



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

05/07/2025

Project Name

Fareway Meat Market Development Plan

Docket #4

Request

CD-CPC-2025-00041
Development Plan

Applicant

Daniel Finn
Phelps Engineering

Owner

Mark DeYoung
Fareway Stores, INC

Location	1307 W 79 th St
Area	About .9 Acres
Zoning	B1-1
Council District	6
County	Jackson
School District	Kansas City, MO

Surrounding Land Uses

North: Residential, zoned R-5
South: Residential, zoned R-6
East: Residential, zoned R-6
West: Commercial, zoned R-1.5/B1-1

KC Spirit Playbook Alignment

Medium

Land Use Plan

The Country Club/Waldo Area Plan recommends Commercial Land Use for this location. The proposed plan has a low-medium alignment with this designation. See Criteria A for more information.

Major Street Plan

Ward Parkway is identified as a Parkway on the City's Major Street Plan.

W 79th St, in this section, is identified as a Local Link on the City's Major Street Plan.

APPROVAL PROCESS



SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a major amendment to a previously approved development plan to construct two new commercial buildings on the subject site.

PROJECT TIMELINE

The application for the subject request was filed on 03/16/2025. No scheduling deviations from the 2025 Cycle 5.1 have occurred.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

At the time this staff report was published, the subject site was located within the West Waldo and Ward Parkway Plaza Neighborhood Association.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on 04/23/2025. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

Fareway Meat Market (formerly McGonigle's) currently occupies an existing commercial structure at the subject site. The home at 7910 Mercier St is for operational office uses and outdoor seating for customers.

PROFESSIONAL STAFF RECOMMENDATION

Docket #4	Recommendation
	Approval, Subject to Conditions

Vicinity Map



CONTROLLING + RELATED CASES**CD-CPC-2020-00132 APPROVED**

A request to approve a two-phase Development Plan for "Fareway Market" on about 1.68 acres located at 1301 W 79th St, or generally located at the southeast corner of W 79th St and Ward Parkway. *Plan expiration extended on 09/04/2024.

200935 APPROVED

Approving a major amendment to a development plan to allow for a parking lot as Phase 1 to the existing approved development plan in District B1-1 on about 1.68 acres generally located southwest of the intersection of Ward Parkway and W. 79th St (CD-CPC-2020-00132)

200014 APPROVED

Rezoning an area of about 1.68 acres generally located southwest of the intersection of Ward Parkway and W. 79th St from Districts B1-1 and R-6 to District B1-1, and approving a development plan for the proposed McGonigle's Expansion Plan for two commercial buildings (CD-CPC-2019-00196 and 199)

200155 APPROVED

Acknowledging receipt of a restrictive covenant delivered by the owners of certain real property generally located southwest of the intersection of Ward Parkway and W. 79th Street imposing certain restrictions on the property for the mutual benefit of the City and present and future owners and directing the recording of this Resolution by the City Clerk.

CD-BZA-2020-00083 APPROVED

A request to approve a setback and vehicular use area variance to the Boulevard and Parkway Standards for the Fareway Meat Market project on about 1 acre generally located at the southeast corner of W 79th St and Ward Parkway.

170167 APPROVED

Rezoning an area of approximately 0.75 acres generally located at the southeast corner of W. 79th Street and Ward Parkway from Districts R-6 and B1-1 to District B1-1, and approving a development plan for the same area to permit an existing food and beverage retail sales establishment (14768-P and 14768-P1).

170168 APPROVED

Amending the Waldo Area Plan on an approximately 0.25-acre tract of land, generally located at the southeast corner of W. 79th St and Ward Parkway, by changing the recommended land use from low-density residential to retail/office (256.S-5).

CICO-201810585 APPROVED

Certificate of Occupancy for change of use from single family to business at 7910 Mercier St (the house just south of the original McGonigle's Market structure).

16-0453998-503667 RESOLVED

The zoning code violation case which generated the above-mentioned rezoning, area plan amendment, development plan, and subsequent permits for McGonigle's Market and house just to the south.

PLAN REVIEW

Development plans allow for the City Council to review projects proposing significant development, to determine whether such plans further the purposes of the zoning and development code and other City plans or policies. In 2020, three companion cases (area plan amendment, rezoning, and development plan) were approved to redevelop the Fareway Meat Market site (1307 W 79th St and 7918 – 7924 Mercier St). This redevelopment included the construction of two commercial buildings and a redesigned parking lot.

Major amendments to previously approved development plans are required when specific changes, identified in 88-516-06, are proposed. The proposed project amends a previously approved development plan for increasing the vehicular use area to accommodate larger loading zones by ~24% and total building sizes by 38%.

PLAN ANALYSIS

Commercial Lot and Building (88-110), Use- Specific (88-300), and Development Standards (88-400)

**indicates adjustment/deviation*

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-120)	Yes	Yes	See Site Plans
Accessory or Use- Specific Standards (88-305 – 385)	No	-	-
Boulevard and Parkway Standards (88-323)*	Yes	No	See Staff Notes Below
Parkland Dedication (88-408)	No	-	-
Tree Preservation and Protection (88-424)	Yes	Yes	See Site Plans and Condition #6
Parking and Loading Standards (88-420)	Yes	No	See Condition #9
Landscape and Screening Standards (88-425)*	Yes	Yes	See Site Plans and Condition #7
Outdoor Lighting Standards (88-430)	Yes	No	See Condition #9
Sign Standards (88-445)	Yes	-	No detailed sign plan attached. All signage must comply with 88-445.
Pedestrian Standards (88-450)	Yes	Yes	See Site Plans

Boulevard and Parkway Standards (88-323)

If adjacent to and within 150 ft of a parkway, structures shall provide a minimum of 33% transparency on the ground-level façade facing the parkway. 88-810-2165 defines transparency as “windows or doors that allow clear views of indoor spaces. To qualify as transparent, windows or doors shall not be mirrored, darkly tinted, or of any material that obscures visibility between the inside and outside.” Though the applicant is installing windows that meet the 33% spatial requirement, spandrel glazing is being utilized (which does not meet the zoning and development code's definition of transparent). The applicant has requested a variance to this requirement.

Landscape and Screening Standards (88-425)

The proposed project requires 53 parking spaces, and 57 are being provided. In order to prioritize the number of parking spaces developed for the site, limited interior landscaping within the vehicular use areas was provided. However, for alternative compliance to 88-425-06, the landscaping required within the vehicular use area will be installed around the walk-up window/outdoor eating area at the northwest corner of Building A – phase 1. See Condition #7.

SPECIFIC REVIEW CRITERIA**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

- A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**
 - Yes, if the variance (currently under review) to the parkway transparency standard is approved, the proposed project would comply with the zoning and development code. AN
 - The proposed project has received a low-medium alignment with the area plan and KC Spirit Playbook due to development context and form guideline issues. See the KC Spirit Playbook and Area Plan Checklist for more information. SC
- B. The proposed use must be allowed in the district in which it is located;**

Food and Beverage Retail Sales and General Retail Sales are permitted uses within the B1-1 zoning district.
- C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**
 - With access points off of Ward Parkway and Mercier St, the proposed project provides vehicular ingress and egress facilities (and internal circulation) appropriate for the identified uses.
 - The access point off of Mercier St is very large, especially considering the access point is adjacent to an established residential neighborhood. The design of the Mercier St access point accommodates the semi-trailer traffic, with the rear wheels using the stamped concrete area (not permeable) when semi-trailers enter/exit the site. Though not ideal, the site's alternative access points, Ward Parkway or W 79th St, also a busy intersection, are less favorable considering loading traffic.
- D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**
 - The proposed project provides adequate pedestrian circulation opportunities for the proposed use.

- See Condition #9, the amount and location of bicycle facilities need to be clarified.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The appropriate city divisions/departments responsible for ensuring that public facilities and services are connected/available to serve the development have reviewed the project.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The orientation and architectural features of the proposed project do not match the adjacent properties. However, the proposed project aligns with other high-quality new construction across the city.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

Considering the property is adjacent to an established residential neighborhood, the proposed project needed to provide adequate landscaping, fences, or buffers. The buildings wrap glazing around the structure (when feasible), 6 ft solid fencing, and street trees along Mercier St to help mitigate negative influences from the commercial property.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The proposed major amendment is needed due to the developer's desire to construct larger drives, parking, and loading areas.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

The project complies with 88-424 and 88-425.

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials
4. KC Spirit Alignment (CompassKC)

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **APPROVAL, SUBJECT TO CONDITIONS** as stated in the conditions report.

Respectfully Submitted,

Ahnna Nanoski, AICP
Planning Supervisor



Plan Conditions

Report Date: May 02, 2025

Case Number: CD-CPC-2025-00041

Project: Fareway Meat Market Development Plan

Condition(s) by City Planning and Development Department. Contact Ahnna Nanoski at (816) 513-8816 / Ahnna.Nanoski@kcmo.org with questions.

1. Any fencing installed on the north, south, or west property lines is subject to 88-323-02-D.2.
2. No detailed sign plan was provided. All signage must comply with 88-445. Inspector to verify.
3. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping and street trees required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
4. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
5. (Plans Review Condition) Building plans submittal shall meet the requirements of the Kansas City Building and Rehabilitation Code in effect at the time of submission.
6. The developer shall submit an affidavit, completed by an ISA certified arborist, an SAF certified forester, a professional engineer, or a landscape architect licensed in the State of Missouri, verifying that all trees preserved and all trees planted to meet mitigation required of the approved plan, whichever is applicable, has been installed or preserved in accordance with the plan and is healthy prior to Certificate of Occupancy.
7. Per 88-425-13, alternative compliance from the interior landscaping standards is granted by relocating trees and shrubs, per the approved landscape plan.
8. Trash containers, dumpsters, trash compactors, and recycling bins associated with both project phases shall comply with 88-425-08, details identified in building plans/permits.
9. The following corrections shall be resolved prior to the ordinance request.
 1. Update the parking table. Required bicycle parking spaces (total short-term and long-term) = 8. 4/24 Note: Is the development team requesting alternative compliance for two bicycle parking spaces? If so, plant 2 bushes native to Missouri on the site. Make a note of the alternative compliance request and how it is being satisfied on the bicycle parking and landscaping table.
 2. Identify the location and design of the bicycle parking per 88-420-09. 4/24: Correction unresolved (or staff needs assistance identifying the correct plan sheet).
 3. The outdoor lighting plan needs to be updated. Expand the photometric plan to cover the entire site and the spillover onto the right-of-way and/or adjacent residentially zoned property. Per 88-430-05-C, spillover light may not exceed 0.186 foot-candle onto R-zoned property or 1.0 foot-candle onto public rights-of-way measured at grade along the property line. Do not count city street lights in the proposed project's analysis. If a variance is being requested, submit a statement of practical difficulty. 4/24 Note: There is a very small portion of the eastern parking lot/curb cut that exceeds the spillover maximum. Does the development team want to revise plans or request a small variance?

Condition(s) by City Planning and Development Department. Contact Matthew Barnes at (816) 513-8817 / matthew.barnes@kcmo.org with questions.

10. That prior to issuance of any certificate of occupancy, the applicant submit and gain approval of a Final Plat in accordance with the Preliminary Plat.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

11. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

12. • Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
 - Fire hydrant distribution shall follow IFC-2018 Table C102.1
13. • The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
14. • A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3) (No Grass Pavers Allowed)
15. • Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
16. • Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
17. • The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)

Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / richard.sanchez@kcmo.org with questions.

18. Ward Parkway is classified as a Parkway; therefore, any new developments, façade changes, or additions as listed in the applicability section of 88-232-01-A, the property owner shall comply with the Parkway and Boulevard Standards or obtain a variance from the Board of Zoning Adjustments prior to obtaining a building permit.
19. Prior to construction adjacent to a Parks and Recreation jurisdictional street and/or park the developer and/or their representative shall obtain a Parks and Recreation permit for storage and restoration within a park or a Parks and Recreation jurisdictional street right-of-way including but not limited to the installation of construction trailer, stockpiling of materials or equipment, construction roads and utility cabinets/meters.
20. The developer shall submit plans to Parks & Recreation Department and obtain permits prior to beginning construction of streetscape improvements (including but not limited to sidewalks, curbs, gutters, streetscape elements, pedestrian and street lighting) on the Parks jurisdictional streets and construct improvements, ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired. Such improvements shall be installed per Parks & Recreation Department Standards
21. The developer shall submit a letter to the Parks and Recreation Department from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, stating the condition of the sidewalks, curbs, and gutters along boulevard/parkway, which is a Parks and Recreation jurisdictional street. The letter shall identify state of repair as defined in Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters. It shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages, as required by the Parks and Recreation Department, prior to recording the plat/issuance of any certificate of occupancy permits including temporary certificate occupancy permits.

Condition(s) by Parks & Recreation. Contact Virginia Tharpe at / virginia.tharpe@kcmo.org with questions.

22. The developer shall be responsible for tree preservation in an easement or platted tract, mitigation planting, or payment of cash-in-lieu of preservation or mitigation planting, or any combination thereof in accordance with 88-424. Should the developer choose to pay cash-in-lieu of preservation or mitigation of all or a portion of the required area, the amount due shall be based upon the rate specified in 88-424. This requirement shall be satisfied prior to issuance of certificate of occupancy, or prior to the recording of the final plat, whichever occurs first.

Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

23. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
24. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.

Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

25. The developer shall integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.
26. After the City Plan Commission enters its disposition for the development plan, the developer shall not enter into any agreement that would encumber or otherwise have any impact on the proposed right-of-way dedications for the planned project without the prior written consent of the Land Development Division.
27. The developer shall submit plans to the Land Development Division and obtain permits to construct sidewalks along the platted frontage of Ward Parkway, W 79th Street and Mercier Street. In addition the developer shall construct associated ADA ramps at the proposed entrance drives as necessary for the type of drive approach.
28. The developer must subordinate to the City all private interest in the area of any right-of-way dedication, in accordance with Chapter 88 and as required by the Land Development Division, prior to issuance of any construction permits within said right-of-way, and that the owner/developer shall be responsible for all costs associated with subordination activities now and in the future.
29. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

30. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact - Patrick Lewis (816) 513-0423
North of River contact - David Gilyard (816) 513-4772
31. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to issuance of Certificate of Occupancy. <https://www.kcwater.us/projects/rulesandregulations/>
32. Abandonment of services shall be performed under a Kill or a Disconnect Permit in the following manner:
 - (a) On tap service connections, the corporation stop shall be uncovered, the corporation stop turned off, the service line disconnected, and the threads cut off of the corporation. All curb boxes, meter tiles and backflow preventer vaults whether on public or private property, shall have all rings, covers, and lids removed, wall casings removed or broken down to a minimum of one foot below grade. The backflow vault shall be backfilled with sand, clean fill or an approved material.
 - (b) On branch service connections, the abandonment shall be performed in a manner specified by KC Water. Service lines shall be exposed at the main and KC Water called for an inspection. At this point the KC Water will advise either how to kill, or take over the kill. Normally the Licensed Master Plumber will be required to remove any tee or tap and associated valves and install a section of ductile iron pipe and solid sleeves in accordance with the Standards and Specifications for Water Main Extensions as published by KC Water.

Condition(s) by Water Services Department. Contact Philip Taylor at / philip.taylor@kcmo.org with questions.

33. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations, by making application under said code for a Minor Subdivision and submitting and recording a Lot Consolidation Plat or replatting the property in accordance therewith.
34. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to KC Water showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to KC Water for review and acceptance for the disturbed area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by KC Water.

35. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
36. The owner/developer must submit plans for grading, siltation, and erosion control to KC Water for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
37. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by KC Water prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
38. The developer must secure permits to connect to public storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by KC Water, prior to recording the plat or issuance of a building permit whichever occurs first.
39. The developer must grant a BMP Easement to the City as required by KC Water, prior to recording the plat or issuance of any building permits.
40. The developer must enter into a covenant agreement for the maintenance of any stormwater detention area tracts as required by KC Water, prior to recording the plat. Storm detention areas that serve more than one lot must be platted in a separate detention tract.
41. The developer shall provide private storm drainage easements for any private mains prior to issuance of any building permits.
42. The developer shall provide Covenants to Maintain Private Storm Sewer Mains acceptable to KC Water for any private storm sewer mains prior to the issuance of any building permits.

IN THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI



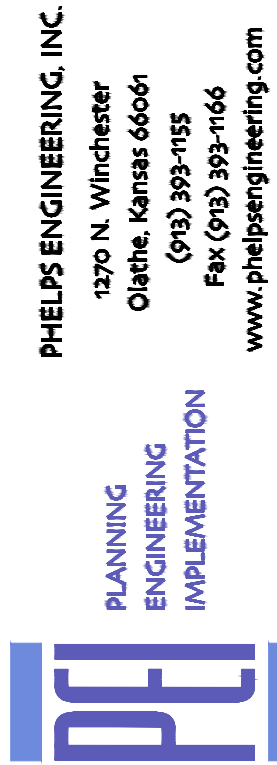
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<div><div>DEMOLITION NOTES:</div><div><div>1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.</div><div>2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.</div><div>3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.</div><div>4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.</div><div>5. REFER TO THE BUILDING PLANS FOR SITE LIGHTING ELECTRICAL MODIFICATIONS (IF ANY) TO THE EXISTING SYSTEM.</div></div></div>																							
<div><div>SITE PLAN NOTES:</div><div><div>1. All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference.<div><div>A) City ordinances & O.S.H.A. Regulations.</div><div>B) The City of Kansas City, Missouri Technical Specifications and Municipal Code.</div><div>C) APM Standard Specifications and Design Criteria, latest edition.</div><div>D) Project Specific Specifications.</div></div></div><div>2. The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times.</div><div>3. The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.</div><div>4. The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.</div><div>5. The demolition and removal(relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.</div><div>6. Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc., as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.</div><div>7. All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and unknown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.</div><div>8. The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.</div><div>9. The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the Engineer of any discrepancies.</div><div>10. SAFETY NOTICE TO CONTRACTOR: In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.</div><div>11. WARRANTY/DISCLAIMER: The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. However, neither the Engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the Engineer observes the physical construction on a continual basis at the site.</div><div>12. No work is to be allowed within the public right-of-way or easements without a right of way work permit.</div><div>13. All paving construction and earthwork grading/compaction shall conform to the requirements of the geotechnical engineering report prepared for this project.</div><div>14. Within forty-eight hours prior to any asphalt or concrete paving, the subgrade shall be proof rolled with a fully loaded tandem wheeled dump truck and observed by the on-site geotechnical engineer. Areas of the subgrade with excessive rutting and/or pumping shall be re-worked or removed in accordance with the project specifications. Flyash or granular material may be added by the contractor to stabilize the subgrade. See project specifications.</div><div>15. All curb shall be sloped for positive drainage. Contractor shall use "dry curb and gutter" as needed in localized paved areas that drain away from the curb and gutter. See paving details.</div><div>16. The Contractor is responsible for the protection all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.</div><div>17. The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, etc. Damaged improvements shall be repaired in conformance with the latest city standards and to the City's satisfaction.</div><div>18. The contractor is responsible for providing berms, silt fences, straw bales, or other means to prevent eroded materials from reaching the public right-of-way and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt or mud and restore the right-of-way or adjacent property to original or better condition.</div><div>19. All disturbed areas are to receive topsoil, sod and water until a healthy stand of grass is established. See the landscaping plans for requirements. Re-seeding shall be required (see project specifications).</div><div>20. The contractor shall sod all disturbed areas within the public street right-of-way.</div><div>21. Contractor shall refer to the architectural building plans for exact locations and dimensions of vestibules, slope paving, sidewalks, exit porches, truck docks, precise building dimensions and exact building utility entrance locations. All dimensions are to outside wall of building(s).</div><div>22. Refer to building plans for site lighting electrical plan.</div><div>23. Contractor to remove existing trees and vegetation, as necessary, for site construction unless specifically noted to remain.</div><div>24. Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.</div></div></div>																							
<div><div>SITE DIMENSION NOTES:</div><div><div>1. BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.</div><div>2. ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.</div></div></div>																							
<div><div>PAVEMENT MARKING AND SIGNAGE NOTES:</div><div><div>1. PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.</div><div>2. HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.</div><div>3. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".</div><div>4. STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.</div><div>5. TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-29Y2 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.</div></div></div>																							
<div><div>SITE GRADING NOTES:</div><div><div>1. CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.</div><div>2. If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.</div><div>3. CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.</div><div>4. TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and ITL.</div><div>5. Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.</div><div>6. SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.</div><div>7. PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.</div><div>8. EARTHWORK:<div><div>A) GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.</div><div>B) SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.</div><div>C) FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five, feet building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.</div><div>D) BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper section of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.</div><div>E) EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.</div><div>F) COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.</div></div></div><div>9. All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.</div><div>10. TESTING AND INSPECTION: Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.</div><div>11. CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.</div><div>12. PERMANENT RESTORATION: All areas disturbed by earthwork operations shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.</div><div>13. UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.</div><div>14. LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P.P. requirements.</div></div></div>																							
<div><div>UTILITY NOTES:</div><div><div>1. The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate &/or remove all existing utilities which conflict with the proposed improvements shown on the plans.</div><div>2. The construction of storm sewers on this project shall conform to the requirements of the City of Kansas City, Missouri's Technical Specifications and Design Criteria.</div><div>3. The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.</div><div>4. It will be the contractors responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.</div><div>5. Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.</div><div>6. The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other incidentals required for a complete operable fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of the City of Kansas City, Missouri.</div><div>7. The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City of Kansas City, Missouri.</div><div>8. The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, the City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.</div><div>9. By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.</div><div>10. The Contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.</div><div>11. All fill material is to be in place, compacted, and considered before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.</div><div>12. Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.</div><div>13. Branch service lines 2" and smaller shall conform to the latest federal specifications for Type K flexible copper tubing up to the water tee. Five feet after the meter to the building high density polyethylene (HDPE) pipe may be installed on service lines up to two inches. The HDPE piping shall be SDR 9 and meet AWWA C901 and copper tubing size (CTS) standards. Building grounding must meet current building codes.</div><div>14. Branch service lines larger than 2" shall be ductile iron pipe, and in accordance with the water department's standards and specifications for water main extensions.</div><div>15. Water mains and service lines shall have a cover of not less than 4 feet nor more than 5 feet unless obstructions require deeper excavation for clearance.</div><div>16. Minimum trench width shall be 2 feet.</div><div>17. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to the City of Kansas City, Missouri's specifications for commercial services.</div><div>18. All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, an 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.</div><div>19. Sanitary conflicts will be resolved prior to permit issuance.</div><div>20. All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.</div><div>21. All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.</div><div>22. Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.</div><div>23. When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such site utility terminations.</div><div>24. Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.</div></div></div>																							
PEI # 241029																							

GastingWalker &



Fareway Meat Market

1307 W 79th Street
Kansas City, MO 64114

Fareway Stores, Inc

2300 Industrial Park Road
Boone, IA 50036
515.432.2623

ISSUED FOR:

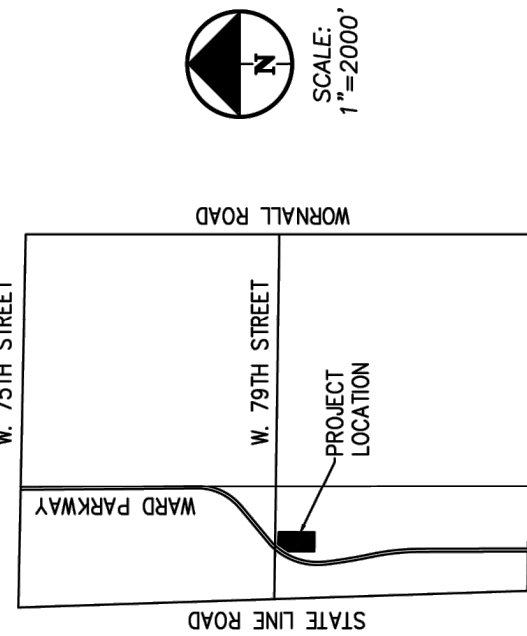
KCMO Final Plan Submittal	14 Mar 2025
KCMO Final Plan Resubmittal	21 April 2025

Missouri Certificate of Authority: #ARC000344

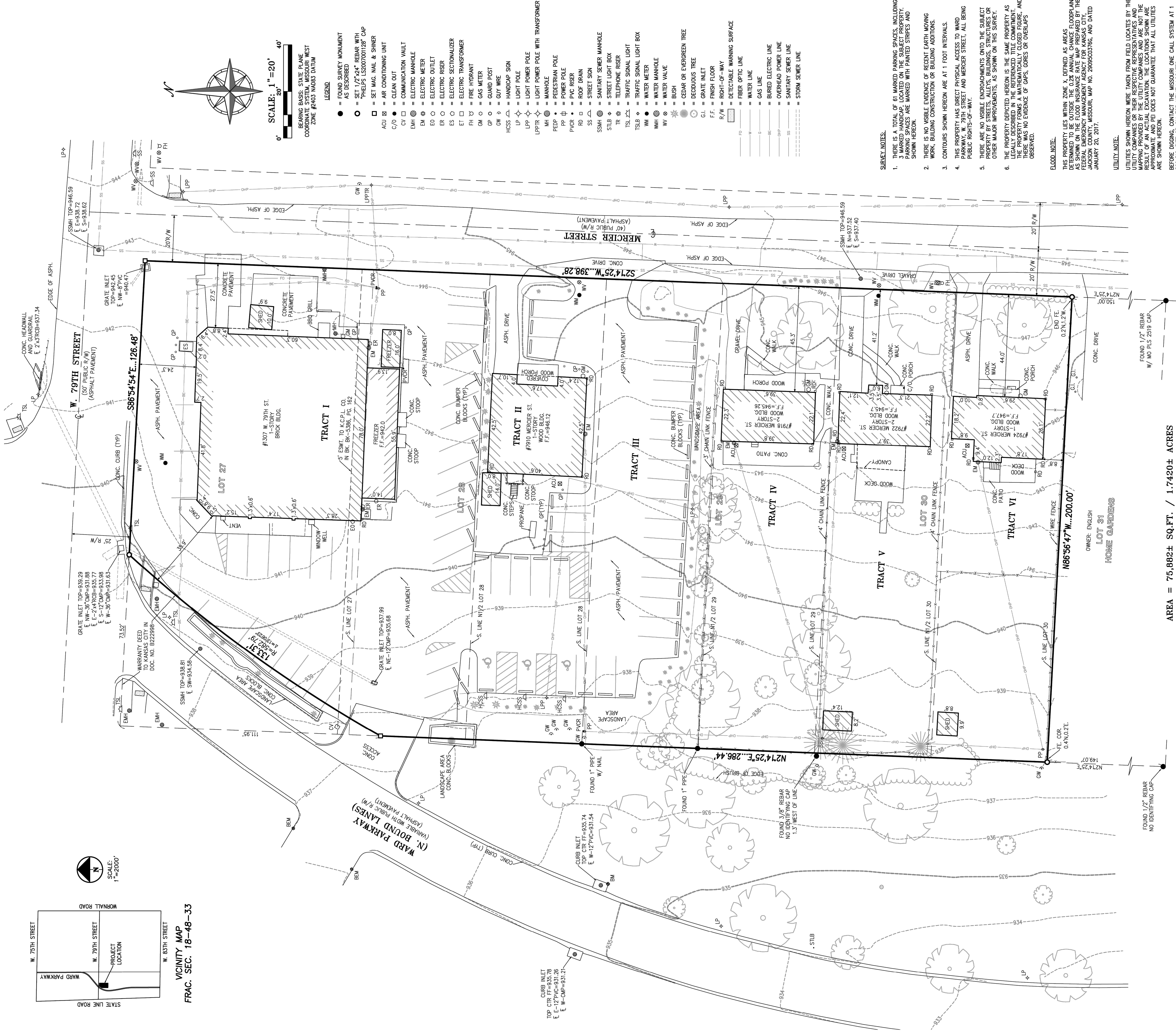
Drawn By	TA
Checked By	AM

GENERAL NOTES

C001



VICINITY MAP
FRAC. SEC. 18-48-33



AREA = 75,882± SQ.FT. / 1.7420± ACRES

DESCRIPTION:

TRACT I: (0# 47-930-02-25-00-0-00-000 - 1307 W 79TH ST., KANSAS CITY, MO 64114)
LOT 27 AND THE NORTH 1/2 OF LOT 28, HOME GARDENS, EXCEPT THAT PART THEREIN IN 79TH STREET,
AND EXCEPT THAT PART OF SAID LOTS CONVEYED TO KANSAS CITY, AS DESCRIBED IN THE WARRANTY DEED
DATED FEBRUARY 1, 1957, FILED FEBRUARY 7, 1957, AS DOCUMENT NO. B-222998, IN BOOK B-5048, AT
PAGE 427.

TRACT II: (0# 47-930-02-25-00-0-00-000 - 7910 MERCER ST., KANSAS CITY, MO 64114)
THE SOUTH 1/2 OF LOT 28, HOME GARDENS, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT III: (0# 47-930-02-25-00-0-00-000)
THE NORTH 1/2 OF LOT 28, HOME GARDENS, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT IV: (0# 47-930-02-04-00-0-00-000 - 7918 MERCER ST., KANSAS CITY, MO 64114)
THE SOUTH 1/2 OF LOT 28, HOME GARDENS, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT V: (0# 47-930-02-05-00-0-00-000 - 7922 MERCER ST., KANSAS CITY, MO 64114)
THE NORTH 1/2 OF LOT 30, HOME GARDENS, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TRACT VI: (0# 47-930-02-06-00-0-00-000 - 7924 MERCER ST., KANSAS CITY, MO 64114)
THE SOUTH 1/2 OF LOT 30, HOME GARDENS, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI.

TITLE NOTE:

TITLE INFORMATION SHOWN HEREON WAS TAKEN FROM KANSAS CITY TITLE, AGENT FOR OLD REPUBLIC NATIONAL
TITLE AND INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE NO. KCT-283228 DATED FEBRUARY 6, 2020 AT
8:00 AM.

SCHEDULE B, SECTION 1 EXCEPTIONS:

4. EASEMENT OVER THE PREMISES IN QUESTION, GRANTED TO KANSAS CITY POWER & LIGHT COMPANY, BY
THE INSTRUMENT RECORDED AS DOCUMENT NO. A-180749 IN BOOK B-2458 AT PAGE 246, MORE FULLY
DESCRIBED THEREIN. (TRACT I) [NO DOCUMENT FURNISHED]

5. THE INSTRUMENT OVER THE PREMISES IN QUESTION, GRANTED TO KANSAS CITY POWER & LIGHT COMPANY, BY
THE INSTRUMENT RECORDED AS DOCUMENT NO. A-682953 IN BOOK B-3479 AT PAGE 252, MORE FULLY
DESCRIBED THEREIN. (TRACT I) [NO DOCUMENT FURNISHED]

6. EASEMENT OVER THE PREMISES IN QUESTION, GRANTED TO KANSAS CITY POWER & LIGHT COMPANY, BY
THE INSTRUMENT RECORDED AS DOCUMENT NO. A-271869 IN BOOK B-5386 AT PAGE 162, MORE FULLY
DESCRIBED THEREIN. (TRACT I) [TRACT'S PROPERTY AS SHOWN]

7. EASEMENT OVER THE PREMISES IN QUESTION, GRANTED TO KANSAS CITY POWER & LIGHT COMPANY, BY
THE INSTRUMENT RECORDED AS DOCUMENT NO. A-682953 IN BOOK B-3479 AT PAGE 246, MORE FULLY
DESCRIBED THEREIN. (TRACT I, II, IV, V) [NO DOCUMENT FURNISHED]

8. TERMS AND PROVISIONS OF THE RESTRICTIONS CONTAINED IN THE INSTRUMENT RECORDED AS DOCUMENT
NO. 1923AT2051 IN BOOK 82279 AT PAGE 502. (TRACT II, III, IV, V) [NO DOCUMENT FURNISHED]

9. TERMS AND PROVISIONS OF THE RESTRICTIONS AS CONTAINED IN THE WARRANTY DEED RECORDED AS
DOCUMENT NO. 1937A597305 IN BOOK 83276 AT PAGE 163. (TRACT V) [NO DOCUMENT FURNISHED]

SURVEY NOTES:

THERE IS A TOTAL OF 61 MARKED PARKING SPACES, INCLUDING
THAT LOCATED ON THE NORTH 1/2 OF LOT 28, HOME GARDENS, AS SHOWN
HEREON. PARKING SPACES ARE MARKED WITH PAINTED STRIPES AND
SHOWN HEREON.

THERE IS NO VISIBLE EVIDENCE OF RECENT EARTH MOVING
OR WORK BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

CONTOURS SHOWN HEREON ARE AT 1 FOOT INTERVALS.

THIS PROPERTY HAS DIRECT PHYSICAL ACCESS TO WARD
PARKWAY, 79TH STREET AND MERCER STREET, ALL BEING
PUBLIC RIGHTS OF WAY.

THERE ARE NO VISIBLE ENCROACHMENTS ONTO THE SUBJECT
PROPERTY OR INTO THE SUBJECT PROPERTY FROM ANY OTHER
OTHER MAJOR IMPROVEMENTS, AS SHOWN ON THIS SURVEY.

THE PROPERTY DEPICTED HEREON IS THE SAME PROPERTY, AS
LEGALLY DESCRIBED IN THE REFERENCED TITLE COMMENT.
THE PROPERTY FORMS A MATHEMATICAL CLOSED FIGURE, AND
THERE WAS NO EVIDENCE OF GAPS, GORES OR OVERLAPS
OBSERVED.

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS
DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
AND NOT SUBJECT TO FLOODING AS DETERMINED BY THE
FEDERAL EMERGENCY MANAGEMENT AGENCY FOR KANSAS CITY,
JACKSON COUNTY, MISSOURI, MAP NO. 2806502766, AND DATED
JANUARY 20, 2017.

UTILITY NOTE:

UTILITIES SHOWN HEREON WERE TAKEN FROM FIELD LOCATES BY THE
UTILITY COMPANIES OR THEIR RESPECTIVE REPRESENTATIVES AND
MAPPING PROVIDED BY THE UTILITY COMPANIES AND ARE NOT THE
APPROPRIATE AND PEI DOES NOT GUARANTEE THAT ALL UTILITIES
ARE SHOWN HEREON.

BEFORE DIGGING, CONTACT THE MISSOURI ONE CALL SYSTEM AT 1
800 DIG-ONE OR 811 FOR UTILITY LOCATES.

ZONING:

THE PROPERTY IS ZONED B-1, PER THE KANSAS CITY MISSOURI
PARCEL MAP.

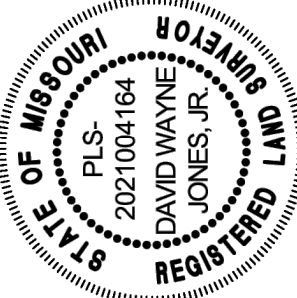
NOTE: THIS SURVEYOR WAS NOT FURNISHED A ZONING REPORT OR
LETTER FOR THIS PROPERTY.

REMARKS:

VERTICAL DATUM = NAVD83 BASED ON GPS
OBSERVATION USING SMARTNET GPS NETWORK

1. SET "X" PLUS CUT IN SE COR. CURB INLET LOCATED ON THE
EAST SIDE OF WARD PARKWAY NEAR PROJECT MOPUNT.
ELEVATION = 835.74

THIS IS TO CERTIFY THAT THIS CERTIFICATE OF SURVEY IS BASED ON AN ACTUAL SURVEY MADE BY ME OR UNDER MY
DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE CURRENT STANDARD FOR PROPERTY BOUNDARY
SURVEYS AS ESTABLISHED BY THE DEPARTMENT OF AGRICULTURE AND DIVISION OF LAND SURVEY OF THE STATE OF
MISSOURI. I HAVE NOT BEEN ADVISED OF ANY OTHER SURVEYS OF THE SAME PROPERTY OR ANY PART THEREOF. THE
PRACTICE OF SURVEYING AND THE PLATING OF SUBDIVISION TO THE BEST OF MY PROFESSIONAL INFORMATION KNOWLEDGE
AND BELIEF.



THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS
FOR A PROFESSIONAL SURVEYOR AS SET FORTH IN THE MISSOURI
STANDARDS FOR PROPERTY BOUNDARY SURVEYS

BY: DAVID WAYNE JONES, JR., JR. MO. LS-2021004164

CERTIFICATE OF SURVEY

HOME GARDENS, LOTS 27 THRU 30
KANSAS CITY, JACKSON COUNTY, KANSAS
ADDRESS: 1307 W. 79TH STREET

PHILIPS ENGINEERING, INC.

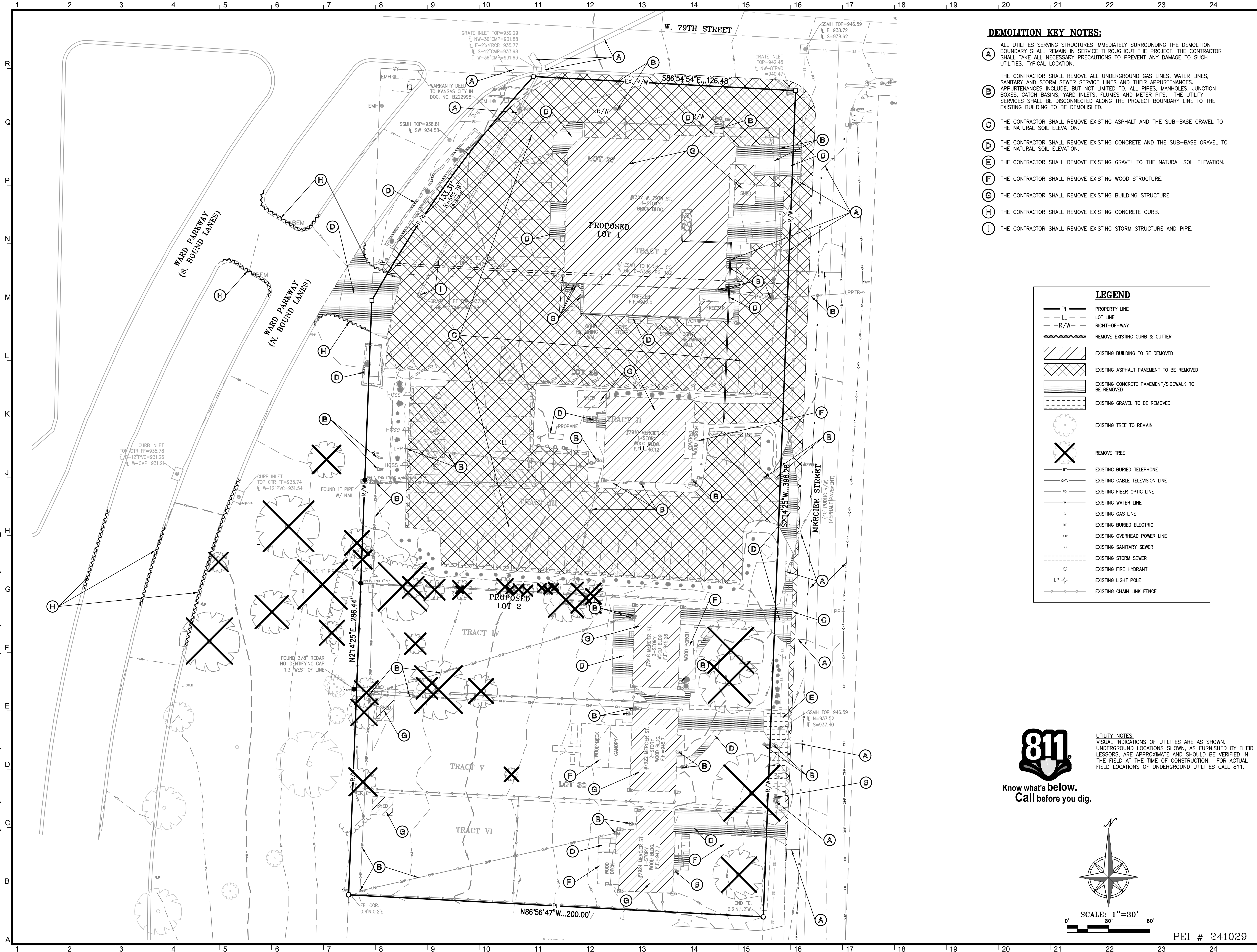
1370 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166
www.philipsengineering.com
© 2023 Philips Engineering, Inc.

PLANNING
ENGINEERING
IMPLEMENTATION

PHI

PROJECT NO.	241029	No.	Date	Revisions:	By	App.
DATE:	12/20/24					
DRAWN:	edc					
CERTIFICATE OF AUTHORIZATION						
LAND SURVEYING - LS-82						
ENGINEERING - E-381						
CERTIFICATE OF AUTHORIZATION						
LAND SURVEYING-20070128						
PLANNING-200700308						

SHEET
C002



DEMOLITION KEY NOTES:

- (A)** ALL UTILITIES SERVING STRUCTURES IMMEDIATELY SURROUNDING THE DEMOLITION BOUNDARY SHALL REMAIN IN SERVICE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY DAMAGE TO SUCH UTILITIES. TYPICAL LOCATION.
- (B)** THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND GAS LINES, WATER LINES, SANITARY AND STORM SEWER SERVICE LINES AND THEIR APPURTENANCES. APPURTENANCES INCLUDE, BUT NOT LIMITED TO, ALL PIPES, MANHOLES, JUNCTION BOXES, CATCH BASINS, YARD INLETS, FLUMES AND METER PITS. THE UTILITY SERVICES SHALL BE DISCONNECTED ALONG THE PROJECT BOUNDARY LINE TO THE EXISTING BUILDING TO BE DEMOLISHED.
- (C)** THE CONTRACTOR SHALL REMOVE EXISTING ASPHALT AND THE SUB-BASE GRAVEL TO THE NATURAL SOIL ELEVATION.
- (D)** THE CONTRACTOR SHALL REMOVE EXISTING CONCRETE AND THE SUB-BASE GRAVEL TO THE NATURAL SOIL ELEVATION.
- (E)** THE CONTRACTOR SHALL REMOVE EXISTING GRAVEL TO THE NATURAL SOIL ELEVATION.
- (F)** THE CONTRACTOR SHALL REMOVE EXISTING WOOD STRUCTURE.
- (G)** THE CONTRACTOR SHALL REMOVE EXISTING BUILDING STRUCTURE.
- (H)** THE CONTRACTOR SHALL REMOVE EXISTING CONCRETE CURB.
- (I)** THE CONTRACTOR SHALL REMOVE EXISTING STORM STRUCTURE AND PIPE.

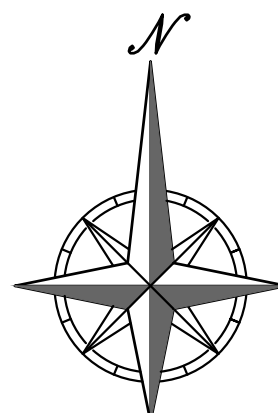
LEGEND

— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
~~~~~	REMOVE EXISTING CURB & GUTTER
[Hatched Box]	EXISTING BUILDING TO BE REMOVED
[Cross-hatched Box]	EXISTING ASPHALT PAVEMENT TO BE REMOVED
[Stippled Box]	EXISTING CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED
[Dotted Box]	EXISTING GRAVEL TO BE REMOVED
[Tree Symbol]	EXISTING TREE TO REMAIN
[Tree Symbol with X]	REMOVE TREE
— BT —	EXISTING BURIED TELEPHONE
— CATV —	EXISTING CABLE TELEVISION LINE
— FO —	EXISTING FIBER OPTIC LINE
— W —	EXISTING WATER LINE
— G —	EXISTING GAS LINE
— BE —	EXISTING BURIED ELECTRIC
— OHP —	EXISTING OVERHEAD POWER LINE
— SS —	EXISTING SANITARY SEWER
— S —	EXISTING STORM SEWER
— FH —	EXISTING FIRE HYDRANT
— LP —	EXISTING LIGHT POLE
— CLF —	EXISTING CHAIN LINK FENCE



Know what's below.  
Call before you dig.

**UTILITY NOTES:**  
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SCALE: 1"=30'  
0' 30' 60'

PEI # 241029

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PROJECT NO. 210662

**Fareway Meat Market**

1307 W 79th Street  
Kansas City, MO 64114

Fareway Stores, Inc.

2300 Industrial Park Road  
Boone, IA 50036  
515.432.2623

**ISSUED FOR:**

KCMO Final Plan Submittal 14 Mar 2025  
KCMO Final Plan Resubmittal 21 April 2025

Missouri Certificate of Authority: #ARC000344

Drawn By: TA  
Checked By: AM

**GENERAL NOTES**

**C003**



Autodesk Docs://2024.254 Fareway Grocery - Ward Parkway - Phase 1/2024.254 Fareway Grocery - Ward Parkway - Phase 1_R24.rvt



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RELOCATED  
MEDIAN OPENING

CLOSE EXISTING  
MEDIAN OPENING

WARD PARKWAY  
(S. BOUND LANES)

WARD PARKWAY  
(N. BOUND LANES)

NEW 40' HALF STREET  
RIGHT OF WAY TO BE  
DEDICATED

W. 79TH STREET

S86°54'54"E...126.48'

EX. R/W

R/W

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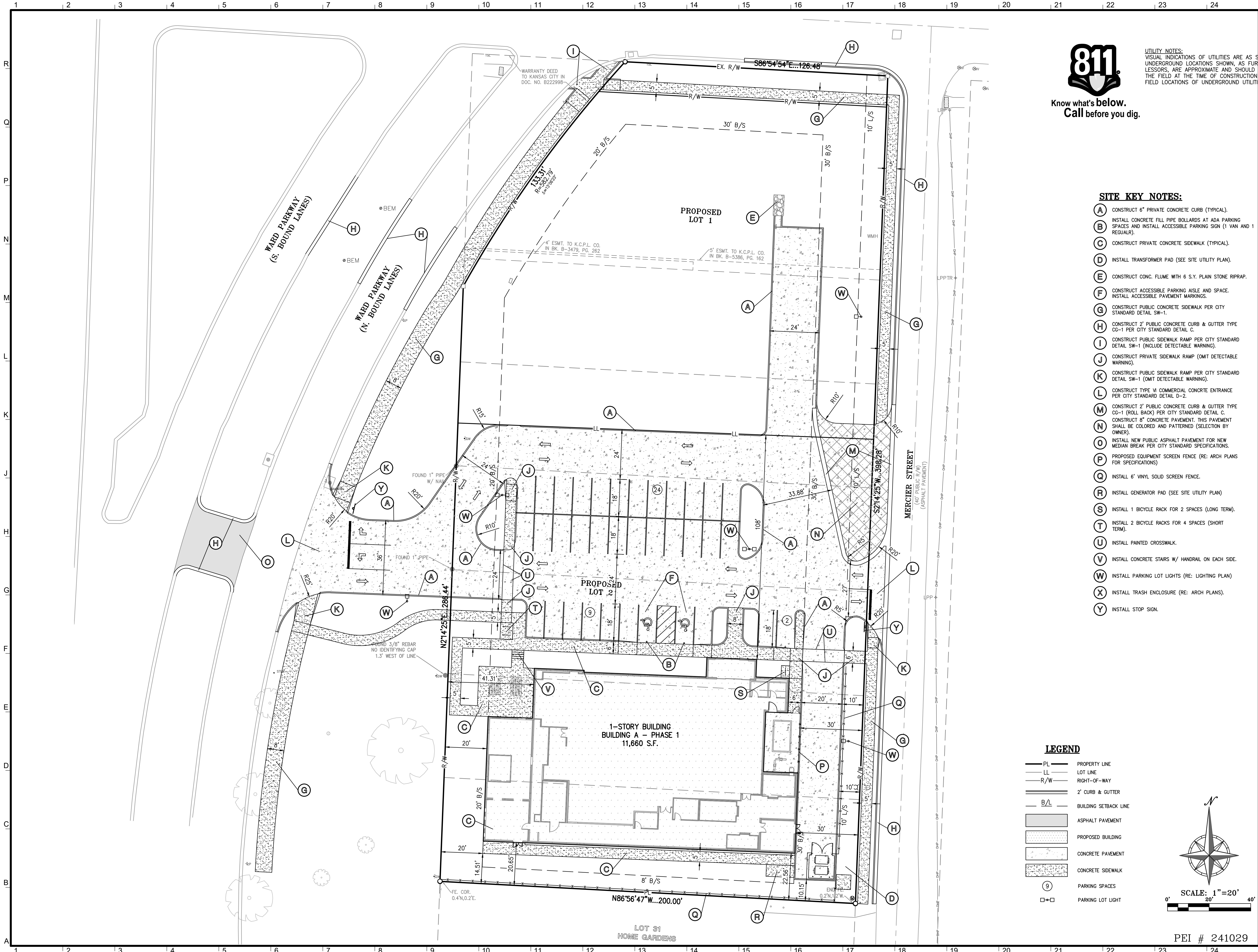
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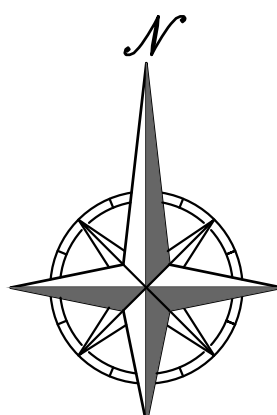
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#### SITE KEY NOTES:

- (A) CONSTRUCT 6" PRIVATE CONCRETE CURB (TYPICAL).
- (B) INSTALL CONCRETE FILL PIPE BOLLARDS AT ADA PARKING SPACES AND INSTALL ACCESSIBLE PARKING SIGN (1 VAN AND 1 REGULAR).
- (C) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- (D) INSTALL TRANSFORMER PAD (SEE SITE UTILITY PLAN).
- (E) CONSTRUCT CONC. FLUME WITH 6 S.Y. PLAIN STONE RIPRAP.
- (F) CONSTRUCT ACCESSIBLE PARKING AISLE AND SPACE. INSTALL ACCESSIBLE PAVEMENT MARKINGS.
- (G) CONSTRUCT PUBLIC CONCRETE SIDEWALK PER CITY STANDARD DETAIL SW-1.
- (H) CONSTRUCT 2" PUBLIC CONCRETE CURB & GUTTER TYPE CG-1 PER CITY STANDARD DETAIL C.
- (I) CONSTRUCT PUBLIC SIDEWALK RAMP PER CITY STANDARD DETAIL SW-1 (INCLUDE DETECTABLE WARNING).
- (J) CONSTRUCT PRIVATE SIDEWALK RAMP (OMIT DETECTABLE WARNING).
- (K) CONSTRUCT PUBLIC SIDEWALK RAMP PER CITY STANDARD DETAIL SW-1 (OMIT DETECTABLE WARNING).
- (L) CONSTRUCT TYPE VI COMMERCIAL CONCERTE ENTRANCE PER CITY STANDARD DETAIL D-2.
- (M) CONSTRUCT 2" PUBLIC CONCRETE CURB & GUTTER TYPE CG-1 (ROLL BACK) PER CITY STANDARD DETAIL C.
- (N) CONSTRUCT 8" CONCRETE PAVEMENT. THIS PAVEMENT SHALL BE COLORED AND PATTERNED (SELECTION BY OWNER).
- (O) INSTALL NEW PUBLIC ASPHALT PAVEMENT FOR NEW MEDIAN BREAK PER CITY STANDARD SPECIFICATIONS.
- (P) PROPOSED EQUIPMENT SCREEN FENCE (RE: ARCH PLANS FOR SPECIFICATIONS)
- (Q) INSTALL 6" VINYL SOLID SCREEN FENCE.
- (R) INSTALL GENERATOR PAD (SEE SITE UTILITY PLAN)
- (S) INSTALL 1 BICYCLE RACK FOR 2 SPACES (LONG TERM).
- (T) INSTALL 2 BICYCLE RACKS FOR 4 SPACES (SHORT TERM).
- (U) INSTALL PAINTED CROSSWALK.
- (V) INSTALL CONCRETE STAIRS W/ HANDRAIL ON EACH SIDE.
- (W) INSTALL PARKING LOT LIGHTS (RE: LIGHTING PLAN)
- (X) INSTALL TRASH ENCLOSURE (RE: ARCH PLANS).
- (Y) INSTALL STOP SIGN.

#### LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2' CURB & GUTTER
- B/L — BUILDING SETBACK LINE
- ASPHALT PAVEMENT
- PROPOSED BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- (9) PARKING SPACES
- +□ PARKING LOT LIGHT



SCALE: 1"=20'  
0' 20' 40'

PEI # 241029

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PROJECT NO. 210662

Fareway Meat Market

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Kansas City, MO 64114

Fareway Stores, Inc  
2300 Industrial Park Road  
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515.432.2623

#### ISSUED FOR:

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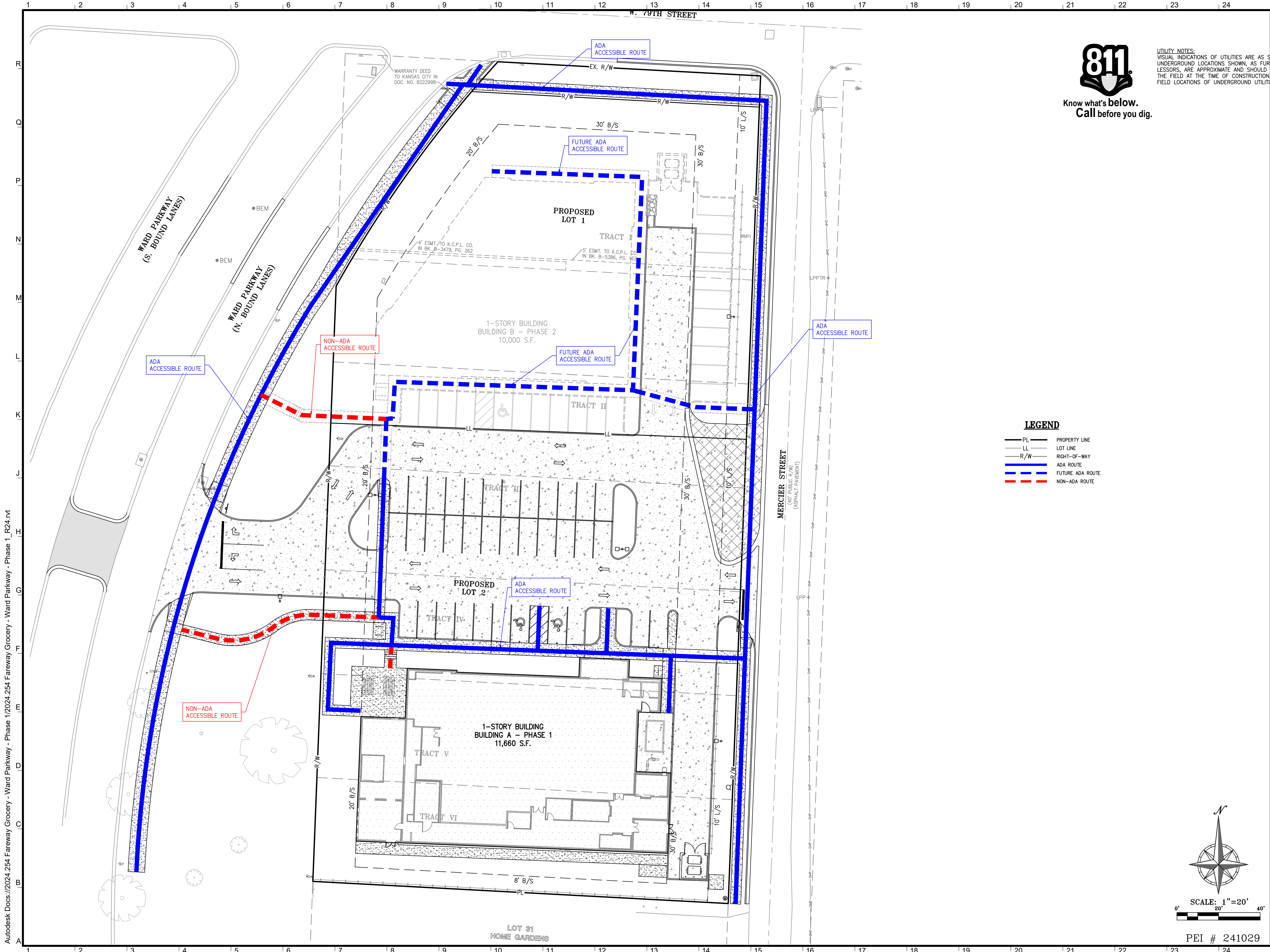
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SITE

C101





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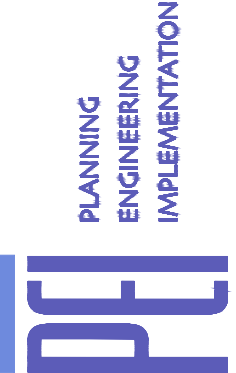
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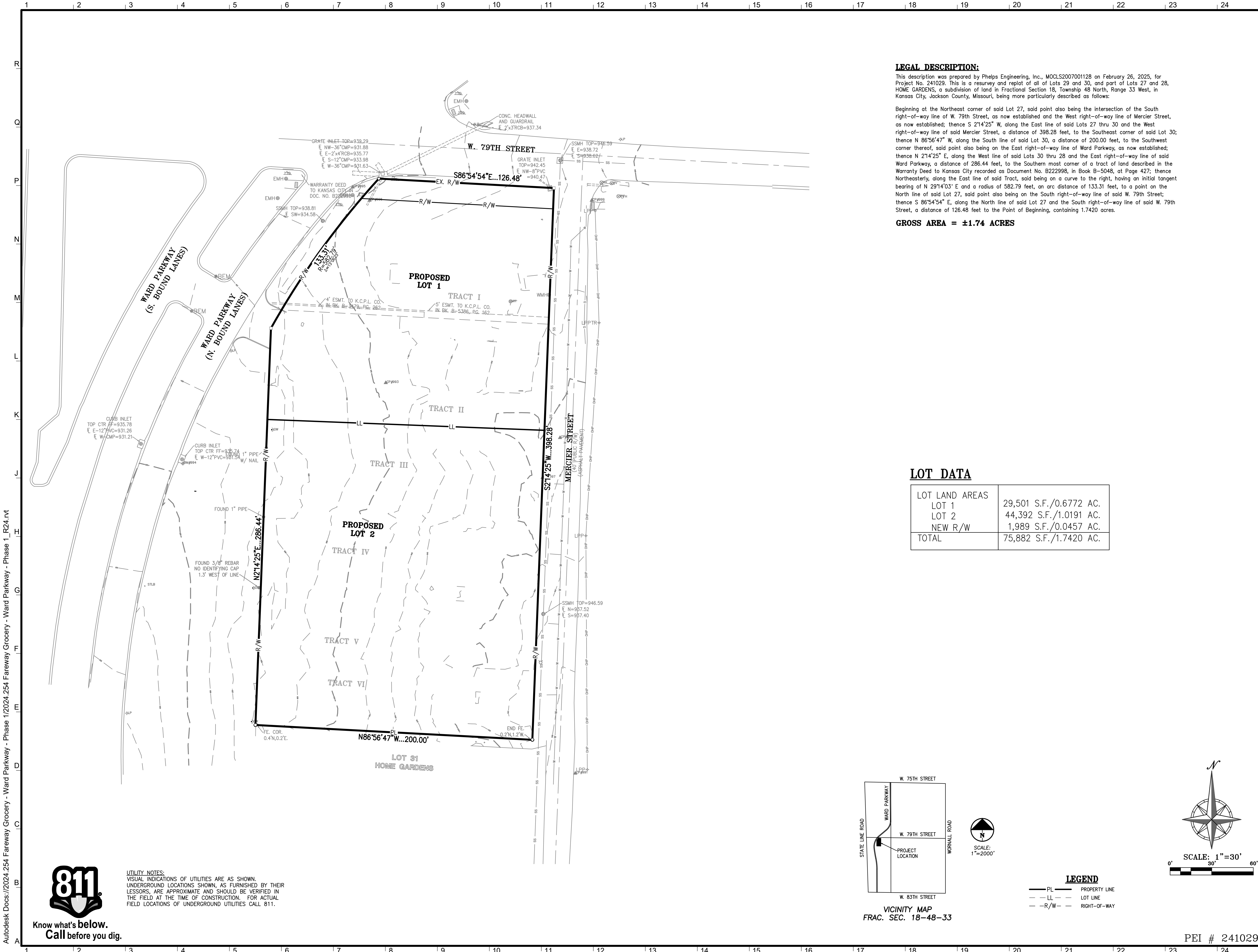
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ADA

**C102**

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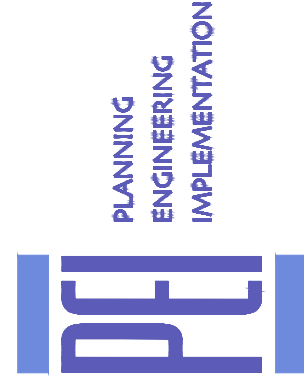




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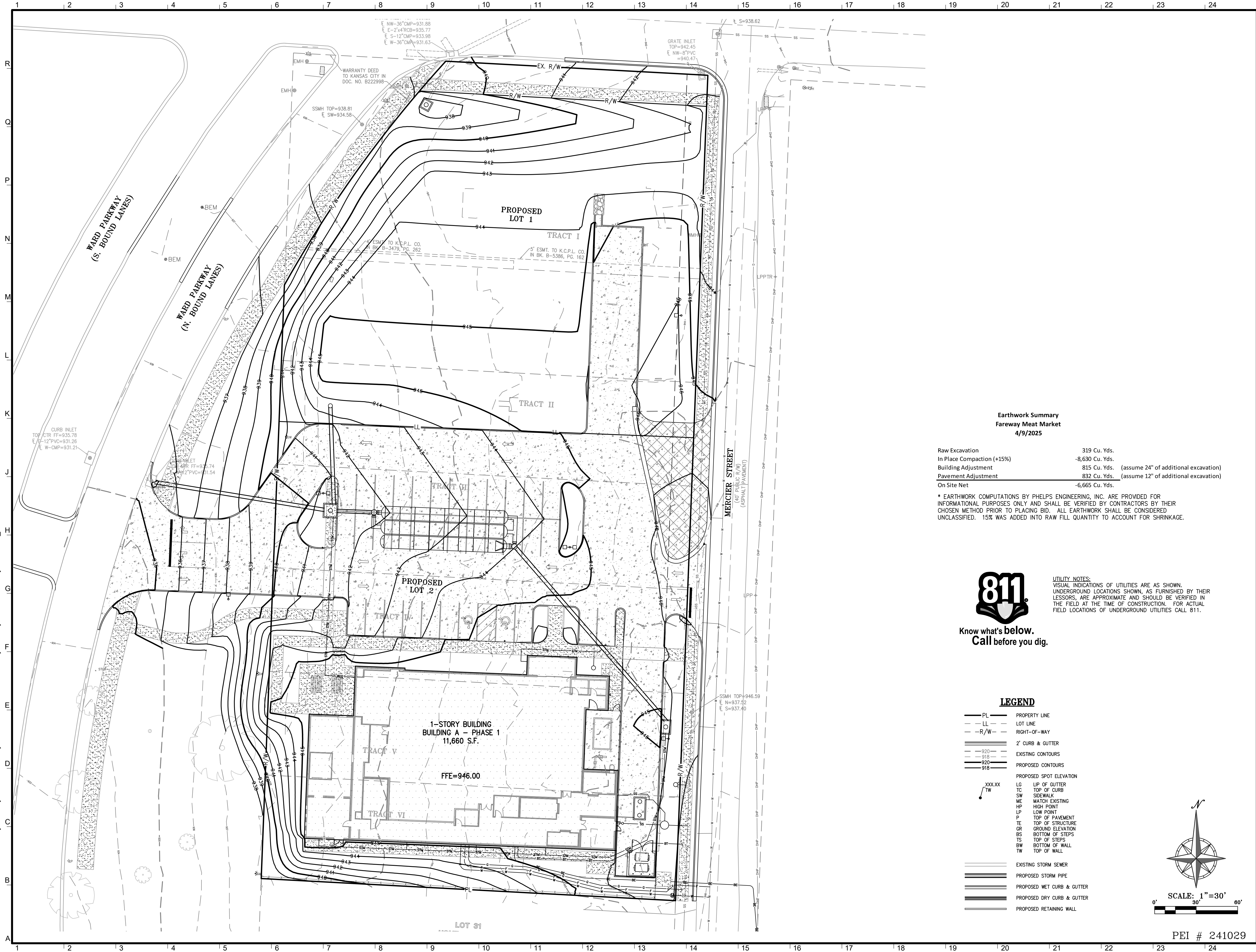
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PRELIMINARY PLAT

C103

Project Number: 2024.254 © Copyright 2022





Earthwork Summary  
Fareway Meat Market  
4/9/2025

Raw Excavation	319 Cu. Yds.
In Place Compaction (+15%)	-8,630 Cu. Yds.
Building Adjustment	815 Cu. Yds. (assume 24" of additional excavation)
Pavement Adjustment	832 Cu. Yds. (assume 12" of additional excavation)
On Site Net	-6,665 Cu. Yds.

* EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING BID. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED INTO RAW FILL QUANTITY TO ACCOUNT FOR SHRINKAGE.



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LEGEND

— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
=====	2' CURB & GUTTER
--- 920 ---	EXISTING CONTOURS
--- 918 ---	EXISTING CONTOURS
--- 920 ---	PROPOSED CONTOURS
--- 918 ---	PROPOSED CONTOURS
XXXX.XX TW	PROPOSED SPOT ELEVATION
LG	LIP OF GUTTER
TC	TOP OF CURB
SW	SIDEWALK
ME	MATCH EXISTING
HP	HIGH POINT
LP	LOW POINT
P	TOP OF PAVEMENT
TE	TOP OF STRUCTURE
GR	GROUND ELEVATION
BS	BOTTOM OF STEPS
TS	TOP OF STEPS
BW	BOTTOM OF WALL
TW	TOP OF WALL
=====	EXISTING STORM SEWER
=====	PROPOSED STORM PIPE
=====	PROPOSED WET CURB & GUTTER
=====	PROPOSED DRY CURB & GUTTER
=====	PROPOSED RETAINING WALL



SCALE: 1"=30'  
0' 30' 60'

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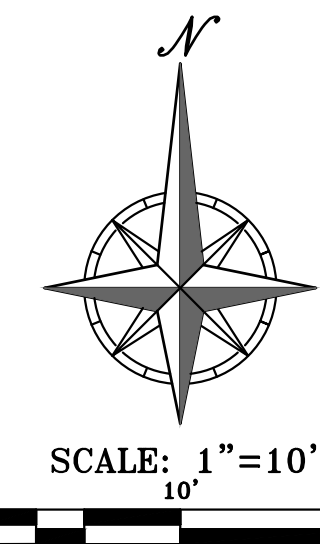
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GENERAL NOTES

C200





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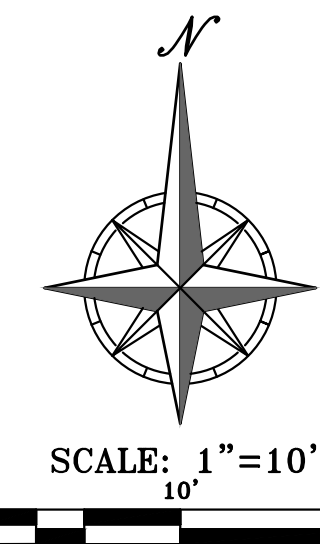
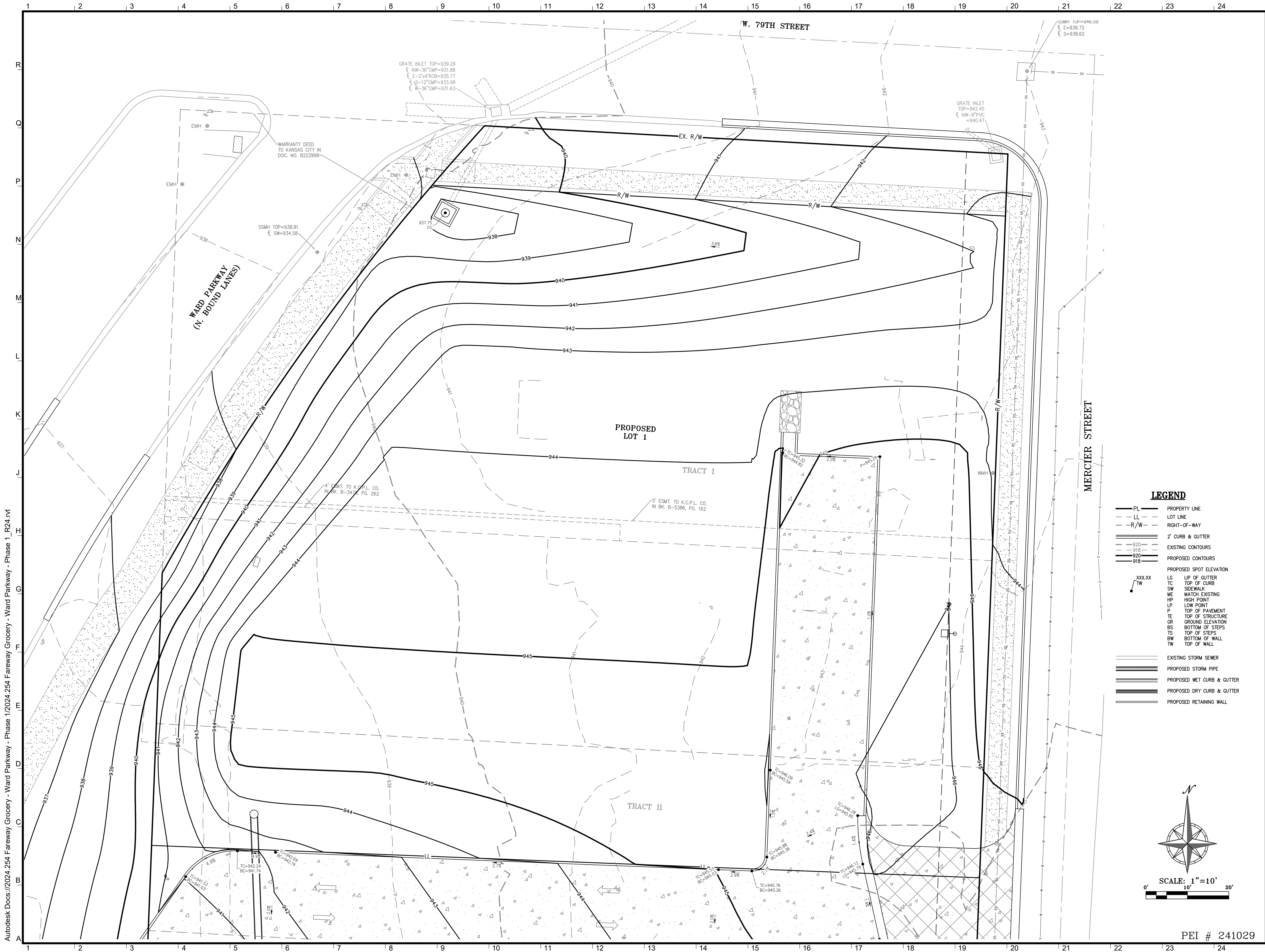
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ENLARGED GRADING

**C201**



Autodesk Docs://2024.254 Fareway Grocery - Ward Parkway - Phase 1/2024.254 Fareway Grocery - Ward Parkway - Phase 1_R24.rvt



PEI # 241029

- LEGEND**
- PL PROPERTY LINE
  - LL LOT LINE
  - R/W RIGHT-OF-WAY
  - 2' CURB & GUTTER
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - PROPOSED SPOT ELEVATION
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ENLARGED GRADING

**C202**

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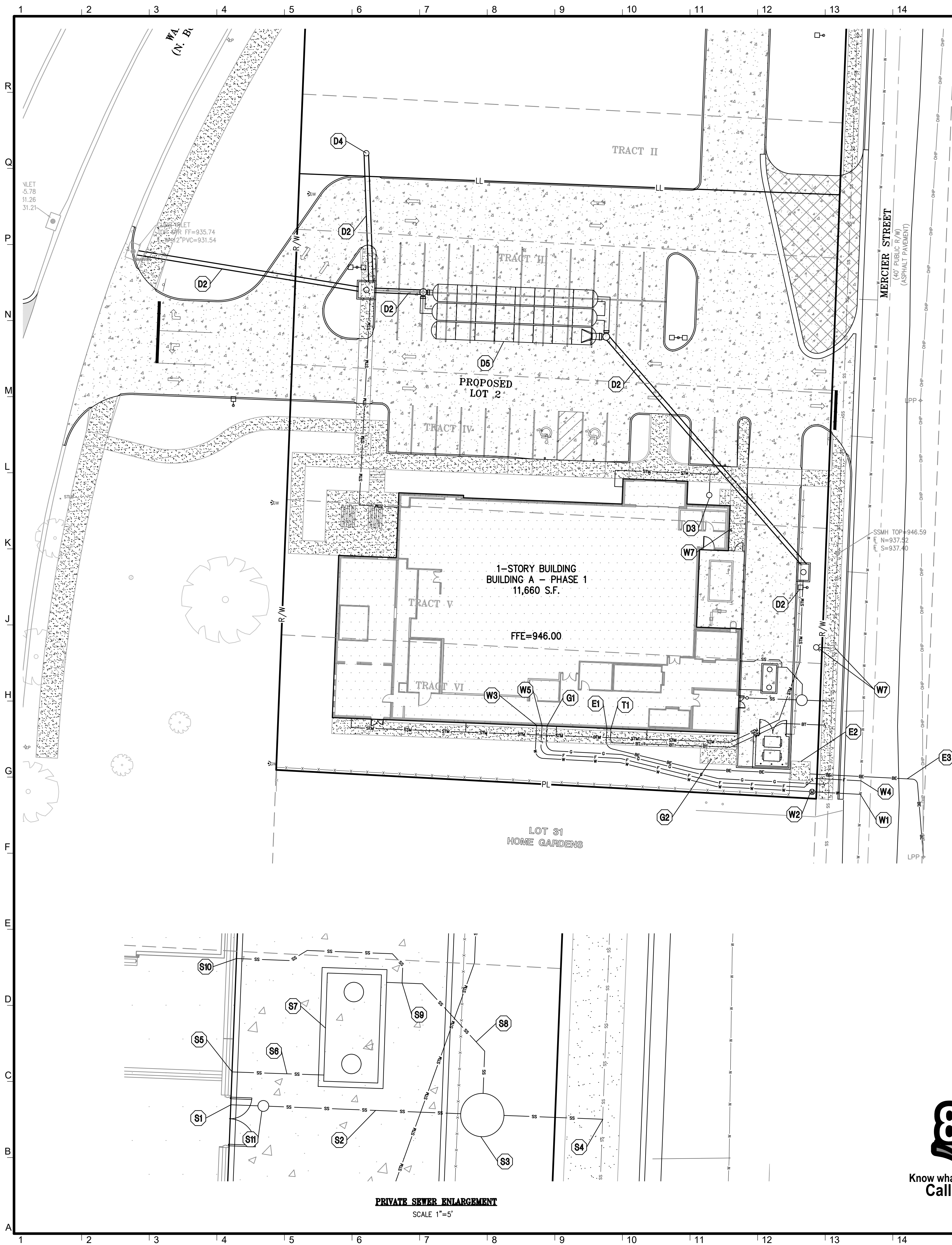
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ENLARGED GRADING

**C203**





**NOTE: ALL WATER SERVICE INSTALLATIONS INCLUDING BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND APPROVAL BY THE WATER DEPARTMENT INSPECTOR.**

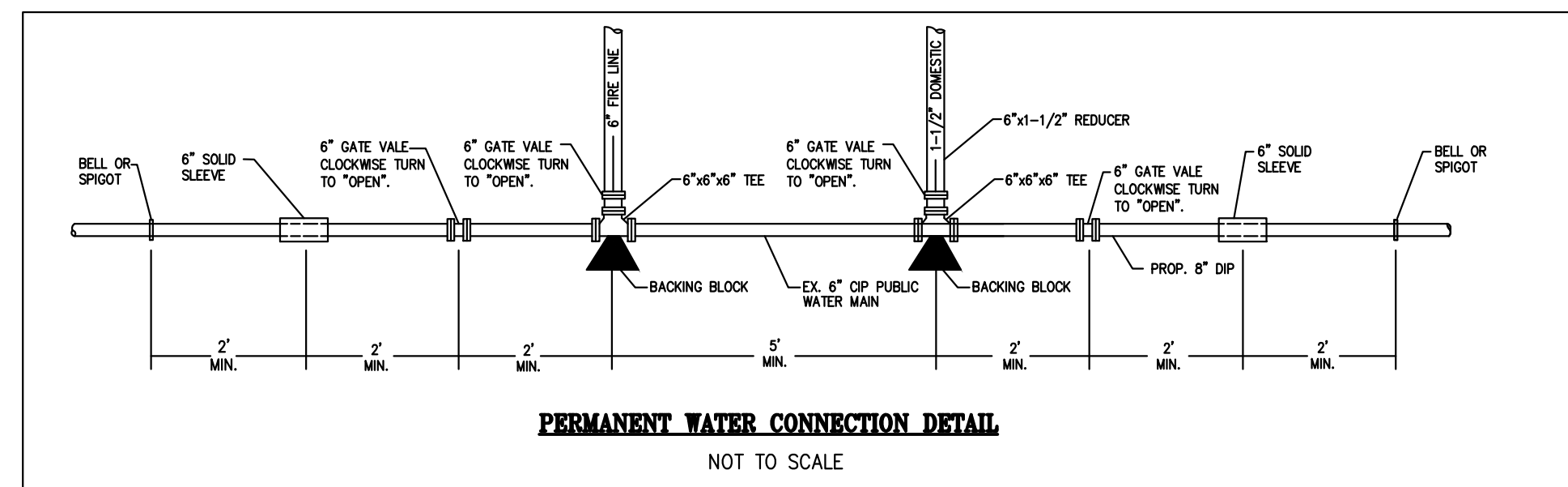


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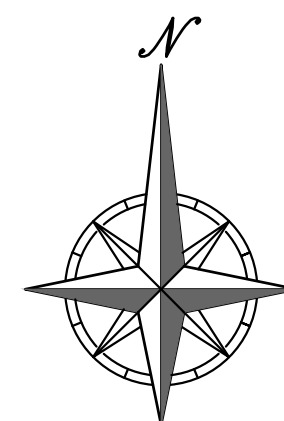
**UTILITY KEY NOTES:**

- |      |                                                                                                                                                                                                                                                                                                                                                                                           |       |                                                                                                                                                                                                                                                                                                                            |
|------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (D1) | TYPICAL STORM WATER DRAIN LINE FROM ROOF OR FOUNDATION DRAIN.<br>SEE ARCH. PLANS FOR BUILDING CONNECTIONS. ROOF DRAIN SHALL BE<br>PVC SDR 35 OR HDPE (S.L.), MINIMUM SLOPE SHALL BE 0.50%.                                                                                                                                                                                                | (W4)  | FOR NEW 6" PVC (SD300) PRIVATE FIRE LINE WITH KCMO WSD. CONTRACTOR TO<br>FOLLOW ALL KANSAS CITY WATER SERVICES DEPT. REQUIREMENTS. SEE<br>CONNECTION DETAIL, THIS SHEET.                                                                                                                                                   |
| (D2) | INSTALL PRIVATE STORM SEWER (SEE PLAN/PROFILE SHEETS).                                                                                                                                                                                                                                                                                                                                    | (W5)  | 6" PRIVATE FIRE LINE ENTRY TO BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR<br>INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW<br>PREVENTION DEVICES, GATE VALVES, REDUCERS, BENDS, TEES, FLOOR DRAINS, ETC.<br>(RE: BUILDING PLANS), WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH<br>KCMO WSD. |
| (D3) | INSTALL 12" LANDSCAPE PLAIN W/ STANDARD GRATE.                                                                                                                                                                                                                                                                                                                                            | (W6)  | BUILDING FIRE DEPARTMENT CONNECTION (RE: BUILDING PLANS).                                                                                                                                                                                                                                                                  |
| (D4) | INSTALL 18" NYLOPLAST INLINE DRAIN W/ STANDARD GRATE.                                                                                                                                                                                                                                                                                                                                     | (W7)  | EXISTING PUBLIC FIRE HYDRANT TO BE RELOCATED 6" WEST TO BEHIND THE<br>SIDEWALK.                                                                                                                                                                                                                                            |
| (D6) | INSTALL STORMTRENCH MC-3500 UNDERGROUND INFILTRATION TRENCH (SEE<br>PLAN/PROFILE SHEETS).                                                                                                                                                                                                                                                                                                 | (W8)  | CONNECT TO BUILDING INTERIOR SANITARY SEWER PLUMBING. TRANSITION FROM 4"<br>INTERIOR TO 6" EXTERIOR AT FOUNDATION WALL. (RE: MEP PLANS).<br>PG=XXXXXX<br>FL 6"=XXXXXX                                                                                                                                                      |
| (E1) | ELECTRIC ENTRY INTO BUILDING. FOLLOW EVERY REQUIREMENTS (RE: BUILDING<br>ELECTRIC PLAN).                                                                                                                                                                                                                                                                                                  | (S1)  | INSTALL X L.F. 6" PVC (SDR-26) SANITARY SEWER SERVICE LINE (SDR-26)<br>X L.F. SLOPE.                                                                                                                                                                                                                                       |
| (E2) | INSTALL CONCRETE TRANSFORMER PAD. CONTRACTOR TO VERIFY EXACT LOCATION &<br>SIZE, WITH EVERY PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE<br>FOR INSTALLATION OF CONCRETE PAD AND CONDUIT AS REQUIRED BY THE ELECTRIC<br>COMPANY. CONTRACTOR SHALL COORDINATE S&D WORK WITH THE ELECTRIC<br>COMPANY.                                                                             | (S3)  | INSTALL 4" DIAMETER SAMPLING MANHOLE (RE: KCMO STANDARD DETAIL<br>MH-1).<br>T.E.=XXXXXX<br>FL IN=XXXXXX<br>FL OUT=XXXXXX                                                                                                                                                                                                   |
| (E3) | INSTALL PRIMARY ELECTRICAL CONDUIT. FOLLOW EVERY WORKORDER AND<br>SPECIFICATIONS FOR PRIMARY ELECTRICAL SERVICE.                                                                                                                                                                                                                                                                          | (S4)  | CONNECT TO EXISTING X" PVC PUBLIC SANITARY SEWER MAIN W/ TEE CONNECTION.<br>EX. X" FL=XXXXX+X<br>PROP. 6" FL=XXXXX+X                                                                                                                                                                                                       |
| (G1) | GAS ENTRY WITH GAS METER. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR<br>INSTALLATION OF GAS METER. SIZE OF GAS MAIN AS DETERMINED BY UTILITY<br>OR AS SHOWN ON BUILDING PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION<br>WITH GAS COMPANY REGARDING THE SIZE AND INSTALLATION OF GAS SERVICE LINE.                                                                              | (S5)  | CONNECT TO BUILDING INTERIOR GREASE EXT PLUMBING.<br>(RE: MEP PLANS).<br>PG=XXXXXX<br>FL 4"=XXXXXX                                                                                                                                                                                                                         |
| (G2) | CONNECT GAS SERVICE LINE TO GENERATOR.                                                                                                                                                                                                                                                                                                                                                    | (S6)  | INSTALL X L.F. OF 4" PVC (SDR-26) SANITARY SEWER SERVICE LINE @ XXXX SLOPE.                                                                                                                                                                                                                                                |
| (T1) | CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE TELEPHONE COMPANY FOR THE<br>INSTALLATION OF BURIED TELEPHONE LINES. CONTRACTOR TO PROVIDE FOUR (4) - 3"<br>PVC SCH. 40 CONDUIT WITH PULL STRING FROM BUILDING TO TELEPHONE FEED POINT.<br>CONTRACTOR TO VERIFY EXACT ROUTING & FEED POINT WITH TELEPHONE COMPANY.                                                                       | (S8)  | INSTALL 500 GPM INTERCEPTOR (SEE SHEET XXX FOR DETAIL)<br>TE=XXXXXX<br>FL 4" IN = XXXXXX<br>FL 4" OUT = XXXXXX                                                                                                                                                                                                             |
| (W1) | CONTRACTOR TO COORDINATE CONNECTION TO EXISTING 6" PUBLIC WATER MAIN<br>FOR NEW 1-1/2" TYPE K SOFT COPPER DOMESTIC WATER LINE WITH KCMO WSD.<br>CONTRACTOR TO FOLLOW ALL KANSAS CITY WATER SERVICES DEPT. REQUIREMENTS.<br>SEE CONNECTION DETAIL, THIS SHEET.                                                                                                                             | (S7)  | INSTALL 4" X 4" X 2" TEE WITH 2" PIPE TO BUILDING VENT.                                                                                                                                                                                                                                                                    |
| (W2) | CONTRACTOR TO PROVIDE AND INSTALL 1-1/2" WATER METER PIT PER KANSAS CITY,<br>MISSOURI REQUIREMENTS. CONTRACTOR TO COORDINATE AND PAY ALL FEES. ALL<br>LABOR AND MATERIALS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR'S<br>PLUMBERS IN ACCORDANCE WITH KANSAS CITY WATER SERVICES DEPT. REQUIREMENTS.<br>SEE NOTES 13, 14, AND 15, SHEET C001, FOR MATERIAL AND COVER REQUIREMENTS. | (S8)  | INSTALL X L.F. OF 4" PVC (SDR-26) SANITARY SEWER SERVICE LINE @ XXXX SLOPE.                                                                                                                                                                                                                                                |
| (W3) | 1-1/2" DOMESTIC WATERLINE ENTRY TO BUILDING. CONTRACTOR SHALL BE<br>RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS<br>BACKFLOW PREVENTION DEVICES, GATE VALVES, REDUCERS, BENDS, TEES, FLOOR<br>DRAINS, ETC (RE: BUILDING PLANS), WHICH MAY BE REQUIRED. CONTRACTOR TO<br>COORDINATE WITH KCMO WSD.                                                            | (S9)  | CONNECT 2" VENT TO BUILDING INTERIOR PLUMBING.<br>(RE: MEP PLANS).                                                                                                                                                                                                                                                         |
|      |                                                                                                                                                                                                                                                                                                                                                                                           | (S11) | INSTALL 6" SANITARY SEWER CLEANOUT IN PAVED AREA.                                                                                                                                                                                                                                                                          |



### LEGEND

— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
— CATV —	EXISTING CABLE TELEVISION LINE
— FO —	EXISTING FIBER OPTIC LINE
— G —	EXISTING GAS LINE
— BE —	EXISTING BURIED ELECTRIC LINE
— OHP —	EXISTING OVERHEAD POWER LINE
— SH —	EXISTING OVERHEAD TELEPHONE LINE
— SS —	EXISTING SANITARY SEWER LINE
— 24"HDPE —	EXISTING STORM SEWER LINE (& SIZE)
— BT —	EXISTING BURIED TELEPHONE LINE
— W — 6" —	EXISTING WATER LINE (& SIZE)
— CATV —	PROPOSED CABLE TELEVISION LINE
— FO —	PROPOSED FIBER OPTIC LINE
— G —	PROPOSED GAS LINE
— BE —	PROPOSED BURIED ELECTRIC LINE
— SS —	PROPOSED SANITARY SEWER LINE
— OHP —	PROPOSED OVERHEAD POWER LINE
— — — — —	PROPOSED STORM SEWER LINE (& SIZE)
— BT —	PROPOSED BURIED TELEPHONE LINE
— W — 6" —	PROPOSED WATER LINE (& SIZE)
— F — 6" —	PROPOSED FIRE LINE (& SIZE)
— ST — 6" —	PROPOSED ROOF DRAIN (& SIZE)



SCALE: 1"=20'

PEI # 241029

Drawn By _____ TA  
Checked By _____ AM


## UTILITY

C300

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[www.phelpsengineering.com](http://www.phelpsengineering.com)



PROJECT NO. 210662

## Fareway Meat Market

1307 W 79th Street  
Kansas City, MO 64114

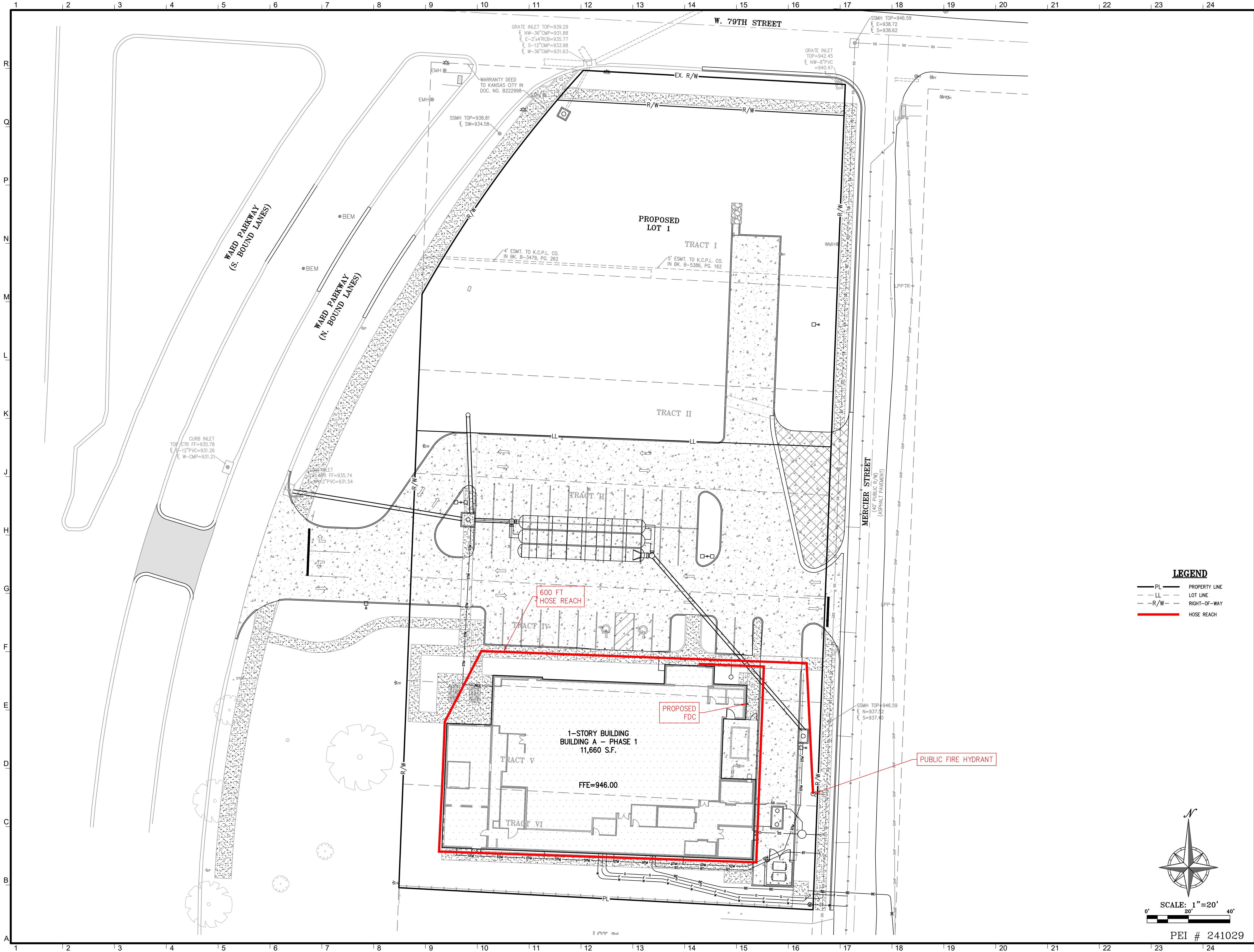
Fareway Stores, Inc  
2300 Industrial Park Road  
Boone, IA 50036  
515.432.2623

ISSUED FOR:

KCMO Final Plan Submittal	14 Mar 2025
KCMO Final Plan Resubmittal	21 April 2025

Missouri Certificate of Authority: #ARC000344





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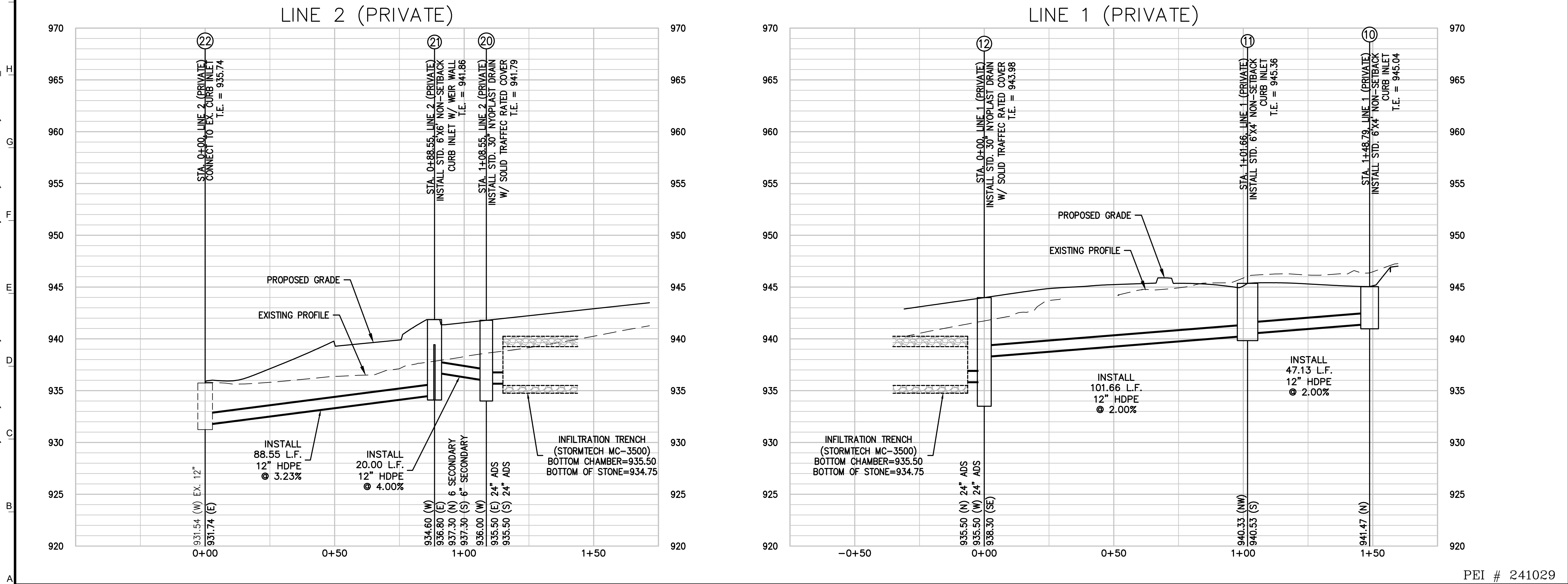
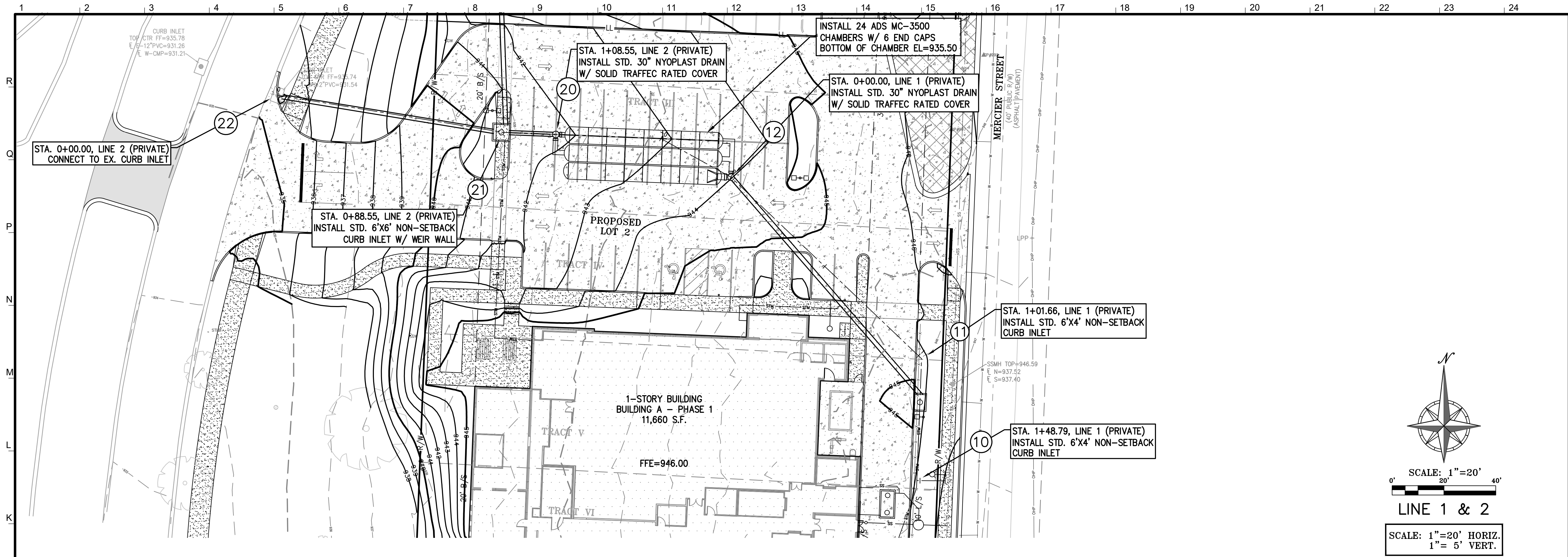
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FIRE PROTECTION

C301



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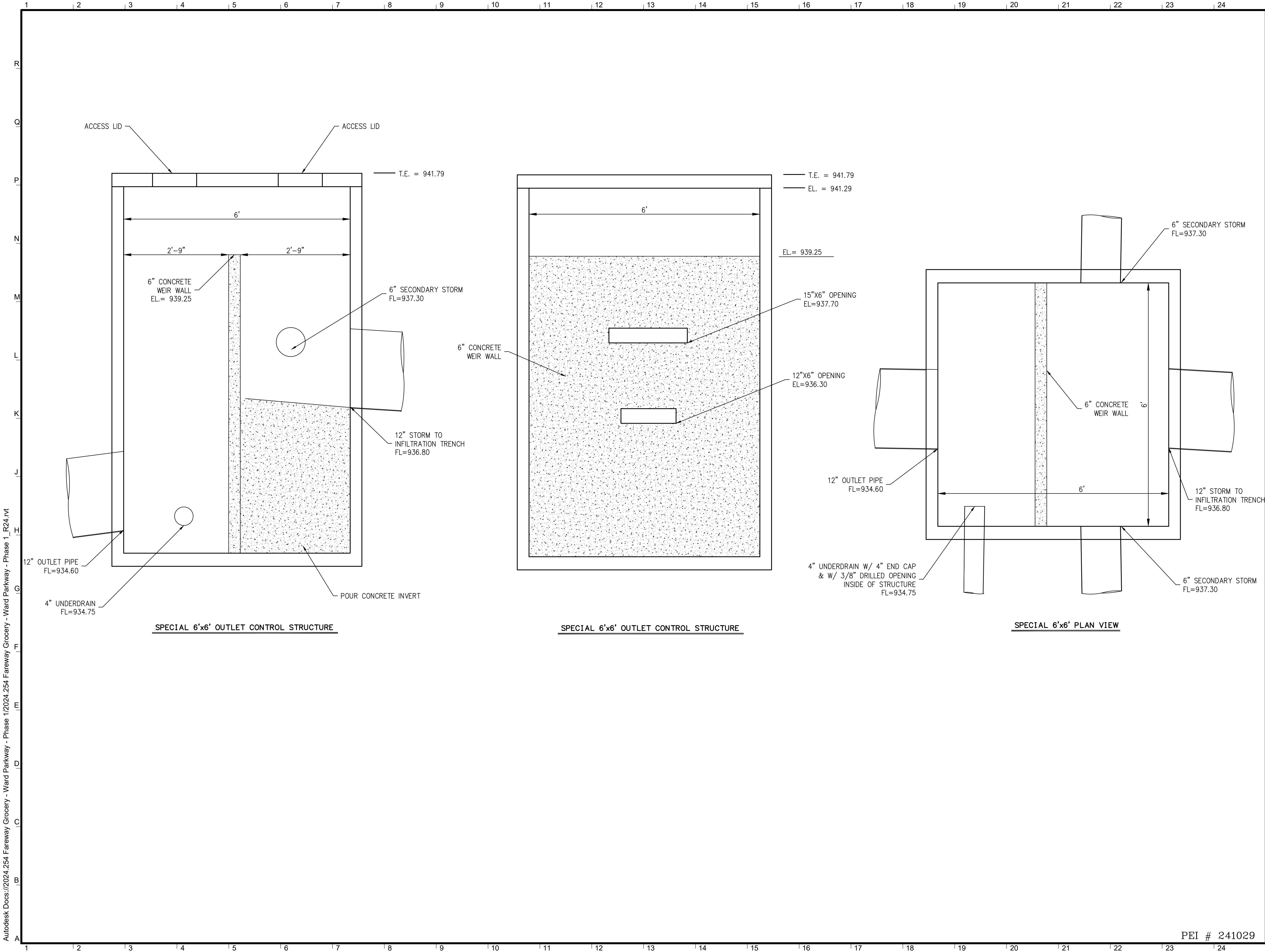
STORM

# C400

PEI # 241029

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STORM

C401



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Know what's below.  
Call before you dig.

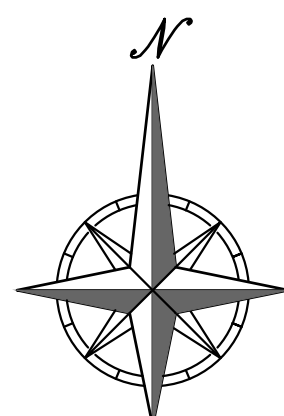
UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR  
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN  
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL  
FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

#### STORM DRAINAGE CALCULATIONS

DESIGN CRITERIA:										K ₂₅ = 1.1; K ₁₀₀ = 1.25; n = 0.013 (RCP); STORM FREQUENCY = 25 YEAR; A.I. = AREA INLET; J.B. = JUNCTION BOX; C.I. = CURB INLET; C.C. = CURB CUT; G.I. = GRATE INLET; HEIGHT OF STRUCTURE = RIM ELEV MINUS FLOWLINE OUT.											
I. RUNOFF										III. PIPE DESIGN										REMARKS	
N I M N B U R E	S T R U C T U R E	INCREMENTAL			CUMULATIVE		SYSTEM TIME OF CONCENTRATION "T _c " AT STRUCTURE (MIN)	RAINFALL INTENSITY " <i>I</i> ₂ " / " <i>I</i> ₁₀₀ " (IN/HR)	ANTECEDENT PRECIPITATION FACTOR " <i>K</i> ₂₅ / <i>K</i> ₁₀₀ "	RUNOFF " <i>Q</i> ₂₅ " / " <i>Q</i> ₁₀₀ " (CFS)	STRUCTURE		PIPE								
		RUNOFF COEFFICIENT " <i>C</i> "	AREA " <i>A</i> " (ACRES)	<i>C</i> x <i>A</i>	AREA " <i>A</i> " (ACRES)	<i>C</i> x <i>A</i>					Upstream Structure Number	Downstream Structure Number	Diameter " <i>D</i> " (IN)	Slope " <i>S</i> " (FT/FT)	Velocity Full <i>V_f</i> (FPS)	Runoff <i>Q</i> ₂₅ (CFS)	Runoff <i>Q</i> ₁₀₀ (CFS)	Full Flow <i>Q_f</i> (CFS)			
1	10	0.81	0.31	0.25	0.31	0.25	5.00	8.53	1.10	2.3	10	11	12	0.0200	6.5	2.3	3.2	5.0	GOOD		
	11	0.81	0.05	0.04	0.36	0.29	5.00	10.32	1.25	3.2	11	12	12	0.0200	6.5	2.7	3.7	5.0	GOOD		
2	21	0.81	0.44	0.36	0.44	0.36	5.00	8.53	1.10	3.4	21	20	12	0.0400	9.2	3.4	4.6	7.1	GOOD		
	21	0.81	0.00	0.00	0.80	0.65	5.00	8.53	1.10	6.1	21	22	12	0.0323	8.2	6.1	8.4	6.4	GOOD		
								10.32	1.25	8.4											

#### LEGEND

- XXX --- EXISTING CONTOURS
- XXX --- PROPOSED CONTOURS
- XXX --- DENOTES DRAINAGE AREA
- XXX --- DENOTES FLOW DIRECTION
- XXX --- DENOTES DRAINAGE AREA TO STRUCTURE
- XXX --- DENOTES STRUCTURE NUMBER



SCALE: 1"=30'

PEI # 241029

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PROJECT NO. 210662

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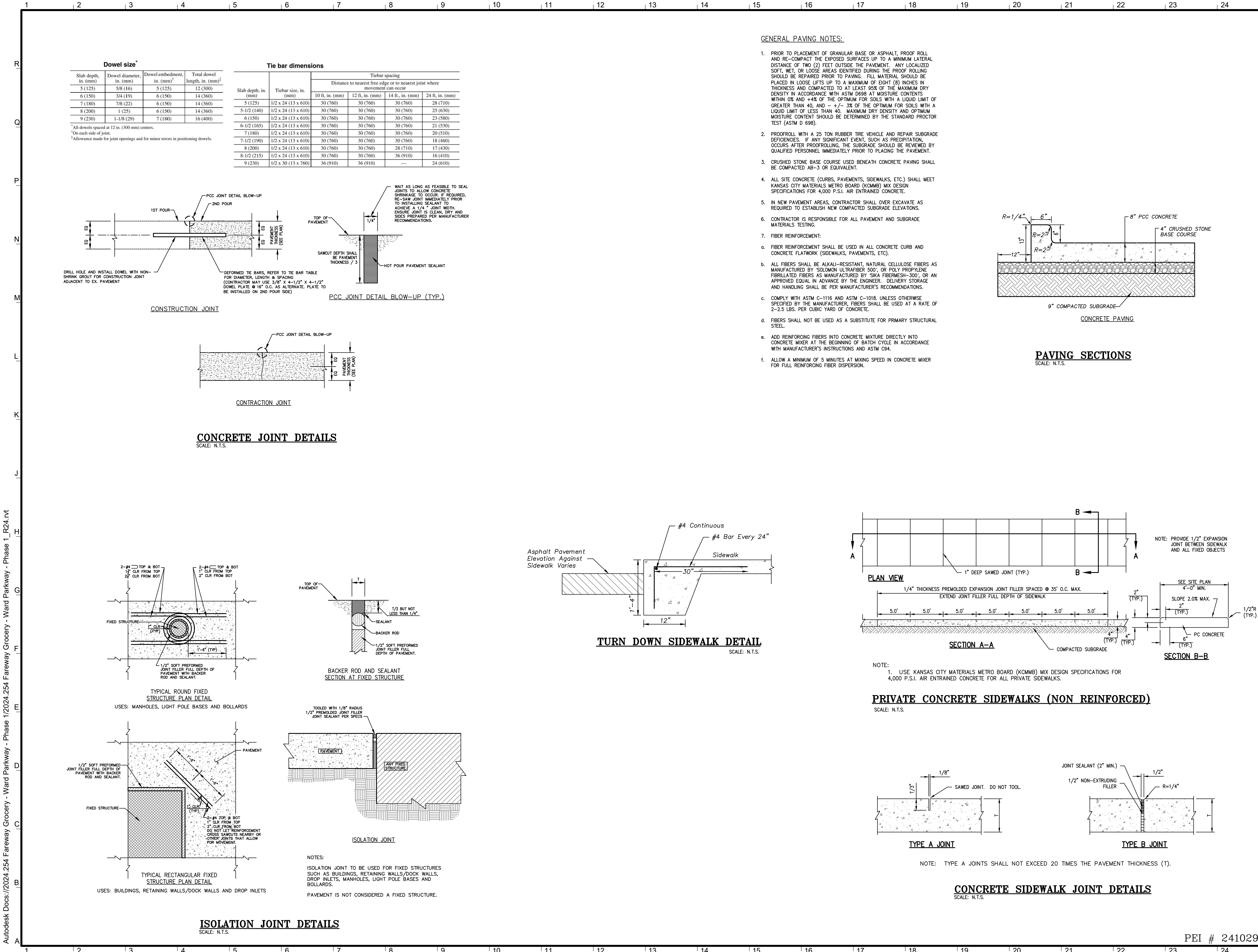
#### DRAINAGE MAP

C500

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DETAILS - PRIVATE

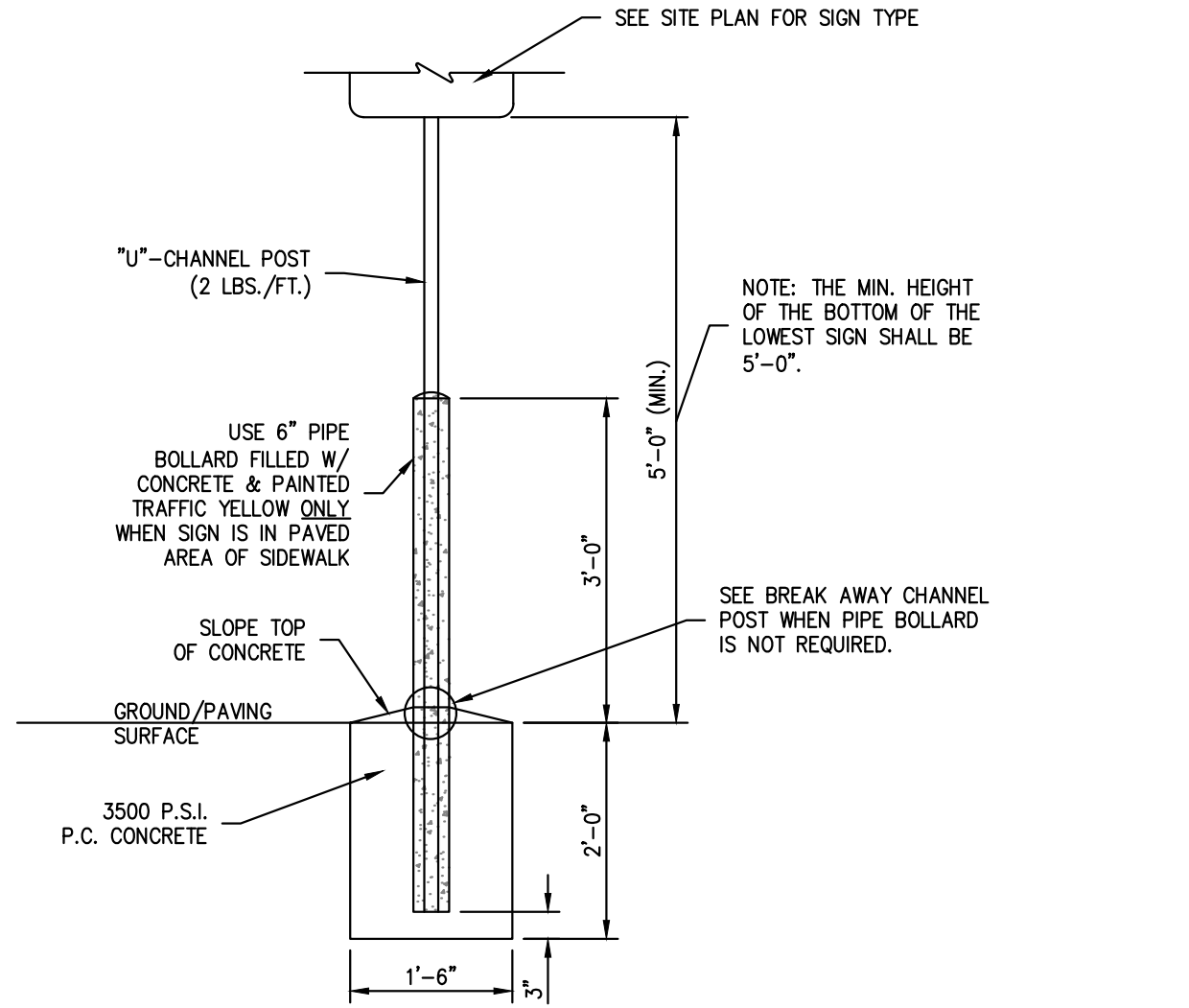
C600

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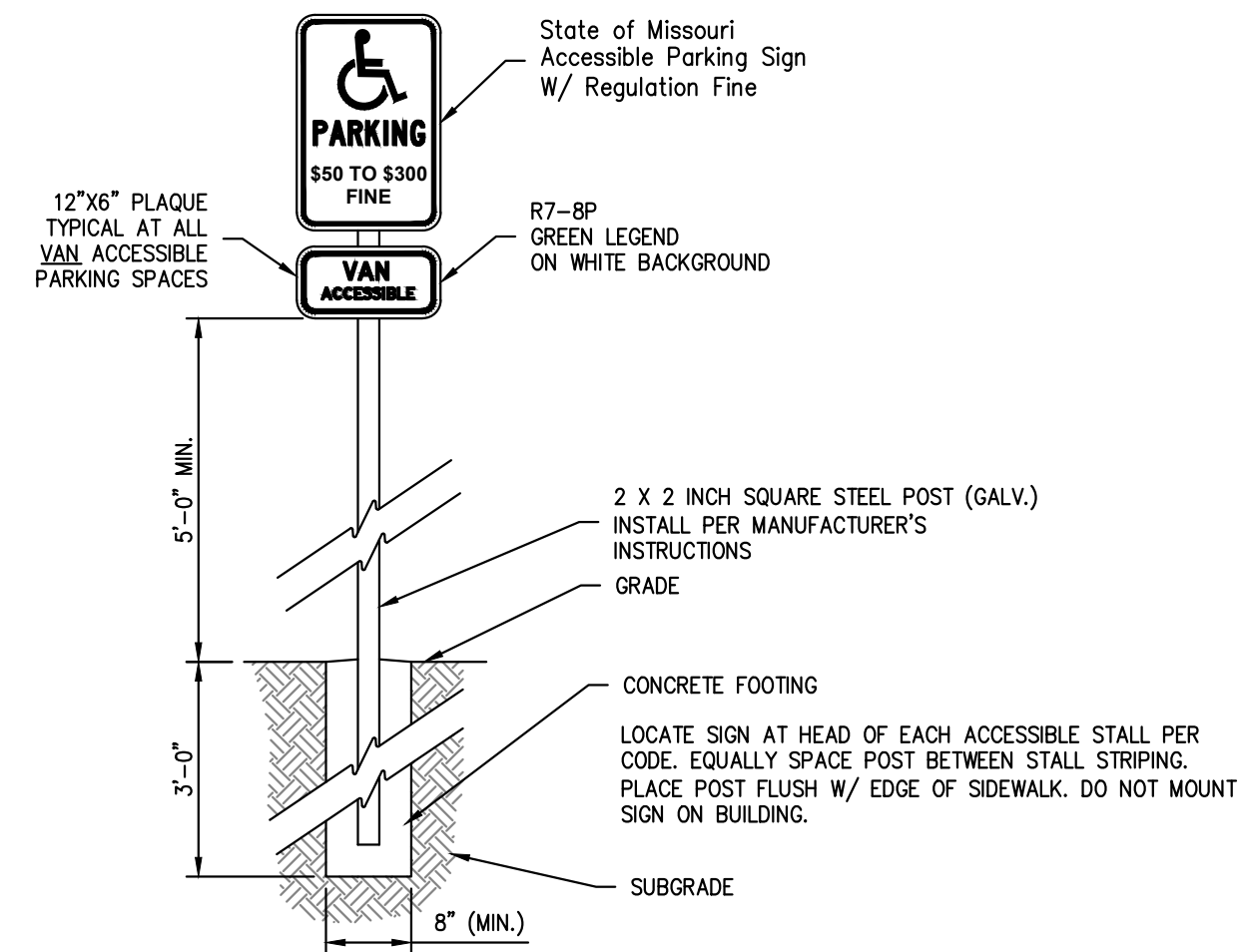
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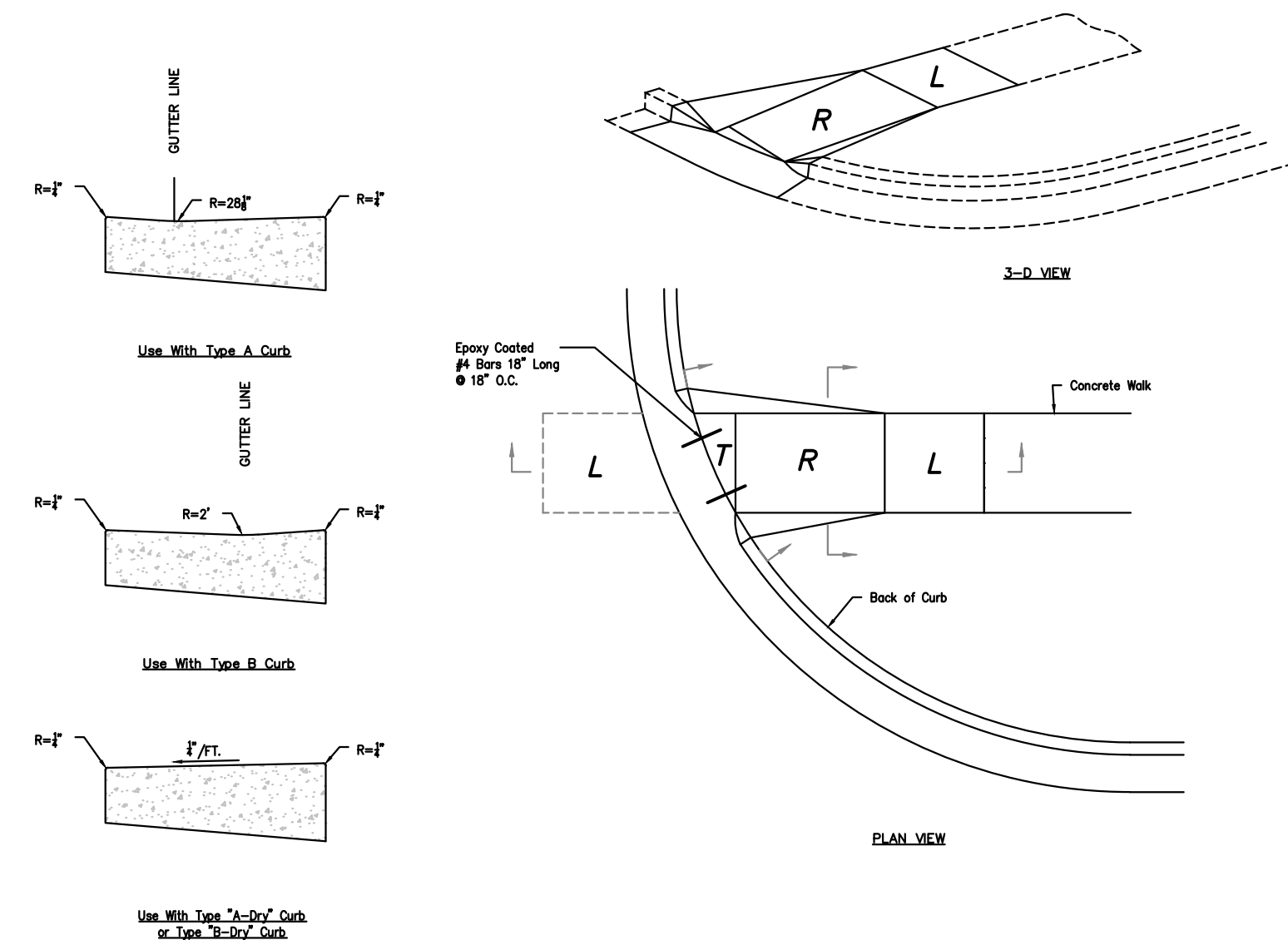
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**SIGN BASE DETAIL IN  
SIDEWALK & PAVED AREAS**  
SCALE: N.T.S.



**ACCESSIBLE SIGN DETAIL  
IN GRASS AREA**  
SCALE: N.T.S.

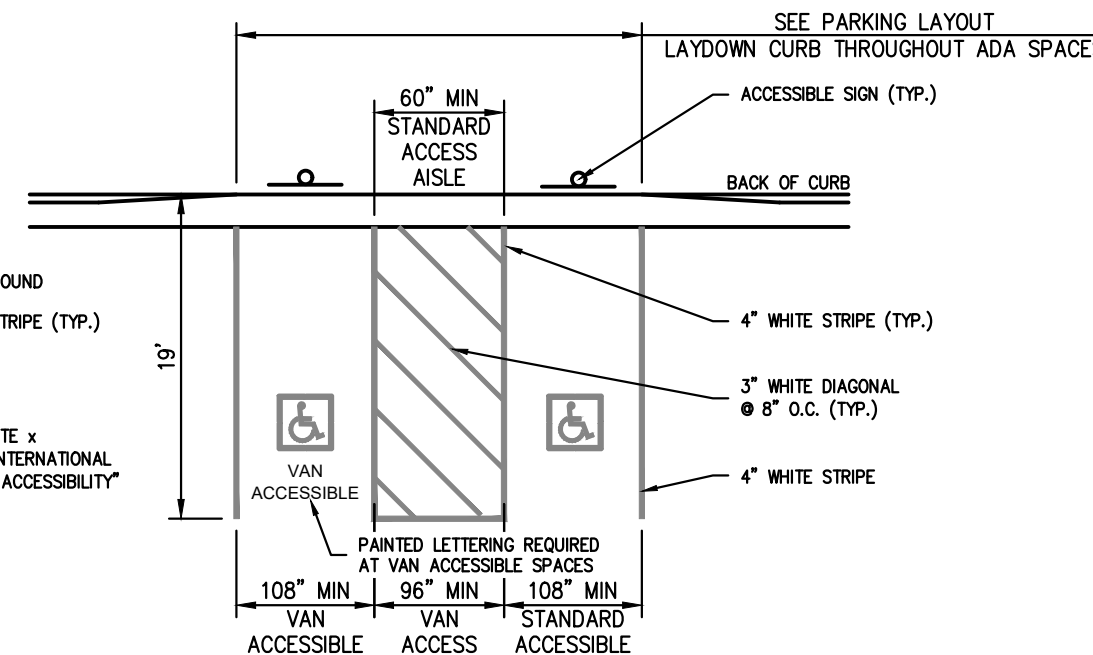


**ACCESSIBLE SYMBOL  
MARKING DETAIL**  
SCALE: N.T.S.

**GENERAL NOTES:**

1. ALL PAVEMENT MARKINGS SHALL BE APPLIED BY A QUALIFIED CONTRACTOR HAVING A MINIMUM 3 YEARS EXPERIENCE IN TRAFFIC GRADE PAVEMENT MARKING APPLICATIONS.
2. PAINT SHALL BE A NON-BLEEDING, QUICK-DRYING, ALKYL PETROLEUM BASE PAINT SUITABLE FOR TRAFFIC-BEARING SURFACE AND SHALL MEET PS 17P-BASE & MIXED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION.
3. SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL & DUST.
4. APPLY TWO (2) COATS OF PAINT AT MANUFACTURER RECOMMENDED RATE WITHOUT THE ADDITION OF THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON. APPLY WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. AT SIDEWALK, CURBS, AND CROSSWALKS USE A STRAIGHTEDGE TO ENSURE A UNIFORM, CLEAN, & STRAIGHT STRIPE.
5. THE FOLLOWING ITEMS SHALL BE PAINTED WITH THE COLORS NOTED BELOW:  
A. HANDICAP SYMBOLS: SEE DETAIL THIS SHEET.  
B. PARKING STALL STRIPING: WHITE.
6. ACCESSIBLE PARKING SPACE DESIGN LAYOUT SHALL BE IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
7. SEE SITE PLANS FOR COMPLETE PARKING LAYOUT.

**ACCESSIBLE PARKING SPACE DETAIL**  
SCALE: N.T.S.

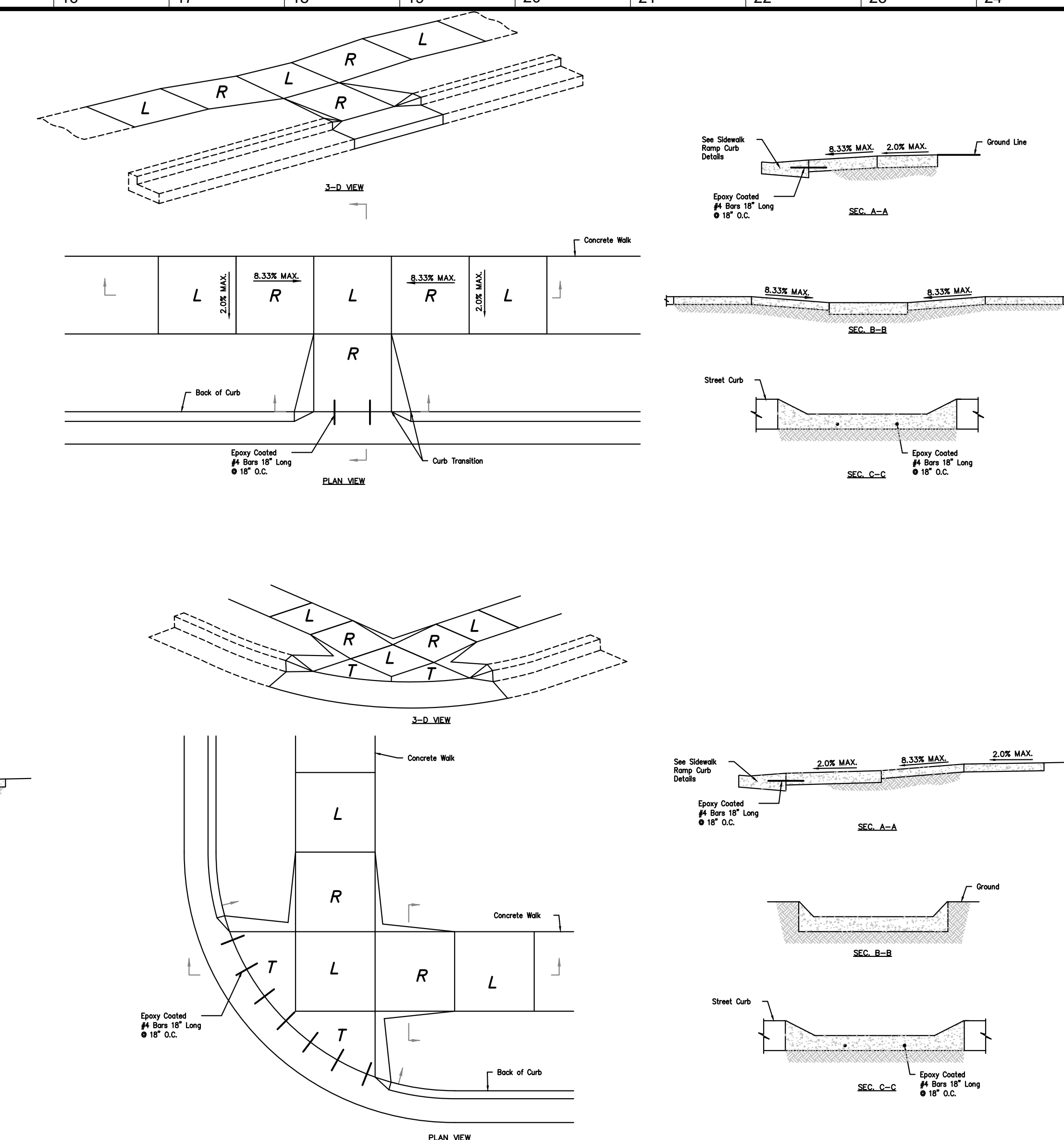


**L = LANDING**  
**R = RAMP**  
**T = TRANSITION**

**RAMP** (Required to transition elevation): Max. Longitudinal Slope - 8.33%  
Max. Cross Slope - 2.00%  
Min. Width - 5'  
Min. Length - 5'

**LANDING** (Required to change direction of travel): Max. Longitudinal Slope - 2.00%  
Max. Cross Slope - 2.00%  
Min. Width - 5'

**PRIVATE SIDEWALK RAMPS**  
SCALE: N.T.S.



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DETAILS - PRIVATE

C601

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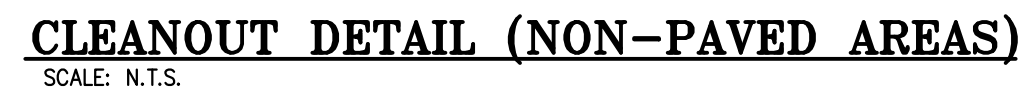
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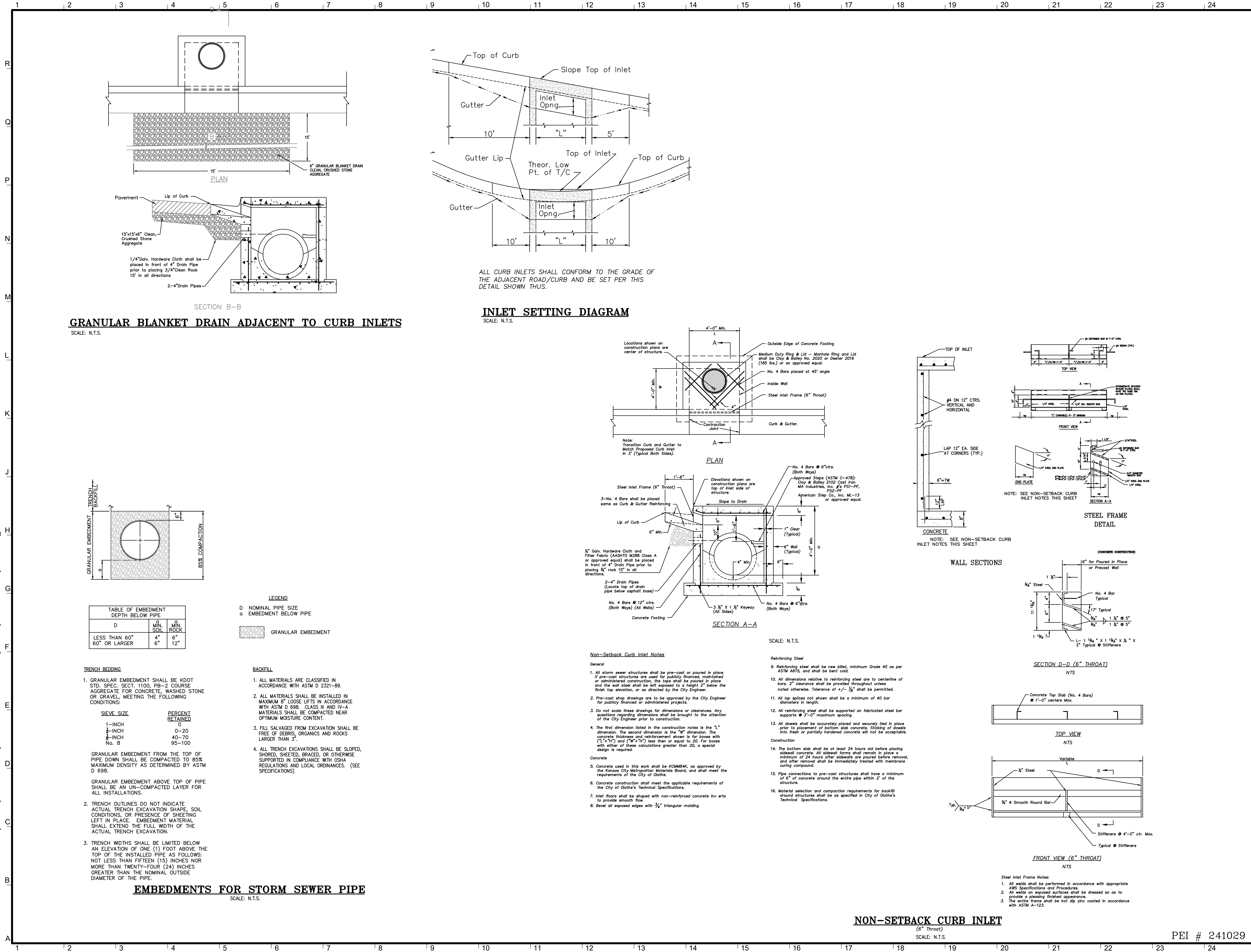




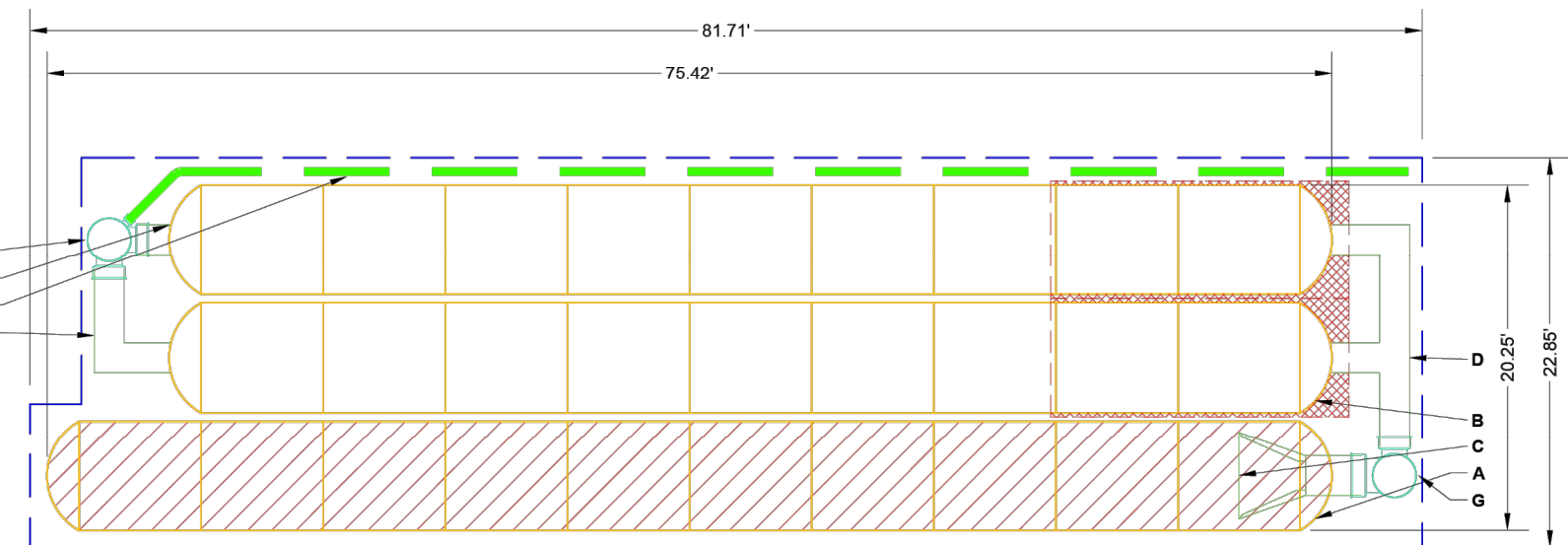
### UTILITY TRENCH AND BEDDING

PEI # 241029



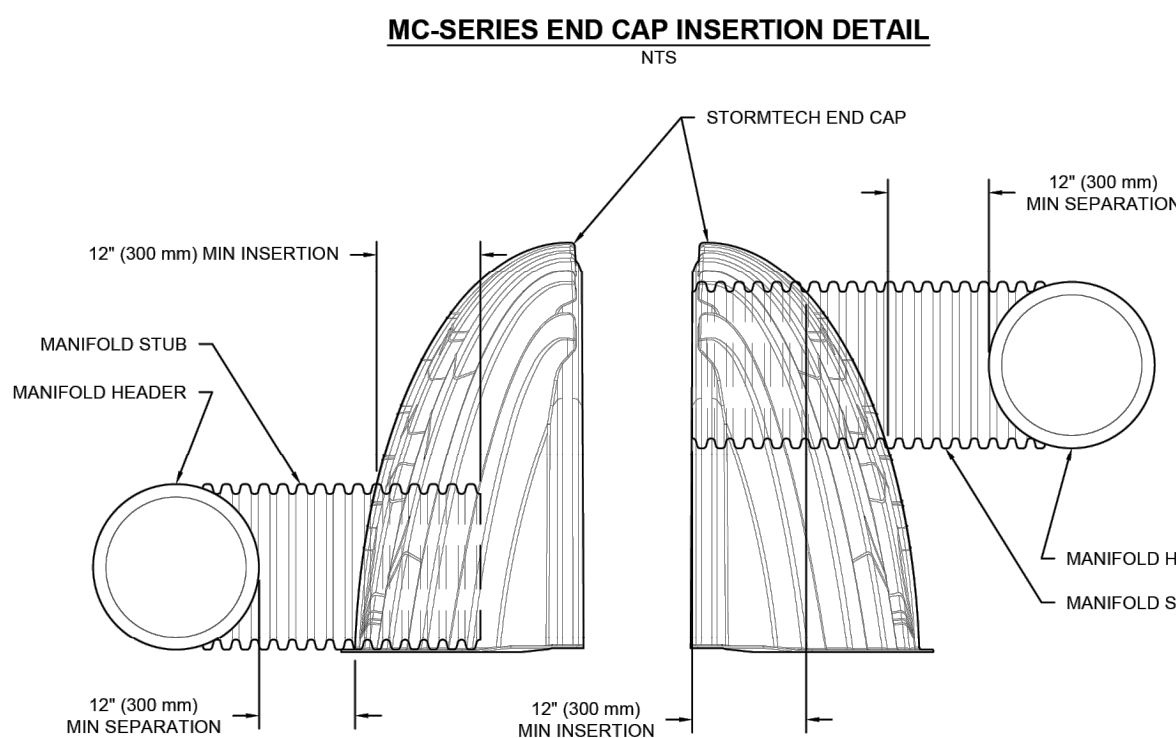




[illegible]

- ISOLATOR ROW PLUS  
(SEE DETAIL)
- PLACE MINIMUM 17.50' OF ADSPPLUS125 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS
- BED LIMITS

### MC-3500 ISOLATOR ROW PLUS DETAIL



NOTE: MANIFOLD STUB MUST BE LAID HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.

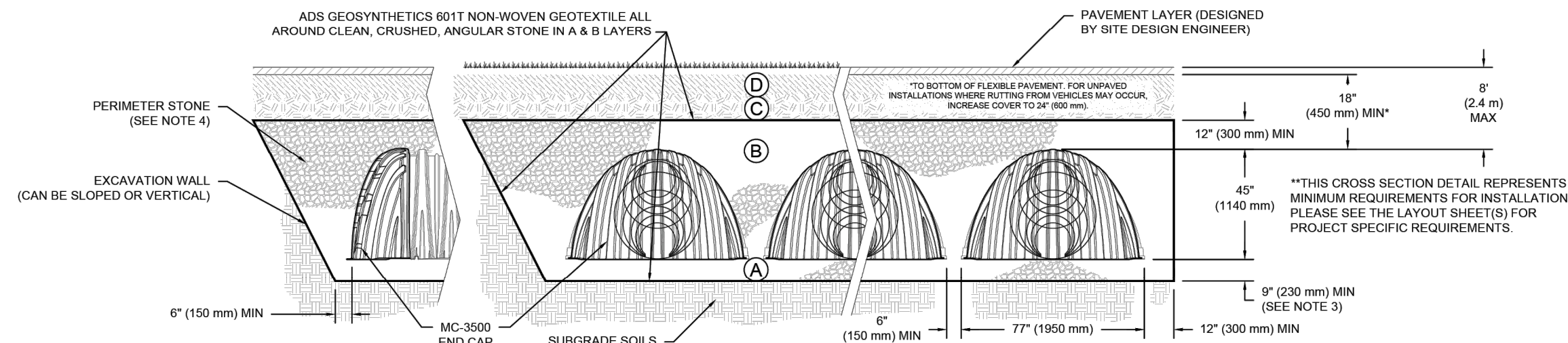
### MC-SERIES END CAP INSERTION DETAIL

### ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	<b>FINAL FILL:</b> FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL PREPARATION REQUIREMENTS.
C	<b>INITIAL FILL:</b> FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <3% FINES OR PROCESSED AGGREGATE.  MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2, A-3  OR  AASHTO M33 ¹  3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 88, 9, 9, 10	BEGIN COMPACTION AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS OF 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL, AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	<b>EMBEDMENT STONE:</b> FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ²	AASHTO M33 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	<b>FOUNDATION STONE:</b> FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ³	AASHTO M33 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M-8) STONE".  
STORMWATER COMPACTOR REQUIREMENTS ARE MET FOR ALL LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) LIFT. LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.  
FOR GRANULAR MATERIALS, SUCH AS SAND OR GRAVEL, THE STONE SHOULD BE PLACED AND COMPACTED IN 6" (150 mm) LIFTS. SURFACE COURSE OF GRANULAR MATERIALS SHOULD BE PLACED AND COMPACTED IN 4" (100 mm) LIFTS.  
COMPACTION REQUIREMENTS  
ALL PLACEMENT SHALL BE TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER "C" OR "D" AT THE SITE DESIGN ENGINEER'S DISCRETION.  
WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS "A" OR "B" THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



**NOTES:**

1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45678 DESIGNATION SS.
2. MC-30500 CHAMBER SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING CAPACITY (ALLOWABLE BEARING CAPACITY OF THE SUBGRADE) AND THE DEPTH OF FOUNDATION SET WITH CONSIDERATION FOR THE TYPE OF SOIL, MOISTURE CONDITIONS DURING INSTALLATION, REFERENCE STANDARD SPECIFICATION MANUAL, FOR BEARING CAPACITY GUIDANCE.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL, FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE Joints OF Chambers DURING SHIPPING AND HANDLING, Chambers SHALL HAVE INTEGRAL, INTERLOCKING STAGING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
  - TO RESIST CHAMBER DEFORMATION DURING INSTALLATION, THE ANCHOR STRENGTHS SHALL BE GREATER THAN OR EQUAL TO 4X(1/8)BSPN. THE ANCHOR IS DEFINED IN SECTION 8.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), Chambers SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

### MC-3500 CROSS SECTION DETAIL

## MC-3500 TECHNICAL SPECIFICATION

**VALLEY STIFFENING RIB**  
**CREST STIFFENING RIB**  
**CREST**  
**WEB**  
**LOWER JOINT CORRUGATION**  
**FOOT**  
**UPPER JOINT CORRUGATION**  
**BUILD ROW IN THIS DIRECTION**

**86.0" (2184 mm) INSTALLED**  
**90.0" (2286 mm) ACTUAL LENGTH**  
**22.2" (564 mm) INSTALLED**  
**25.7" (653 mm)**

**45.0" (1143 mm)**  
**77.0" (1956 mm)**  
**45.0" (1143 mm)**  
**75.0" (1905 mm)**

NOMINAL CHAMBER SPECIFICATIONS	
SIZE (W X H X INSTALLED LENGTH)	77.0" X 45.0" X 86.0"
CHAMBER STORAGE	109.9 CUBIC FEET
MINIMUM INSTALLED STORAGE*	175.0 CUBIC FEET
WEIGHT	334 lbs.

NOMINAL END CAP SPECIFICATIONS	
SIZE (W X H X INSTALLED LENGTH)	75.0" X 45.0" X 22.2"
END CAP STORAGE	19.0 CUBIC FEET
MINIMUM INSTALLED STORAGE*	45.1 CUBIC FEET
WEIGHT	69 lbs.

* ASSUMES 12" (305 mm) STONE ABOVE, 6" (229 mm) STONE FOUNDATION, 6" SPACING BETWEEN CHAMBERS, 6" (152 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"  
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"  
END CAPS WITH A WELDED CROWN PLATE END WITH "C"  
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC3500EP06T	6" (150 mm)	33.21" (844 mm)	—
MC3500EP06B	—	—	0.66" (17 mm)
MC3500EP08T	8" (200 mm)	31.17" (791 mm)	—
MC3500EP08B	—	—	0.81" (21 mm)
MC3500EP10T	10" (250 mm)	29.04" (738 mm)	—
MC3500EP10B	—	—	0.93" (24 mm)
MC3500EP12T	12" (300 mm)	26.36" (670 mm)	—
MC3500EP12B	—	—	1.35" (34 mm)
MC3500EP15T	15" (375 mm)	23.33" (594 mm)	—
MC3500EP15B	—	—	1.50" (38 mm)
MC3500EP18T	—	20.03" (509 mm)	—
MC3500EP18TW	18" (450 mm)	—	—
MC3500EP18BC	—	—	1.77" (45 mm)
MC3500EP18BW	—	—	—
MC3500EP20T	—	14.48" (368 mm)	—
MC3500EP24TW	24" (600 mm)	—	—
MC3500EP24BC	—	—	2.06" (52 mm)
MC3500EP24BW	—	—	2.65" (67 mm)
MC3500EP30BC	30" (750 mm)	—	—

CUSTOM PRECURED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-350 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

**StormTech®**  
Chamber System

4640 TRUEMAN BLVD  
HILLIARD, OH 43026  
1-800-733-7473



SHEET

1 OF 1

PEI # 241029

<b>DRAWN:</b> DS	<b>DATE:</b> 02/28/2025
<b>CHECKED:</b> N/A	<b>PROJECT #:</b>
<b>REV:</b>	<b>NOT TO SCALE</b>

FAREWAY MEAT MARKET  
KANSAS CITY, MO, USA

THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO THE PROJECT'S ENGINEER OF RECORD ("EOR") OR OTHER PROJECT REPRESENTATIVE. THIS DRAWING IS NOT INTENDED FOR USE IN BIDDING OR CONSTRUCTION WITHOUT THE EOR'S PRIOR APPROVAL. EOR SHALL REVIEW THIS DRAWING PRIOR TO BIDDING AND/OR CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE EOR TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.

# Gastinger Walker &

**PHELPS ENGINEERING, INC.**

**planning  
engineering  
implementation**

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PROJECT NO. 210662

Architects | Interior Designers | Construction Managers  
317 Wyandotte Kansas City Missouri 64105 816.421.8200 [gastingerwalker.com](http://gastingerwalker.com)

# Fareway Meat Market

1307 W 79th Street  
Kansas City, MO 64114

**Fareway Stores, Inc.**  
2300 Industrial Park Road  
Boone, IA 50036  
515.432.2623

ISSUED FOR:

KCMO Final Plan Submittal	14 Mar 2025
KCMO Final Plan Resubmittal	21 April 2025

Missouri Certificate of Authority: #ARC000344

Drawn By _____ TA _____  
Checked By _____ AM _____

DETAILS - PRIVATE

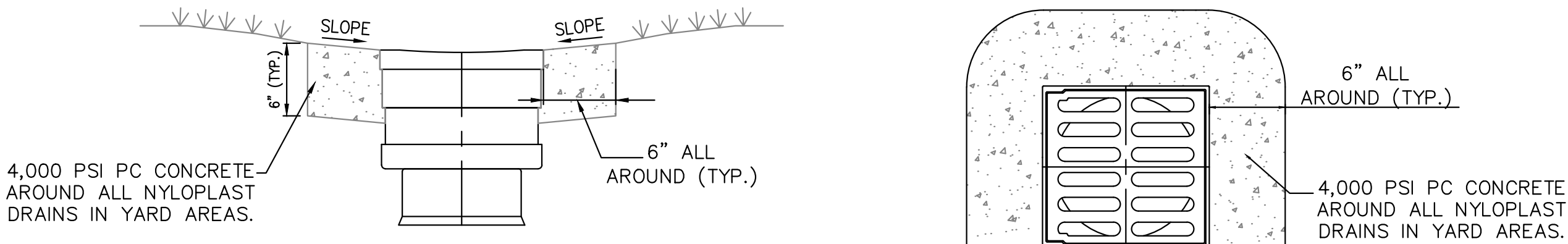
C604

PEI # 241029

Project Number: 2024.254 © Copyright 2024

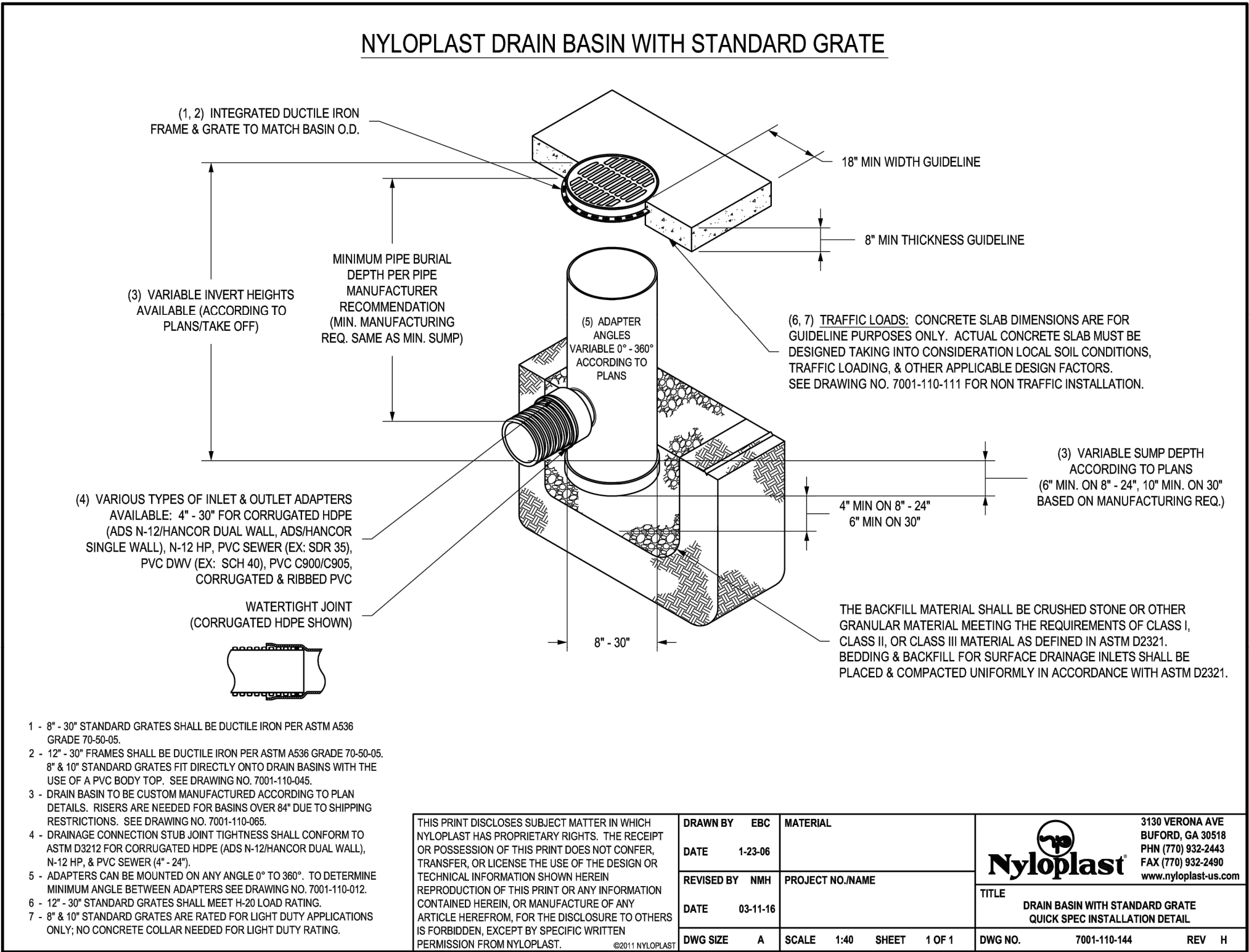


Autodesk Docs://2024.254 Fareway Grocery - Ward Parkway - Phase 1/2024.254 Fareway Grocery - Ward Parkway - Phase 1_R24.rvt



NOTE:  
CONTRACTOR TO USE STANDARD GRATE IN  
GRASS OR LANDSCAPING AREAS AND TO  
USE PEDESTRIAN GRATE IN SIDEWALK AREAS.

DRAIN GRATE CONCRETE BUFFER DETAIL



GastingerWalker &

Architects Interior Designers Construction Managers  
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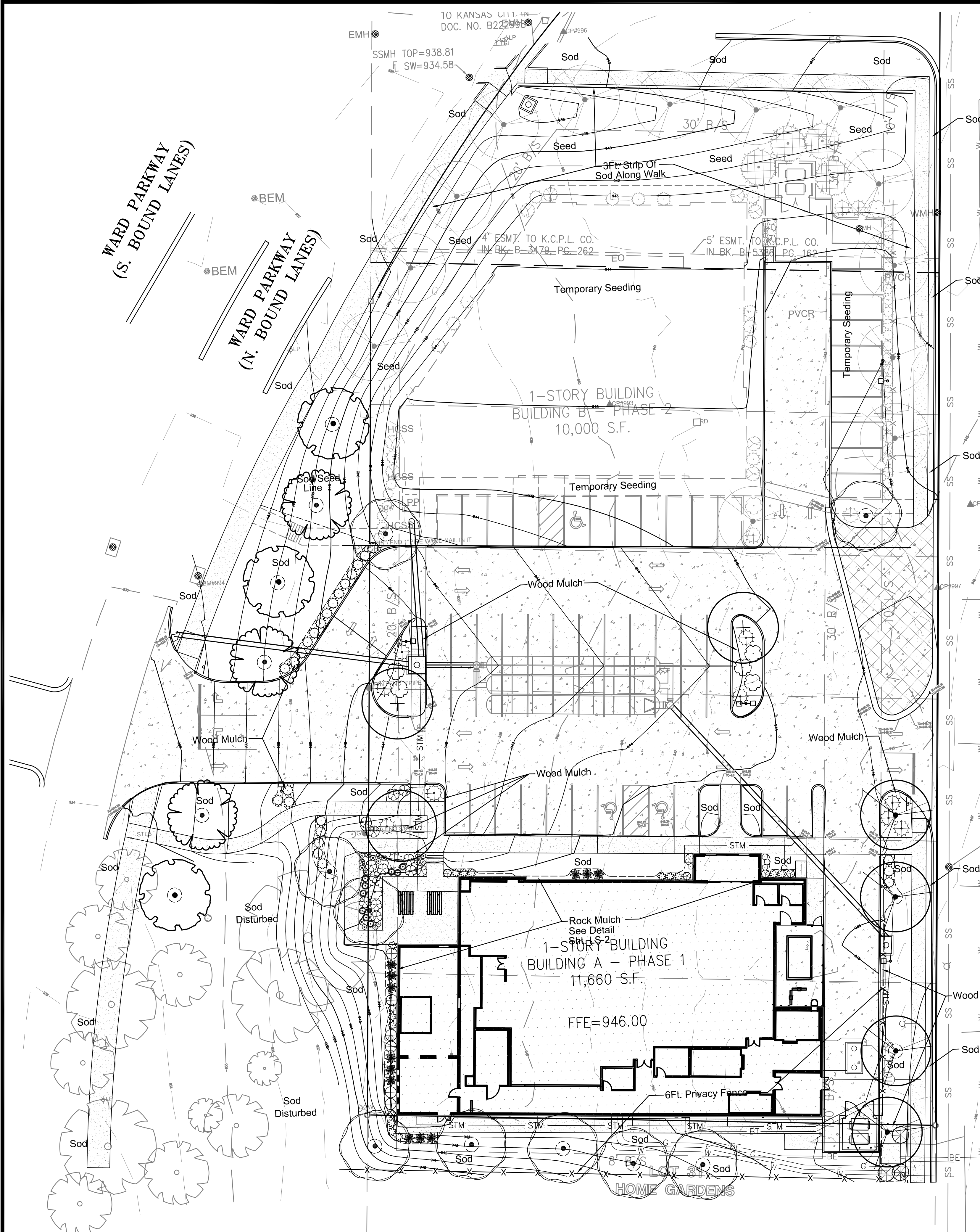
Drawn By TA  
Checked By AM

DETAILS - PRIVATE

C605

PEI # 241029





PLANT_SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL
TREES				
	3	Acer rubrum 'Red Pointe' / Red Pointe Red Maple	B & B	2"Cal
	3	Gleditsia triacanthos 'Skyline' / 'Skyline' Honey Locust	B & B	2"Cal
	9	Gymnocladus dioica 'Epresso' / Kentucky Coffee Tree Seedless/Male Only	B & B	2"Cal
	3	Nyssa sylvatica / Black Gum	B & B	2"Cal
	4	Quercus bicolor / Swamp White Oak	B & B	2"Cal

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT
SHRUBS			
	26	Ilex glabra 'Shamrock' / Inkberry 36" hgt. & sp.	5 gal
	3	Juniperus chinensis 'Sea Green' / Sea Green Juniper 24"-30" hgt. & sp.	5 gal
	11	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper 24" sp.	3 gal
	4	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar B&B	6ft.
	5	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 18"-24" sp.	3 gal
	13	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea 18"-24" hgt.	3 gal
	6	Spiraea x bumalda 'Gold Flame' / Gold Flame Spirea 18"-24" hgt.	3 gal
GRASSES			
	6	Calamagrostis acutiflora 'Karl Foerster' / Feather Reed Grass 24" hgt.	3 gal
	12	Miscanthus sinensis 'Gracillimus' / Maiden Grass 24"-30" hgt.	3 gal
	16	Miscanthus sinensis 'Morning Light' / Eulalia Grass 24"-30" hgt.	3 gal
	9	Panicum virgatum 'Shenendoah' / Burgundy Switch Grass 15"-18" hgt.	1 gal
	17	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass 15"-18" hgt. & sp.	1 gal

EXISTING TREES TO BE SAVED				
	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	24"-30" hgt. & sp.	5'o.c.
	Heavy Metal Switch Grass	Panicum Virgatum 'Heavy Metal'	3 gal.	4'o.c.
	Free Standing Transformer	Free Standing Small Box		
	Against Wall	Clustered Boxes		

Typical Utility Box Screening Details  
No Scale Note: Quantities Not Included in Plant List  
UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE  
* In case of transformer tall than 3 ft. replace Seagreens with 6 ft. Ketterli Junipers

Table 3. Landscape Requirements

This table shall appear on all landscape plans. Note that the column labeled "Alternative Requested" shall only be used when you cannot meet the landscape requirement and, if used, must be accompanied by Table 3a.

88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	10.6	11		
88-425-04 General	2.28	9		
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets				
Buffer Width	10ft.	10ft.		
Trees	See Note	Continuous		
Shrubs/Wall/Berm	Continuous	Continuous		
Adjacent to Residential Zones				
Buffer Width	6ft. Fence	6ft. Fence		
Shrubs/Berm/Fence/Wall	10ft. Fence	10ft. Fence		
88-425-06 Interior Vehicular Use Area				
Interior Area	33 GAR SPACES	6		
Trees	33	33*		
88-425-07 Parking Garage Screening	Describe NA			
88-425-08 Mechanical/Utility Equipment Screening	Describe NA			
88-425-09 Outdoor Use Screening	Describe NA			

Table 3a. Alternative Compliance to Landscape Standards

This table shall appear on all landscape plans in which alternative compliance is requested.

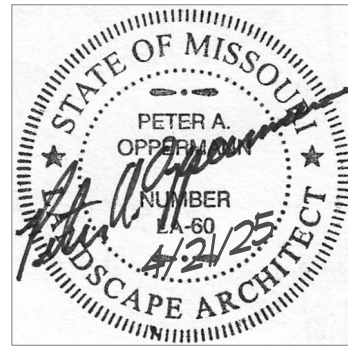
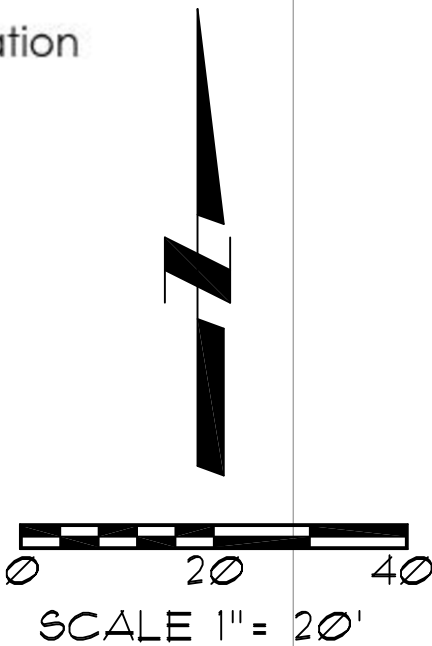
88-425 - LANDSCAPE REQUIREMENTS	Proposed Alternative	Approved
88-425-03 Street Trees	NA	
88-425-04 General	NA	
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets	NA	
Buffer Width		
Trees		
Shrubs/Wall/Berm		
Adjacent to Residential Zones		
Buffer Width	NA	
Shrubs/Berm/Fence/Wall		
88-425-06 Interior Vehicular Use Area		
Interior Area	NA	
Trees		
Shrubs		
88-425-07 Parking Garage Screening	NA	
88-425-08 Mechanical/Utility Equipment Screening	NA	
88-425-09 Outdoor Use Screening	NA	

Note:  
Street trees satisfy requirement.

Table 3b. Landscape Schedule

This table shall appear on all landscape plans and be used to identify the graphic information displayed on the face of the plan.

88-425 - LANDSCAPE SCHEDULE	SYMBOL
88-425-03 Street Trees	See plan and plant schedule
88-425-04 General	See plan and plant schedule
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets	
Buffer Width	See plan
Trees	See plan and plant schedule
Shrubs/Wall/Berm	See plan and plant schedule
Adjacent to Residential Zones	See plan and plant schedule
Buffer Width	NA
Shrubs/Berm/Fence/Wall	
88-425-06 Interior Vehicular Use Area	
Interior Area	
Trees	
Shrubs	
88-425-07 Parking Garage Screening	Describe NA
88-425-08 Mechanical/Utility Equipment Screening	Describe NA
88-425-09 Outdoor Use Screening	Describe NA



Landscape Plan  
Fareway Meat Market

West 79th Street and Ward Parkway  
Kansas City, Missouri

LS-1

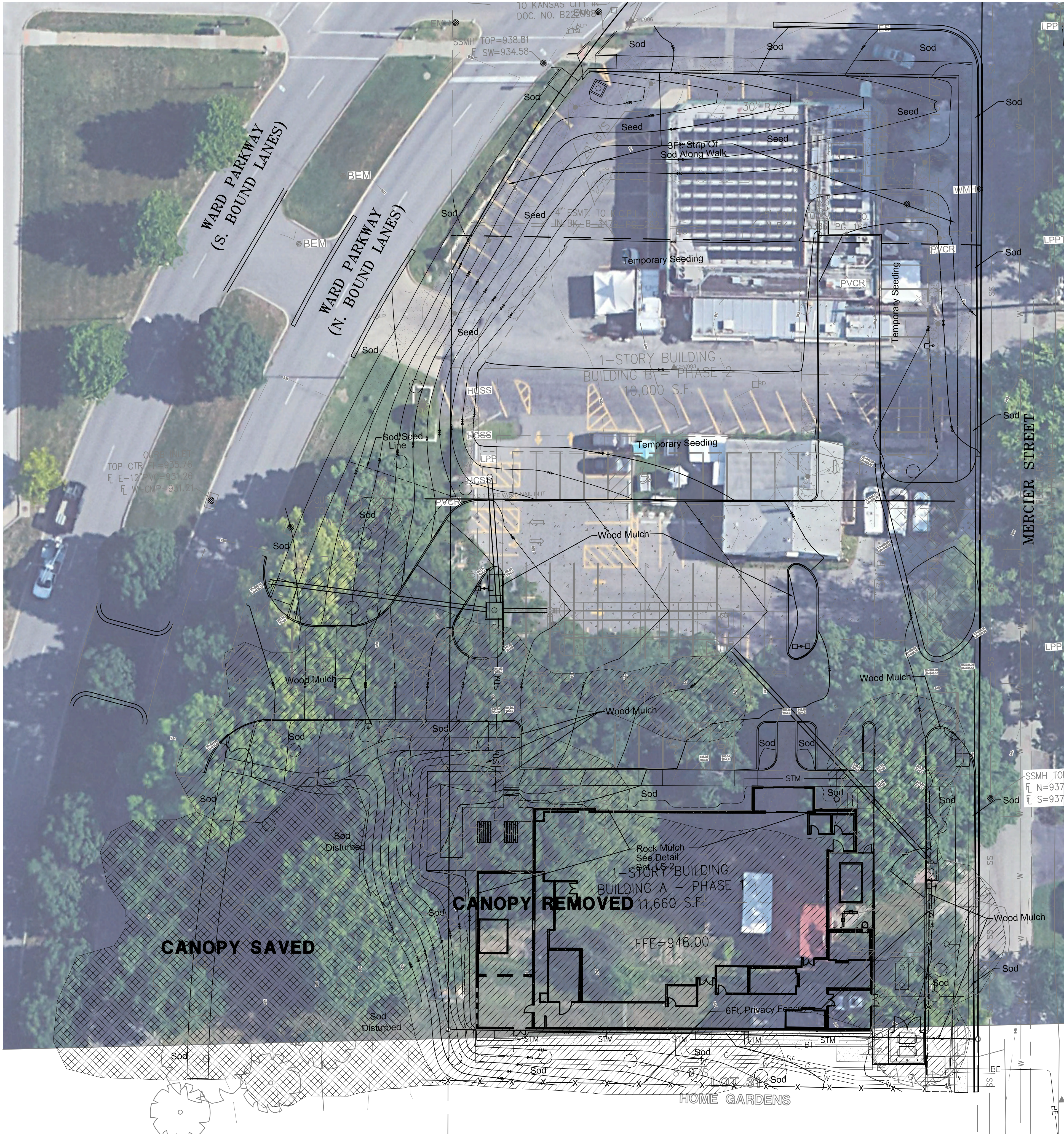


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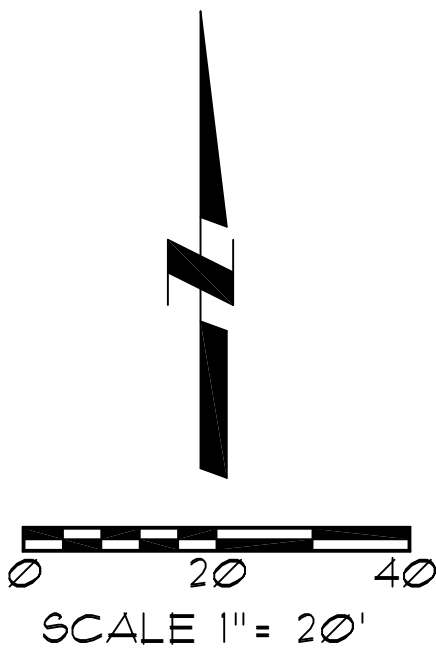
04/21/2025





Utility Note:  
Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Missouri call 1-800-DIG-RITE (344-7483) to have utilities located.

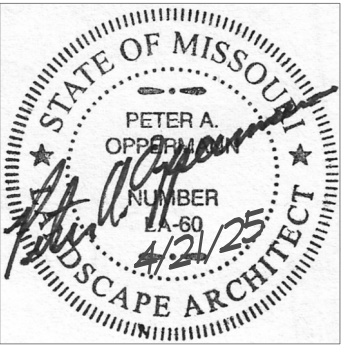
Tree Mitigation Calculations	
Total Area Of Trees To Be Removed	.821 Acres
Less area of contiguous canopy outside stream buffer to remain larger than 1 acre	.28 (0) Acres
Less undisturbed acres of stream buffer	0
multiplied by	.35
multiplied by	.28
Less total caliper inches proposed in landscape plan	150
Caliper inches needed for mitigation	43
	44
	-1



Tree Mitigation Plan  
**Fareway Meat Market**

West 79th Street and Ward Parkway  
Kansas City, Missouri

LS-2



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04/21/2025



Dedicated Design Irrigation System:

1. If an irrigation system is not provided with the Landscape Plans, the Contractor is to design a 100 percent coverage irrigation system, including comprehensive engineering analysis by a qualified Professional Engineer, using performance requirements and design criteria indicated per Owner's direction.
2. Irrigation Contractor to design and install irrigation system and shall include all required components including, but not limited to, rain shut off sensor, controller, taps, backflow preventers, all approvals, and all fees required by city. Components to be manufactured by Rainbird or Hunter unless alternate manufacturer is expressly approved by the Owner or Owner's Representative.
3. Irrigation Contractor shall submit a copy of plan to Owner's Representative or Project Landscape Architect for review prior to installation of system.
4. Irrigation Contractor shall conduct a training session with the owner (or representatives) demonstrating the operation of the system and the controller. As part of this training, Contractor shall provide one spring start-up and one fall shut-down of the system.
5. Landscape Contractor to provide cost estimates for irrigation system for all plant material indicated on plans.
6. Irrigation system shall be tested and approved by Owner's Representative or Landscape Architect prior to backfilling trenches. Irrigation system shall be fully operational prior to the installation of any plant materials.
7. All planting beds shall be watered by the irrigation system.
8. General Contractor to supply all power required to operate irrigation system.
9. Irrigation Contractor shall notify Owner's Representative or Project Landscape Architect of any changes to irrigation conduit locations or sizes.
10. It is the Landscape Contractor's responsibility to determine water application rates and timer cycling. The Irrigation Contractor will instruct the Owner on the operation and programming of the controller.
11. All zones and main lines will be pressure-tested at the time of installation and again prior to building turnover. Results shall be submitted in writing to Project Landscape Architect and Owner or Owner's Representative.
12. Irrigation shall not spray on building, sidewalks, and drives.
13. Irrigation controller location shall be coordinated with other wall-mounted service panels per Owner's approval.
14. Landscape Contractor shall hand-water all trees, and turf grass areas until substantial completion.
15. Treegator bags (or approved equal) shall be used for all proposed trees on site.

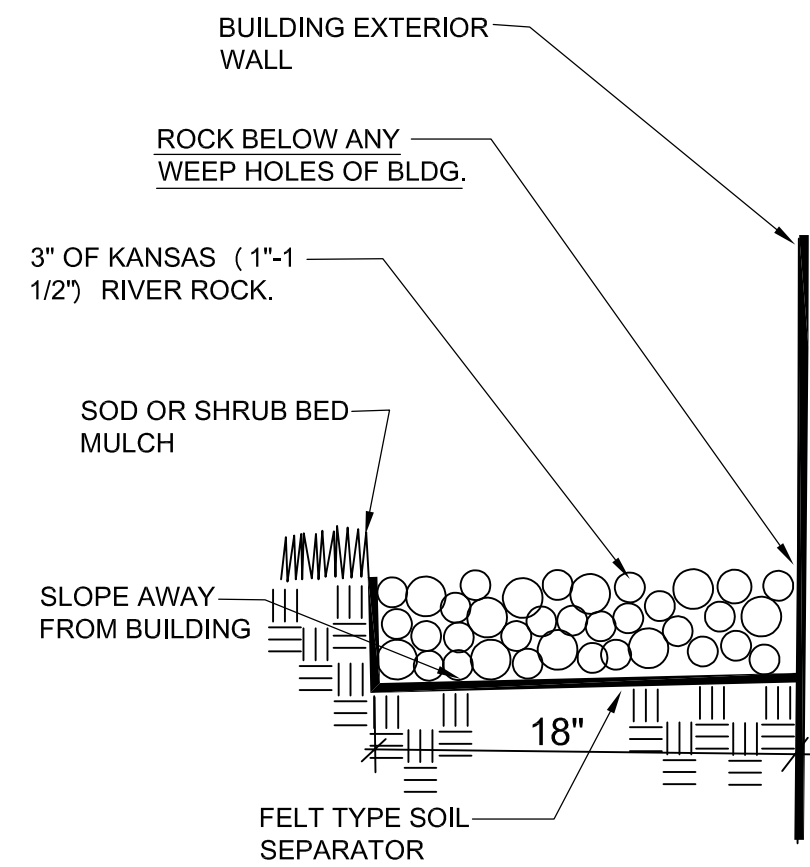
ADDITIONAL IRRIGATION NOTES:

All irrigation equipment shall be Rain Bird products or approved equal.

Drip Irrigation Note: Drip irrigation shall be 1/2" flex tubing with in line emitters and check valves spaced 12" on center. For individual shrubs an 18" diameter circle shall be placed around each shrub. For trees in landscape beds two loops shall be around tree. One at 3' diameter and one at 5' diameter. Groundcover areas shall have lines placed 18" apart covering entire bed.

Quick Couple Locations: Quick couples shall be placed in the main line of the irrigation so they may be used when irrigation is not running.

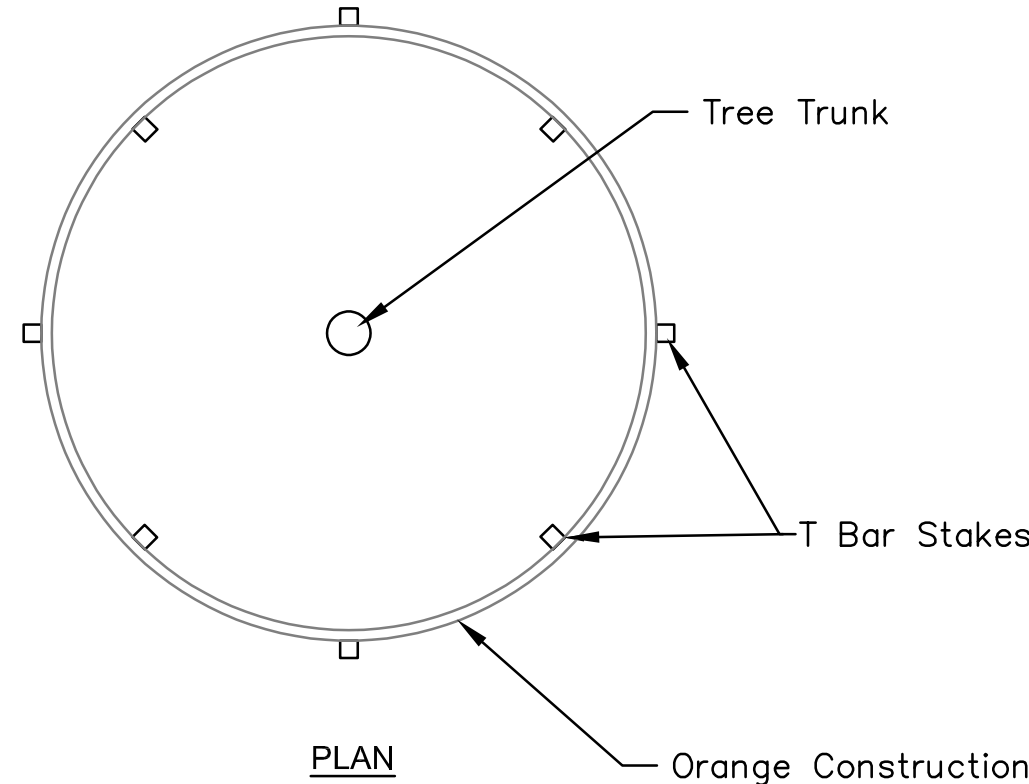
Irrigation controller shall be located as directed by Owner.



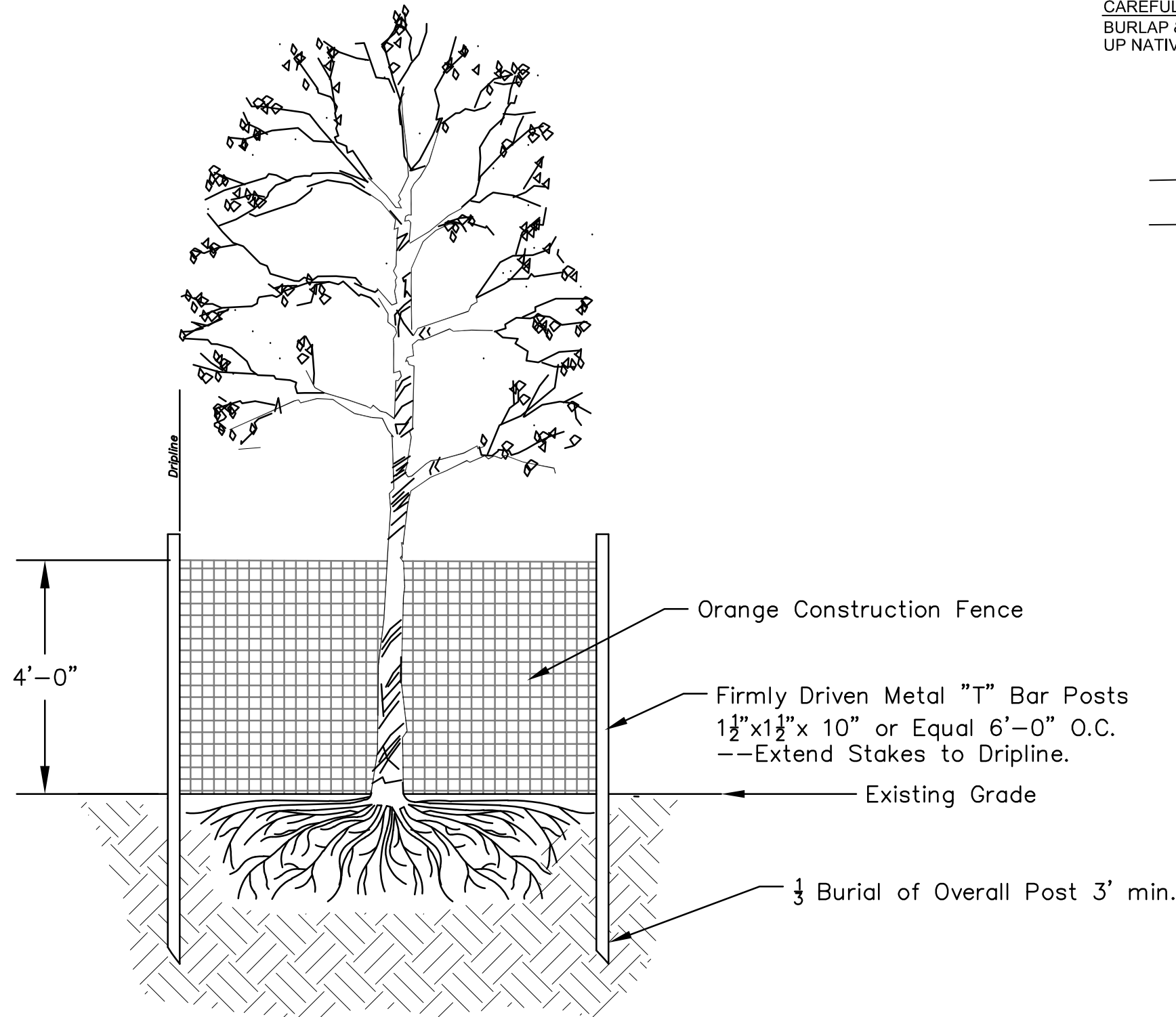
BUILDING ROCK EDGE

NO SCALE

"PLACE ROCK AROUND ENTIRE BLDG. PERIMETER WHEREVER THERE IS NOT CONCRETE OR ASPHALT"

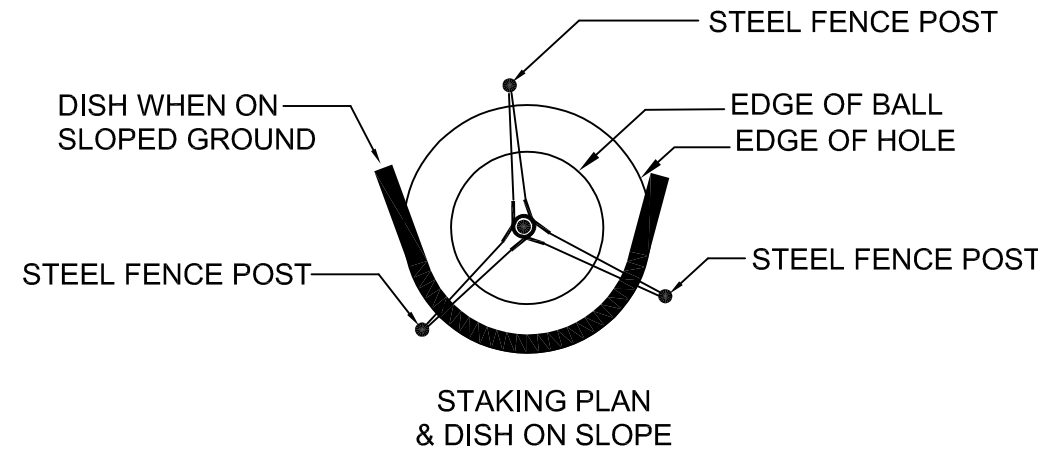


PLAN



ELEVATION

TREE PRESERVATION DETAIL



DIRECTION OF TREE STAKES:  
ONE SOUTHEAST  
ONE SOUTHWEST  
ONE NORTH

PLASTIC SPIRAL TREE WRAP COIL FROM BASE TO LOWEST BRANCHES

WEBBED ARBOR TIE TAPE LOOP AROUND TREE TO BE 6"-8" LARGER THAN TRUNK DIAMETER

(3) 6" STEEL "T" POSTS

DIG SHALLOW, BROAD HOLE: 3 TIMES THE DIAMETER OF ROOT BALL AND ONLY AS DEEP AS ROOT BALL. BACKFILL WITH 1/2 EXISTING SOIL AND 1/2 TOPSOIL.

CUT AND REMOVE BURLAP (REMOVE METAL CAGE FROM SIDES AND TOP OF BALL)

IDENTIFY TRUNK FLARE TO REMAIN PARTIALLY VISIBLE AFTER PLANTING TOP OF ROOT BALL TO BE 1" ABOVE FINISHED GRADE

2" WELL AGED MANURE TOPPED W/ 1" OF SHREDDED DYED BROWN MULCH W/ PRE-EMERGENT HERBICIDE (KEEP MULCH 2" AWAY FROM TRUNK)

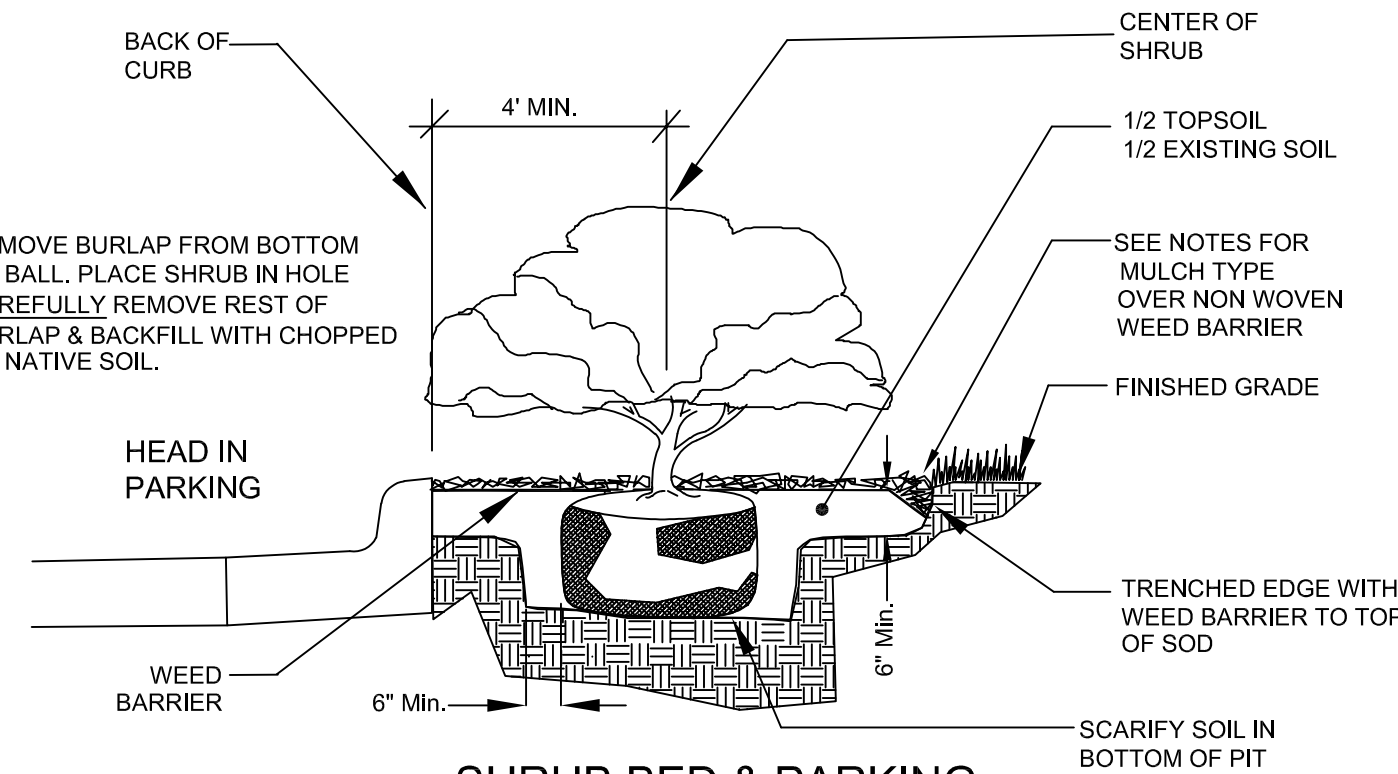
TOP OF ROOTBALL AT 1" ABOVE SURROUNDING FINISHED GRADE

FILL HOLE GENTLY, BUT FIRMLY. ADD WATER TO SETTLE THE SOIL.

FIRMLY COMPACT ANY NEW OR DISTURBED SOIL UNDER ROOT BALL TO PREVENT SETTLING

TREE PLANTING DETAIL

NO SCALE



SHRUB BED & PARKING SETBACK DETAIL

NO SCALE

Tree Protection Notes:

1. Four foot plastic snow fencing shall be erected around trees to be saved @ limits of grading.
2. Fence shall be erected before any site work takes place.
3. Steel "T" posts shall be placed 10ft. o.c. w/ fence attached securely.
4. Fencing shall remain in place during all demolition and new construction improvements & until the landscaping is complete.
5. No construction activity shall take place on the tree side of the fence including the storage of any construction materials including temporary storage of excavated soil. When appropriate excavated soil from areas to be graded shall be temporarily stored on adjacent available areas. If no adjacent areas are available excavated material shall be hauled offsite.
6. When trenching or other excavation takes place roots 1" in diameter & larger shall be root pruned with a saw, not a bulldozer blade.
7. Cut roots shall be wrapped with wet burlap while exposed.
8. Excavations with exposed roots shall be backfilled absolutely as soon as possible, after removing burlap from roots.
9. Where construction traffic needs to occur over critical root zones 4'x8' sheets of 3/4" plywood covered w/ 9" of shredded wood pulp or mulch shall be placed over the root zone first.

GENERAL LANDSCAPE NOTES:

1. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
2. CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL MAKE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL STAKE LAYOUT PLAN IN THE FIELD AND SHALL HAVE THE LAYOUT APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE INSTALLATION.
5. ALL LANDSCAPE BEDS SHALL BE TREATED WITH THE PRE-EMERGENT HERBICIDE PRE M 60 DG (GRANULAR) OR AN APPROVED EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. ALL LANDSCAPE BEDS SHALL RECEIVE A TRENCHED EDGE. SEE SHRUB PLANTING DETAIL. FINISH GRADE OF BEDS SHALL FLOW WITH SLOPE. NOT BE MOUNDED, AND BE AT ADJACENT PAVED SURFACE LEVEL.
7. FERTILIZER FOR FESCUE SODDED AREAS, TREES AND CONTAINER STOCK AREAS SHALL BE A BALANCED FERTILIZER BASED ON RECOMMENDATIONS FROM A SOIL TEST SUPPLIED BY THE LANDSCAPE CONTRACTOR FROM AN APPROVED TESTING LAB.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PLANTS UNTIL COMPLETION OF THE JOB AND ACCEPTANCE BY THE OWNER.
9. CONTRACTOR SHALL WARRANTY ALL LANDSCAPE WORK AND PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.
10. CONTRACTOR SHALL PROVIDE MAINTENANCE OF ALL TREES AND SHRUBS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION IF CONTRACTED BY THE OWNER.
11. ANY PLANT MATERIAL WHICH DIES DURING THE ONE YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR DURING NORMAL PLANTING SEASONS.
12. ALL PLANT NAMES ON THE PLANT LIST CONFORM TO THE STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE OR TO NAMES GENERALLY ACCEPTED IN THE NURSERY TRADE.
13. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY STOCK AS DETERMINED IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, FREE OF PLANT DISEASES AND PESTS, OF TYPICAL GROWTH OF THE SPECIES AND HAVING A HEALTHY, NORMAL ROOT SYSTEM.
14. SIZES INDICATED ON THE PLANT LIST ARE THE MINIMUM, ACCEPTABLE SIZE. IN NO CASE WILL SIZES LESS THAN THE SPECIFIED SIZES BE ACCEPTED.
15. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY TO THE SITE OR AFTER INSTALLATION EXCEPT FOR THOSE BRANCHES THAT HAVE BEEN DAMAGED IN SOME WAY.
16. PLANTS SHALL NOT HAVE NAME TAGS REMOVED PRIOR TO FINAL INSPECTION.
17. ALL PLANTINGS SHALL RECEIVE A COMMERCIAL TRANSPLANT ADDITIVE PER MANUFACTURER'S RECOMMENDED RATES AND INSTRUCTIONS FOR APPLICATION.
18. BUILDING MULCH SHALL BE 3" DEPTH OF KANSAS RIVER ROCK (3/4"-1 1/2") SIZE. OTHER MULCH SHALL BE 3" OF DYED BROWN SHREDDED HARDWOOD. BOTH MULCHES SHALL BE OVER A FELT TYPE SOIL SEPARATOR CUT INTO THE GROUND WITH A TRENCHED EDGE. SEE TREE DETAIL FOR DIFFERENT MULCH AROUND TREES.
19. SEED SHALL BE A TURF-TYPE-TALL FESCUE BLEND WITH 10% PERENNIAL RYE DRILL SEED AT A RATE OF 9#/1000S.F. AND HYDRO MULCHED AS A SEPARATE OPERATION AT A RATE OF 2000#/ACRE OF VIRGIN WOOD FIBRE WITH A DYED BLUE TACKIFIER. CONTRACTOR SHALL BE RESPONSIBLE FOR AN ACCEPTABLE STAND OF TURF GRASS OF AT LEAST 90% COVERAGE OF SOIL SURFACE PER SQUARE FOOT.
21. SEE PLANTING DETAILS FOR SOIL MIX IN PLANTING HOLES.
22. SOD SHALL BE A TURF-TYPE-TALL FESCUE GRASS BLEND.
23. SUCCESSFUL LANDSCAPE BIDDER SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ANY IRRIGATION SYSTEM TO BE APPROVED BY THE OWNER.

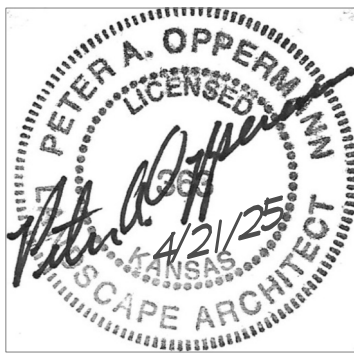
Transplant Additives:

1. Apply a commercial transplant additive (approved by the Landscape Architect) to all trees, shrubs and groundcover at rates recommended by the manufacturer during the planting. This item shall be subsidiary to other planting items.
2. Transplant additive shall be Horticultural Alliance "DIEHARD Transplant" (or approved equal) mycorrhizal fungal transplant inoculant or equivalent equal containing the appropriate species of mycorrhizal fungi and bacteria, fungi stimulant, water retaining agents, mineral & organic nutrients and inert ingredients.
3. Demonstrate installation of all transplant additives for this project to the Landscape Architect. Provide actual additive product as evidence of sufficient quantity of product. (Empty product bags to be stockpiled for inspection by the Landscape Architect prior to disposal).
4. Number of transplant additive packets per tree, shrub or groundcover shall be applied according to the manufacturer's recommended rates and instructions. For all plants the packet mix shall be evenly distributed into the upper approximately 8" of backfill soil next to the rootball. Do not place mix in the bottom of the planting pit.
5. Furnishing and application of transplant additive shall be subsidiary to the planting operations.

Landscape Plan  
Fareway Meat  
Market

West 79th Street and Ward Parkway  
Kansas City, Missouri

LS-3



04/21/2025



Oppermann LandDesign, LLC

Land Planning Landscape Architecture

92 Debra Lane  
New Windsor, New York 12553

peter@oppermann56@gmail.com  
913.522.5598

Utility Note:

Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Kansas call 1-800-DIG-SAFE (344-7233) to have utilities located.



Autodesk Docs://2024.254 Fareway Grocery - Ward Parkway - Phase 1_R24.rvt



## Fareway Meat Market

1307 W 79th Street  
Kansas City, MO 64114

Fareway Stores, Inc

2300 Industrial Park Road  
Boone, IA 50036  
515.432.2623

### ISSUED FOR:

KCMO Final Plan Submittal	14 Mar 2025
KCMO Final Plan Resubmittal	21 April 2025

Missouri Certificate of Authority: #ARC000344

NOT FOR CONSTRUCTION

Drawn By KS  
Checked By AM

BUILDING ELEVATIONS

A4.0

Project Number: 2024.254

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Fareway Meat Market

1307 W 79th Street  
Kansas City, MO 64114

Fareway Stores, Inc

2300 Industrial Park Road  
Boone, IA 50036  
515.432.2623

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NOT FOR CONSTRUCTION

Drawn By KS  
Checked By AM

BUILDING ELEVATIONS -  
TENANT

A4.1

Project Number: 2024.254

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Autodesk Docs://2024.254 Fareway Grocery - Ward Parkway - Phase 1/2024.254 Fareway Grocery - Ward Parkway - Phase 1_R24.rvt



Meat Market and Tenant - Aerial Site View



NW Corner at Fareway Meat Market



SW Corner at Tenant Building



NE Corner at Fareway Meat Market

Fareway Meat Market

1307 W 79th Street  
Kansas City, MO 64114

Fareway Stores, Inc

2300 Industrial Park Road  
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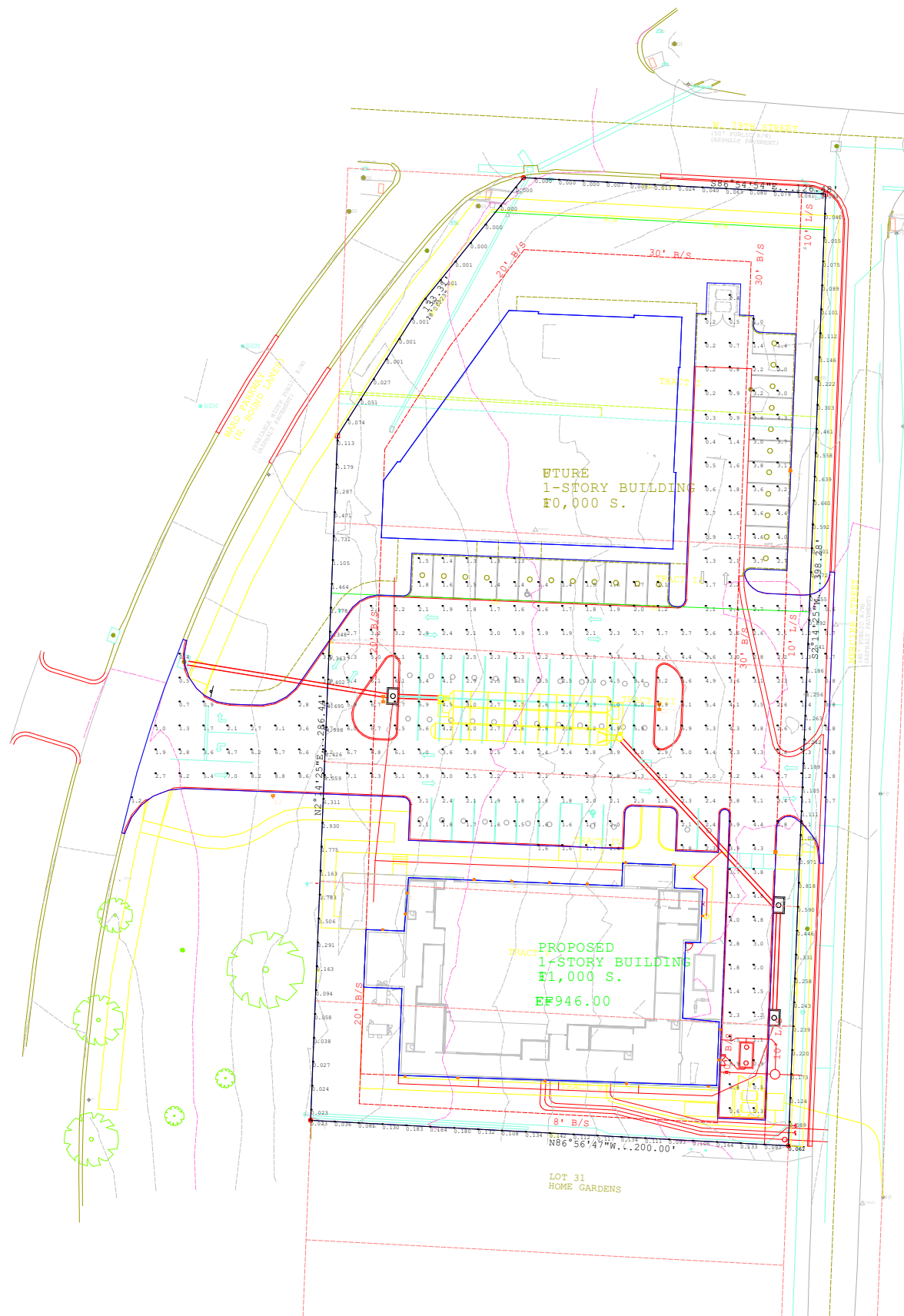
NOT FOR CONSTRUCTION

Drawn By KS  
Checked By AM





BUILDING AND AERIAL  
VIEWS

A4.2





* 20' poles being used to abide by 25' max mounting height required by city ordinance.

Luminaire Schedule				
Symbol	Qty	Label	Description	Luminaire Lumens
	18	WPT	2500K-15-40K	3001
	2	PS-TH-CLS	1500K-15-40K UNV WITH CLS (BACKSHIELD)	13148
	1	PS-TH	1500K-15-40K UNV ARRAY	25258
	2	PSR-TH	1500K-15-40K UNV UNM ARRAY W/ GFCI	23548

Calculation Summary						
Label	Calc Type	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot Planner	Illuminance	2.89	8.8	0.2	14.05	44.00
Property Line	Illuminance	0.91	8.059	0.009	N/A	N/A
South Property Line	Illuminance	0.12	0.184	0.025	3.04	8.60



#	Date	Comments

Revisions

Drawn By: Max Lewis  
Checked By:  
Date: 4/18/2025  
Scale:

Kansas City, MO Store  
Fareway Stores



# Public Meeting Notice

Please join Fareway Stores, Inc.

for a meeting about the upcoming redevelopment process at 79th & Ward Parkway.

case number CD-CPC-2025-00041

proposed for the following address: 1307 W 79th Street

Kansas City, MO 64114

**Meeting Date:** April 23, 2025

**Meeting Time:** 6PM

**Meeting Location:** Teams. Directions attached.

**Project Description:**

Demolition, redevelopment, and construction of a new Fareway Meat Market and and commerical tenant building.

If you have any questions, please contact:

Name: Koby M. Pritchard

Phone: 515-317-9210

Email: [kpritchard@farewaystores.com](mailto:kpritchard@farewaystores.com)

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at [kcmo.gov/publicengagement](http://kcmo.gov/publicengagement)



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at [Compasskc.kcmo.org](http://Compasskc.kcmo.org). You may search by project type and address/case number to find project details.

Sincerely,

**Koby Pritchard**

Koby M. Pritchard, Fareway Stores, Inc.

Digitally signed by Koby Pritchard  
Date: 2025.04.10 13:20:31 -05'00'





Corporate Headquarters  
8800 NW 62nd Avenue  
Johnston, IA 50131  
Phone: 515-432-2623

Fareway Neighborhood Meeting Instructions

[www.microsoft.com/en-us/microsoft-teams/join-a-meeting](https://www.microsoft.com/en-us/microsoft-teams/join-a-meeting)

Meeting ID: 280 277 182 381

Passcode: gD9Sw9xp



## Meeting Sign-In Sheet

### Project Name and Address

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Name	Address	Phone	Email
John Rizzo	7913 Mercier St. Kansas City, MO 64114	(816) 333-1591	akriz42@aol.com
Jacob Johannigmeier	8004 Ward Parkway, Blue Springs, MO 64114	(660) 476-2572	jajohannigmeier@burnsmcd.com
Scott Groves	7909 Mercier St. Kansas City, MO 64114	(913) 244-7158	xcjedi@hotmail.com scott.groves@caramail.com
Koby Pritchard	8800 NW 62nd Ave. Johnston, IA 50131	(515) 432-2623 ext. 5322	kpritchard@farewaystores.com
Mark DeYoung	2300 Industrial Park Road, P.O. Box 70, Boone, IA 50036	(515) 432-2623 ext. 6509	mdeyoung@farewaystores.com
Andy Meyer	817 Wyandotte Kansas City, MO 64105	(816) 569-0824	ameyer@gastingerwalker.com
Kevin Stiegler	817 Wyandotte Kansas City, MO 64105	(816) 569-0824	kstiegler@gastingerwalker.com
Judd Claussen	1270 N. Winchester Olathe, Kansas 66061	(913) 393-1155	jclaussen@phelpsenengineering.com





CITY OF  
KANSAS CITY,  
MISSOURI

## CITY PLANNING & DEVELOPMENT

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### Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):



## **Meeting Summary:**

### **Introductions and Overview**

Koby Pritchard of Fareway Stores introduced the Fareway team and provided an overview of the company's vision for the site.

Andy Meyer of GastingerWalker& followed by introducing the design team and presenting an overview of the existing site conditions, the proposed site and floor plans, along with renderings and elevation drawings.

### **Trash Pickup Timing:**

John Rizzo raised a concern about early morning trash collection at the new location. Mark noted that a request can be submitted to the city to ensure trash is not picked up before 7:00 AM.

### **Concerns About Nightlife Atmosphere:**

John Rizzo also expressed concern about the potential for a club-like atmosphere or loud nighttime music. Fareway assured attendees that all tenants will be selected to align with the character of the neighborhood—this will not be a late-night or rowdy environment.

### **Demolition of the Three Houses to the South:**

Jacob Johannigmeier asked about plans to demolish the three houses just south of the site. He mentioned that he appreciated the existing patio space and the shade provided by the trees. Judd Claussen explained that while some trees will be removed, others will remain, and additional trees and landscaping will be added.

### **Project Time line:**

Mark DeYoung outlined the expected schedule:

Demolition of the three houses to the south is planned for Summer 2025.

Construction of the new Meat Market is expected to begin in September/October 2025.

The new store is scheduled to open in Fall 2026.

Demolition of the existing Fareway Meat Market building will take place in Fall 2026.

### **House Demolition Details:**

Scott Groves asked which houses will be demolished. The three homes located directly south of the existing site are slated for removal.

### **Plans and Renderings:**

Scott Groves also inquired about where he could view plans and renderings of the project.

### **Point of Contact:**

John Rizzo asked for a reliable contact person.

Koby Pritchard confirmed he is the main point of contact for the project.