

Docket #6.1, 6.2, 6.3

**CD-CPC-2023-00139**

Area Plan Amendment

**CD-CPC-2023-00138**

Rezoning

**CD-CPC-2023-00140**

Development Plan - Nonresidential

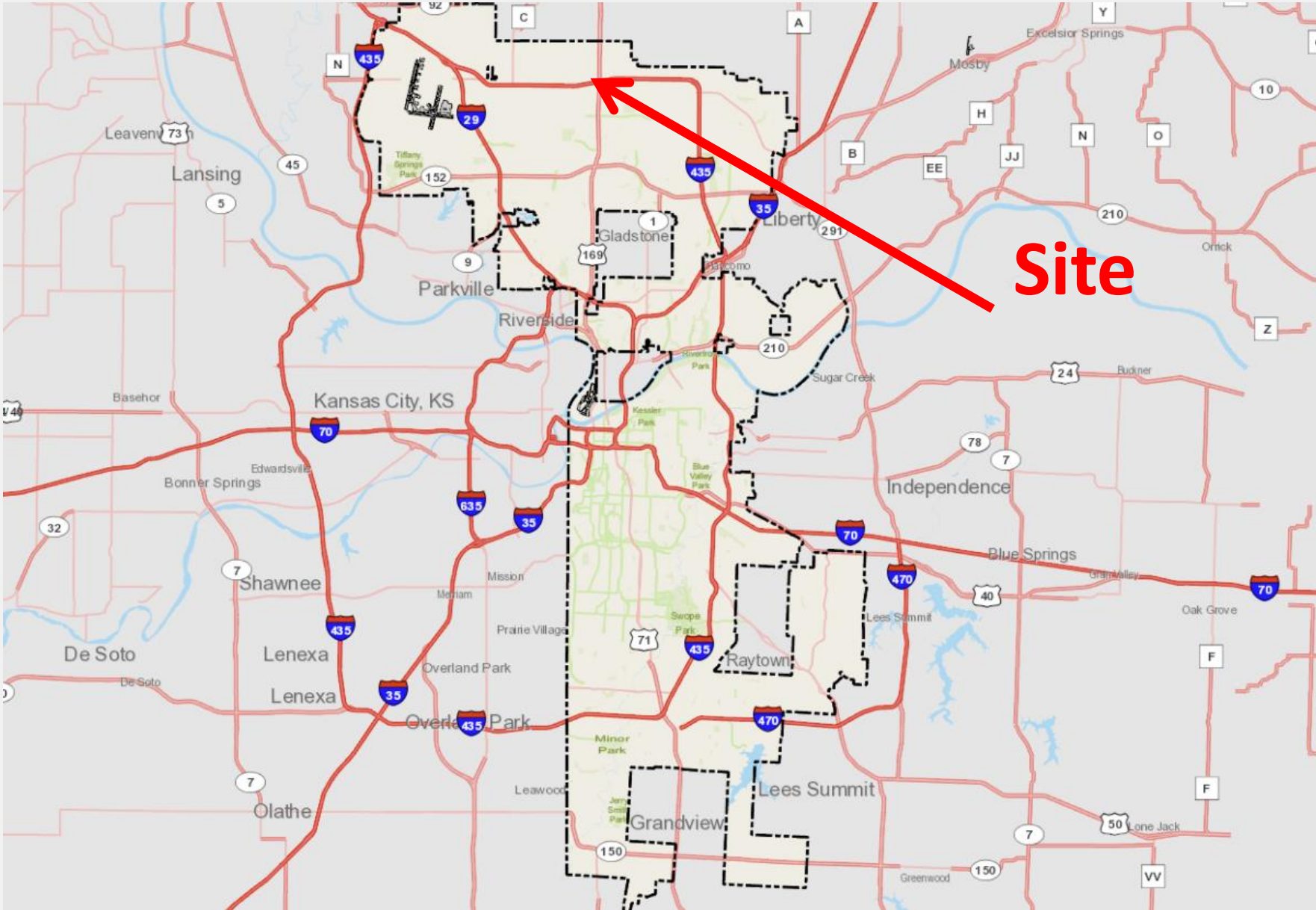
Cookingham Industrial Development – 2801 NW Cookingham Dr

8-1-2023

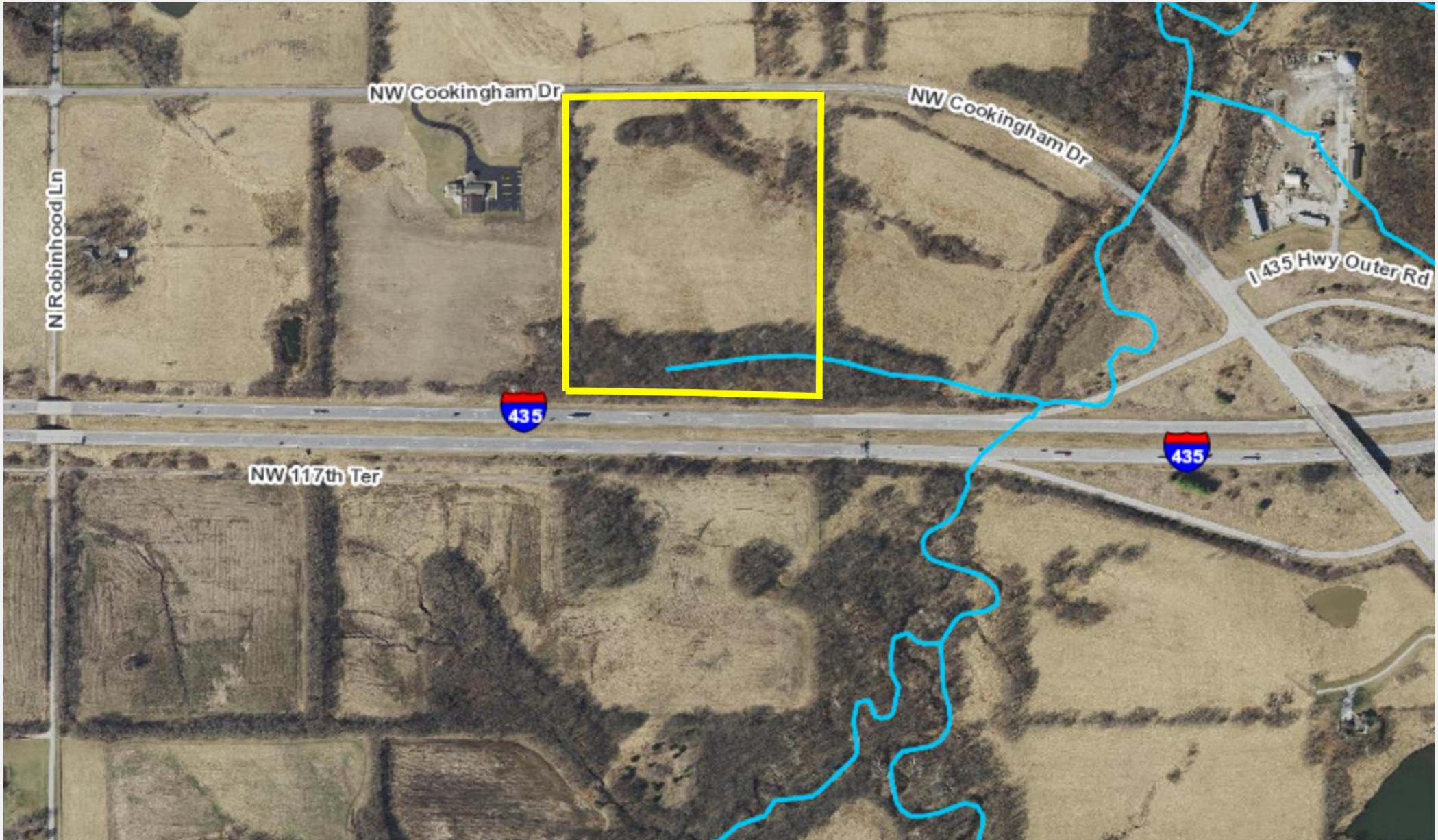
*Prepared for*

City Plan Commission

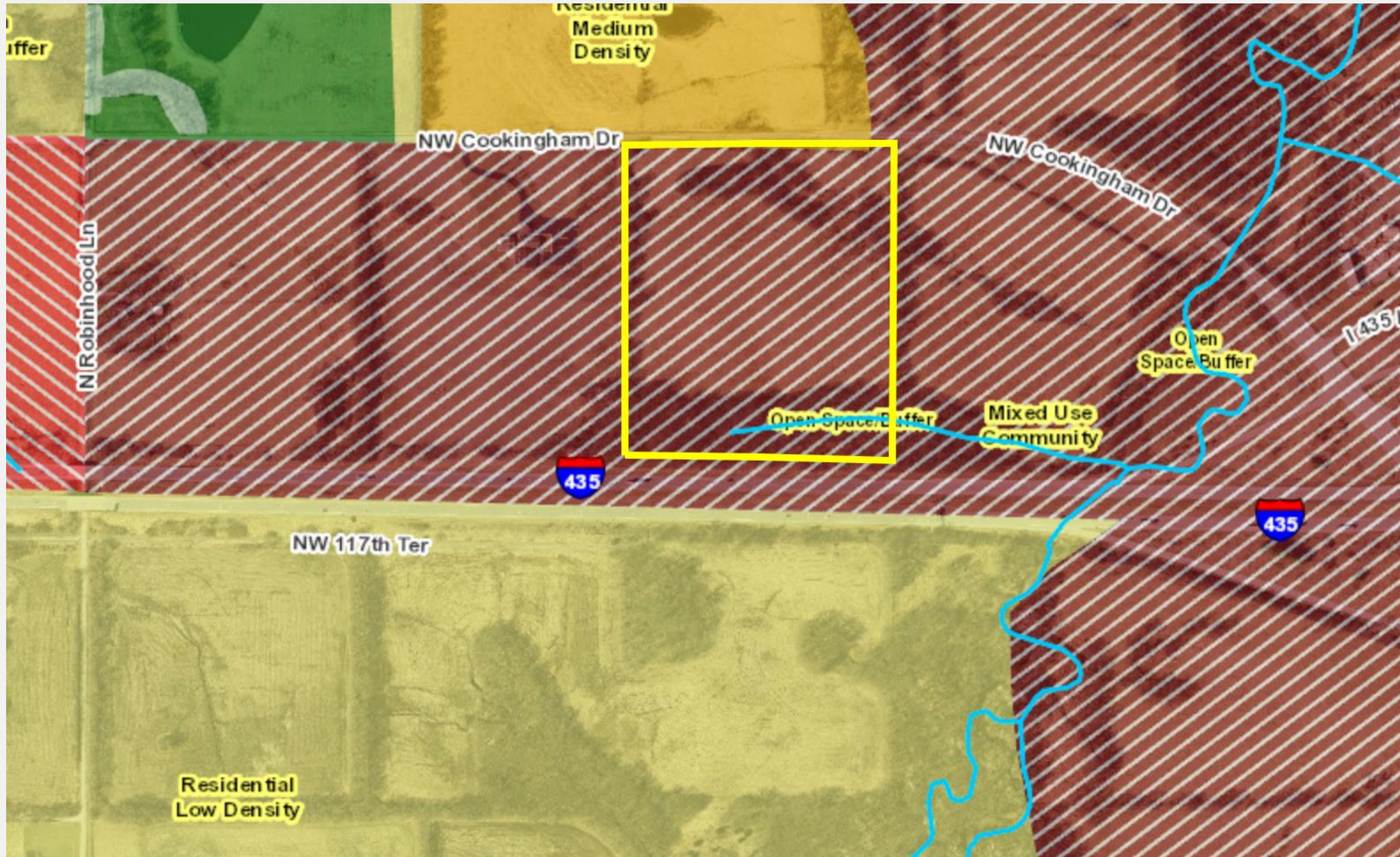












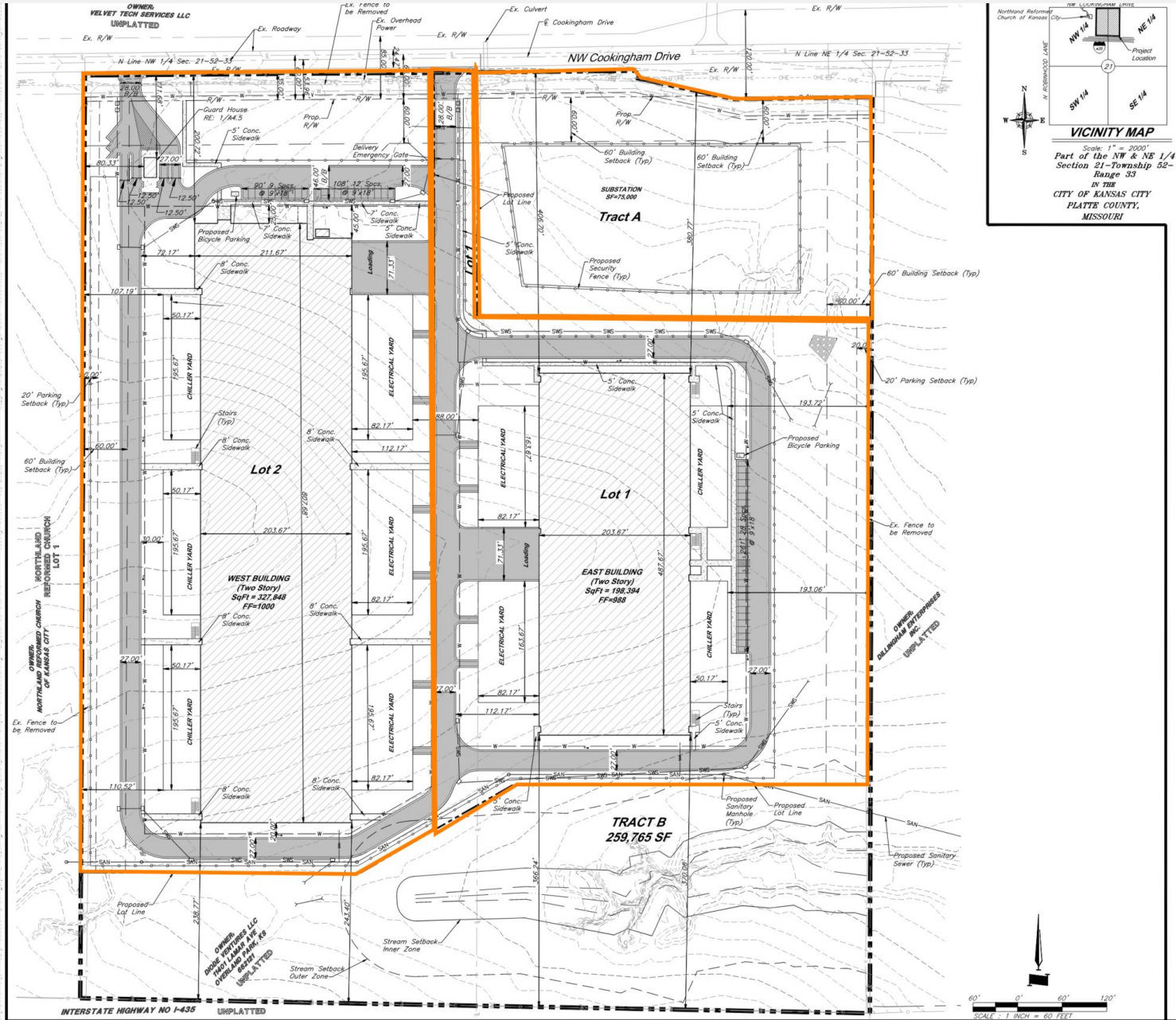


## KCIA Area Plan – Future Land Use

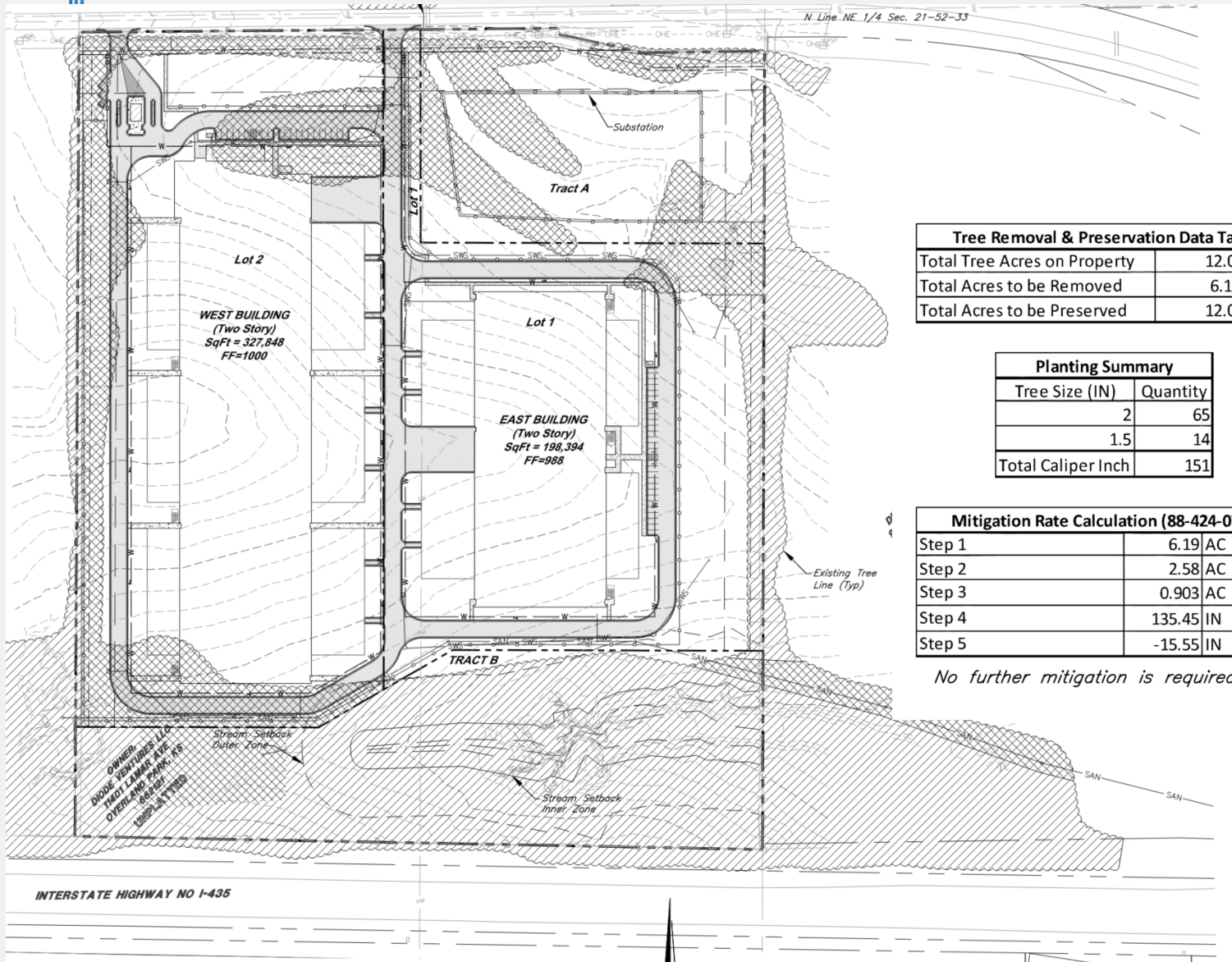
**Commercial and Industrial:** This category allows either Commercial (typically including offices and retail establishments, medium-to-large scale businesses, and automotive-oriented services including drive-through facilities and car lots) or Industrial (manufacturing, warehousing, wholesale and industrial) uses throughout this designated area. It also allows a combination of the two uses primarily in business and industrial parks. Desirable uses will be a mixture of “B” and “M” zoning ordinances, offices, light industrial, and tourist oriented uses such as hotels.







Site Plan



**Tree Removal & Preservation Data Table**

Total Tree Acres on Property	12.01
Total Acres to be Removed	6.19
Total Acres to be Preserved	12.01


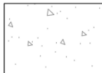




**Planting Summary**

Tree Size (IN)	Quantity
2	65
1.5	14
<b>Total Caliper Inch</b>	<b>151</b>

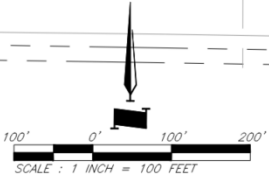
**Mitigation Rate Calculation (88-424-07)**

Step 1	6.19	AC
Step 2	2.58	AC
Step 3	0.903	AC
Step 4	135.45	IN
Step 5	-15.55	IN

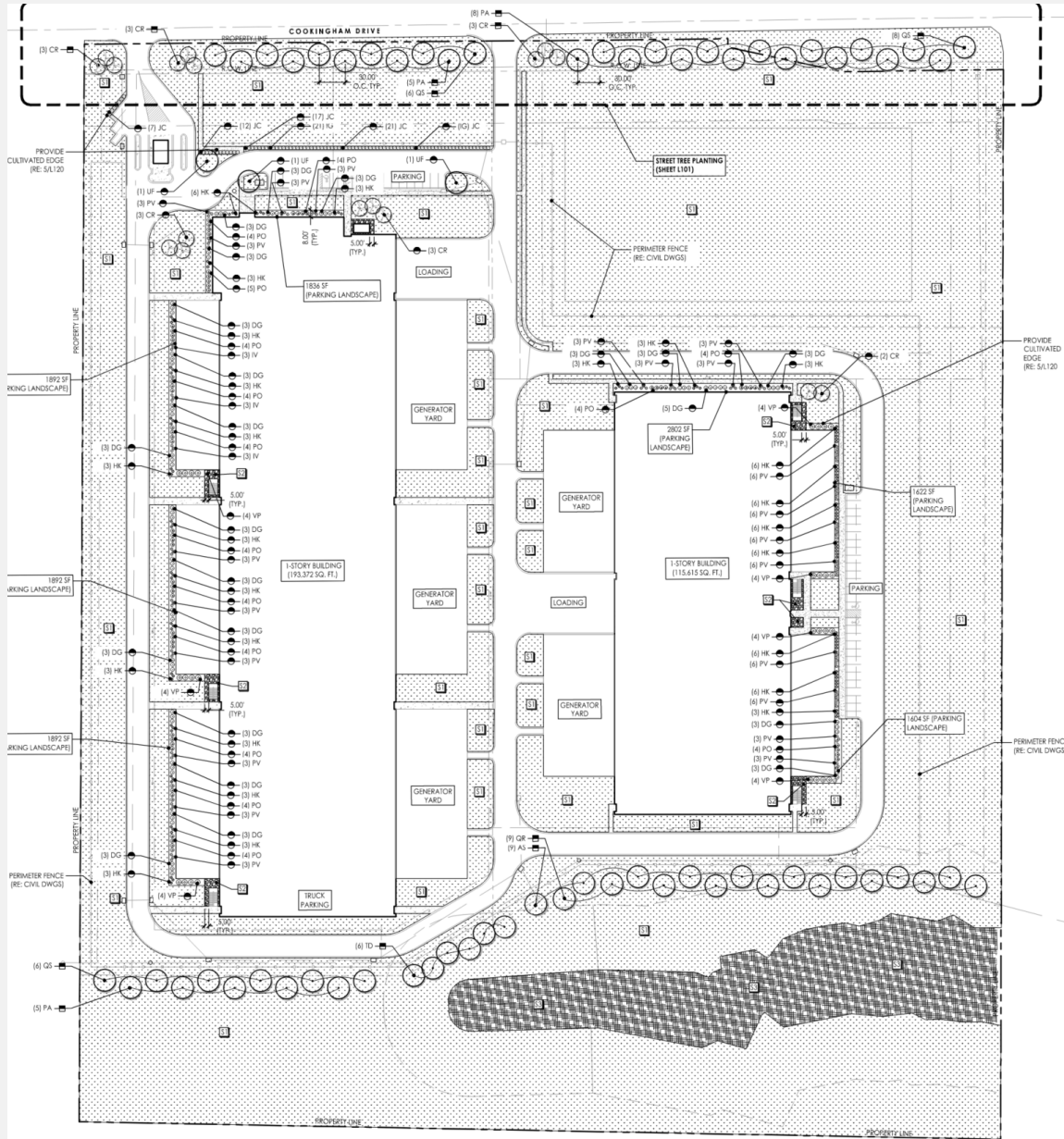
No further mitigation is required.


-  Proposed Building
-  Concrete Sidewalk
-  Proposed Asphalt Pavement
-  Trees Removed
-  Trees Preservation
-  Existing Tree Line

INTERSTATE HIGHWAY NO I-435









**LAND3**  
Landscape Architecture  
1001 S. Main Street, Suite 200  
Kansas City, MO 64105

DESIGN BY: BOP/TWB  
DRAWN BY: BOP/TWB  
PROJECT NO.: 15472.1G  
**SHEET NUMBER**  
**L100**  
**PLANTING PLAN**

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Bob G. Bushhead  
Landscape Architect  
License No. xxxxxxxxx






M2 Rezoning - Pre. Development Plan & Pre. Plat  
**COOKINGHAM DEVELOPMENT**  
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	8/01/23	CITY COMMENTS	AWB	BBB

**PLANTING SCHEDULE**

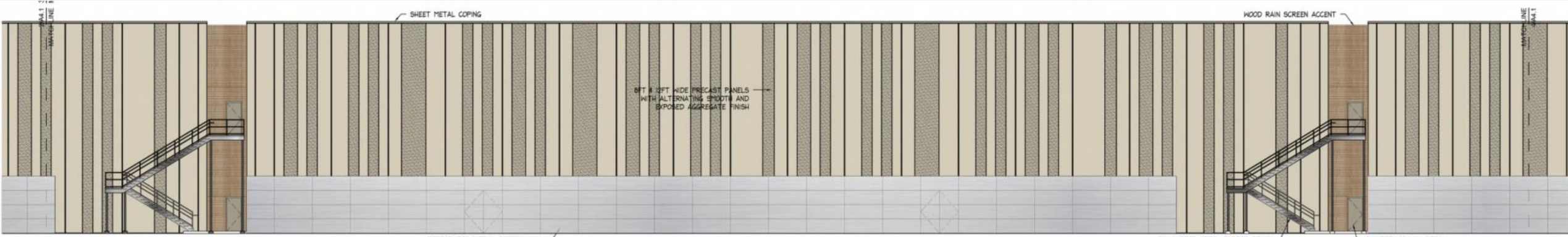
SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
<b>SHADE/STREET TREES</b>			
GS	(3)	Shumard Oak <i>Quercus shumardii</i>	2' - 2.5' cal.
PA	(8)	Edmonton Plane-tree <i>Platanus x acerifolia</i> Morton Thornhill	2' - 2.5' cal.
AS	(3)	Fall Reddy Sugar Maple <i>Acer saccharum</i> John Farr	2' - 2.5' cal.
UF	(1)	Frontier Lacebark Elm <i>Ulmus x Frontier</i>	2' - 2.5' cal.
<b>ORNAMENTAL TREE</b>			
CR	(3)	Oklahoma Redbud <i>Cercis retorta</i> 'Oklahoma'	1.5' cal. min.
<b>EVERGREEN SHRUB</b>			
JC	(3)	Sea Green Juniper <i>Juniperus chinensis</i> 'Sea Green'	#3 @ 48" o.c.
IG	(3)	Shamrock Inkberry Holly <i>Ilex glabra</i> 'Shamrock'	#3 @ 48" o.c.
<b>DECIDUOUS SHRUBS/GRASSES</b>			
VP	(4)	Summer Snowflake Viburnum <i>Viburnum plicatum</i>	#3 @ 60" o.c.
PO	(3)	Tiny Wine Ninebark <i>Physocarpus opulifolius</i>	#3 @ 48" o.c.
DG	(3)	Kodiak Orange Dianella <i>Dianella exoniensis</i>	#3 @ 48" o.c.
PV	(3)	Shenandoah Switchgrass <i>Panicum virgatum</i> 'Shenandoah'	#3 @ 48" o.c.
HK	(3)	Sunny Boulevard St. John's Wort <i>Hypericum echinatum</i> 'Dapper'	#3 @ 48" o.c.
<b>NATIVE BMP MIX</b>			
S3	(1)	Oval Sedge - Carex brevior Canada Wildlife - Elymus canadensis Bottlebrush Sedge - Elymus hystrix Tussock Sedge Common Rush Fox Sedge American Sweet Flag	Drill Seed w/ Hydrumulch

**PLANTING PLAN LEGEND**

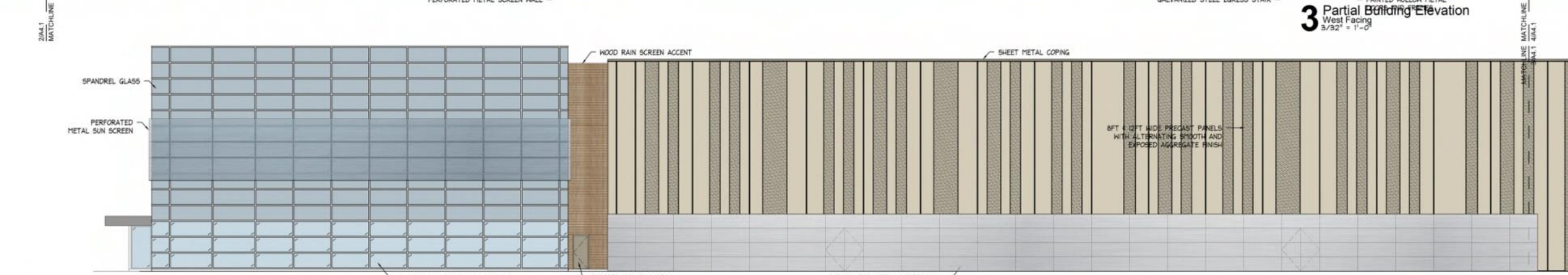
-  TURFGRASS SEED OVER 6" (MIN) TOPSOIL
-  DECORATIVE ROCK
-  NATIVE BMP MIX OVER 6" (MIN) BMP SOIL
-  TREE/SHRUB COUNTING TOWARDS PARKING REQUIREMENTS
-  TREE/SHRUB COUNTING TOWARDS GENERAL LANDSCAPE REQUIREMENTS

**PLANTING NOTES**

1. THIS PLAN PROVIDES LAYOUT, QUANTITY & SIZES OF ALL PLANT MATERIAL TO BE PROVIDED BY THE LANDSCAPE CONTRACTOR. REFER TO THE FOLLOWING SPECIFICATION SECTIONS FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK:
  - SECTION 32920 - LANDSCAPE
  - SECTION 32925 - BMP SOILS
  - SECTION 32930 - BMP MAINTENANCE
2. UTILITIES SHOWN ON THIS PLAN ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS AND SITE SURVEY FOR ALL UTILITIES AND LOCATIONS. CONTRACTOR SHALL VERIFY FINAL LOCATIONS OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
3. LOCATIONS OF ALL PLANT MATERIALS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLANTING.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE AND GRASS ALL DISTURBED AREAS BACK TO ORIGINAL FINISHED GRADE ELEVATIONS, INCLUDING EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.



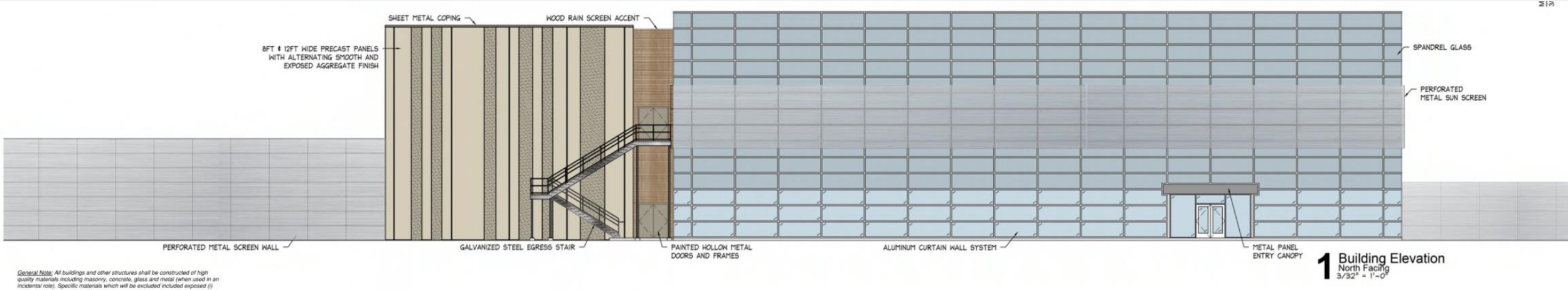
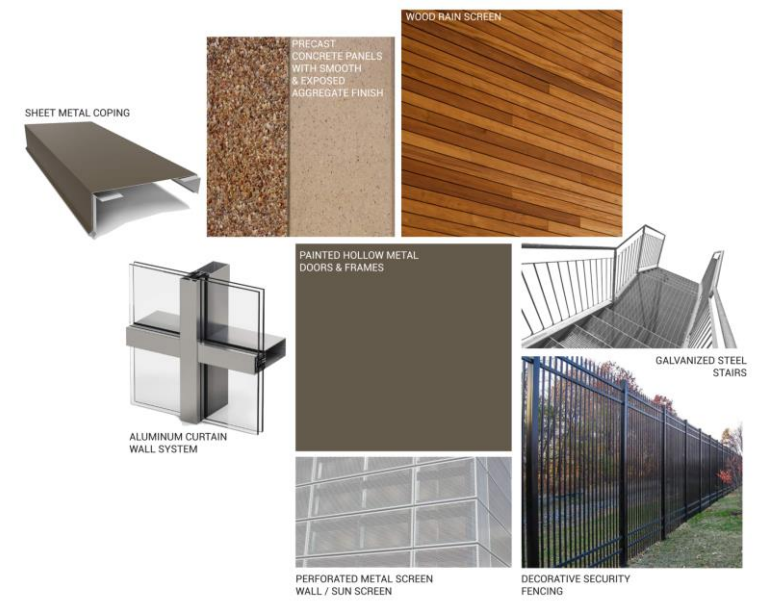
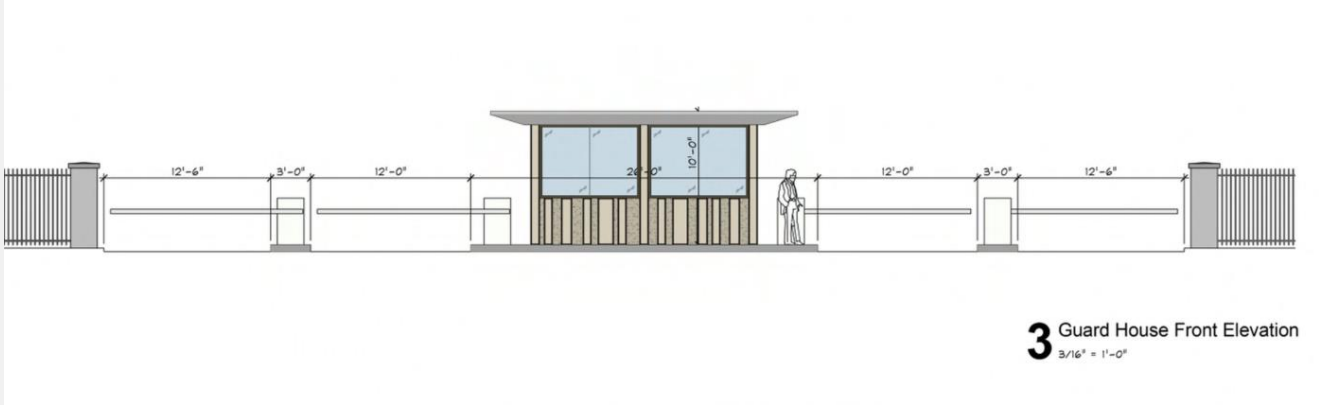
**3** Partial Building Elevation  
West Facing  
3/32" = 1'-0"



**2** Partial Building Elevation  
West Facing  
3/32" = 1'-0"

West-Facing Partial Building Elevation





General Note: All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded included exposed (i)

North-Facing Partial Building Elevation





View east towards site from NW Cookingham Dr





View west towards site from I-435

# Remove Conditions

**#28 duplicate**

**#30 duplicate**

“No water service tap permits will be issued until the public water main is released for taps.”



# Staff Recommendation

**Case No. CD-CPC-2023-00139**

Approval

**Case No. CD-CPC-2023-00138**

Approval

**Case No. CD-CPC-2023-00140**

Approval with Conditions