



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

April 4, 2023

Project Name
Midway Ford - NE Parvin + N Corrington

Docket # 9

Request
CD-CPC-2023-00023
Development Plan

Applicant
Jacob Hodson
Olsson

Owner
Midway Ford Truck Center

Location 4130 & 4131
N. Corrington Ave.

Area About 17 acres
Zoning M1-5/US
Council District 1st
County Clay
School District North Kansas City 250

Surrounding Land Uses
North: Manufacturing, zoned M1-5/US
South: Manufacturing, zoned M1-5/US
East: Manufacturing, zoned M1-5/US
West: Residential, zoned R-1.5/US

Major Street Plan
N. Corrington Avenue is not identified on the City's Major Street Plan.

Land Use Plan
The Briarcliff/Winnwood Area Plan recommends Light Industrial and Open Space for this location.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on 2/10/2023. Scheduling deviations from the 2023 Cycle F have occurred as the applicant revised the development plan.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on 3/27/2023. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The development plan includes the renovation of the former Vatterott College building (4131 N. Corrington) and the undeveloped lot across the street (4130 N. Corrington). The undeveloped lot is generally flat near N. Corrington but slopes dramatically into a protected stream buffer along the western perimeter of the site.

SUMMARY OF REQUEST + KEY POINTS

A request to approve a development plan in district M1-5 (Manufacturing) and US (Underground Space) for limited manufacturing and outdoor warehousing, wholesaling, storage and freight movement on about 17 acres generally located at NE Parvin Road and N. Corrington Avenue.

CONTROLLING + RELATED CASES

Case No.14262-AA - A request for administrative approval of a Minor Site Plan for a 65,218 square foot building and 265 parking spaces at 4100 N. Corrington Avenue was approved on January 17, 2012.

PROFESSIONAL STAFF RECOMMENDATION

Docket # Recommendation

9 APPROVAL WITH CONDITIONS

PLAN REVIEW

A development plan is required for industrial development on M-zoned land with a site area of 10 acres or more. The proposed development consists of two project areas (east and west) for a total of five lots on about 17 acres. The eastern project area will repurpose the former Vatterott College building into a limited manufacturing operating to outfit Ford vans (operated by Midway Ford). The western project area will be used as a vehicle staging lot after the vans have been outfitted with a future security office.

PLAN ANALYSIS

The eastern project area is repurposing a vacant building and will change the use from institutional to limited manufacturing to outfit commercial vans which is a permitted use in the M1-5 zoning district. The western project area's defined use will be outdoor warehousing for the staging of the commercial vehicles which is a permitted use in the M1-5 zoning district. Staff is continuing to work with the applicant on an alternative landscape compliance plan for the western project area that must be completed prior to the issuance of a final certificate of occupancy.

**indicates adjustment/deviation*

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-140)	Yes	Yes	
Parking and Loading Standards (88-420)	Yes	Yes	
Landscape and Screening Standards (88-425)	Yes	Yes, subject to conditions	The applicant has submitted an alternative landscape compliance plan for the vehicle staging area (4130 N. Corrington).
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions	All signage shall comply with 88-445.
Pedestrian Standards (88-450)	Yes	Yes, subject to conditions	

SPECIFIC REVIEW CRITERIA**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable City ordinances and policies;

The proposed plan generally complies with all of the standards of the Zoning and Development Code except for the required landscaping for outdoor warehousing. The applicant has submitted an alternative landscape compliance plan to maximize the proposed vehicle staging area without encroaching the stream buffer. Staff supports the alternative landscape compliance plan as the existing site is naturally buffered by the existing foliage and topography.

B. The proposed use must be allowed in the district in which it is located;

The two proposed uses, outdoor warehousing and limited manufacturing are permitted in the M1-5/US zoning district.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

The proposed uses provide safe, efficient and convenient movement of traffic internally and externally.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

The project area is located on a dead-end street and the proposed uses are not anticipated to create an influx of pedestrian or bicycle movement.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The plan does provide for adequate utilities based on City standards.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The applicant is proposing to repurpose the existing structure at 4131 N. Corrington (east project area) and will repair any holes and weathering as the building sat vacant for several years. The applicant will construct a 520 square foot security office on the west project area.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The applicant will maintain the existing landscaping located on the east project area and will provide additional screening on the northern and southern perimeters of the site. The applicant currently has an alternative landscape compliance plan under review with Development Management staff. The alternative landscape compliance plan must be revised and approved by City Planning &

Development prior to the issuance of a final certificate of occupancy.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The applicant is not proposing any changes to the east project area in terms of the existing drive circulation. The applicant is proposing two curb cuts for the west project area which staff supports for proper traffic circulation.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

Six trees have been identified for removal, but the applicant will be providing an additional twenty-three trees.

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **APPROVAL WITH CONDITIONS** as stated in the conditions report.

Respectfully Submitted,



Andrew Clarke, AICP
Planner



Plan Conditions

Report Date: March 29, 2023

Case Number: CD-CPC-2023-00023

Project: Midway Ford - NE Parvin + N Corrington

Condition(s) by City Planning and Development Department. Contact Andrew Clarke at (816) 513-8821 / Andrew.Clarke@kcmo.org with questions.

1. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
2. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
3. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
4. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
5. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
6. An alternative landscape compliance plan shall be approved by the Development Management Division prior to the issuance of a final certificate of occupancy.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

7. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
8. The developer shall submit a storm drainage analysis from a Missouri-licensed civil engineer to the Land Development Division, in accordance with adopted standards, including a BMP level of service analysis prior to approval and issuance of any building permits, and that the developer secure permits to construct any improvements as required by the Land Development Division prior to issuance of any certificate of occupancy.
9. The developer shall submit plans to the Land Development Division and obtain permits to construct sidewalks along the platted frontage of N Corrington Ave and to a tie-in point with the existing sidewalks. In addition, developer shall construct associated ADA ramps at the proposed entrance drives as necessary for the type of drive approach.
10. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
11. The developer shall integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.
12. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

13. Security gates which span across a fire access road shall provide a means for emergency operation. Electric gates shall require a siren sensor device typically referred to as a "yelp gate" (IFC-2018 § 503.6).

Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / Richard.Sanchez@kcmo.org with questions.

Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / Richard.Sanchez@kcmo.org with questions.

14. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

15. Water/Sewer Service lines shall serve only one lot or tract and shall not cross a separate lot or tract.
16. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

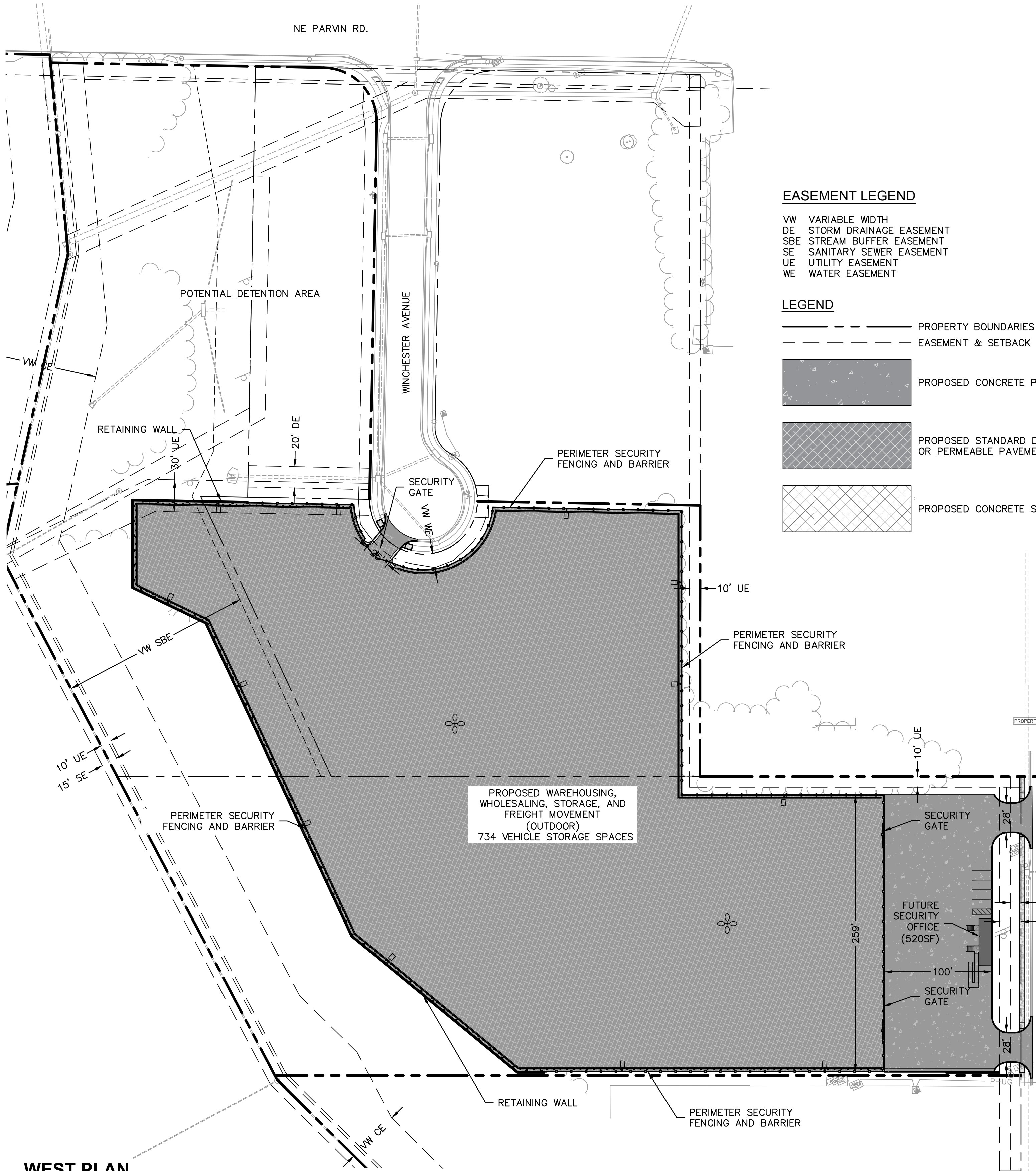
Condition(s) by Water Services Department. Contact Jerald Windsor at (816) 513-0413 / Jerald.Windsor@kcmo.org with questions.

17. 1. The maximum fire hydrant spacing is 300', the developer must submit fire hydrant (relocation/new installation) drawings prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.
(<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Main-Extensions-Final2.pdf>)

Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.

18. The developer shall submit a final stream buffer plan to the Land Development Division for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements.
19. The developer must grant on City approved forms, a STREAM BUFFER Easement to the City, as required by Chapter 88 and Land Development Division, prior to issuance of any stream buffer permits.
20. The developer must show the limits of the 100-year floodplain on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year flood prone area (including detention basins and engineered surface drainage conveyances) on any plat and plan, as required by the Land Development Division.

DWG: F:\2023\00001-00500\023-00066\40--design\AutocAD\preliminary plans\Sheets\GNCV\Final Development Plan\C_SIT01_02300066.dwg
 DATE: Mar 20, 2023 1:56pm XREFS: C:\BASE_02300066 C_PATT_02300066 C_PBLK_02300066 E_PBASE_2300066 USER: qmhammed



WEST PLAN

88-420-PARKING	VEHICLE SPACES		BIKE SPACES		ALTERNATIVE PROPOSED?
	REQUIRED	PROPOSED	REQUIRED	PROVIDED	
VEHICLE PARKING = 1 PER 4 EMPLOYEES BICYCLE PARKING = 1 PER 4 EMPLOYEES	1 EMPLOYEE = 1 SPACE	4	3 MINIMUM	6 @ 4131 N CORRINGTON AVE.	NO

EASEMENT LEGEND

- VW VARIABLE WIDTH
- DE STORM DRAINAGE EASEMENT
- SBE STREAM BUFFER EASEMENT
- SE SANITARY SEWER EASEMENT
- UE UTILITY EASEMENT
- WE WATER EASEMENT

LEGEND

- PROPERTY BOUNDARIES
- - - EASEMENT & SETBACK BOUNDARIES
- [Pattern] PROPOSED CONCRETE PAVEMENT
- [Pattern] PROPOSED STANDARD DUTY ASPHALT OR PERMEABLE PAVEMENT
- [Pattern] PROPOSED CONCRETE SIDEWALK

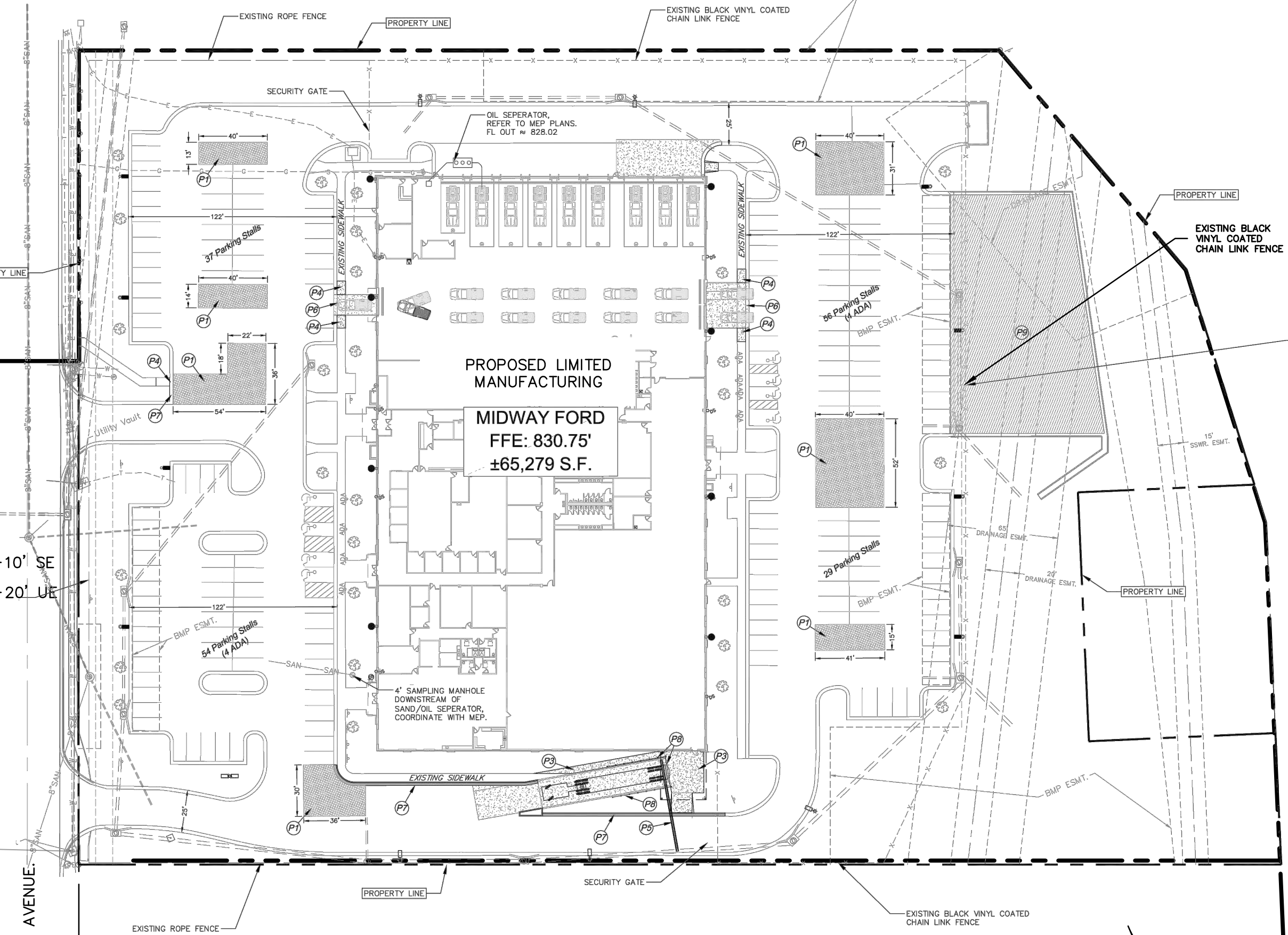
EAST PLAN

BUILDING DATA	Required	Existing*	Deviation Requested?	Approved
Rear Setback	None	166' min	N/A	
Front Setback	None	175'	N/A	
Side Setback	None	67'	N/A	
Height	40	<40	N/A	

*Existing building footprint will not be changed

88-420-PARKING	Vehicle Spaces		Bike Spaces		Alternatives proposed? 88-420-16
	Required	Proposed	Required	Proposed	
Proposed Use (s) (1)	5	176*	1	3**	

(1) - Based on 20 employees
 * Existing parking stalls satisfy this requirement
 ** Existing bicycle rack satisfies this requirement



NOTES

SECURITY OFFICE PLANS SHALL BE SUBMITTED SEPARATELY AT A LATER DATE ALONG WITH ANY UTILITY CONNECTIONS TO SERVE THE OFFICE.

CONSTRUCTION NOTES

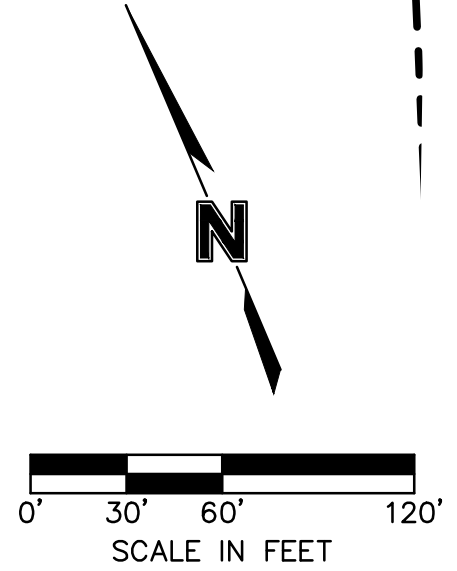
- (P1) - CONSTRUCT 6" STANDARD DUTY ASPHALT PAVEMENT SECTION OR MATCH EXISTING.
- (P2) - CONSTRUCT 8" HEAVY DUTY CONCRETE PAVEMENT SECTION. REFER TO PAVING DETAILS.
- (P3) - CONSTRUCT 5" THICK CONCRETE SIDEWALK. REFER TO SPOT GRADING PLAN AND SITE DETAILS.
- (P4) - CONSTRUCT CONCRETE SIDEWALK CURB RAMP. ALL RAMP SHALL BE CONSTRUCTED PER ADA GUIDELINES. SIDEWALK SHALL BE ADA COMPLIANT. REFER TO SPOT GRADING PLAN AND SITE DETAILS. (APRIM TYPE A SIDEWALK RAMP)
- (P5) - PROPOSED STORMWATER INFRASTRUCTURE. REFER TO STORMWATER PLAN AND DETAILS. SHEET C10.
- (P6) - CONSTRUCT CONCRETE DRIVEWAY RAMP. REFER TO SPOT GRADING PLAN, SHEET C10.
- (P7) - INSTALL TYPE CO-1 DIRT CURB & GUTTER.
- (P8) - INSTALL 3" IF HANDRAIL EACH SIDE OF LOADING DOCK. SEE DETAIL SHEET C200. INSTALL SWING GATE, ROPE FENCE OR OTHER APPROVED SAFETY MEASURE AT END OF TRUCK DOCK.
- (P9) - FUTURE ASPHALT PARKING LOT EXPANSION. SEE SHEET C201.

PAVEMENT LEGEND

- [Pattern] 6" HEAVY DUTY PORTLAND CEMENT CONCRETE PAVEMENT ON 4" AG-1 (FOR MATCH EXISTING)
- [Pattern] 6" STANDARD DUTY ASPHALT PAVEMENT ON 4" AG-1 (FOR MATCH EXISTING)

NOTES:

1. REFER TO LIGHTING PLAN AND DETAILS FOR RE-LOCATED AND PROPOSED LIGHTING (SHEET S101).
2. STRIPING SHALL BE PLANNED AND INSTALLED BY CONTRACTOR WITH OWNER'S APPROVAL.



OLSSON ASSOCIATES, CIVIL ENGINEERING
1301 BURLINGTON, SUITE 100
NORTH KANSAS CITY, MO 64116
TEL: 816.361.1177
WWW.OLSSON.COM

NICHOLAS D. HEISER
MO PE #2015000555

REVISIONS

NO.	REV.	DESCRIPTION	DATE

2023

SITE PLAN
DEVELOPMENT PLAN

MIDWAY FORD
NE PARVIN & N CORRINGTON AVE

KANSAS CITY, MO

drawn by: _____ IN
checked by: _____ NH
designed by: _____ IN/NH
QA/QC by: _____ INITIALS
project no.: 023-00068
date: 03/20/23

SHEET
C102



SITE DATA	Existing	Proposed	Deviation Requested?	Approved
Zoning	M1-5	M1-5	N/A	
Gross Land Area - (LOT 1A)				
In Square Feet	300,749.00	300,749.00	N/A	
In Acres	6.90	6.90		
Building Area (sq. ft.)	65,279.00	65,279.00		
Floor Area Ratio	0.22	0.22	N/A	
Total Lots	1	1		
Residential	0	0		
Public/Civic	0	0		
Commercial	0	0		
Industrial	300,749.00	300,749.00		
Other	0	0		

BUILDING DATA	Required	Existing*	Deviation Requested?	Approved
Rear Setback	None	166' min	N/A	
Front Setback	None	175'	N/A	
Side Setback	None	67'	N/A	
Height	40	<40	N/A	

*Existing building footprint will not be changed

88-420-PARKING	Vehicle Spaces		Bike Spaces		Alternatives proposed? 88-420-16
	Required	Proposed	Required	Proposed	
Proposed Use (s) (1)	5	176*	1	3**	

(1) - Based on 20 employees
 * Existing parking stalls satisfy this requirement
 ** Existing bicycle rack satisfies this requirement

LEGAL DESCRIPTION:
 LOT 1A (Lot Split)
 Lot 1, Hunt Midwest Commerce Center District III - First Plat

CONSTRUCTION NOTES

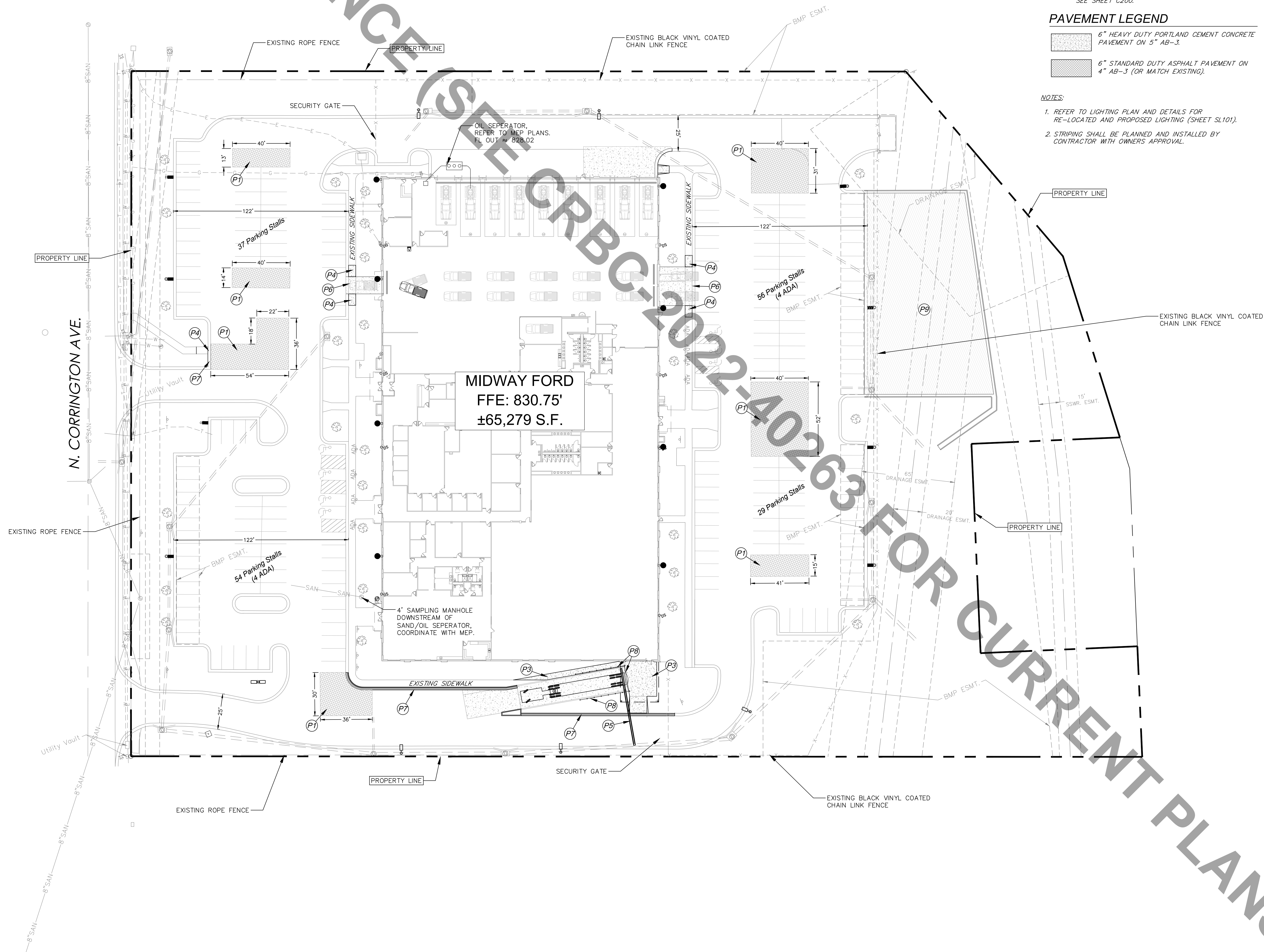
- (P1) - CONSTRUCT 6" STANDARD DUTY ASPHALT PAVEMENT SECTION OR MATCH EXISTING.
- (P2) - CONSTRUCT 8" HEAVY DUTY CONCRETE PAVEMENT SECTION. REFER TO PAVING DETAILS.
- (P3) - CONSTRUCT 5" THICK CONCRETE SIDEWALK. REFER TO SPOT GRADING PLAN AND SITE DETAILS.
- (P4) - CONSTRUCT CONCRETE SIDEWALK CURB RAMP. ALL RAMPS WILL REQUIRE DETECTABLE WARNING PANELS AND SHALL BE CONSTRUCTED PER DOJ ADA GUIDELINES. SIDEWALK WILL BE ADA COMPLIANT. REFER TO SPOT GRADING PLAN AND SITE DETAILS. (AFWA TYPE A SIDEWALK RAMP)
- (P5) - PROPOSED STORMWATER INFRASTRUCTURE. REFER TO STORMWATER PLAN AND DETAILS, SHEET C104.
- (P6) - CONSTRUCT CONCRETE DRIVEWAY RAMPS. REFER TO SPOT GRADE PLAN, SHEET C103.
- (P7) - INSTALL TYPE CG-1 DRY CURB & GUTTER.
- (P8) - INSTALL 35 LF HANDRAIL EACH SIDE OF LOADING DOCK. SEE DETAIL, SHEET C107. INSTALL SWING GATE, ROPE FENCE OR OTHER APPROVED SAFETY MEASURE AT END OF TRUCK DOCK.
- (P9) - FUTURE ASPHALT PARKING LOT EXPANSION. SEE SHEET C200.

PAVEMENT LEGEND

- 6" HEAVY DUTY PORTLAND CEMENT CONCRETE PAVEMENT ON 5" AB-3.
- 6" STANDARD DUTY ASPHALT PAVEMENT ON 4" AB-3 (OR MATCH EXISTING).

NOTES:

1. REFER TO LIGHTING PLAN AND DETAILS FOR RE-LOCATED AND PROPOSED LIGHTING (SHEET SL101).
2. STRIPING SHALL BE PLANNED AND INSTALLED BY CONTRACTOR WITH OWNERS APPROVAL.



9000 STATE LINE ROAD
 LEAWOOD, KANSAS 66206
 11008 PARALLEL PARKWAY
 KANSAS CITY, KANSAS 66109
 TEL (913) 642-8842
 FAX (913) 642-8941
 www.cceengineers.com

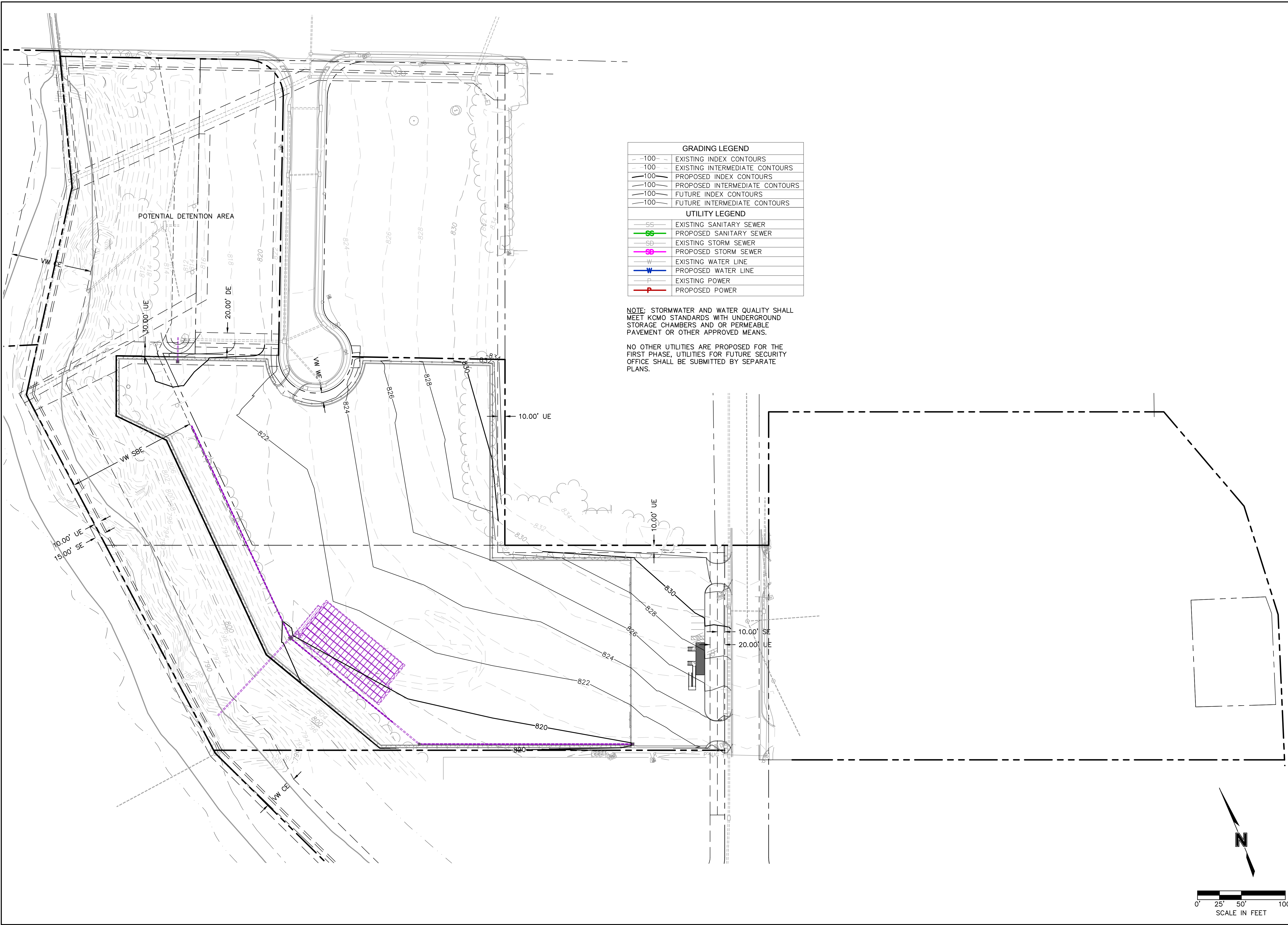
DAVID A. KASTER, ARCHITECT
 MICHAEL L. HOWARD, ARCHITECT
 Copyright © 2023 Kaster Architects, Inc.
 7304 WEST 130th STREET
 SUITE 170 PLAK, KANSAS 66213
 TELEPHONE: (913) 681-1200
 WEB SITE: www.kasterarchitects.com

KASTER ARCHITECTS INC
 ARCHITECTURE · PLANNING · INTERIOR DESIGN

MIDWAY FORD
 FORMER VATTEROTT BLDG.
 4131 N. CORRINGTON AVE.
 KANSAS CITY, MISSOURI

DATE: FEB. 8, 2023
 REVISED: _____
 SHEET NUMBER: C102
 SITE PLAN
 OF SHEETS: _____
 KAI JOB NO. 2214-A

DWG: F:\2023\00001-00500\023-00066\40-design\AutoCAD\preliminary plans\Sheets\GNCV\Final Development Plan\C_GRD01_02300066.dwg
 DATE: Mar 20, 2023 1:56pm XREFS: C_XBASE_02300066 C_PPATTI_02300066 C_PTBLK_02300066 USER: qmuhammad



GRADING LEGEND	
-100-	EXISTING INDEX CONTOURS
-100-	EXISTING INTERMEDIATE CONTOURS
-100-	PROPOSED INDEX CONTOURS
-100-	PROPOSED INTERMEDIATE CONTOURS
-100-	FUTURE INDEX CONTOURS
-100-	FUTURE INTERMEDIATE CONTOURS
UTILITY LEGEND	
SS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
SD	EXISTING STORM SEWER
SD	PROPOSED STORM SEWER
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
P	EXISTING POWER
P	PROPOSED POWER

NOTE: STORMWATER AND WATER QUALITY SHALL MEET KCMO STANDARDS WITH UNDERGROUND STORAGE CHAMBERS AND OR PERMEABLE PAVEMENT OR OTHER APPROVED MEANS.

NO OTHER UTILITIES ARE PROPOSED FOR THE FIRST PHASE. UTILITIES FOR FUTURE SECURITY OFFICE SHALL BE SUBMITTED BY SEPARATE PLANS.

OLSSON ASSOCIATES, CIVIL ENGINEERING
 MO CERTIFICATE OF AUTHORITY #001692
 1301 BURLINGTON, SUITE 100
 NORTH KANSAS CITY, MO 64116 TEL 816.361.1177
 www.olsson.com

NICHOLAS D. HEISER
 MO PE #2015000555

NO.	REV.	REVISIONS DESCRIPTION	DATE	REVISED

GRADING & UTILITY PLAN
DEVELOPMENT PLAN

MIDWAY FORD
NE PARVIN & N CORRINGTON AVE

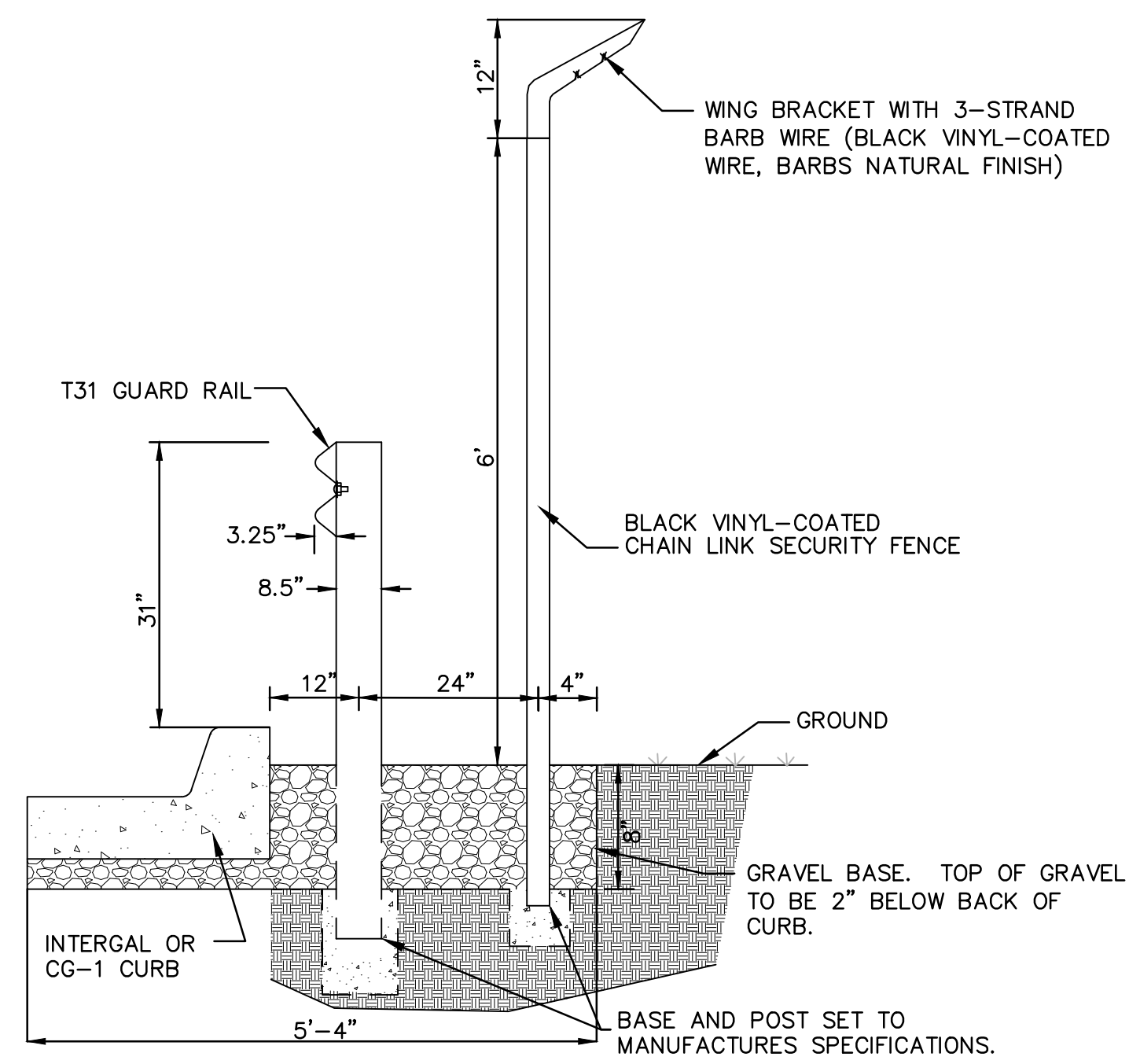
KANSAS CITY, MO

2023

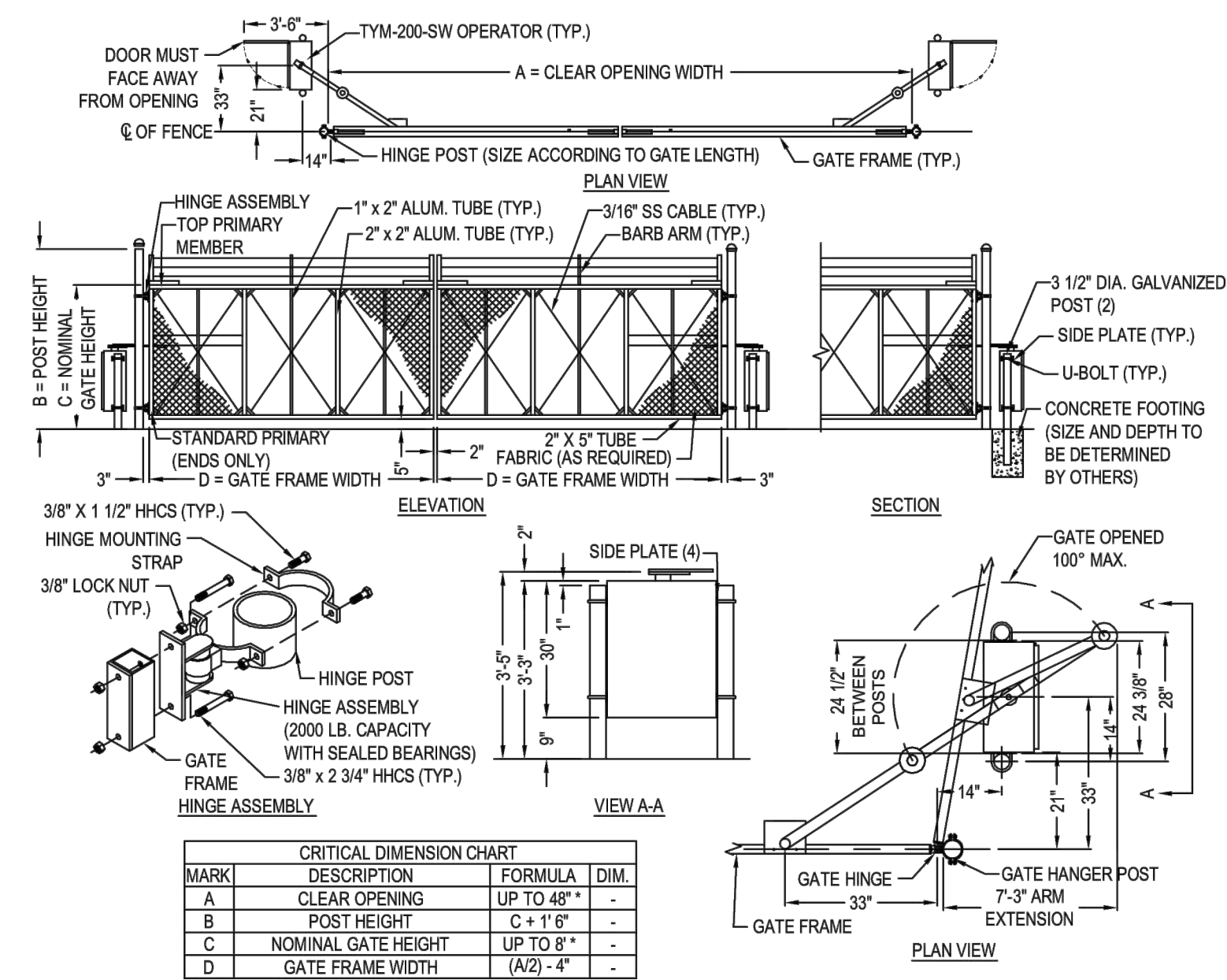
drawn by: _____ IN
 checked by: _____ NH
 designed by: _____ IN/NH
 QA/QC by: _____ INITIALS
 project no.: 023-00066
 date: 03/20/23

SHEET
C103

DWG: F:\2023\00001-00500\023-00066\40--design\AutoCAD\preliminary plans\Sheets\GNCA\Final Development Plan\C_DTL01_02300066.dwg USER: qmulhammad
 DATE: Mar 20, 2023 1:56pm XREFS: C_PTBK_30x42_02103540



GUARDRAIL/FENCE DETAIL
NOT TO SCALE



- NOTES:**
1. ALL FITTINGS PROVIDED FOR 4" O.D. POSTS. OTHER SIZES ARE AVAILABLE UPON REQUEST.
 2. GATE ELEVATION IS VIEWED FROM THE OUTSIDE OF THE SECURE AREA LOOKING IN.
 3. CRITICAL DIMENSION A = SINGLE PANEL: 6'-0" MIN. - 24'-0" MAX. DOUBLE: 12'-0" MIN - 48'-0" MAX.
 4. ** CRITICAL DIMENSION E = 4'-0" MIN - 8'-0" MAX (OR CONTACT TIME) **
 5. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 6. DO NOT SCALE DRAWING.
 7. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 8. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

FENCE GATE DETAIL
NOT TO SCALE

REVISIONS DESCRIPTION

NO. REV. DATE

DETAILS DEVELOPMENT PLAN

MIDWAY FORD

NE PARVIN & N CORRINGTON AVE

KANSAS CITY, MO

2021

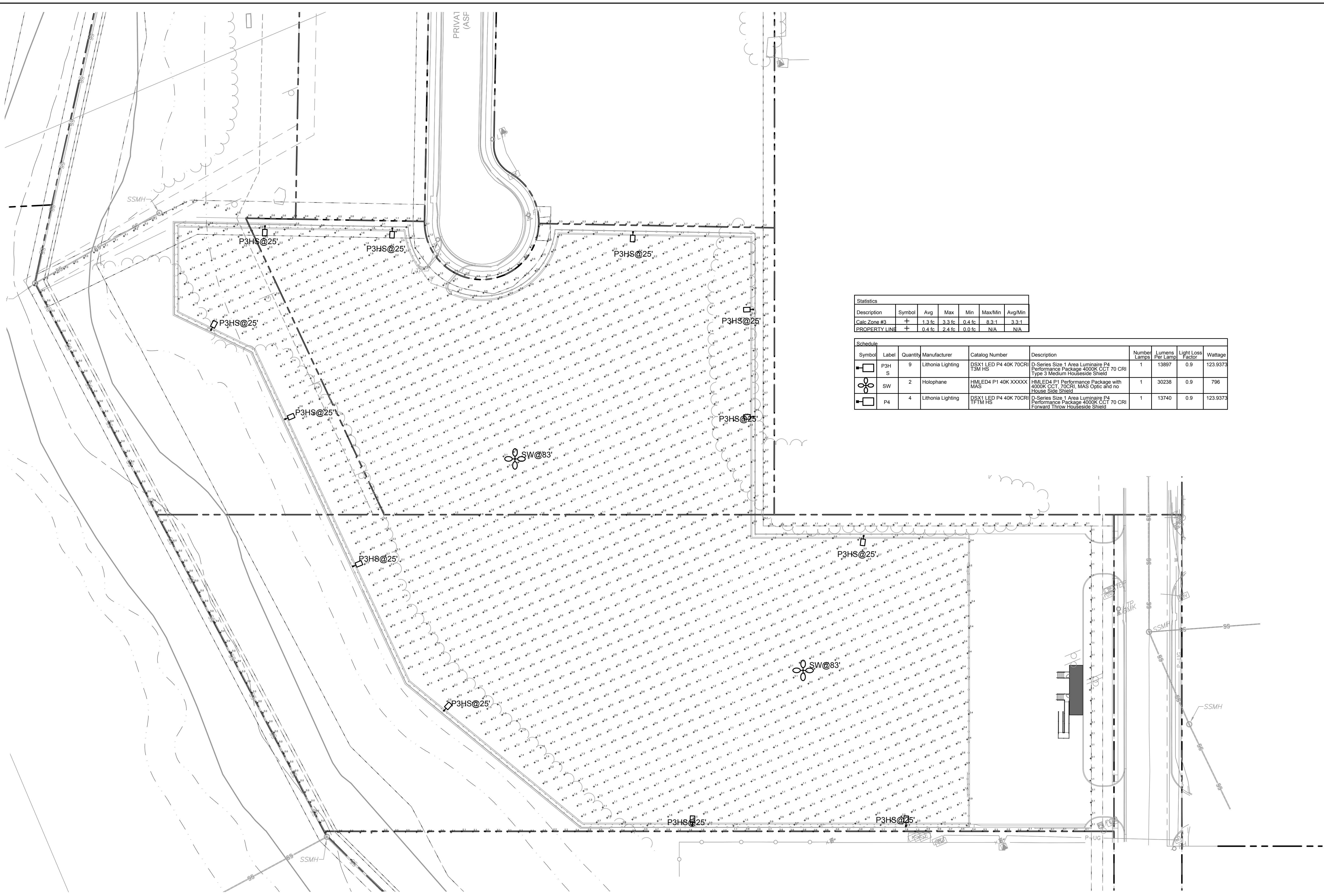
drawn by: M.J.D.
 checked by: M.J.D.
 designed by: M.J.D.
 G.A.C.C. by: M.J.D.
 project no.: 023-00066
 date: 07.23.21

SHEET C104

olsson

OLSSON - CIVIL ENGINEERING
 1301 BUREAU BLVD., SUITE 100
 NORTH HAVASAS CITY, INDIANAPOLIS, IN 46204
 TEL: 816.361.1777
 www.olsson.com

DWG: F:\2023\00001-00066\40--design\AutoCAD\preliminary_plans\Sheets\MECH\Electrical\E_NSITE_2300066.dwg USER: amhammad
 DATE: Mar 20, 2023 1:57pm XREFS: C_PBASE_02300066 V_XTOPO_02300066 E_PHOTO_02300066 E_PTBLK_02300066 E_PBASE_2300066



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	+	1.3 fc	3.3 fc	0.4 fc	8.3:1	3.3:1
PROPERTY LINE	+	0.4 fc	2.4 fc	0.0 fc	N/A	N/A

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
☐	P3H S	9	Lithonia Lighting	DSX1 LED P4 40K 70CRI T3M HS	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 70 CRI Type 3 Medium Houseside Shield	1	13897	0.9	123.9373
☐	SW	2	Holophane	HMLE4 P1 40K XXXXX MAS	HMLE4 P1 Performance Package with 4000K CCT 70CRI, MAS Optic and no House Side Shield	1	30238	0.9	796
☐	P4	4	Lithonia Lighting	DSX1 LED P4 40K 70CRI TFTM HS	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 70 CRI Forward Throw Houseside Shield	1	13740	0.9	123.9373

1 SITE LIGHTING PHOTOMETRIC PLAN
 SCALE: 1" = 40'-0"

NO.	REV.	DATE	REVISIONS DESCRIPTION

SITE LIGHTING PHOTOMETRIC PLAN
DEVELOPMENT PLAN
 MIDWAY FORD
 NE PARVIN & N CORRINGTON AVE
 KANSAS CITY, MO
 2023

drawn by: SH
 checked by: TD
 designed by: SH
 QA/QC by: TD
 project no.: 023-00066
 date: 03/20/23

FOR REFERENCE (SEE CRBC-2023-003 FOR CURRENT PLANS)

WEST Parking Grid
420 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	3.5
Maximum	8.8
Minimum	1.0
Avg/Min	3.45
Max/Min	8.80
Coef Var	0.51
UnifGrad	1.70

NORTH Drive Grid
132 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	2.4
Maximum	7.3
Minimum	0.5
Avg/Min	4.83
Max/Min	14.60
Coef Var	0.48
UnifGrad	3.40

SOUTH Drive Grid
170 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	2.2
Maximum	4.9
Minimum	0.5
Avg/Min	4.49
Max/Min	9.80
Coef Var	0.41
UnifGrad	2.55

PL GRID
246 points
HORIZONTAL FOOTCANDLES

Average	0.4
Maximum	2.1
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	1.21

MIDWAY FORD
FFE: 830.75'
±65,279 S.F.

EAST Parking Grid
376 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES

Average	3.2
Maximum	8.4
Minimum	1.1
Avg/Min	2.89
Max/Min	7.64
Coef Var	0.56
UnifGrad	2.04

○ LIGHT POLE TO BE REMOVED
(LIGHT POLES MAY BE RELOCATED
AND RE-USED AT OWNERS REQUEST)

TYPE "A"
Lithonia Lighting DSX2 LED P8 40K T4M MVOLT
SCALED PHOTOMETRY test report no. ISF 34053P23
lamp(s): LED
ballast: LED DRIVER
candela file "DSX2_LED_P8_40K_T4M_MVOLT.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 431
Outreach (from mounting axis to photometric center) = 30 in
mounting height = 28 ft
number locations = 9, number luminaires = 9
kw all locations = 3.9

TYPE "B"
Lithonia Lighting DSX1 LED P6 40K BLC MVOLT
SCALED PHOTOMETRY test report no. ISF 33923P17
lamp(s): LED
ballast: LED DRIVER
candela file "DSX1_LED_P6_40K_BLC_MVOLT.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 163
Outreach (from mounting axis to photometric center) = 30 in
mounting height = 28 ft
number locations = 5, number luminaires = 5
kw all locations = 0.8

TYPE "C"
Lithonia Lighting DSXW2 LED 30C 1000 40K T4M MVOLT
SCALED PHOTOMETRY test report no. 22604P15
lamp(s): NICHIA 2198 4000K
ballast: LEDINTA300C210DHO
candela file "DSXW2_LED_30C_1000_40K_T4M_MVOLT.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 109
Outreach (from mounting axis to photometric center) = 8 in
mounting height = 18 ft
number locations = 9, number luminaires = 9
kw all locations = 1.0



SINCE 1976
Continental
CONSULTING ENGINEERS, INC.

9000 STATE LINE ROAD
LEAWOOD, KANSAS 66206
17008 PARALLEL PARKWAY
KANSAS CITY, KANSAS 66109
TEL (913) 642-6642
FAX (913) 642-6941
www.cceengineers.com

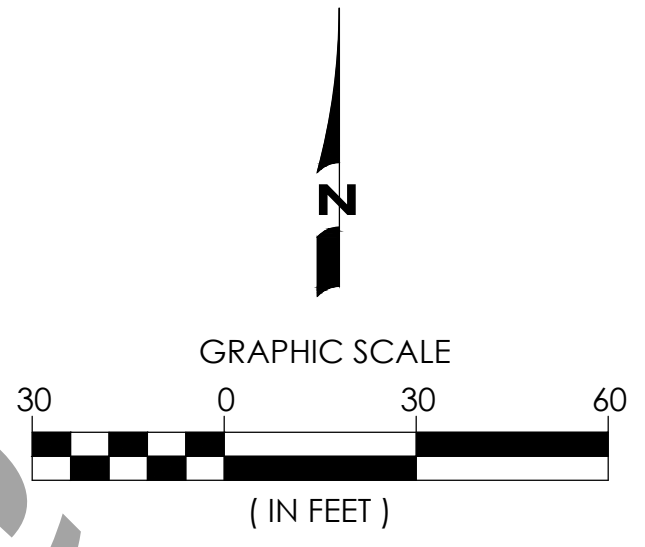
DAVID A. KASTER, RANCARLEEE AP
ARCHITECT
MICHAEL L. HOWARD, ARCHITECT
Copyright © 2022, Kaster Architects, Inc.
7304 WEST 130th STREET
SUITE 170 PARK, KANSAS 66213
TELEPHONE (913) 681-1200
WEB SITE www.kasterarchitects.com

KASTER ARCHITECTS INC


ARCHITECTURE · PLANNING · INTERIOR DESIGN

**MIDWAY FORD
FORMER VATTEROTT BLDG.
4131 N. CORRINGTON AVE.
KANSAS CITY, MISSOURI**

DATE FEB. 8, 2023
REVISIONS
SHEET NUMBER
SL101
SITE LIGHTING
AND PHOTOMETRICS
OF SHEETS
KA-10B NO. 2214-A



TYPE A LIGHTING FIXTURE



D-Series Size 2 LED Area Luminaire

Specifications

EPA: 1.19
Length: 40"
Width: 15"
Height 1: 2.14"
Height 2: 3.5"
Weight: 5lbs

Introduction


The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-100W metal halide in area lighting applications with energy savings of up to 60% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DBDXD

Series	LED	Color Temperature	Beam Angle	Mounting	Material	Notes
DSX2 LED	Forward optics	30K 3000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P1 P2	40K 4000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P3 P4	50K 5000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P5 P6	60K 6000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P7 P8	70K 7000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P9 P10	80K 8000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P11 P12	90K 9000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P13 P14	100K 10000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included

TYPE B LIGHTING FIXTURE



D-Series Size 1 LED Area Luminaire

Specifications

EPA: 1.01
Length: 33"
Width: 13"
Height H1: 7.12"
Height H2: 3.12"
Weight (max): 2.9 lbs

Introduction


The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 75W metal halide in pedestrian and area lighting applications with typical energy savings of 60% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DBDXD

Series	LED	Color Temperature	Beam Angle	Mounting	Material	Notes
DSX1 LED	Forward optics	30K 3000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P1 P2	40K 4000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P3 P4	50K 5000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P5 P6	60K 6000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P7 P8	70K 7000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P9 P10	80K 8000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P11 P12	90K 9000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P13 P14	100K 10000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included

TYPE C LIGHTING FIXTURE



D-Series Size 2 LED Wall Luminaire

Specifications

Length: 18-1/2"
Depth: 10"
Height: 2.58"
Weight: 2.1 lbs

Introduction

This item is an A+ Capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability. All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.

Ordering Information

EXAMPLE: DSXW2 LED 30C 70K 40K T3M MVOLT DBDXD

Series	LED	Color Temperature	Beam Angle	Mounting	Material	Notes
DSXW2 LED	Forward optics	30K 3000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P1 P2	40K 4000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P3 P4	50K 5000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P5 P6	60K 6000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P7 P8	70K 7000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P9 P10	80K 8000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P11 P12	90K 9000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included
	P13 P14	100K 10000K	T35 Type II Short	T35M Type II Very Short	80021	Shipped included



Continental
CONSULTING ENGINEERS, INC.

9000 STATE LINE ROAD
LEAWOOD, KANSAS 66208

11008 PARALLEL PARKWAY
KANSAS CITY, KANSAS 68119

TEL (913) 642-6642
FAX (913) 642-6941
www.ccengineers.com

PRELIMINARY
NOT FOR CONSTRUCTION

DAVID A. KASTER, RANCABLEE AP
ARCHITECT
MICHAEL L. HOWARD, ARCHITECT
Copyright © 2022 Kaster Architects, Inc.
7304 WEST 130th STREET
SUITE 170 PLAKY, KANSAS 66213
TELEPHONE (913) 681-1200
www.kasterarchitects.com

KASTER ARCHITECTS INC

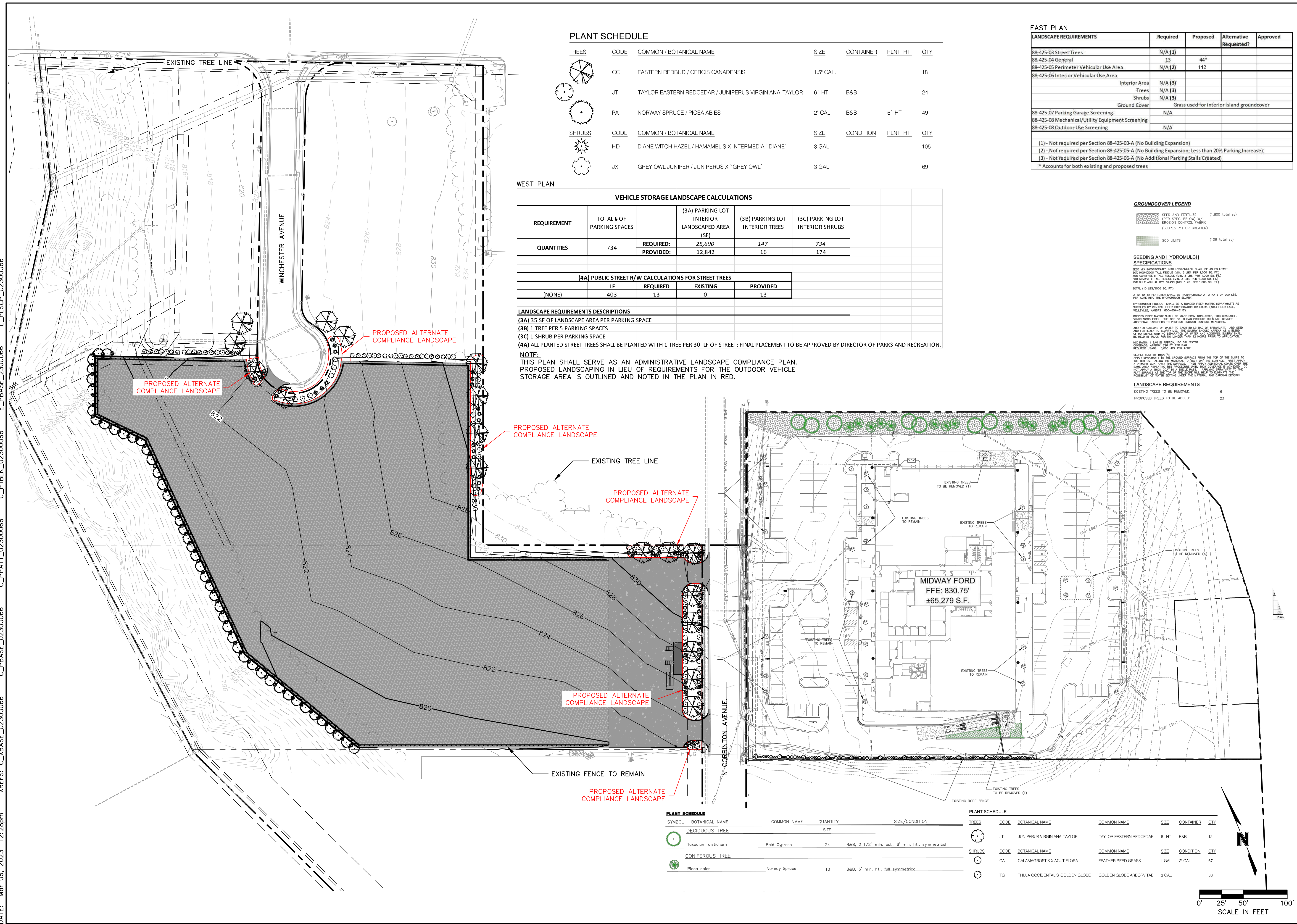
ARCHITECTURE · PLANNING · INTERIOR DESIGN

**MIDWAY FORD
FORMER VATTEROTT BLDG.
4131 N. CORRINGTON AVE.
KANSAS CITY, MISSOURI**

811
Know what's below.
Call before you dig.

DATE: FEB. 8, 2023
REVISION: SHEET NUMBER
SL102
SITE LIGHTING
CATALOG CUT SHEETS
OF SHEETS
KA-OB-NO-2214-A

DWG: F:\2023\00001-00500\023-00066\40--design\Autocad\preliminary plans\Sheets\GNCV\Final Development Plan\C_LSC01_02300066.dwg
 DATE: Mar 06, 2023 12:28pm
 USER: amuhammad L_PLSCP_02300066
 E_PBASE_2300066 C_PTBLK_02300066
 XREFS: C_XBASE_02300066 C_PPATT_02300066



PLANT SCHEDULE

TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	PLNT. HT.	QTY
	CC	EASTERN REDBUD / CERCIS CANADENSIS	1.5" CAL.			18
	JT	TAYLOR EASTERN REDCEDAR / JUNIPERUS VIRGINIANA 'TAYLOR'	6' HT	B&B		24
	PA	NORWAY SPRUCE / PICEA ABIES	2" CAL	B&B	6' HT	49
SHRUBS	CODE	COMMON / BOTANICAL NAME	SIZE	CONDITION	PLNT. HT.	QTY
	HD	DIANE WITCH HAZEL / HAMAMELIS X INTERMEDIA 'DIANE'	3 GAL			105
	JX	GREY OWL JUNIPER / JUNIPERUS X 'GREY OWL'	3 GAL			69

WEST PLAN

REQUIREMENT	TOTAL # OF PARKING SPACES	VEHICLE STORAGE LANDSCAPE CALCULATIONS		
		(3A) PARKING LOT INTERIOR LANDSCAPED AREA (SF)	(3B) PARKING LOT INTERIOR TREES	(3C) PARKING LOT INTERIOR SHRUBS
QUANTITIES	734	REQUIRED: 25,690 PROVIDED: 12,842	147 16	734 174

(4A) PUBLIC STREET R/W CALCULATIONS FOR STREET TREES				
	LF	REQUIRED	EXISTING	PROVIDED
(NONE)	403	13	0	13

LANDSCAPE REQUIREMENTS DESCRIPTIONS
 (3A) 35 SF OF LANDSCAPE AREA PER PARKING SPACE
 (3B) 1 TREE PER 5 PARKING SPACES
 (3C) 1 SHRUB PER PARKING SPACE
 (4A) ALL PLANTED STREET TREES SHALL BE PLANTED WITH 1 TREE PER 30 LF OF STREET; FINAL PLACEMENT TO BE APPROVED BY DIRECTOR OF PARKS AND RECREATION.
NOTE:
 THIS PLAN SHALL SERVE AS AN ADMINISTRATIVE LANDSCAPE COMPLIANCE PLAN. PROPOSED LANDSCAPING IN LIEU OF REQUIREMENTS FOR THE OUTDOOR VEHICLE STORAGE AREA IS OUTLINED AND NOTED IN THE PLAN IN RED.

EAST PLAN

LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	N/A (1)			
88-425-04 General	13	44*		
88-425-05 Perimeter Vehicular Use Area	N/A (2)	112		
88-425-06 Interior Vehicular Use Area	Interior Area	N/A (3)		
	Trees	N/A (3)		
	Shrubs	N/A (3)		
	Ground Cover	Grass used for interior island groundcover		
88-425-07 Parking Garage Screening		N/A		
88-425-08 Mechanical/Utility Equipment Screening		N/A		
88-425-08 Outdoor Use Screening		N/A		

(1) - Not required per Section 88-425-03-A (No Building Expansion)
 (2) - Not required per Section 88-425-05-A (No Building Expansion; Less than 20% Parking Increase)
 (3) - Not required per Section 88-425-06-A (No Additional Parking Stalls Created)
 * Accounts for both existing and proposed trees

GROUND COVER LEGEND

SEED AND FERTILIZE PER SPEC. BELOW BY EROSION CONTROL FABRIC (SLOPES 7:1 OR GREATER) (1,800 total sq. ft.)

SOIL LIMITS (108 total sq. ft.)

SEEDING AND HYDROMULCH SPECIFICATIONS

SEED MIX INCORPORATED INTO HYDROMULCH SHALL BE AS FOLLOWS:
 50% BIRDSEED (1/2" FESQUB. MAX. 3 LBS. PER 1,000 SQ. FT.)
 20% CRYSTALINE P (1/2" FESQUB. MAX. 3 LBS. PER 1,000 SQ. FT.)
 10% WHEAT (1/2" FESQUB. MAX. 3 LBS. PER 1,000 SQ. FT.)
 10% BLYE GRASS (1/2" FESQUB. MAX. 3 LBS. PER 1,000 SQ. FT.)
 10% RYE GRASS (1/2" FESQUB. MAX. 3 LBS. PER 1,000 SQ. FT.)
 TOTAL (10 LBS./1,000 SQ. FT.)

1/4" (1/2" FESQUB.) SHALL BE INCORPORATED AT A RATE OF 300 LBS. PER ACRE INTO THE HYDROMULCH SLURRY.

HYDROMULCH PRODUCT SHALL BE A BLENDED FIBER MATRIX COMPACTANT AS SUPPLIED BY CENTRAL FIBER CORPORATION OR EQUAL (40% FIBER LANE, 60% FIBER LANE, 100-154-4075).

BLENDED FIBER MATRIX SHALL BE MADE FROM NON-TOXIC, BIODEGRADABLE, FIBER FROM FIBER WASTE. FIBER MATRIX SHOULD NOT REQUIRE ADDITIONAL TACKIFIERS TO PERFORM EROSION CONTROL MEASURES.

ADD 100 GALLONS OF WATER TO EACH 50 LB BAG OF SPERMATOPHYTES AND SEED AND FERTILIZER TO SURE MIX. THE SLURRY SHOULD APPEAR AS A BROWN, MUD-LIKE CONSISTENCY. THE SLURRY SHOULD BE APPLIED TO THE SURFACE OF THE AREA TO BE TREATED. THE SLURRY SHOULD BE APPLIED TO THE SURFACE OF THE AREA TO BE TREATED. THE SLURRY SHOULD BE APPLIED TO THE SURFACE OF THE AREA TO BE TREATED.

WE MUST COVER THE AREA WITH A TARP OR PLASTIC. THE TARP OR PLASTIC MUST BE HELD IN PLACE FOR NO LONGER THAN 12 HOURS PRIOR TO APPLICATION.

WE MUST COVER THE AREA WITH A TARP OR PLASTIC. THE TARP OR PLASTIC MUST BE HELD IN PLACE FOR NO LONGER THAN 12 HOURS PRIOR TO APPLICATION.

WE MUST COVER THE AREA WITH A TARP OR PLASTIC. THE TARP OR PLASTIC MUST BE HELD IN PLACE FOR NO LONGER THAN 12 HOURS PRIOR TO APPLICATION.

LANDSCAPE REQUIREMENTS
 EXISTING TREES TO BE REMOVED: 6
 PROPOSED TREES TO BE ADDED: 23

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE/CONDITION
	DECIDUOUS TREE			
	Taxodium distichum	Bald Cypress	24	B&B, 2 1/2" min. cal., 6' min. ht., symmetrical
	CONIFEROUS TREE			
	Picea abies	Norway Spruce	10	B&B, 6' min. ht., full symmetrical

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	JT	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR EASTERN REDCEDAR	6' HT	B&B	12
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	QTY
	CA	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	1 GAL	2" CAL.	67
	TG	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	GOLDEN GLOBE ARBORVITAE	3 GAL		33

OLSSON ASSOCIATES, CIVIL ENGINEERING
 MO CERTIFICATE OF AUTHORITY #01682
 1301 BURLINGTON, SUITE 100
 NORTH KANSAS CITY, MO 64116
 TEL 816.361.1177
 www.olsson.com

NICHOLAS D. HEISER
 MO PE #2015000555

NO.	REV.	DATE	REVISIONS DESCRIPTION

2023

LANDSCAPE PLAN DEVELOPMENT PLAN

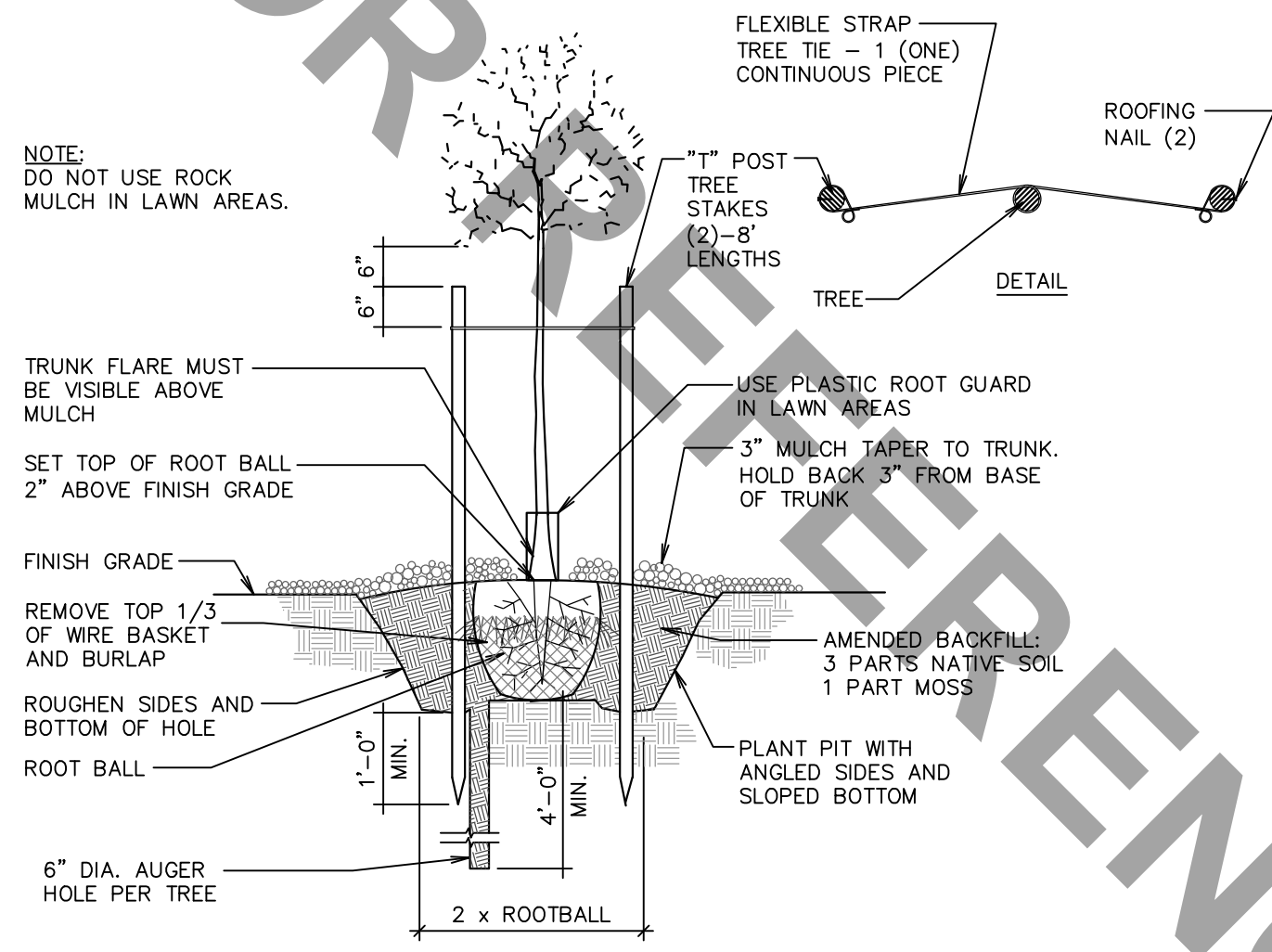
MIDWAY FORD
 NE PARVIN & N CORNINGTON AVE
 KANSAS CITY, MO

REVISIONS

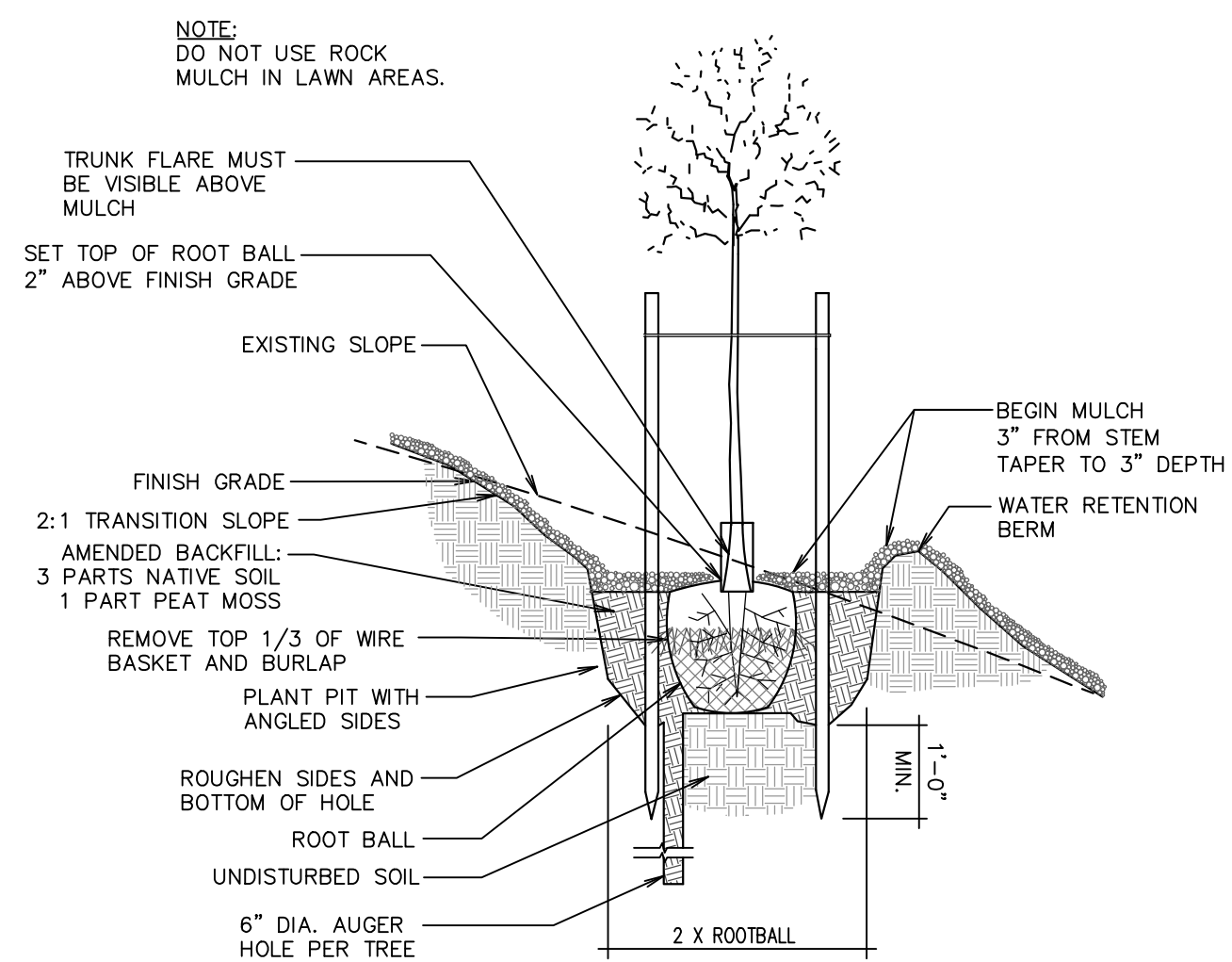
drawn by: _____ QM
 checked by: _____ NH
 designed by: _____ JN/NH
 QA/QC by: _____ INITIALS
 project no.: 023-00066
 date: 02/10/23

SHEET L101

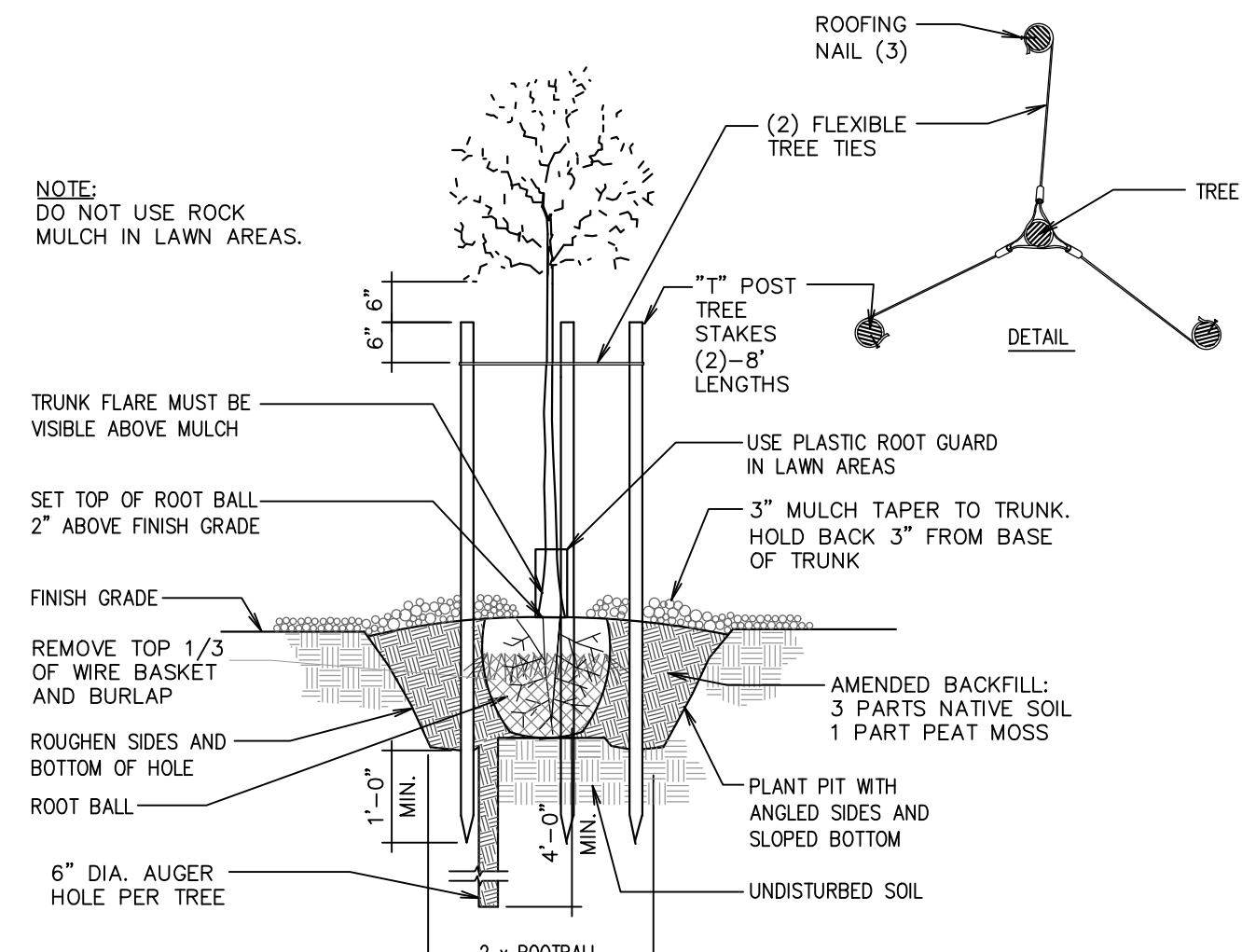
FOR CURRENT PLANS (SEE RBC-2022-40263 FOR CURRENT PLANS)



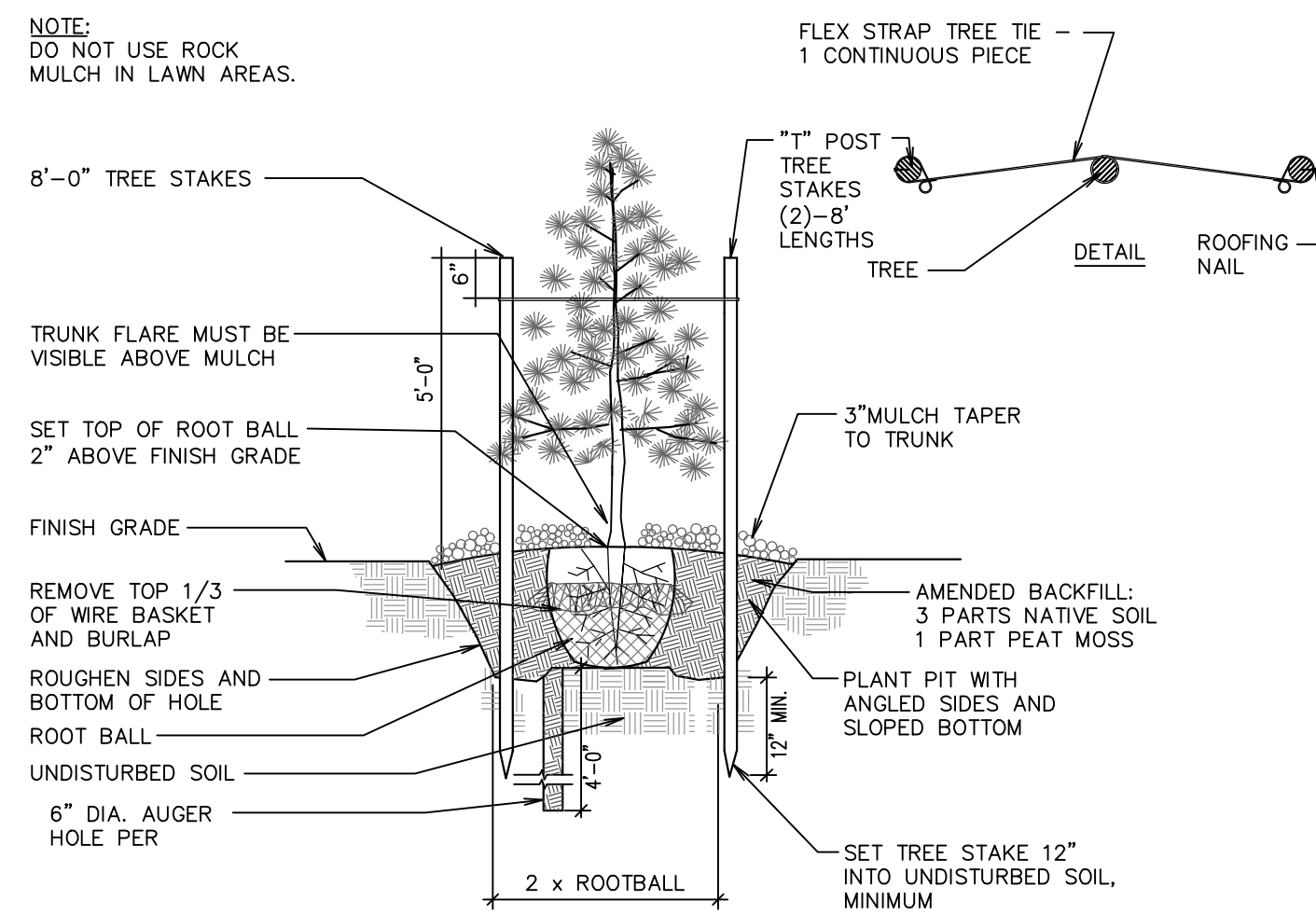
TREE PLANTING AND STAKING
N.T.S.



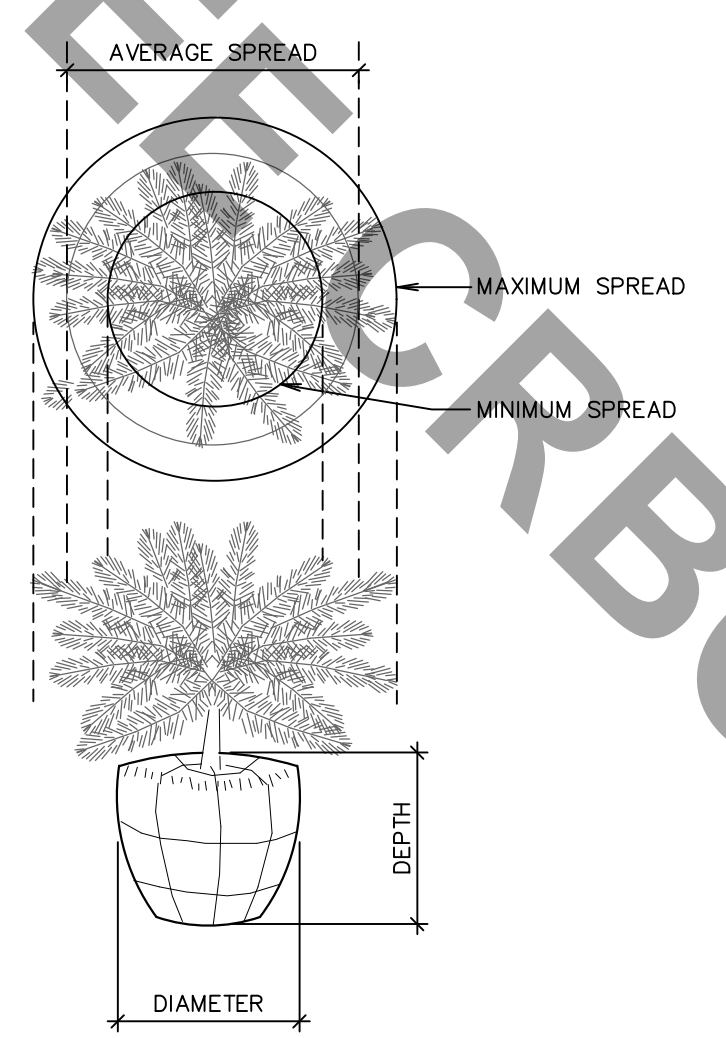
TREE PLANTING ON SLOPE
N.T.S.



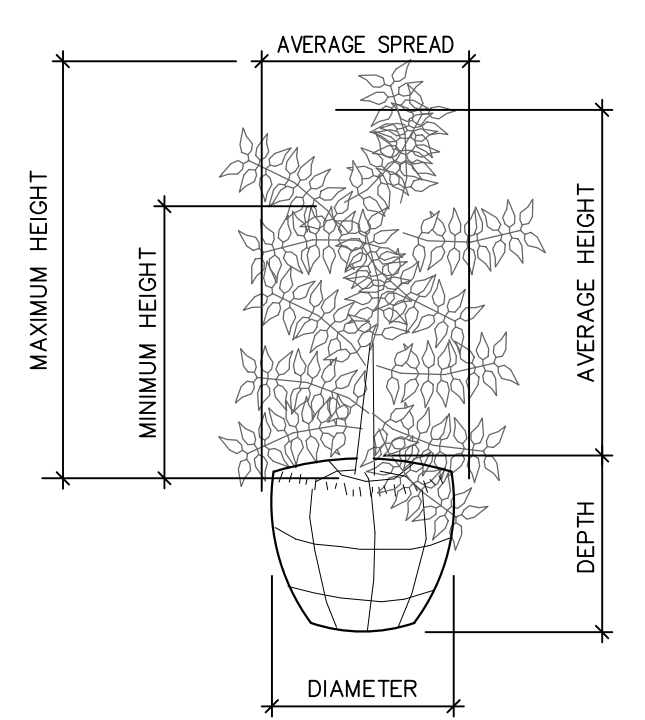
TREE PLANTING AND STAKING (FOR WINDY AREAS ONLY)
N.T.S.



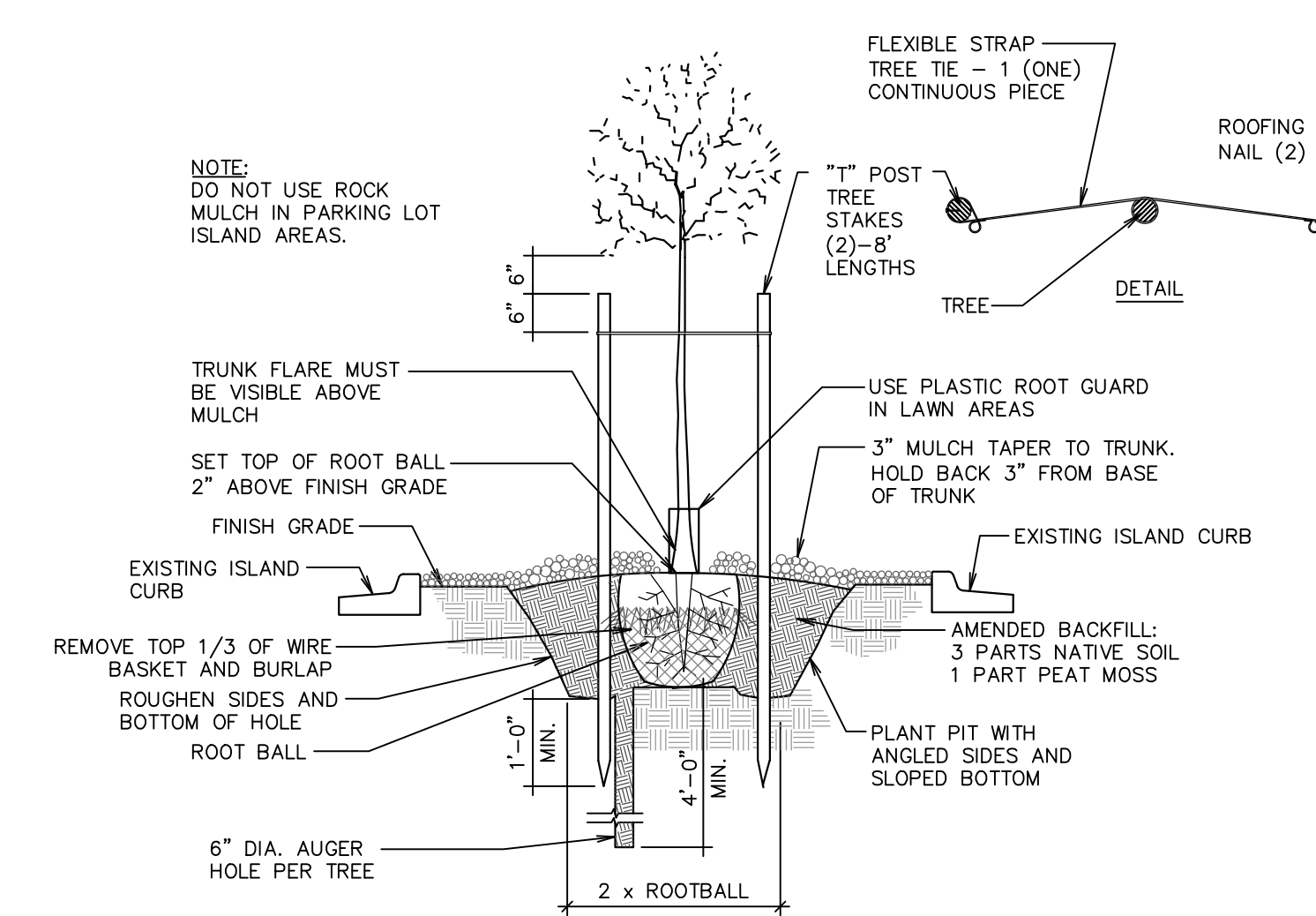
CONIFER PLANTING AND STAKING
N.T.S.



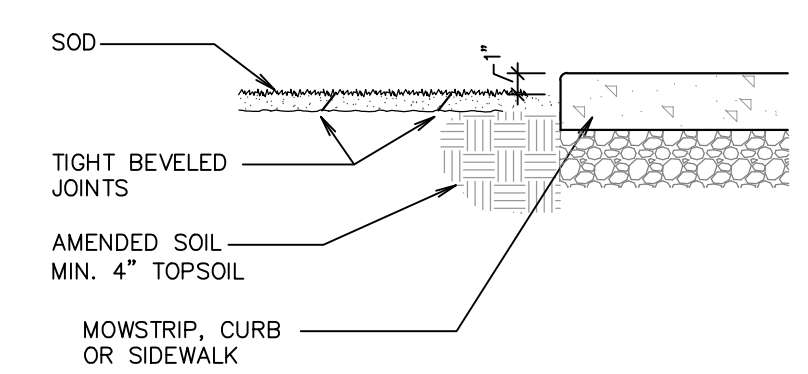
TYPICAL MEASUREMENT FOR PROSTRATE TYPE PLANTS
N.T.S.



TYPICAL MEASUREMENT FOR BROAD UPRIGHT TYPE
N.T.S.



TREE PLANTING IN PARKING LOT ISLANDS
N.T.S.



SOD INSTALLATION
N.T.S.

Continental
CONSULTING ENGINEERS, INC.

9000 STATE LINE ROAD
LEAWOOD, KANSAS 66206

11008 PARALLEL PARKWAY
KANSAS CITY, KANSAS 68109

TEL (913) 642-8842
FAX (913) 642-8941
www.ccengineers.com

DAVID A. KASTER, ARCHITECT
MICHAEL L. HOWARD, ARCHITECT
Copyright © 2022 Kaster Architects, Inc.
7304 WEST 130th STREET
SUITE 170 PLYMOUTH, KANSAS 66207
TELEPHONE (913) 681-1200
WEB SITE www.kasterarchitects.com

KASTER ARCHITECTS INC

ARCHITECTURE · PLANNING · INTERIOR DESIGN

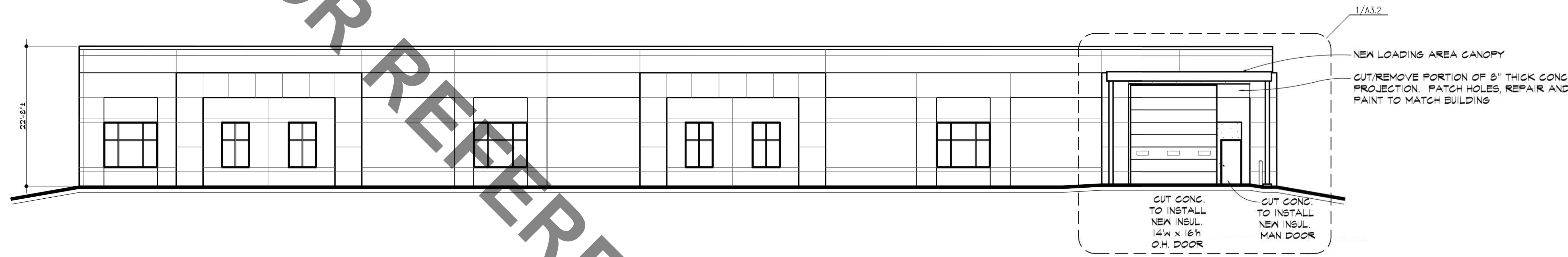
MIDWAY FORD
FORMER VATTEROTT BLDG.
4131 N. CORRINGTON AVE.
KANSAS CITY, MISSOURI

DATE FEB. 8, 2023
REVISED
SHEET NUMBER
L102
LANDSCAPE
DETAILS
OF SHEETS
KAI JOB NO. 2214-A



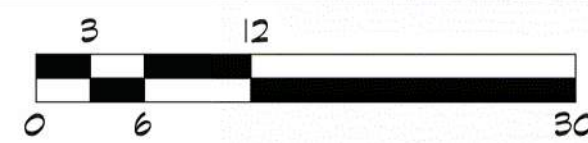
PRELIMINARY
NOT FOR CONSTRUCTION

FOR REFERENCE



SOUTH ELEVATION

SCALE // 3/32" = 1'-0"



BUILDING COLORS:

GENERAL EXTERIOR FINISH NOTES:

- COLORS TO MATCH THE MAIN MIDWAY FORD BUILDING LOCATED AT 1601 NE 80TH STREET (ACROSS HIGHWAY)
- AT METAL PARAPET GAPS, S.C. TO CLEAN AND PREP EXISTING PARAPET GAPS, PAINT PER ELEVATIONS
- PATCH CONG. PANELS PRIOR TO PAINTING - TYPICAL

- ◆ SHERWIN WILLIAMS (MEDIUM GREY) S02.777
- ◆ SHERWIN WILLIAMS (DARK BRONZE) S02.772
- ◆ SHERWIN WILLIAMS (METALLIC SILVER) S02.772
- ◆ SHERWIN WILLIAMS (LIGHT GREY) S02.772

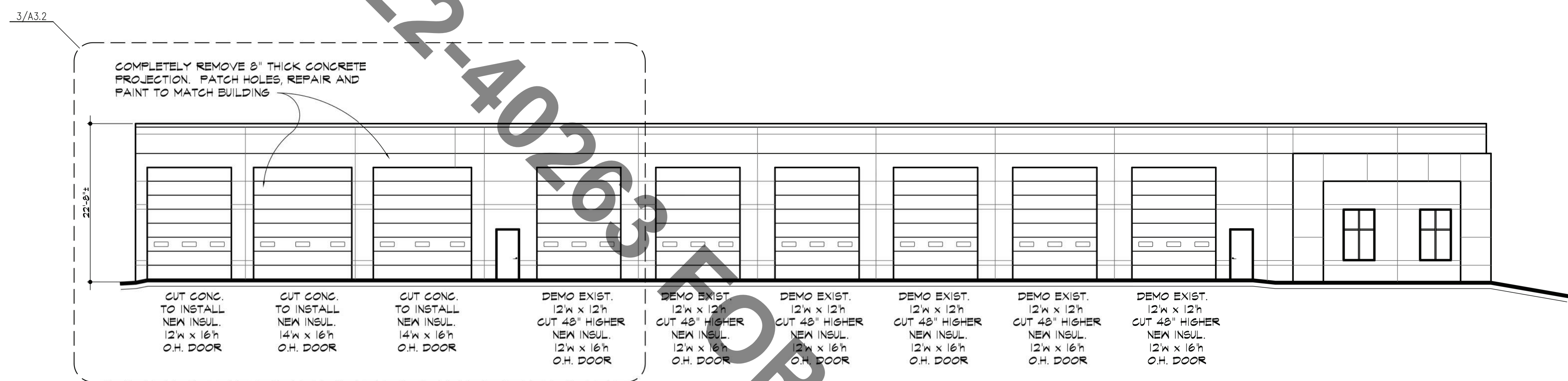
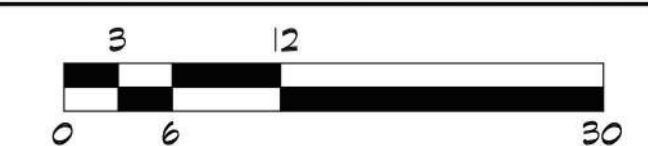


DAVID A. KASTER, RANCARLEEDAP
ARCHITECT
MICHAEL L. HOWARD, ARCHITECT
Copyright © 2023 Kaster Architects, Inc.
7304 WEST 130th STREET
SUITE 170 PARK, KANSAS 66213
TELEPHONE (813) 681-1200
WEB SITE www.kasterarchitects.com



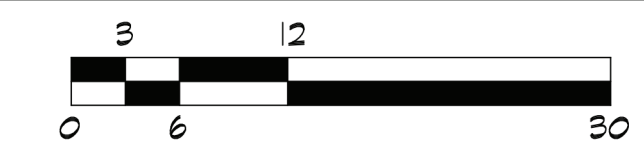
WEST ELEVATION

SCALE // 3/32" = 1'-0"



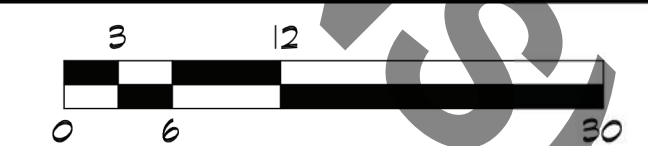
NORTH ELEVATION

SCALE // 3/32" = 1'-0"



EAST ELEVATION

SCALE // 3/32" = 1'-0"



REVISIONS:

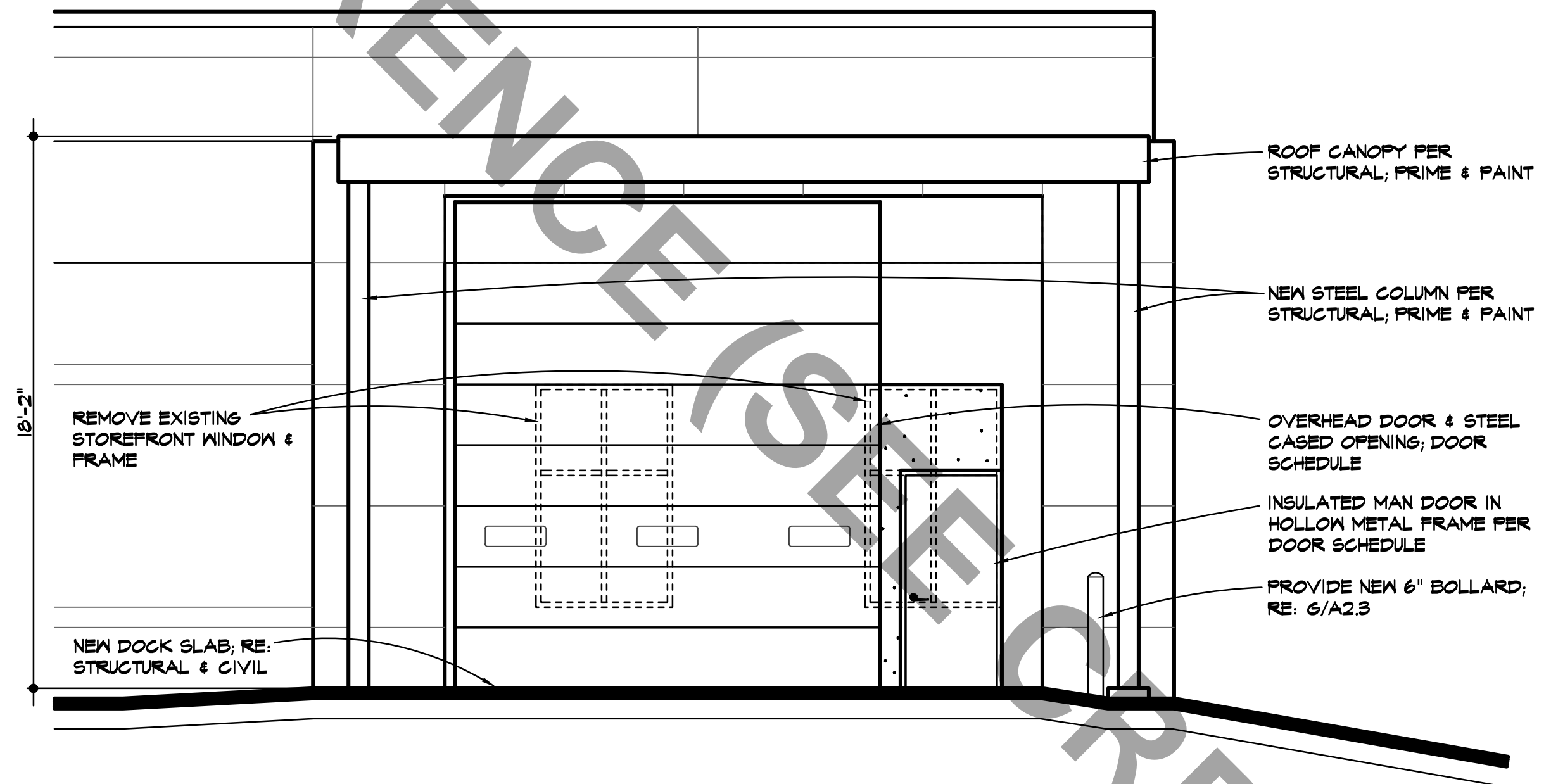
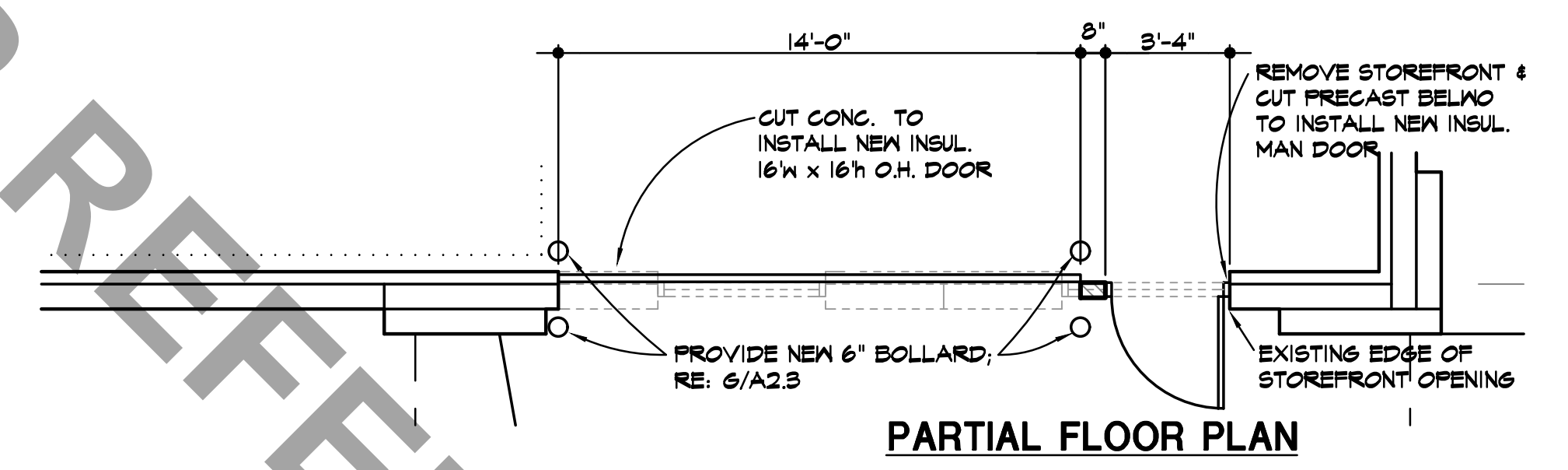
DATE	REVISION	SHEET NUMBER
DEC. 22, 2022		
FEB. 08, 2023	PAINT COLORS ADDED	

KASTER ARCHITECTS INC
ARCHITECTURE · PLANNING · INTERIOR DESIGN

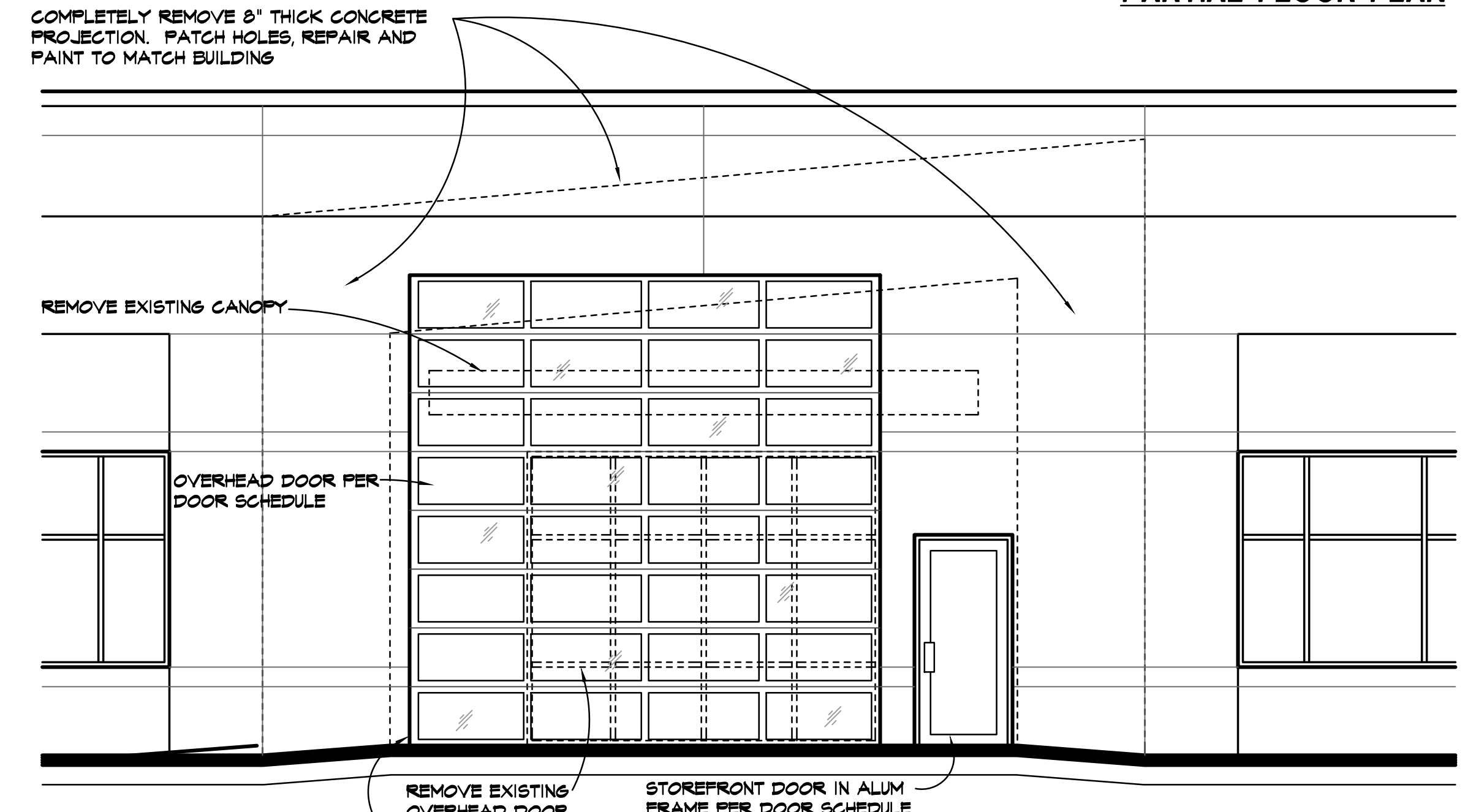
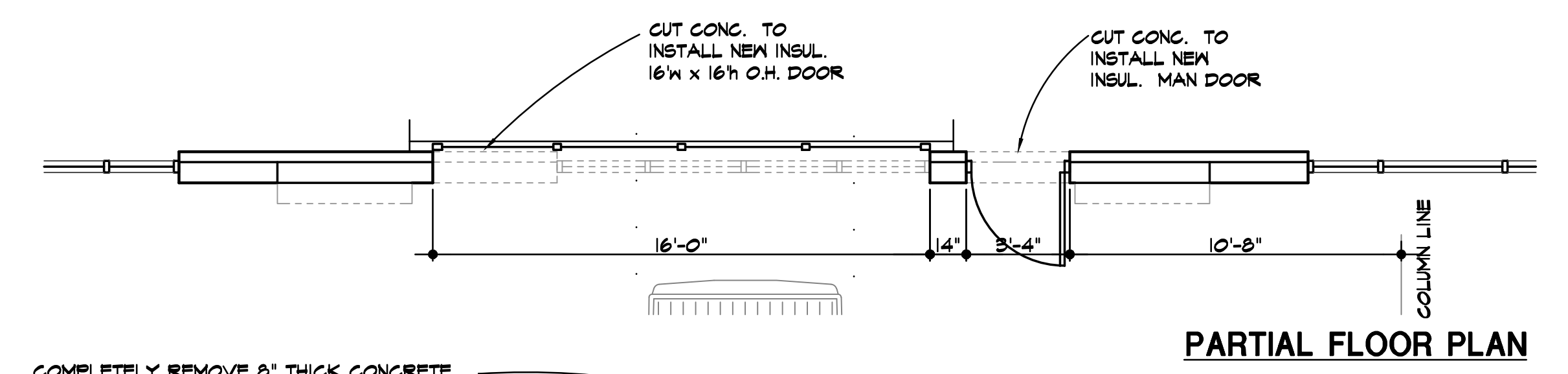
MIDWAY FORD
FORMER VATTEROTT BLDG.
4131 N. CORRINGTON AVE.
KANSAS CITY, MISSOURI

DATE: DEC. 22, 2022
REVISION: FEB. 08, 2023
SHEET NUMBER: **A3.1**
OF SHEETS: 1
KAI JOB NO. 2214-A

FOR REFERENCE (SEE ORBC-2022-40263 FOR CUPRENT PLANS)

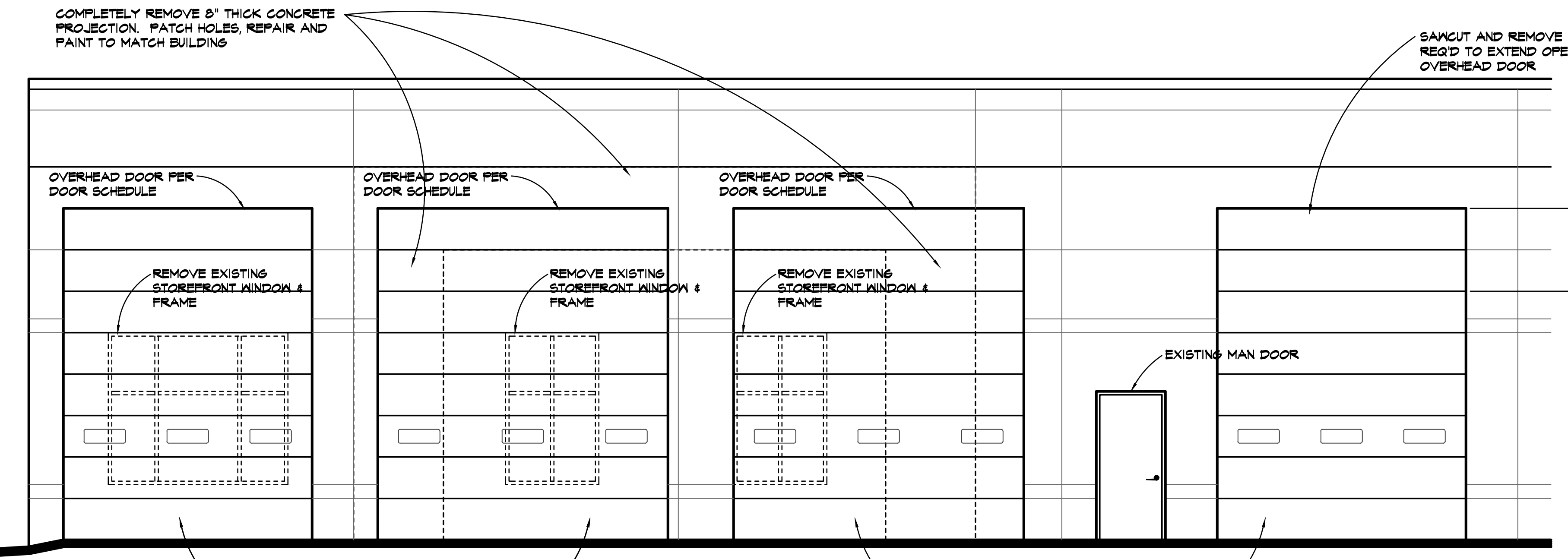
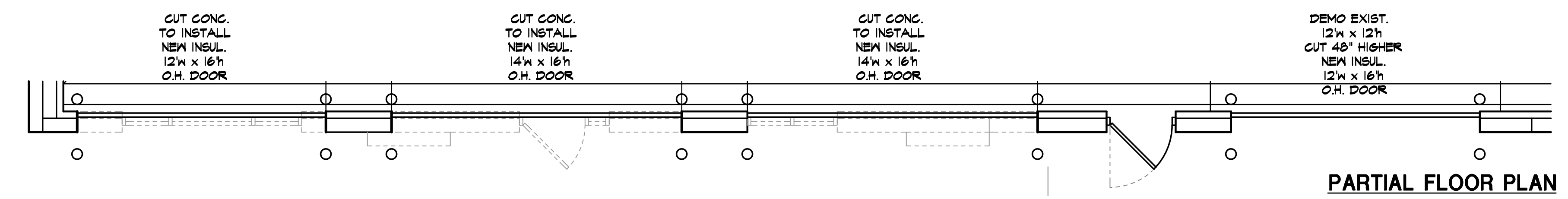


1 PARTS LOADING DOOR
 A3.2 SCALE // 1/4" = 1'-0"
 0 2 5 10

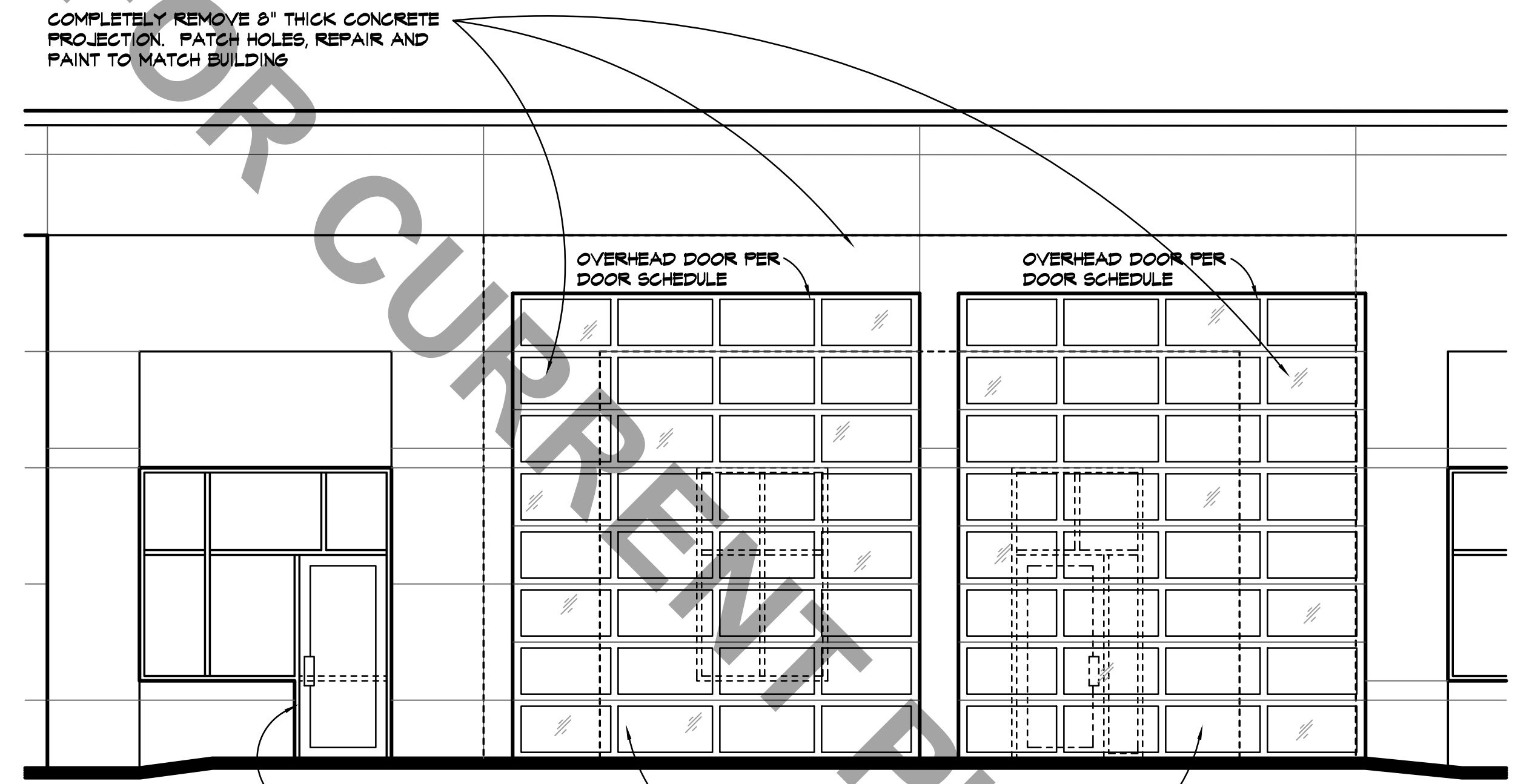
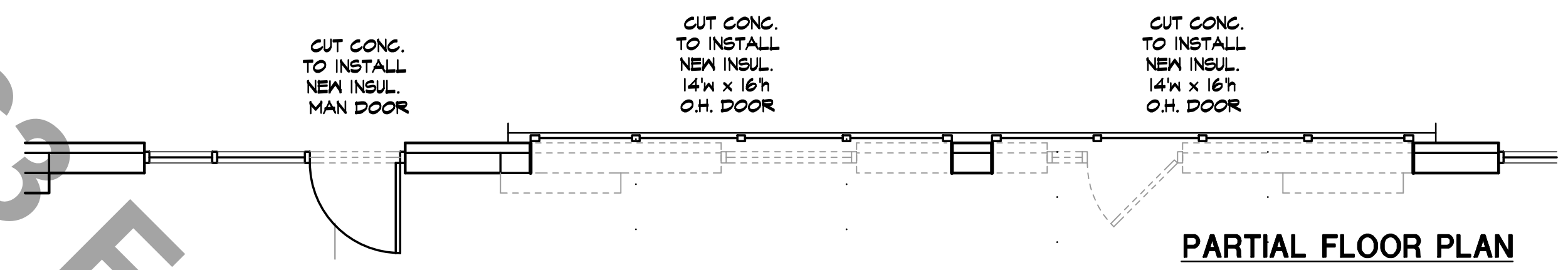


2 Q.C. EXIT DOOR
 A3.2 SCALE // 1/4" = 1'-0"
 0 2 5 10

NOTE:
 ALL SAWCUTS IMPACTING EXISTING PRECAST PANELS MUST BE REINFORCED AS INDICATED BY STRUCTURAL.



3 SERVICE DOORS
 A3.2 SCALE // 1/4" = 1'-0"
 0 2 5 10



4 Q.C. ENTRANCE DOORS
 A3.2 SCALE // 1/4" = 1'-0"
 0 2 5 10



DAVID A. KASTER, RANCARELEEDAP
 MICHAEL L. HOWARD, ARCHITECT
 Copyright © 2022 Kaster Architects, Inc.
 7304 WEST 130th STREET
 SUITE 170 PARK, KANSAS 66213
 TELEPHONE: (813) 681-1200
 WEB SITE: www.kasterarchitects.com

KASTER ARCHITECTS INC

ARCHITECTURE · PLANNING · INTERIOR DESIGN

MIDWAY FORD
 FORMER VATTEROTT BLDG.
 4131 N. CORRINGTON AVE.
 KANSAS CITY, MISSOURI

DATE: DEC. 22, 2022
 REVISED:
 SHEET NUMBER
A3.2
 OF SHEETS
 KAI JOB NO. 2214-A

NOTICE OF APPLICATION

To whom it may concern,

This letter serves as notice of our intent to file an application with the City Planning and Development Department in the City of Kansas City, Mo. The application is for consideration of a

- Permit
- Preliminary plat
- Development plan For a vehicle up-fitting facility and staging lot
- Rezoning from District _____ to District _____

Project Description:

Vatterott College will become a vehicle up-fitting facility with a staging lot across the street

City Code Engagement Requirements:

You are receiving this letter since city code requires a public meeting be held regarding our application(s) and that all contacts associated to any registered neighborhood or civic organization whose boundaries include the project property address are notified. We are contacting you and all other registered contacts for your neighborhood organization to initiate a dialogue about a public meeting. This meeting may be hosted by your organization or ours, and we would like to discuss this with you. Please consult with your neighborhood organization and then contact us (contact information provided below) as soon as possible to discuss meeting details. After discussion, please select one member from your organization to email the City of Kansas City, Mo. at publicengagement@kcmo.org with written confirmation of who is hosting the meeting.

Name: Jacob Hodson

Email: JHodson@Olsson.com

Phone: 816-442-6030

Title/Role: Land Architect / Planning & Design

Company/Employer: Olsson

Representing: Hunt Midwest & Midway Ford

If we do not receive the confirmation email referenced above within ten calendar days, we will host the meeting ourselves. And, as a registered contact, you will be invited. Our application requires approval from the Board of Zoning Adjustment or City Council following a recommendation from the City Plan Commission. After this meeting, the City Plan Commission will hold a public hearing at City Hall. If and when our application is docketed for City Plan Commission consideration, a notice of this hearing will be mailed to all property owners within 300 feet of our project address, as well as contacts with your organization that have provided a mailing address.

Sincerely,



Public Meeting Notice

Please join Hunt Midwest and Jacob Hodson with Olsson

for a meeting about A proposed Development Plan

case number CD-CPC-2023-00023

proposed for the following address: 4130 N. Corrington Ave, Kansas City, MO 64117

Meeting Date: March 27th

Meeting Time: 5 to 6 pm

Meeting Location: Holiday Inn Kansas City-Northeast
4101 N Corrington Ave, Kansas City, MO 64117

Project Description:

The former Varrerott College will become a vehicle up-fitting facility and the vacant land across the street will be a staging lot

If you have any questions, please contact:

Name: Jacob Hodson

Phone: 816-442-6030

Email: jhodson@olsson.com

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at kcmo.gov/publicengagement



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at Compasskc.kcmo.org. You may search by project type and address/case number to find project details.

Sincerely,

A handwritten signature in black ink that reads "Jacob Hodson". The signature is written in a cursive style with a large initial "J".

CD-CPC-2023-00023

4130 N. Corrington Ave
Kansas City, MO 64117



