

Docket 1.1 & 1.2

**Case No. CD-CPC-2022-00051**

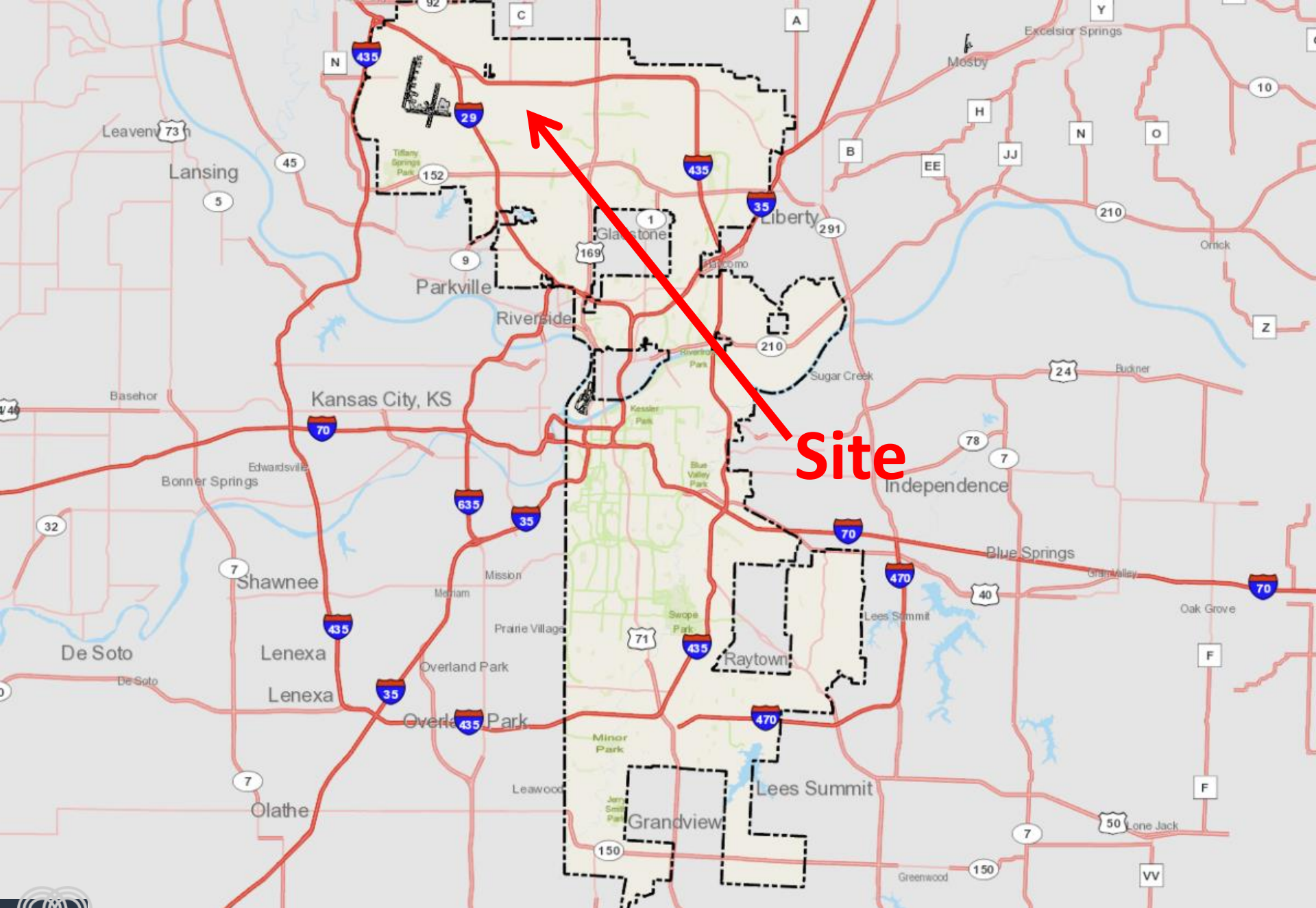
**5100 NW 108<sup>th</sup> Street  
Rezoning**

**Case No. CD-CPC-2022-00050**

**5100 NW 108<sup>th</sup> Street  
Development Plan (Residential) + Preliminary Plat**



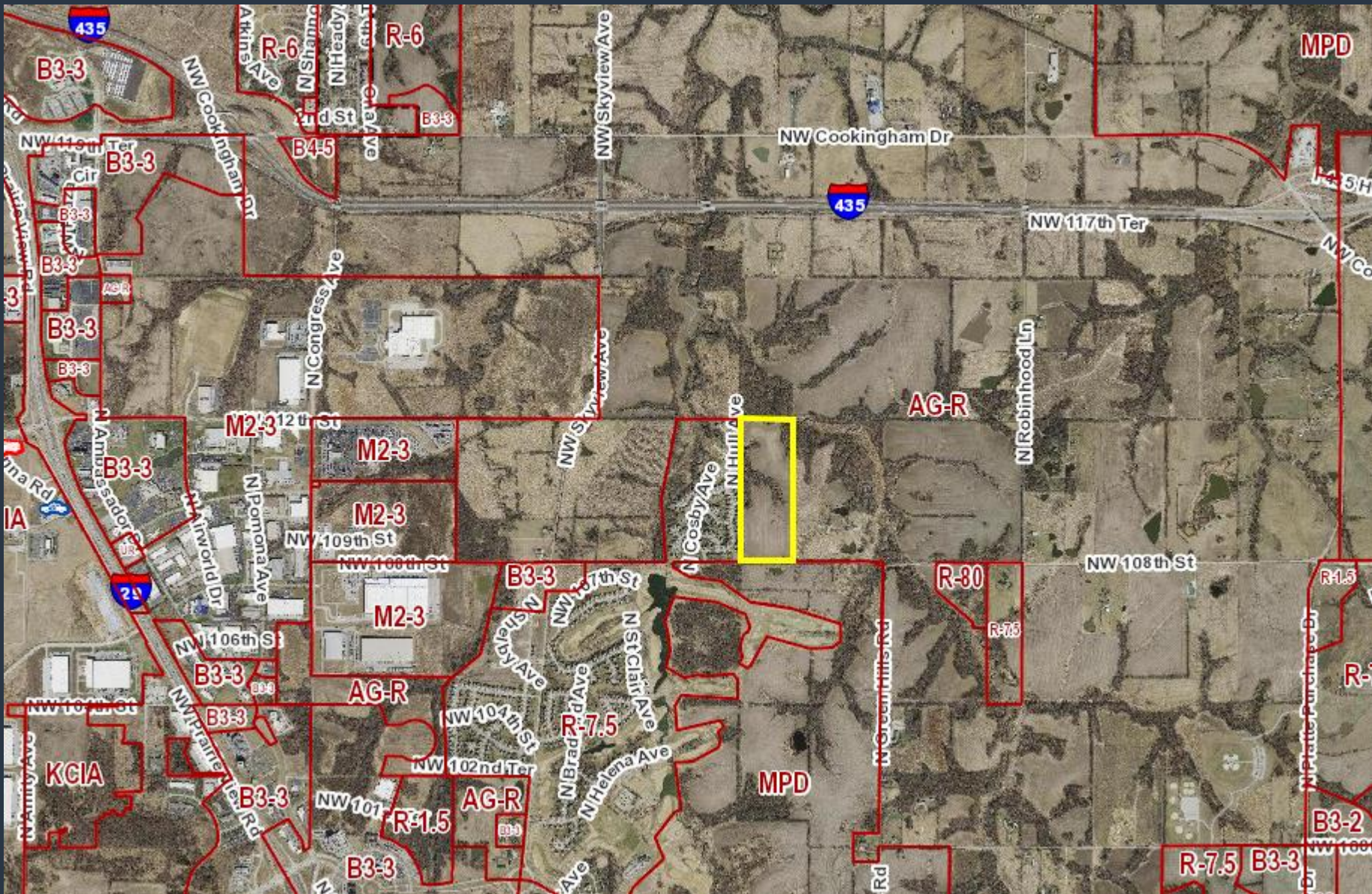
**Case No. CD-CPC-2022-00051 & CD-CPC-2022-00050**



**Site**



**Case No. CD-CPC-2022-00051 & CD-CPC-2022-00050**



Case No. CD-CPC-2022-00051 & CD-CPC-2022-00050



**View looking north from NW 108<sup>th</sup> Street**



**Case No. CD-CPC-2022-00051 & CD-CPC-2022-00050**



**View looking west from NW 108<sup>th</sup> Street**



**Case No. CD-CPC-2022-00051 & CD-CPC-2022-00050**



**View looking east from NW 108<sup>th</sup> Street**



**Case No. CD-CPC-2022-00051 & CD-CPC-2022-00050**



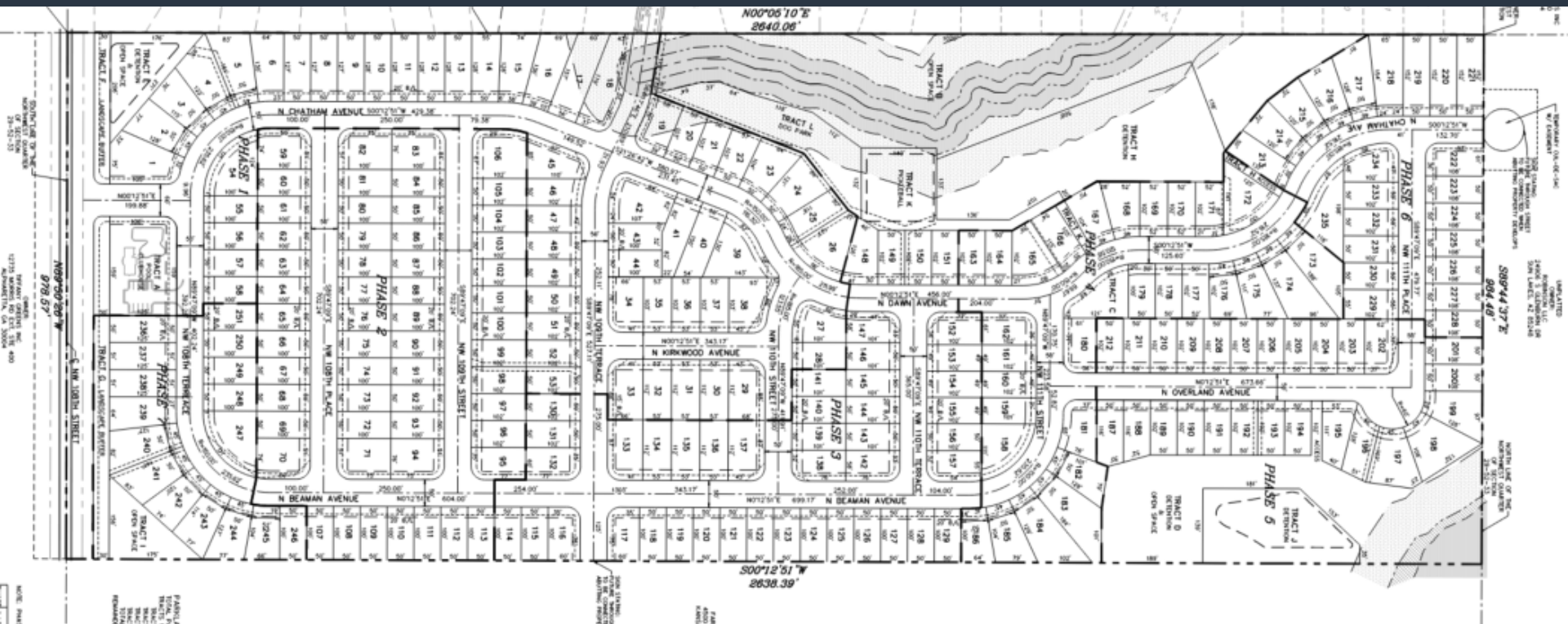
View looking south from NW 108<sup>th</sup> Street



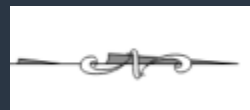
Case No. CD-CPC-2022-00051 & CD-CPC-2022-00050

- **Rezone from AG-R to R-7.5**
- **59.47 acres**
- **251 detached homes**
- **Maintaining Residential Low Density**
- **4.22 units per acre**





Site Plan (north is to the right)



Case No. CD-CPC-2022-00051 & CD-CPC-2022-00050





Case No. CD-CPC-2022-00051 & CD-CPC-2022-00050

# Deviations Requested

- 251 deviations (all of the proposed lots)
- Proposing 5,000 square foot lots in a R-7.5 zoning district (which requires 7,500 square foot lots)
  - Will need deviations to setbacks
- R-7.5 zoning district only permits detached homes



# Staff Recommendation:

**Case No. CD-CPC-2022-00051**

Approval without Conditions

**Case No. CD-CPC-2022-00050**

Approval with Conditions