

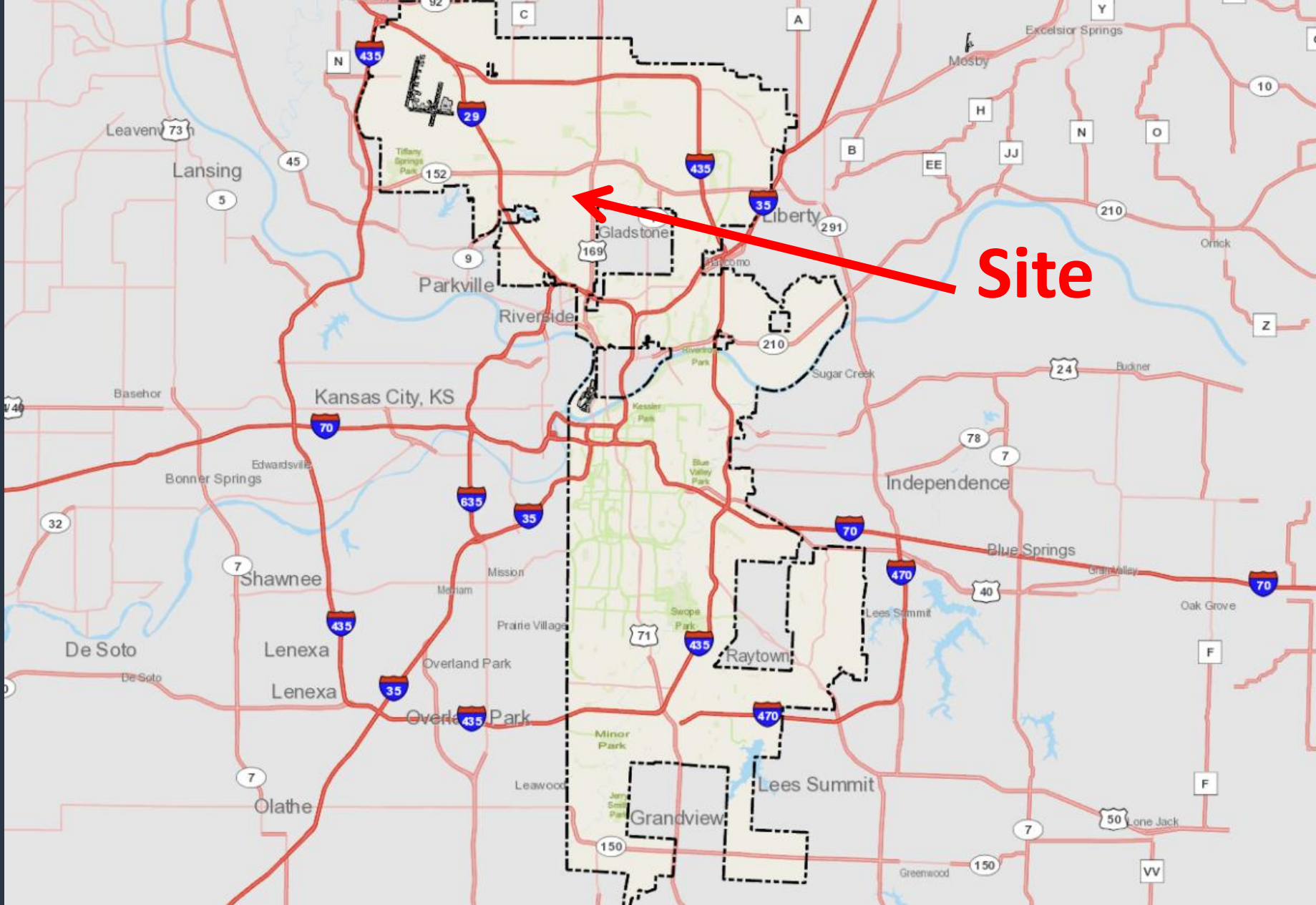
**Docket #10**

**Case No. CD-CPC-2022-00162**

**Development Plan - Residential**

**Viva Bene Residential Community– 1801 NW Barry Rd**



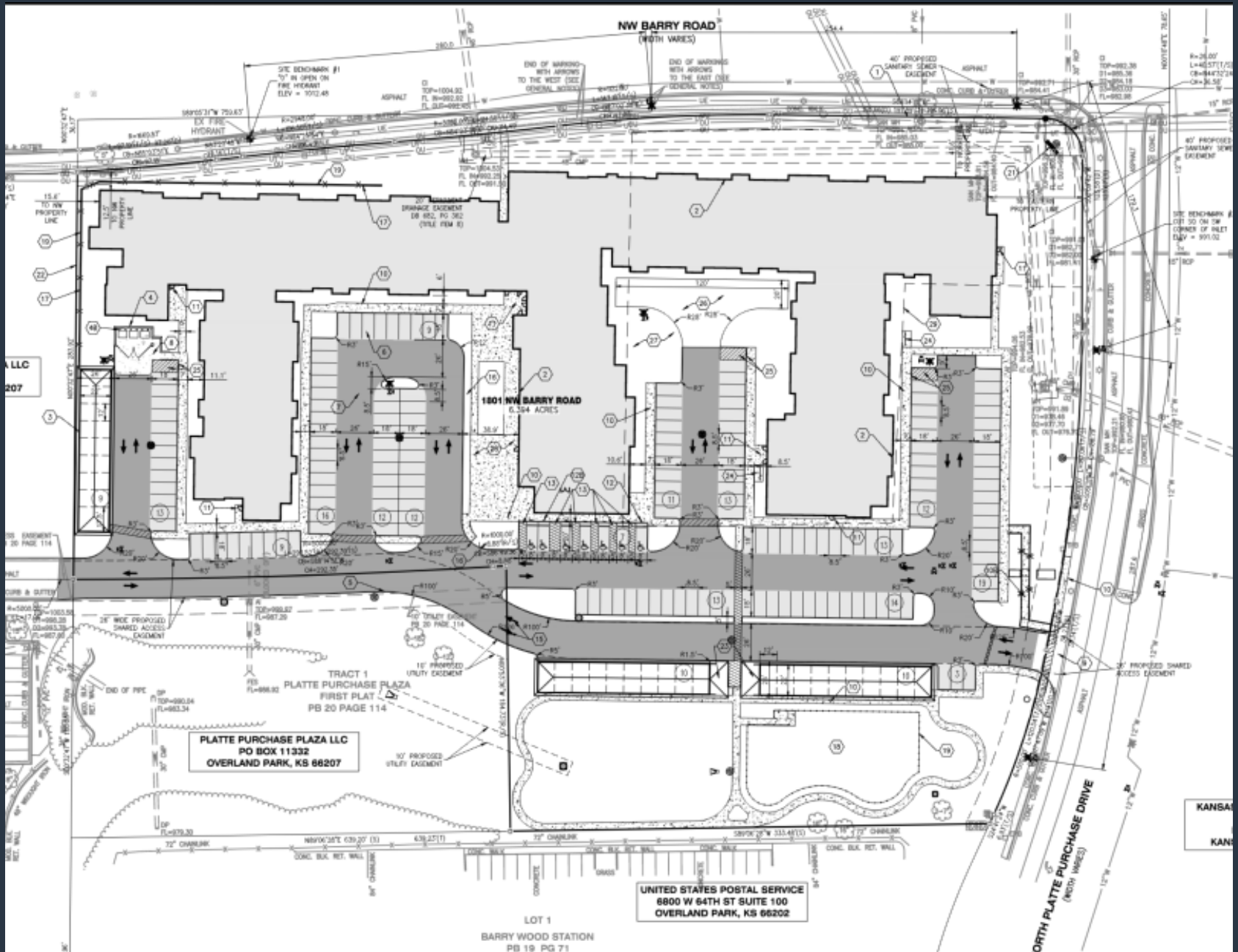


**Site**

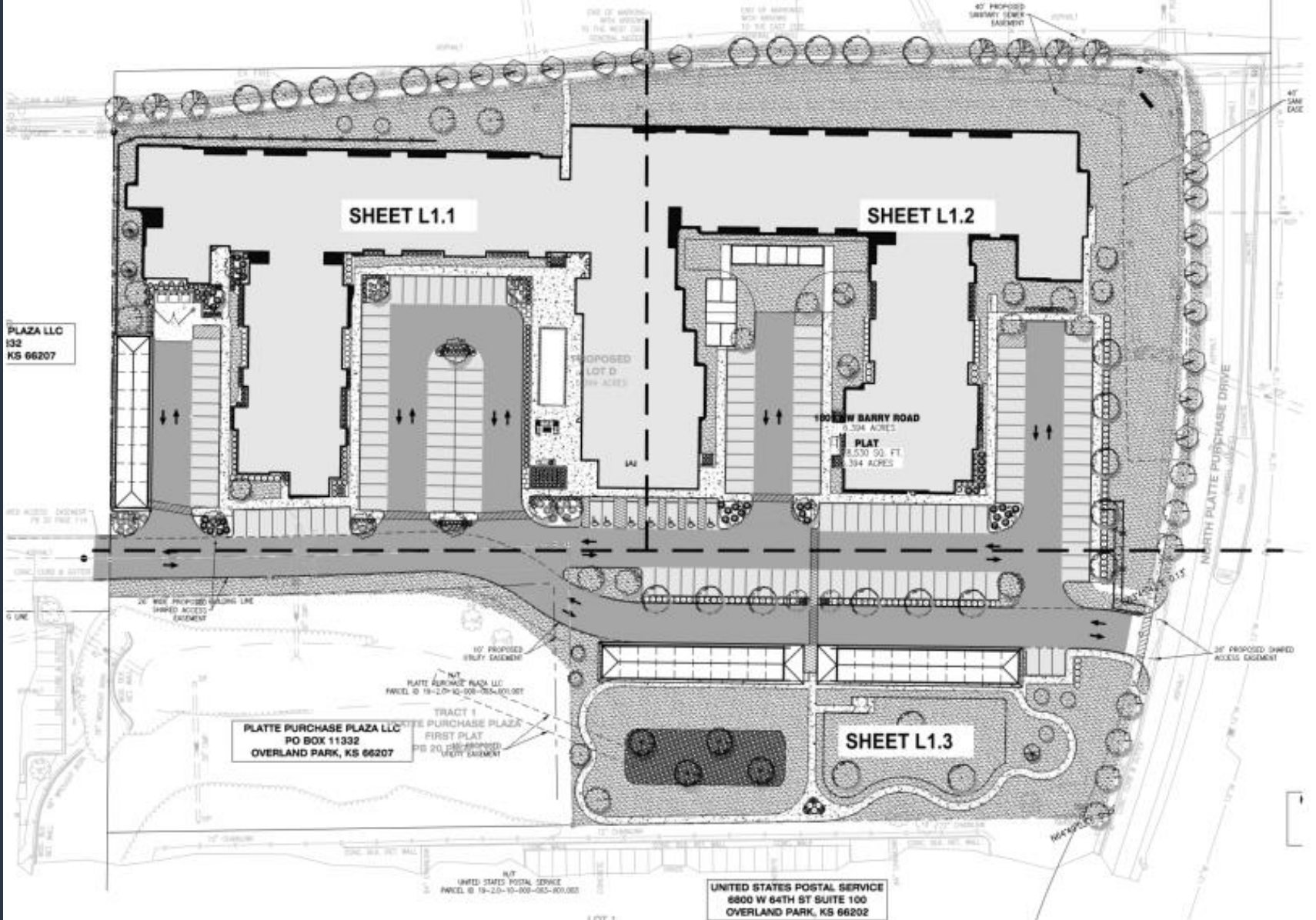




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**1 OVERALL LANDSCAPE PLAN**  
 SCALE: 1" = 40'  
 REF. DWG.



**RENDERING A - OVERALL SOUTH VIEW**



**RENDERING B - FRONT ENTRY**

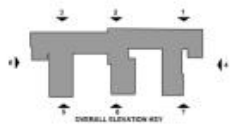




**1 PRELIMINARY NORTH ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"



**2 PRELIMINARY NORTH ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"



View from NW Barry Rd



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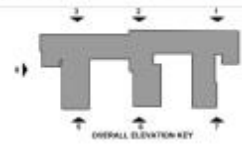
**MATERIAL LEGEND**

			
<b>ASPHALT SHINGLE</b> <small>PERVA</small>	<b>METAL ROOFING</b> <small>CHARCOAL</small>	<b>BRICK MASONRY VENEER</b> <small>WHITE WIPED / 40-0108</small>	<b>STONE MASONRY VENEER</b> <small>GRAY / 02022 STONE</small>
			
<b>FIBER CEMENT PANEL WITH BOARD AND BATTEN</b> <small>CHARCOAL</small>	<b>FIBER CEMENT SIDING 1</b>	<b>FIBER CEMENT SIDING 2</b> <small>STABLE / 0201 OF ENLAK</small>	<b>FIBER CEMENT TRIM BOARDS</b> <small>CHARCOAL</small>
			
<b>ALUMINUM STOREFRONT / HANDRAILS</b> <small>BLACK</small>	<b>METAL FASCIAS</b> <small>CHARCOAL</small>		



**8 PRELIMINARY WEST ELEVATION - COLOR**  
SCALE: 1/8" = 1'-0"

GRADE (NO FINISH) WALL IN FRONT OF ELEVATION







View looking southwest from NW Barry Rd and N Platte Purchase intersection



**Case No. CD-CPC-2022-00162**



View looking towards the site from NW Barry Rd



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# Remove Conditions:

#6 – ROW Dedication (Major Street Plan)

#10 – Construction Compliance with TIS

# Staff Recommendation: Approval with conditions

