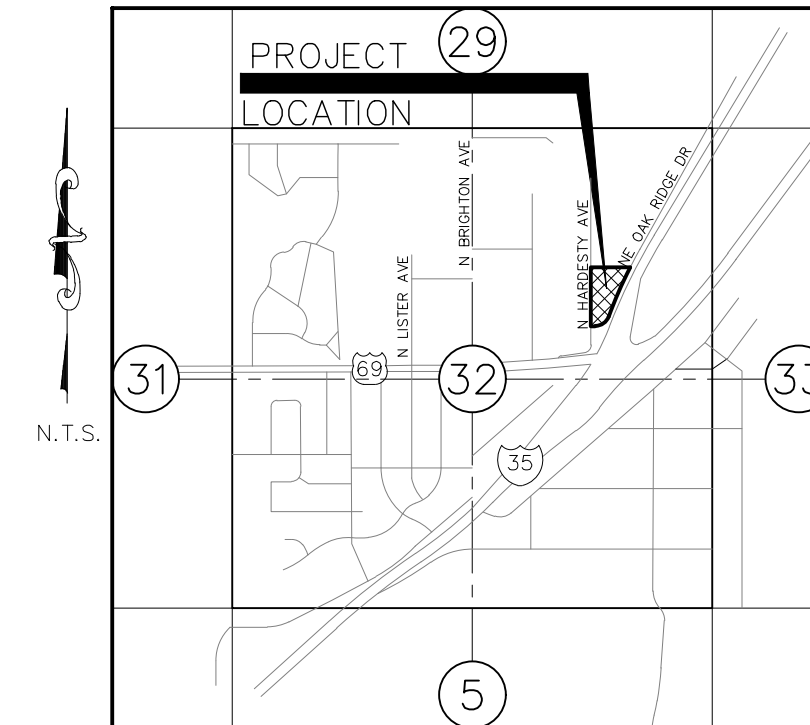


OAK RIDGE FAMILY CLUB DEVELOPMENT PLAN

KANSAS CITY, CLAY COUNTY, MISSOURI SEC. 32, TWP 51 N, RNG 32 W

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C100	SITE PLAN - 1
C101	SITE PLAN - 2
C200	GRADING PLAN
C201	GRADING PLAN - 1
C202	GRADING PLAN - 2
C203	GRADING PLAN - 3
C204	GRADING PLAN - 4
C301	UTILITY PLAN - 1
C302	UTILITY PLAN - 2
C400	TREE PRESERVATION PLAN
C500	DETAIL SHEET
A201	BUILDING ELEVATIONS PLAN
A201-B	BUILDING ELEVATIONS PLAN
A202	BUILDING ELEVATIONS PLAN
E1	ELECTRICAL PLANS
LS	LANDSCAPING PLANS
1 OF 1	SIGHT DISTANCE EXHIBIT



SECTION VICINITY MAP
SEC. 32 - TWP 51 N - RNG 32 W
CITY OF KANSAS CITY, MISSOURI

Site Data	Existing	Proposed
Zoning	B3-2	B3-2
Gross Land Area (sqft)	12741952	12741952
Gross Land Area (ac)	29.2	29.2
Net Land Area (sqft)	12741952	12741952
Net Land Area (ac)	29.2	29.2
Building Area (sqft)	7370	15570
Floor Area Ratio	0.001	0.001
Total Impervious Area (sqft)	94,254	131,706
Total Impervious Area (ac)	2.1637741	3.023554

Building Data	Required	Proposed
Rear Setback	30ft.	30ft.
Front Setback	30ft.	30ft.
Side Setback	8ft.	8ft.
Height	50ft.	50ft.

Structure	Use	Square Footage
Existing Building	Sports & Rec Participation (Indoor/Outdoor)	7393
Proposed Concessions/Storage Building	Sports & Rec Participation (Indoor/Outdoor)	1695
Proposed Basketball Court	Sports & Rec Participation (Indoor/Outdoor)	6504

Parking	Vehicle Spaces			Bike Spaces		
	Existing	Proposed	Total	Required	Required	Proposed
Total	74	40	114	110	13	24

UTILITY INFORMATION

THE INFORMATION CONCERNING THE EXISTENCE, LOCATION, SIZE OR TYPE OF MATERIALS OF UNDERGROUND UTILITIES SHOWN HEREON, WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN COMPILED FROM THE RECORDS OF THE VARIOUS UTILITY COMPANIES OR OTHER SOURCES OF INFORMATION ALONG WITH FIELD LOCATIONS OF PAINTED MARKINGS BY MISSOURI ONE CALL, TICKET NUMBER 210881989. THIS INFORMATION IS NOT TO BE CONSTRUED AS ACCURATE, COMPLETE NOR EXACT. ANY INFORMATION CONCERNING UNDERGROUND UTILITIES SHOWN HEREON MUST BE CONFIRMED BY THE DESIGN PROFESSIONAL PRIOR TO DESIGNING ANY IMPROVEMENTS WHICH MAY BE AFFECTED BY THIS INFORMATION OR BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY.

PROPERTY ADDRESS:

5330 NE OAK RIDGE DRIVE, KANSAS CITY, MISSOURI, 64119

PROPERTY OWNER/DEVELOPER:

5330 OAK RIDGE REALTY, LLC
1310 E 104TH STREET, SUITE 300
KANSAS CITY, MO 64118
CONTACT: CHUCK V. CUDA
PHONE: (816) 268-4493
EMAIL: cuda@opescre.com

PREPARED BY:

KAW VALLEY ENGINEERING
8040 N. OAK TRAFFICWAY
KANSAS CITY, MO. 64118
CONTACT: MATT CROSS
PHONE: 816-468-5858
EMAIL: cross@kveng.com

PROPERTY DESCRIPTION:

THAT PART OF THE SW 1/4, SEC 29, THE NE 1/4, SEC 32, THE NW 1/4, SEC 33, T-51-N, R-32-W, & LOT 1, TIMBER RIDGE PARK SUBDIVISION, KANSAS CITY, CLAY COUNTY, MISSOURI

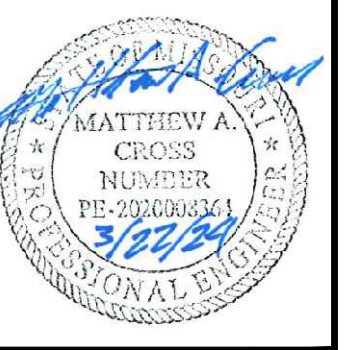
DEVELOPMENT SUMMARY

- A. EXISTING ZONING OF PROPERTY AND ANY PROPOSED ZONING, INCLUDING TYPE OF ANY PLANNED DISTRICT REQUESTED.
EXISTING: B3-2
PROPOSED: B3-2
- B. TOTAL LAND AREA: 1,271,952 SQ. FT. / 29.2 ACRES
- C. LAND AREA OR ACRES FOR EXISTING AND PROPOSED STREET RIGHT OF WAY, 0 (ZERO)
- D. NET LAND AREA: 1,271,952 SQ. FT. / 29.2 ACRES
- E. PROPOSED USE OR USES OF EACH BUILDING AND STRUCTURE:
 2. SPORTS AND RECREATION PARTICIPATION (INDOOR AND OUTDOOR) RESTAURANT AND SOCIAL CLUB, CONCESSIONS, INDOOR BASKETBALL BUILDING WITH RESTROOMS.
 PROPOSED USE: SPORTS AND RECREATION PARTICIPATION (INDOOR & OUTDOOR)
 NUMBER OF FLOORS = 2 (TWO)
 HEIGHT OF MAIN BUILDING = 29'-7"
 HEIGHT OF CONCESSIONS/STORAGE BUILDING = 14'-6"
 NUMBER OF FLOORS = 1 (ONE)
 PROPOSED USE: SPORTS AND RECREATION PARTICIPATION (INDOOR & OUTDOOR)
 HEIGHT OF BASKETBALL COURT BUILDING = 25'-8"
 NUMBER OF FLOORS = 1 (ONE)
 PROPOSED USE: SPORTS AND RECREATION PARTICIPATION (INDOOR & OUTDOOR)
- G. GROSS FLOOR AREA PER FLOOR (MAIN BLDG). 7,370 SQ. FT. (CONCESSIONS/STORAGE BUILDING). 1695 SQ. FT. (BASKETBALL BUILDING). 6504 SQ. FT.
- H. BUILDING COVERAGE AND FLOOR AREA RATIO.
15,570 / 1,271,952 = 0.012
- I. RESIDENTIAL DEVELOPMENT SHALL, IN ADDITION, IDENTIFY GROSS AND NET DENSITY.
N/A
- J. RATIO OF REQUIRED NUMBER OF PARKING SPACES FOR EACH USE AND AMOUNT OF REQUIRED PROPOSED PARKING SPACES:
 2. PRINCIPAL USE: SPORTS AND RECREATION PARTICIPATION (INDOOR & OUTDOOR)
 EATING AND DRINKING ESTABLISHMENTS: 10 SPACES/1,000 SF (70)
 UNCOVERED PATIOS OR DECKS: 5 SPACES/1,000 SF (5)
 ENTERTAINMENT VENUE/SPECTATOR SPORTS: 1 SPACE/4 PERSON CAPACITY (19)
 SPORTS & REC: 1 SPACE/COURT +10 FOR GOLF (16)
 REQUIRED SPACES = 110
 PROVIDED SPACES = 114
- K. RATIO OF REQUIRED NUMBER OF SHORT TERM AND LONG TERM BICYCLE PARKING SPACES FOR EACH USE AND AMOUNT OF REQUIRED, PROPOSED SHORT TERM AND LONG TERM BICYCLE PARKING SPACES.
 SHORT TERM: 1 PER 10 OFF-STREET VEHICLE PARKING SPACES
 REQUIRED SPACES=11
 PROVIDED SPACES=22
 LONG TERM:
 EATING AND DRINKING ESTABLISHMENTS: 1+1/5,000 SQUARE FEET
 REQUIRED SPACES=2
 PROVIDED SPACES=2
- L. DEVIATIONS:
 • BASKETBALL BUILDING SETBACK
 DISTANCE FROM PROPERTY LINE REQUIRED = 20FT. (PER 88-120-04) 1
 DISTANCE FROM PROPERTY LINE PROPOSED = 9FT.
 DEVIATION REQUESTED = 11FT. 1
 • FIRE ACCESS WIDTH
 MAXIMUM WIDTH OF ACCESS REQUIRED = 30FT. (PER DETAIL D-1) 1
 WIDTH OF ACCESS PROVIDED = 79FT.
 DEVIATION REQUESTED = 49FT. 1
- M. NOTE: ALTERNATIVE LANDSCAPING REQUIREMENTS
 TOTAL DISTURBED AREA=79,370 SQFT. 1
 TOTAL DISTURBED AREA=1.82 AC. 1

FLOOD STATEMENT:

THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEYED PROPERTY LIES WITHIN FLOOD HAZARD ZONE "X, NON-SHADED, AREA OF MINIMAL FLOOD HAZARD" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF KANSAS CITY, FLOOD MAP FOR THE SELECTED AREA IS NUMBER 29095C0134G, EFFECTIVE ON 01/20/2017.

REV	DATE	DESCRIPTION
2	03/22/24	PER CITY COMMENTS
1	03/01/24	PER CITY COMMENTS
0	01/26/24	INITIAL SUBMITTAL



MATTHEW A. CROSS
ENGINEER
MO # 202008364

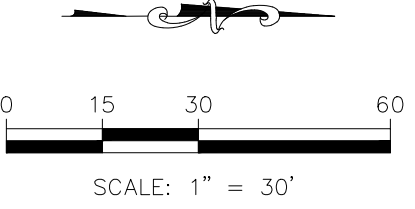
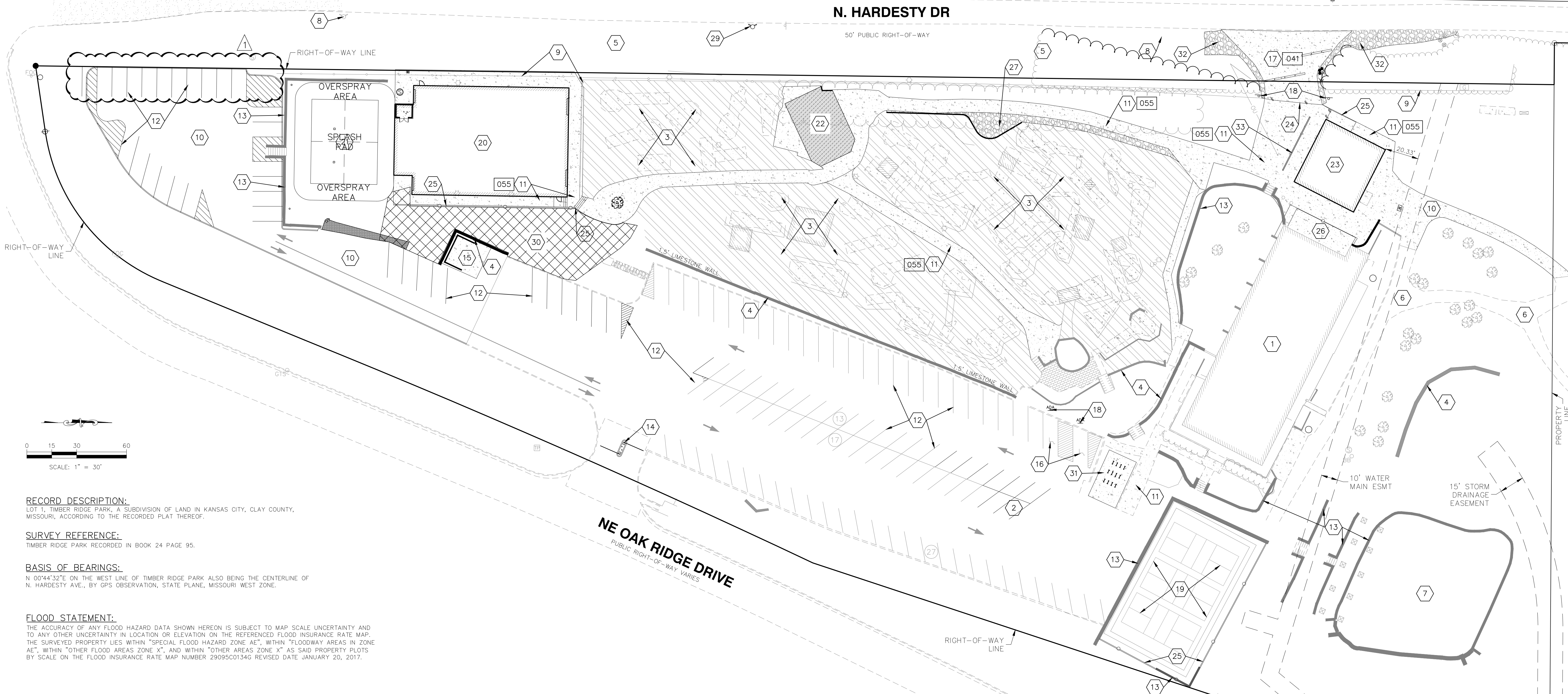
8040 N. OAK TRAFFICWAY
KANSAS CITY, MISSOURI 64118
kveng.com | www.kveng.com
kveng@kveng.com

KAW VALLEY ENGINEERING

KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/23

OAKRIDGE FAMILY CLUB
5330 NE OAK RIDGE DRIVE
KANSAS CITY, MO
DEVELOPMENT PLAN
COVER SHEET

PROJ. NO.	B21D4185
DESIGNER	MAC
DRAWN BY	JAD
CFN	4185CVR
SHEET	C001
REV	2



RECORD DESCRIPTION:
LOT 1, TIMBER RIDGE PARK, A SUBDIVISION OF LAND IN KANSAS CITY, CLAY COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

SURVEY REFERENCE:
TIMBER RIDGE PARK RECORDED IN BOOK 24 PAGE 95.

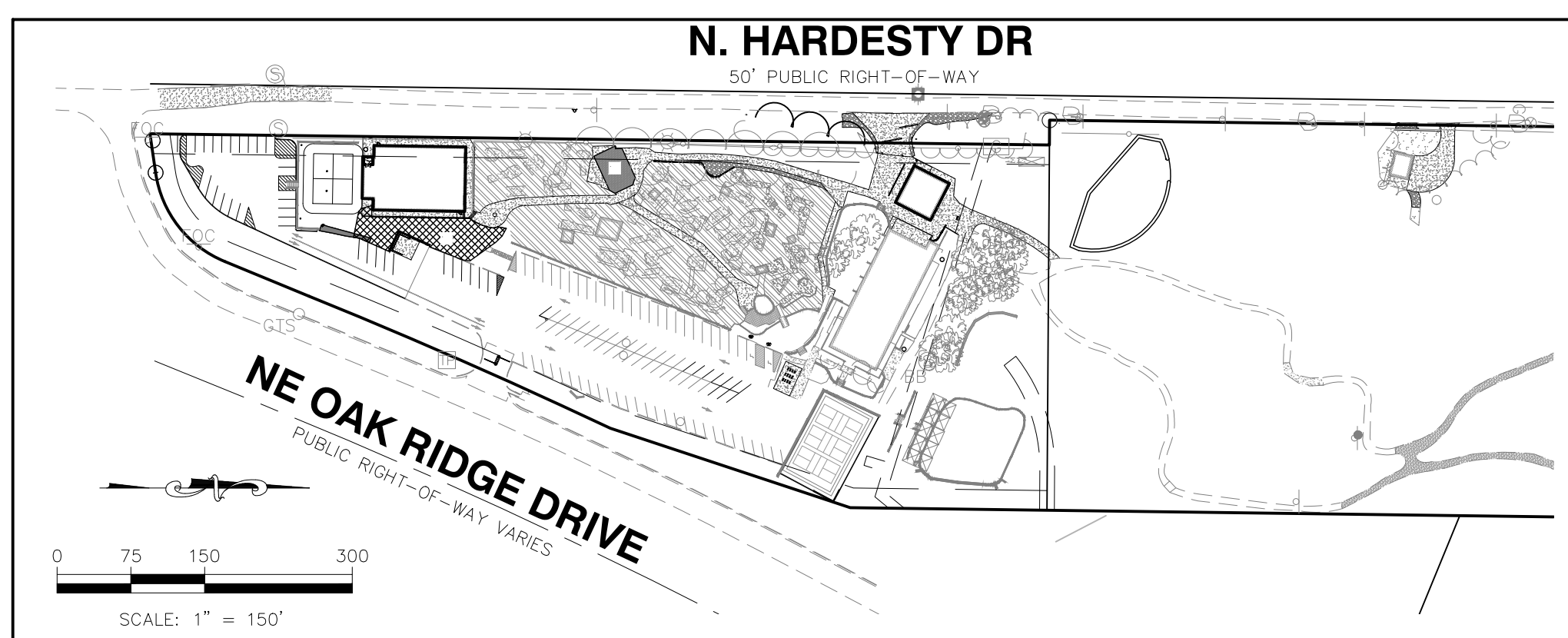
BASIS OF BEARINGS:
N 00°44'32"E ON THE WEST LINE OF TIMBER RIDGE PARK ALSO BEING THE CENTERLINE OF N. HARDESTY AVE., BY GPS OBSERVATION, STATE PLANE, MISSOURI WEST ZONE.

FLOOD STATEMENT:
THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE SURVEYED PROPERTY LIES WITHIN "SPECIAL FLOOD HAZARD ZONE AE", WITHIN "FLOODWAY AREAS IN ZONE AE", WITHIN "OTHER FLOOD AREAS ZONE X", AND WITHIN "OTHER AREAS ZONE X" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP NUMBER 29095C0134G REVISED DATE JANUARY 20, 2017.


LEGEND

- | | | |
|--|---|---|
| <ul style="list-style-type: none"> ○ MONUMENT FOUND ● 5/8" X 24" REBAR W/ "CLS214F" CAP SET □ UTILITY POLE □ UTILITY POLE W/ LIGHT □ ELECTRIC METER □ AIR CONDITIONING UNIT □ BREAKER BOX □ LIGHT POLE □ SANITARY SEWER MANHOLE □ CLEANOUT □ BOLLARD STEEL □ STREET SIGN □ MAILBOX □ FLAG POLE □ CANOPY SUPPORT ○ DECIDUOUS TREE - SIZE ○ FENCE POST ○ GATE POST CONCRETE SURFACE GRAVEL SURFACE | <ul style="list-style-type: none"> □ TELEPHONE PEDESTAL □ SPLICE BOX □ BURIED FIBER OPTIC CABLE SIGN □ WATER METER ○ WATER VALVE □ FIRE HYDRANT ○ WELL □ SPRINKLER CONTROL BOX □ GAS METER □ GAS VALVE □ GAS TESTING STATION □ GAS SIGN □ DOWN SPOUT □ GUY ANCHOR □ TREE LINE □ BARBWIRE FENCE □ CHAIN LINK FENCE □ WIRE FENCE □ WOOD FENCE □ WROUGHT IRON FENCE □ BRICK SURFACE | <p>DETAILS - SEE DETAIL SHEET FOR THE FOLLOWING DETAILS</p> <ul style="list-style-type: none"> 041 HEAVY DUTY CONCRETE PAVEMENT 055 CONCRETE SIDEWALK |
|--|---|---|


- NOTES:**
1. EXISTING BUILDING
 2. EXISTING ASPHALT PARKING LOT
 3. EXISTING MINI-GOLF COURSE
 4. EXISTING RETAINING WALL
 5. LANDSCAPE AREA
 6. EXISTING ASPHALT WALKWAY
 7. DETENTION POND (CONTRACTOR TO MAINTAIN/CLEAN)
 8. EXISTING FIRE HYDRANT
 9. EXISTING FENCE
 10. ASPHALT SURFACE
 11. CONCRETE WALKWAY
 12. YELLOW PARKING LOT STRIPING
 13. BLOCK LANDSCAPE WALL
 14. CONCRETE ISLAND WITH PRIVATE GATE AND OPENER
 15. TRASH ENCLOSURE
 16. ADA PARKING
 17. FIRE TRUCK ACCESS ROAD
 18. PROPOSED "FIRE LANE ONLY" SIGN
 19. PROPOSED PICKLE BALL COURTS
 20. PROPOSED BASKETBALL COURT
 21. PROPOSED SPLASH PAD
 22. PROPOSED GYM AREA RUBBER MAT SURFACE
 23. PROPOSED CONCESSIONS/STORAGE BUILDING
 24. PROPOSED "YELP" GATE W/ KNOX BOX
 25. PROPOSED FENCE
 26. PROPOSED CONCRETE A/C PAD
 27. PROPOSED LANDSCAPE ROCK
 28. PROPOSED DETENTION BASIN
 29. PROPOSED FIRE HYDRANT
 30. PROPOSED PP5HPTRM TURF REINFORCEMENT MAT
 31. PROPOSED SHORT TERM BICYCLE PARKING (4-"INVERTED U" BIKE RACKS WITH MINIMUM DIMENSION OF 2 FEET WIDTH X 6 FEET LENGTH)(LONG TERM BICYCLE PARKING TO BE LOCATED INSIDE EXISTING BUILDING)
 32. PROPOSED RIP-RAP
 33. EXISTING TRENCH DRAIN
 34. PROPOSED CONCRETE DRIVEWAY ENTRANCE, SEE KCMO STANDARD DETAILS "DRIVEWAY ENTRANCES D1 TYPE 3"



		MAC	JAD	MAC	MAC	MAC	MAC	MAC	MAC	MAC	MAC	MAC	MAC	MAC	MAC	MAC	MAC	MAC	MAC	MAC	



MATTHEW A. CROSS
 ENGINEER
 MO # 2020008364

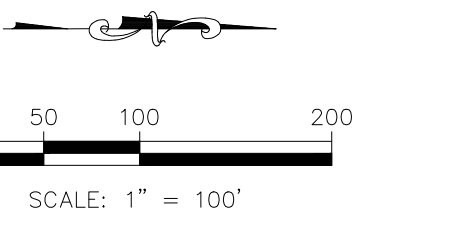
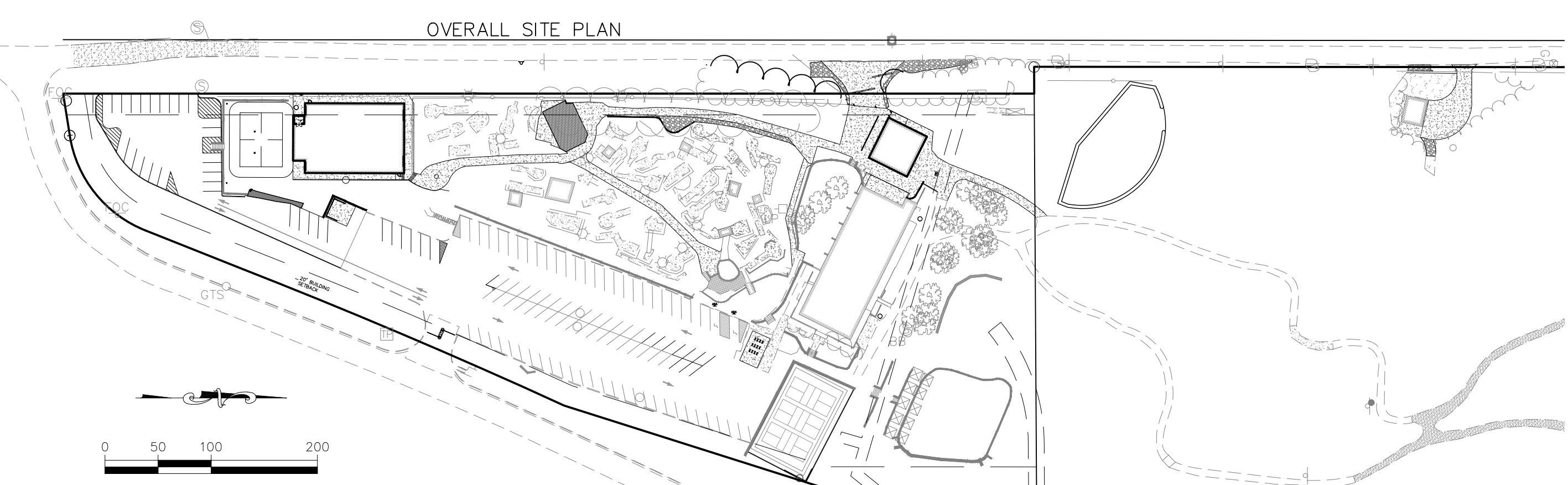
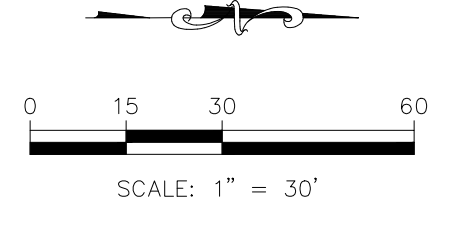
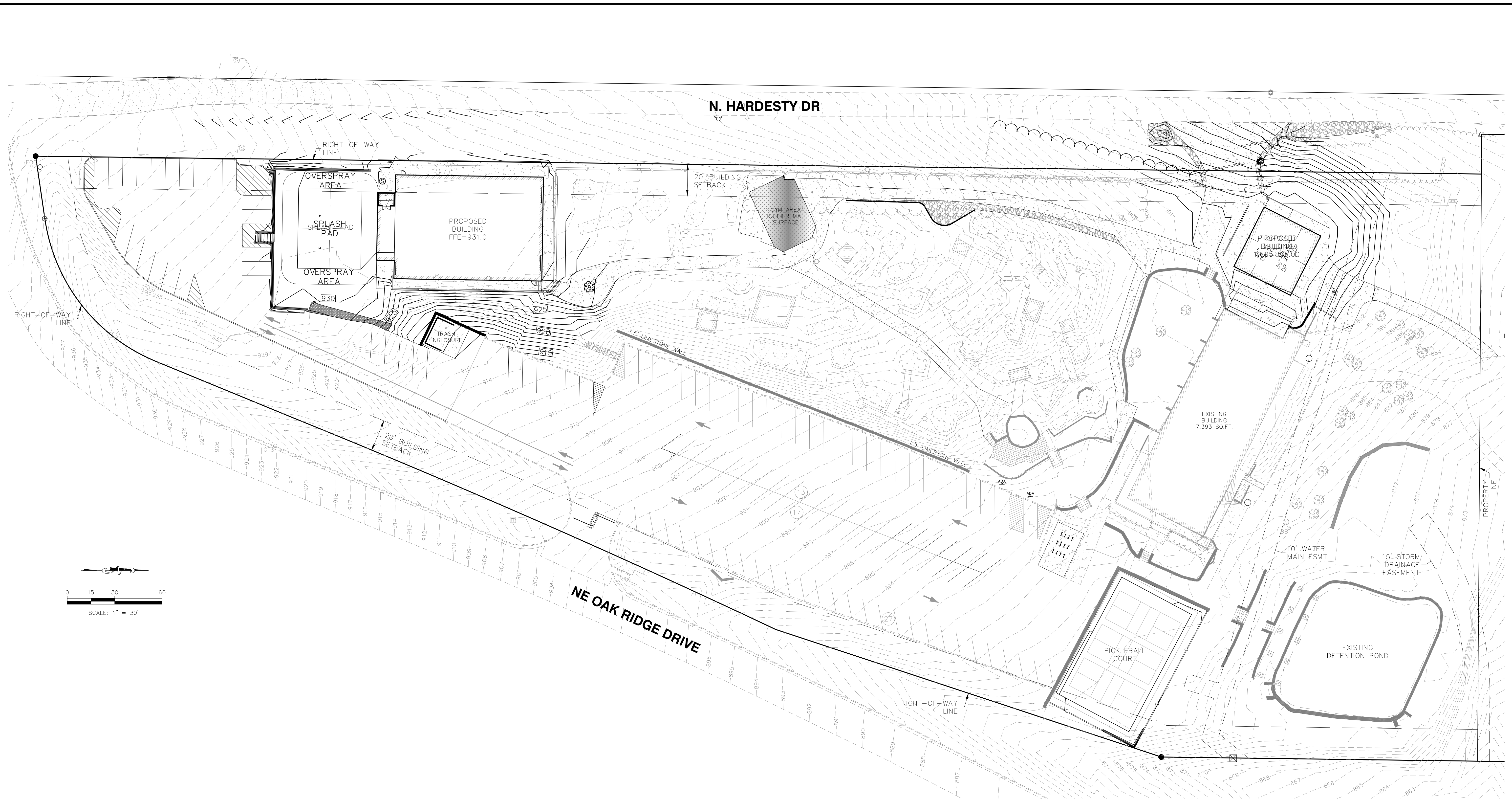


KAW VALLEY ENGINEERING
 KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/23.

OAKRIDGE FAMILY CLUB
 5330 NE OAK RIDGE DRIVE
 KANSAS CITY, MO
DEVELOPMENT PLAN
SITE PLAN - 1

PROJ. NO.	B21D4185
DESIGNER	MAC
DRAWN BY	JAD
CFN	4185SP
SHEET	C100
REV	2

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF K&W VALLEY ENGINEERING, INC.

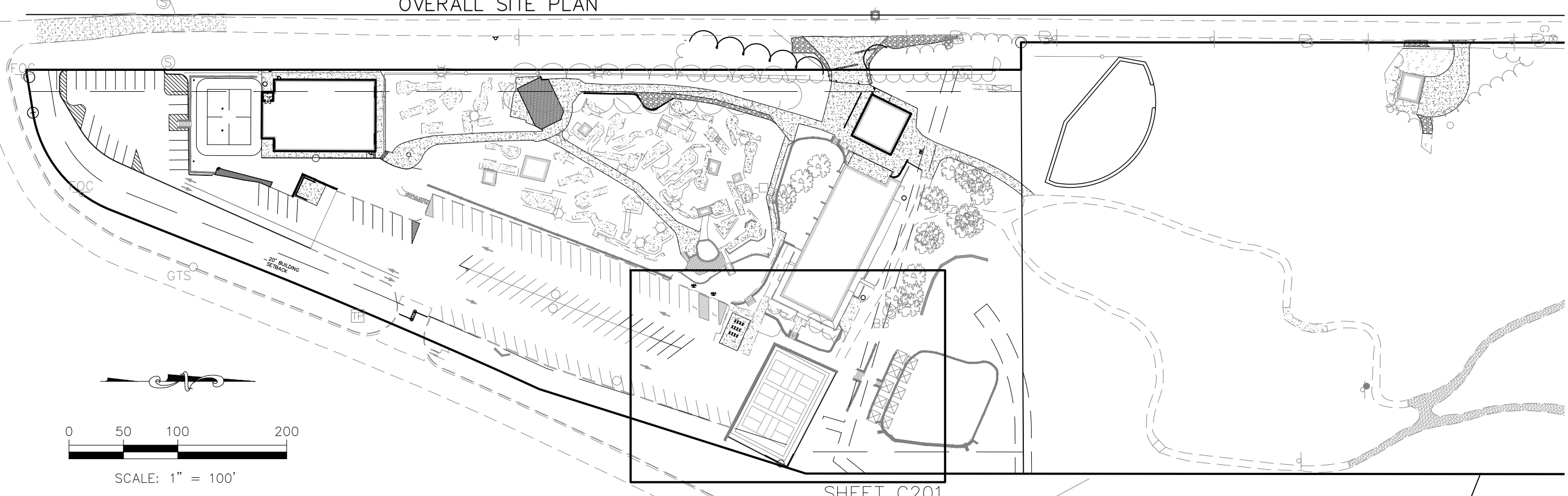


LEGEND (PROPOSED)

(ME)	MATCH EXISTING
TW	TOP OF WALL
BW	BOTTOM OF WALL
82.92	SPOT ELEVATION (ADD 900), TOP OF PAVEMENT
83.60	TOP OF CURB (ADD 900)
83.10	FLOWLINE OF CURB (ADD 900)
→	FLOW DIRECTION
925	FINISHED 1' CONTOUR INTERVALS
-920	EXISTING 1' CONTOUR INTERVALS

REV	DATE	DESCRIPTION	DSN	CHK
2	03/22/24	PER CITY COMMENTS	MAC	JAD
1	03/01/24	PER CITY COMMENTS	MAC	JAD
0	01/26/24	INITIAL SUBMITTAL	MAC	JAD

	MATTHEW A. CROSS ENGINEER MO # 2020008364
8040 N. OAK TRAILWAY KANSAS CITY, MISSOURI 64118 K&W Valley Engineering, Inc. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/23	
OAKRIDGE FAMILY CLUB 5330 NE OAK RIDGE DRIVE KANSAS CITY, MO	DEVELOPMENT PLAN GRADING PLAN
PROJ. NO. B21D4185 DESIGNER MAC DRAWN BY JAD CFN 4185GP SHEET C200	REV 2



- LEGEND (PROPOSED)
- (ME) MATCH EXISTING
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - 82.92 SPOT ELEVATION (ADD 900), TOP OF PAVEMENT
 - 83.60 TOP OF CURB (ADD 900)
 - 83.10 FLOWLINE OF CURB (ADD 900)
 - FLOW DIRECTION
 - 925 FINISHED 1' CONTOUR INTERVALS
 - 920 EXISTING 1' CONTOUR INTERVALS

REV	DATE	DESCRIPTION	DSN	DWN	CHK
2	03/22/24	PER CITY COMMENTS	MAC	JAD	MAC
1	03/01/24	PER CITY COMMENTS	MAC	JAD	MAC
0	01/26/24	INITIAL SUBMITTAL	MAC	JAD	MAC



MATTHEW A. CROSS
ENGINEER
MO # 2020008364

8040 N. OAK TRAFFICWAY
KANSAS CITY, MISSOURI 64118
www.kvweng.com | www.kvweng.com

KAW VALLEY ENGINEERING

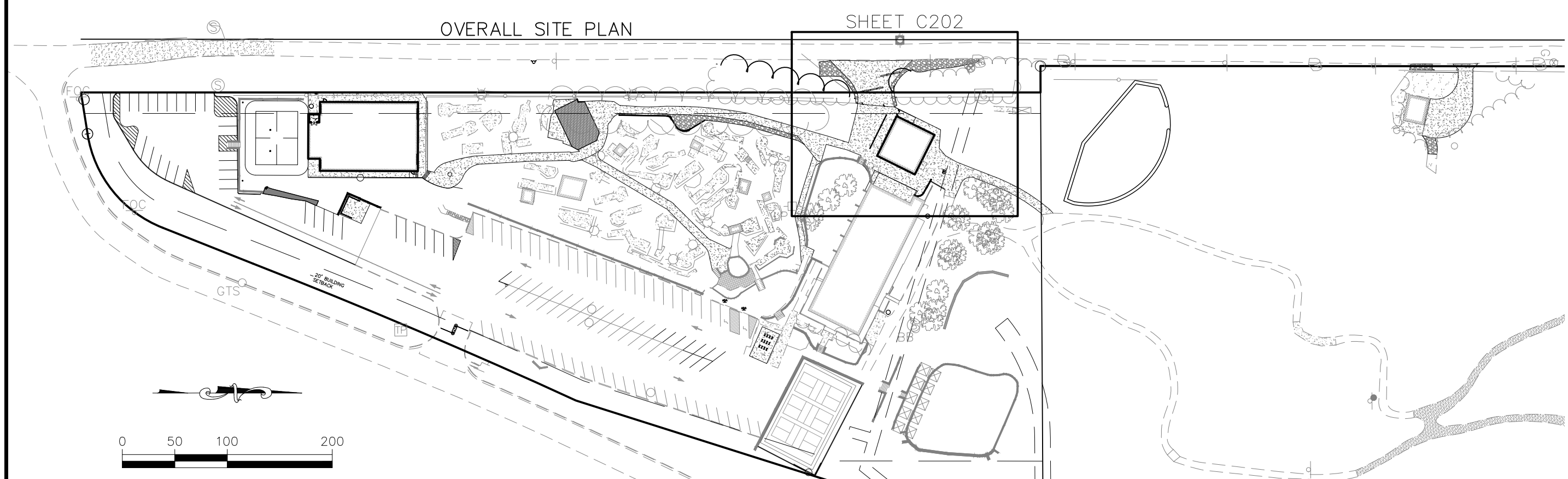
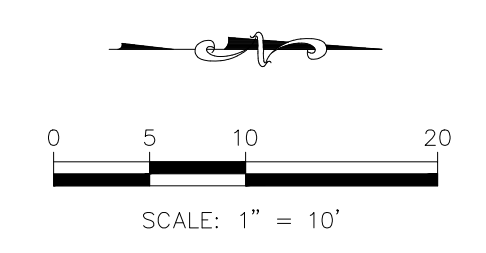
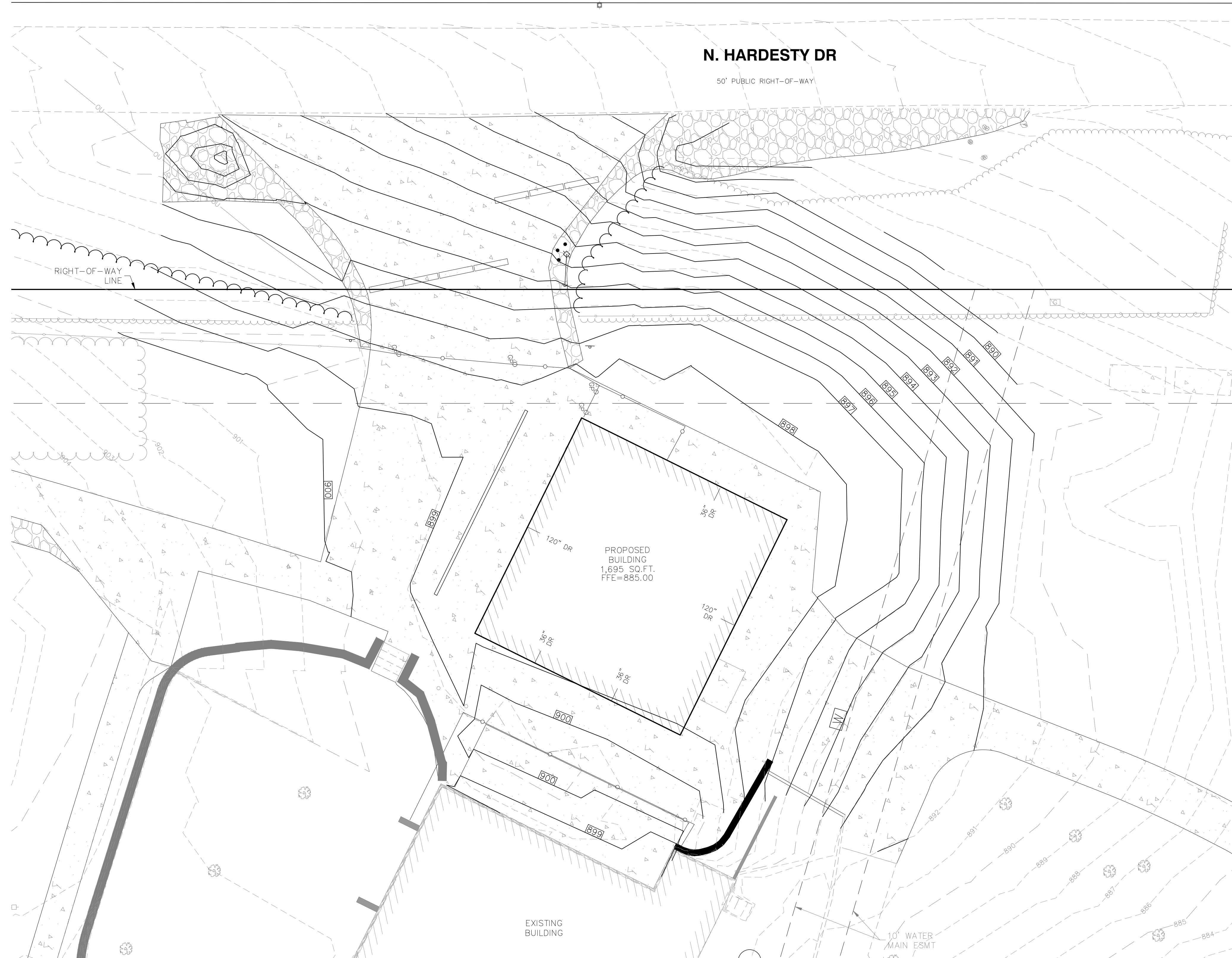
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OAKRIDGE FAMILY CLUB
5330 NE OAK RIDGE DRIVE
KANSAS CITY, MO

DEVELOPMENT PLAN
GRADING PLAN - 1

PROJ. NO.	B21D4185
DESIGNER	MAC
DRAWN BY	JAD
CFN	4185GP
SHEET	C201
REV	2

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LEGEND (PROPOSED)

(ME)	MATCH EXISTING
TW	TOP OF WALL
BW	BOTTOM OF WALL
-82.92	SPOT ELEVATION (ADD 900), TOP OF PAVEMENT
-83.60	TOP OF CURB (ADD 900)
-83.10	FLOWLINE OF CURB (ADD 900)
→	FLOW DIRECTION
925	FINISHED 1' CONTOUR INTERVALS
920	EXISTING 1' CONTOUR INTERVALS

	REV	DATE	DESCRIPTION
	2	03/22/24	PER CITY COMMENTS
	1	03/01/24	PER CITY COMMENTS
	0	01/26/24	INITIAL SUBMITTAL
			DSN
			DWN
			MAC
			JAD
			MAC
			JAD
			MAC
			JAD
			MAC
			JAD
			CHK

PROJ. NO. B21D4185
 DESIGNER MAC
 DRAWN BY JAD
 CFN 4185GP
 SHEET C202
 REV 2

OAKRIDGE FAMILY CLUB
 5330 NE OAK RIDGE DRIVE
 KANSAS CITY, MO
 DEVELOPMENT PLAN
 GRADING PLAN - 2

8040 N. OAK TRAFFICWAY
 KANSAS CITY, MISSOURI 64118
 (816) 441-1111
 www.kavep.com
KAW VALLEY ENGINEERING
 KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/23

MATTHEW A. CROSS
 ENGINEER
 MO # 2020008364

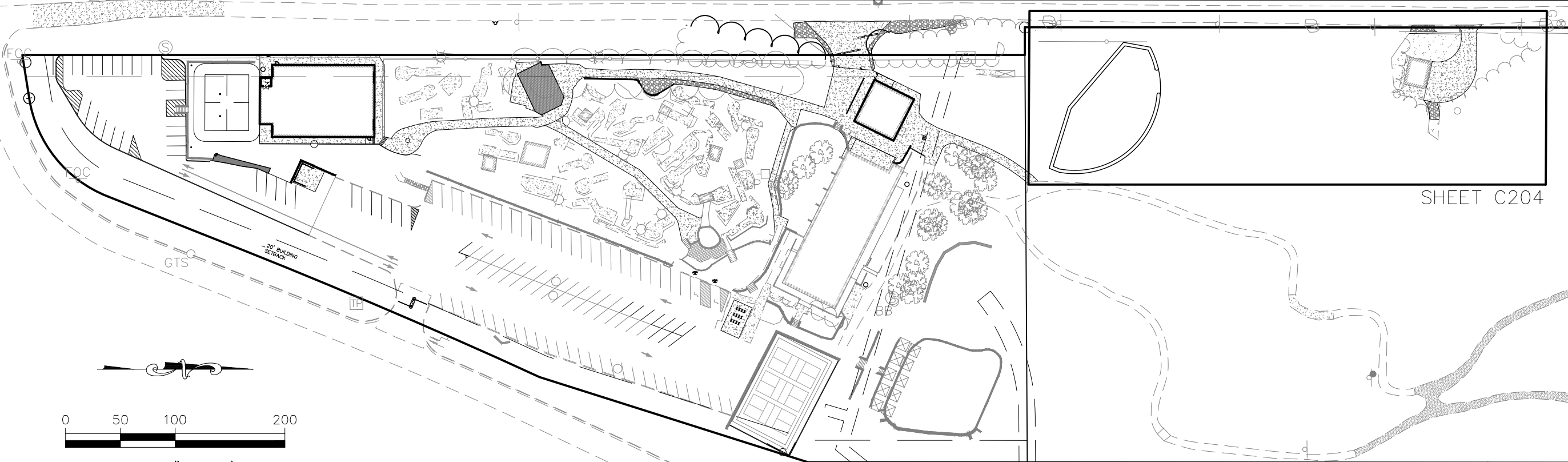
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N. HARDESTY DR

50' PUBLIC RIGHT-OF-WAY



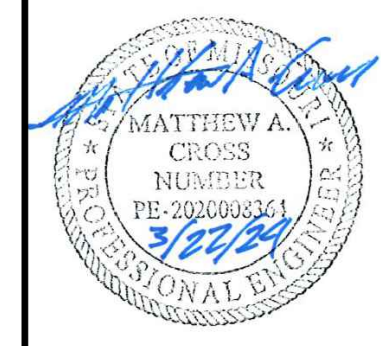
OVERALL SITE PLAN



LEGEND (PROPOSED)

- (ME) MATCH EXISTING
- TW TOP OF WALL
- BW BOTTOM OF WALL
- 82.92 SPOT ELEVATION (ADD 900), TOP OF PAVEMENT
- 83.60 TOP OF CURB (ADD 900)
- 83.10 FLOWLINE OF CURB (ADD 900)
- FLOW DIRECTION
- 925 FINISHED 1' CONTOUR INTERVALS
- 920 EXISTING 1' CONTOUR INTERVALS

REV	DATE	DESCRIPTION	CHK
2	03/22/24	PER CITY COMMENTS	MAC
1	03/01/24	PER CITY COMMENTS	JAD
0	01/26/24	INITIAL SUBMITTAL	JAD
			MAC
			MAC
			MAC
			DSN
			DWN
			CHK



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KAW VALLEY ENGINEERING

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OAKRIDGE FAMILY CLUB
5330 NE OAK RIDGE DRIVE
KANSAS CITY, MO

DEVELOPMENT PLAN
GRADING PLAN - 3

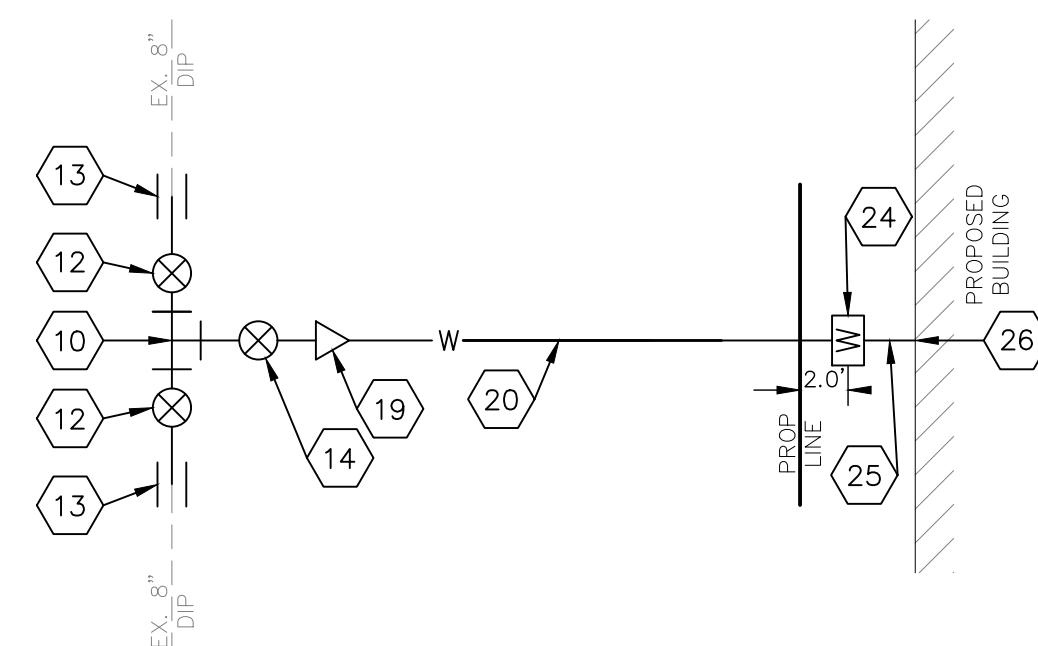
PROJ. NO.	B21D4185
DESIGNER	MAC
DRAWN BY	JAD
CFN	4185GP
SHEET	C204
REV	2

UTILITY NOTES:

- CONSTRUCTION SHALL NOT START ON ANY PUBLIC WATER OR SANITARY SEWER SYSTEM UNTIL WRITTEN APPROVAL FROM THE OWNER, AND PERMITS FROM THE CITY HAVE BEEN RECEIVED.
- ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED OUTSIDE OF THE RIGHT-OF-WAY UNDER AREAS THAT RECEIVE PAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH CRUSHED STONE BASE MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. **KAW VALLEY ENGINEERING AND OWNER ARE TO BE HELD HARMLESS.**
- DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF THE CITY WATER DEPARTMENT. CONTRACTOR SHALL NOTIFY THE CITY OF KANSAS CITY WATER SERVICE DEPARTMENT 24 HOURS MINIMUM, PRIOR TO ANY TESTING.
- ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF KANSAS CITY WATER SERVICE DEPARTMENT AND THE STATE OF MISSOURI AND SHALL BE INSPECTED BY THE CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
- LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.
- CONTRACTOR TO INSTALL TRACING TAPE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.
- CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
- SERVICE LINES SHALL HAVE A COVER OF NOT LESS THAN 4 FEET NOR MORE THAN 5 FEET UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR DEEPER EXCAVATION FOR CLEARANCE. ALL VALVES ON MAINS AND FIRE HYDRANT LEADS SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".
- A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE IRON PIPE OR PVC PIPE WITH NO JOINTS WITHIN 10 FEET OF THE CROSSING UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.
- ALL WATER SERVICE INSTALLATIONS, INCLUDING BACKFLOW DEVICES, ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.
- EXCAVATION SHALL BE A MINIMUM OF 3½ FEET BY 4½ FEET AND THE MAIN MUST BE UNCOVERED ENTIRELY AROUND. TUNNELING TO PROVIDE ACCESS FOR TAP IS UNACCEPTABLE.

NOTES:

- STREET CUT RESTORATION PER KCMO DETAIL SR-1
- INSTALL 4" DIA MANHOLE PER APWA DETAIL MH-1 WITH E/ONE DH152 GRINDER PUMP
- INSTALL 8"x8"x6" DIP TEE
- INSTALL 8" GATE VALVE
- INSTALL 8" SOLID SLEEVE
- INSTALL 6" GATE VALVE
- BRANCH SERVICE CONNECTION
- INSTALL 6"x3" REDUCER
- INSTALL 3" DUCTILE IRON WATER LINE
- INSTALL 3" METER WITH PIT PER KC WATER DRAWING NO. 6209
- DUCTILE IRON WATER LINE (MINIMUM LENGTH = 5.0')
- POINT OF CONNECTION - 3" WATER SERVICE LINE TO BUILDING (SEE ARCHITECTURAL PLANS FOR CONTINUATION)
- INSTALL 98.2 LF OF 2" SDR 26 SANITARY SEWER SERVICE LINE
- INSTALL 10.3 LF OF 4" SDR 35 PVC
- POINT OF CONNECTION - 4" PVC SAN SERVICE LINE (SEE ARCHITECTURAL PLANS FOR CONTINUATION)
- INSTALL 2" X 45' PVC BEND
- CONNECT TO EXISTING SAN MH

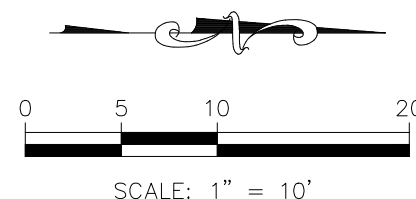
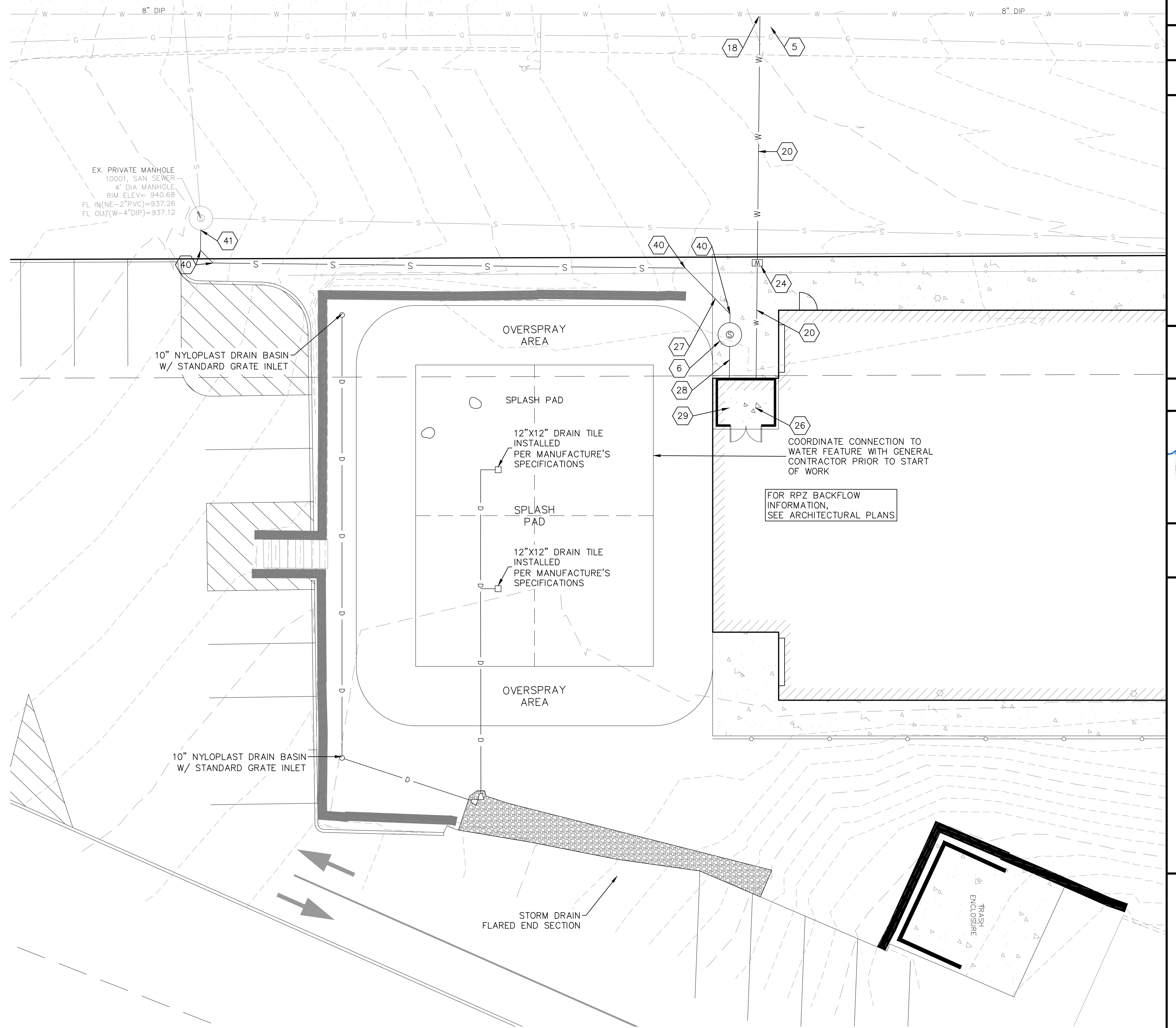


WATERLINE SCHEMATIC

N.T.S.

NOTE:

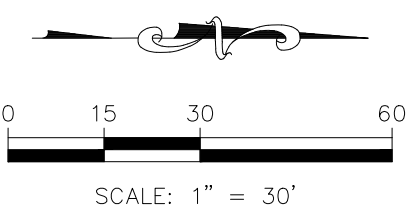
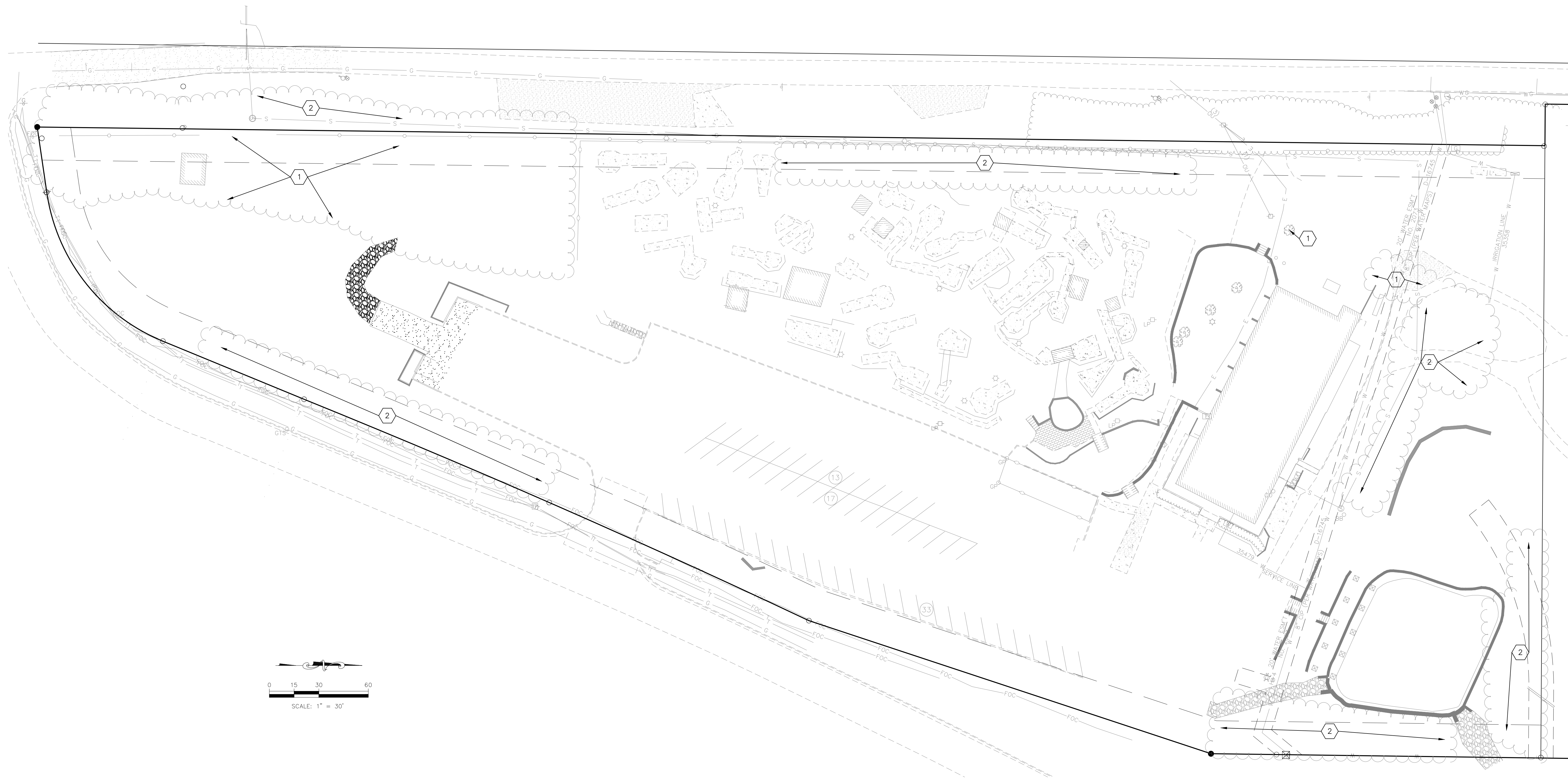
ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATIONS AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.



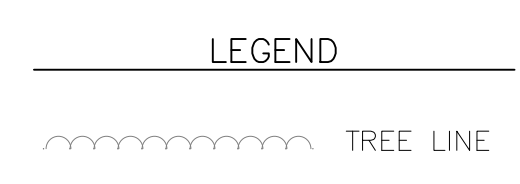
LEGEND

- E — UNDERGROUND ELECTRIC LINE
- OU — OVERHEAD UTILITY LINE
- S — SAN SEWER LINE
- W — WATER LINE

	MAC	JAD	MAC	JAD	MAC	JAD	CHK
	MAC	JAD	MAC	JAD	MAC	JAD	DSN
	PER CITY COMMENTS		PER CITY COMMENTS		INITIAL SUBMITTAL		DESCRIPTION
	03/22/24	03/22/24	03/01/24	03/01/24	01/26/24		DATE
	2	1	0	0			REV
MATTHEW A. CROSS ENGINEER MO # 2020008364							
8040 N. OAK TRAFFICWAY KANSAS CITY, MISSOURI 64118 (816) 451-1100 kce@kveeng.com www.kveeng.com							
KAW VALLEY ENGINEERING KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/23							
OAKRIDGE FAMILY CLUB 5330 NE OAK RIDGE DRIVE KANSAS CITY, MO							
DEVELOPMENT PLAN UTILITY PLAN							
PROJ. NO.		B21D4185					
DESIGNER	MAC	DRAWN BY		JAD			
CFN	4185UP						
SHEET	C302						REV
						2	



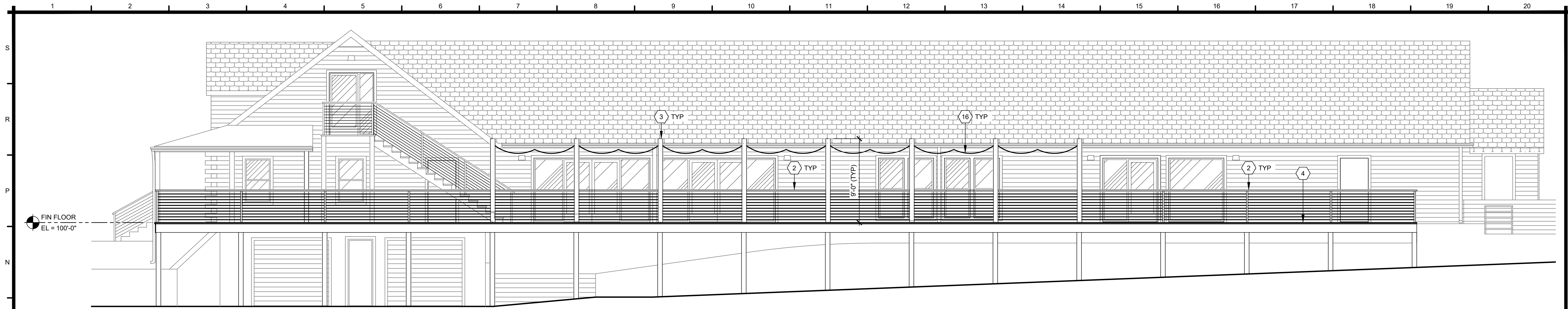
Tree Preservation and Protection		
	Tree Canopy (sqft)	Tree Canopy (ac)
Existing	40024	0.92
Preserved	21228	0.49



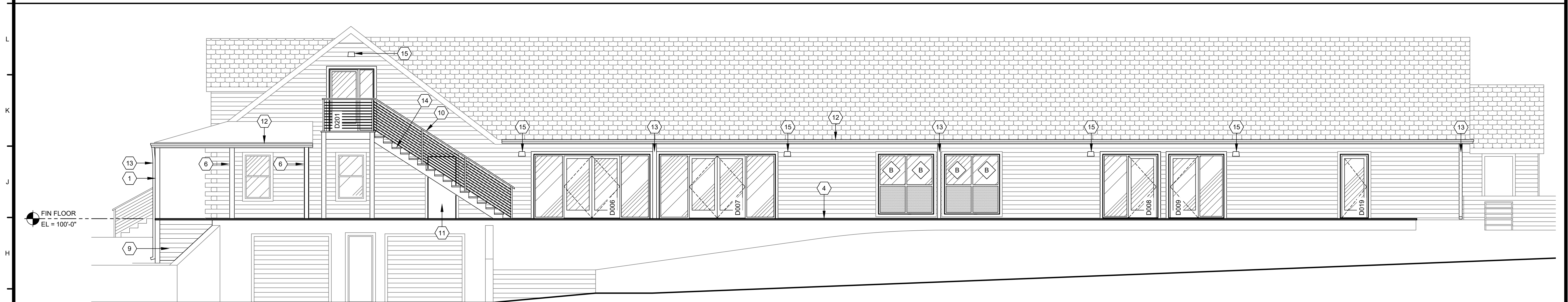
- NOTES:
- 1 REMOVE TREES
 - 2 TREES TO REMAIN

- GENERAL NOTES:
1. PROPERTY ADDRESS: 5330 NORTHEAST OAK RIDGE ROAD, KANSAS CITY, MISSOURI 64119
 2. GROSS LAND AREA: 29.2 ACRES, MORE OR LESS.
 3. THE SURVEY WAS EXECUTED IN ACCORDANCE WITH LAWS AND STANDARDS FOR THE STATE OF MISSOURI.
 4. MISSOURI ONE-CALL TICKET #'S: 210881988, 210881989, 210881990.
 5. THE PROPERTY HAS DIRECT ACCESS TO NORTHEAST OAK RIDGE DRIVE AND HARDESTY AVENUE. BOTH ARE DEDICATED PUBLIC STREETS.
 6. NO MITIGATION SHALL BE REQUIRED IF CONTIGUOUS TREE CANOPY COVER IS LESS THAN ONE ACRE.

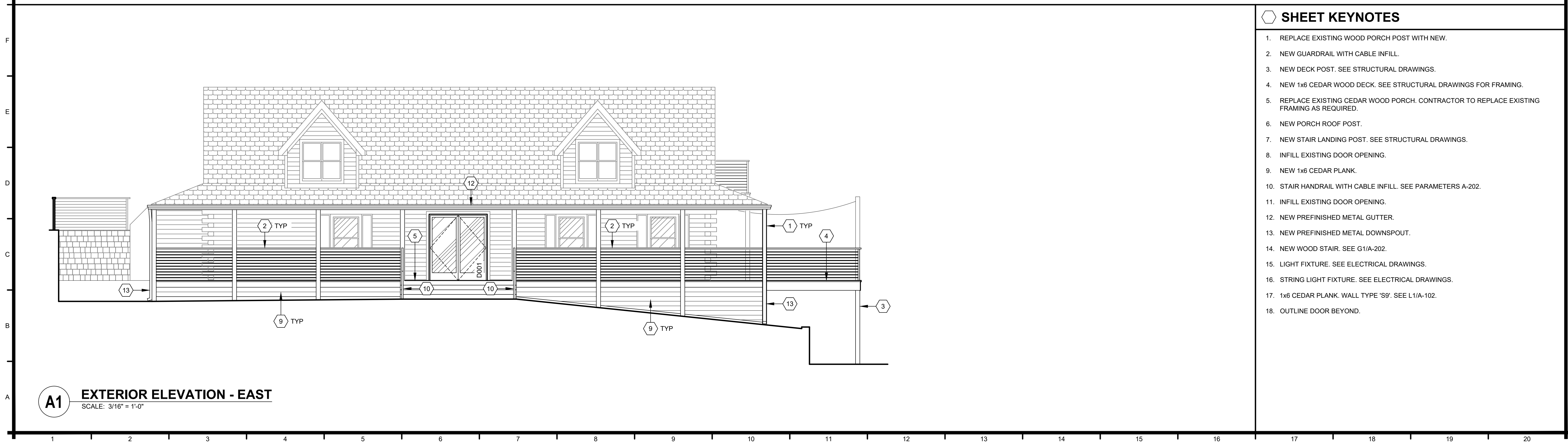
	REV	DATE	DESCRIPTION
	2	03/22/24	PER CITY COMMENTS
	1	03/01/24	PER CITY COMMENTS
	0	01/26/24	INITIAL SUBMITTAL
			PROJ. NO. B21D4185 DESIGNER MAC DRAWN BY JAD CFN 4185TREE SHEET C400 REV 2
8040 N. OAK TRAFFICWAY KANSAS CITY, MISSOURI 64118 (816) 451-1100 kce@kveeng.com www.kveeng.com			OAKRIDGE FAMILY CLUB 5330 NE OAK RIDGE DRIVE KANSAS CITY, MO DEVELOPMENT PLAN EXISTING CONDITIONS AND TREE PRESERVATION PLAN
MATTHEW A. CROSS ENGINEER MO # 2020008364			DSN DWN CHK



M1 EXTERIOR ELEVATION - NORTH DECK
SCALE: 3/16" = 1'-0"



G1 EXTERIOR ELEVATION - NORTH
SCALE: 3/16" = 1'-0"



A1 EXTERIOR ELEVATION - EAST
SCALE: 3/16" = 1'-0"

SHEET KEYNOTES

1. REPLACE EXISTING WOOD PORCH POST WITH NEW.
2. NEW GUARDRAIL WITH CABLE INFILL.
3. NEW DECK POST. SEE STRUCTURAL DRAWINGS.
4. NEW 1x6 CEDAR WOOD DECK. SEE STRUCTURAL DRAWINGS FOR FRAMING.
5. REPLACE EXISTING CEDAR WOOD PORCH. CONTRACTOR TO REPLACE EXISTING FRAMING AS REQUIRED.
6. NEW PORCH ROOF POST.
7. NEW STAIR LANDING POST. SEE STRUCTURAL DRAWINGS.
8. INFILL EXISTING DOOR OPENING.
9. NEW 1x6 CEDAR PLANK.
10. STAIR HANDRAIL WITH CABLE INFILL. SEE PARAMETERS A-202.
11. INFILL EXISTING DOOR OPENING.
12. NEW PREFINISHED METAL GUTTER.
13. NEW PREFINISHED METAL DOWNSPOUT.
14. NEW WOOD STAIR. SEE G1/A-202.
15. LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
16. STRING LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
17. 1x6 CEDAR PLANK. WALL TYPE 'S9'. SEE L1/A-102.
18. OUTLINE DOOR BEYOND.

WARMAN ARCHITECTURE+DESIGN
1735 SWIFT AVE.
NORTH KANSAS CITY, MISSOURI 64116
V. 816.474.2233 F. 816.474.1051



Oak Ridge Family Social Club
5330 NE Oak Ridge Dr
Kansas City, MO

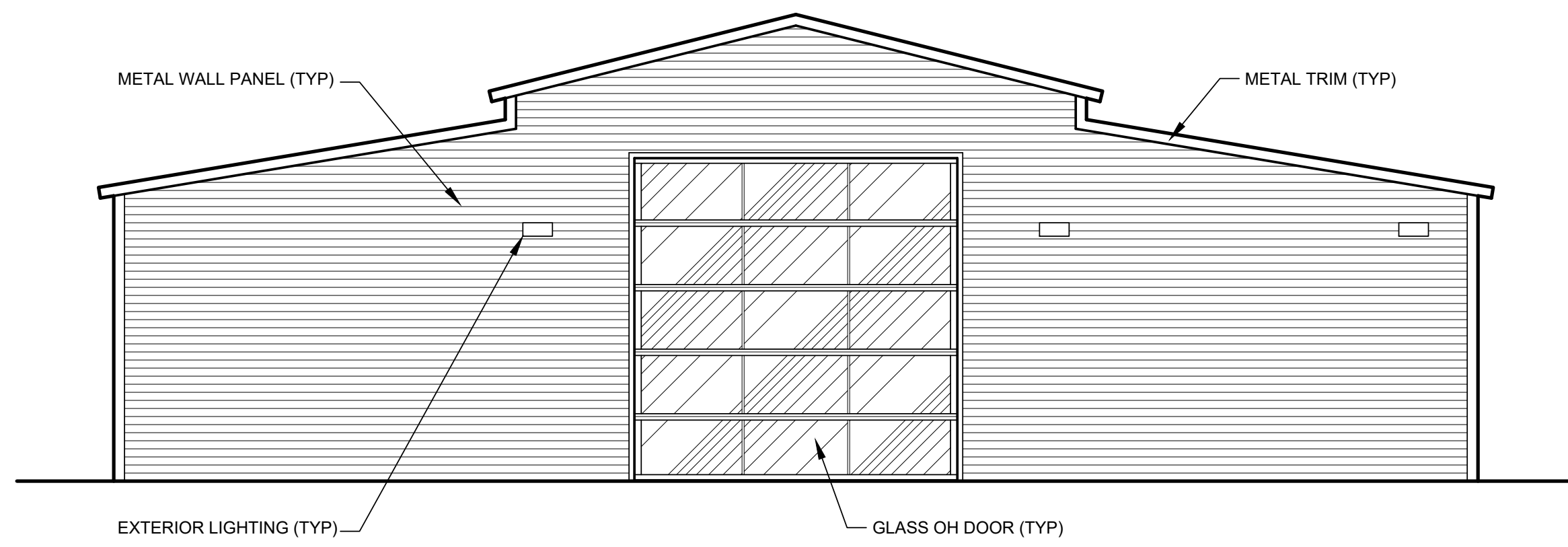
5330 Oak Ridge Realty LLC
6051 N Chestnut Ave
Kansas City, MO 64119

#	BY	DATE	SOURCE

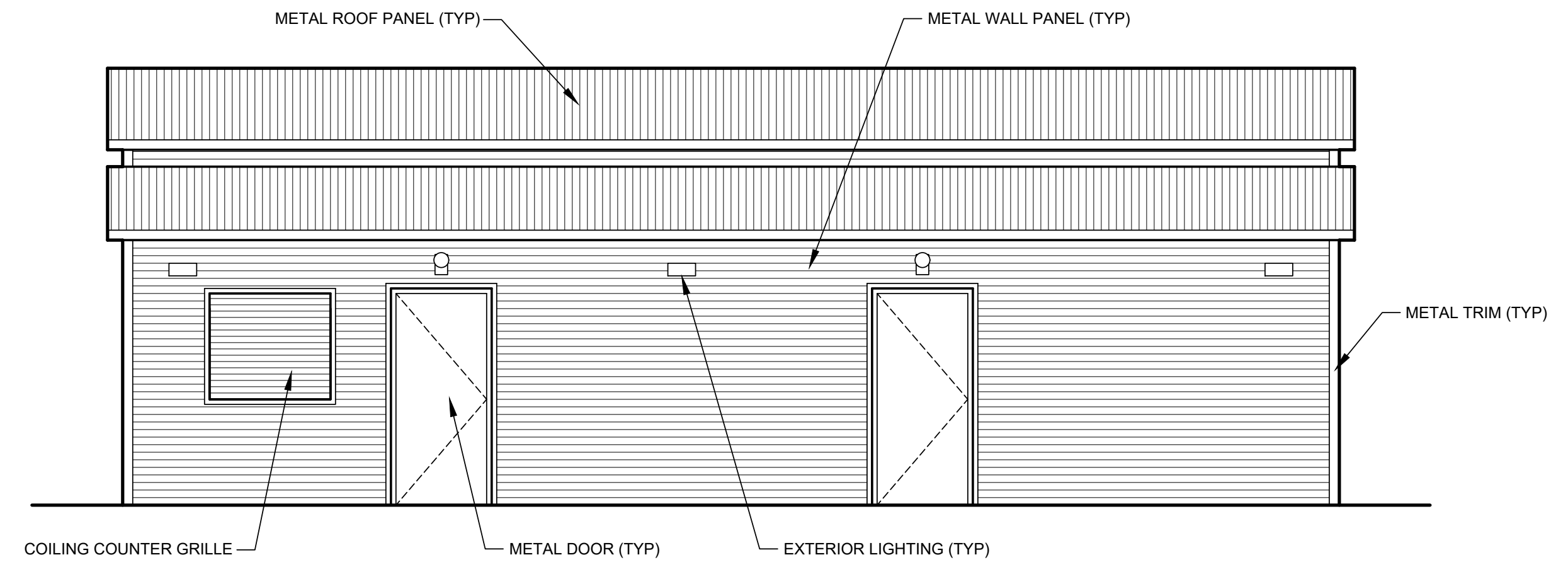
DATE: 09.01.2021
DESIGNED BY: xxx
DRAWN BY: JDE
APPROVED BY: KAW

SHEET NUMBER
A-201

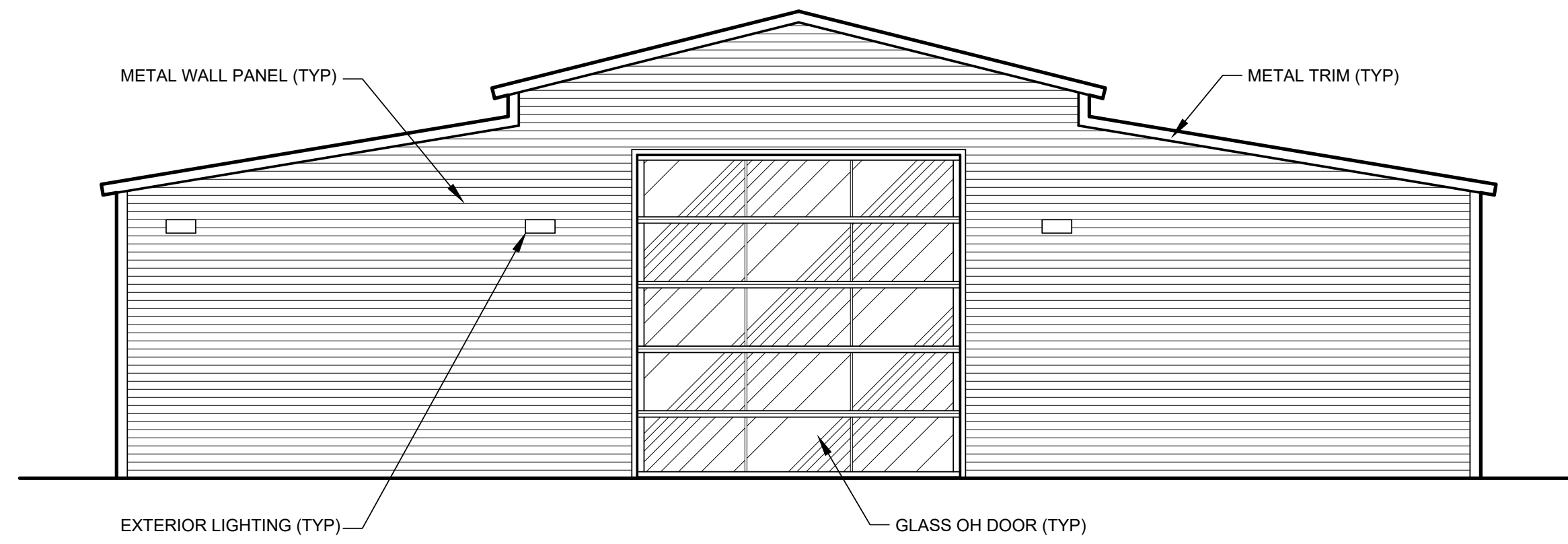
JOB NUMBER
5631-21



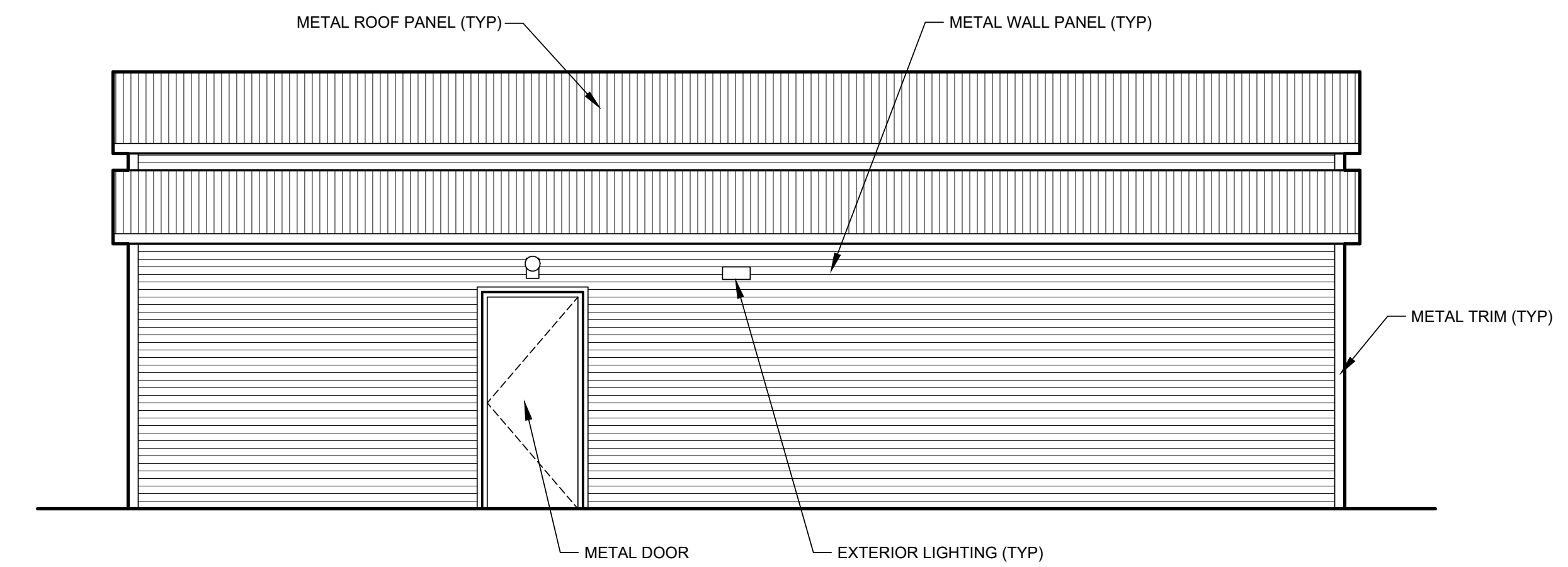
M1 EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



M11 EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"



G1 EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



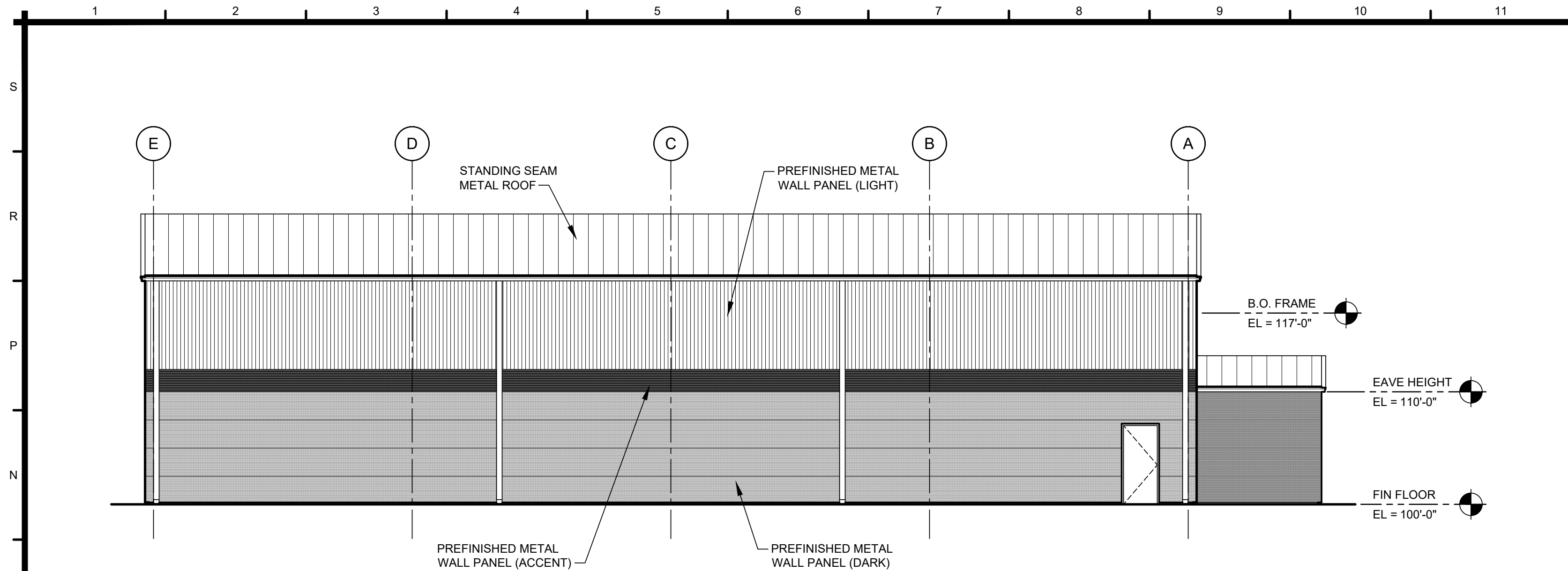
G11 EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"

#	BY	DATE	SOURCE

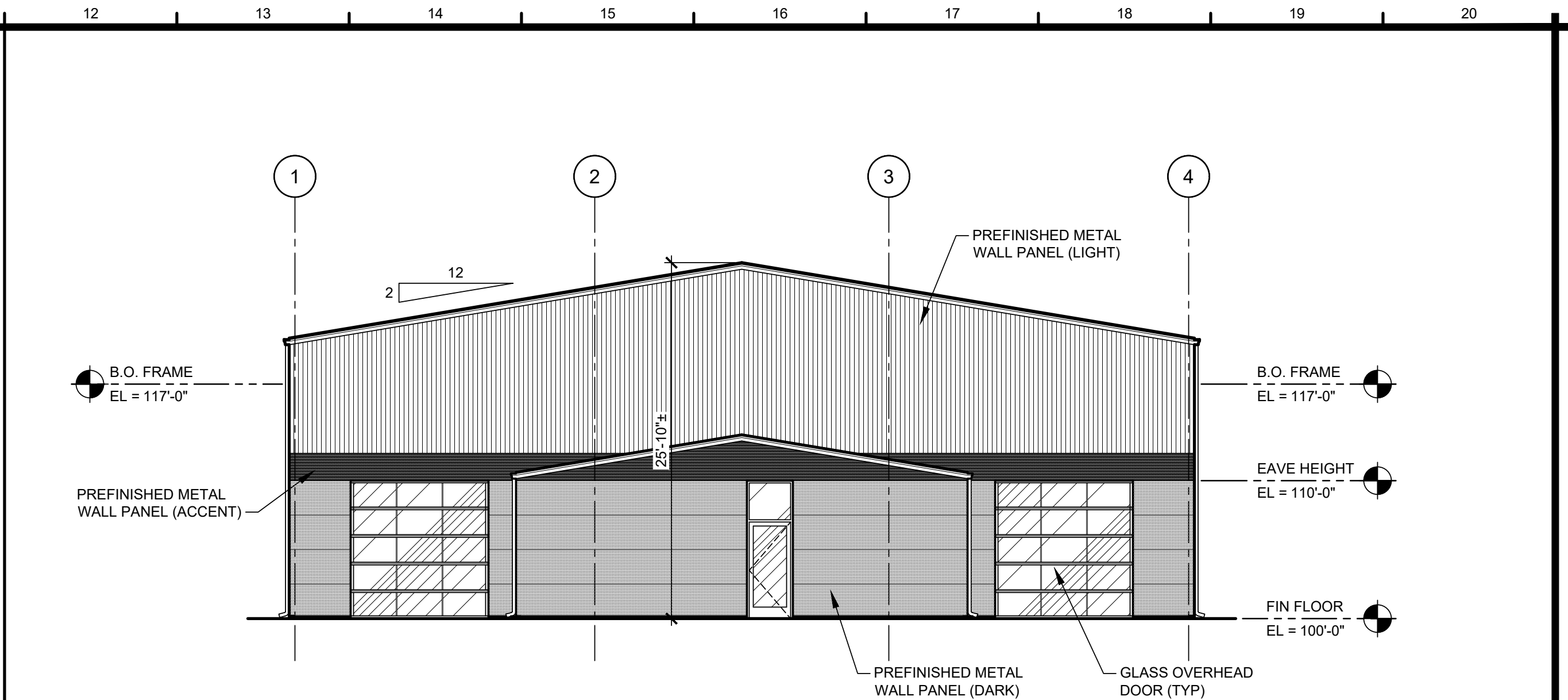
DATE: 08.26.22
DESIGNED BY: KAW
DRAWN BY: JDE
APPROVED BY: KAW

SHEET NUMBER
A-201

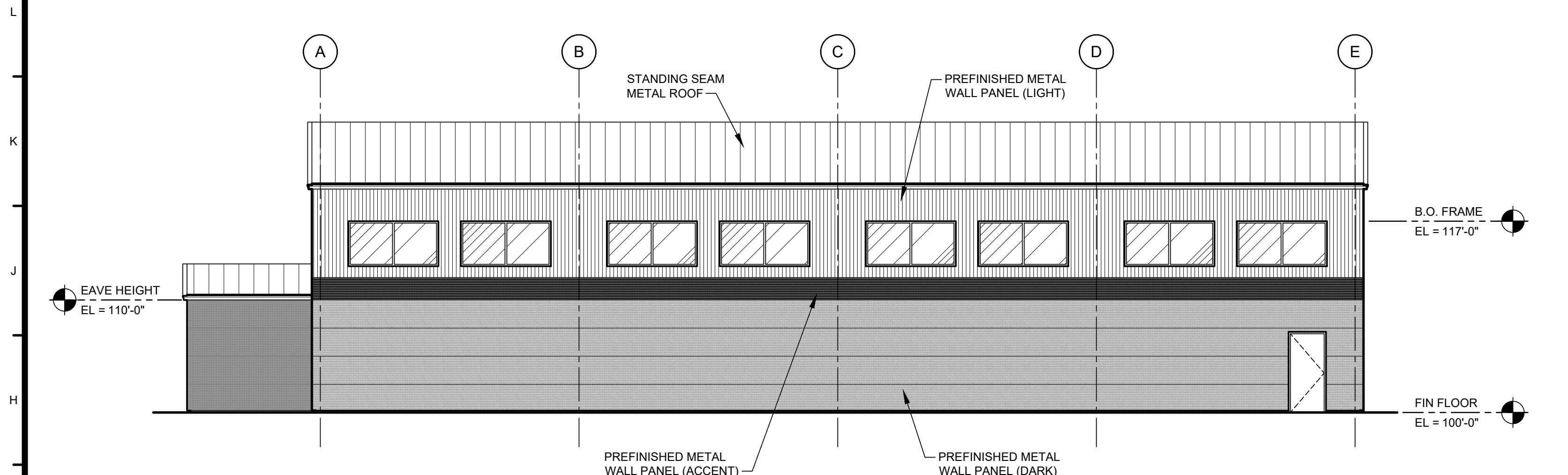
JOB NUMBER
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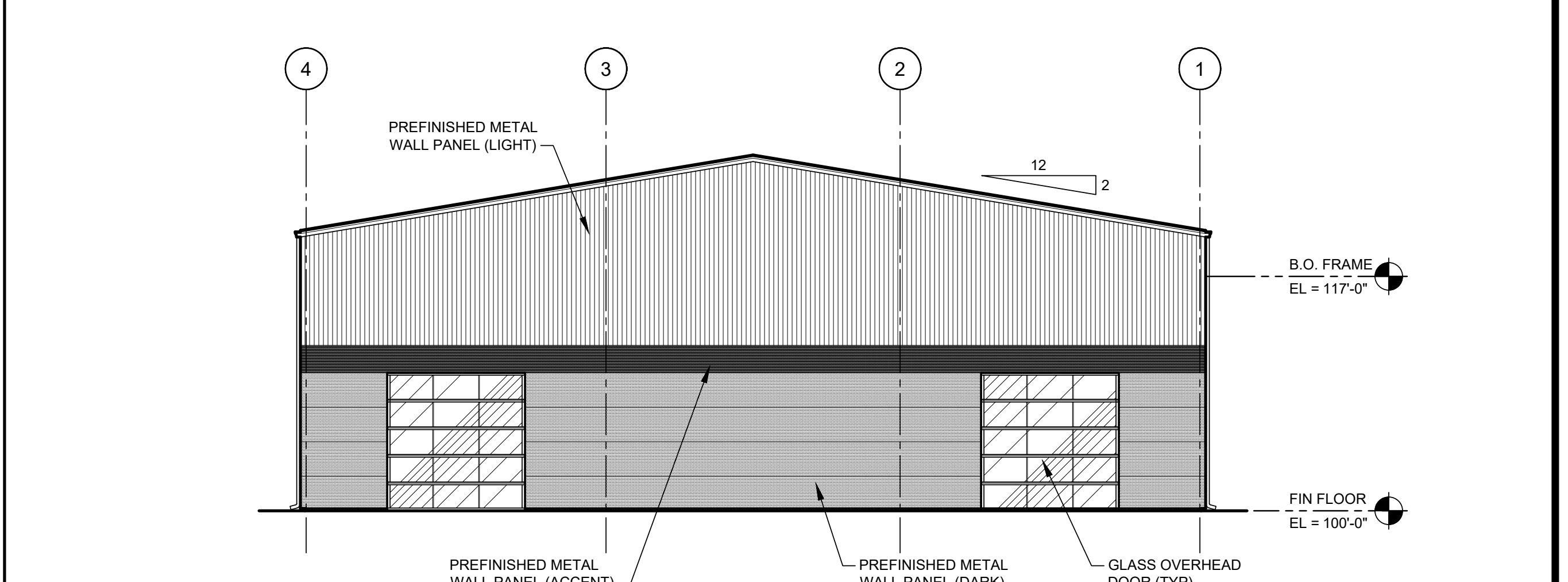
M1 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



M12 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



G1 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"

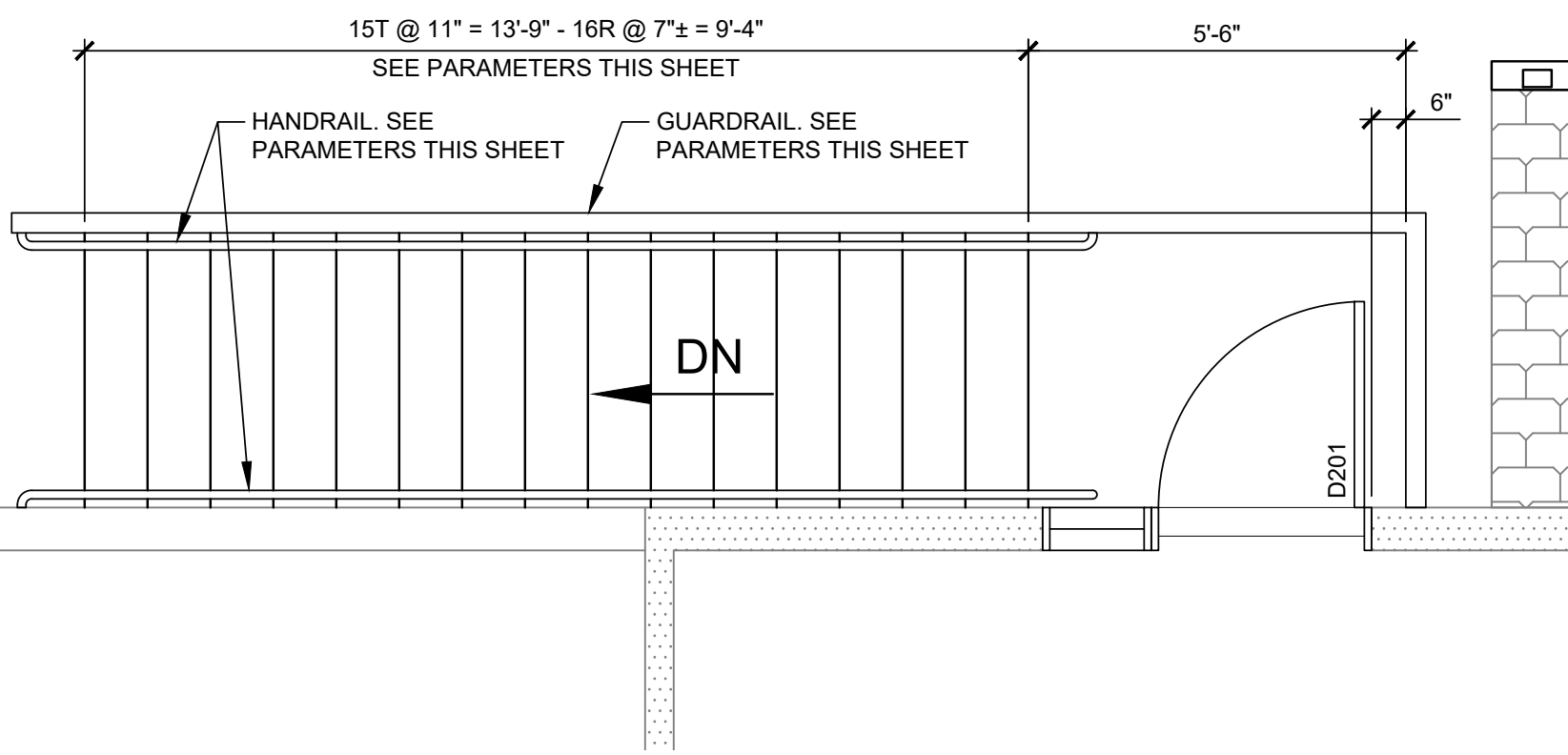
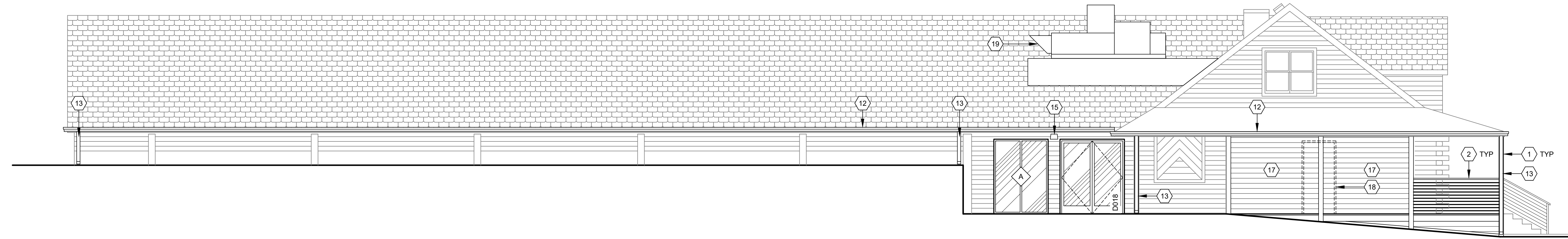


G12 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

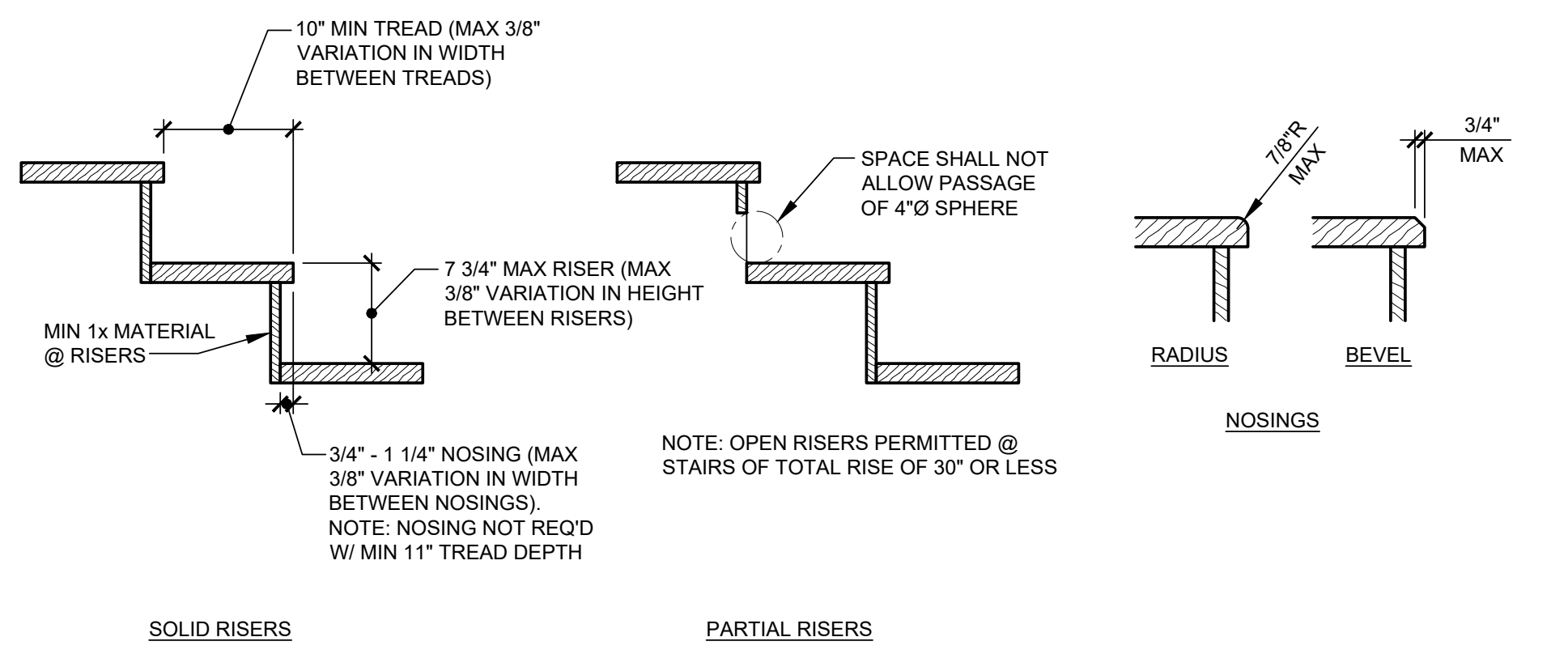
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DATE: 09.29.23
DESIGNED BY: KAW
DRAWN BY: JDE
APPROVED BY: KAW

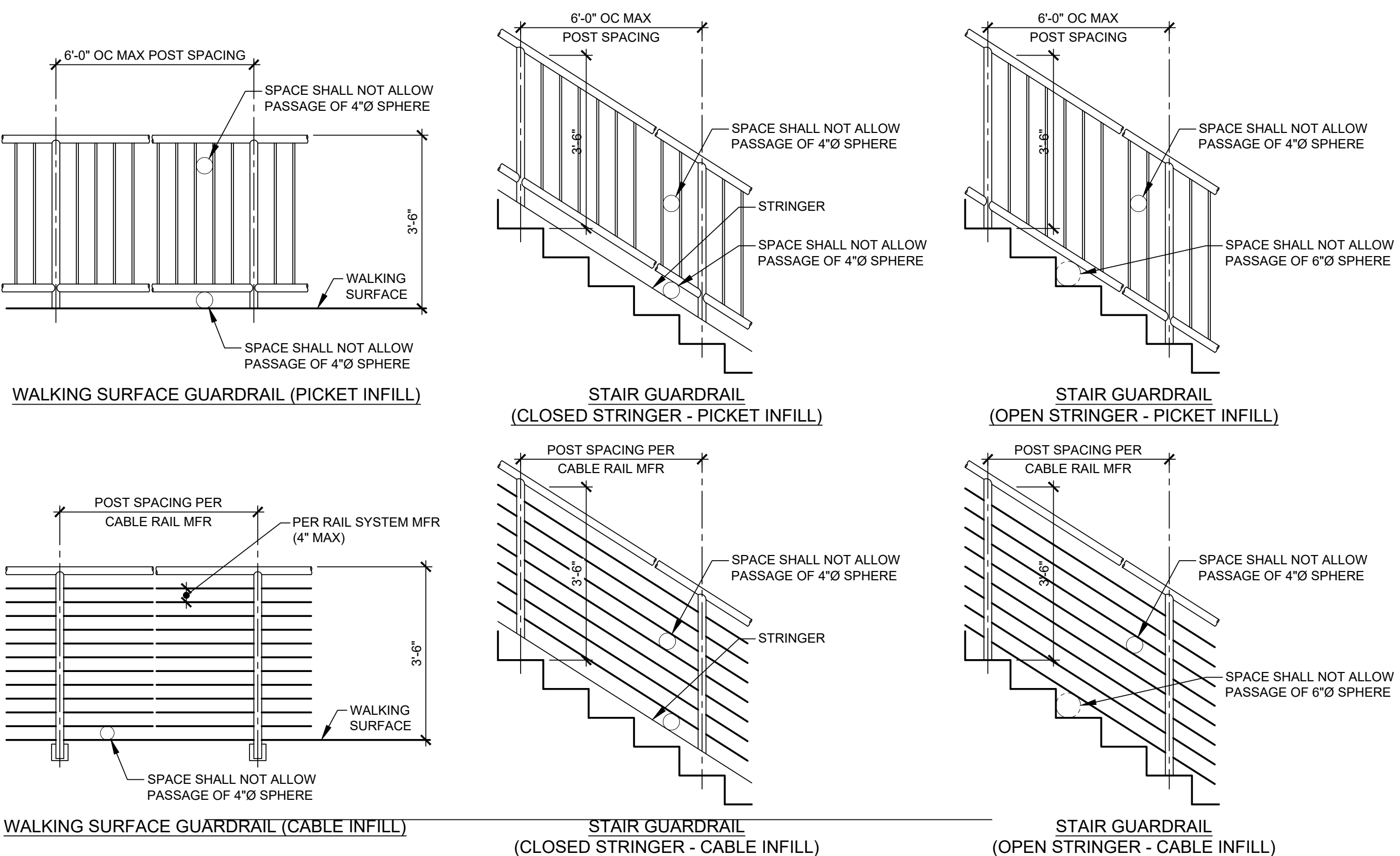
M1 EXTERIOR ELEVATION - SOUTH
SCALE: 3/16" = 1'-0"



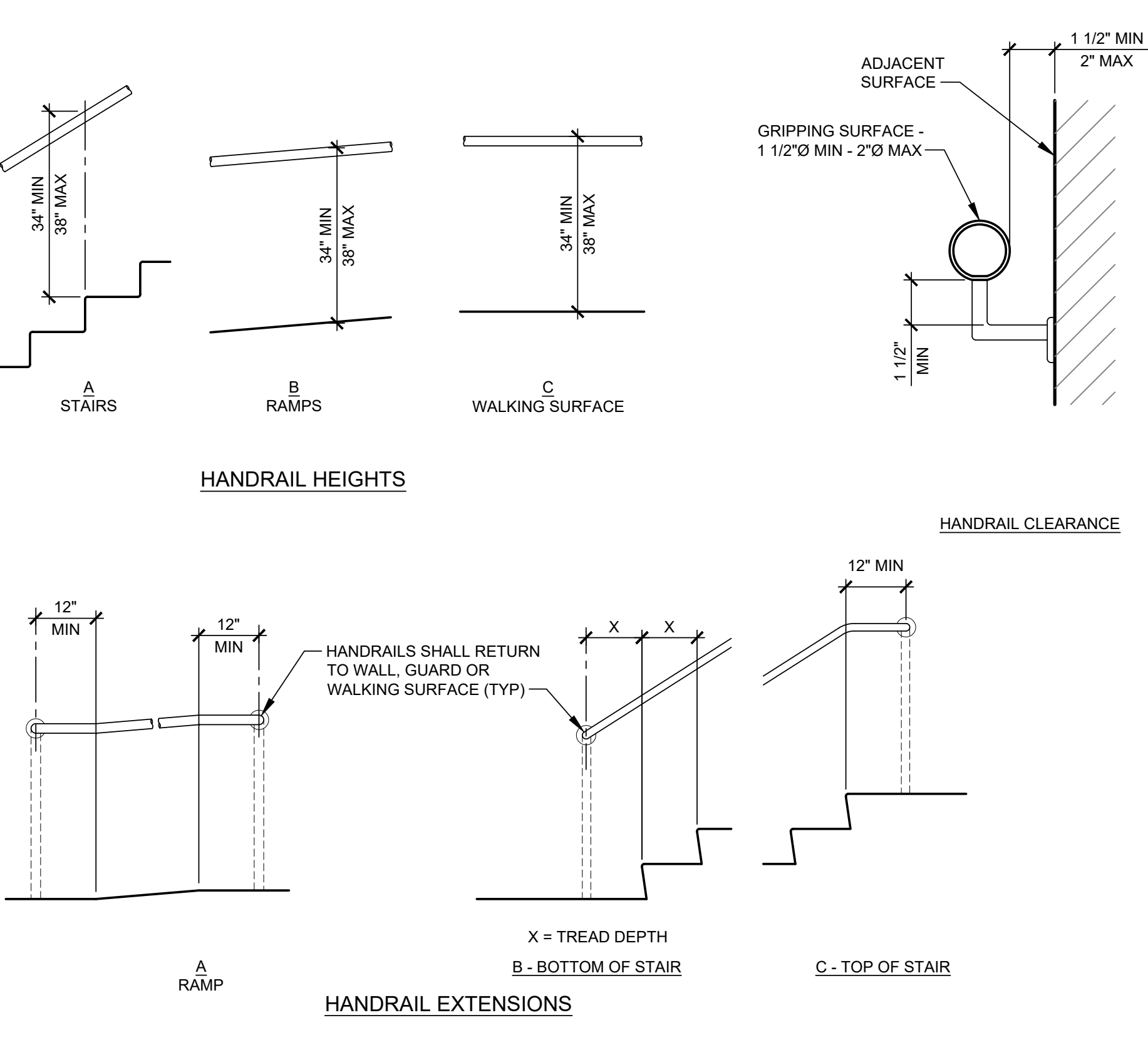
G1 ENLARGED STAIR PLAN
SCALE: 3/8" = 1'-0"



G7 STAIR TREAD / RISER PARAMETERS
SCALE: NONE



A1 GUARDRAIL / HANDRAIL DESIGN PARAMETERS
SCALE: NONE



SHEET KEYNOTES

1. REPLACE EXISTING WOOD PORCH POST WITH NEW.
2. NEW GUARDRAIL WITH CABLE INFILL.
3. NEW DECK POST. SEE STRUCTURAL DRAWINGS.
4. NEW 1x6 CEDAR WOOD DECK. SEE STRUCTURAL DRAWINGS FOR FRAMING.
5. REPLACE EXISTING CEDAR WOOD PORCH. CONTRACTOR TO REPLACE EXISTING FRAMING AS REQUIRED.
6. NEW PORCH ROOF POST.
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8. INFILL EXISTING DOOR OPENING.
9. NEW 1x6 CEDAR PLANK.
10. STAIR HANDRAIL WITH CABLE INFILL. SEE PARAMETERS THIS SHEET.
11. INFILL EXISTING DOOR OPENING.
12. NEW PREFINISHED METAL GUTTER.
13. NEW PREFINISHED METAL DOWNSPOUT.
14. NEW WOOD STAIR. SEE THIS SHEET.
15. LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
16. STRING LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
17. 1x6 CEDAR PLANK. WALL TYPE 'S9'. SEE L1/A-102.
18. OUTLINE DOOR BEYOND.
19. NEW ROOF TOP EQUIPMENT & PLATFORM. SEE MECH & STRUCT.

WARMAN ARCHITECTURE+DESIGN
1735 SWIFT AVE.
NORTH KANSAS CITY, MISSOURI 64116
V. 816.474.2233 F. 816.474.1051

Missouri State Certificate of Authority #ARC 000745

KATHLEEN ANN WARMAN - ARCHITECT
MO # A5819

Oak Ridge Family Social Club
5330 NE Oak Ridge Dr
Kansas City, MO

EXTERIOR ELEVATIONS

5330 Oak Ridge Realty LLC
6051 N Chestnut Ave
Kansas City, MO 64119

#	BY	DATE	SOURCE

DATE: 09.01.2021
DESIGNED BY: KAW
DRAWN BY: JDE
APPROVED BY: KAW

SHEET NUMBER
A-202
JOB NUMBER
5631-21

ELECTRICAL LIGHTING SCHEDULE (OR EQUAL. VERIFY ALL SELECTIONS AND FINISHES WITH OWNER AND ARCHITECT PRIOR TO ORDERING.)

FIXTURE TYPE	MANUFACTURER		VOLT AMPS	MOUNTING	LAMP TYPE	REMARKS	VOLT
	NAME	SERIES					
S1	LITHONIA	RSXF3-LED-P3-30K-AWFD	266	20' POLE	INCLUDED LED	MINI-GOLF AREA LED LIGHT - 3000K - "S1-BV" = PROVIDE WITH BOTTOM VISOR - 480V/1PH	480V
S2	LITHONIA	RSX4-LED-P4-40K-R3	431	30' POLE	INCLUDED LED	PARKING LOT LED LIGHT - 4000K - WITH PHOTOCCELL - "S2-HS" = PROVIDE WITH HOUSE-SIDE SHIELD - 480V/1PH	480V
S3	LITHONIA	RSX4-LED-P6-40K-R4	546	25' POLE	INCLUDED LED	COURT AREA LED LIGHT - 4000K - "S3-HS" = PROVIDE WITH HOUSE SIDE SHIELD - 480V/1PH	480V

Luminaire Schedule					
Tag	Description	LLF	Luminaire Lumens	Luminaire Watts	
S3	RSX4 LED P6 40K R4	0.800	69620	545.6631	
S3_HS	RSX4 LED P6 40K R4 HS	0.800	45651	545.66	
S2_HS	RSX4 LED P4 40K R3 HS	0.800	38843	430.62	
S2	RSX4 LED P4 40K R3	0.800	55423	430.6189	
S1_BV	RSXF3 LED P3 30K AWFD BV	0.800	30325	266.818	
S1	RSXF3 LED P3 30K AWFD	0.800	32409	266.82	

Calculation Summary					
Label	Units	Avg	Max	Min	Max/Min
Entry Triangle	Fc	22.64	45.7	4.3	10.63
Mini-Golf Course	Fc	11.03	64.5	0.3	215.00
North Courts	Fc	35.95	52.3	15.1	3.46
North Courtyard	Fc	15.90	54.4	0.9	60.44
Parking Lot	Fc	11.07	29.7	0.5	59.40
Parking Lot 2	Fc	4.48	10.2	0.6	17.00
Property Line	Fc	1.56	5.6	0.0	N.A.
South Drive	Fc	2.93	9.7	0.5	19.40
Splash Pad	Fc	16.16	35.9	7.8	4.60

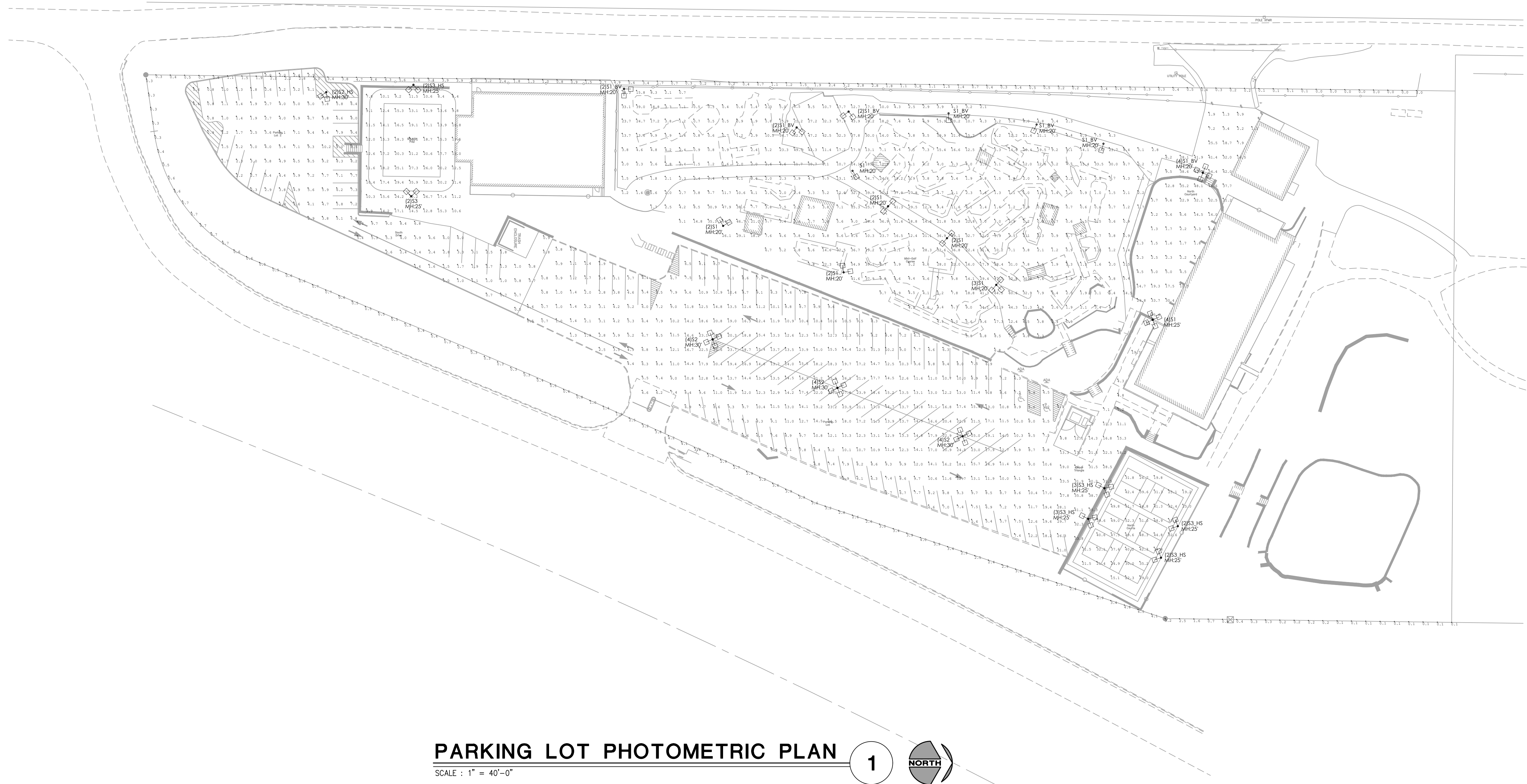
SYMBOLS LEGEND

NOTE: THIS IS A MASTER LEGEND AND NOT ALL SYMBOLS, ETC, ARE NECESSARILY USED ON THE DRAWINGS.

SITE LIGHTING FIXTURE - TYPE AND MOUNTING HEIGHT PER SITE PLAN. PROVIDE WITH METAL SITE POLE FOR MOUNTING ACCORDING TO DESIGN INTENT UNLESS NOTED OTHERWISE.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE SECTION 2800 AND 5800 OF THE STREET LIGHTING OF KANSAS CITY METROPOLITAN CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION, CONSTRUCTION & MATERIAL SPECIFICATION, AND ALL APPLICABLE KCMO SUPPLEMENTS.
- ALL ELECTRICAL/CONDUIT STREET CROSSINGS NEED TO BE BACKFILLED WITH AB-3 OR FLOWABLE FILL IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.



PARKING LOT PHOTOMETRIC PLAN 1

SCALE: 1" = 40'-0"

WARMAN ARCHITECTURE+DESIGN
 1735 SWIFT AVE.
 NORTH KANSAS CITY, MISSOURI 64116
 V. 816.474.2233 F. 816.474.1051

Missouri State Certificate of Authority #ARC 000745

Oak Ridge Family Social Club
 5330 NE Oak Ridge
 Kansas City, MO

PHOTOMETRIC PLAN

5330 Oak Ridge Realty LLC
 6051 N Chestnut Ave
 Kansas City, MO 64119

#	BY	DATE	SOURCE

JSC
ENGINEERS

MO CCA NO. 2012006781 / KS CCA NO. E-2818
1825 CENTRAL ST. SUITE 4021
KANSAS CITY, MO 64116
phone: (816) 272-0238 / email: jsc@jscengineers.com

DATE: 11.17.2023

DESIGNED BY: JSC

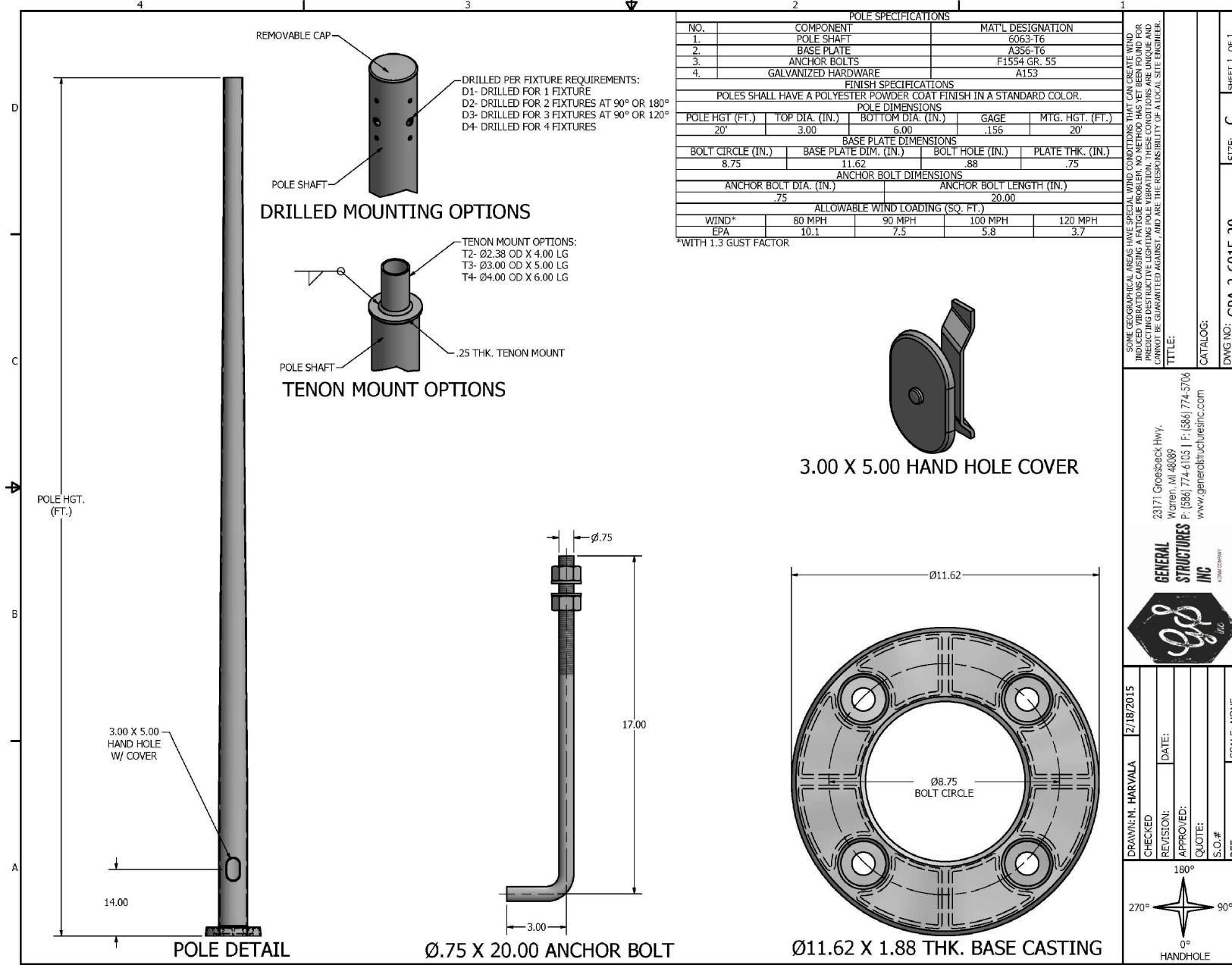
DRAWN BY: JSC

APPROVED BY: JRS

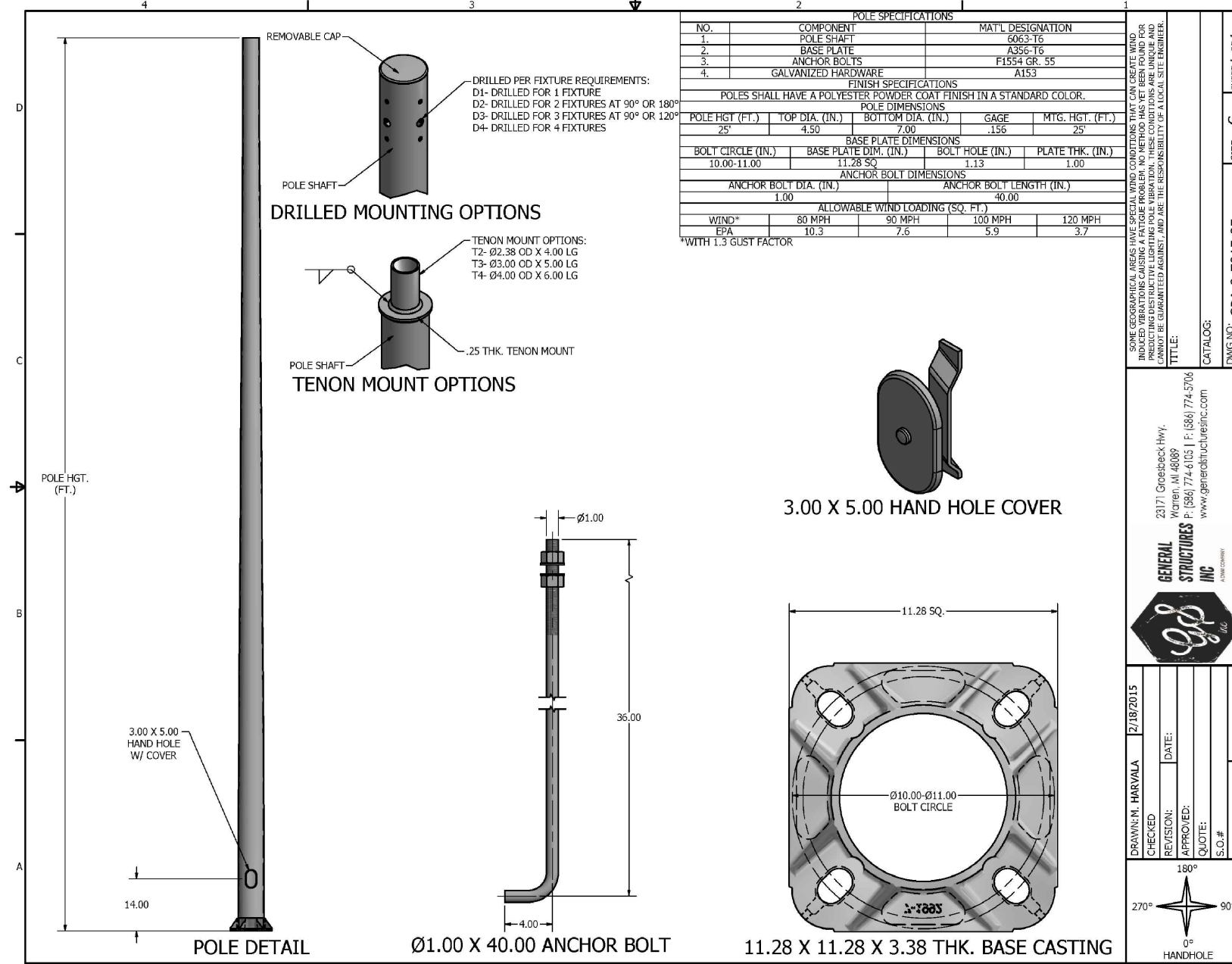
SHEET NUMBER
E-001

JOB NUMBER
23-185

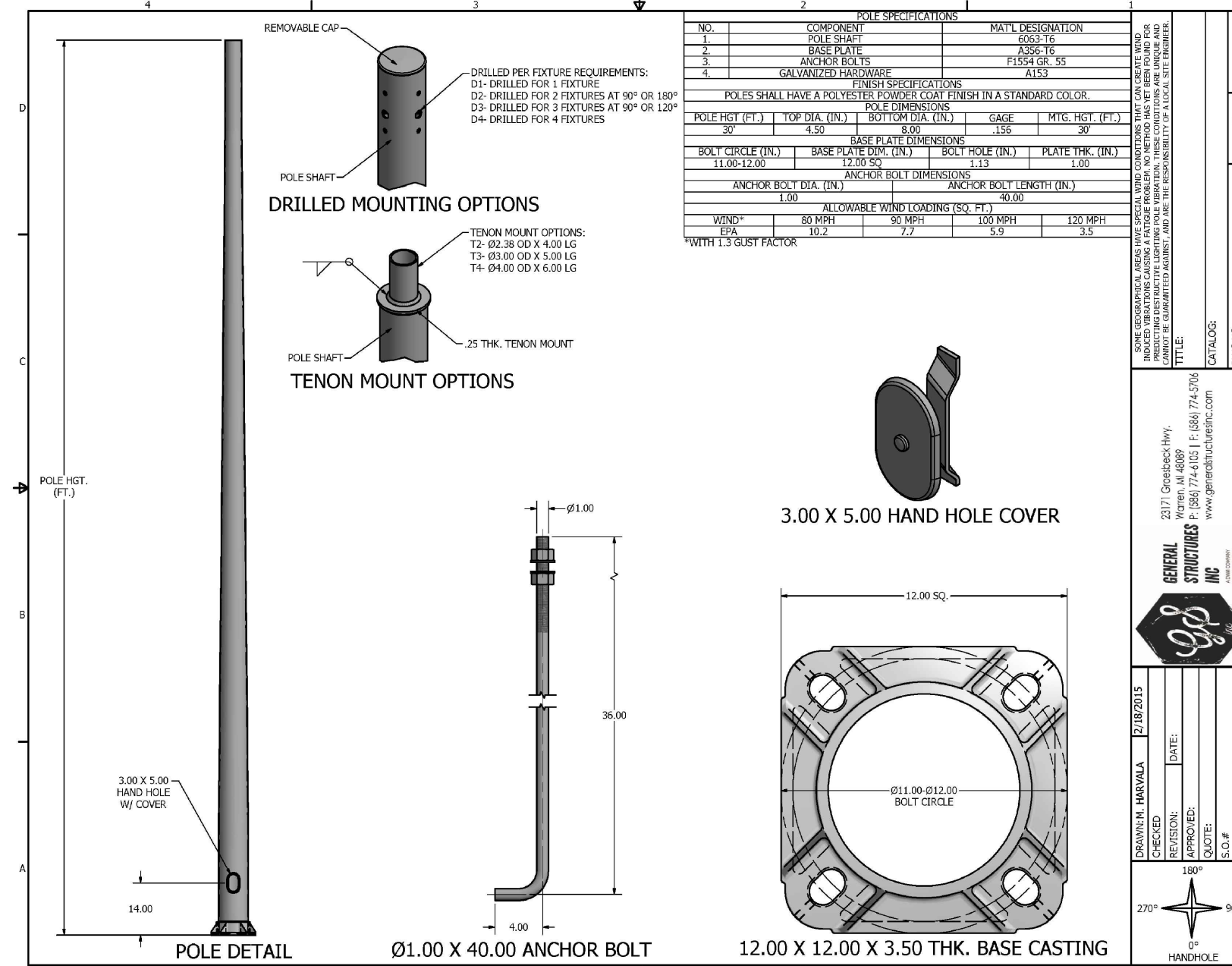
POLE FIXTURE SPECIFICATION - 20'



POLE FIXTURE SPECIFICATION - 25'



POLE FIXTURE SPECIFICATION - 30'



LIGHT FIXTURE SPECIFICATION - 'S1'



RSXF3 LED Floodlight

Buy American

Specifications
EPA (ft²@45°): 3.7 ft² (0.3 m²)
Length: 32.8" (83.3 cm)
Width: 16.1" (40.9 cm)
Height: 3.0" (7.6 cm) Main Body
7.6" (19.3 cm) Arm
Weight (max): 48 lbs (21.8 kg)

Introduction
The new RSXF LED Flood family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSXF3 delivers 25,000 to 41,000 lumens allowing it to replace 400W to 1000W HID floodlights.
The RSXF features an adjustable integral slipfitter that allows the luminaire to be mounted on a 2-3/8" OD tenon. Integral cover/wire box serves as an approved splice compartment allowing for fast, easy mounting and wiring without opening the electrical compartment. A yoke and other mounting configurations are available.

LIGHT FIXTURE SPECIFICATION - 'S2', 'S3'



RSX4 LED Area Luminaire

Specifications
EPA (ft²@45°): 0.69 ft² (0.07 m²)
Length: 30.9" (78.5 cm) (SPA mount)
Width: 25.0" (63.5 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.4 cm) Arm
Weight (max): 65 lbs (29.5 kg)

Introduction
The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX4 delivers 40,000 to 70,000 lumens allowing it to replace up to (2) 1000W HID luminaires.
The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast adaptor, adjustable integral slipfitter and other mounting configurations are available.

design select
Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.aacuitybrands.com/designselect.
*See ordering tree for details.

Ordering Information EXAMPLE: RSXF3 LED P4 40K WFL MVOLT IS DDBXD

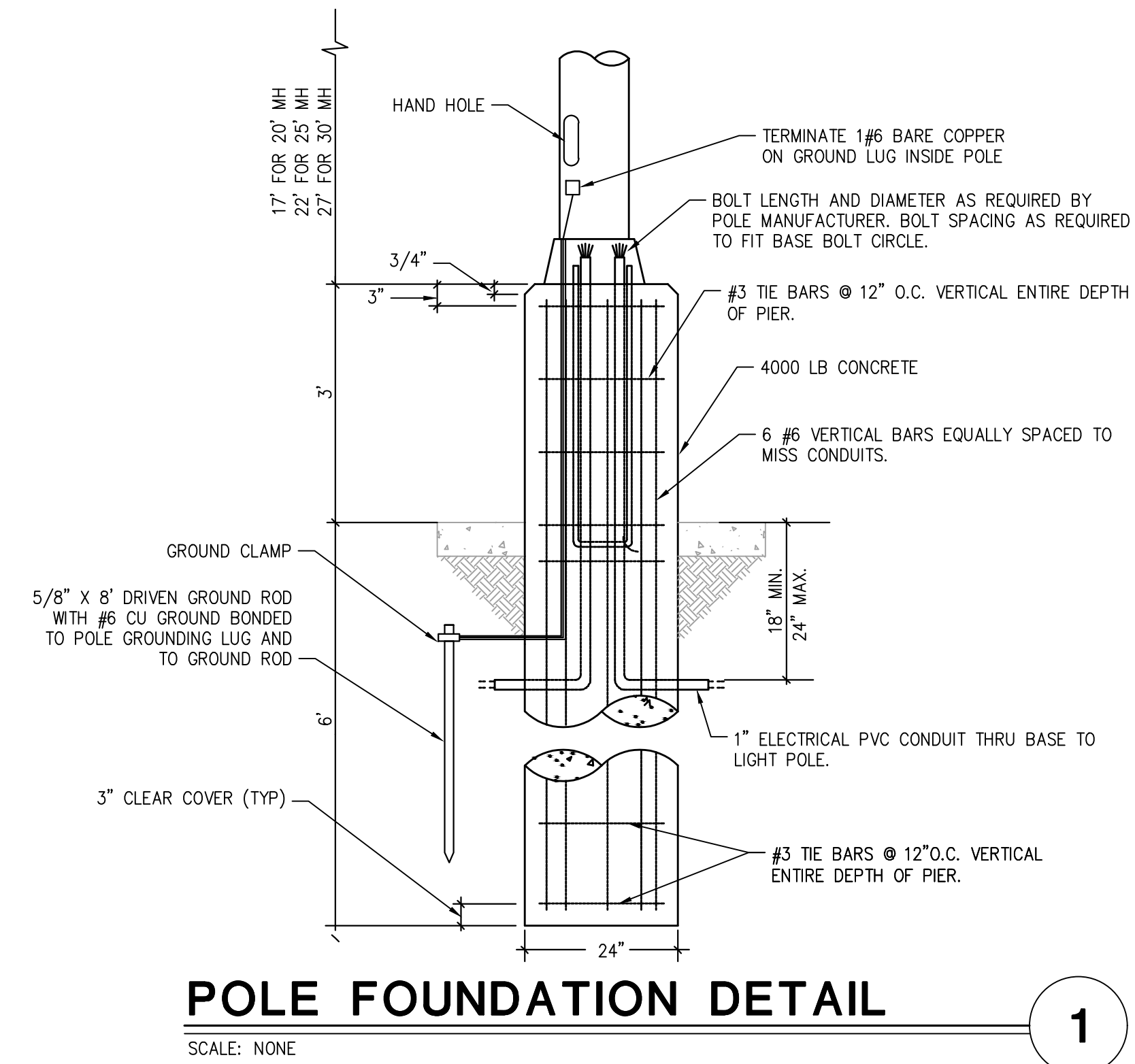
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSXF3 LED	P1	30K	AWFD Area Wide Flood	MVOLT (120V-277V)†	IS Adjustable slipfitter (fits 2-3/8" OD tenon)†
	P2	40K	WFL Wide Flood	40K (347-480V)†	YK64 Yoke with 3-3/8" cond. 48"
	P3	50K	MFL Medium Flood	XVOLT (277V-480V)†	AASP Adjustable 90° arm square pole mounting†
	PN	50K	NFL Narrow Flood		AARP Adjustable 90° arm round pole mounting†
			SP Spot		AWW Adjustable 90° arm with wall bracket†
			NSP Narrow Spot	120† 277†	AANSW Adjustable 90° arm wall bracket and surface conduit box†
				208† 347†	
				240† 480†	

Options

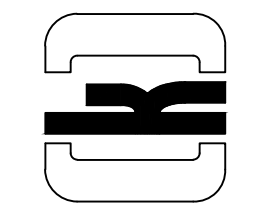
Shipped Installed	Shipped Separately (requires some field assembly)	Finish
PE Photocell, button style**	FE External photocell (factory default settings, see table page 5)	DBRZD Dark Bronze
PER Photocell, external, threshold, adjustable**	FEK External photocell (factory default settings, see table page 5)	DBLX Black
PERF Seen when back-lit, adjustable (no controls)**	PERF Seen when back-lit, adjustable (no controls)**	DNALD Natural Aluminum
CE4 Constant current 347V† (Qty 2)	PIRIN Networked, 8-Level motion/lambert sensor (for use with NEMO)***	DNDW White
SF Single face (120, 277, 347)†	BAA Buy American† Act Compliant	DBRZD Textured Dark Bronze
DF Double face (120, 240, 480)†		DBRZD Textured Black
SPD2KV 200V Surge pack (200V standard)		DNALD Textured Natural Aluminum
FAO Heat adjustable output**		DWHGD Textured White
DWG 0-10V dimming control on back of housing for external control (wired separately)**		
TV Full view (300° arc) adjustable		
UBV Up/down vision		
BS Bird spikes**		

FIXTURE SPECIFICATIONS

SCALE : NO SCALE



WARMAN ARCHITECTURE+DESIGN
1735 SWIFT AVE.
NORTH KANSAS CITY, MISSOURI 64116
V. 816.474.2233 F. 816.474.1051



JUSTIN R. SMOTHERS
PROFESSIONAL ENGINEER
NUMBER PE-2012035568
11-17-2023

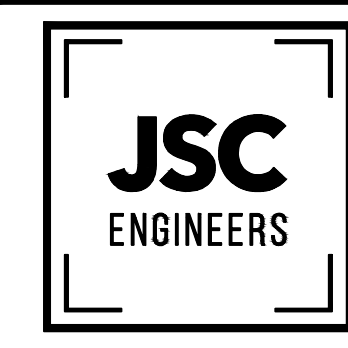
Oak Ridge Family Social Club
5330 NE Oak Ridge
Kansas City, MO
PHOTOMETRIC DETAILS
AND SPECIFICATIONS

5330 Oak Ridge
Realty LLC
6051 N Chestnut Ave
Kansas City, MO 64119

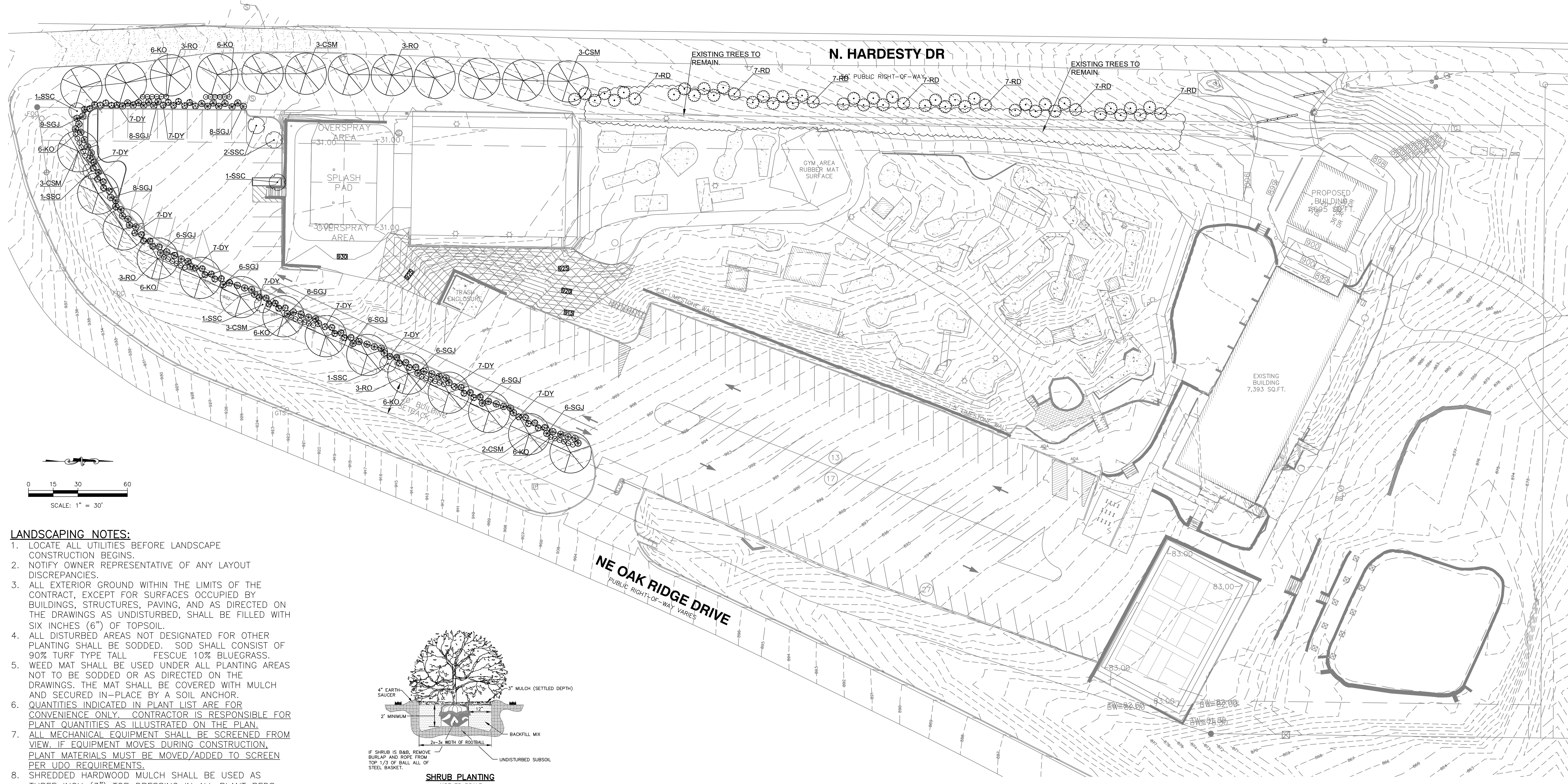
#	BY	DATE	SOURCE

DATE: 11.17.2023
DESIGNED BY: JSC
DRAWN BY: JSC
APPROVED BY: JRS

SHEET NUMBER
E-002
JOB NUMBER
23-185

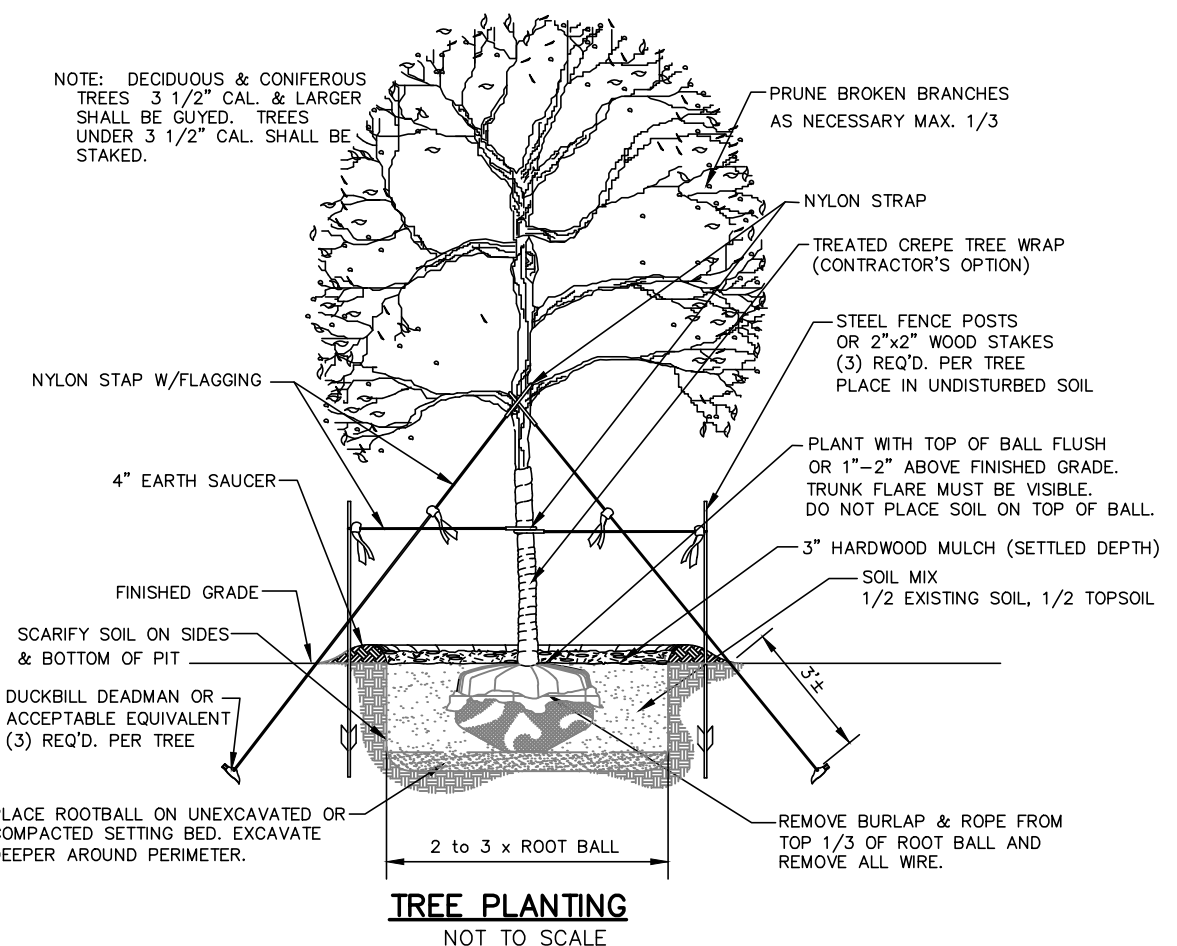
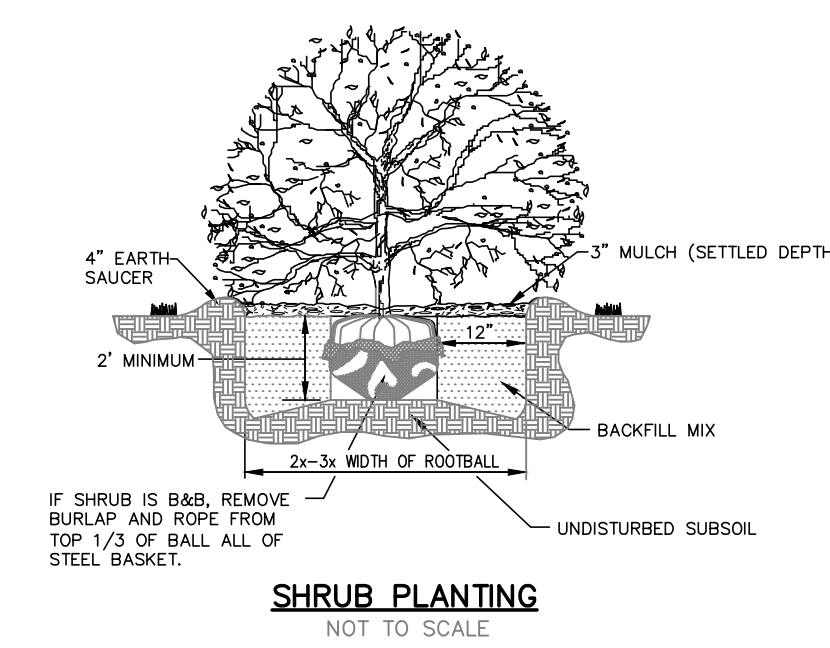


MO COA NO. 202206781 / KS COA NO. E-2818
1820 CENTRAL ST. SUITE 401
KANSAS CITY, MO 64108
PHONE (816) 272-0288 / email jrs@jscengineers.com



LANDSCAPING NOTES:

1. LOCATE ALL UTILITIES BEFORE LANDSCAPE CONSTRUCTION BEGINS.
2. NOTIFY OWNER REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES.
3. ALL EXTERIOR GROUND WITHIN THE LIMITS OF THE CONTRACT, EXCEPT FOR SURFACES OCCUPIED BY BUILDINGS, STRUCTURES, PAVING, AND AS DIRECTED ON THE DRAWINGS AS UNDISTURBED, SHALL BE FILLED WITH SIX INCHES (6") OF TOPSOIL.
4. ALL DISTURBED AREAS NOT DESIGNATED FOR OTHER PLANTING SHALL BE SODDED. SOD SHALL CONSIST OF 90% TURF TYPE TALL FESCUE 10% BLUEGRASS.
5. WEED MAT SHALL BE USED UNDER ALL PLANTING AREAS NOT TO BE SODDED OR AS DIRECTED ON THE DRAWINGS. THE MAT SHALL BE COVERED WITH MULCH AND SECURED IN-PLACE BY A SOIL ANCHOR.
6. QUANTITIES INDICATED IN PLANT LIST ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR PLANT QUANTITIES AS ILLUSTRATED ON THE PLAN.
7. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW. IF EQUIPMENT MOVES DURING CONSTRUCTION, PLANT MATERIALS MUST BE MOVED/ADDED TO SCREEN PER UDO REQUIREMENTS.
8. SHREDDED HARDWOOD MULCH SHALL BE USED AS THREE INCH (3") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).
9. PLACE STEEL EDGING AROUND ALL LANDSCAPE BEDS.
10. STEEL EDGING SHALL BE 1/8" x 4" WITH CLIPS AND STAKES FIVE FEET(5') ON CENTER MIN.
11. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME-RELEASE FERTILIZER (3-4 SLOW-RELEASE TABLETS/PELLETS) AND APPLY MYCORRHIZAE TREATMENT TO EACH ROOT BALL.
12. IF LEANING OCCURS WITHIN ONE YEAR, TREES SHALL BE RE-STAKED (SEE PLANTING DETAILS).
13. CONTRACTOR SHALL STAKE ALL PLANT MATERIALS PRIOR TO INSTALLATION FOR THE PURPOSE OF DETERMINING CONFLICTS WITH ROCK, UTILITIES, ETC. NO PLANTS CAN BE PLANTED DIRECTLY ON ROCK OR UTILITIES. NOTIFY ARCHITECT/ENGINEER/OWNER AT ONCE IF ANY CONFLICTS OCCUR. CONTRACTOR WILL BE REQUIRED TO ADJUST PLANT LOCATIONS AT NO ADDITIONAL COST. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SOD UNTIL ROOTS HAVE KNITTED INTO SOIL AND OWNER HAS OCCUPIED THE BUILDING.
15. PROVIDE "GATOR" BAGS ON ALL TREES. REFILL AS NECESSARY UNTIL OWNER OCCUPIES THE BUILDING. BAGS TO REMAIN FOR USE BY OWNER.

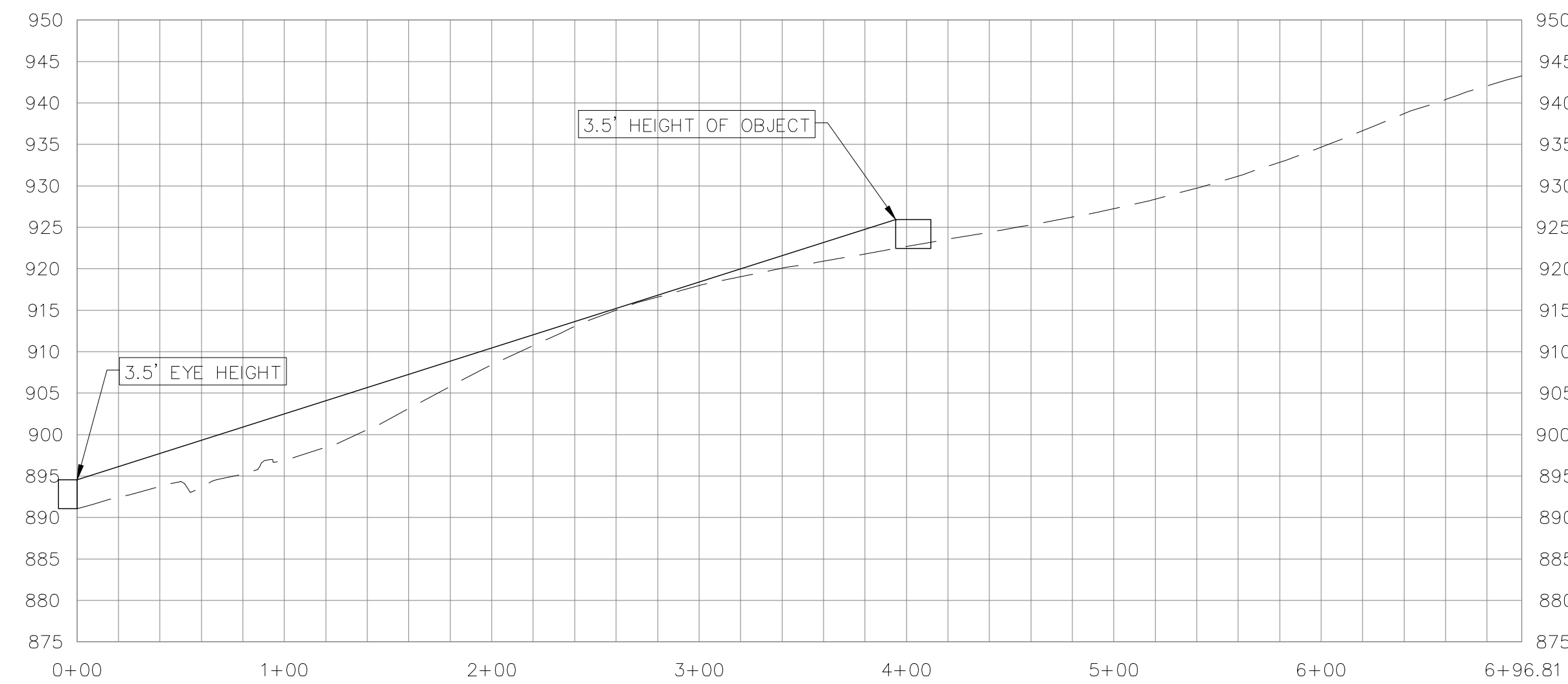


LANDSCAPE REQUIREMENTS			
Street Trees 88-425-03	REQUIRED	EXISTING	PROVIDED
N. Hardesty (324'/30)	11	0	11
NE Oak Ridge (385'/30)	13	0	13
General Landscaping 88-425-04			
1 TREES/5,000 SF BLDG (6,400/5,000) *	2	0	2
Parking Lot Perimeter 88-425-05			
N. Hardesty TREES	(SATISFIED WITH STREET TREES)		
N. Hardesty SHRUBS	CONTINUOUS	SEE PLAN	
NE Oak Ridge, TREES	(SATISFIED WITH STREET TREES)		
NE Oak Ridge, SHRUBS	CONTINUOUS	SEE PLAN	
Interior Parking Lot 88-425-06 *			
35 SF x 32 Stalls	N/A		
32 Stalls/5	6.4	7	

* Parking Lots are existing and internal islands are not included. The plants are included in the perimeter plantings.

PLANT SCHEDULE				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
TREES				
CSM	14	ACER SACCHARUM 'CADD0'	CADD0 SUGAR MAPLE	2.0" CAL. B&B
RO	12	QUERCUS RUBRA	RED OAK	2.0" CAL. B&B
SSC	7	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2.0" CAL. B&B
SHRUBS & GRASSES				
DY	70	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEWE	24" HT.
SGJ	75	JUNIPEROUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24" HT.
KO	42	ROSA 'RADRAZZ'	KNOCKOUT ROSE	24" HT.
RD	49	CORNUS SERICEA 'REDTWIG'	REDTWIG DOGWOOD	24" HT.

8040 N. OAK TRAFFICWAY KANSAS CITY, MISSOURI 64118 kce@kveeng.com www.kveeng.com	0	03/01/24	CITY COMMENTS	VSR	DWN	MAC	CHK
KAW VALLEY ENGINEERING	REV	DATE	DESCRIPTION	VSR	DWN	MAC	CHK
MATTHEW A. CROSS ENGINEER MO # 2020008364							
KAW VALLEY ENGINEERING KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/23							
OAKRIDGE FAMILY CLUB 5330 NE OAK RIDGE DRIVE KANSAS CITY, MO							
DEVELOPMENT PLAN LANDSCAPING PLAN - 1							
PROJ. NO. B21D4185							
DESIGNER MAC							
CFN 4185LS							
SHEET LS1							
	REV						



Sight Distance Table				
Scenario	Description	Required Min Sight Distance (Passenger Car)	Required Min Sight Distance (Single-Unit Truck)	Measured Sight Distance - Emergency Fire Access
Case B1	Left turns from minor road	275.625	349.125	395
Case B2	Right turn from minor road	238.875	312.375	470

							CHK
							DWN
							DSN
							DESCRIPTION
							DATE
							REV
KAW VALLEY ENGINEERING <small>2319 N. JACKSON P.O. BOX 1304 JUNCTION CITY, KANSAS 66441 PH: (785) 762-5040 jce@kveeng.com www.kveeng.com</small>							
OAK RIDGE FAMILY SOCIAL CLUB 5330 NE OAK RIDGE DR KANSAS CITY, MO, 64119 SIGHT DISTANCE EXHIBIT							
PROJ. NO.		B21D4349					
DESIGNER	JED	DRAWN BY		JED			
CFN	4185FIRE						
SHEET	1 OF 1						REV