



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

January 15, 2025

Project Name
Staley Corners West

Docket # 8

Request
CD-CPC-2024-00184
Development Plan – Non-Residential

Applicant
Patricia Jensen
Rouse Frets White Goss Gentile Rhodes P.C.

Owner
Jim Owens
Staley Corners LLC

Location	8712 N Indiana Ave.
Area	About 36 Acres
Zoning	B2-2
Council District	1 st
County	Clay
School District	North Kansas City

Surrounding Land Uses

North: Proposed Residential, zoned R-1.5
South: Commercial, zoned B2-2
East: Commercial, zoned B2-2
West: Commercial, zoned B2-2

KC Spirit Playbook Alignment

CD-CPC-2024-00184
MEDIUM

Land Use Plan

The Gashland/Nashua Area Plan recommends Commercial as the Future Land Use for this location.

Major Street Plan

NE Barry Road is identified as a thoroughfare and N. Indiana Avenue is identified as a local link on the City's Major Street Plan as

APPROVAL PROCESS

Staff
Review

City Plan
Commission

City Council

SUMMARY OF REQUEST + KEY POINTS

A request to approve a major amendment to a previously approved development plan in District R-1.5, B2-2 and B4-3 on about 36 acres generally located at the northwest corner of N. Indiana Avenue and NE Barry Road.

PROJECT TIMELINE

The application for the subject request was filed on 11/25/2024. No scheduling deviations from 2024 Cycle 12.2 have occurred.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on 12/30/2024. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

Lot 7C within the Staley Corners West development is an undeveloped pad site, .76 acres in area and is generally flat.

CONTROLLING + RELATED CASES

Ord. No. 200183 & Ord. No. 200182 – On March 26, 2020, Council approved a rezoning and preliminary development plan for the northeast and northwest corners of NE Barry Road and N Indiana Avenue (CD-CPC-2019-00023, CD-CPC-2019-00022, CD-CPC-2019-00025, CD-CPC-2019-00026). Ord. No. 200182 required that a signal being installed at NE Barry Road and N. Indiana.

Ord. No. 230320 – On May 4, 2023, Council amended Ordinance No. 200182, passed on March 5, 2020, by repealing Conditions 3, 4, 6 and 33 contained in Section B of the Ordinance, which required the developer to install a traffic signal at the intersection of N.E. Barry Road and N. Indiana Avenue, make other related intersection improvements, and install a southbound right turn lane to westbound Highway 152 on ramp prior to the issuance of a certificate of occupancy for Phase 1 of Staley Corners East; and amending Committee Substitute for Ordinance No. 200183, passed on March 26, 2020, by repealing Condition 4 contained in Section B of the Ordinance to remove the requirement for the construction of a second northbound left turn lane on N. Indiana Avenue at its intersection with N.E. Barry Road.

PROFESSIONAL STAFF RECOMMENDATION

Docket # Recommendation

8 APPROVAL WITH CONDITIONS

Vicinity Map**PLAN REVIEW & ANALYSIS**

The subject property is located within the boundaries of the Staley Corners West Development District which was approved by Council in March 2020. The approved development contains multiple commercial pad sites, where a Dutch Brothers (eating and drinking establishment & drive-through facility) was recently constructed. The development will also feature a storage facility near the western boundary of the Staley Corners West development and future residential uses along the northern area of the overall development.

The previously approved Staley Corners West plan called for "office and flex retail" uses on Lot 7C which is adjacent to N. Indiana Avenue. This major amendment application is required to approve an eating and drinking establishment and drive-through facility on Lot 7C. The applicant will be required to submit a final plat for this phase of the development.

Staff is generally supportive of the site which provides sufficient screening along N. Indiana Avenue and only permits a right-in/right-out for vehicular access from N. Indiana. KCFD has an outstanding correction related to access to lot 5C that shall be resolved prior to ordinance request.

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-120)	Yes	Yes	
Parking and Loading Standards (88-420)	Yes	Yes	
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions	
Pedestrian Standards (88-450)	Yes	Yes	

SPECIFIC REVIEW CRITERIA

Development Plans, Project Plan, or Site Plan (88-516-05)

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable City ordinances and policies;

The proposed plan complies with all standards of the Zoning and Development Code. The applicant will be required to submit a project plan for all other lots, except for Lot 7C (future McDonald's).

B. The proposed use must be allowed in the district in which it is located;

The proposed eating and drinking establishment and drive-through facility is permitted in the B2-2 zoning district.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

The applicant is providing safe, efficient movement of traffic for the drive-through facility by only allowing a right-in/right-out from N. Indiana Avenue.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

The pedestrian circulation is focused along the southern perimeter of the site and is compliance with the pedestrian standards of the Zoning and Development Code (88-450).

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The site is located near all required utilities and the applicant will be required to record a final plat prior to a final certificate of occupancy.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The proposed building on Lot 7C will be constructed of nearly all brick which will complement the Casey's and future retail buildings located on the east side of N. Indiana Avenue.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The proposed drive-through facility on Lot 7C will be at a lower elevation than the future residential uses planned to be located just north of the subject property. The proposed lighting plan also shows that all spillover light is in compliance with Code.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and City code requirements.

The applicant is not proposing any major changes from the previously approved plan related to the streets, specifically at N. Indiana and NE Barry Road.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

All the existing trees were previously removed after the controlling plan was approved in 2020.

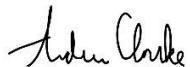
ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

City staff recommend **APPROVAL WITH CONDITIONS** as stated in the conditions report.

Respectfully Submitted,



Andrew Clarke, AICP
Lead Planner



Plan Conditions

Report Date: January 10, 2025

Case Number: CD-CPC-2024-00184

Project: Staley Corners West

Condition(s) by City Planning and Development Department. Contact Andrew Clarke at (816) 513-8821 / Andrew.Clarke@kcmo.org with questions.

1. That Ordinance No. 230320, including all conditions provided therein, shall remain in full force and effect.
2. The developer shall secure approval of a project plan from the City Plan Commission, except for Lot 7C prior to building permit.
3. KCFD's correction stating, "Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus. (IFC-2018: § 503.2.5) building 960 appears to be over the 150 feet limit" shall be resolved prior to ordinance request.

Condition(s) by City Planning and Development Department. Contact Matthew Barnes at (816) 513-8817 / matthew.barnes@kcmo.org with questions.

4. That prior to Certificate of Occupancy the applicant plat the lot in accordance with the Zoning and Development Code.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

5. • The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
6. • Required fire department access roads shall be designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
7. • Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
8. • A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3) (No Grass Pavers Allowed)
9. • The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
10. • Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus. (IFC-2018: § 503.2.5)
11. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
12. • Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
 - Fire hydrant distribution shall follow IFC-2018 Table C102.1

Condition(s) by KCPD. Contact Jeffrey Krebs at (816)234-5530 / Jeffrey.Krebs@kcmo.org with questions.

13. Consider adding reinforcement to the exterior doors of the residential units for added safety - Items such as steel braces to reinforce wooden door frames or metal door frames have been proven to lower the risk of crimes.

Condition(s) by Parks & Recreation. Contact Richard Sanchez at / richard.sanchez@kcmo.org with questions.

14. The developer shall be responsible for dedication of parkland, private open space in lieu of parkland, or payment of cash-in-lieu of either form of dedication, or any combination thereof in accordance with 88-408. Should the developer choose to pay cash-in-lieu of dedicating all or a portion of the required area, the amount due shall be based upon the 2019 acquisition rate of \$39,617.49 per acre. This requirement shall be satisfied prior to certificate of occupancy.

Condition(s) by Public Works Department. Contact Sam Akula at (816) 513-9861 / sam.akula@kcmo.org with questions.

15. Please update the Traffic Impact study to reflect any site modifications and its resulting impact in the traffic patterns.

Condition(s) by Public Works Department. Contact Sam Akula at (816) 513-9861 / sam.akula@kcmo.org with questions.

Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

16. The developer must design and construct all interior public streets to City Standards, as required by Chapter 88 and the Land Development Division, including curb and gutter, storm sewers, street lights, and sidewalks.
17. The developer shall integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.
18. The developer must subordinate to the City all private interest in the area of any right-of-way dedication, in accordance with Chapter 88 and as required by the Land Development Division, prior to issuance of any construction permits within said right-of-way, and that the owner/developer shall be responsible for all costs associated with subordination activities now and in the future.
19. The developer shall submit construction plans in compliance with adopted standards for all improvements required by the traffic study approved by the Public Works Department, and shall secure permits for those improvements as required by the Land Development Division, prior to recording the plat.
20. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
21. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
22. After the City Plan Commission enters its disposition for the development plan, the developer shall not enter into any agreement that would encumber or otherwise have any impact on the proposed right-of-way dedications for the planned project without the prior written consent of the Land Development Division.
23. The developer shall dedicate additional right of way [and provide easements] for N Indiana Ave as required by the adopted [Major Street Plan and/or Chapter 88] so as to provide a minimum of 50 feet of right of way as measured from the centerline, along those areas being platted.
24. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
25. The developer shall submit plans to the Land Development Division and obtain permits to construct sidewalks along the platted frontage, and to a tie-in point with the existing sidewalks. In addition, developer shall construct associated ADA ramps at the proposed entrance drives as necessary for the type of drive approach.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

26. No water service tap permits will be issued until the public water main is released for taps.
27. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
28. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact - Patrick Lewis 816-513-0423
North of River contact - David Gilyard 816-513-4772

Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.

29. Submit plans for the public water main extensions for review and contract (permit) approval per KC Water Rules and Regulations prior to building permit issuance.

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

30. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations.

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

31. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to KC Water showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to KC Water for review and acceptance for the disturbed area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by KC Water.
32. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
33. The owner/developer must submit plans for grading, siltation, and erosion control to KC Water for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
34. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by KC Water prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
35. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by KC Water, prior to recording the plat or issuance of a building permit whichever occurs first.
36. The developer must grant a BMP and/or Surface Drainage Easements to the City as required by KC Water, prior to recording the plat or issuance of any building permits.
37. The developer must submit covenants, conditions and restrictions to KC Water for review by the Law Department for approval for the maintenance of private open space and enter into a covenant agreement for the maintenance of any storm water detention area tracts, prior to recording the plat.



- A. EXISTING ZONING IS R-1.5, B-2-2 AND B4-3
B. CONSTRUCTION IS TO COMMENCE SPRING/SUMMER 2021 AND COMPLETE SPRING/SUMMER 2026.
C. TOTAL LAND AREA: 16.68 ACRES
D. RESIDENTIAL NET LAND AREA: 8.35 ACRES
E. TOTAL NUMBER OF DWELLING UNITS: 121
F. GROSS DENSITY: 7.25 UNITS/ACRE
G. NET DENSITY: 14.49 UNITS/ACRE

LEGAL DESCRIPTION

All that part of the East 40 acres of the North half of the Northwest Quarter of Section 7, Township 51 North, Range 32 West, in Kansas City, Clay County, Missouri; being more particularly described as follows: Beginning at the North East corner of the North half of the Northwest Quarter, thence North 00°28'45" West, 82.80 feet to a point on the North Right-of-Way line of N. Indiana Avenue, as now established, thence along said North Right-of-Way line the following six courses; thence North 89°22'33" West, 20,611 feet; thence South 13°38'43" West, 240.92 feet; thence North 89°14'06" West, 627.01 feet; thence South 00°29'27" West, 106.30 feet; thence North 89°14'06" West, 180.74 feet; thence South 00°39'52" East, along the East line of said BARR-E-WOODS APARTMENTS, a subdivision in said Kansas City, Clay County, Missouri; thence North 89°46'08" East, on said South line and the South line of LAKEVIEW VILLAS, a subdivision in said Kansas City, Clay County, Missouri, 1346.11 feet to the Point Beginning. Contains 1,434,936 square feet or 32.932 acres more or less.

ZONING NOTES

- A. EXISTING ZONING IS R-1.5, B-2-2 AND B4-3
B. CONSTRUCTION IS TO COMMENCE SPRING/SUMMER 2021 AND COMPLETE SPRING/SUMMER 2026.

STALEY CORNERS RESIDENTIAL - WEST									
LOTS	PHASE	ZONING	GROSS AREA (AC)	PROPOSED STREET R/W (AC)	PRIVATE OPEN SPACE (AC)	STORM DETENTION (AC)	NET AREA (AC)	LAND USE	
1-32	2	R-1.5	16.68	3.83	2.05	1.85	8.35	MULTI-FAMILY (3 & 4-PLEX)	
TOTALS	-	-	16.68	3.83	2.05	1.85	8.35	-	

STALEY CORNERS COMMERCIAL - WEST									
LOTS	PHASE	ZONING	GROSS AREA (AC)	PROPOSED STREET R/W (AC)	PRIVATE OPEN SPACE (AC)	STORM DETENTION (AC)	NET AREA (AC)	LAND USE	
1A-RC	3	BS-2 / B-4-3	16.25	1.74	0.00	1.61	12.90	STORAGE FACILITY / FOOD SERV	
TOTALS	-	-	16.25	1.74	0.00	1.61	12.90	-	

RESIDENTIAL BUILDING SUMMARY (STALEY CORNERS - WEST)									
BUILDING	PHASE	BUILDING FLOOR AREA (SF)	BUILDING NUMBER	TOTAL BLDGS	NUMBER OF FLOORS	MAX FLOOR AREA RATIO	FLOOR AREA RATIO	MAX FLOOR AREA RATIO	FLOOR AREA RATIO
1A32	MULTI-FAMILY (3 PLEX)	2	5,000	25	125,000	1	-	-	-
1R	CLUBHOUSE	2	800	1	800	1	-	-	-

COMMERCIAL BUILDING SUMMARY (STALEY CORNERS - WEST)									
LOT	BUILDING USE	PHASE	NUMBER OF BUILDINGS	TOTAL SF	NUMBER OF FLOORS	MAX FLOOR AREA RATIO	FLOOR AREA RATIO	MAX FLOOR AREA RATIO	FLOOR AREA RATIO
1A	MOTOR VEHICLE REPAIR, LIMITED	3	1800	1	1,800	1	2.2	0.05	-
1B	FOOD SERVICE DRIVE THRU	3	950	1	950	1	2.2	0.05	-
1C	FLEX	3	7,000	1	7,000	1	2.2	0.31	-
4C	STORAGE FACILITY	3	8,000-25,000	5	75,900	1	2.2	0.32	-
5C	FLEX	3	10,500	2	21,000	1	2.2	0.29	-
6C	FLEX	3	10,500	2	21,000	1	2.2	0.29	-
8C	FOOD SERVICE DRIVE THRU	3	3,800	1	3,800	1	2.2	0.06	-

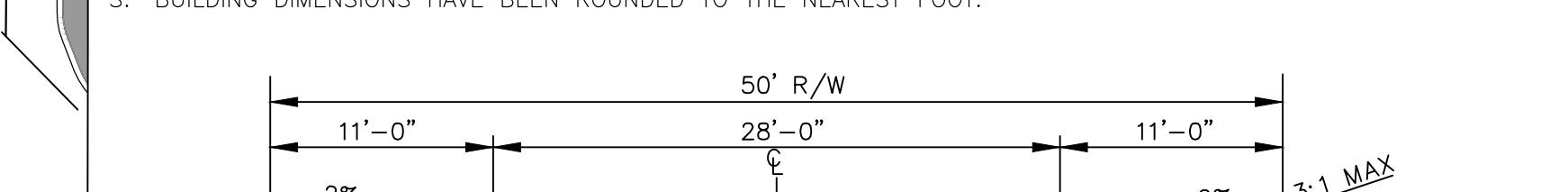
PARKING SUMMARY (STALEY CORNERS - WEST)									
LOT	SHORT TERM	SHADED AREA	SPACES PROVIDED	LONG TERM	SPACES PROVIDED	LONG TERM	SPACES PROVIDED	PARKING RATIO	VEHICLE PARKING STALLS PROVIDED
1-32	1	1	1	1	1	1	1	2.5 / 1,000 SF	15
1A	3 OR 12% OF VEHICLE PARKING PROVIDED	3	3	14 / 1,000 SF	3	1	1	2.5 / 1,000 SF	17
1B	3 OR 12% OF VEHICLE PARKING PROVIDED	3	3	14 / 1,000 SF	3	1	1	2.5 / 1,000 SF	15
1C	3 OR 12% OF VEHICLE PARKING PROVIDED	3	3	14 / 1,000 SF	3	2	2	2.5 / 1,000 SF	18
4C	3 OR 12% OF VEHICLE PARKING PROVIDED	3	3	14 / 1,000 SF	2	2	2	2.5 / 1,000 SF	18
5C	3 OR 12% OF VEHICLE PARKING PROVIDED	3	3	14 / 1,000 SF	1	1	1	3, 175 STORAGE SPACES	18
6C	3 OR 12% OF VEHICLE PARKING PROVIDED	6	6	14 / 1,000 SF	6	4	4	2.5 / 1,000 SF	53
8C	3 OR 12% OF VEHICLE PARKING PROVIDED	5	5	14 / 1,000 SF	2	2	2	10 / 1,000 SF	38
8C	3 OR 12% OF VEHICLE PARKING PROVIDED	3	3	14 / 1,000 SF	2	2	2	2.5 / 1,000 SF	19

DEVELOPMENT NOTES

- (1) PROPOSED ACCESS DRIVE ENTRANCE (5) PROPOSED RESIDENTIAL CLUBHOUSE
(2) PROPOSED DESIGNATED LEFT TURN EXIT (6) PROPOSED SEGMENTAL RETAINING WALL
(3) PROPOSED SANITARY SEWER EASEMENT (7) PROPOSED PUBLIC DRIVE ENTRANCE
(4) PROPOSED STORM SEWER EASEMENT (8) PROPOSED BICYCLE PARKING
(9) PROPOSED TRAIL (10) PROPOSED TRASH ENCLOSURE

GENERAL NOTES

- A. PROPOSED CONTOURS, BMP'S, GRADES, EASEMENTS AND UTILITIES ARE INDICATED IN PLAN SET AND ARE SUBJECT TO FINAL ENGINEERING DESIGN AND APPROVED BY DEVELOPMENT SERVICES, PRIVATE UTILITY COMPANIES AND FINAL PLAN APPROVAL. SEE GRADING AND UTILITY PLAN AND OR STORM WATER MANAGEMENT PLAN.
B. FINAL PLANS FOR THE PROPOSED BUILDINGS WILL INCLUDE FINAL DETAILS ON BUILDING MATERIALS, BUILDING ELEVATIONS, SITE LIGHTING, AND LANDSCAPING.
C. SUBDIVISIONS FROM THE ESTABLISHED LOTS MAY BE FURTHER SUBDIVIDED BY APPLICATION FOR LOT SPLIT OR MINOR SUBDIVISION. PROPOSED BUILDING WALLS AND OPENINGS ON OR ADJACENT TO PROPERTY LINES SHALL BE CONSTRUCTED WITH APPROPRIATE FIRE-RESISTIVE RATINGS AS REQUIRED BY CHAPTER 18, KANSAS CITY BUILDING AND REHABILITATION CODE, CODE OF ORDINANCES.
D. PROPOSED CONSTRUCTION SETBACKS ARE SUBJECT TO APPROVAL BY THE BOARD OF ZONING ADJUSTMENT THROUGH VARIANCES GRANTED BY THE BOARD.
E. PRELIMINARY DEVELOPMENT PLAN SET SERVES AS THE PRELIMINARY PLAT.
F. BUILDING SETBACKS ARE INDICATED IN PLAN SET.
G. SIDEWALK AND CYCLING ARE PROVIDED AS A RESIDENTIAL LOT:
FRONT: 10' FROM PUBLIC RIGHT-OF-WAY
REAR: 8' FROM PUBLIC RIGHT-OF-WAY
SIDE: 25' FROM PUBLIC RIGHT-OF-WAY
-> R-1.5:
FRONT: 20' FROM PUBLIC RIGHT-OF-WAY
REAR: 20' FROM PUBLIC RIGHT-OF-WAY
SIDE: 8' FROM PUBLIC RIGHT-OF-WAY
G. MAXIMUM BUILDING HEIGHT:
-> B2-2: 45'
-> 4C-3: 55'
H. INGRESS AND EGRESS TO EACH LOT WILL BE FROM A DEDICATED PUBLIC STREET AND/OR ACCESS EASEMENT.
I. TYPICAL ROAD SECTION WILL BE FROM KANSAS CITY, MISSOURI STANDARDS.
J. PARKING WILL BE PROVIDED AS REQUIRED IN SECTION 88-420 OF THE KANSAS CITY ZONING AND DEVELOPMENT CODE.
K. STORM WATER DETENTION AND BMP'S SHALL BE APPROVED BY KCMO ORDINANCE 88-408. REFER TO PARKLAND DEDICATION AND FEE CALCULATION TABLES BELOW. THE TABLES SHOW THE PARKLAND DEDICATION REQUIRED IN EACH LOT.
L. PRIVATE EASEMENT AGREEMENTS THAT PROVIDED CROSS ACCESS AND CROSS PARKING AGREEMENTS TO EACH LOT IN THE VARIOUS PHASES OF THE DEVELOPMENT SHALL BE RECORDED AGAINST THE PROPERTY AS REQUIRED TO PROVIDE FOR THE EASEMENT AGREEMENTS.
M. PARKING SETBACK FROM PUBLIC RIGHT-OF-WAY: 10'
N. PROPOSED CONTOURS, GRADES, EASEMENTS, BMP'S, AND UTILITIES ARE INDICATED ON PLAN AND ARE SUBJECT TO DESIGN BY INDIVIDUAL COMPANIES AND APPROVED BY KCMO. PRIVATE UTILITIES AND EASEMENTS ARE SUBJECT TO DESIGN BY THE BOARD OF ZONING AND APPROVED BY KCMO. REFER TO PARKLAND DEDICATION AND FEE CALCULATION TABLES BELOW. THE TABLES SHOW THE PARKLAND DEDICATION REQUIRED IN EACH LOT.
O. PARKLAND DEDICATION FEES SHALL FOLLOW KCMO ORDINANCE 88-408. REFER TO PARKLAND DEDICATION AND FEE CALCULATION TABLES BELOW. THE TABLES SHOW THE PARKLAND DEDICATION REQUIRED IN EACH LOT.
P. PROPOSED RESIDENTIAL BUILDINGS WILL HAVE FOUR DIFFERENT VARIATIONS WITH EACH CONFORMING TO THE DESIGN STANDARDS AND THE ZONING AND DEVELOPMENT CODE. ALL ADJACENT BUILDINGS WILL BE OF A DIFFERENT VARIATION SO THAT NO TWO ADJACENT BUILDINGS ARE OF THE SAME VARIATION AS SHOWN ON THE ATTACHED ELEVATIONS.
Q. THE FRONT FAÇADE OF ATTACHED HOMES MEETS THE SECTION 88-110-06-C-3 (G) WITH 24.7% OF THE FRONT FAÇADE OF ATTACHED HOMES DOING DOUBLE DUTY AS A SIDEWALK.
R. DEVELOPER REQUESTS EXEMPTION FROM THE REQUIREMENT IN SECTION 88-420-12 TO ALLOW VEHICULAR USE AREAS TO EXCEED 40% OF THE PAVEMENT FRONT YARD FOR ALL PROPOSED RESIDENTIAL BUILDINGS.
S. BUILDING DIMENSIONS HAVE BEEN ROUNDED TO THE NEAREST FOOT.



PRIMARY STREET SECTION N.T.S.

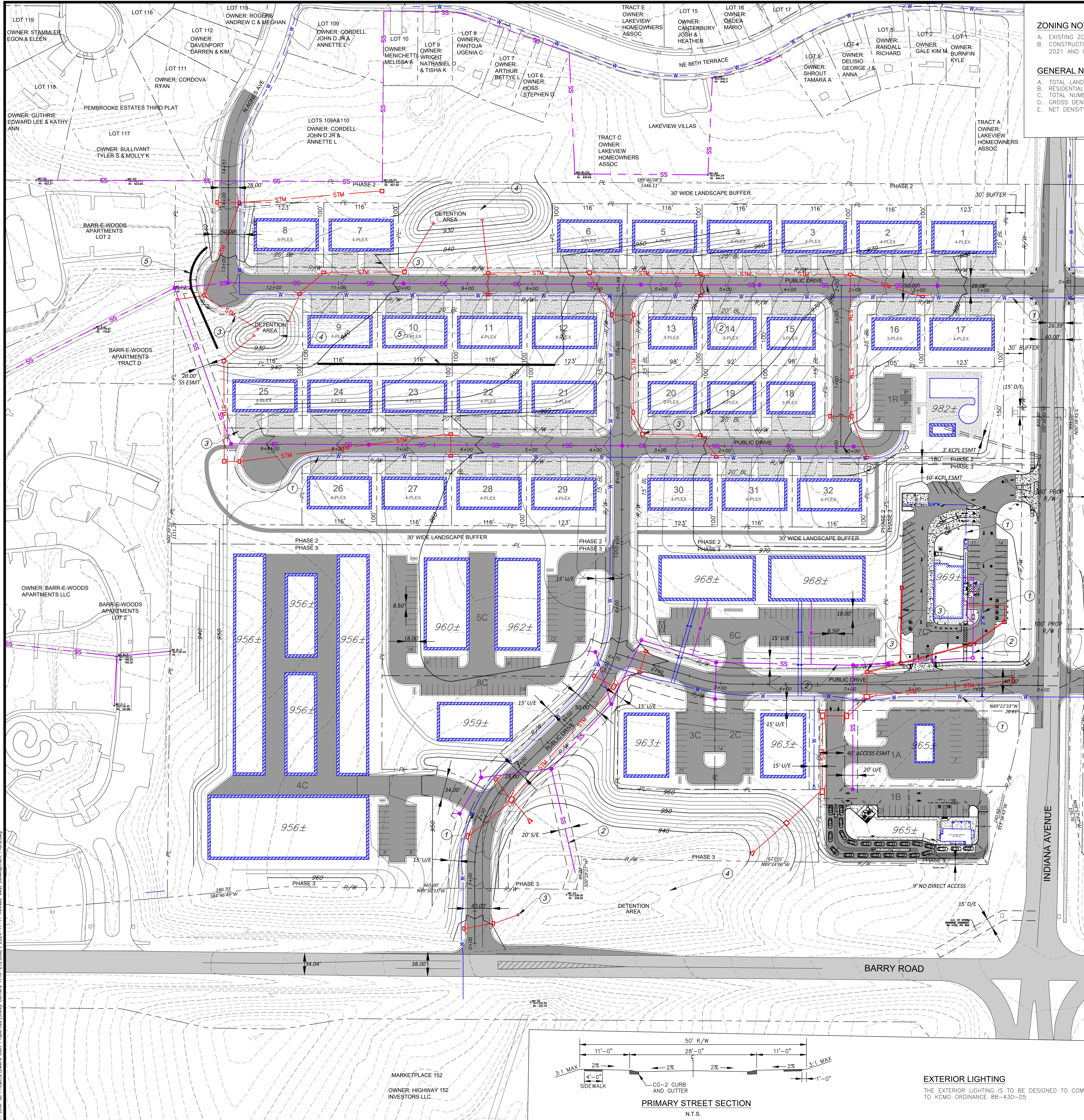
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PROJECT LOCATION

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PROSPECT AVE.
NE BARRY RD
N. CLEVELAND AVE.
NE BARRY RD
INDIANA AVENUE
PROJECT LOCATION



ZONING NOT

- A. EXISTING ZONING IS R-1.5, B2-2 AND B4-3
- B. CONSTRUCTION IS TO COMMENCE SPRING/SUMMER 2021 AND COMPLETE SPRING/SUMMER 2026.

OWNER/APPLICANT

STALEY CORNERS, LLC
PO BOX 901471
KANSAS CITY, MO 64190



**Know what's below.
Call before you dig.**

MILBURN CIVIL ENGINEERING, LLC
33135 W 83RD ST
DE SOTO, KS 66018
913-583-0367

STALEY CORNERS RESIDENTIAL - WEST								
LOTS	PHASE	ZONING	GROSS AREA (AC.)	PROPOSED STREET R/W (AC.)	PRIVATE OPEN SPACE (AC.)	STORM DETENTION (AC.)	NET AREA (AC.)	LAND USE
1-32	2	R-1.5	16.68	3.83	2.65	1.85	8.35	MULTI-FAMILY (3 & 4-PLEX)
TOTALS	-	-	16.68	3.83	2.65	1.85	8.35	-

STALEY CORNERS COMMERCIAL - WEST								
LOTS	PHASE	ZONING	GROSS AREA (AC.)	PROPOSED STREET R/W (AC.)	PRIVATE OPEN SPACE (AC.)	STORM DETENTION (AC.)	NET AREA (AC.)	LAND USE
1A-8C	3	B2-2 / B4-3	16.25	1.74	0.00	1.61	12.90	FLEX / STORAGE FACILITY/FOOD SER
TOTALS	-	-	16.25	1.74	0.00	1.61	12.90	-

RESIDENTIAL BUILDING SUMMARY (STALEY CORNERS- WEST)								
LOT	BUILDING USE	PHASE	BUILDING FLOOR AREA (SF)	NUMBER OF BUILDINGS	TOTAL SQ FT	NUMBER OF FLOORS	MAX FLOOR AREA RATIO	FLOOR AREA RATIO
1-32	MULTI-FAMILY (3 PLEX)	2	3,750	7	26,250	1	-	-
1-32	MULTI-FAMILY (4 PLEX)	2	5,000	25	125,000	1	-	-
1R	CLUBHOUSE	2	800	1	800	1	-	-

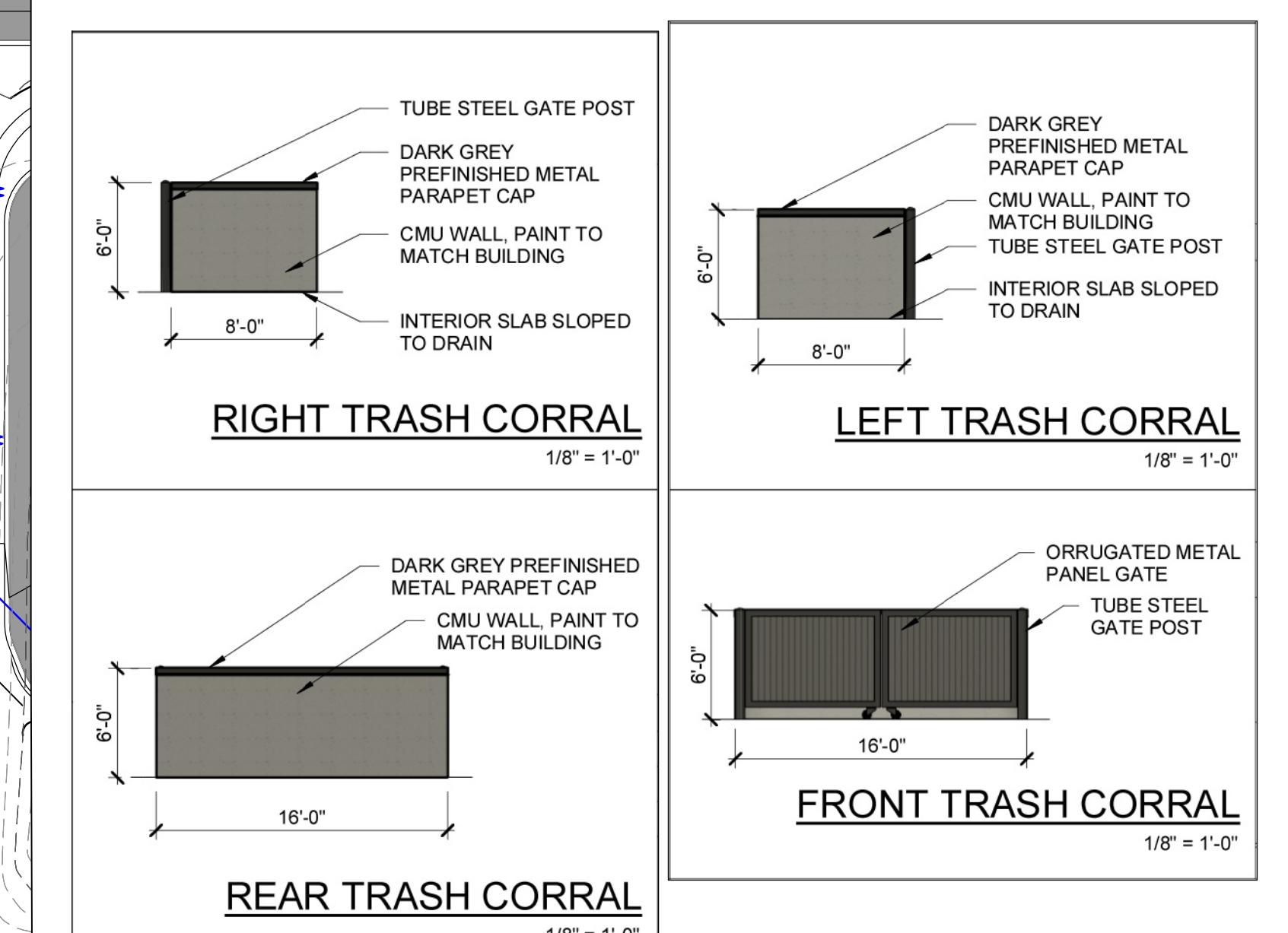
COMMERCIAL BUILDING SUMMARY (STALEY CORNER- WEST)								
LOT	BUILDING USE	PHASE	BUILDING FLOOR AREA (SF)	NUMBER OF BUILDINGS	TOTAL SQ FT	NUMBER OF FLOORS	MAX FLOOR AREA RATIO	FLOOR AREA RATIO
1A	MOTOR VEHICLE REPAIR, LIMITED	3	1800	1	1,800	1	2.2	0.05
1B	FOOD SERVICE DRIVE THRU	3	950	1	950	1	2.2	0.03
2C	FLEX	3	7,000	1	7,000	1	2.2	0.31
3C	FLEX	3	7,000	1	7,000	1	2.2	0.29
4C	STORAGE FACILITY	3	8,000-25,000	5	73,900	1	2.2	0.32
5C	FLEX	3	10,000	2	20,000	1	2.2	0.29
6C	FLEX	3	10,500	2	21,000	1	2.2	0.30
7C	FOOD SERVICE DRIVE THRU	3	3,800	1	3,800	1	2.2	0.06
8C	FLEX	3	7,000	1	7,000	1	2.2	0.19

GRADING AND UTILITIES NOTES

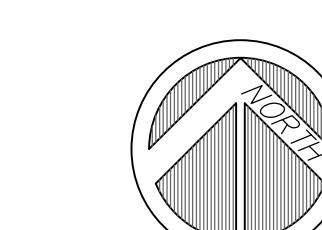
- - 1 — PROPOSED WATERLINE
 - 2 — PROPOSED SANITARY SEWER LINE
 - 3 — PROPOSED STORM SEWER LINE
 - 4 — PROPOSED BMP/DETENTION TREATMENT AREA
 - 5 — PROPOSED RETAINING WALL

GENERAL NOTES

- A. PROPOSED CONTOURS, BMP's, GRADES, EASEMENTS, AND UTILITIES ARE INDICATED IN PLAN SET AND ARE SUBJECT TO FINAL ENGINEERING DESIGN AND APPROVED BY DEVELOPMENT SERVICES, PRIVATE UTILITY COMPANIES AND FINAL PLAN APPROVAL. SEE GRADING AND UTILITY PLAN, AND OR STORM WATER MANAGEMENT PLAN.
 - B. LOTS OR TRACTS ESTABLISHED BY THIS PLAT MAY BE FURTHER SUBDIVIDED BY APPLICATION FOR LOT SPLIT OR MINOR SUBDIVISION, PROVIDED BUILDING WALLS AND OPENINGS ON OR ADJACENT TO PROPERTY LINES SHALL BE CONSTRUCTED WITH APPROPRIATE FIRE-RESISTIVE RATINGS AS REQUIRED BY CHAPTER 18, KANSAS CITY BUILDING AND REHABILITATION CODE, CODE OF ORDINANCES.
 - C. PRELIMINARY DEVELOPMENT PLAN SET SERVES AS THE PRELIMINARY PLAT.
 - D. BUILDING SETBACKS ARE INDICATED IN PLAN SET.
 - > B2-2 AND B4-3 ONLY WHEN ABUTTING A RESIDENTIAL LOT:
 - FRONT: 10' FROM PUBLIC RIGHT-OF-WAY
 - REAR: 8' FROM PUBLIC RIGHT-OF-WAY
 - SIDE: 25' FROM PUBLIC RIGHT-OF-WAY
 - > R-1.5
 - FRONT: 20' FROM PUBLIC RIGHT-OF-WAY
 - REAR: 25' FROM PUBLIC RIGHT-OF-WAY
 - SIDE: 8' FROM PUBLIC RIGHT-OF-WAY
 - E. MAXIMUM BUILDING HEIGHT:
 - > B2-2: 45'
 - > B4-3: 55'
 - F. STORM WATER DETENTION AND BMP'S SHALL BE PER APPROVED STORM DRAINAGE STUDY OR PER DEPARTMENT OF PUBLIC WORKS. STORM WATER STUDY WILL IDENTIFY DETENTION, VOLUME CONTROL, AND TREATMENT AREAS. PROPOSED STORM WATER SYSTEM AND STORMWATER BMP'S ARE INDICATED ON STORMWATER, GRADING AND UTILITY PLAN.
 - G. PROPOSED RESIDENTIAL BUILDINGS WILL HAVE FOUR DIFFERENT VARIATIONS WITH EACH CONFORMING TO THE DESIGN STANDARDS AND THE ZONING AND DEVELOPMENT CODE. ALL ADJACENT BUILDINGS WILL BE OF A DIFFERENT VARIATION SO THAT NO TWO ADJACENT BUILDINGS ARE OF THE SAME VARIATION AS SHOWN ON THE ATTACHED ELEVATIONS.
 - H. THE FRONT FAÇADE OF ATTACHED HOMES MEETS THE SECTION 88-110-06-C-3 (G) WITH 24.7% OF THE FRONT FAÇADE BEING THE GARAGE DOOR.
 - I. DEVELOPER REQUESTS A DEVIATION FROM THE REQUIREMENT IN SECTION 88-420-12 TO ALLOW VEHICULAR USE AREAS TO EXCEED 40% OF THE PAVEMENT FRONT YARD FOR ALL PROPOSED RESIDENTIAL BUILDINGS.

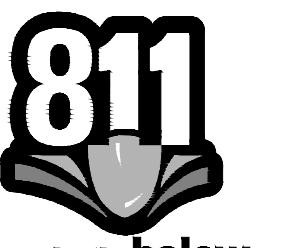


- | <u>LEGEND</u> | |
|---------------|----------------------|
| — — 980 — — | EXISTING CONTOUR |
| — 980 — — | PROPOSED CONTOUR |
| <u>SS</u> | PROPOSED SANITARY |
| <u>SS</u> | EXISTING SANITARY |
| <u>W</u> | PROPOSED WATER |
| <u>W</u> | EXISTING WATER |
| <u>STM</u> | PROPOSED STORM SEWER |
| — B.L. — — | BUILDING LINE |
| — R/W — — | PROPOSED R/W |
| — R/W — — | EXISTING R/W |



GRAPHIC SCALE

PRELIMINARY NOT FOR CONSTRUCTION



**Know what's below.
Call before you dig.**

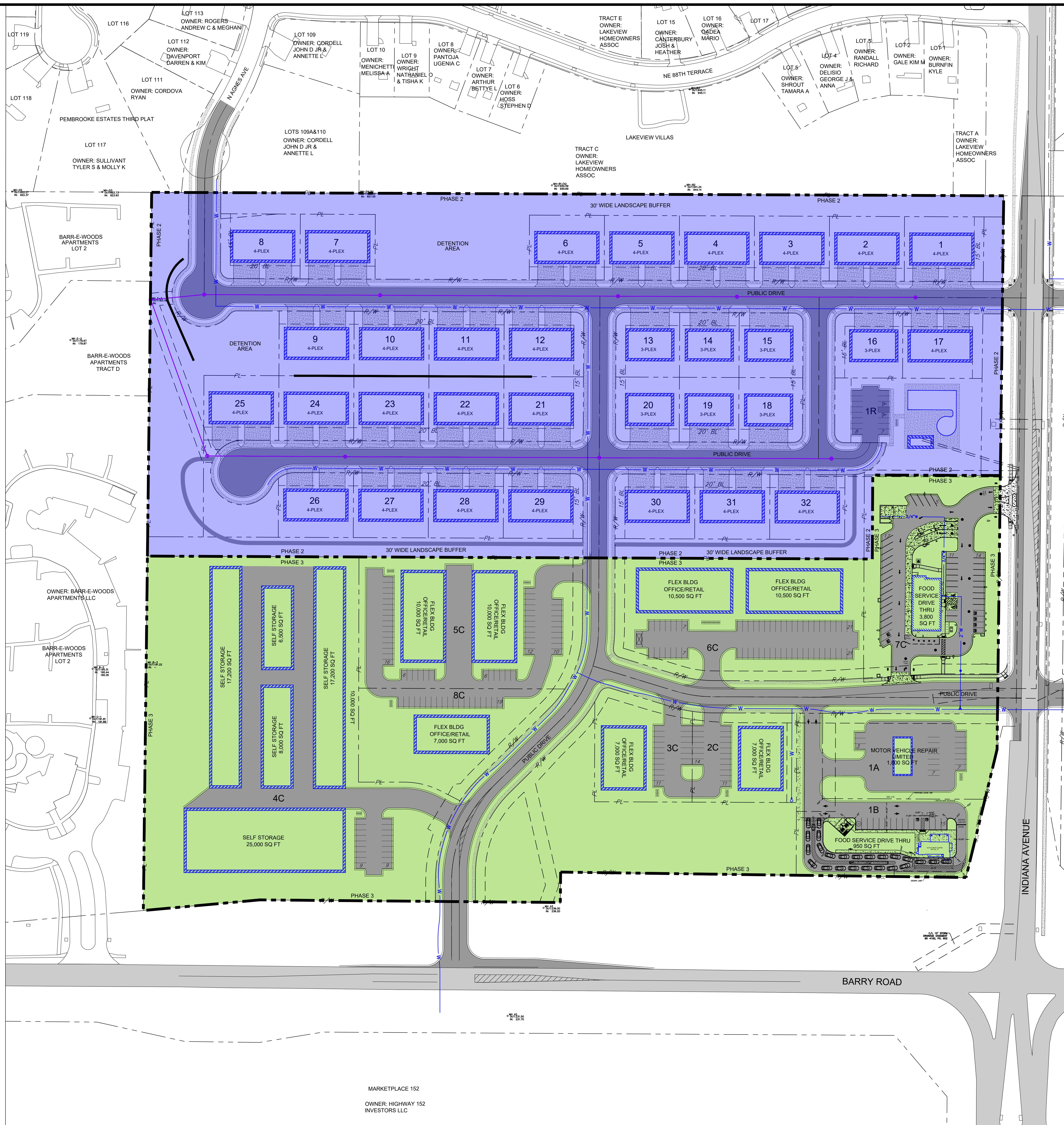
Milburn Civil Engineering, LLC



STALEY CORNERS DEVELOPMENT MAJOR AMENDMENT TO DEVELOPMENT PLAN - WEST

MAJOR AMENDMENT TO DEVELOPMENT PLAN - WEST

INDIANA AVENUE AND BARRY ROAD
KANSAS CITY MO



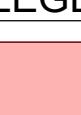
Dec 27, 2024 – 9:57am – USER mrvaeill
:\Civil 3D Projects\Owens Built Properties\Staley Corners 1710-210\CAD\2024-11-11 Revised West Development Plans.dwg

MARKETPLACE

PRELIMINARY-NOT FOR CONSTRUCTION

STALEY CORNERS
PHASING PLAN - WEST

02/27/20
GN BY JM
CKED BY JPM



LEGEND

PHA

PHA

PHA

A circular symbol containing a compass rose with the word "NORTH" written along the top arc.

GRAPHIC SCALE

STALEY CORNERS
PHASING PLAN - WEST



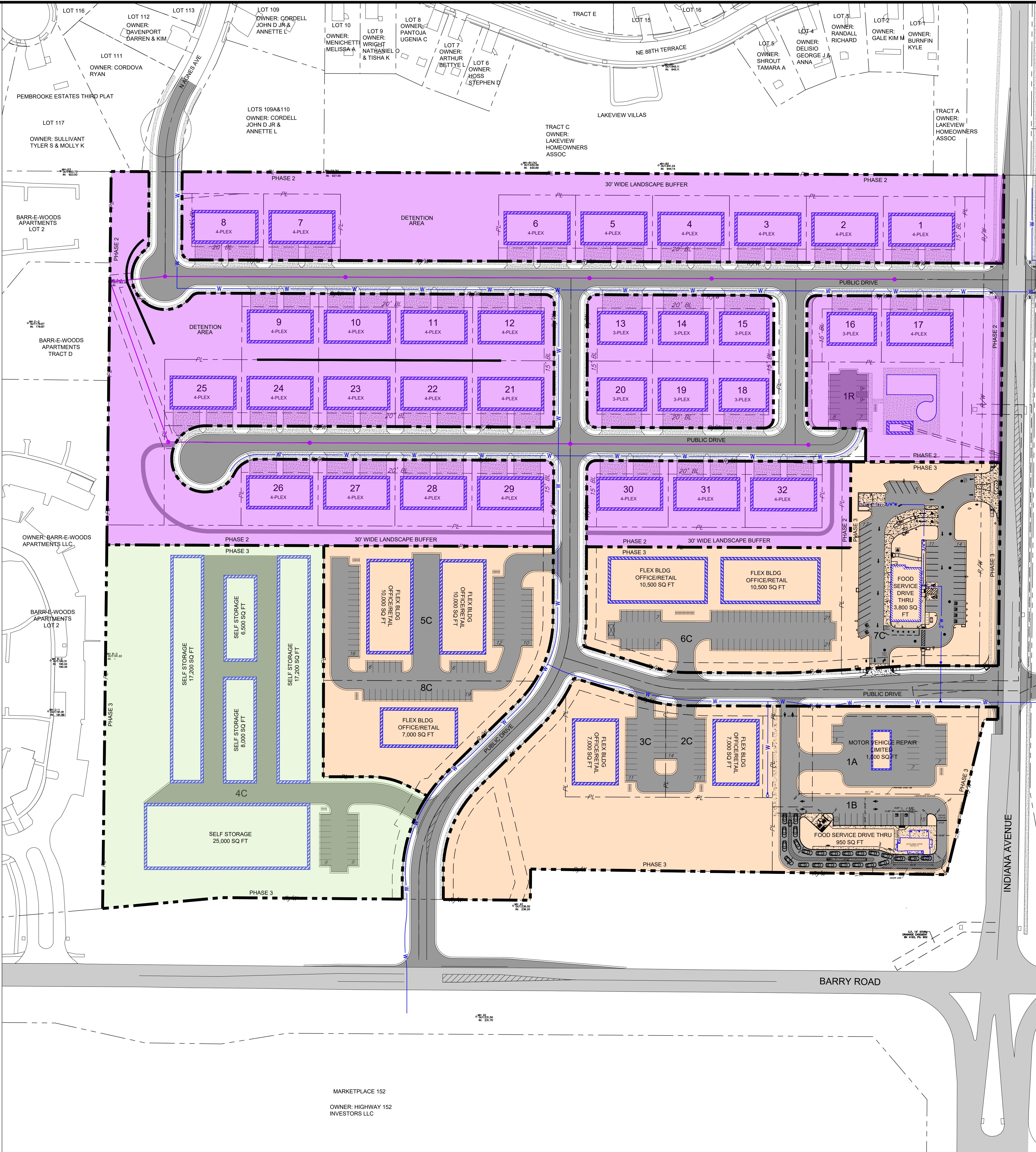
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Milburn Civil Engineering, LLC
33135 W 83RD ST
DE SOTO, KS 66018
913-583-0367



STALEY CORNERS DEVELOPMENT MAJOR AMENDMENT TO DEVELOPMENT PLAN - WEST

INDIANA AVENUE AND BARRY ROAD
KANSAS CITY, MO



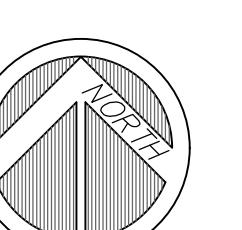
STALEY CORNERS WEST ZONING		
PHASE	USE	CURRENT ZONING
2	RESIDENTIAL	R-1.5
3	FLEX	B2-2
3	SELF-STORAGE	B4-3

PRELIMINARY-NOT FOR CONSTRUCTION

C004

DATE 02/27/20
DESIGN BY JM
CHECKED BY JPM

REVISED
02/27/2024 REVISED TO WEST ONLY
11/11/2024 LOT 7C PLAN MOD

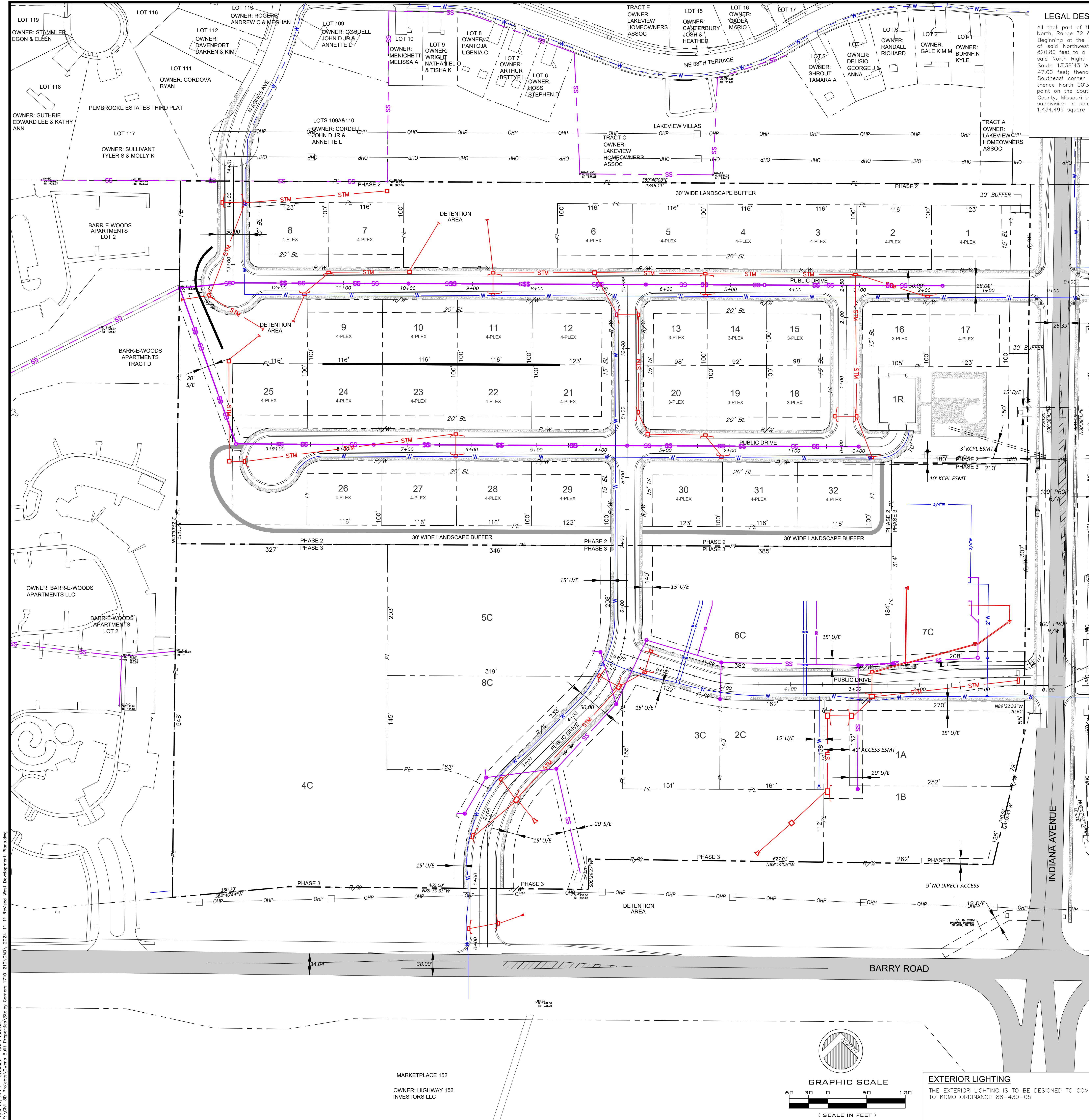


GRAPHIC SCALE
(SCALE IN FEET)



STALEY CORNERS DEVELOPMENT

MAJOR AMENDMENT TO DEVELOPMENT PLAN - WEST

INDIANA AVENUE AND BARRY ROAD
KANSAS CITY, MO

LEGAL DESCRIPTION

All that part of the East 40 acres of the North half of the Northwest Quarter of Section 7, Township 51 North, Range 32 West, in Kansas City, Clay County, Missouri, being more particularly described as follows: Beginning at the North Quarter corner of said Section 7; thence South 00°38'45" West, along the East line of the Northwest Quarter of Section 7, 620.80 feet to the point on the North Right-of-Way line of Indiana Avenue, as established by the 1820.80 feet to the point on the North Right-of-Way line of Barry Road, as established; thence along said North Right-of-Way line the following six courses; thence North 89°22'33" West, 206.61 feet; thence South 133°43'23" West, 240.92 feet; thence North 89°30'33" West, 465.00 feet; thence South 84°46'49" West, 180.70 feet to the Southeast corner of BARR-E-WOODS APARTMENTS, a subdivision in said Kansas City, Clay County, Missouri; thence North 00°07'08" East, along the South line of said BARR-E-WOODS APARTMENTS, 111.23 feet to a point on the South line of said PEMBROKE ESTATES THIRD PLAT, a subdivision in said Kansas City, Clay County, Missouri; thence South 89°46'08" East, along the South line of said LAKEVIEW VILLAS, a subdivision in said Kansas City, Clay County, Missouri, 1346.11 feet to the Point of Beginning. Contains 1,434,496 square feet or 32.932 acres more or less.

OWNER/APPLICANT
STALEY CORNERS, LLC
PO BOX 901471
KANSAS CITY, MO 64190

F

- A. EXISTING ZONING IS R-1.5, B2-2 AND B4-3
B. CONSTRUCTION IS TO COMMENCE SPRING/SUMMER 2021 AND COMPLETE SPRING/SUMMER 2026.
C. TOTAL LAND AREA: 16.68 ACRES
D. PROPOSED RIGHT-OF-WAY: 3.83 ACRES
E. RESIDENTIAL NET LAND AREA: 8.35 ACRES
F. TOTAL NUMBER OF DWELLING UNITS: 121
G. GROSS DENSITY: 7.25 UNITS/ACRE
H. LOT DENSITY: 14.49 UNITS/ACRE

GENERAL NOTES - RESIDENTIAL

- A. TOTAL LAND AREA: 16.68 ACRES
B. PROPOSED RIGHT-OF-WAY: 1.74 ACRES
C. RESIDENTIAL NET LAND AREA: 8.35 ACRES
D. TOTAL NUMBER OF DWELLING UNITS: 121
E. GROSS DENSITY: 7.25 UNITS/ACRE
F. LOT DENSITY: 14.49 UNITS/ACRE

GENERAL NOTES - COMMERCIAL

- A. TOTAL LAND AREA: 16.25 ACRES
B. PROPOSED RIGHT-OF-WAY: 1.74 ACRES
C. RESIDENTIAL NET LAND AREA: 8.35 ACRES
D. TOTAL NUMBER OF DWELLING UNITS: 121
E. GROSS DENSITY: 7.25 UNITS/ACRE
F. LOT DENSITY: 14.49 UNITS/ACRE

GENERAL NOTES

- A. PROPOSED EASEMENTS AND UTILITIES ARE INDICATED ON PLAN SHEET AND ARE SUBJECT TO FINAL ENGINEERING DESIGN AND APPROVED BY DEVELOPMENT SERVICES, PRIVATE UTILITY COMPANIES AND FINAL PLAN APPROVAL.
B. LOT 10, TRACT ESTABLISHED BY THIS PLAT MAY BE FURTHER SUBDIVIDED BY APPLICATION FOR LOT SPLIT OR MINOR SUBDIVISION, PROVIDED BUILDING WALLS AND OPENINGS ON OR ADJACENT TO PROPERTY LINES SHALL BE CONSTRUCTED WITH APPROPRIATE FIRE-RESISTIVE RATINGS AS REQUIRED BY CHAPTER 18, KANSAS CITY BUILDING AND REHABILITATION CODE, CODE OF ORDINANCES.
C. SIGNAGE ALLOWED PER KANSAS CITY, MO ZONING AND DEVELOPMENT CODE SECTION 88-445 OR AS MAY BE APPROVED BY THE BOARD OF ZONING ADJUSTMENT THROUGH VARIANCES GRANTED BY THE BOARD.
D. PRELIMINARY DEVELOPMENT PLAN SET SERVES AS THE PRELIMINARY PLAT.
E. BUILDING SETBACKS ARE INDICATED IN PLAN SET.
-> B2-2 AND B4-3 ONLY WHEN ABUTTING A RESIDENTIAL LOT:
FRONT: 10' FROM PUBLIC RIGHT-OF-WAY
REAR: 8' FROM PUBLIC RIGHT-OF-WAY
SIDE: 25' FROM PUBLIC RIGHT-OF-WAY
-> R-1.5:
FRONT: 20' FROM PUBLIC RIGHT-OF-WAY
REAR: 25' FROM PUBLIC RIGHT-OF-WAY
SIDE: 8' FROM PUBLIC RIGHT-OF-WAY
F. MAXIMUM BUILDING HEIGHT:
-> B2-2: 45'
-> B4-3: 55'
G. INGRESS AND EGRESS TO EACH LOT WILL BE FROM A DEDICATED PUBLIC STREET AND/OR ACCESS EASEMENT.
H. STORM WATER DETENTION AND BMP'S SHALL BE PER APPROVED STORM DRAINAGE STUDY OR PER DEPARTMENT OF PUBLIC WORKS STORM WATER STUDY. WILL IDENTIFY DETENTION, VOLUME CONTROL, AND TREATMENT AREAS. PROPOSED STORM WATER SYSTEM AND STORMWATER BMP'S ARE INDICATED ON STORMWATER, GRADING AND UTILITY PLAN.
I. PRIVATE EASEMENT AGREEMENTS THAT PROVIDED CROSS ACCESS AND CROSS PARKING AGREEMENTS TO EACH LOT IN THE VARIOUS PHASES OF THE DEVELOPMENT SHALL BE RECORDED AGAINST THE PROPERTY AS REQUIRED TO PROVIDE ACCESS.
J. PARKING SETBACK FROM PUBLIC RIGHT-OF-WAY: 10'

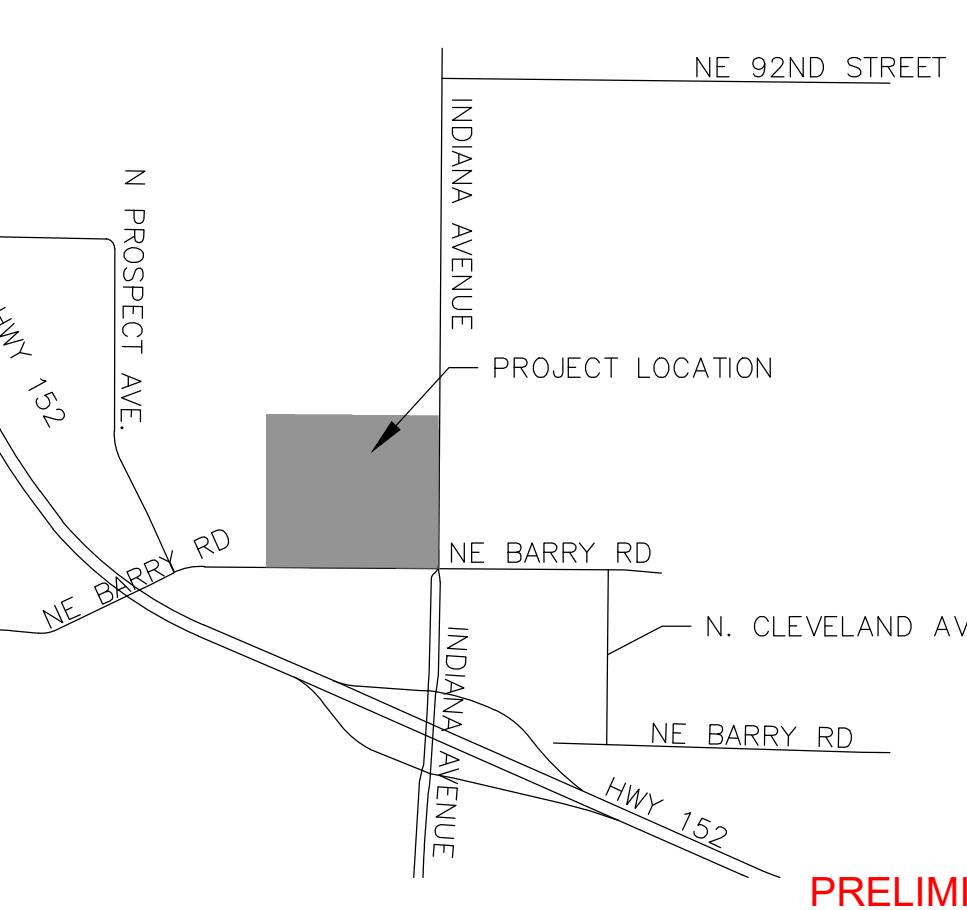
DATE 02/27/20
DESIGN BY JM
CHECKED BY JPM

REVISIONS
02/27/2024 SEPARATE SHEET CREATED
11/11/2024 LOT 7C PLAN MOD
12/27/2024 KCMO COMMENTS

STALEY CORNERS PRELIMINARY PLAT - WEST

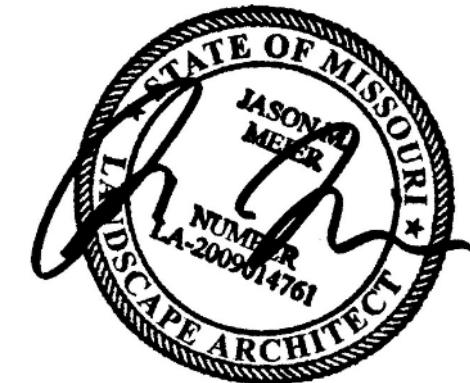
C005
PRELIMINARY-NOT FOR CONSTRUCTION

GRAPHIC SCALE
(SCALE IN FEET)
EXTERIOR LIGHTING
THE EXTERIOR LIGHTING IS TO BE DESIGNED TO COMPLY
TO KCMO ORDINANCE 88-430-05



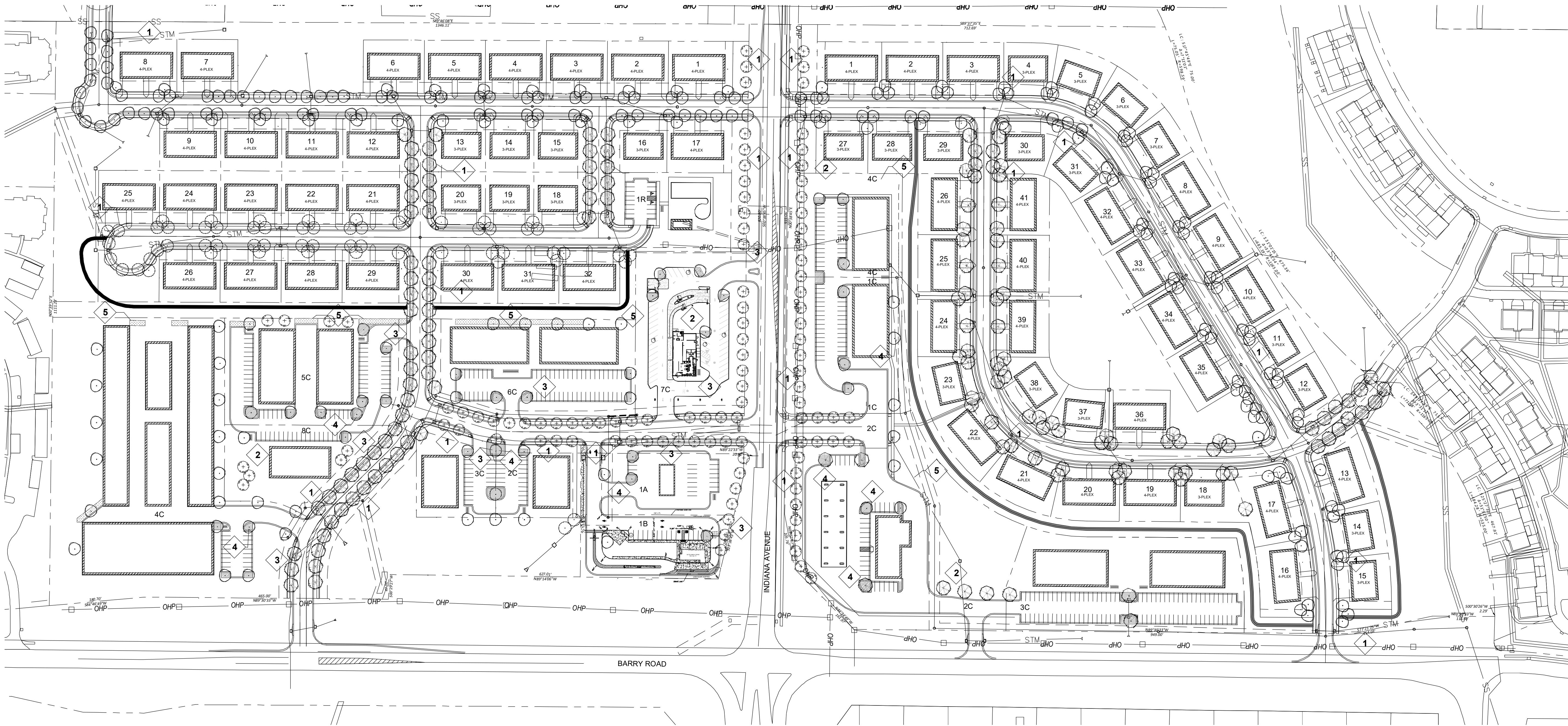
LEGEND

- 980 — EXISTING CONTOUR
- 980 — PROPOSED CONTOUR
- 980 — EXISTING PROPERTY LINE
- 980 — EXISTING SANITARY
- 980 — EXISTING WATER
- 980 — PROPOSED WATER
- 980 — EXISTING R/W
- 980 — PROPOSED R/W
- 980 — EXISTING RW
- 980 — PROPOSED RW
- 980 — PROPERTY LINE
- 980 — EXISTING STORM SEWER
- 980 — PROPOSED STORM SEWER
- 980 — BUILDING LINE
- 980 — PUBLIC DRIVE
- 980 — DETENTION AREA
- 980 — 30' WIDE LANDSCAPE BUFFER
- 980 — 30' BUFFER
- 980 — 30' KCP ESMT
- 980 — 10' KCP ESMT
- 980 — 3/4" W
- 980 — 15' U/E
- 980 — 20' U/E
- 980 — 25' U/E
- 980 — 30' U/E
- 980 — 35' U/E
- 980 — 40' ACCESS ESMT
- 980 — 45' ACCESS ESMT
- 980 — 50' ACCESS ESMT
- 980 — 60' ACCESS ESMT
- 980 — 70' ACCESS ESMT
- 980 — 80' ACCESS ESMT
- 980 — 90' ACCESS ESMT
- 980 — 100' PROP R/W
- 980 — 110' PROP R/W
- 980 — 120' PROP R/W
- 980 — 130' PROP R/W
- 980 — 140' PROP R/W
- 980 — 150' PROP R/W
- 980 — 160' PROP R/W
- 980 — 170' PROP R/W
- 980 — 180' PROP R/W
- 980 — 190' PROP R/W
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- 980 — 630' PROP R/W
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- 980 — 1120' PROP R/W
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- 980 — 1150' PROP R/W
- 980 — 1160' PROP R/W
- 980 — 1170' PROP R/W
- 980 — 1180' PROP R/W
- 980 — 1190' PROP R/W
- 980 — 1200' PROP R/W
- 980 — 1210' PROP R/W
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- 980 — 1240' PROP R/W
- 980 — 1250' PROP R/W
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- 980 — 1300' PROP R/W
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- 980 — 1370' PROP R/W
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- 980 — 1390' PROP R/W
- 980 — 1400' PROP R/W
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- 980 — 1490' PROP R/W
- 980 — 1500' PROP R/W
- 980 — 1510' PROP R/W
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- 980 — 1960' PROP R/W
- 980 — 1970' PROP R/W
- 980 — 1980' PROP R/W
- 980 — 1990' PROP R/W
- 980 — 2000' PROP R/W
- 980 — 2010' PROP R/W
- 980 — 2020' PROP R/W
- 980 — 2030' PROP R/W
- 980 — 2040' PROP R/W
- 980 — 2050' PROP R/W
- 980 — 2060' PROP R/W
- 980 — 2070' PROP R/W
- 980 — 2080' PROP R/W
- 980 — 2090' PROP R/W
- 980 — 2100' PROP R/W
- 980 — 2110' PROP R/W
- 980 — 2120' PROP R/W
- 980 — 2130' PROP R/W
- 980 — 2140' PROP R/W
- 980 — 2150' PROP R/W
- 980 — 2160' PROP R/W
- 980 — 2170' PROP R/W
- 980 — 2180' PROP R/W
- 980 — 2190' PROP R/W
- 980 — 2200' PROP R/W
- 980 — 2210' PROP R/W
- 980 — 2220' PROP R/W
- 980 — 2230' PROP R/W
- 980 — 2240' PROP R/W
- 980 — 2250' PROP R/W
- 980 — 2260' PROP R/W
- 980 — 2270' PROP R/W
- 980 — 2280' PROP R/W
- 980 — 2290' PROP R/W
- 980 — 2300' PROP R/W
- 980 — 2310' PROP R/W
- 980 — 232



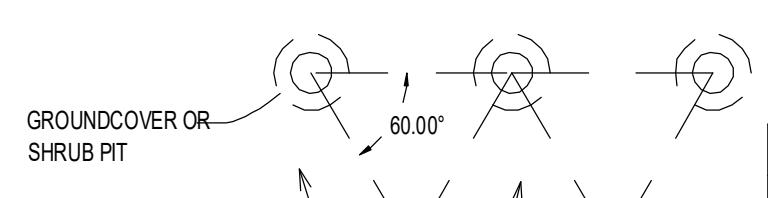
CLIENT
Staley Corners

PROJECT
Staley Corners
Barry Rd. and Indiana
Ave.
Kansas City, MO



1 LANDSCAPE PLAN

SCALE: 1"=100'-0"

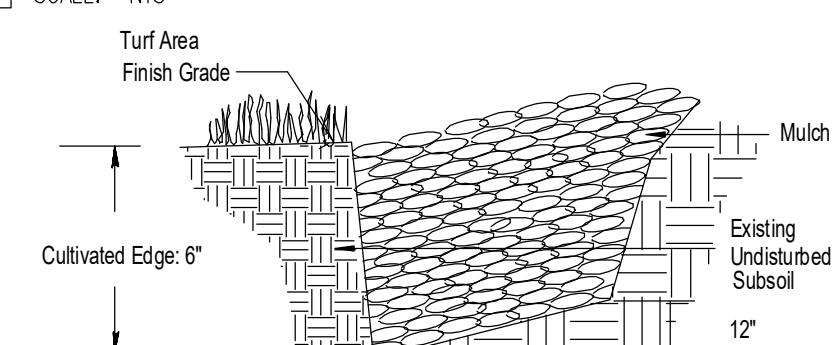


Plant Quantities Per Square Foot	Inches Between Plants
1.50	10"
1.00	12"
.44	18"
.16	30"
.11	36"

NOTES: 1. SPACING FOR GROUNDCOVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS.
2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THOROUGHLY MIX IN SOIL.
AMENITIES AS NOTED ON PLANS.

2 GROUNDCOVER/SHRUB DETAIL

SCALE: NTS



TREE PLANTING NOTES:
1) DO NOT HEAVILY PRUNE THE TREE PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE.
4) APPLY 4"THK WOOD MULCH, DO NOT PLACE MULCH IN DIRECT CONTACT w/ TREE TRUNK.

STAKING REQUIREMENTS:
1) WIRE/CABLE SHALL BE GALV, 12-GAUGE
2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING, ALLOW FOR SOME TRUNK MOVEMENT PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1 1/2" OF GROWTH
3) STAKES SHALL BE 2x2" HARDWOOD OR EQUAL

PERENNIAL PLANTING NOTES:
1) APPLY 2"THK BED OF MULCH ON PERENNIAL PLANT BED, DO NOT COVER PLANTS
2) THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
3) BREAK UP EXISTING SOIL TO A DEPTH OF 24"
4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

SHRUB PLANTING NOTES:
1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER.
2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE w/ STANDARD HORTICULTURAL PRACTICE

INITIAL WATERING: WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED
4" MIN. SPECIFIED MULCH
PLANT ROOT BALL 2" HIGHER THAN GRADE AT WHICH TREE GREW. INSTALL WEED CONTROL FABRIC IF TREE IS IN LANDSCAPE BED
CONTINUOUS SAUCER RIM FOR WATER & MULCH CUT & REMOVE BURLAP FROM TOP 1/3 OF BALL. SPECIFIED BACKFILL MIXTURE
EXISTING UNDISTURBED SUBSOIL

ROOT BALL
1/2 DIA OF BALL

3 CULTIVATED EDGE DETAIL

SCALE: NTS

4 PLANTING INSTALLATION DETAILS

SCALE: NTS

Landscape Schedule

Symbol	Oty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
158	Gleditsia triacanthos 'Skyline'	Shademaster Honeylocust		2"	6' min. clear., ground to canopy		
184	Platanus x acerifolia	London Plane Tree		2"	6' min. clear., ground to canopy		
296	Acer x truncatum 'Warrenred'	Pacific Sunset Maple		2"	6' min. clear., ground to canopy		
72	Ulmus parvifolia	Lacebark Elm		2"	6' min. clear., ground to canopy		

Landscape Requirements/Calculations

1 Street Frontage Landscaping

1 Street Tree per every 30 Linear Feet of Street
(15,022 Frontage Linear Feet) / 30 = 501 Trees Required
501 Trees Provided- Includes 0 Existing Trees

2 General Landscaping

1 Tree per 5,000 Square Feet of Principal Building Coverage
(203,715 of Building Coverage) / 5000 = 41 Trees Required
41 Trees Provided- Includes 0 Existing Trees

3 Perimeter Landscape Vehicular Use Area- Adjacent to Street

Type A- without 3' Berm (Under 250 Parking Spaces)

10 Landscape Buffer

3 Trees per every 100 Linear Feet

(2,787 Street Frontage Linear Feet x 3) / 100= 84 Trees Required

84 Trees Provided- Includes 0 Existing Trees

4 Parking Lot Interior Landscape Areas

1 Tree per Every 5 Parking Spaces

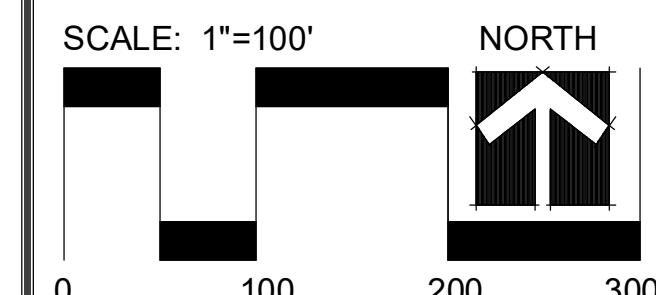
(418 Parking Spaces) / 5 =

84 Trees Required

84 Trees Provided- Includes 0 Existing Trees

5 Residential Buffer

Evergreen shrub must be planted to form a continuous visual screen when vehicular use area is adjacent to residential zoning.
(418 parking Spaces x 35) / 1 = 14,630 SF Required
14,630 Provided



Date: 5.13.2024

Project #: 500

Landscape Plan

L1

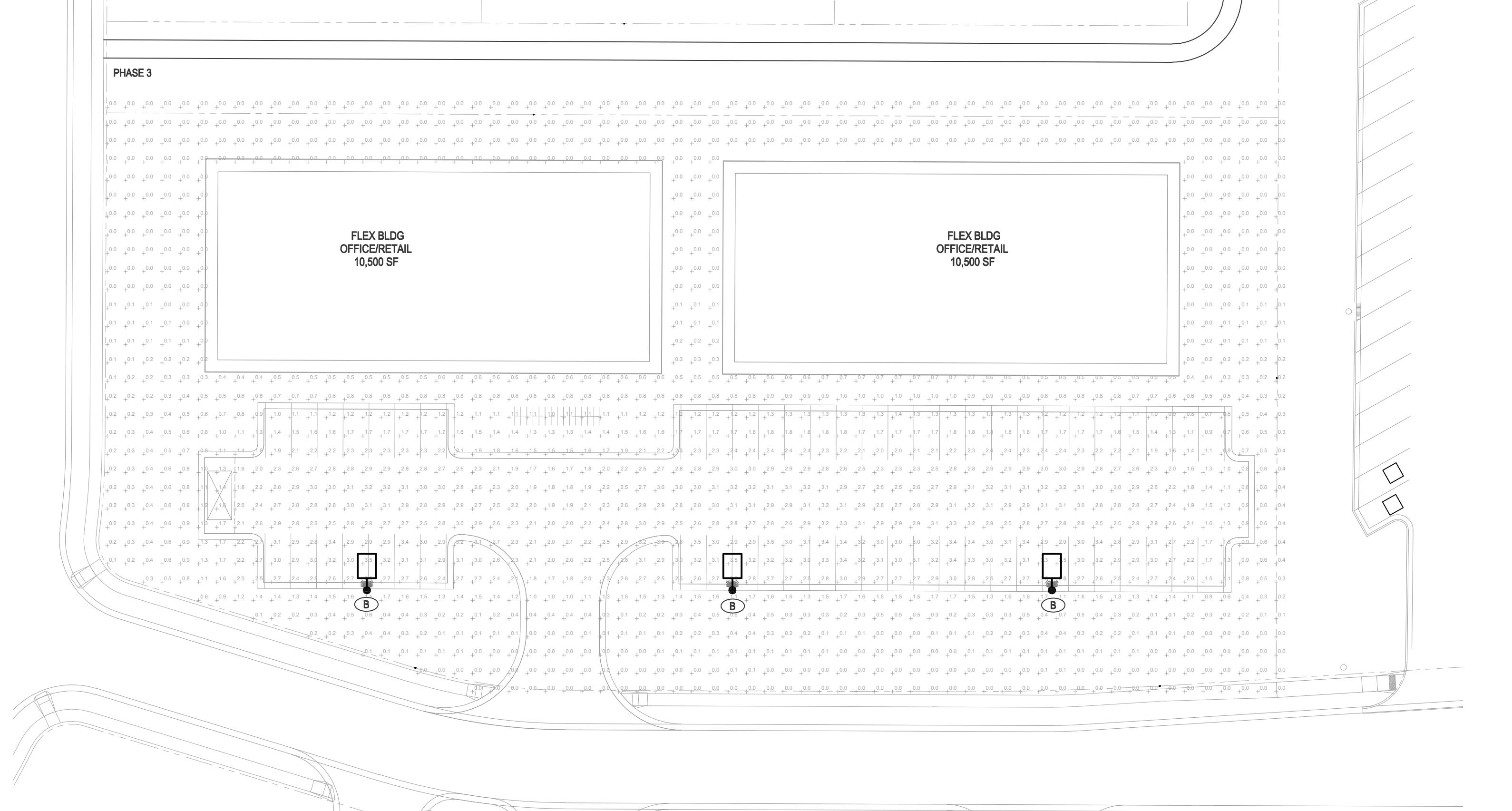
LIGHT FIXTURE SCHEDULE

MARK	MANUFACTURER	MODEL	HEADS		VOLTS	MOUNTING	TOTAL WATTS	DESCRIPTION	NOTES	MARK	Site Lighting	
			QUAN.	TYPE							Site Lighting	
A	COPPER	GALN-SA6-735-120-TW4-HSS-BPC	1	MA1039	120	25' POLE	321	SINGLE HEAD POLE MOUNTED FIXTURE	1,2,3,4,5	A		
NOTES:												
1. PROVIDE WITH HOUSESIDE SHIELD 2. PROVIDE WITH FIXTURE MOUNTED PHOTOCELL FOR DUST TO DAWN CONTROL 3. COLOR AS SELECTED BY ARCHITECT 4. CONTRACTOR TO VERIFY TENON SIZE 5. PROVIDE WITH 25' POLES STRUCTURALLY DESIGNED FOR HEAD QUANTITY.												
GENERAL NOTES:												
A. PROVIDE ALL REQUIRED ACCESSORIES FOR A COMPLETE INSTALLATION.												

VISUAL PHOTOMETRIC STATISTICS

CALC ZONE	DISCRIPTION	AVERAGE	MAX	MIN	MAX/MIN	AVE/MIN	NOTES
1	PARKING AREA 25' POLE WITH 3' CONCRETE BASE	1	3.5	0:00	NA	NA	

IES RECOMMENDED	Enhanced Security	Basic min
Min Horizontal Illuminance	0.5 fc	.2 fc
Max to Min	15:1	20:1
Min Vertical	0.25 fc	0.1 fc
Avg Horizontal	2.5 fc	1



01 Site Plan
Scale: 1" = 30'-0"



POWER MATERIAL NOTES:

- A. CONDUIT (exterior above grade) - shall be galvanized rigid with threaded fittings. Final connection to Mechanical Equipment shall be made with minimum 12" length of Liquid-Tite conduit.
- B. CONDUIT (interior above grade) - circuits shall be routed in EMT conduit with set-screw or compression fittings.
- C. CONDUIT (below slab) - shall be Schedule 40 PVC with solvent weld fittings. Change to metal conduit at floor penetration (elbow in slab) shall be metal rigid conduit.
- D. CONDUCTORS (#10 awg & smaller) - shall be annealed soft copper, solid or stranded construction, and Code Type THWN or THHN with #12awg minimum size.
- E. CONDUCTORS (#8 awg & larger) - shall be annealed soft copper, compressed strand construction, and Code Type THWN-2 or THHN.
- F. GROUNDING (equipment) - All circuits shall be provided with Code sized equipment grounding conductor.
- G. SAFETY SWITCHES - shall be Square D, or approved equal, heavy duty grade safety switch in configuration noted.
- H. FIRE STOPPING - provide fire stopping, as manufactured by 3M or Hilti, at fire-rated construction to maintain an effective barrier against the spread of flame, smoke, and hot gases. Components shall be compatible with each other, the substrates forming openings, and the items, if any, penetrating the fire stopping under conditions of service and application, as demonstrated by the fire stopping manufacturer based on testing and field experience.

STALEY CORNERS DEVELOPMENT PLAN - WEST
MAJOR AMENDMENT TO DEVELOPMENT PLAN - WEST
INDIANA AVENUE AND BARRY ROAD
KANSAS CITY, MO



BLANCHARD AE GROUP, LLC
Laura Blanchard, P.E.
Professional Engineer no. 2007032416
1425 Wakarusa Dr. Ste. B
Lawrence, Kansas 66049
Ph: 785.993.0300
AEGroup@BAE.Group



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MILBURN CIVIL ENGINEERING, LLC.
33135 W 83rd St.
De Soto, Kansas 660018
(913) 583-0367



LAURA MICHELE
BLANCHARD
NUMBER
PE-2007032416
PROFESSIONAL ENGINEER
11.22.2024

REVISIONS

No.	Description	Date

Rel. Date: 11.22.2024

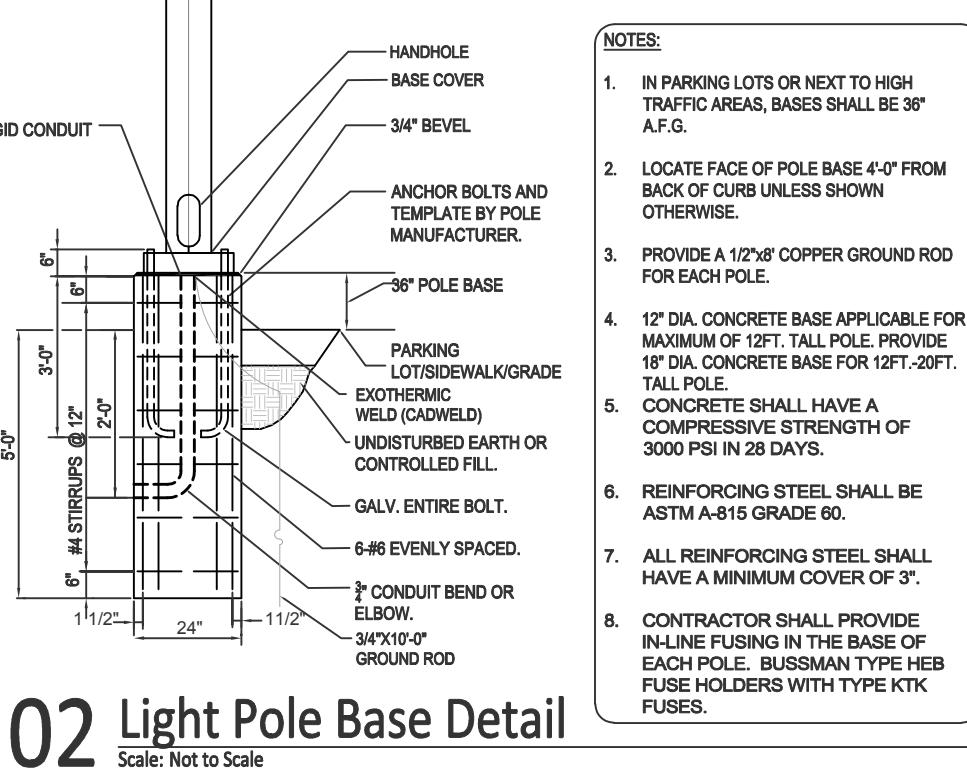
SITE PLAN

E1.01

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20A WIRE SIZING SCHEDULE (VOLTAGE DROP)

ALL WIRE SIZES SHOWN ON BELOW SCHEDULE ARE INTENDED TO BE MINIMUM ACCEPTABLE WIRE SIZE				
THE FOLLOWING SCHEDULE IS TO BE USED TO SIZE WIRE FOR 20 AMP CIRCUITS (120 AND 277 VOLT).				
LENGTHS (ONE WAY) ARE INTENDED TO BE MAXIMUM.				
MAX AMPS	MAX WATTS	WIRE SIZE	#12	#10
5	600	200	325	490
10	1200	100	160	245
15	1800	70	110	165
MAX AMPS	MAX WATTS	WIRE SIZE	#12	#10
5	1385	480	760	1170
10	2770	240	380	585
15	4155	160	250	390
MAX AMPS	MAX WATTS	WIRE SIZE	#12	#8
5	1385	480	760	1170
10	2770	240	380	585
15	4155	160	250	390



02 Light Pole Base Detail

Scale: Not to Scale

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DESIGN GUIDELINES

1. Architectural Standards

- a) Exterior design of all buildings shall be high quality and follow a clear architectural theme.
- b) Facades of buildings shall have repeating patterns in color, material, and texture.
- c) All buildings within the development shall be coherent in mass, height, roofline, and material. Long expanses of walls with no variation in height and material shall be avoided.
- d) All four walls exterior walls of all buildings shall have a similar appearance.
- e) Permitted building materials and their arrangement are as outlined in the following table. Those labeled "PM" are primary materials allowed on all sides of a structure. Those labeled "SM" are secondary materials and may be used as an accent material and wherever used cannot exceed 25% of the façade.

ALLOWED ARCHITECTURAL MATERIALS		
Material	Façade Fronting	
	Front and Street-side Yard	Side and Rear Yard
Brick	PM	PM
Stone	PM	PM
Cast stone	PM	PM
Glass	PM	PM
Terra cotta	PM	PM
Tile	SM	PM
Concrete		
- Cast-in-place concrete	-	PM
smooth/no texture		
- Cast-in-place concrete	SM	PM
textured or patterned		
- Pre-cast concrete	PM	PM
Stucco	SM	PM
Metal	SM	PM
Wood	SM	PM
Fiber cement		
- Fiber cement panels	PM	PM
- Fiber cement clapboard siding	SM	PM

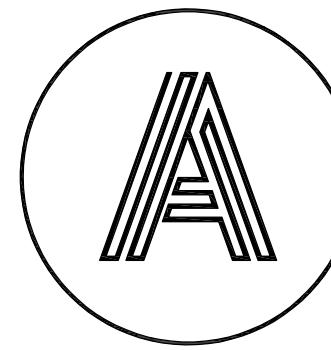
ALLOWED ARCHITECTURAL MATERIALS		
Fiberglass replication	SM	PM
Concrete masonry units	-	PM
Split faced block	-	PM
Glass block	-	SM

2. Signage Standards

- a) All signs shall conform to Kansas City, Missouri sign ordinances unless allowed through a municipal variance and approved by the developer.
- b) Signature signage in addition to primary signage, such as window signs indicating name of shop must be approved by developer.
- c) All signs shall have individual illuminated letters. Conventional box signs are prohibited but box signs with raised letters or formed plastic signs will be approved on a case by case basis.
- d) Exterior signs are not permitted to above the roof line.
- e) Signage returns must match signage color or blend with building color.
- f) Labels, clips, brackets, lighting materials, raceways, crossovers, and conduits must all be concealed from public view and may not be installed on the front or return of any sign. Cabinets, conductors, and transformers shall not be visible.
- g) Metal letters shall be fully welded with all welds ground smooth as to not be visible.
- h) Trim-cap return used at sign perimeters shall match sign color.
- i) Signs shall be mounted with threaded rods or anchor bolts. All mounting attachments shall be sleeved and painted. Angled clips attached to the sides are not permitted.
- j) Upon move out, all tenant shall be required to remove signage and repair any holes at the cost of the tenant.
- k) Tenants must obtain written approval from the developer to affix any advertising, insignia, banners, trademarks, or any other materials on the glass or supports of storefront windows or doors.
- l) Plexiglass sign faces shall not be clear
- m) Sign illumination must be internal and self-contained
- n) Electric signs and installation must meet UL standards and must contain a UL label
- o) Hand-lettered, non-professional signs or newsprint are not permitted
- p) Decals or signage indicating anything other than stores operating hours are not allowed
- q) Lighting of signs will be at hours set by developer
- r) All signage is subject to approval by developer, architect, and local authorities
- s) If applicable, tenants must provide a concealed access panel from within their leasable area to install and service their exterior building signage



Retail Conceptual Rendering



STUDIO A
ARCHITECTURE LLC

123 SOUTHWEST BLVD
KANSAS CITY, MO 64108

816.256.5025
WWW.SA-ARCH.COM
© 2018 STUDIO A ARCHITECTURE LLC

A new development at:
Staley Corners
Indian Ave and Barry Rd
Kansas City, MO

Drawn by:
BR

Reviewed by:
NRA

RELEASE LOG

DATE
June 14, 2019
PROJECT NO.
19018
DRAWING NO.

A200









Staley Corners - Triplex Option 2

02.18.2020



Studio A
Architecture

123 Southwest Blvd.
Kansas City, MO 64108

(816) 256-5025

sa-arch.com



Staley Corners - Triplex Option 3

02.18.2020



Studio A
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Staley Corners - Triplex Option 4

02.18.2020



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Architecture

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Kansas City, MO 64108

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sa-arch.com



Staley Corners - Fourplex Option 2

12.20.19



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Architecture

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Kansas City, MO 64108

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Staley Corners - Fourplex Option 3

12.20.19



Studio A
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123 Southwest Blvd.
Kansas City, MO 64108

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sa-arch.com



Staley Corners - Fourplex Option 4

12.20.19



Studio A
Architecture

123 Southwest Blvd.
Kansas City, MO 64108

(816) 256-5025

sa-arch.com



Staley Corners - Fourplex Option 5

01.12.20



Studio A
Architecture

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Kansas City, MO 64108

—
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—
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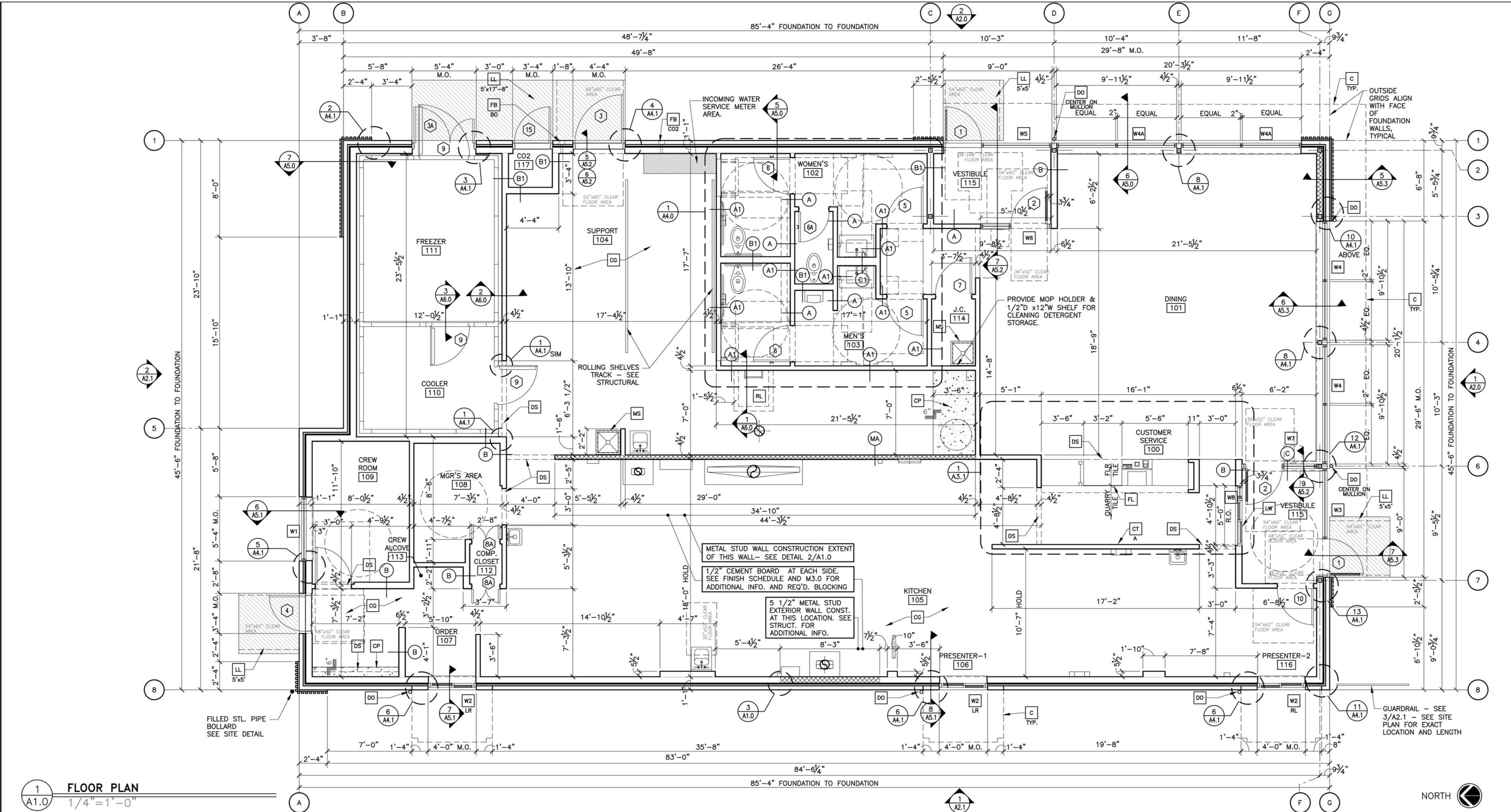
PRELIMINARY NOT FOR CONSTRUCTION

DESIGN

1200 Portland Corporate Center
Suite 100, Portland, ME 04367
Phone: (888) 252-0403

McDonald's USA, LLC

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REV	DATE	DESCRIPTION
	XX/XX/24	USD PROGRESS SET REVIEW

PREPARED BY: McDonald's Corporation

DRAWN BY: AL

STD ISSUE DATE: 2024/05/05

REVIEWED BY: KD

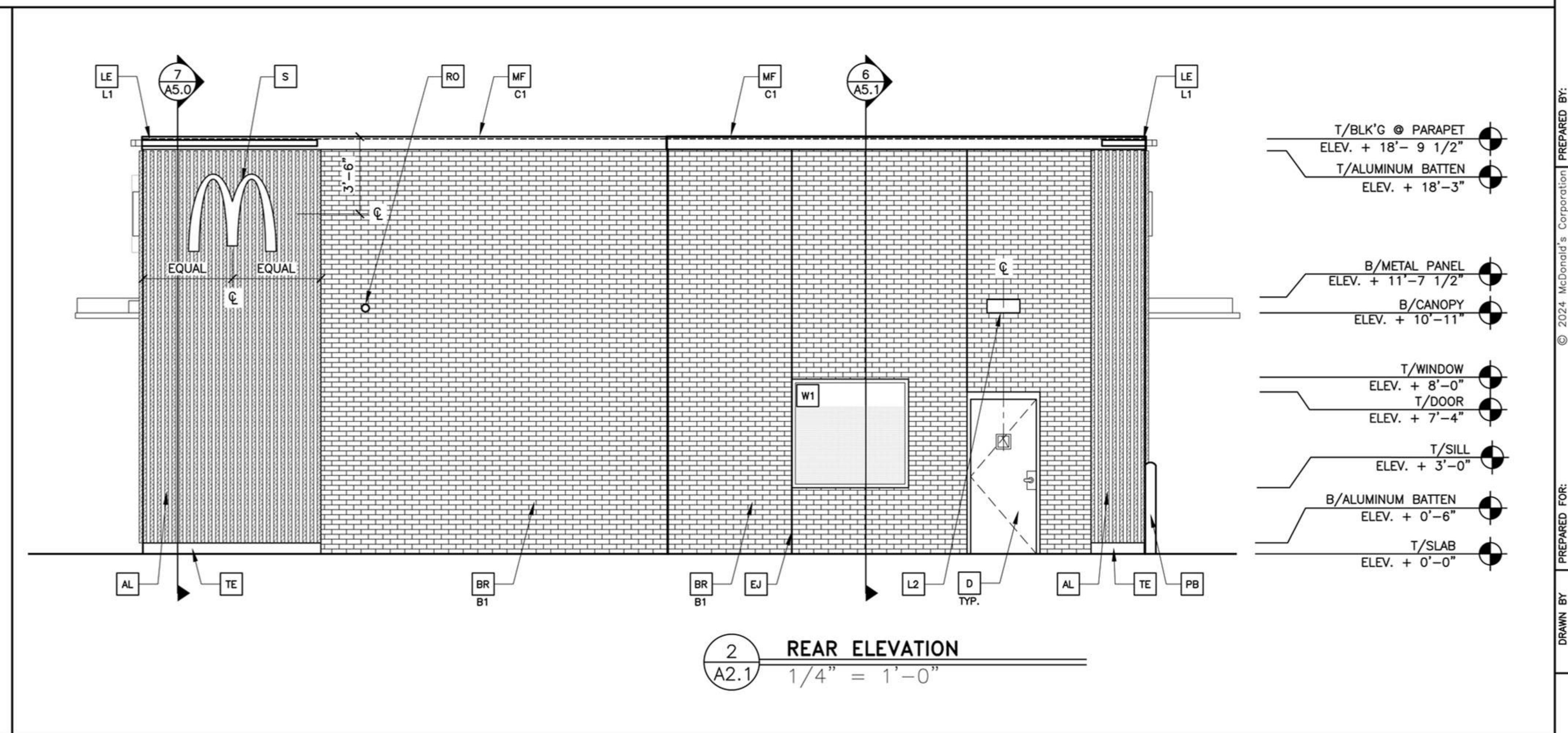
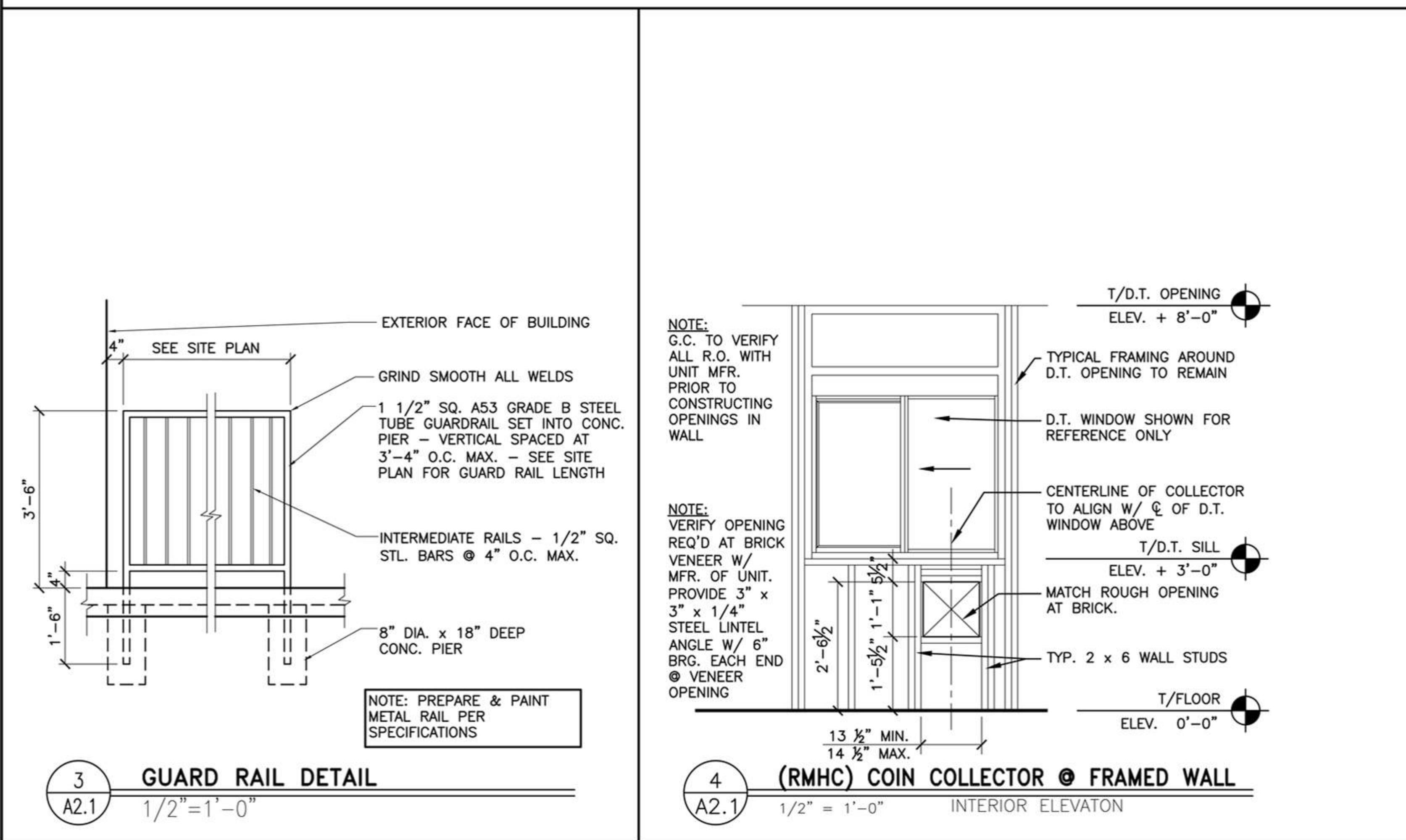
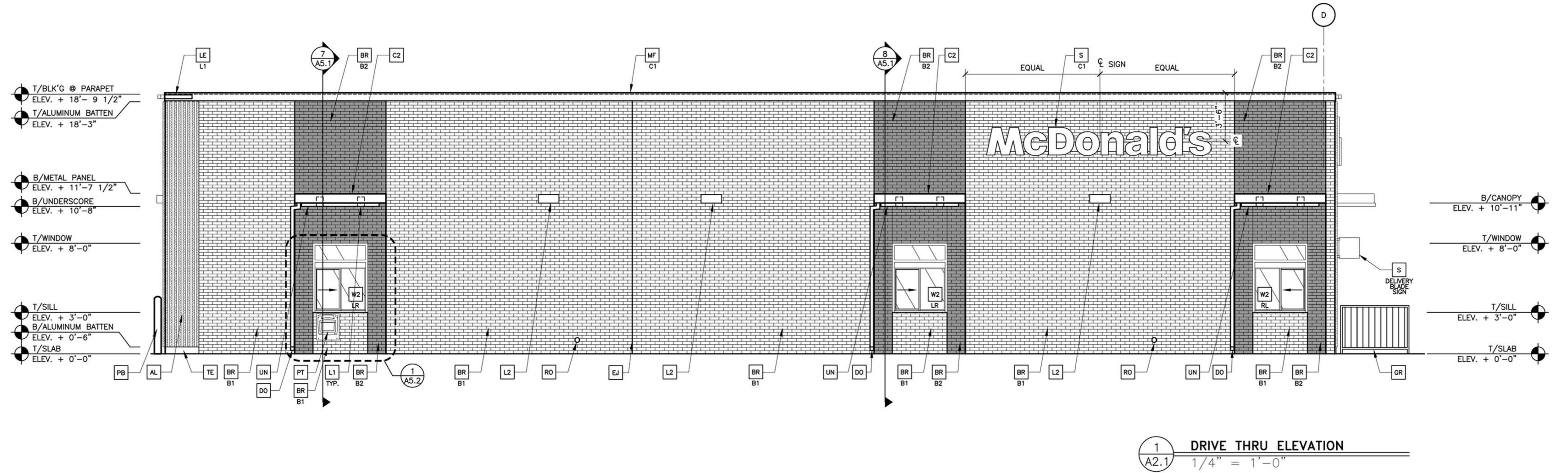
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TITLE: 2024-STANDARD BUILDING - BB20
4.5B4-WOOD/WOOD

DESCRIPTION: WOOD BEARING WALLS W/BRICK EXTERIOR FINISH & CI
WOOD TRUSS WALLS W/BRICK EXTERIOR FINISH
E.I.F.S. BATTEN
NSN: 33016
L/C: 024-1306
8712 N. Indiana Avenue

NOTE: 024-1306.00.0
A1.0
FLOOR PLAN



NOT FOR PRELIMINARY DESIGN CONSTRUCTION

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NOTE

Page
Contract

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any preparation for

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ISSUE DATE
2024 05
REVIEWED BY

R

INTERIOR FINISH &

WOOD

34-WOOD
DESCRIPTION
WOOD BEARING WALL

458
DESCR
WOO
024-1300
A2

ELEVATION

KEY NOTES:

AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,
GROUP 1, HDO BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH
SIDES AND ALL EDGES PRIOR TO INSTALLATION.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

D HOLLOW METAL DOOR
PAINT: MATCH "OLD BAILEY QUEEN" BRICK. CONFIRM COLOR WITH ACM

DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com

DS DOWNSPOUT

- L1** RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
- C1—COLOR:
 - C1= WHITE
 - C2= GOLD
- L2** RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
- COLOR: PLATINUM SILVER
- L5** ACCENT LIGHTING - SEE ELECTRICAL

PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER

RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL

S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

C1— COLOR:

EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
SEE SHEET A6.0

DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE

SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

BR MODULAR FACE BRICK

DO 3" DOWNSPOUT BY CANOPY SYSTEM M
COLOR: RAL 7022

EJ EXPANSION JOINT, SEE DETAIL 7/A4.1

LE ACCENT LIGHTING - SEE ELECT
L1—LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = UP ONLY FLOOD FIXTURE

C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY

C1 ALUMINUM CANOPY SYSTEM
COLOR: WHITE

C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022

FB C02 — C02 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)

GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

FB C02 — C02 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)

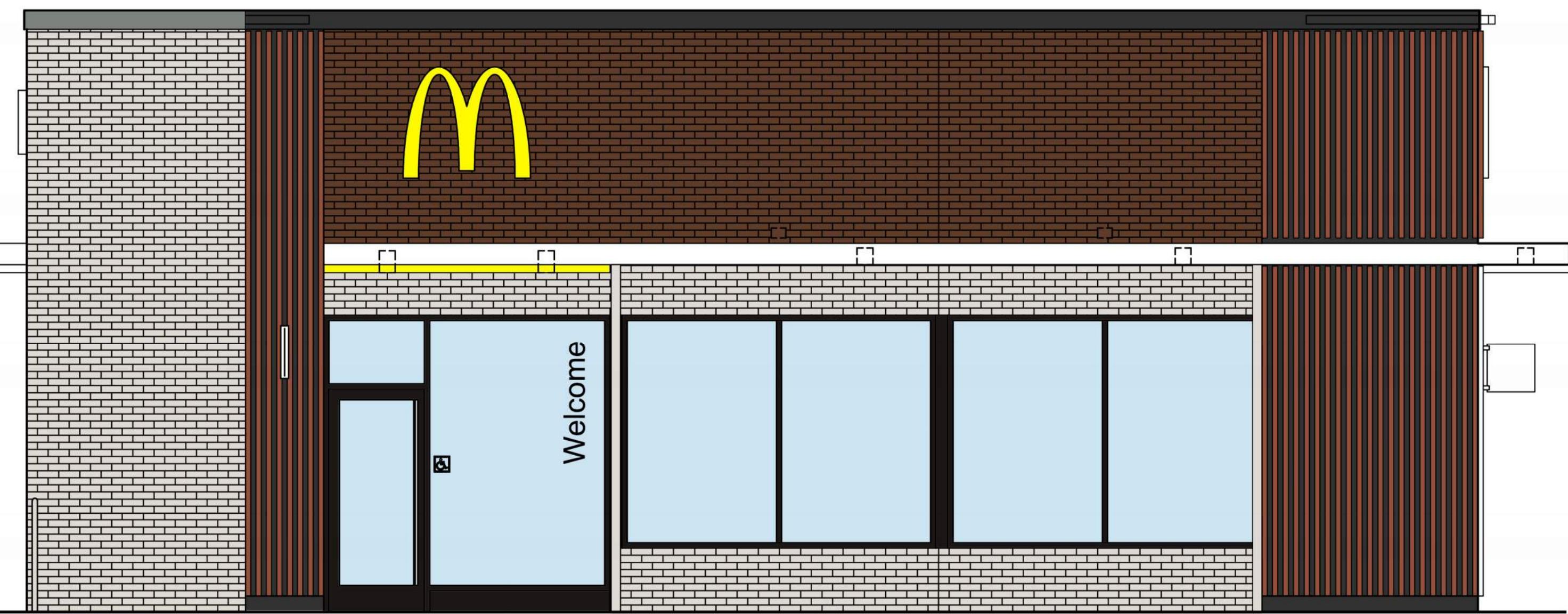
GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

MF PRE-FAB ANCHOR-TITE METAL FAS
C1— COLOR:
C1= WEATHERED ZINC
C2= RAL 7022

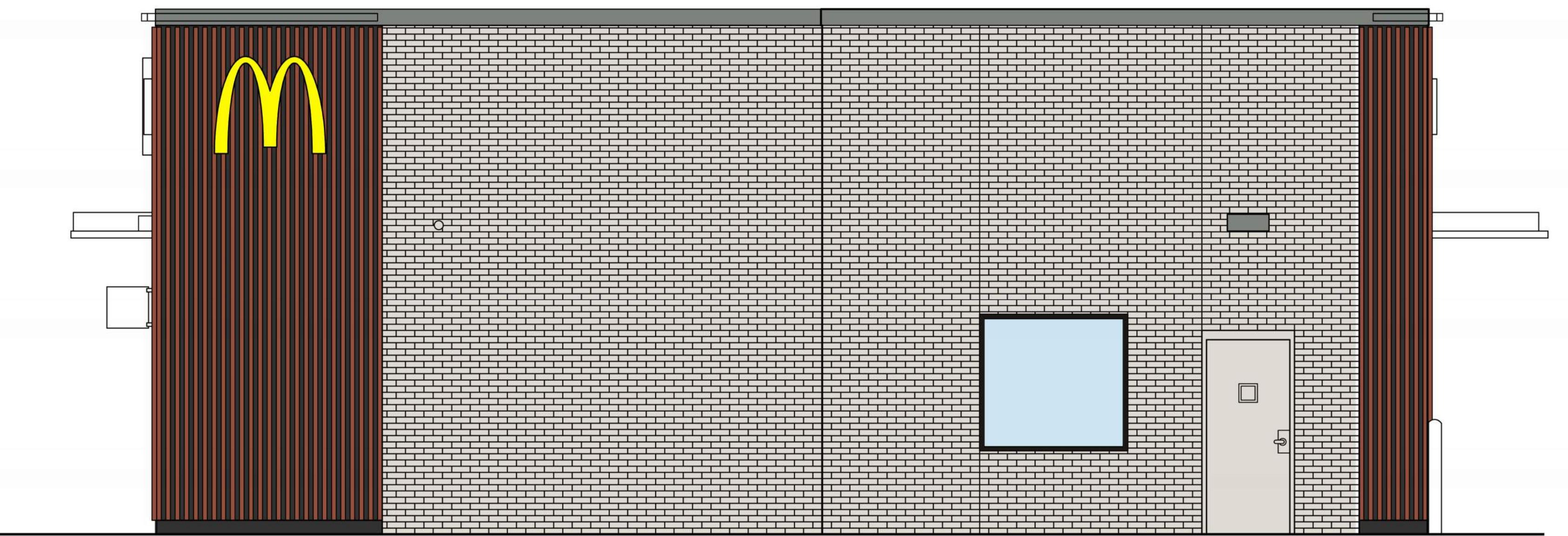
PB PIPE BOLLARD — PAINTED YELLOW

- TE TRU EXTERIOR 1"X6" TRIM, PAINTED ON SITE
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- UN METAL UNDERSCORE
COLOR: GOLD

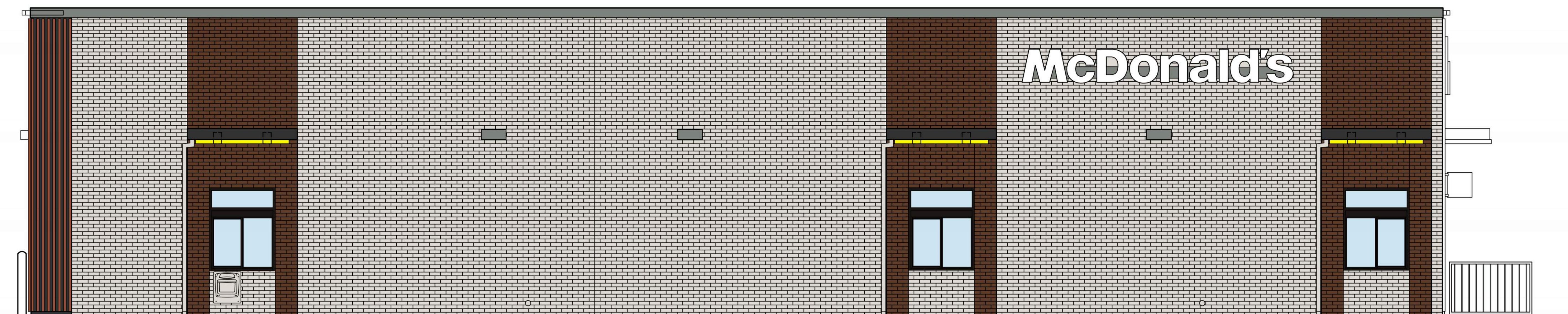
A2
ELEVATION



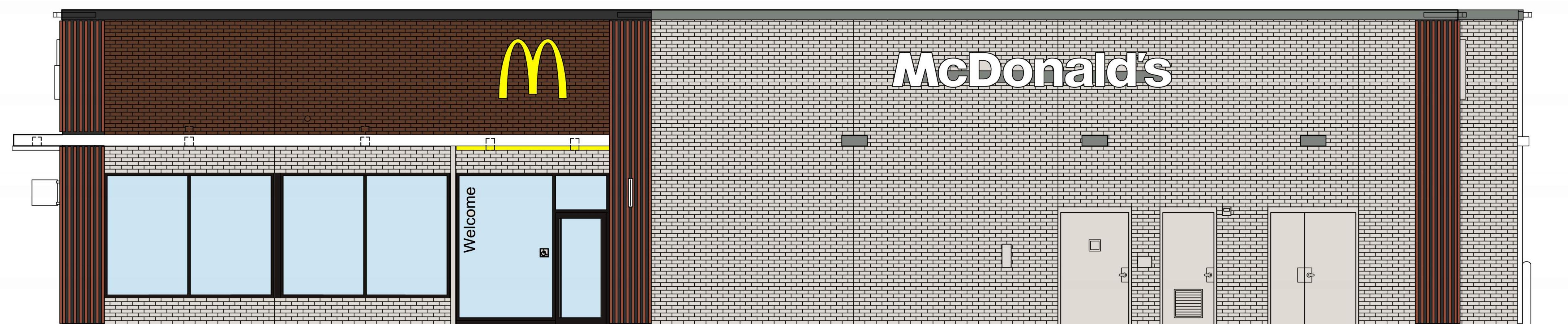
1 A2.2 FRONT ELEVATION
1/4" = 1'-0"



2 A2.2 REAR ELEVATION
1/4" = 1'-0"



3 A2.2 NON-DRIVE-THRU ELEVATION
1/4" = 1'-0"



4 A2.2 DRIVE-THRU ELEVATION
1/4" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

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M McDonald's USA, LLC

PREPARED FOR:

ELF.S. BATTEN

4584-16

STD ISSUE DATE

2024 05

REVIEWED BY

NSN-45016

SITE ADDRESS

6712 N. Indiana Avenue, Kansas City, MO 64156

WOOD BEARING WALLS W/ BRICK EXTERIOR FINISH & CI

WOOD TRUSS ROOF FRAMING

L/C 024-1-306

DATE ISSUED

MM DD YYYY

DATE ISSUED

MM DD YYYY

RELEASER

ELF.S. BATTEN

4584-16

REV. DATE

12/06/24

BID SET

AL

BY

DESIGN

100

Portland Corporate Center

Suite 100, Portland Corporate Center

Burnsville, MN 55337

Office: (651) 252-1042

Fax: (651) 252-1043

ELF.S. BATTEN

4584-16

STD ISSUE DATE

2024 05

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NSN-45016

SITE ADDRESS

6712 N. Indiana Avenue, Kansas City, MO 64156

WOOD BEARING WALLS W/ BRICK EXTERIOR FINISH & CI

WOOD TRUSS ROOF FRAMING

L/C 024-1-306

DATE ISSUED

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BY

DESIGN

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Portland Corporate Center

Burnsville, MN 55337

Office: (651) 252-1042

Fax: (651) 252-1043

ELF.S. BATTEN

4584-16

STD ISSUE DATE

2024 05

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L/C 024-1-306

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RELEASER

ELF.S. BATTEN

4584-16

STD ISSUE DATE

2024 05

REVIEWED BY

NSN-45016

SITE ADDRESS

6712 N. Indiana Avenue, Kansas City, MO 64156

WOOD BEARING WALLS W/ BRICK EXTERIOR FINISH & CI

WOOD TRUSS ROOF FRAMING

L/C 024-1-306

DATE ISSUED

MM DD YYYY

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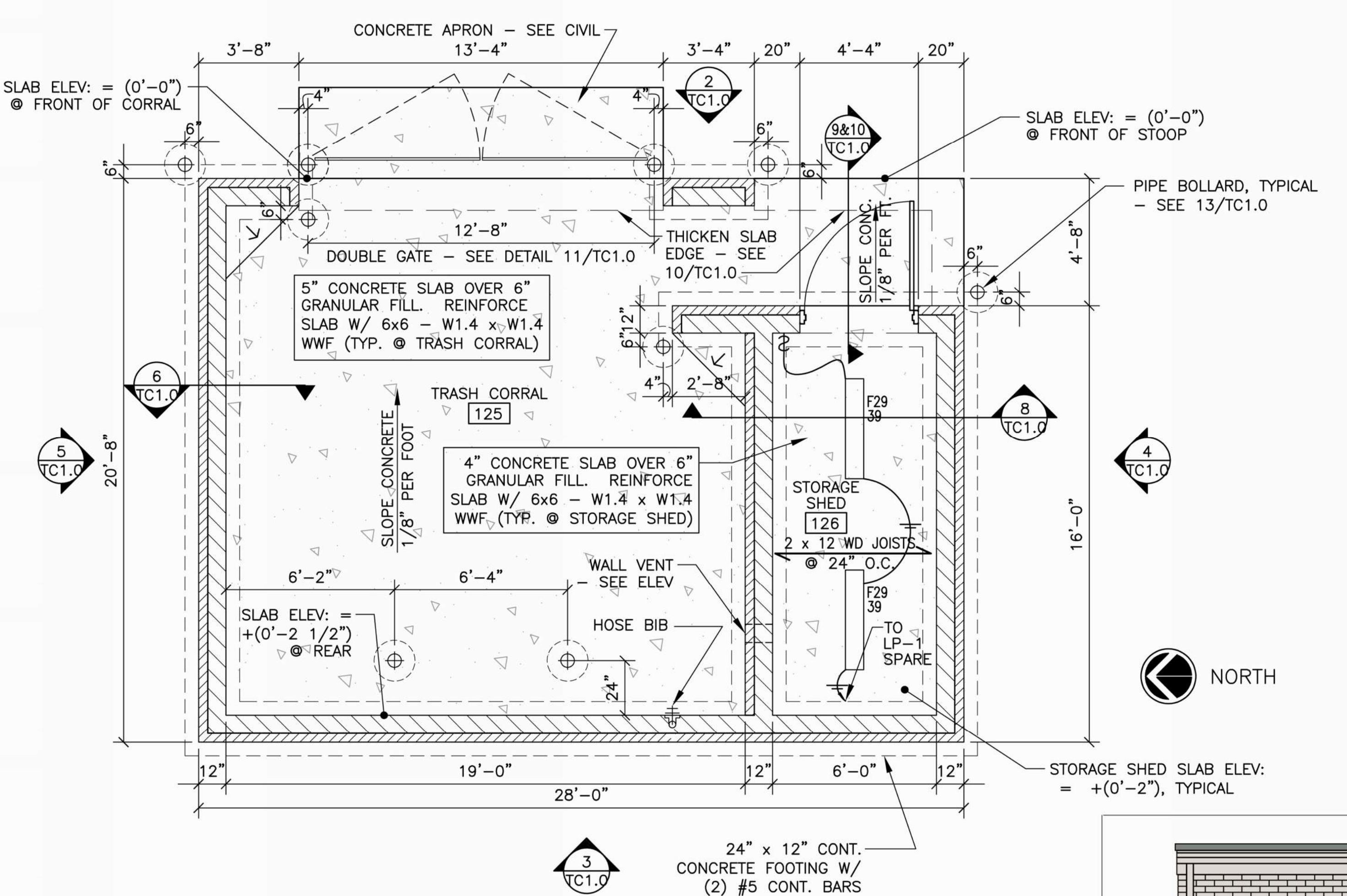
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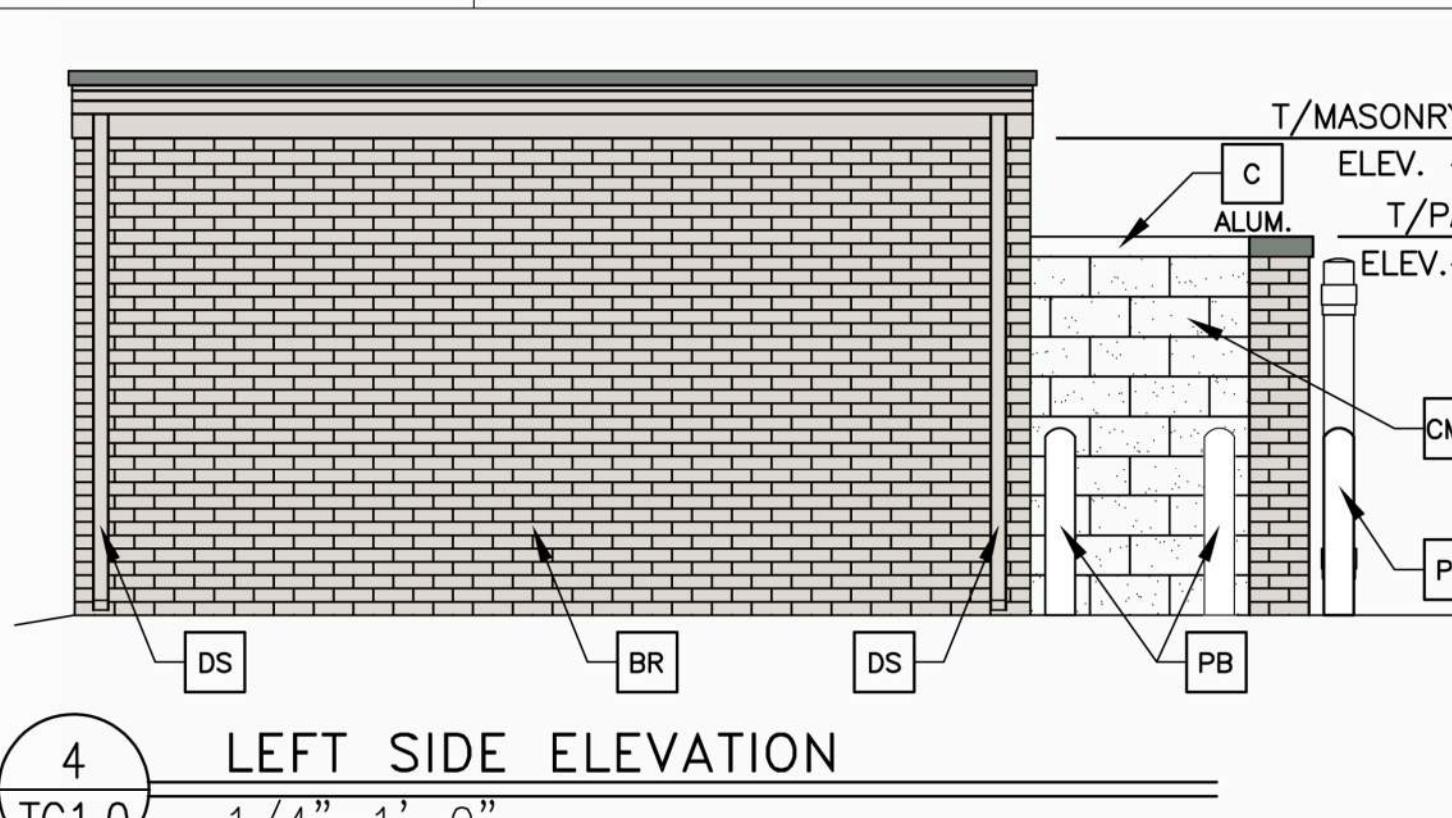


1 TRASH CORRAL PLAN W/ SHED

TC1.0 1/4"=1'-0"

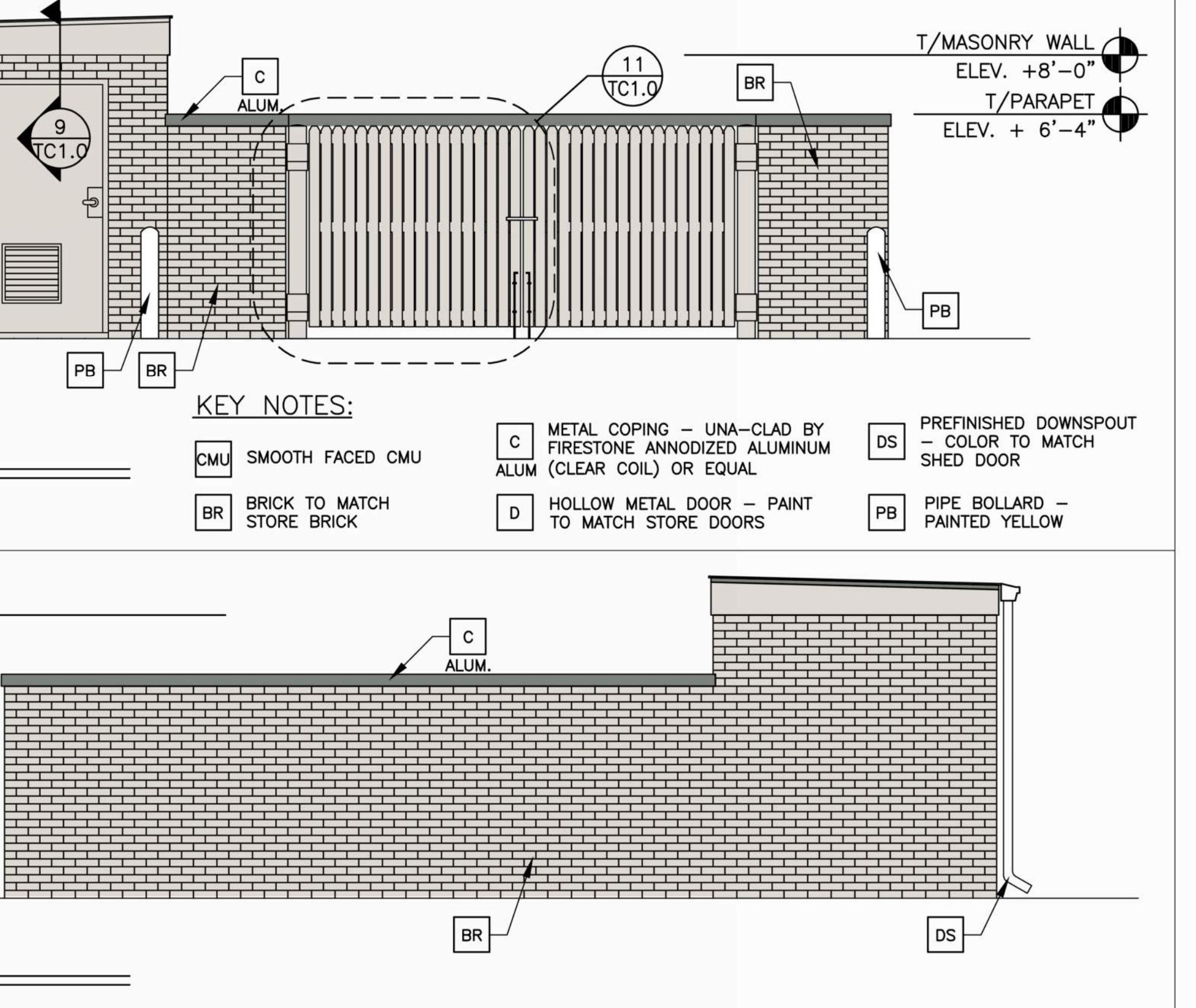
NOTE:

1. HOLLOW METAL DOOR SHALL BE 4'-0" x 7'-0" x 1 3/4" WITH FRAME, THRESHOLD, CONTINUOUS HINGE, LEVER HANDLE AND STOREROOM LOCKSET
2. LED INDUSTRIAL STRIP LIGHT FIXTURE SHALL BE FURNISHED. WIRE GUARD, 25 WATT LAMP, AND SURFACE MOUNT. COLUMBIA - LCL4-40LW-EDU



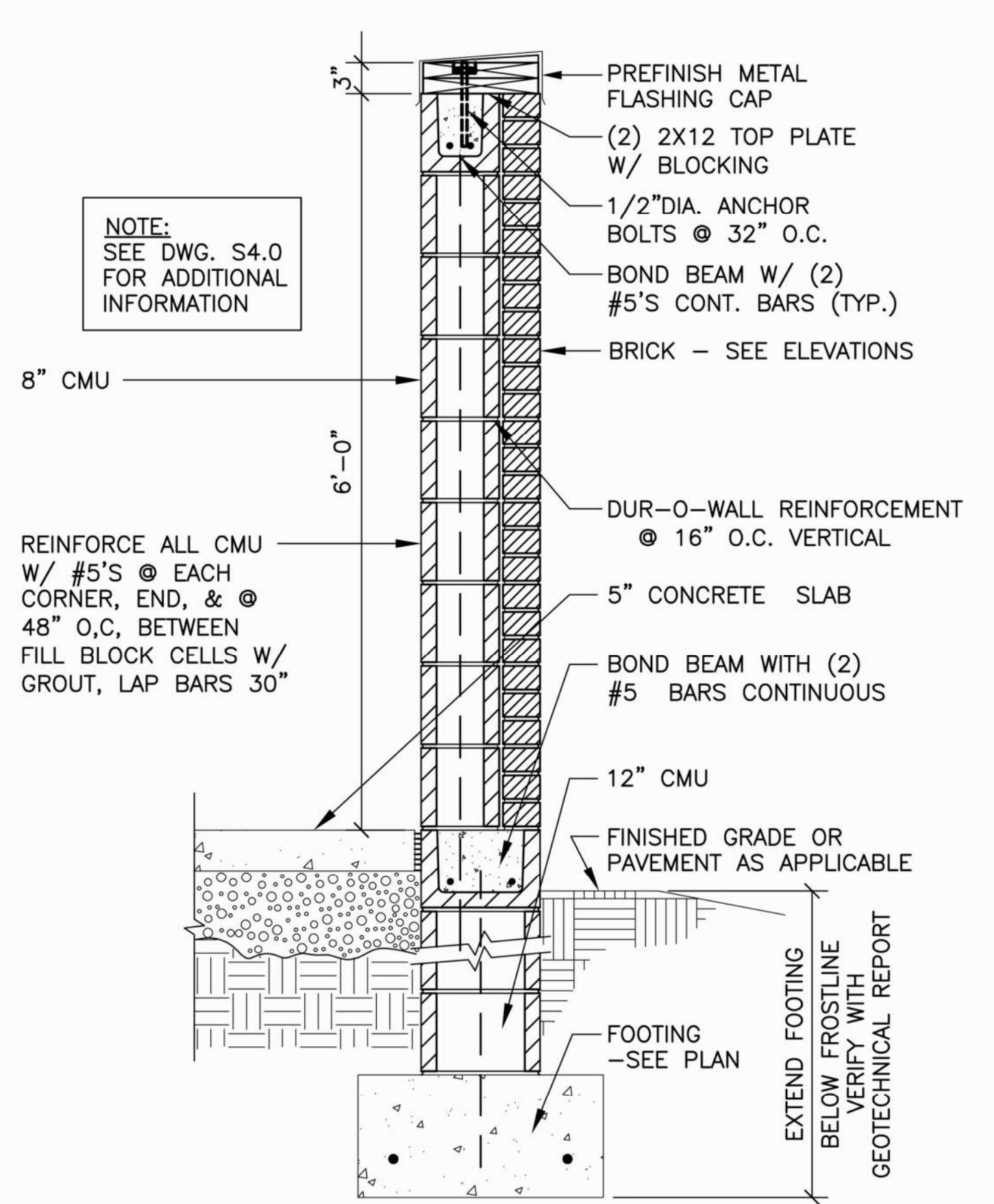
4 LEFT SIDE ELEVATION

TC1.0 1/4"=1'-0"

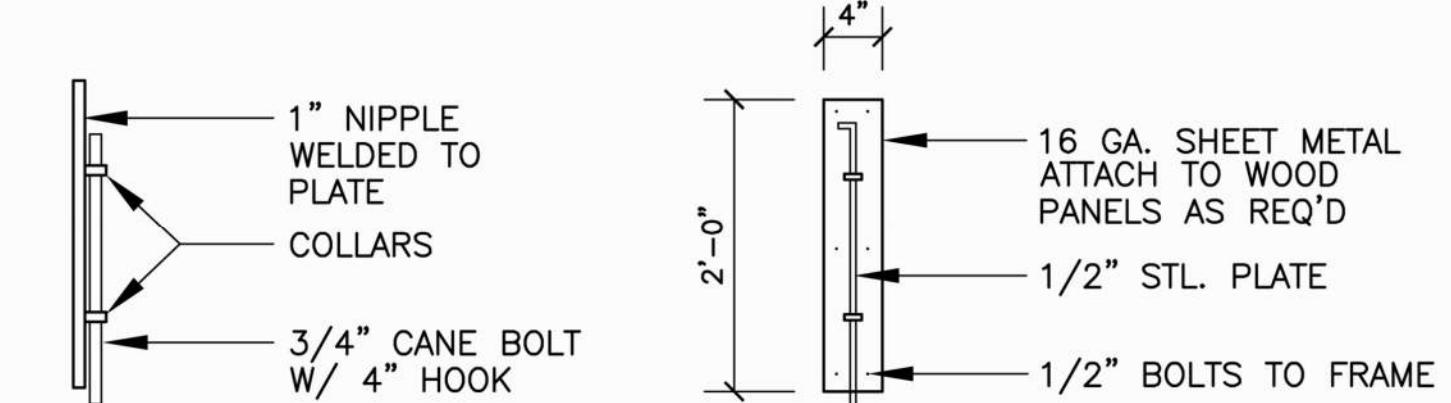


FRONT ELEVATION

REAR ELEVATION

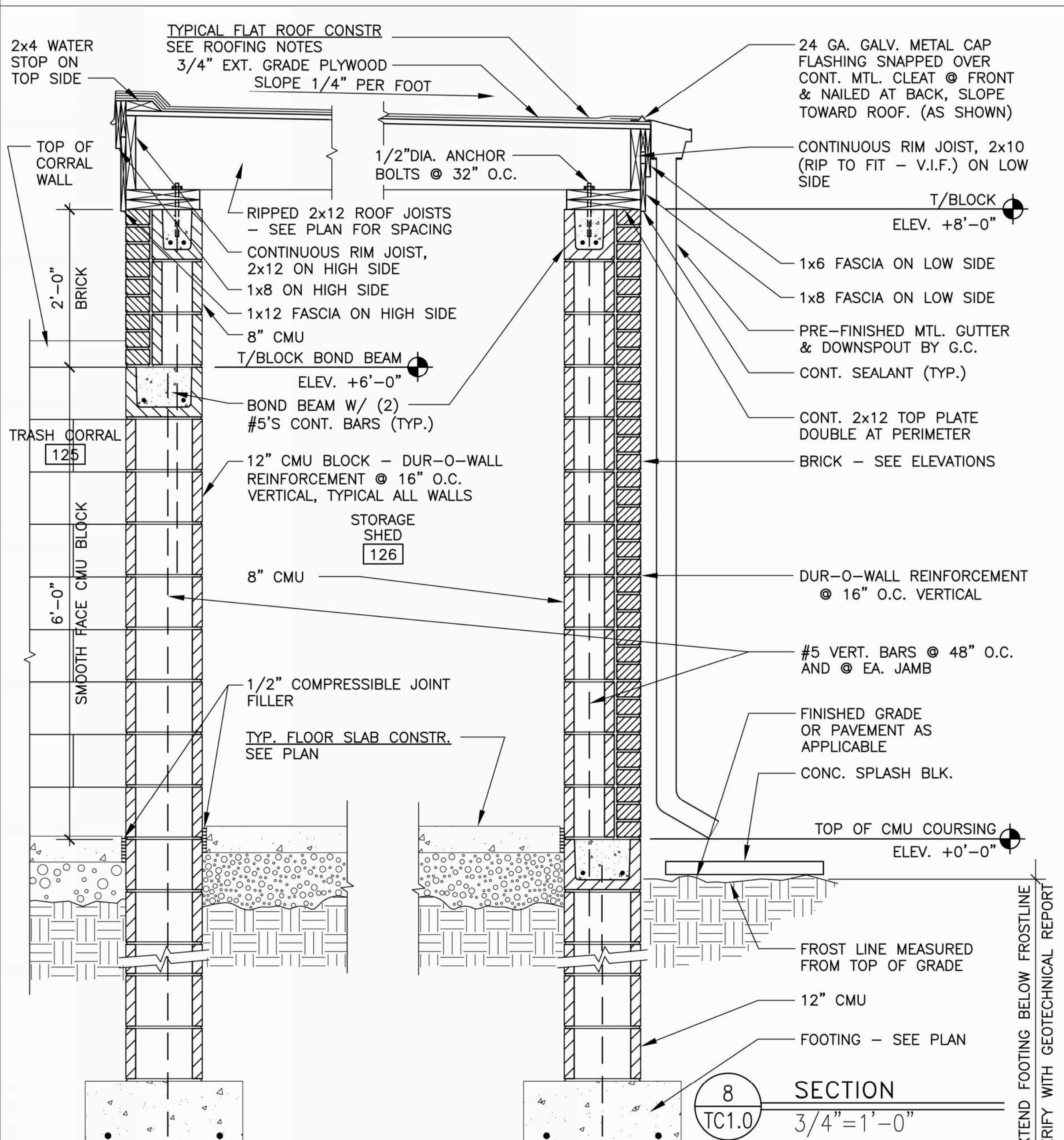


6 TYPICAL WALL SECTION



7 BOLT DETAILS

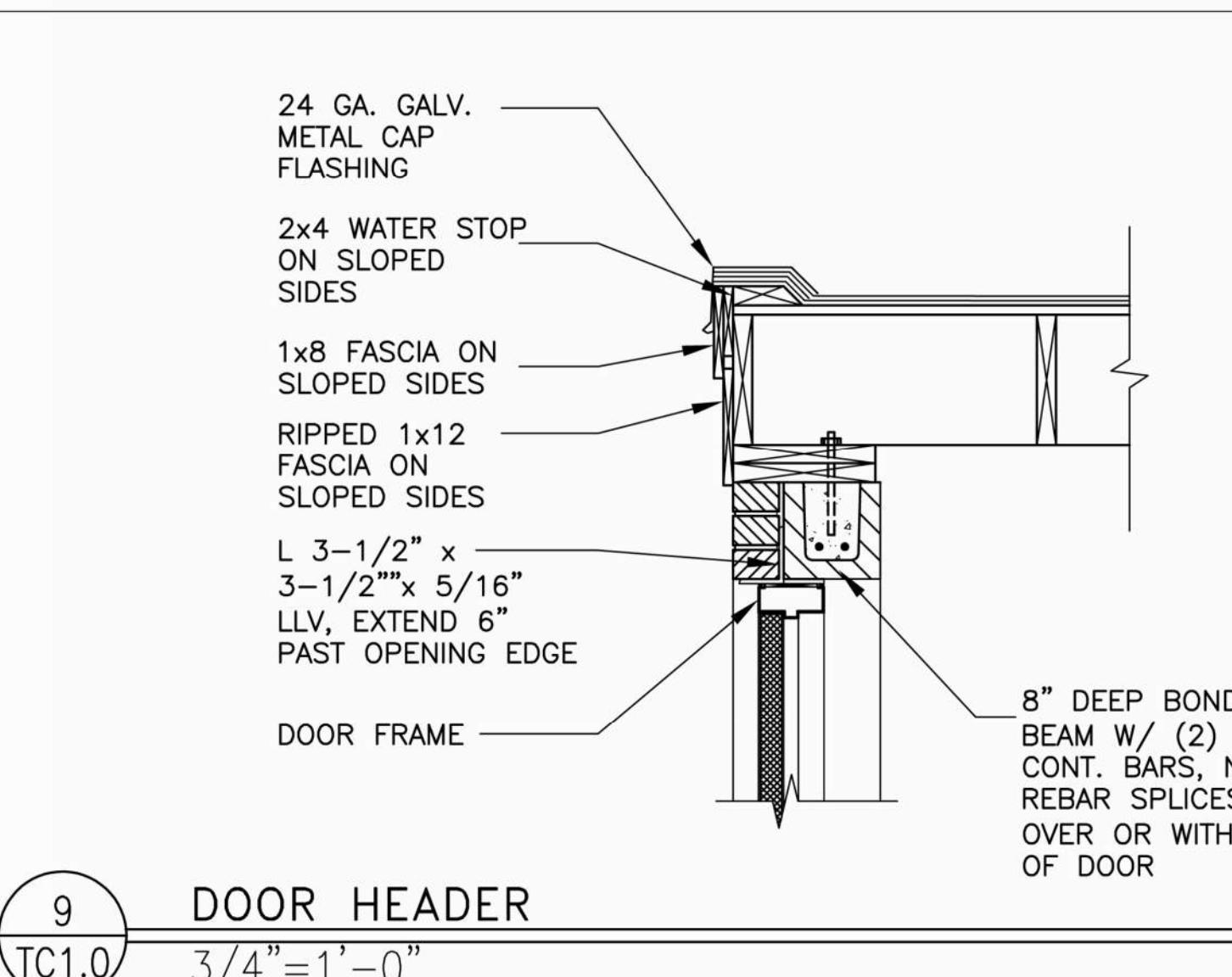
TC1.0 NOT TO SCALE



A diagram of a horizontal beam. At the left end, there is a triangular load with its peak at the center of the beam. The beam is supported by a fixed support at the left end and a roller support at the right end.

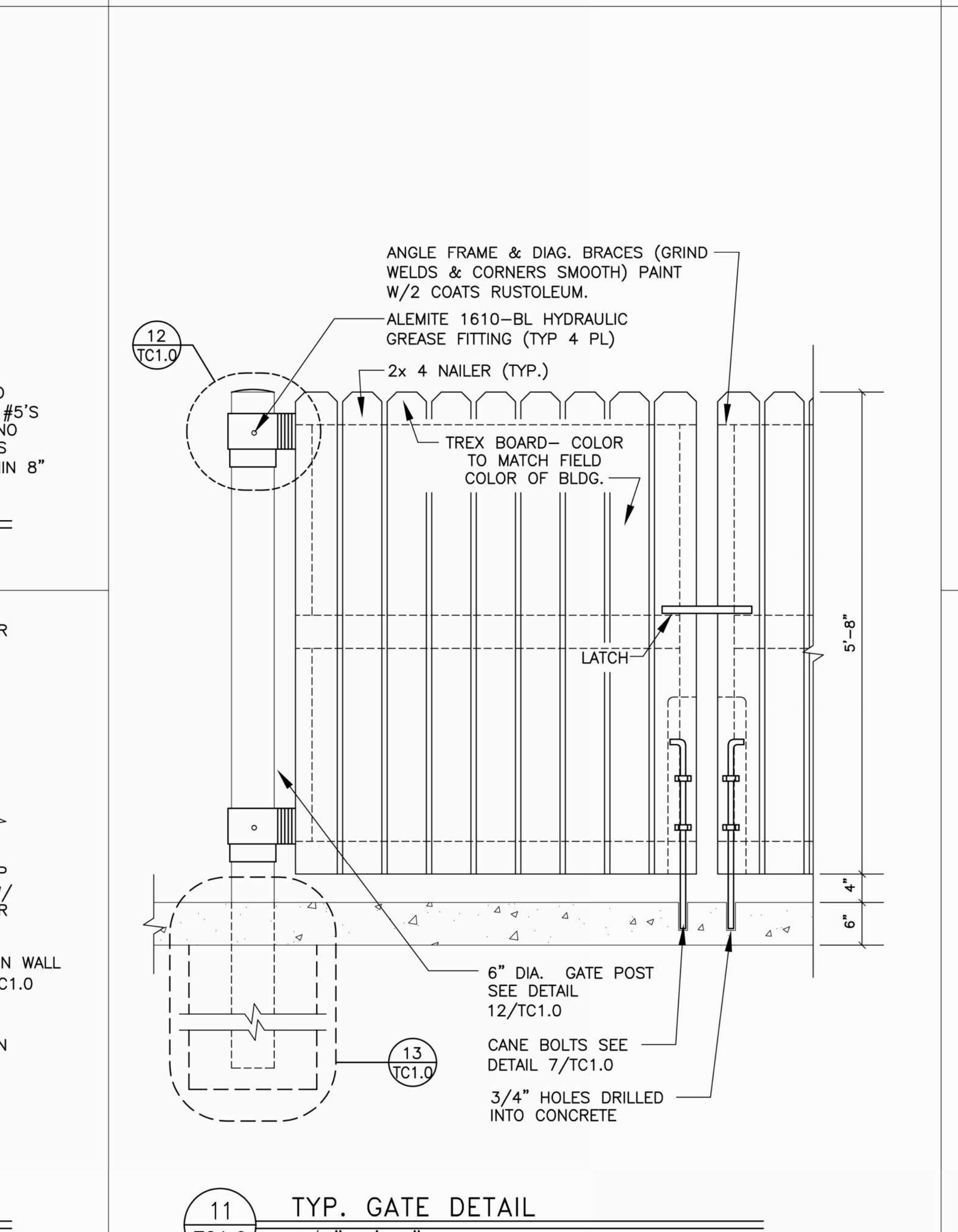
1. *Leucania* *luteola* (Hufnagel) (Fig. 1)

TC1.0 3/4"=1'-0"



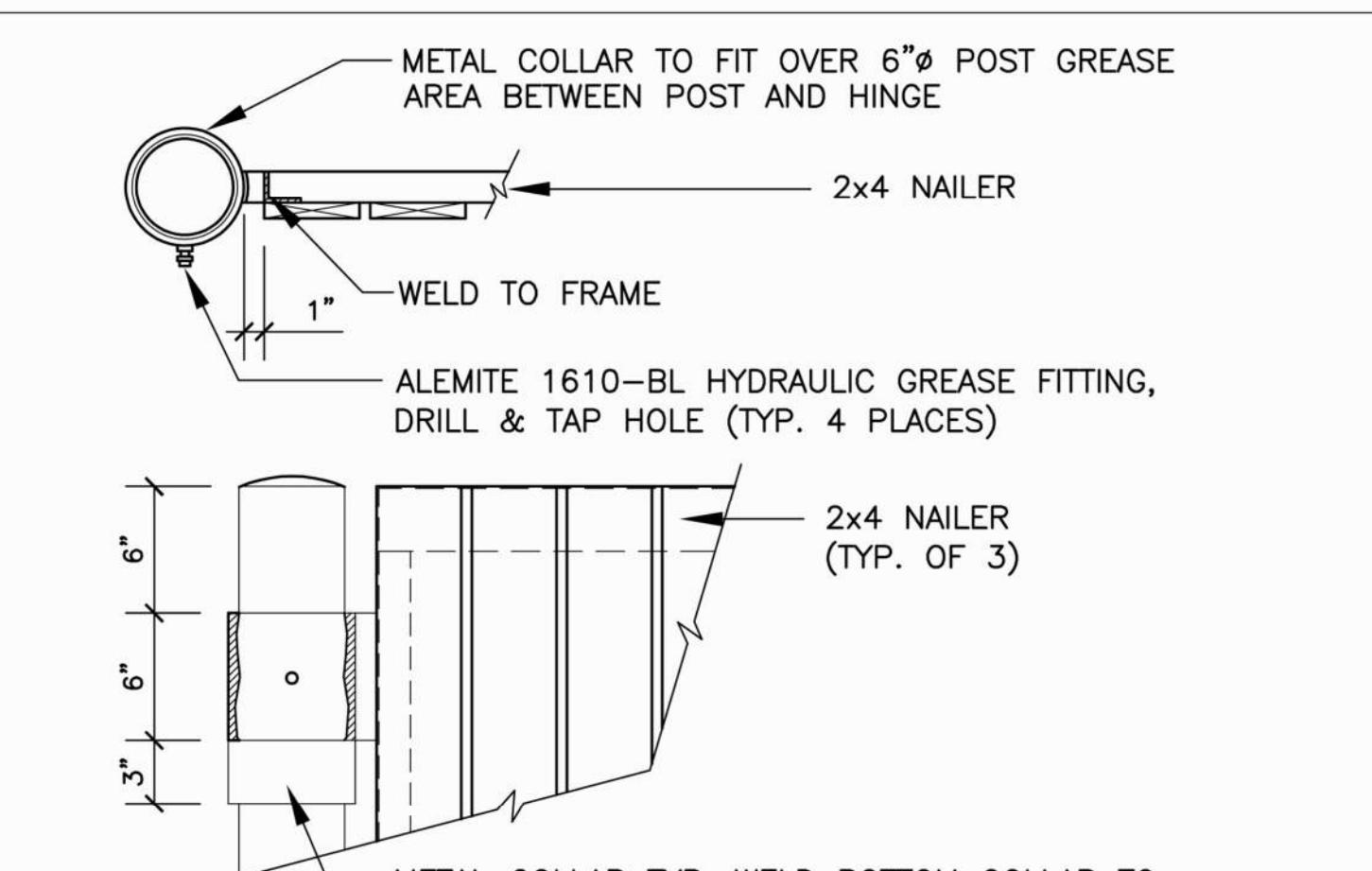
9 DOOR HEADER

TC1.0 3/4"=1'-0"



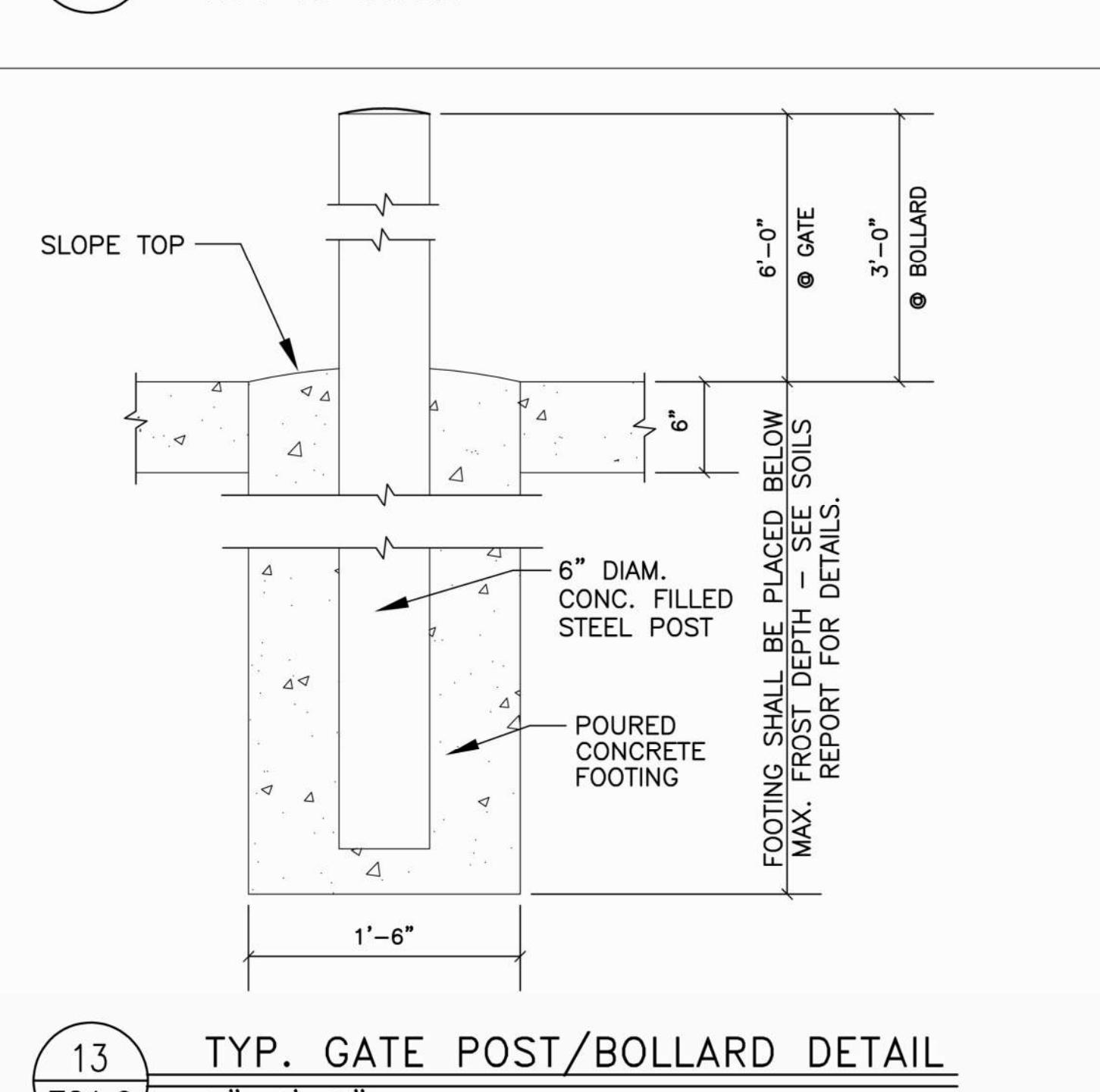
11 TYP. GATE DETAIL

TC1.0 1/2"=1'-0"



12 HINGE DETAILS

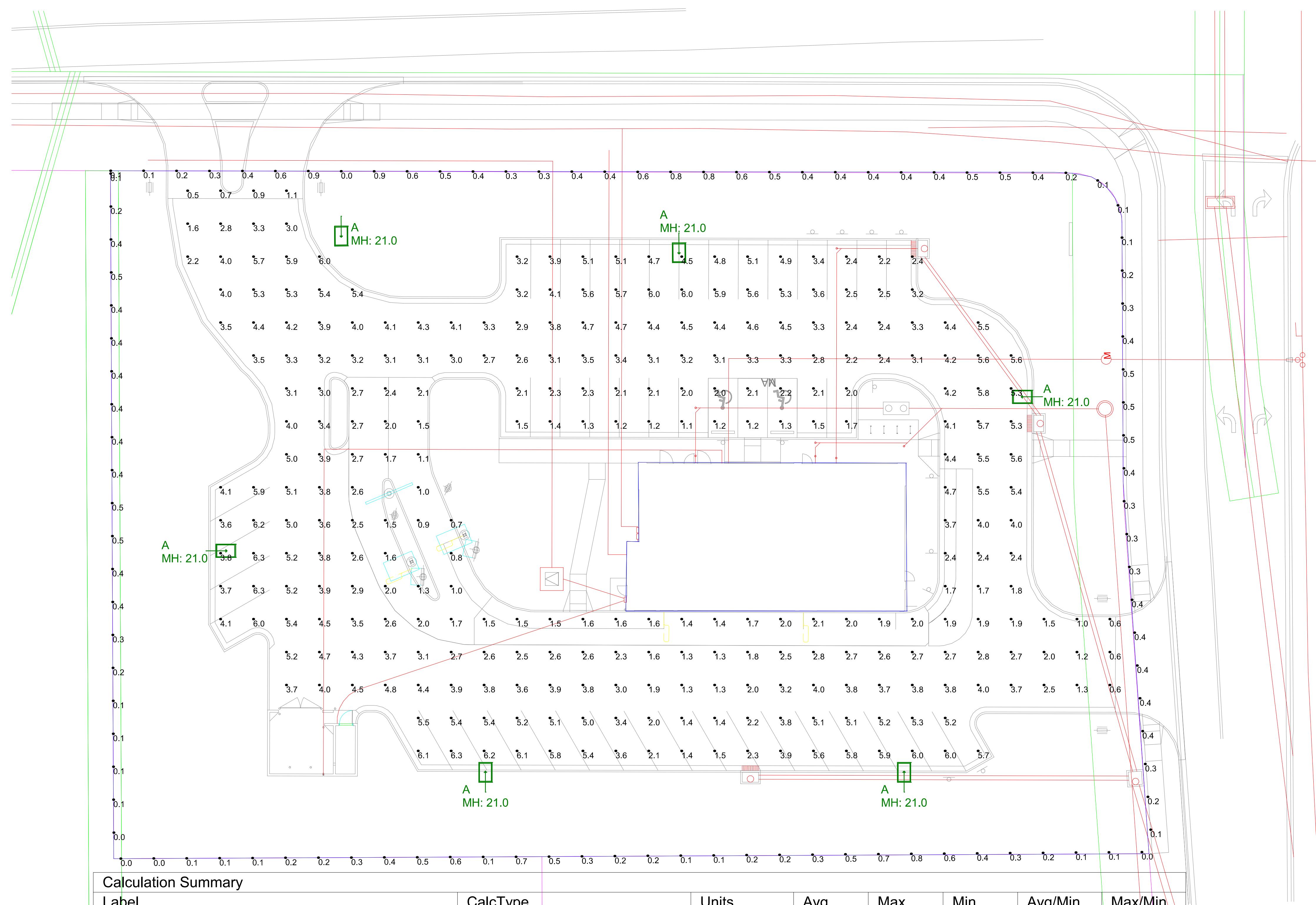
TC1.0 NOT TO SCALE



13 TYP. GATE POST/BOLLARD DETAIL

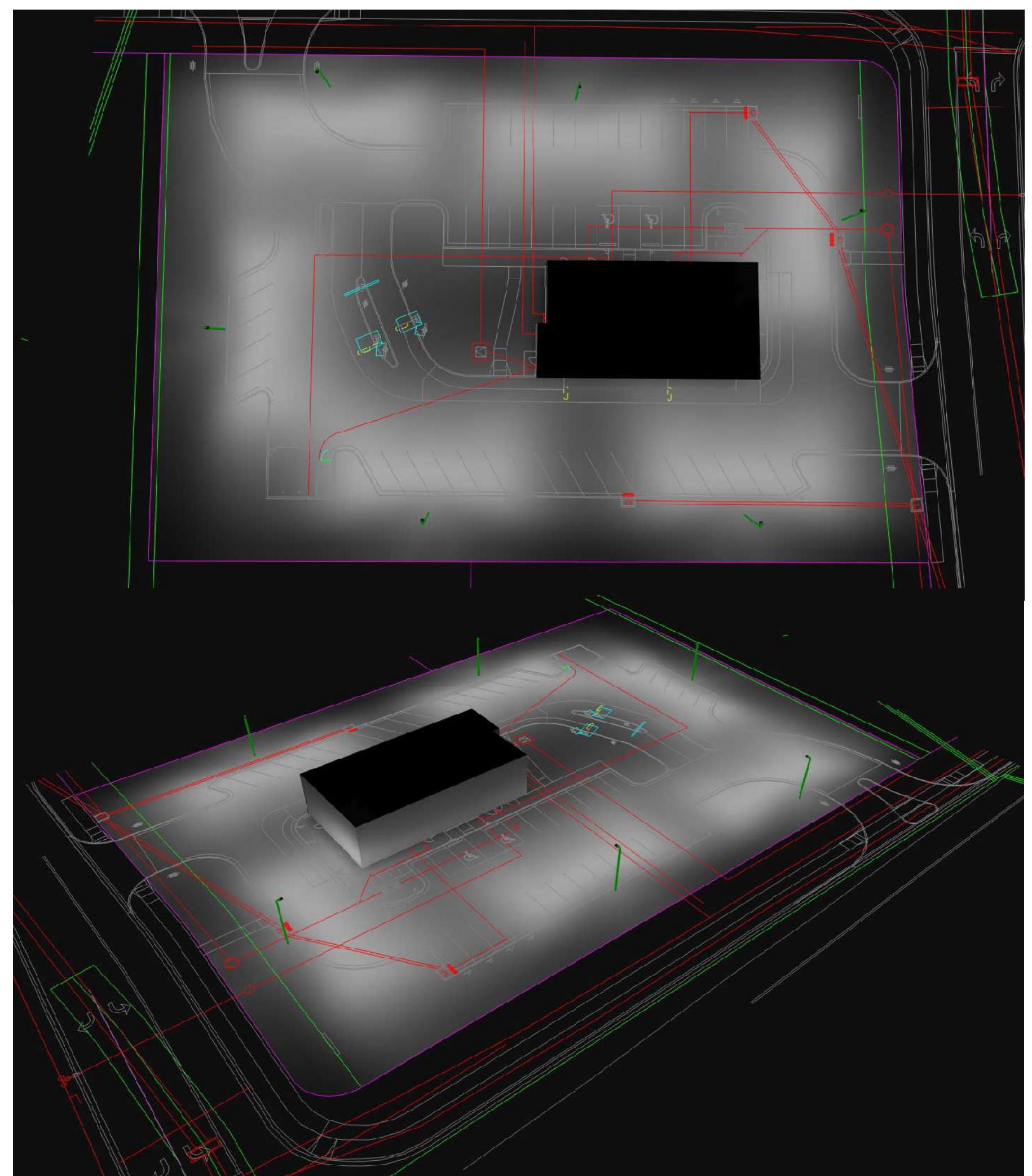
TC1.0 1"=1'-0"

NOTES:
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
2. DISTANCE BETWEEN READINGS 10'



Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
■	6	A	SINGLE	0.850	RAR2-480L-240-5K7-4W	226.9	0.607	21	SES-18-40-1-TA-GL-xx (4")



Pole Fixtures Are Full Cutoff
Tilt=0
Calculation Grids Are At Grade
Pole Light Mounting Height=21ft
(18' Pole + 3' Base)

PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
50 YEAR MEAN RECURRENCE INTERVAL
ALLOWED EPA 13.6 @ WIND LOAD 90 MPH



1"=20' 0"
DRAWN BY CLB
POINT-BY-POINT FOOTCANDLE PLOT FOR
MCDONALDS
8500 INDIANA AVE
KANSAS CITY, MO 64156
NATIONAL STORE NUMBER

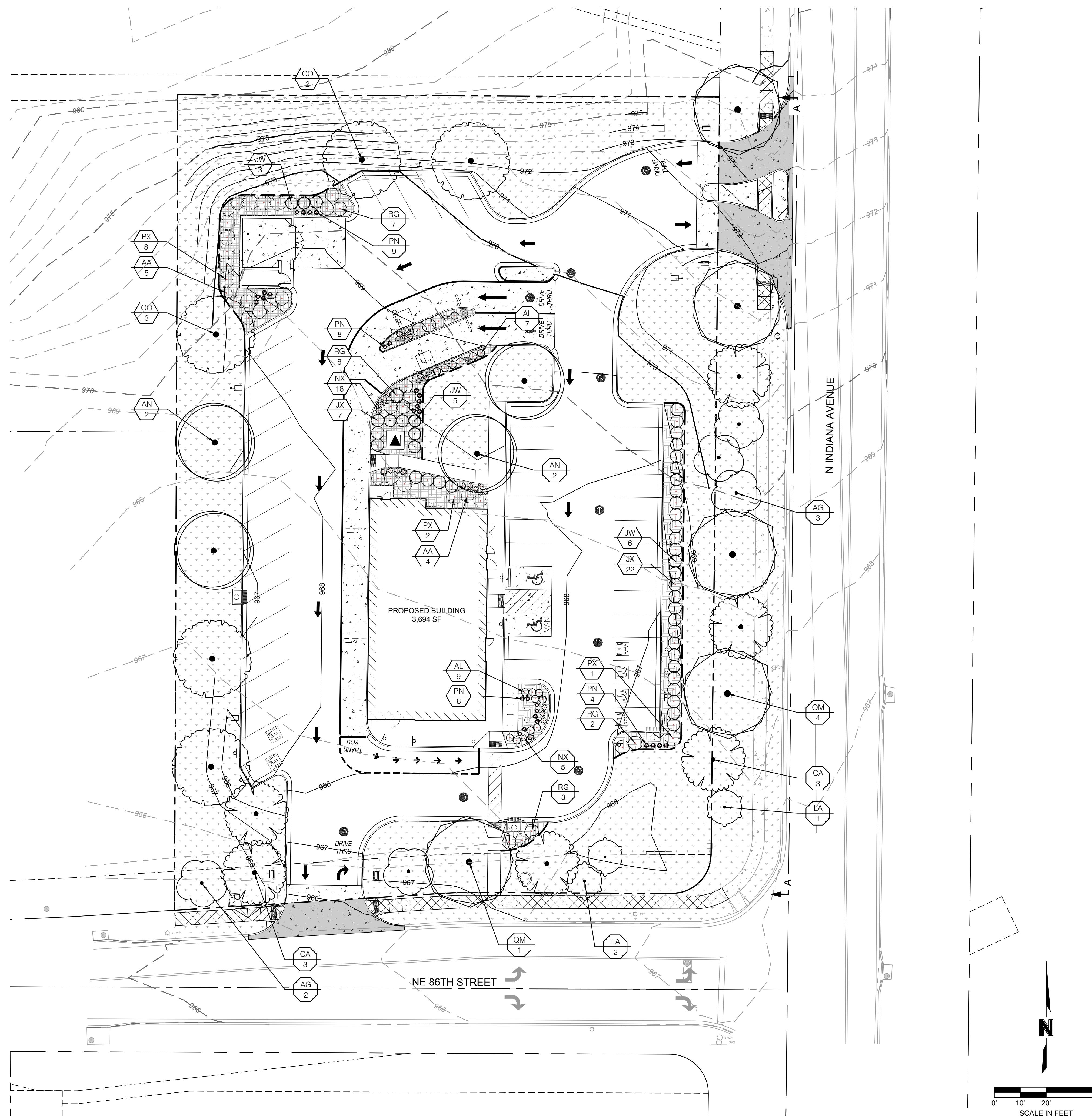
DATE 11/8/2024 DRAWING NUMBER A242477A.AGI

Regional Drawing
024-1306

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION PROVIDED BY OTHERS TO SECURE LIGHTING. THE DETAILS PROVIDED ARE NOT REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOADS, GROUND PENETRATION, ETC.) MUST BE DETERMINED AND COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS DRAWING IS USED AS A BASIS FOR DESIGN, CONSULT LOCAL ENERGY REQUIREMENTS. PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

THIS DRAWING MEETS OR EXCEEDS MCDONALDS CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

REVISIONS	DESCRIPTION	REV. NO.	DATE
			2024



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	QTY	SIZE	CAL
DECIDUOUS TREES					
●	AN	ACER SACCHARUM 'AUTUMN SPLENDOR' CADDY SUGAR MAPLE	4	B & B	2"
●	AG	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE APPLE SERVICEBERRY	5	B & B	2"
●	CA	CARPINUS CAROLINIANA AMERICAN HORNBEAM	6	B & B	2"
●	CO	CELTIS OCCIDENTALIS COMMON HACKBERRY	5	B & B	2"
●	LA	LIRIODENDRON TULIPIFERA 'ARNOLD' ARNOLD TULIP POPLAR	3	B & B	2"
●	QM	QUERCUS MUhlenbergii CHINKAPIN OAK	5	B & B	2"
EVERGREEN TREES					
●	JW	JUNIPERUS SCOPULORUM 'WICHITA BLUE' WICHITA BLUE JUNIPER	14	15 GAL	5-6' HT
SYMBOL					
SHRUBS					
●	JX	JUNIPERUS X 'GREY OWL' GREY OWL JUNIPER	29	5 GAL	
DECIDUOUS SHRUBS					
●	AA	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA' BRILLIANT RED CHokeBERRY	9	5 GAL	
●	AL	ARONIA MELANOCarpa GROUND HUG GROUND HUG ARONIA	16	3 GAL	
●	PX	PHILADELPHUS X 'ORSTPHILX1' SWAN LAKE® MOCK ORANGE	11	5 GAL	
●	RG	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	20	3 GAL	
GRASSES					
●	PN	PANICUM VIRGATUM 'NORTHWIND' NORTHWIND SWITCH GRASS	29	2 GAL	
PERENNIALS					
●	NX	NEPETA X FAASSENII 'CAT'S MEOW' CAT'S MEOW CATMINT	23	1 GAL	
SYMBOL					
GROUND COVERS					
■		TURF SOD DROUGHT TOLERANT FESCUE BLEND	30,339 SF		

LANDSCAPE REQUIREMENTS

- (1) STREET TREES: 1 TREE PER 30 LF OF STREET R/W
- (2) GENERAL LANDSCAPING TREES: 1 TREE PER 5,000 SF OF BUILDING FOOTPRINT
- (3A) PERIMETER LANDSCAPING TREES: 1 TREE PER 30 LF OF STREET FRONTRAGE
- (3B) PERIMETER LANDSCAPING BUFFER: 10' PLANTED BUFFER (MIN.) W/ 1 TREE PER 30 LF OF STREET FRONTRAGE
- (4A) INTERIOR LOT LANDSCAPE AREA: 35 SF OF LANDSCAPE PER PARKING SPACE
- (4B) INTERIOR LOT TREES: 1 TREE PER 5 PARKING SPACES
- (4C) INTERIOR LOT SHRUBS: 1 SHRUB PER PARKING SPACE

PUBLIC R/W STREET TREES (1)				
STREET NAME	LF	REQUIRED	EXISTING	PROVIDED
N INDIANA AVE	307	10.2	0	11
NE 86TH ST	207	6.9	0	7

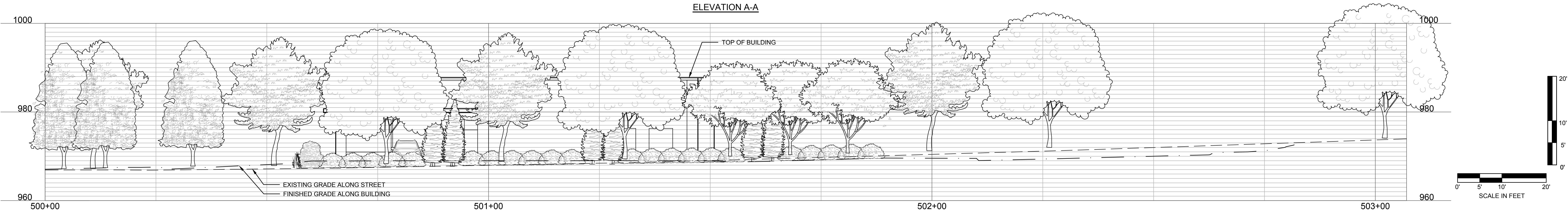
LANDSCAPE CALCULATIONS

BUILDING FOOTPRINT (SF)	PARKING SPACES	PARKING FRONTING R/W (LF)	(2) GENERAL		(3) PERIMETER ADJACENT TO R/W		(4) PARKING LOT INTERIOR LANDSCAPING			
			REQUIRED	0.7	LANDSCAPE TREES	(3A) TREES	(3B) LANDSCAPING	(3B) SCREENING	(4A) AREA (SF)	(4B) TREES
3,694	47	127	REQUIRED	0.7	4.2	10' MIN.	EVERGREEN SHRUBS	1,645	9.4	47
			PROVIDED	1	0 (SEE (1))	20' (TYP.)		1,645	10	50

GENERAL NOTES:

1. QUANTITIES LISTED IN THE PLANT LIST SCHEDULE ARE ESTIMATES ONLY. TREES, SHRUBS, AND GROUND COVER OF CONTRACT QUANTITIES SHALL BE THE NUMBER OF ITEMS SHOWN ON THE DRAWINGS.
2. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
3. ALL DISTURBED AREAS NOT OTHERWISE SPECIFIED WITH GROUNDCOVER ARE TO BE PLANTED WITH TALL FESCUE TURF SEED.
4. TREES, SHRUBS, AND PLANTING BEDS SHALL BE SURFACED WITH 2"-4" WASHED RIVER ROCK (ROCK MULCH).
5. ROCK MULCH PLANTING BEDS SHALL RECEIVE METAL EDGING WHERE ADJACENT TO TURF.
6. THE LANDSCAPE CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS FOR ANY AND ALL EXISTING AND/OR PROPOSED UTILITIES. IF THERE ARE ANY DISCREPANCIES, CONFLICTS, AND/OR DEVIATIONS BETWEEN THE LANDSCAPE DRAWINGS AND THE EXISTING OR PROPOSED CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
7. FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK.
8. PLANTING BEDS SHALL BE DRIP IRRIGATED. TURF AREAS SHALL BE IRRIGATED WITH POP-UP SPRAYERS. REFER TO IRRIGATION SPECIFICATIONS.

ELEVATION A-A



LANDSCAPE PLAN
MAJOR AMENDMENT TO DEVELOPMENT PLAN
McDONALD'S RESTAURANT
N. INDIANA AVENUE & NE 86TH STREET

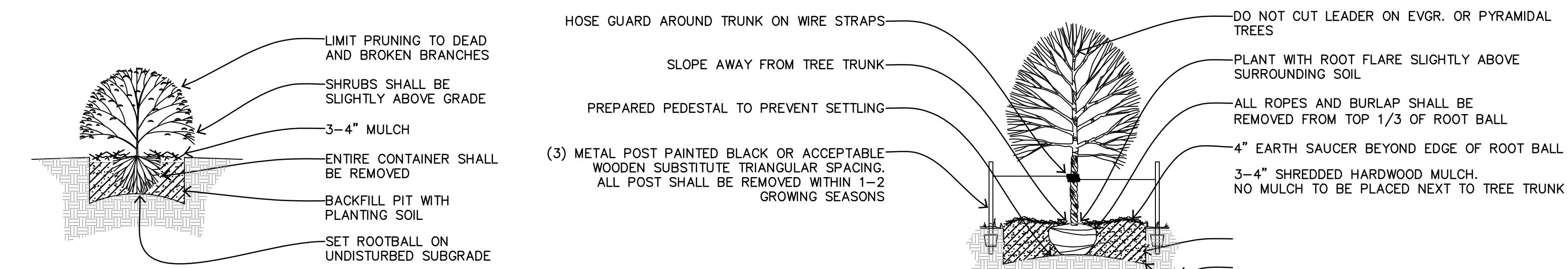
KANSAS CITY, MISSOURI
SHEET L100
drawn by: JDM
designed by: JDM
project no: 023-09520
date: 11.11.24

BY		

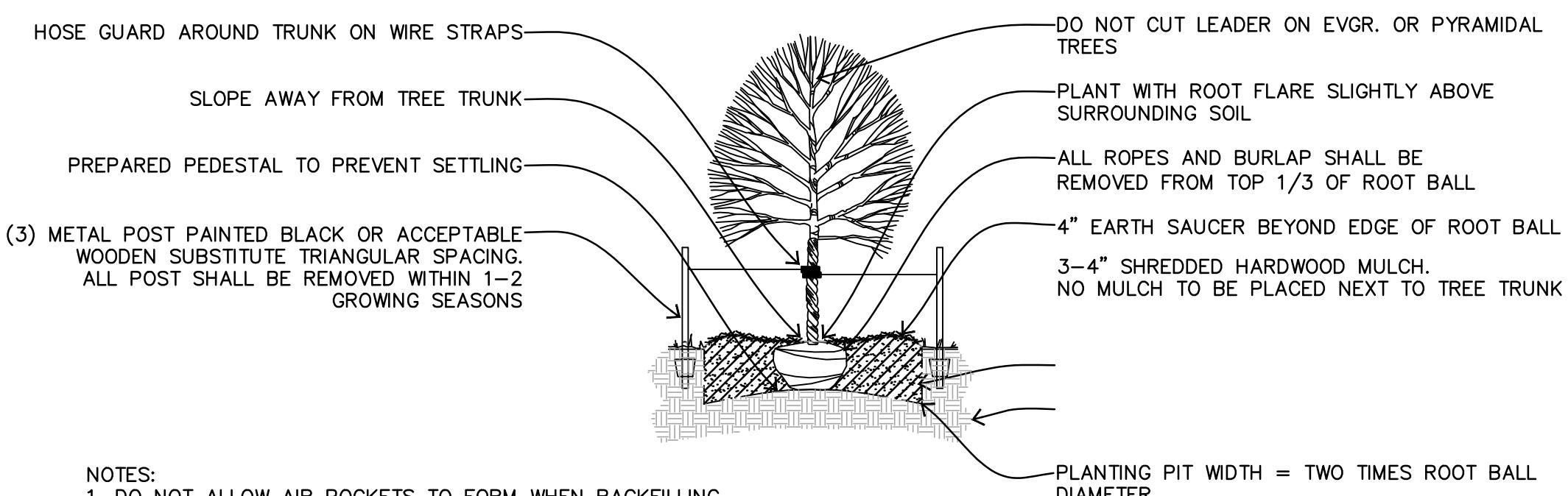
DESCRIPTION

REV. NO.	DATE

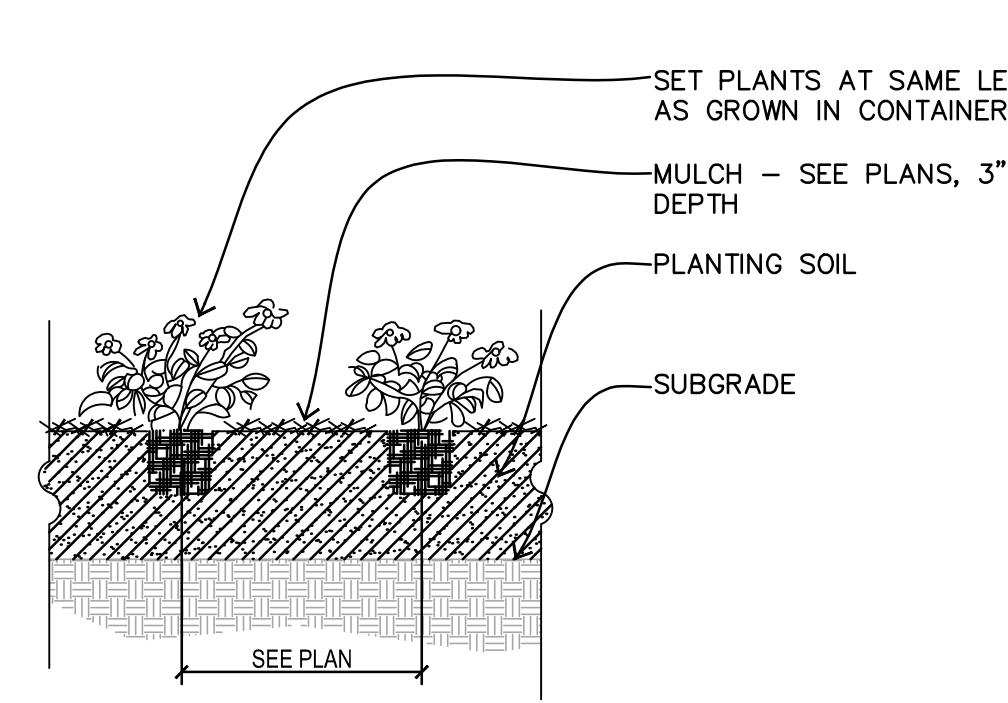
2024



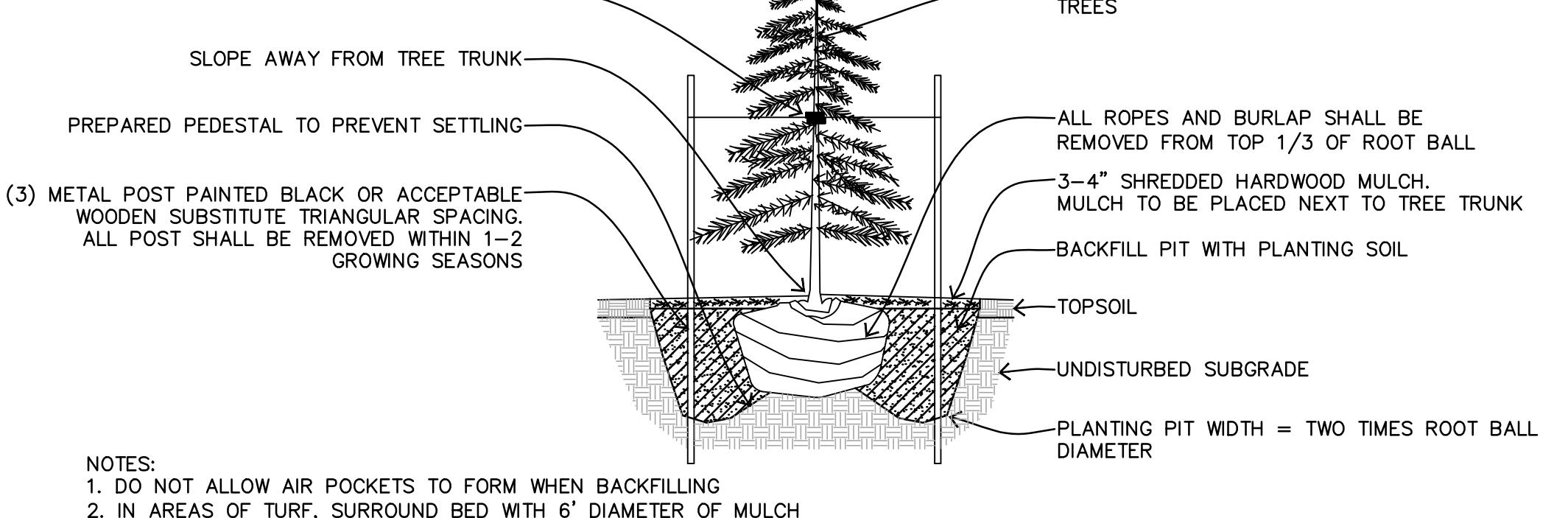
1 SHRUB PLANTING
N.T.S.



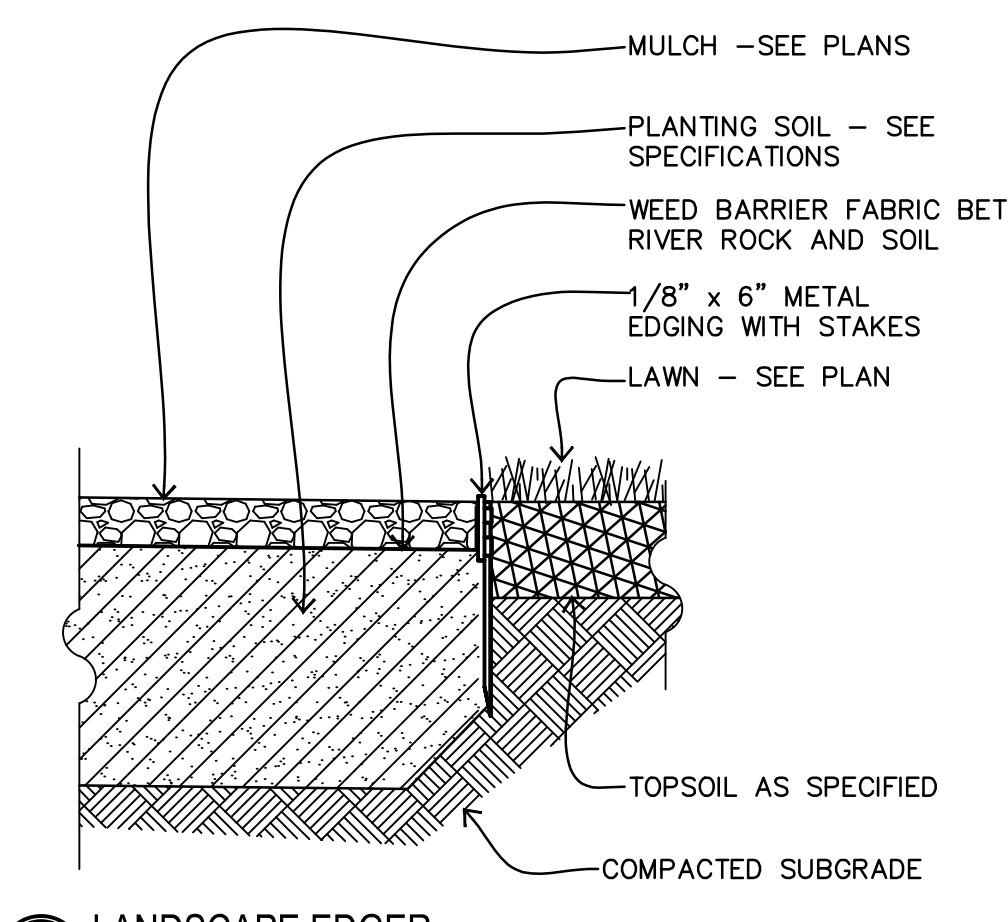
2 DECIDUOUS TREE PLANTING
N.T.S.



3 PERENNIAL & GROUNDCOVER PLANTING
N.T.S.



4 EVERGREEN TREE PLANTING
N.T.S.



5 LANDSCAPE EDGER
N.T.S.

PLANTING NOTES:

1. PROVIDE PLANTING SITES TO SPECIES AND VARIETY AND OTHER FEATURES INDICATED IN THE PLANT SCHEDULE AND COMPLYING WITH ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK." NOMENCLATURE TO COMPLY WITH "NATIONAL LIST OF SCIENTIFIC PLANT NAMES."
2. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER DURING AND AFTER INSTALLATION. ALL REJECTED PLANT MATERIAL TO BE PROMPTLY REMOVED FROM THE SITE.
3. CONTRACTOR RESPONSIBLE FOR TOTAL AND CONFIRM ALL PLANT MATERIAL QUANTITIES, NAMED AND QUANTITY. PLANT LIST GOVERN OVER PLANT LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.
4. CONTRACTOR IS SPECIFICALLY ADVISED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
5. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. CONTRACTOR IS RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
6. PROVIDE PLANT SIZES, GRADES, AND BALL OR CONTAINER SIZES INDICATED WITH ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" FOR TYPES AND FORM OF PLANTS REQUIRED.
7. LANDSCAPE CONTRACTOR RESPONSIBLE FOR REPAIRING OR REPLACING ACCESSORIES THAT FAIL IN MATERIALS OR WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
8. LANDSCAPE CONTRACTOR TO REPLACE PLANTINGS THAT DIE, TURN BROWN, OR DETERIORATE DUE TO DISEASE, INSECTS, OR OTHER CAUSES. SUBSTANTIAL COMPLETION REMOVE REJECTED MATERIAL FROM THE SITE PROMPTLY AND REPLACE WITH MATERIAL OF THE SAME QUANTITY, SPECIES, AND SIZE IN ACCORDANCE WITH THE PLANT LIST SPECIFICATIONS.
9. THE LANDSCAPE CONTRACTOR TO COMPLETELY WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR TO PROMPTLY MAKE ALL REPAIRS BEFORE OR AT THE END OF THE WARRANTY PERIOD AS DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER.
10. UNLESS OTHERWISE NOTED, ALL STAKING AND GUING MATERIALS ARE TO BE REMOVED FROM PLANT MATERIALS BY THE LANDSCAPE CONTRACTOR WITHIN 120 DAYS AFTER THE DATE OF PLANTING COMPLETION.
11. CONTRACTOR SHALL NOT LOCATE IRRIGATION EQUIPMENT WITHIN ROADWAY, R.O.W. UNDER AND CIRCUMSTANTIAL CONDITIONS, OR IN THE EXISTING IRRIGATION SYSTEM, AND MAKE ALL NECESSARY MODIFICATIONS TO THE SYSTEM TO PROVIDE WATER FOR NEW AND EXISTING PLANTS.
12. GENERAL CONTRACTOR IS RESPONSIBLE FOR BACKFILLING TO WITHIN 0.2 FEET OF THE GRADE SHOWN ON THE GRADING PLAN. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINAL DISTRIBUTION OF TOPSOIL & PREPARATION FOR PLANTING WITH FRIABLE, NATURAL TOPSOIL TYPICAL OF THE REGION. TOPSOIL TO BE FREE OF WEEDS AND FOREIGN MATERIAL. DO NOT USE MULCH.

SOIL SPECIFICATIONS:

ORGANIC COMPOST: WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE. IT SHALL BE DERIVED FROM AGRICULTURE, FOOD, OR INDUSTRIAL RESIDUALS: BIOSOLIDS (TREATED SEWAGE SLUDGE); YARD TRIMMINGS AND LEAF RAKINGS; SOURCE-SEPARATED OR MIXED SOLID WASTE MEETING THE FOLLOWING CRITERIA:

1. 100 PERCENT SHALL PASS THROUGH A 3/8 INCH SCREEN.
2. PH OF 6.5 TO 8.5.
3. MOISTURE CONTENT OF 30% TO 60% BY WEIGHT.
4. NO SUBSTANCES TOXIC TO PLANTS.
5. 1% OR LESS BY WEIGHT MANUFACTURED FOREIGN MATTER.
6. NO OBJECTIONABLE ODOR.
7. SHALL NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT DERIVED.

PLANTING SOIL: A UNIFORM MIX OF, FREE OF PLANT RESIDUE, STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 1 INCH, MIXTURE OF TOPSOIL, ORGANIC COMPOST AND SAND CONSISTING OF THE FOLLOWING:

1. 33% BY VOLUME ORGANIC COMPOST
2. 33% BY VOLUME TOPSOIL
3. 33% BY VOLUME SAND

TOPSOIL: SOIL CLASSIFICATION OF SANDY LOAM OR LOAMY SAND MEETING THE FOLLOWING CRITERIA:

1. 10 TO 20 PERCENT BY WEIGHT SAND (2.0 TO 0.05MM) ACCORDING TO AASHTO T88.
2. 5 TO 10 PERCENT BY WEIGHT SILT (.050 TO 0.002MM) ACCORDING TO AASHTO T88.
3. 2 TO 5 PERCENT BY WEIGHT CLAY (LESS THAN 0.002MM) ACCORDING TO AASHTO T88.
4. 3 TO 10 PERCENT BY WEIGHT ORGANIC MATTER ACCORDING TO AASHTO T194.

5. TEXTURAL ANALYSIS:

- A. MINIMUM 100% BY WEIGHT PASSING THE 2" SIEVE PER ASTM E11.
- B. MINIMUM 90% BY WEIGHT PASSING THE NO. 4 PER ASTM E11.
- C. MINIMUM 80% BY WEIGHT PASSING THE NO. 10 SIEVE PER ASTM E11.

SOD NOTES:

1. ALL DISTURBED AREAS SHALL BE SODDED WITH TURFGRASS SOD: NUMBER 1 QUALITY/PREMIUM, INCLUDING LIMITATIONS ON THATCH, WEEDS, DISEASES, NEMATOCES, AND INSECTS, COMPLYING WITH TRP'S "SPECIFICATIONS FOR TURFGRASS SOD MATERIALS" IN ITS "GUIDELINE SPECIFICATIONS TO TURFGRASS SODDING." TURFGRASS SPECIES: SEE PLANT SCHEDULE.
2. ALL LAWN AREAS SHALL RECEIVE A MINIMUM 6-INCH DEPTH OF TOPSOIL COMPAKTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
3. THE ENTIRE SURFACE TO BE SODDED SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
4. SOD SHALL BE MACHINE STRIPPED AT A UNIFORM SOIL THICKNESS OF APPROXIMATELY ONE INCH (PLUS OR MINUS 1/4-INCH). THE MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, AND SHALL BE DETERMINED AT THE TIME OF CUTTING OR FIELD. PRECAUTIONS SHALL BE TAKEN TO PREVENT DRYING AND HEATING. SOD DAMAGED BY HEAT AND DRY CONDITIONS, AND SOD CUT MORE THAN 18 HOURS BEFORE BEING INCORPORATED INTO THE WORK SHALL NOT BE USED.
5. HANDLING OF SOD SHALL BE DONE IN A MANNER THAT WILL PREVENT TEARING, BREAKING, DRYING AND OTHER DAMAGE. PROTECT EXPOSED ROOTS FROM DEHYDRATION. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITH 24 HOURS.
6. MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE INSTALLING SOD. FERTILIZE, HARROW OR RAKE FERTILIZER IN THE TOP 1-1/2-INCHES OF TOPSOIL, AT A UNIFORM RATE OF ONE POUND OF NITROGEN PER 100 S.F.
7. SOD SHALL BE CAREFULLY PLACED IN THE DIRECTION PARALLEL WITH THE SLOPE OF THE AREA TO BE SODDED. SOD STRIPS SHALL BE BUTTED TOGETHER BUT NOT OVERLAPPED WITH THE SEAMS STAGGERED ON EACH ROW.
8. FERTILIZER SHALL BE 20-10-5 COMMERCIAL FERTILIZER OF THE GRADE, TYPE, AND FORM SPECIFIED AND SHALL COMPLY WITH THE RULES OF THE STATE OF IOWA DEPARTMENT OF AGRICULTURE. FERTILIZER SHALL BE IDENTIFIED ACCORDING TO THE PERCENT N, P, K, IN THAT ORDER.
9. ALL SOD ON SLOPES GREATER THAN 5:1 AND WITHIN DETENTION AREAS SHALL BE STAKED.
10. SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF FOUR INCHES BELOW SOD.

LANDSCAPE DETAILS
MAJOR AMENDMENT TO DEVELOPMENT PLAN

McDONALD'S RESTAURANT
N. INDIANA AVENUE & NE 86TH STREET

KANSAS CITY, MISSOURI



CITY OF
KANSAS CITY,
MISSOURI

CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

Meeting Sign-In Sheet

Project Name and Address
