

HOEFER WYSOCKI

11460 Tomahawk Creek Parkway, Suite 400, Leawood, Kansas 66211 P: 913.307.3700 - F: 913.307.3710 www.hoferwyssocki.com

KATZ ON MAIN

APARTMENTS

CITY PLAN COMMISSION SUBMITTAL

DECEMBER 29, 2020

HOEFER WYSOCKI #: 109041



DEVELOPER

LUX LIVING LLC
11 N. TAYLOR AVE.
ST. LOUIS, MO 63108

ARCHITECT

HOEFER WYSOCKI ARCHITECTURE
11460 TOMAHAWK CREEK PARKWAY, SUITE 400
LEAWOOD, KANSAS 66211
P: 913.307.3700

OWNERS REP.

CBRE
4520 MAIN STREET SUITE 600
KANSAS CITY, MO 64111
P: 816.756.3535

CONSTRUCTION MANAGER

GE JOHNSON
25 N. CASCADE AVE. SUITE 400
COLORADO SPRINGS, CO 80903
P: 719.473.5321

CONTRACTOR

HUTTON CONSTRUCTION
2229 S WEST ST
WICHITA, KS 67213
P: 316.942.8855

CIVIL

BHC RHODES
6363 COLLEGE BLVD. SUITE 500
OVERLAND PARK, KS 66211
P: 913.663.1900

STRUCTURAL ENGINEER

BOB D. CAMPBELL AND CO.
4338 BELLEVIEW
KANSAS CITY, MO 64111
P: 816.537.4144

MEP PEER REVIEW

HENDERSON ENGINEERS INC.
8345 LENEXA DRIVE
LENEXA, KANSAS 66214
P: 913.742.5000

Development Summary Table	
Item	Description
Zoning	
Existing =	B3-2
Proposed =	UR
Total Land Area	
Existing =	1.30 AC
Proposed =	1.30 AC
Right-of-way Land Area	
Existing =	AC
Proposed =	AC
Net Land Area	
Existing =	56,435 SF
Existing =	1.30 AC
Proposed =	56,435 SF
Proposed =	1.30 AC
Proposed Building Use	
Multi-family Residential	
Structure Height & Number of Floors	
Height above grade	68 FT
Number of Stories	6 Floors + Mezzanine
Gross Floor Area & Units	
Basement	52,943 SF
	Units
Ground Floor	52,759 SF
	11 Units
Second Floor	28,758 SF
	34 Units
Third Floor	28,865 SF
	37 Units
Fourth Floor	28,865 SF
	37 Units
Fifth Floor	28,865 SF
	37 Units
Sixth Floor	27,977 SF
	36 Units
Mezzanine	3,600 SF
	Units
Total Building Area =	252,632
Total Area above grade =	199,689 SF
DU Project Total =	192 Units
Building Coverage & Floor Ratio	
Building Coverage =	93.49%
FAR =	3.54
Gross & Net Density	
Gross Density	148.20 Units/Acre
Net Density	148.20 Units/Acre
Vehicle Parking	
Ratio (Residential) =	1 per DU
Required Spaces =	192
Planned Spaces =	165
Bicycle Parking	
Short term Ratio =	10% of Offstreet Parking Spaces
Required Spaces =	16.5
Provided Spaces =	18
Long term Ratio =	1 + 1 per 3 DU
Required Spaces =	65
Provided Spaces =	65
Construction Timeline	
Begin =	TBD
Construction =	Months
Completion =	TBD

- GENERAL NOTES - ARCHITECTURAL SITE:**
- RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 - ARCHITECTURAL ELEVATION 100'-0" = CIVIL ELEVATION XXX'XX"
 - ALL SIDEWALKS SHALL SLOPE 1/4 INCH PER FOOT AWAY FROM THE BUILDING, UNLESS NOTED OTHERWISE.
 - ALL GRADES SHALL SLOPE AWAY FROM THE BUILDING AT 5 PERCENT FOR THE FIRST 10 FT.
 - LOCATIONS AND SIZES OF ALL CONCRETE MECHANICAL AND ELECTRICAL PADS SHALL BE COORDINATED BY THE MECHANICAL AND ELECTRICAL CONTRACTORS, WITH THE SELECTED EQUIPMENT MANUFACTURER/SUPPLIER; AND ARE TO BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

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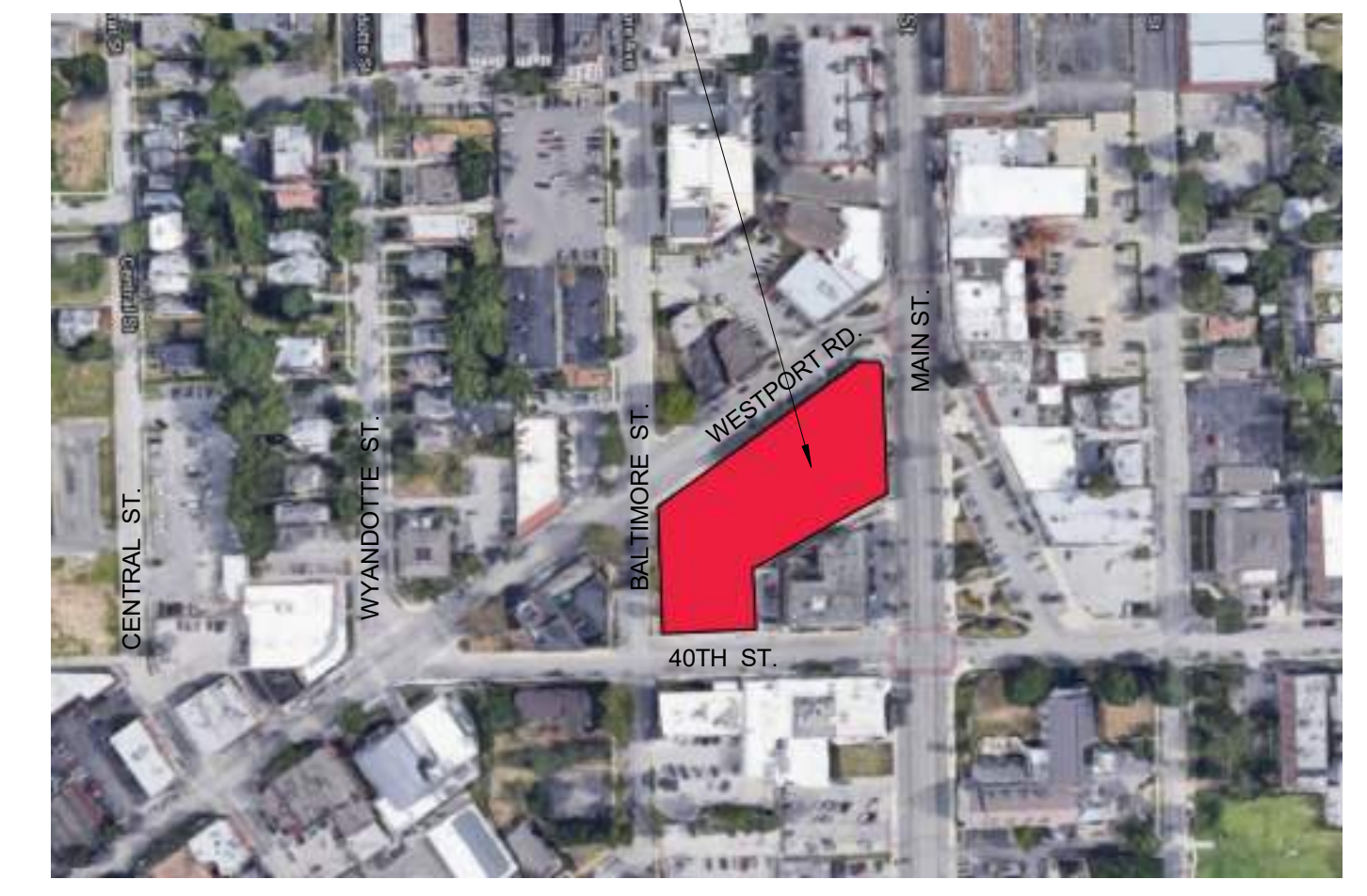
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AS1.11
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ARCHITECTURAL & CONCEPTUAL
 LANDSCAPE SITE PLAN



PROJECT SITE



WESTPORT DISTRICT KCMO

A1 SITE PLAN
 1" = 20'-0"

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A8 BASEMENT
1" = 20'-0"

A1 FIRST FLOOR
1" = 20'-0"

- GENERAL NOTES - FLOOR PLANS:**
1. RE: SHEET Q0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
 2. ARCHITECTURAL ELEVATION 100'-0" = CIVIL ELEVATION XXX'XX"
 3. DIMENSIONS SHOWN ON THE FLOOR PLAN ARE TO THE FACE OF GYP. BOARD/ WALL (FOG), FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
 4. NOTE: WALL THICKNESSES ARE NOMINAL DIMENSIONS, NOT ACTUAL DIMENSIONS. ALL STUD WALL THICKNESSES ARE 5 INCHES, UNLESS DIMENSIONED OTHERWISE. ALL MASONRY WALL THICKNESSES ARE 8 INCHES, UNLESS DIMENSIONED OTHERWISE.
 5. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL SHOWN OR LOCATED 4 INCHES FROM FINISH WALL TO HINGE SIDE OF THE DOOR, ALWAYS ALLOWING A MINIMUM OF 18" FROM THE PULL SIDE (STRIKE SIDE) OF THE DOOR TO THE INTERSECTING WALL, OR OTHER PROTRUDING OBJECTS.
 6. ALL CLOSETS AND ALCOVES WITHOUT A SPACE IDENTIFICATION NUMBER SHALL HAVE THE SAME FINISHES AS THE ADJOINING SPACES.
 7. ALL PUBLIC SPACES: THE WALLS WILL BE FINISHED WITH 60' GYP. SB. TO A LEVEL-4 FINISH AND PAINTED, UNLESS NOTED OR SPECIFIED OTHERWISE.
 8. RE: FINISH LEGEND, FINISH SCHEDULE AND SPECIFICATIONS FOR DOOR AND DOOR FRAME FINISHES.

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FLOOR PLANS



COURTYARD VIEW



A8 SECOND FLOOR (UPPER FLOORS SIMILAR)
1" = 20'-0"



A1 SIXTH FLOOR
1" = 20'-0"

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FLOOR PLAN

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2 BALTIMORE STREET - WEST ELEVATION
3/32" = 1'-0"



1 WESTPORT ROAD - NORTH ELEVATION
3/32" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS:

1. RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
2. DIMENSIONS SHOWN ON THE EXTERIOR ELEVATIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FCW), AND COLUMN GRID LINES, UNLESS OTHERWISE NOTED OR INDICATED.
3. RE: THE WINDOW TYPES SHEET FOR ALL EXTERIOR WINDOW TYPES AND GLASS TYPES.

43% - BRICK



B1



B2

43% - FIBER CEMENT



F1

14% - METALS



M1



M2

EXISTING BRICK



EX1



EX2



2 40TH STREET - SOUTH ELEVATION
3/32" = 1'-0"

- TOP OF BUILDING 184'-0"
- ROOF 177'-4"
- MEZZANINE 166'-6"
- SIXTH FLOOR 156'-0"
- FIFTH FLOOR 145'-4"
- FOURTH FLOOR 134'-6"
- THIRD FLOOR - PARAPET (KATZ) 124'-0"
- SECOND FLOOR 112'-0"
- FIRST FLOOR GROUND FLOOR 107'-0"

- TOP 184'-0"
- 10'-8"
- 10'-8"
- 10'-8"
- 10'-8"
- 10'-10"
- 10'-6"
- 12'-0"
- 12'-0"

- 43% - BRICK
 - B1
 - B2
- 43% - FIBER CEMENT
 - F1
- 14% - METALS
 - M1
 - M2
- EXISTING BRICK
 - EX1
 - EX2



1 MAIN STREET - EAST ELEVATION
3/32" = 1'-0"

- TOP 184'-0"

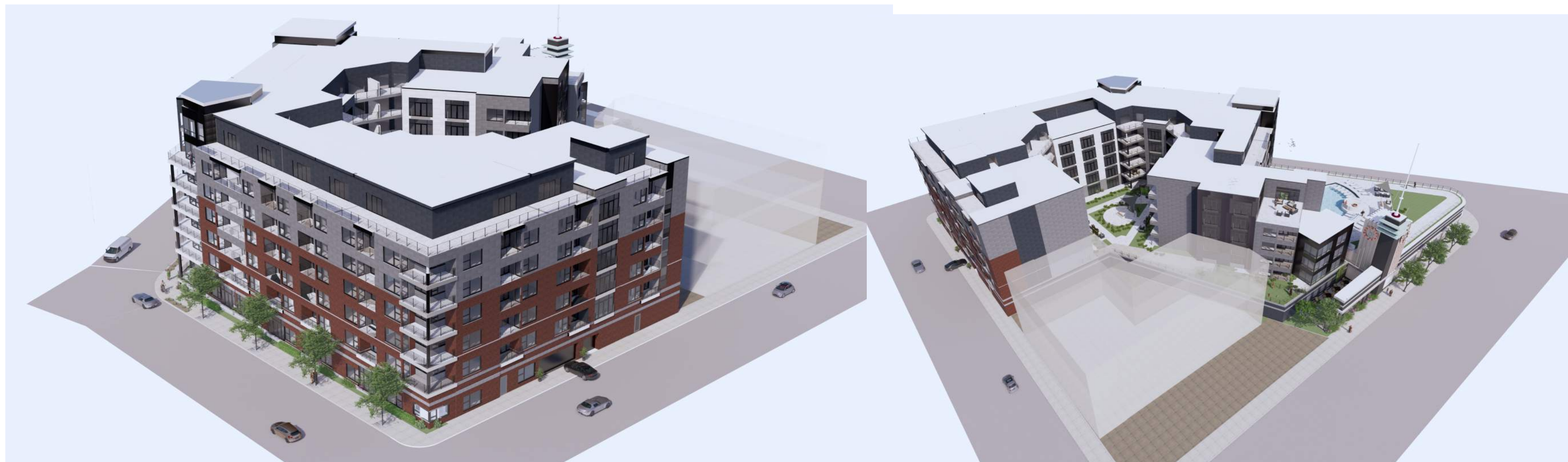
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G6 KATZ ON MAIN POOL



D6 40TH & BALTIMORE AXO

D3 40TH & MAIN AXO



A6 BALTIMORE & WESTPORT



H1 SKYDECK AMENITY



E1 WESTPORT ENTRY



A1 WESTPORT & MAIN

GENERAL NOTES - EXTERIOR WALL SECTIONS/ DETAILS:

1. RE: SHEET G0.01 FOR ADDITIONAL GENERAL NOTES THAT ARE APPLICABLE.
2. RE: FLOOR PLANS, ROOF PLAN AND ELEVATIONS FOR SECTION CUT LOCATIONS.
3. ALL WINDOW AND DOOR OPENING DIMENSIONS ARE ROUGH OPENING DIMENSIONS, UNLESS NOTED OTHERWISE.
4. DIMENSIONS SHOWN ON THE WALL SECTIONS ARE TO THE FACE OF EXTERIOR WALL, FACE OF MASONRY (FOM), FACE OF CONCRETE WALLS (FOC), AND COLUMN GRID LINES, UNLESS NOTED OR SHOWN OTHERWISE.
5. PAINT ALL EXPOSED STEEL, INCLUDING STEEL LINTELS, ETC. (TYP.)

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SUPPLEMENTAL RENDERED VIEWS



Lighting concept discussed with neighborhood groups and proposed for consideration

