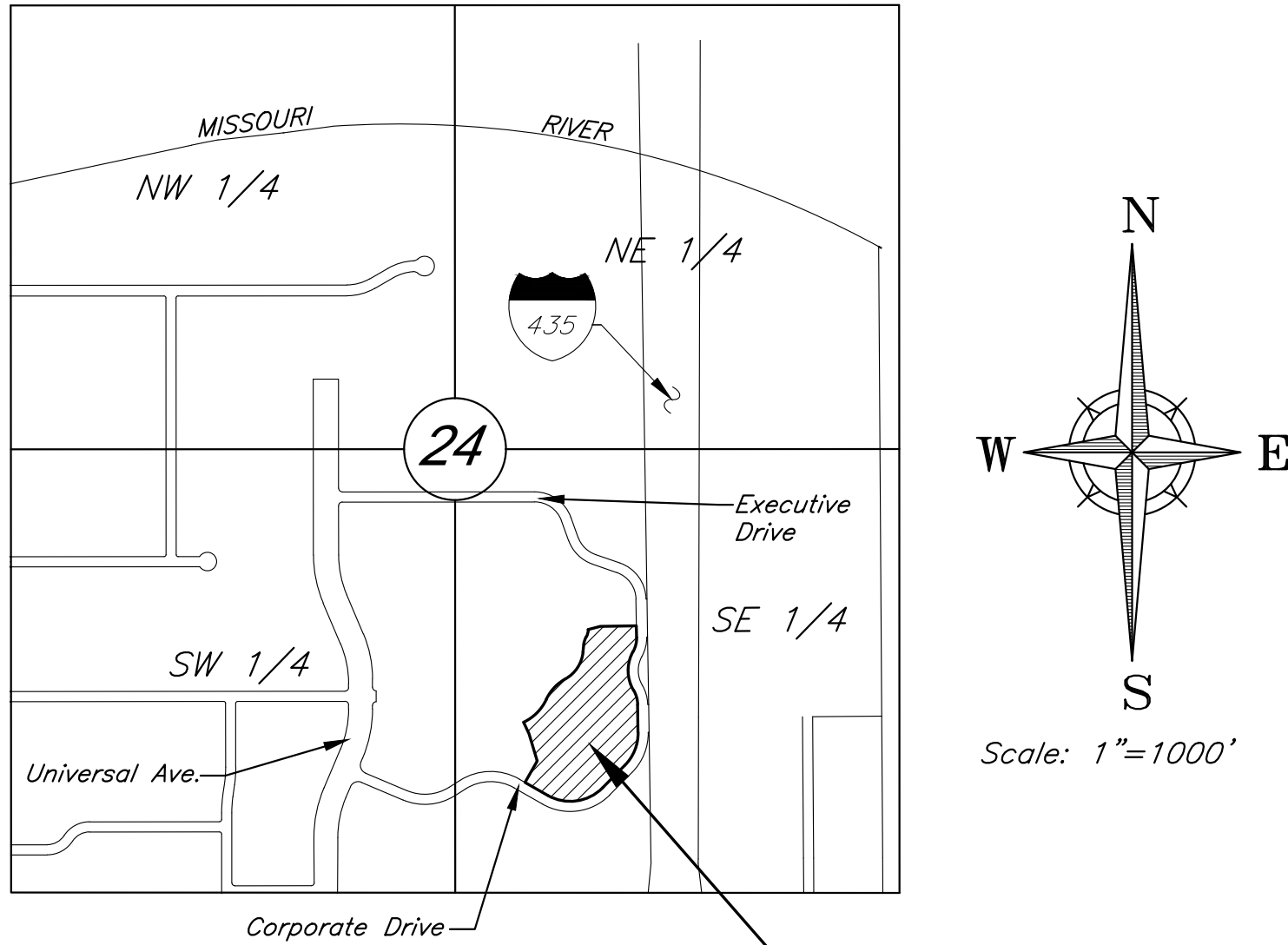


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URD PRELIMINARY DEVELOPMENT PLAN
FOR
BLACK & McDONALD NEW BUILDING

Part of the SE 1/4
Section 24-Township 50S-Range 33E
in the
City of Kansas City
Jackson County, Missouri



VICINITY MAP
Section 24-Township 50-Range 33

INDEX OF SHEETS

<i>Sht. No.</i>	<i>Description</i>
<i>C0</i>	<i>TITLE SHEET</i>
<i>C1.00</i>	<i>SITE PLAN</i>
<i>L1.00</i>	<i>LANDSCAPE PLAN</i>
<i>L1.01</i>	<i>LANDSCAPE DETAILS</i>
<i>A3.01</i>	<i>BUILDING ELEVATIONS</i>
<i>E1.00</i>	<i>LIGHTING PLAN</i>

PREPARED FOR:
BLACK & McDONALD
4101 MAIN STREET
GRANDVIEW, MISSOURI 64030
PHONE: 816-410-8606
CONTACT: BRYAN EITZMANN
EMAIL: beitzmann@blackandmcdonald.com

PREPARED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD
LENEXA, KANSAS 66219
PHONE: 913-492-0400
CONTACT: JACOB SCHWEIKERT
EMAIL: jschweikert@gbateam.com

FLOODPLAIN:

According to FEMA Flood Insurance Rate Map Number 2909SC0163H, Map Revised December 7, 2023, and Map Number 2909SC0144H, Map Revised December, 2023, the site lies partially within Zone X, Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood; and partially within Zone AH, Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

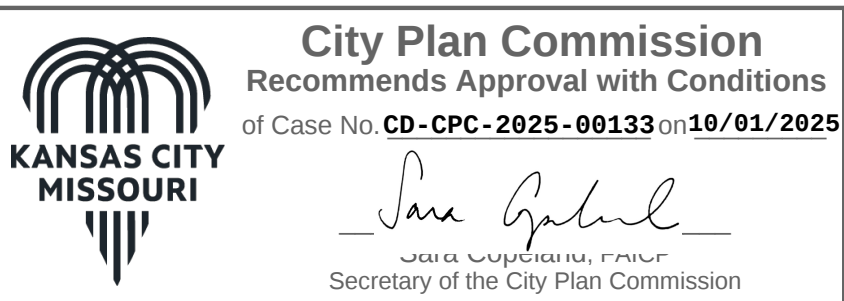
PROJECT ENGINEER: JACOB SCHWEIKERT, P.E.

DATE:

APPROVED BY:

MANAGER, ENGINEERING SERVICES DIVISION:

DATE:



9801 Renner Boulevard
Lenexa, Kansas 66219
913.492.0400
www.gbateam.com

0030 W. CORPORATE DRIVE
PART OF TRACT A, EXECUTIVE PARK FIFTH PLAT,
A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI

PREPARED FOR:
Black & McDonald
4101 Main Street
Grandview. Mo. 64030

VISION

PROJECT NUMBER
16874.00

DATE
09/02/25

SITE PLAN

SHEET NUMBER

1.00

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Architect 00212, Professional Engineer 000133
Landscape Architect 000025, Professional Land Surveyor 000059

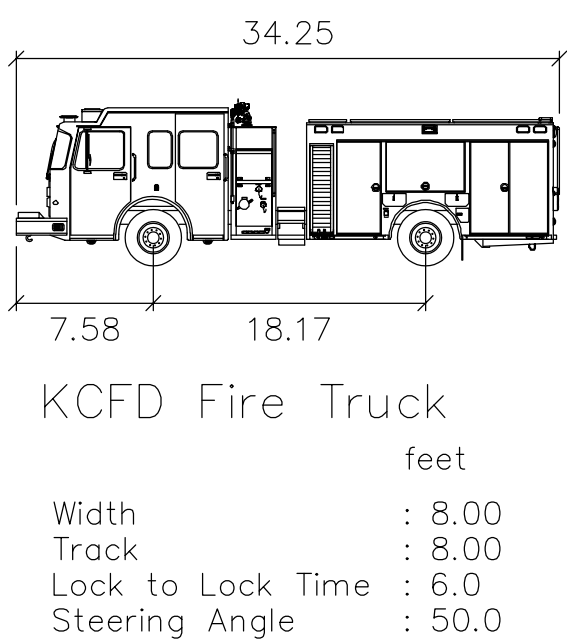
SITE DATA	Existing	Proposed	Deviation Requested?	Approved
Zoning	M3-5	M3-5	N/A	
Gross Land Area (SFT)	4769668.24	4769668.24	N/A	
Gross Land Area (AC)	10.94	10.94	N/A	
Right-of-way Dedication (SFT)	0	0	N/A	
Right-of-way Dedication (AC)	0	0	N/A	
Net Land Area (SFT)	4769668.24	4769668.24	N/A	
Net Land Area (AC)	10.94	10.94	N/A	
Building Area (SFT)	N/A	45600	N/A	
Floor Area Ratio	N/A	0.096	N/A	
Residential Use Info	N/A	N/A	N/A	
Total Dwelling Units	0	0	N/A	
Total Lots			N/A	
Residential	0	0	N/A	
Public/ Civic	0	0	N/A	
Commercial	0	0	N/A	
Industrial	3 tracts	3 tracts	N/A	
Other	0	0	N/A	

BUILDING DATA	Required	Proposed	Deviation Requested?	Approved
Rear Setback	None	258.67'	N/A	
Front Setback	None	76.68'	N/A	
Side Setback	None	120.97'	N/A	
Side Setback (abutting street)	N/A	N/A	N/A	
Height	None	38'	N/A	

88-420 - PARKING	Vehicle Spaces		Bike Spaces		Alternatives Proposed? (See 88-420-16)
	Required	Proposed	Required	Proposed	
Proposed Use(s)	Employees		Employees		No
Total	15	67	10	0	

88-425 - OTHER DEVELOPMENT STANDARDS	Method of Compliance
88-430 Outdoor Lighting	See Photometric Plan
88-435 Outdoor Display, Storage and Work Areas	See Photometric Plan
88-445 Signs	
88-450 Pedestrian Standards	

According to FEMA Flood Insurance Rate Map Number 29095C0163H, Map Revised December 7, 2023, and Map Number 29095C0144H, Map Revised December, 2023, the site lies partially within Zone X, Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 7 square mile; and areas protected by levees from 1% annual chance flood; and partially within Zone AH, Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.



- *SL*
- *TP*
- *WM*
- *PP*
-
- *GV*
- *SSMH*
- BC/BC*
- R/W*

Legend

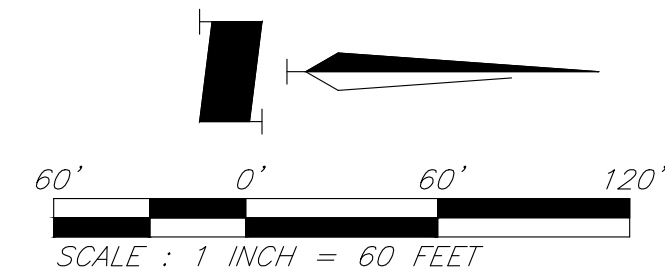
	Wood plank fence
	Chain Link Fence
 SAN	Sanitary Sewer Line
 OHE --- OHE	Over Head Electric
 G	Gas Line
 W	Water Line
 UGE --- UGE	Underground Electric
 UGT	Underground Telephone
 UGTV	Underground Cable TV
	Denotes Property Corner found as noted
	Lack of Direct Access

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- EXTRAS FOR CONSIDERATION

28. SOD: FOR AREAS LABELED AROUND THE BUILDING, SOD WITH A 90% TURF-TYPE TALL FESCUE AND 10% BLUEGRASS BLEND.
29. SEED/HYDROMULCH: MECHANICALLY SPREAD SEED AT A RATE OF 10-12 LBS PER 1,000 SF. HYDROMULCH WITH A WOOD OR PAPER CELLULOSE COMMERCIAL MULCH MATERIAL AT A RATE OF 3,000 LBS/ACRE.

LIMITS OF DISTURBANCE
 PROPOSED CONTOUR MAJOR
 PROPOSED CONTOUR MINOR
 EXISTING CONTOUR MAJOR
 EXISTING CONTOUR MINOR
 PROPERTY LINE
 RIGHT-OF-WAY
 EXISTING FIBER OPTIC
 EXISTING GAS
 EXISTING OVERHEAD ELECTRIC
 EXISTING UNDERGROUND ELECTRIC
 EXISTING UNDERGROUND TELECOMM
 EXISTING WATER LINE
 PROPOSED UNDERGROUND ELECTRIC
 PROPOSED WATER LINE
 PROPOSED SANITARY SEWER



GBA
architects
engineers

BLACK & McDONALD NEW BUILDING CONCEPT PLAN

6830 N. CORPORATE DRIVE
PART OF TRACT A, EXECUTIVE PARK FIFTH PLAT,
A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI

REVISION

PROJECT NUMBER
16874.00

DATE
09/02/25

DESIGNED

DRAWN

REVIEWED

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

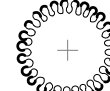
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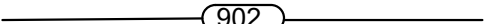
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONT.	QTY	REMARKS
TREES						
	AB	Acer saccharum 'Bailista' / Fall Fiesta® Sugar Maple	2" Cal.	B&B	16	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	GP	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Maidenhair Tree	2" Cal.	B&B	18	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	TB	Tilia americana 'Boulevard' / Boulevard American Linden	2" Cal.	B&B	19	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

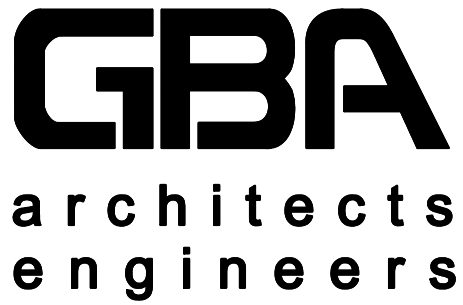
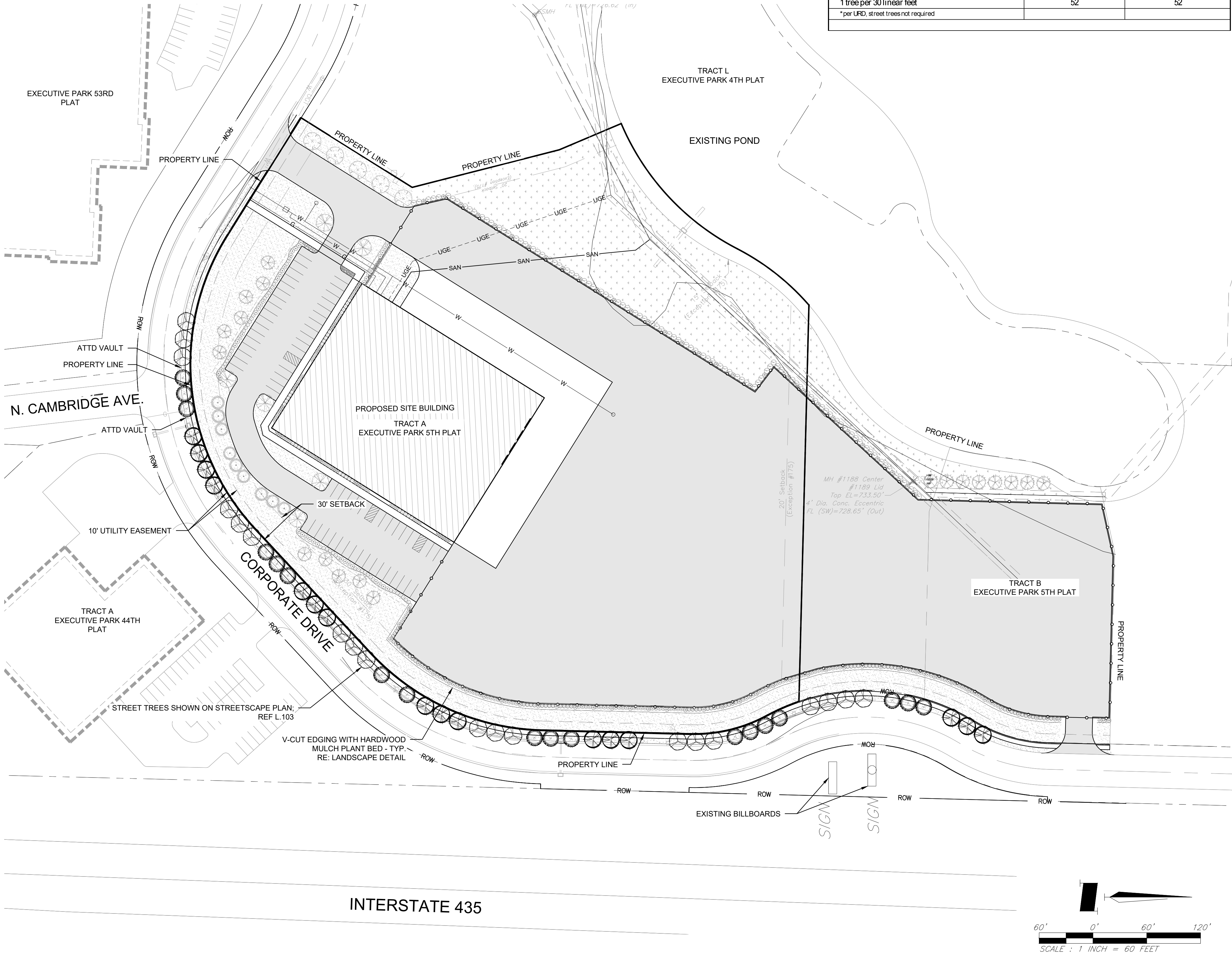
NOTE: PLANTS ARE SPECIFIED BY HEIGHT, SPREAD AND/OR CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

LEGEND:

	LIMITS OF DISTURBANCE
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	PROPERTY LINE
	RIGHT-OF-WAY
	EXISTING FIBER OPTIC
	EXISTING GAS
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELECOMM
	EXISTING WATER LINE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER

Kansas City, MO - Landscape Ordinance 88-425 | Executive Park URD Parcel 6

Street Trees	Required	Provided
88-425-03: At least one street tree is required for each 30 feet of street frontage. Required Street Trees must be installed within the street right of way or within 10 feet of the street right of way		
1 tree per 30 linear feet	52	52
*per URD, street trees not required		



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BLACK & McDONALD
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4101 Main Street
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DRAWN
NJF
REVIEWED
JS

SHEET TITLE
LANDSCAPE PLAN

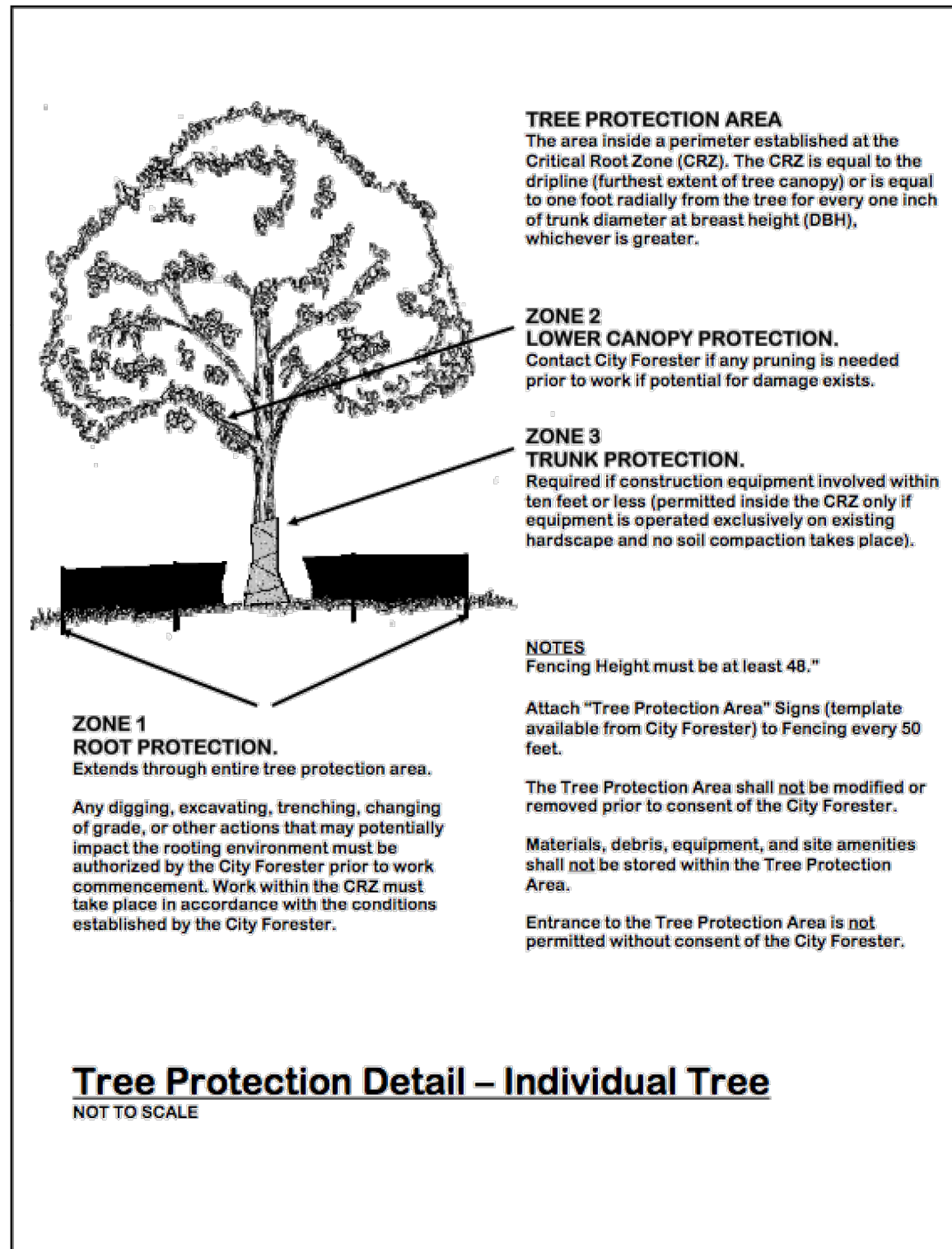
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L1.00

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Engineering COA# E-92



City Plan Commission
Recommends Approval with Conditions
of Case No. CD-CPC-2025-00133 on 10/01/2025
Janet G. Butler
JANET G. BUTLER, FICP
Secretary of the City Plan Commission

FIGURE 5—TREE PROTECTION

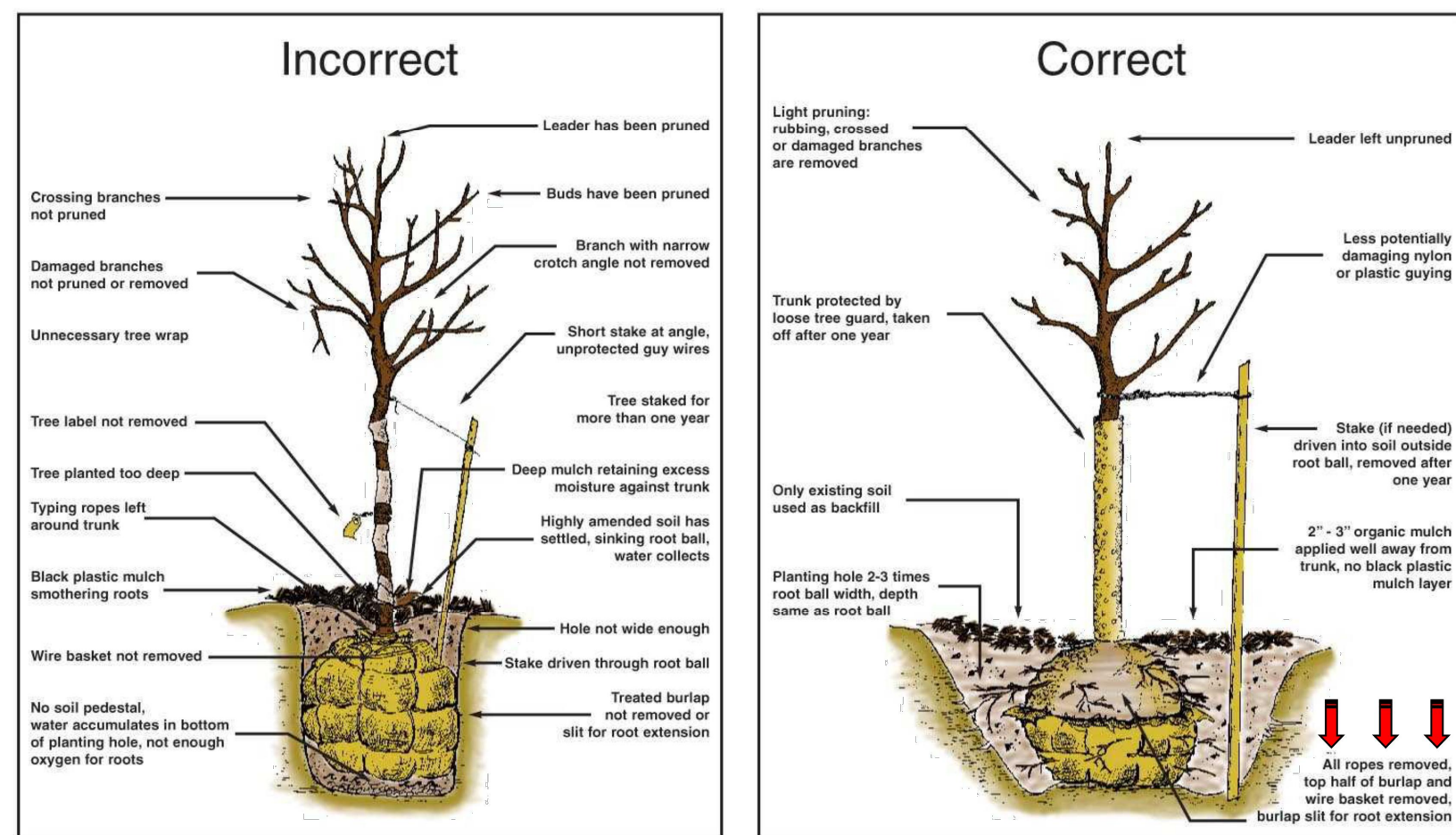


Forestry Section, Street Tree Planting Requirements –November 2018

page 14

FIGURE 4—PLANTING QUALITY

PRUNING AT PLANTING NOT REQUIRED!
PRUNING SHOULD ONLY BE DONE BY A QUALIFIED ARBORIST OR FORESTER



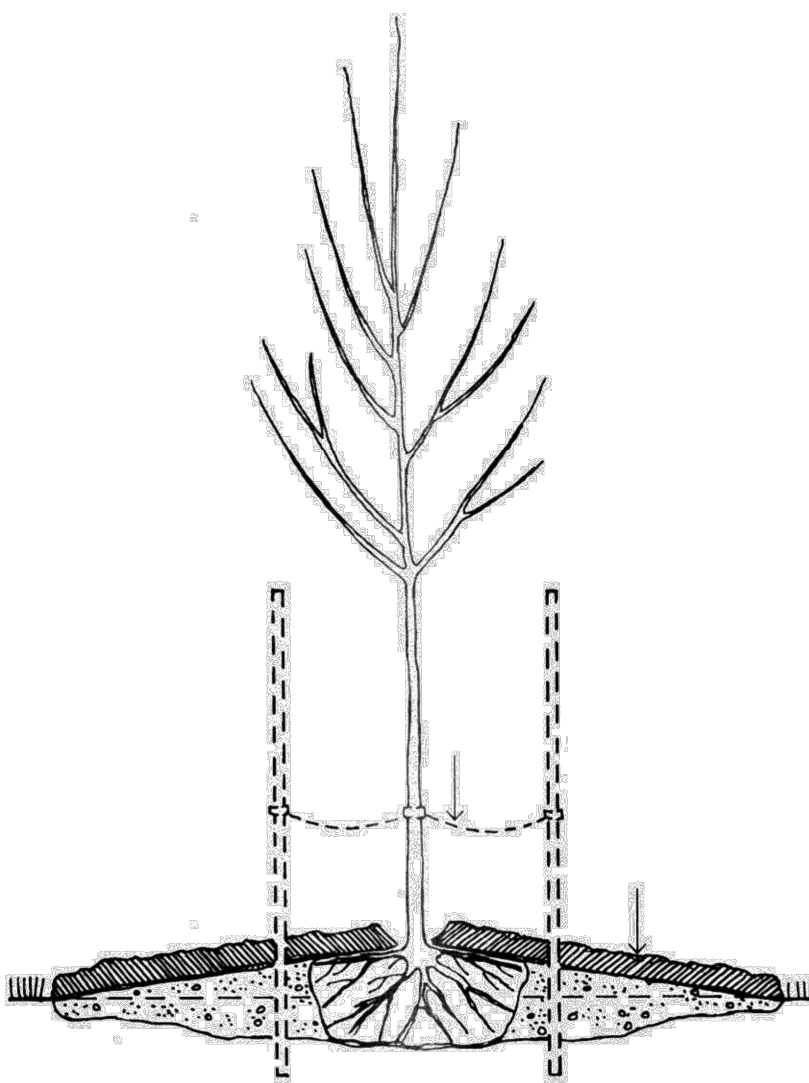
Forestry Section, Street Tree Planting Requirements –November 2018

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FIGURE 3—TREE PLANTING IN COMPACTED SOIL DETAIL

To test for compacted soil, do a simple percolation test. Dig a hole 12 inches to 18 inches deep and fill it with water. If the water is still in the hole 12 to 18 hours later, then you have compacted or heavy clay soils.

Roots need oxygen, so dig a wide shallow hole three to four times the width of the root ball or container and only half as deep. Mound backfill soil slightly to the top of the root flare, covering the entire excavation. This creates a raised planting bed, which will improve the tree's performance. Soils that hold excessive moisture may need a subsurface drain tube installed below the root ball.



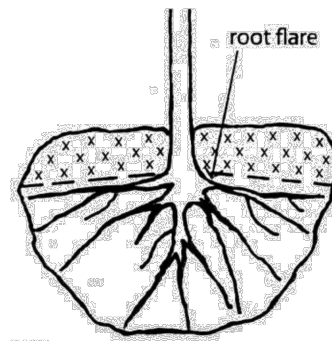
Forestry Section, Street Tree Planting Requirements –November 2018

page 12

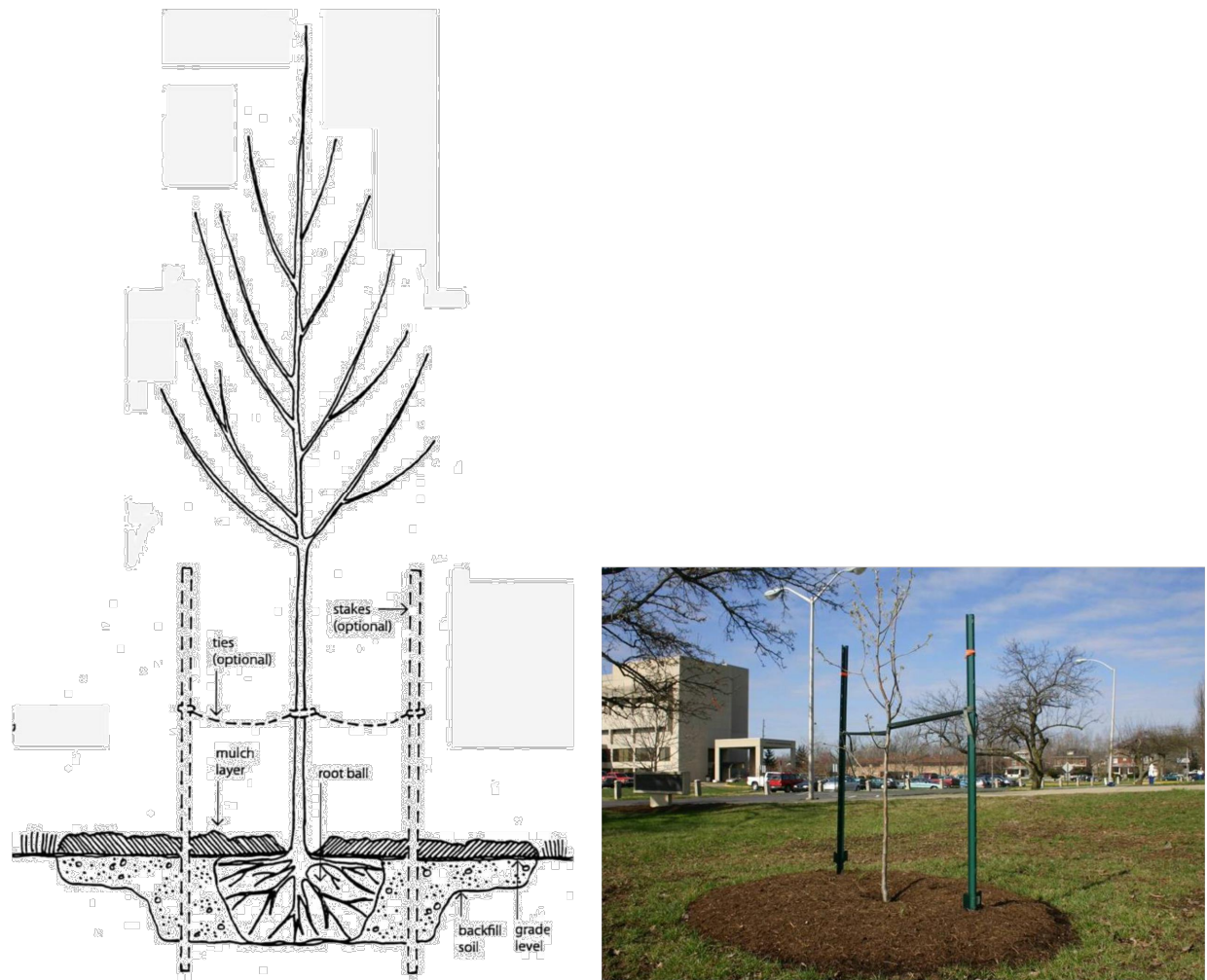
FIGURE 2—TREE PLANTING STANDARD DETAIL

Finding the Root Flare:

For balled-and-burlapped trees, probe the top of the soil ball chose to the trunk to find the first roots. You can do this with a stout wire. Check in two or more locations to make sure you've located the top major roots. Leave the burlap in place to make moving the tree easier. Measure the distance from the top of the soil ball to the root flare. Next, subtract that distance from the total depth of the burlapped soil ball.



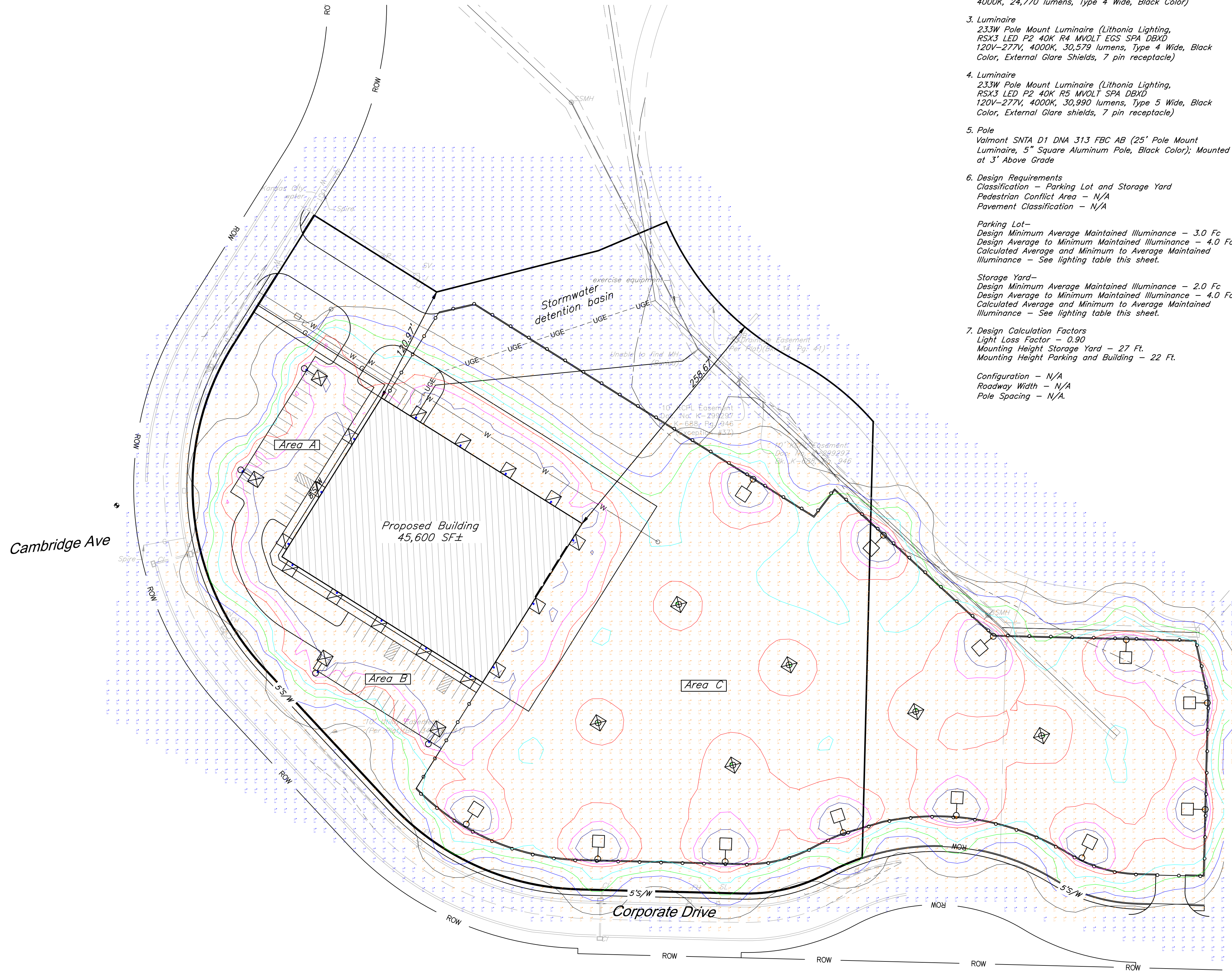
The distance from the top-most buried root to the bottom of the ball is the correct depth to dig the pit.



Forestry Section, Street Tree Planting Requirements – November 2018

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Lighting Table			
Proposed Lighting Area	A	B	C
Design Minimum Average Maintained Illuminance	3.0 Fc	3.0 Fc	2.0 Fc
Calculated Average Maintained Illuminance	3.66 Fc	4.19 Fc	2.13 Fc
Calculated Average/Min	3.33	4.66	4.26

Lighting Quantities*		
		Quantity
166W Wall Mount Luminaire (GLEON-AF-03-LED-E1-T4W)	Each	15
166W Pole Mount Luminaire (GLEON-AF-03-LED-E1-T4W)	Each	4
233W Pole Mount Luminaire (RSX3 LED P2 40K R4 MVOLT EGS SPA DBXD)	Each	12
233W Pole Mount Luminaire (RSX3 LED P2 40K R5 MVOLT SPA DBXD)	Each	6
25' Steel Pole (Valmont DS330 400W250 D1 FP MB FBC CB)	Each	22
24" Dia. Concrete Foundation (Pedestal with 3' Above Grade)	Each	22

* These approximate quantities were prepared solely for information only. It is not guaranteed that this list of materials constitutes all items required for the completion of the work.

LIGHTING DESIGN PARAMETERS

Parking Lot

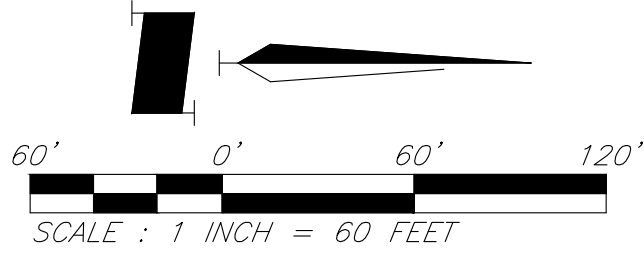
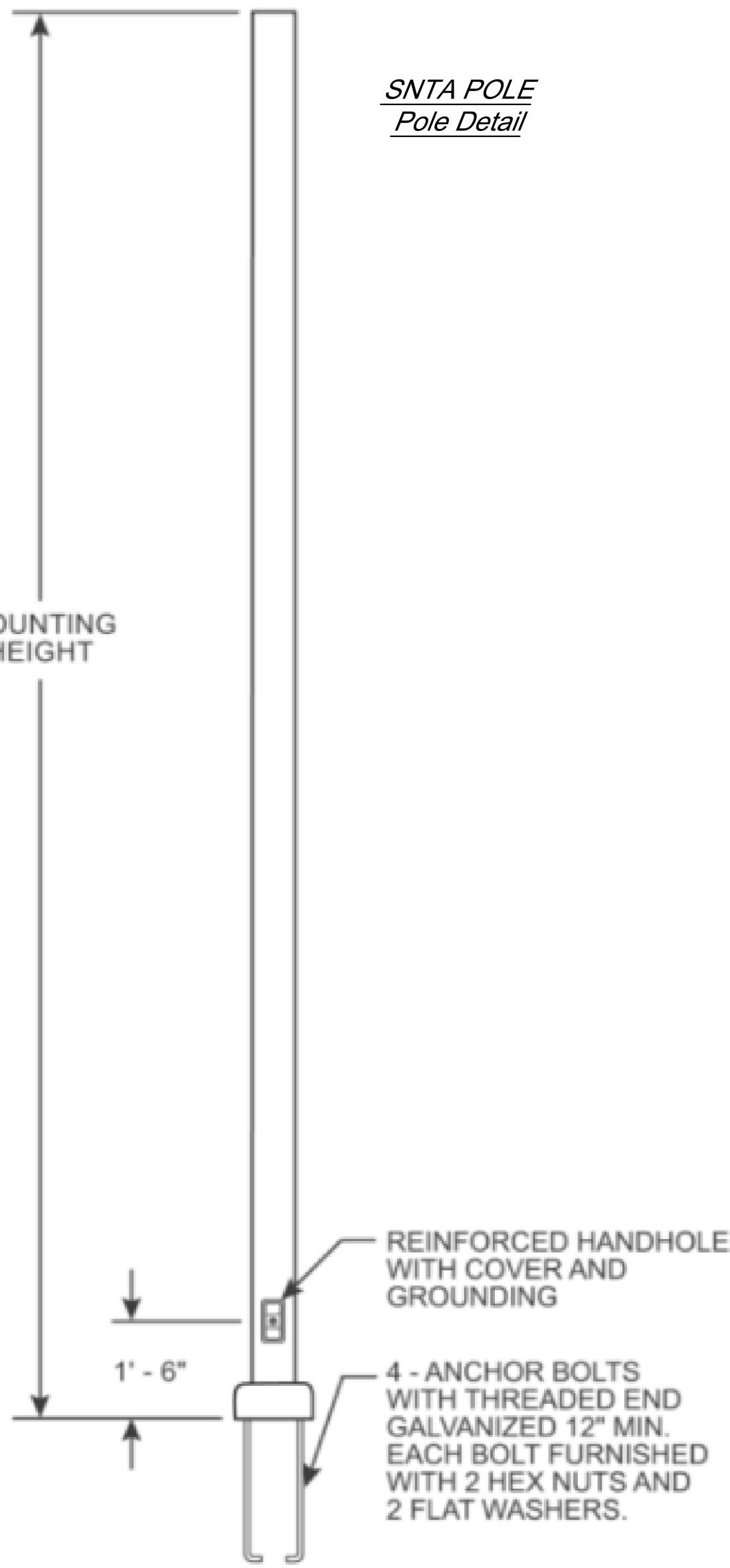
- Luminaire
166W Wall Mount Luminaire (Cooper Lighting Solutions, McGraw-Edison, GALLEON Area and Roadway Luminaire, GLEON-AF-03-LED-E1-T4W 4000K, 24,770 lumens, Type 4 Wide, Black Color)
- Luminaire
166W Pole Mount Luminaire (Cooper Lighting Solutions, McGraw-Edison, GALLEON Area and Roadway Luminaire, GLEON-AF-03-LED-E1-T4W 4000K, 24,770 lumens, Type 4 Wide, Black Color)
- Luminaire
233W Pole Mount Luminaire (Lithonia Lighting, RSX3 LED P2 40K R4 MVOLT EGS SPA DBXD 120V-277V, 4000K, 30,579 lumens, Type 4 Wide, Black Color, External Glare Shields, 7 pin receptacle)
- Luminaire
233W Pole Mount Luminaire (Lithonia Lighting, RSX3 LED P2 40K R5 MVOLT SPA DBXD 120V-277V, 4000K, 30,990 lumens, Type 5 Wide, Black Color, External Glare shields, 7 pin receptacle)
- Pole
Valmont SNTA D1 DNA 313 FBC AB (25' Pole Mount Luminaire, 5" Square Aluminum Pole, Black Color); Mounted at 3' Above Grade
- Design Requirements
Classification - Parking Lot and Storage Yard
Pedestrian Conflict Area - N/A
Pavement Classification - N/A

Parking Lot-
Design Minimum Average Maintained Illuminance - 3.0 Fc
Design Average to Minimum Maintained Illuminance - 4.0 Fc
Calculated Average and Minimum to Average Maintained Illuminance - See lighting table this sheet.

Storage Yard-
Design Minimum Average Maintained Illuminance - 2.0 Fc
Design Average to Minimum Maintained Illuminance - 4.0 Fc
Calculated Average and Minimum to Average Maintained Illuminance - See lighting table this sheet.
- Design Calculation Factors
Light Loss Factor - 0.90
Mounting Height Storage Yard - 27 Ft.
Mounting Height Parking and Building - 22 Ft.

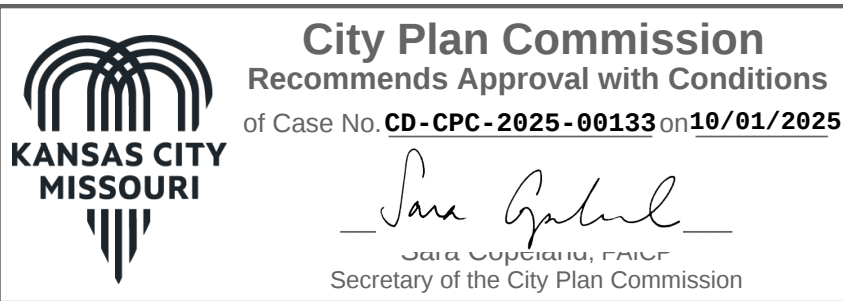
Configuration - N/A
Roadway Width - N/A
Pole Spacing - N/A

SNTA POLE Pole Detail



LEGEND

- Storage Yard Light Pole
RSX3 LED P2 40K R4 MVOLT EGS SPA DBXD
Mounted at 27'
- Storage Yard Light Pole
RSX3 LED P2 40K R5 MVOLT EGS SPA DBXD
Mounted at 27'
- Parking Light Pole
GLEON-AF-03-LED-E1-T4W
Mounted at 22'
- Wall Package Light
GLEON-AF-03-LED-E1-T4W
Mounted at 22'



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architects
engineers

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BLACK & McDONALD NEW BUILDING CONCEPT PLAN

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DESIGNED
NJF
DRAWN
NJF
REVIEWED
JS

SHEET TITLE
LIGHTING PLAN

SHEET NUMBER

E1.00

NOT FOR CONSTRUCTION

PARCEL 6 - COLOR ELEVATIONS

6800 N. CORPORATE DRIVE
KANSAS CITY, MISSOURI 64120

REV DATE DESCRIPTION

PROJECT NUMBER

16874

DATE

9/2/2025

CONCEPT

DESIGNED: RJR

DRAWN: RJR

REVIEWED: RJR

SHEET TITLE

BUILDING ELEVATIONS

SHEET NUMBER

A3.01

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Engineering COAF 000133
Architecture COAF 000212
Land Surveying COAF 000059

NORTH ELEVATION

A1.00 | A3.01 SCALE: 3/32" = 1'-0"

0' 2' 4' 8' 16' 32'

MATERIAL & FINISH LEGEND

- CP-1 CONCRETE TILT-UP, PAINTED 1: LIGHT GRAY - (PPG, THIN ICE, 1001-3)
- CP-2 CONCRETE TILT-UP, PAINTED 2: MEDIUM GRAY - (PPG, FLAGSTONE, 1001-4)
- CP-3 CONCRETE TILT-UP, PAINTED 3: DARK GRAY - (PPG, KNIGHTS ARMOR, 1001-6)
- GL-1 GLAZING 1

SOUTH ELEVATION

A1.00 | A3.01 SCALE: 3/32" = 1'-0"

0' 2' 4' 8' 16' 32'

EAST ELEVATION

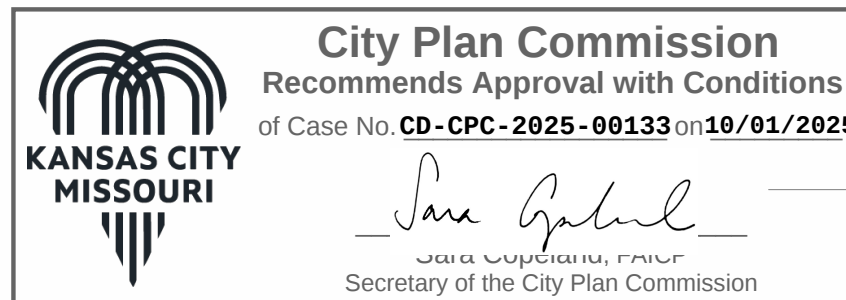
A1.00 | A3.01 SCALE: 3/32" = 1'-0"

0' 2' 4' 8' 16' 32'

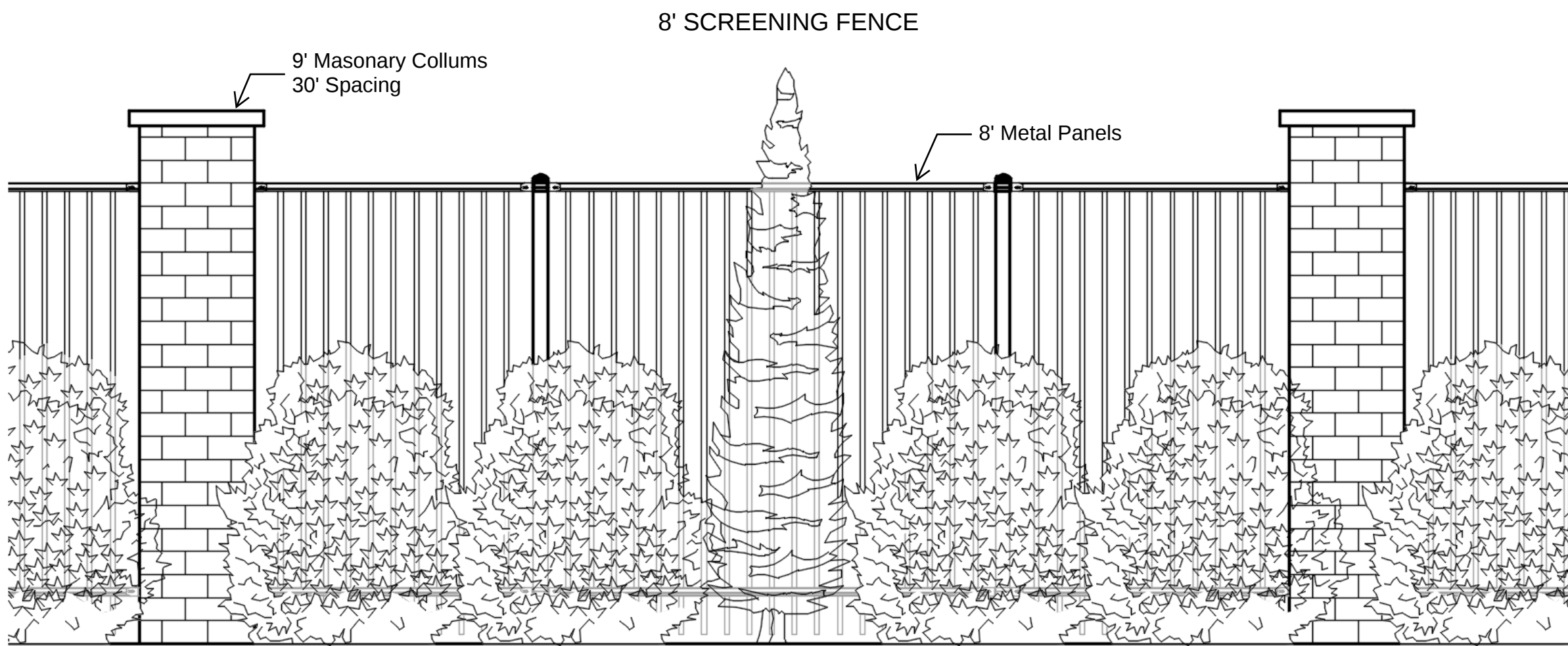
WEST ELEVATION

A1.00 | A3.01 SCALE: 3/32" = 1'-0"

0' 2' 4' 8' 16' 32'



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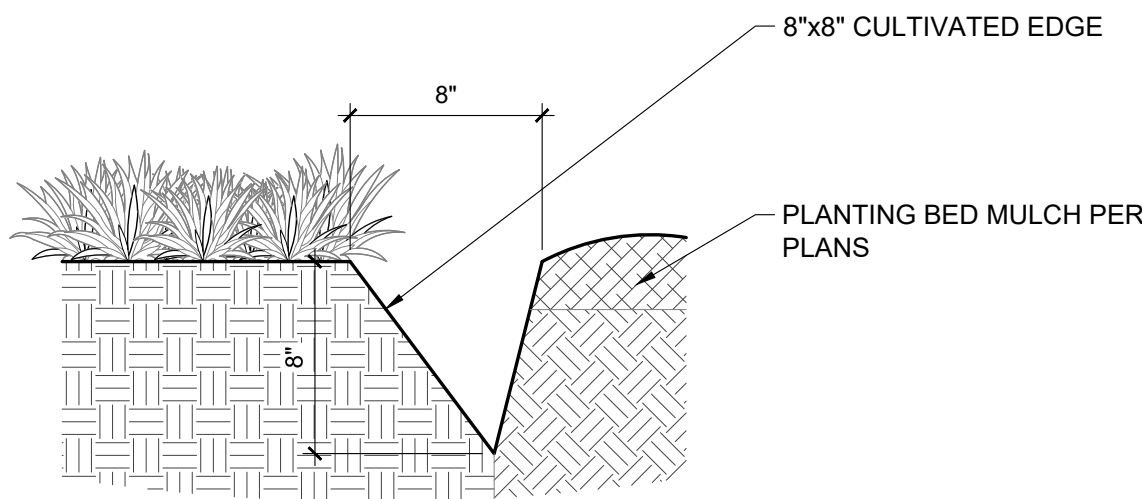


PLANT SCHEDULE

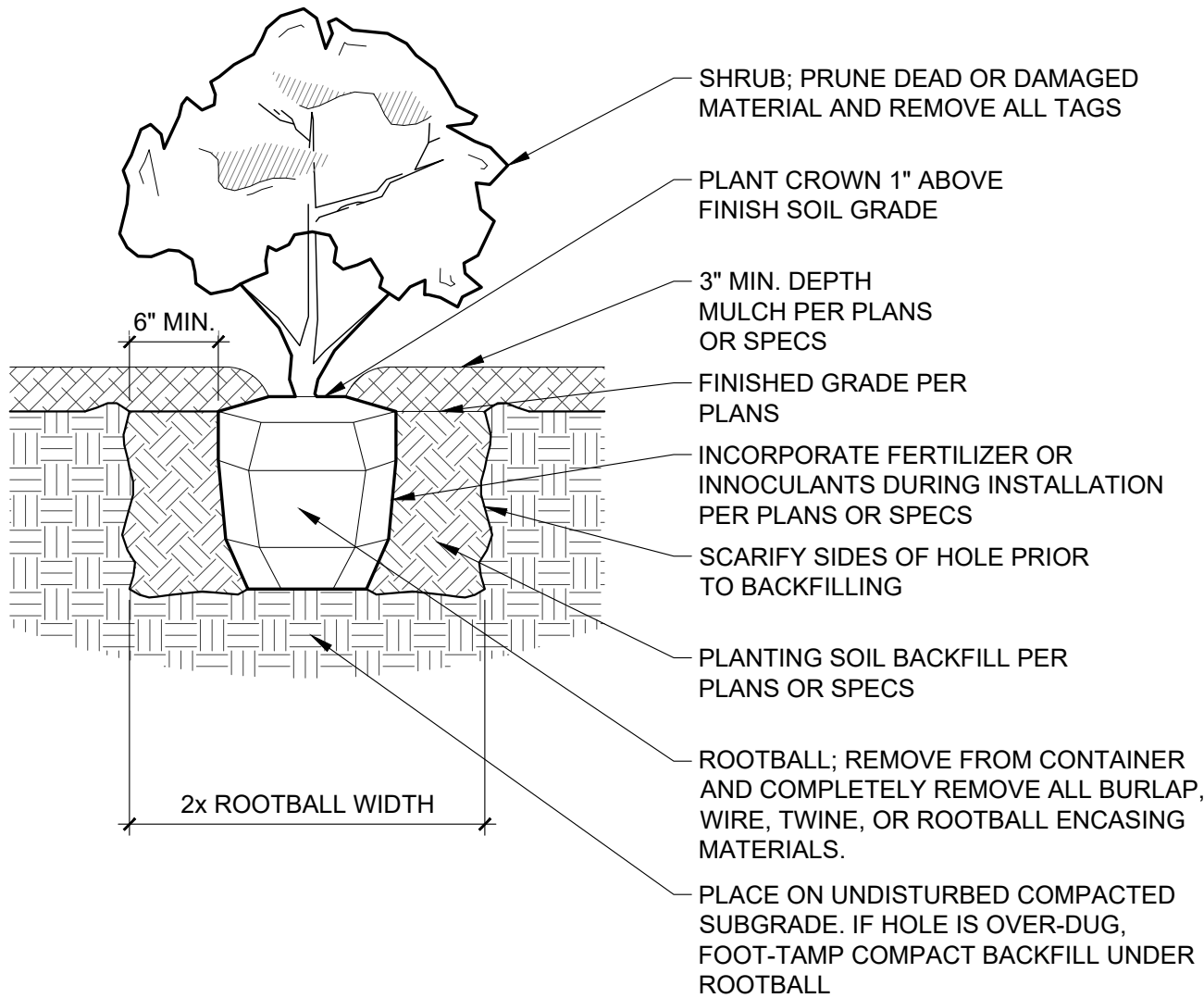
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONT.	QTY	REMARKS
TREES						
	CE	Cercis canadensis / Eastern Redbud Multi-trunk	2" Cal.	B&B	9	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	GS	Gleditsia triacanthos inermis 'Skyline' / Skyline Honey Locust	2" Cal.	B&B	5	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	JS	Juniperus chinensis 'Spartan' / Spartan Juniper	5'-6" Ht.	Container	75	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	JT	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar	5'-6" Ht.	Container	5	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	QS	Quercus shumardii / Shumard Oak	2" Cal.	B&B	6	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	TD	Taxodium distichum / Bald Cypress	2" Cal.	B&B	19	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
SHRUBS						
	BBA	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	3 gal.	Pot	54	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	BSW	Buxus sinica insularis 'Wintergreen' / Wintergreen Korean Boxwood	5 gal.	Pot	45	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	CKA	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	3 gal.	Pot	7	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	CA	Callicarpa americana / American Beautyberry	3 gal.	Pot	52	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	CF	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	3 gal.	Pot	60	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	HBA	Hydrangea paniculata 'ILVOBO' / Bobo® Panicle Hydrangea	3 gal.	Pot	30	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	JLC	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 gal.	Pot	42	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	JFC	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal.	Pot	95	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	SHD	Sporobolus heterolepis / Prairie Dropseed	3 gal.	Pot	55	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	TMD	Taxus x media 'Densiflora' / Dense Anglo-Japanese Yew	5 gal.	Pot	48	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
GROUND COVERS						
	AO	Aggregate Mulch; Ref. Notes and Specifications / 1'-3' Missouri Rainbow Rock	Mulch		169 sf	REFER TO NOTES AND SPECIFICATIONS
	FE2	Turfgrass Fescue Seed Mix / Fescue Seed Mix	Seed		55,822 sf	REFER TO NOTES AND SPECIFICATIONS
	FE	Turfgrass Fescue Sod / Fescue Sod	Sod		68,475 sf	REFER TO NOTES AND SPECIFICATIONS

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

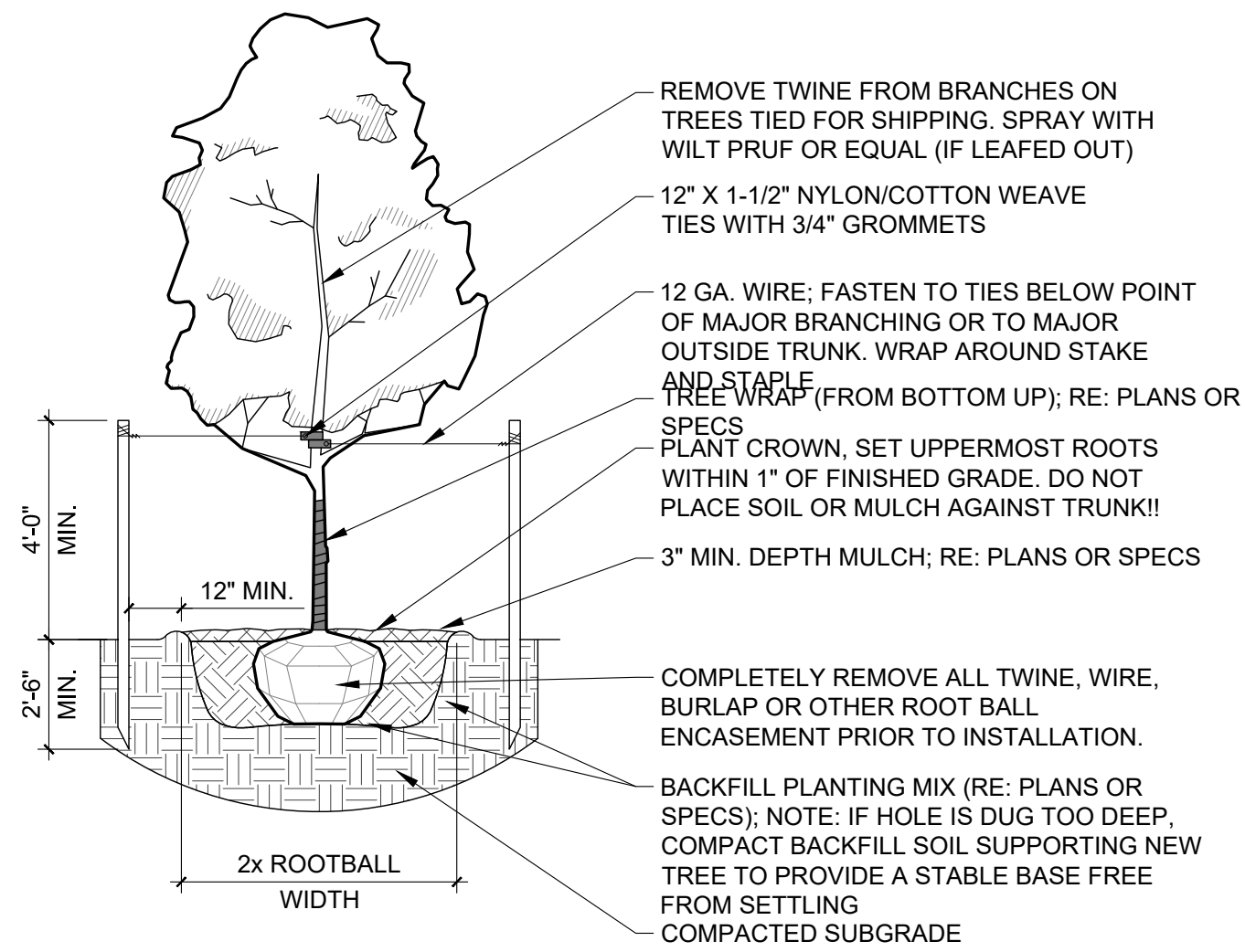
NOTE: PLANTS ARE SPECIFIED BY HEIGHT, SPREAD AND/OR CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.



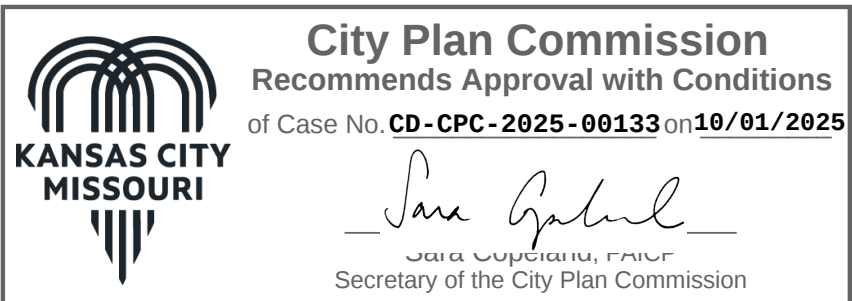
3 V-CUT NATURAL EDGE
1 1/2" = 1'-0"



2 SHRUB PLANTING
1" = 1'-0"



1 DECIDUOUS TREE
3" = 1'-0"



REVISION

PROJECT NUMBER
16874.00
DATE
09/02/25

DESIGNED
NJF
DRAWN
NJF
REVIEWED
JS

SHEET TITLE
LANDSCAPE DETAILS

SHEET NUMBER
L1.01