



CITY PLAN COMMISSION STAFF REPORT

KANSAS CITY

Planning & Dev

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

05/07/2025

Project Name

Fareway Meat Market Development Plan

Docket #4

Request

CD-CPC-2025-00041

Development Plan

Applicant

Daniel Finn

Phelps Engineering

Owner

Mark DeYoung

Fareway Stores, INC

Location	1307 W 79 th St
Area	About .9 Acres
Zoning	B1-1
Council District	6
County	Jackson
School District	Kansas City, MO

Surrounding Land Uses

North: Residential, zoned R-5
South: Residential, zoned R-6
East: Residential, zoned R-6
West: Commercial, zoned R-1.5/B1-1

KC Spirit Playbook Alignment

Medium

Land Use Plan

The Country Club/Waldo Area Plan recommends Commercial Land Use for this location. The proposed plan has a low-medium alignment with this designation. See Criteria A for more information.

Major Street Plan

Ward Parkway is identified as a Parkway on the City's Major Street Plan.

W 79th St, in this section, is identified as a Local Link on the City's Major Street Plan.

APPROVAL PROCESS

Staff
Review

City Plan
Commission

City Council

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a major amendment to a previously approved development plan to construct two new commercial buildings on the subject site.

PROJECT TIMELINE

The application for the subject request was filed on 03/16/2025. No scheduling deviations from the 2025 Cycle 5.1 have occurred.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

At the time this staff report was published, the subject site was located within the West Waldo and Ward Parkway Plaza Neighborhood Association.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on 04/23/2025. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

Fareway Meat Market (formerly McGonigle's) currently occupies an existing commercial structure at the subject site. The home at 7910 Mercier St is for operational office uses and outdoor seating for customers.

PROFESSIONAL STAFF RECOMMENDATION

Docket #4 Recommendation
 Approval, Subject to Conditions

Vicinity Map



CONTROLLING + RELATED CASES**CD-CPC-2020-00132 APPROVED**

A request to approve a two-phase Development Plan for "Fareway Market" on about 1.68 acres located at 1301 W 79th St, or generally located at the southeast corner of W 79th St and Ward Parkway. *Plan expiration extended on 09/04/2024.

200935 APPROVED

Approving a major amendment to a development plan to allow for a parking lot as Phase 1 to the existing approved development plan in District B1-1 on about 1.68 acres generally located southwest of the intersection of Ward Parkway and W. 79th St (CD-CPC-2020-00132)

200014 APPROVED

Rezoning an area of about 1.68 acres generally located southwest of the intersection of Ward Parkway and W. 79th St from Districts B1-1 and R-6 to District B1-1, and approving a development plan for the proposed McGonigle's Expansion Plan for two commercial buildings (CD-CPC-2019-00196 and 199)

200155 APPROVED

Acknowledging receipt of a restrictive covenant delivered by the owners of certain real property generally located southwest of the intersection of Ward Parkway and W. 79th Street imposing certain restrictions on the property for the mutual benefit of the City and present and future owners and directing the recording of this Resolution by the City Clerk.

CD-BZA-2020-00083 APPROVED

A request to approve a setback and vehicular use area variance to the Boulevard and Parkway Standards for the Fareway Meat Market project on about 1 acre generally located at the southeast corner of W 79th St and Ward Parkway.

170167 APPROVED

Rezoning an area of approximately 0.75 acres generally located at the southeast corner of W. 79th Street and Ward Parkway from Districts R-6 and B1-1 to District B1-1, and approving a development plan for the same area to permit an existing food and beverage retail sales establishment (14768-P and 14768-P1).

170168 APPROVED

Amending the Waldo Area Plan on an approximately 0.25-acre tract of land, generally located at the southeast corner of W. 79th St and Ward Parkway, by changing the recommended land use from low-density residential to retail/office (256.S-5).

CICO-201810585 APPROVED

Certificate of Occupancy for change of use from single family to business at 7910 Mercier St (the house just south of the original McGonigle's Market structure).

16-0453998-503667 RESOLVED

The zoning code violation case which generated the above-mentioned rezoning, area plan amendment, development plan, and subsequent permits for McGonigle's Market and house just to the south.

PLAN REVIEW

Development plans allow for the City Council to review projects proposing significant development, to determine whether such plans further the purposes of the zoning and development code and other City plans or policies. In 2020, three companion cases (area plan amendment, rezoning, and development plan) were approved to redevelop the Fareway Meat Market site (1307 W 79th St and 7918 – 7924 Mercier St). This redevelopment included the construction of two commercial buildings and a redesigned parking lot.

Major amendments to previously approved development plans are required when specific changes, identified in 88-516-06, are proposed. The proposed project amends a previously approved development plan for increasing the vehicular use area to accommodate larger loading zones by ~24% and total building sizes by 38%.

PLAN ANALYSIS

Commercial Lot and Building (88-110), Use- Specific (88-300), and Development Standards (88-400)

*indicates adjustment/deviation

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-120)	Yes	Yes	See Site Plans
Accessory or Use- Specific Standards (88-305 – 385)	No	-	-
Boulevard and Parkway Standards (88-323)*	Yes	No	See Staff Notes Below
Parkland Dedication (88-408)	No	-	-
Tree Preservation and Protection (88-424)	Yes	Yes	See Site Plans and Condition #6
Parking and Loading Standards (88-420)	Yes	No	See Condition #9
Landscape and Screening Standards (88-425)*	Yes	Yes	See Site Plans and Condition #7
Outdoor Lighting Standards (88-430)	Yes	No	See Condition #9
Sign Standards (88-445)	Yes	-	No detailed sign plan attached. All signage must comply with 88-445.
Pedestrian Standards (88-450)	Yes	Yes	See Site Plans

Boulevard and Parkway Standards (88-323)

If adjacent to and within 150 ft of a parkway, structures shall provide a minimum of 33% transparency on the ground-level façade facing the parkway. 88-810-2165 defines transparency as “windows or doors that allow clear views of indoor spaces. To qualify as transparent, windows or doors shall not be mirrored, darkly tinted, or of any material that obscures visibility between the inside and outside.” Though the applicant is installing windows that meet the 33% spatial requirement, spandrel glazing is being utilized (which does not meet the zoning and development code’s definition of transparent). The applicant has requested a variance to this requirement.

Landscape and Screening Standards (88-425)

The proposed project requires 53 parking spaces, and 57 are being provided. In order to prioritize the number of parking spaces developed for the site, limited interior landscaping within the vehicular use areas was provided. However, for alternative compliance to 88-425-06, the landscaping required within the vehicular use area will be installed around the walk-up window/outdoor eating area at the northwest corner of Building A – phase 1. See Condition #7.

SPECIFIC REVIEW CRITERIA**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;

- Yes, if the variance (currently under review) to the parkway transparency standard is approved, the proposed project would comply with the zoning and development code. AN
- The proposed project has received a low-medium alignment with the area plan and KC Spirit Playbook due to development context and form guideline issues. See the KC Spirit Playbook and Area Plan Checklist for more information. SC

B. The proposed use must be allowed in the district in which it is located;

Food and Beverage Retail Sales and General Retail Sales are permitted uses within the B1-1 zoning district.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

- With access points off of Ward Parkway and Mercier St, the proposed project provides vehicular ingress and egress facilities (and internal circulation) appropriate for the identified uses.
- The access point off of Mercier St is very large, especially considering the access point is adjacent to an established residential neighborhood. The design of the Mercier St access point accommodates the semi-trailer traffic, with the rear wheels using the stamped concrete area (not permeable) when semi-trailers enter/exit the site. Though not ideal, the site’s alternative access points, Ward Parkway or W 79th St, also a busy intersection, are less favorable considering loading traffic.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

- The proposed project provides adequate pedestrian circulation opportunities for the proposed use.

- See Condition #9, the amount and location of bicycle facilities need to be clarified.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The appropriate city divisions/departments responsible for ensuring that public facilities and services are connected/available to serve the development have reviewed the project.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The orientation and architectural features of the proposed project do not match the adjacent properties. However, the proposed project aligns with other high-quality new construction across the city.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

Considering the property is adjacent to an established residential neighborhood, the proposed project needed to provide adequate landscaping, fences, or buffers. The buildings wrap glazing around the structure (when feasible), 6 ft solid fencing, and street trees along Mercier St to help mitigate negative influences from the commercial property.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The proposed major amendment is needed due to the developer's desire to construct larger drives, parking, and loading areas.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

The project complies with 88-424 and 88-425.

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials
4. KC Spirit Alignment (CompassKC)

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **APPROVAL, SUBJECT TO CONDITIONS** as stated in the conditions report.

Respectfully Submitted,

Ahnna Nanoski, AICP
Planning Supervisor



Plan Conditions



Report Date: May 02, 2025

Case Number: CD-CPC-2025-00041

Project: Fareway Meat Market Development Plan

Condition(s) by City Planning and Development Department. Contact Ahnna Nanoski at (816) 513-8816 / Ahnna.Nanoski@kcmo.org with questions.

1. Any fencing installed on the north, south, or west property lines is subject to 88-323-02-D.2.
2. No detailed sign plan was provided. All signage must comply with 88-445. Inspector to verify.
3. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping and street trees required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
4. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy. This condition may be satisfied by an assigned City Planning and Development Building Inspector.
5. (Plans Review Condition) Building plans submittal shall meet the requirements of the Kansas City Building and Rehabilitation Code in effect at the time of submission.
6. The developer shall submit an affidavit, completed by an ISA certified arborist, an SAF certified forester, a professional engineer, or a landscape architect licensed in the State of Missouri, verifying that all trees preserved and all trees planted to meet mitigation required of the approved plan, whichever is applicable, has been installed or preserved in accordance with the plan and is healthy prior to Certificate of Occupancy.
7. Per 88-425-13, alternative compliance from the interior landscaping standards is granted by relocating trees and shrubs, per the approved landscape plan.
8. Trash containers, dumpsters, trash compactors, and recycling bins associated with both project phases shall comply with 88-425-08, details identified in building plans/permits.
9. The following corrections shall be resolved prior to the ordinance request.
 1. Update the parking table. Required bicycle parking spaces (total short-term and long-term) = 8. 4/24 Note: Is the development team requesting alternative compliance for two bicycle parking spaces? If so, plant 2 bushes native to Missouri on the site. Make a note of the alternative compliance request and how it is being satisfied on the bicycle parking and landscaping table.
 2. Identify the location and design of the bicycle parking per 88-420-09. 4/24: Correction unresolved (or staff needs assistance identifying the correct plan sheet).
 3. The outdoor lighting plan needs to be updated. Expand the photometric plan to cover the entire site and the spillover onto the right-of-way and/or adjacent residentially zoned property. Per 88-430-05-C, spillover light may not exceed 0.186 foot-candle onto R-zoned property or 1.0 foot-candle onto public rights-of-way measured at grade along the property line. Do not count city street lights in the proposed project's analysis. If a variance is being requested, submit a statement of practical difficulty. 4/24 Note: There is a very small portion of the eastern parking lot/curb cut that exceeds the spillover maximum. Does the development team want to revise plans or request a small variance?

Condition(s) by City Planning and Development Department. Contact Matthew Barnes at (816) 513-8817 / matthew.barnes@kcmo.org with questions.

10. That prior to issuance of any certificate of occupancy, the applicant submit and gain approval of a Final Plat in accordance with the Preliminary Plat.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

11. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

12. • Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
 - Fire hydrant distribution shall follow IFC-2018 Table C102.1
13. • The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
14. • A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3) (No Grass Pavers Allowed)
15. • Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
16. • Required fire department access roads shall be designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
17. • The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)

Condition(s) by Parks & Recreation. Contact Richard Sanchez at (816) 513-7678 / richard.sanchez@kcmo.org with questions.

18. Ward Parkway is classified as a Parkway; therefore, any new developments, façade changes, or additions as listed in the applicability section of 88-232-01-A, the property owner shall comply with the Parkway and Boulevard Standards or obtain a variance from the Board of Zoning Adjustments prior to obtaining a building permit.
19. Prior to construction adjacent to a Parks and Recreation jurisdictional street and/or park the developer and/or their representative shall obtain a Parks and Recreation permit for storage and restoration within a park or a Parks and Recreation jurisdictional street right-of-way including but not limited to the installation of construction trailer, stockpiling of materials or equipment, construction roads and utility cabinets/meters.
20. The developer shall submit plans to Parks & Recreation Department and obtain permits prior to beginning construction of streetscape improvements (including but not limited to sidewalks, curbs, gutters, streetscape elements, pedestrian and street lighting) on the Parks jurisdictional streets and construct improvements, ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired. Such improvements shall be installed per Parks & Recreation Department Standards
21. The developer shall submit a letter to the Parks and Recreation Department from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, stating the condition of the sidewalks, curbs, and gutters along boulevard/parkway, which is a Parks and Recreation jurisdictional street. The letter shall identify state of repair as defined in Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters. It shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages, as required by the Parks and Recreation Department, prior to recording the plat/issuance of any certificate of occupancy permits including temporary certificate occupancy permits.

Condition(s) by Parks & Recreation. Contact Virginia Tharpe at / virginia.tharpe@kcmo.org with questions.

22. The developer shall be responsible for tree preservation in an easement or platted tract, mitigation planting, or payment of cash-in-lieu of preservation or mitigation planting, or any combination thereof in accordance with 88-424. Should the developer choose to pay cash-in-lieu of preservation or mitigation of all or a portion of the required area, the amount due shall be based upon the rate specified in 88-424. This requirement shall be satisfied prior to issuance of certificate of occupancy, or prior to the recording of the final plat, whichever occurs first.

Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

23. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
24. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.

Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.

25. The developer shall integrate into the existing street light system any relocated existing street lights within the street right-of-way impacted by the new drive or approach entrances as required by the Land Development Division, and the relocated lights must comply with all adopted lighting standards.
26. After the City Plan Commission enters its disposition for the development plan, the developer shall not enter into any agreement that would encumber or otherwise have any impact on the proposed right-of-way dedications for the planned project without the prior written consent of the Land Development Division.
27. The developer shall submit plans to the Land Development Division and obtain permits to construct sidewalks along the platted frontage of Ward Parkway, W 79th Street and Mercier Street. In addition the developer shall construct associated ADA ramps at the proposed entrance drives as necessary for the type of drive approach.
28. The developer must subordinate to the City all private interest in the area of any right-of-way dedication, in accordance with Chapter 88 and as required by the Land Development Division, prior to issuance of any construction permits within said right-of-way, and that the owner/developer shall be responsible for all costs associated with subordination activities now and in the future.
29. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

30. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact - Patrick Lewis (816) 513-0423
North of River contact - David Gilyard (816) 513-4772
31. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to issuance of Certificate of Occupancy. <https://www.kcwater.us/projects/rulesandregulations/>
32. Abandonment of services shall be performed under a Kill or a Disconnect Permit in the following manner:
 - (a) On tap service connections, the corporation stop shall be uncovered, the corporation stop turned off, the service line disconnected, and the threads cut off of the corporation. All curb boxes, meter tiles and backflow preventer vaults whether on public or private property, shall have all rings, covers, and lids removed, wall casings removed or broken down to a minimum of one foot below grade. The backflow vault shall be backfilled with sand, clean fill or an approved material.
 - (b) On branch service connections, the abandonment shall be performed in a manner specified by KC Water. Service lines shall be exposed at the main and KC Water called for an inspection. At this point the KC Water will advise either how to kill, or take over the kill. Normally the Licensed Master Plumber will be required to remove any tee or tap and associated valves and install a section of ductile iron pipe and solid sleeves in accordance with the Standards and Specifications for Water Main Extensions as published by KC Water.

Condition(s) by Water Services Department. Contact Philip Taylor at / philip.taylor@kcmo.org with questions.

33. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations, by making application under said code for a Minor Subdivision and submitting and recording a Lot Consolidation Plat or replatting the property in accordance therewith.
34. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to KC Water showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to KC Water for review and acceptance for the disturbed area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by KC Water.

Condition(s) by Water Services Department. Contact Philip Taylor at /philip.taylor@kcmo.org with questions.

35. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
36. The owner/developer must submit plans for grading, siltation, and erosion control to KC Water for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
37. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by KC Water prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
38. The developer must secure permits to connect to public storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by KC Water, prior to recording the plat or issuance of a building permit whichever occurs first.
39. The developer must grant a BMP Easement to the City as required by KC Water, prior to recording the plat or issuance of any building permits.
40. The developer must enter into a covenant agreement for the maintenance of any stormwater detention area tracts as required by KC Water, prior to recording the plat. Storm detention areas that serve more than one lot must be platted in a separate detention tract.
41. The developer shall provide private storm drainage easements for any private mains prior to issuance of any building permits.
42. The developer shall provide Covenants to Maintain Private Storm Sewer Mains acceptable to KC Water for any private storm sewer mains prior to the issuance of any building permits.

SITE DEVELOPMENT PLANS

FOR

FAREWAY MEAT MARKET

ADDRESS: 1307 W. 79TH STREET

IN THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI

UTILITY COMPANIES:

SPIRE ENERGY (816) 472-3434
BEVERLY PASSANTINO
7500 E. 35TH TERRACE
KANSAS CITY, MO. 64129
EMAIL: beverly.passantino@spireenergy.com

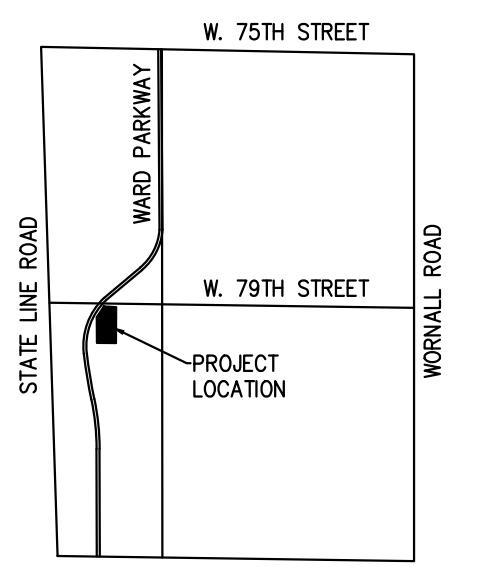
EVERGY (816) 420-4721
MELISSA FELTES
8325 N. PLATTE PURCHASE DRIVE
KANSAS CITY, MO. 64118
E-MAIL: Melissa.Feltes@kcpl.com

AT&T (816) 734-8700
JILL SCHROEDER
9556 N. MCGEE COURT
KANSAS CITY, MO 64155
EMAIL: jb0311@att.com

CITY OF KANSAS CITY (816) 513-2627
PUBLIC WORKS DEPARTMENT
414 E. 12TH STREET
KANSAS CITY, MO. 64106

CITY OF KANSAS CITY (GENERAL NUMBER) (816) 513-1313
CARLA HASKINS (WATER) (816) 513-2133
EMAIL: carla.haskins@kcmo.org
LUCAS KASPAR (WATER SERVICES) (816) 513-2131
EMAIL: lucas.kaspar@kcmo.org
414 E. 12TH STREET
KANSAS CITY, MO. 64130

TIME WARNER CABLE (816) 358-8833
15 NW BARRY ROAD
KANSAS CITY, MO. 64155



VICINITY MAP
FRAC. SEC. 18-48-33

811
Know what's below.
Call before you dig.



BENCHMARK:

VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING SMARTNET GPS NETWORK
1. SET "+" PLUS CUT IN SE COR. CURB INLET LOCATED ON THE EAST SIDE OF WARD PARKWAY
NEAR PROJECT MIDPOINT.
ELEVATION = 935.74

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR KANSAS CITY, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0376G, AND DATED JANUARY 20, 2017.

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GastingerWalker &

Construction Managers
Interior Designers
Architects
617 Wyandotte Kansas City Missouri 64105
816.421.8200 gastingerwalker.com

PHELPS ENGINEERING, INC.
1270 N. WINCHESTER
OLATHE, KS 66061
(913) 393-1155
Fax: (913) 393-1046
www.phelpseengineering.com

PLANNING
IMPLEMENTATION
PROJECT NO. 21062

Fareway Meat Market

1307 W 79th Street
Kansas City, MO 64114

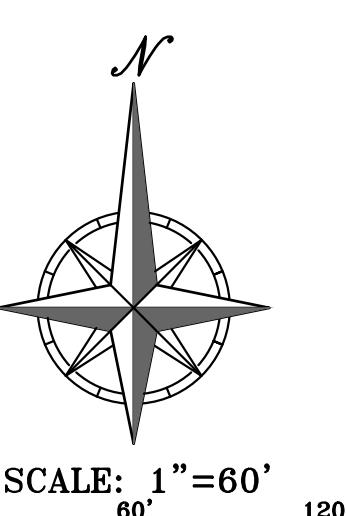
Fareway Stores, Inc.
2300 Industrial Park Road
Boone, IA 50036
515.432.2623

ISSUED FOR:
KCMO Final Plan Submittal 14 Mar 2025
KCMO Final Plan Resubmittal 21 April 2025

Missouri Certificate of Authority #ARC00344

LEGEND
— PL — PROPERTY LINE
— LL — LOT LINE
— R/W — RIGHT-OF-WAY

— PL — PROPERTY LINE
— LL — LOT LINE
— R/W — RIGHT-OF-WAY



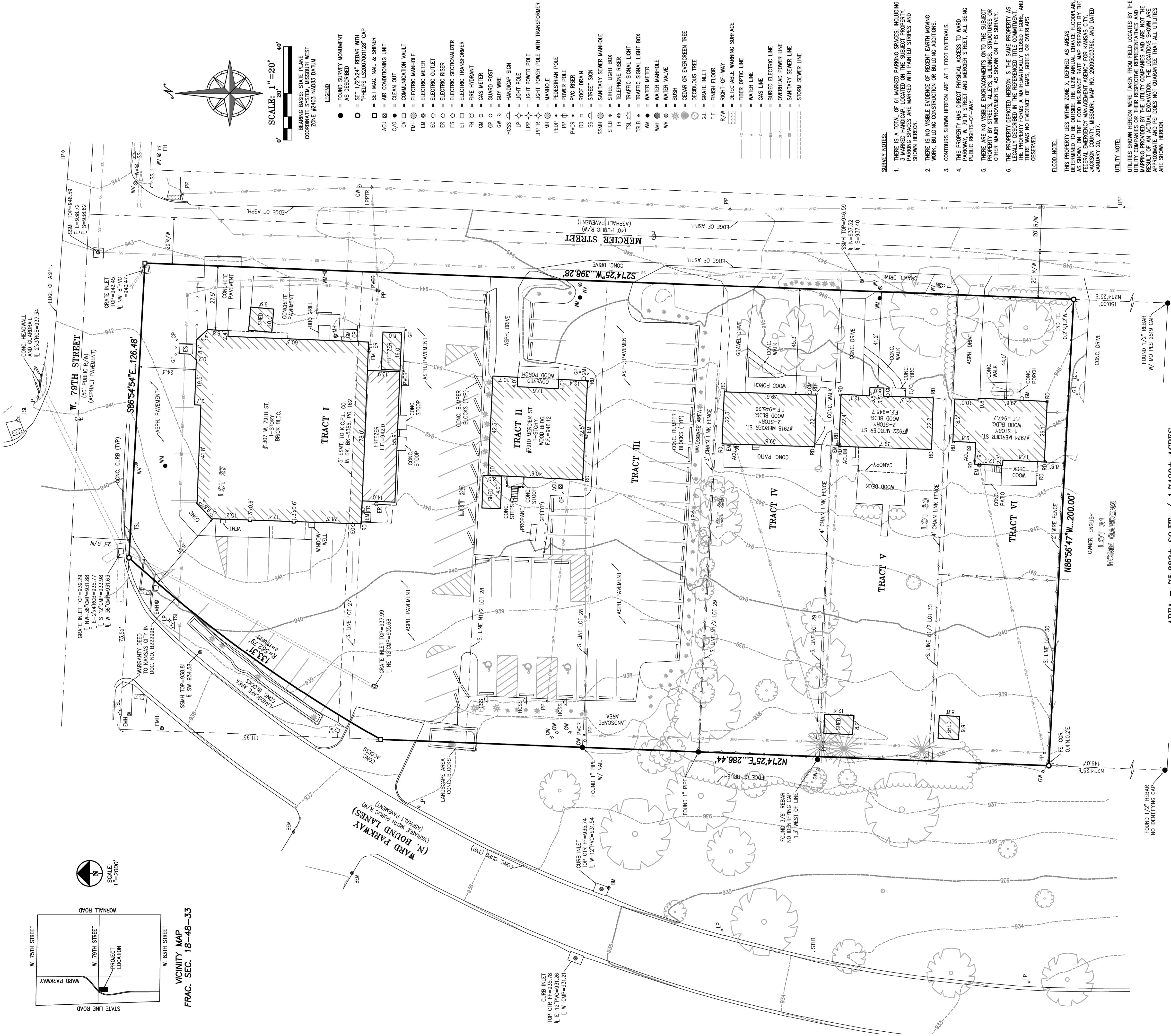
PEI # 241029

Drawn By
Checked By
COVER

C000

Project Number: 2024.254
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
DEMOLITION NOTES:																							
<p>1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPAKTED FILL MATERIAL.</p> <p>2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.</p> <p>3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.</p> <p>4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.</p> <p>5. REFER TO THE BUILDING PLANS FOR SITE LIGHTING ELECTRICAL MODIFICATIONS (IF ANY) TO THE EXISTING SYSTEM.</p>																							
SITE PLAN NOTES:																							
<p>1. All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference:</p> <ul style="list-style-type: none"> A) City Ordinances & O.S.H.A. Regulations. B) The City of Kansas City, Missouri Technical Specifications and Municipal Code. C) APWA Standard Specifications and Design Criteria, latest edition. D) Project Specific Specifications. <p>2. The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications of the job site at all times.</p> <p>3. The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid.</p> <p>4. The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.</p> <p>5. The demolition and removal/relocation of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed of the project site. The contractor shall be responsible for all transportation, personnel for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.</p> <p>6. Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.</p> <p>7. All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.</p> <p>8. The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.</p> <p>9. The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.</p> <p>10. SAFETY NOTICE TO CONTRACTOR: In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.</p> <p>11. WARRANTY/Disclaimer: The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. However, neither the Engineer nor his personnel can or warrant these designs or plans as constructed except in the specific cases where the Engineer observes the physical construction on a continual basis of the site.</p> <p>12. No work is to be allowed within the public right-of-way or easements without a right of way permit.</p> <p>13. All paving construction and earthwork grading/compaction shall conform to the requirements of the geotechnical engineering report prepared for this project.</p> <p>14. Within forty-eight hours prior to any asphalt or concrete paving, the subgrade shall be proof rolled with a fully loaded tandem wheel dump truck and observed by the on-site geotechnical engineer. Areas of the subgrade with excessive rutting or pumping shall be re-worked or removed in accordance with the project specifications. Flyash or granular material may be added by the contractor to stabilize the subgrade. See project specifications.</p> <p>15. All curb shall be sloped for positive drainage. Contractor shall use "dry curb and gutter" as needed in localized paved areas that drain away from the curb and gutter. See paving details.</p> <p>16. The Contractor is responsible for the protection all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.</p> <p>17. The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, etc. Damaged improvements shall be repaired in conformance with the latest city standards and to the City's satisfaction.</p> <p>18. The contractor is responsible for providing berms, silt fences, straw bales, or other means to prevent eroded materials from reaching the public right-of-way and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt or mud and restore the right-of-way or adjacent property to original or better condition.</p> <p>19. All disturbed areas are to receive topsoil, sod and water until a healthy stand of grass is established. See the landscaping plans for requirements. Re-seeding shall be required (see project specifications).</p> <p>20. The contractor shall sod all disturbed areas within the public street right-of-way.</p> <p>21. Contractor shall refer to the architectural building plans for exact locations and dimensions of vestibules, slope paving, sidewalks, exit porches, truck docks, precise building dimensions and exact building entrance locations. All dimensions are to outside wall of building(s).</p> <p>22. Refer to building plans for site lighting electrical plan.</p> <p>23. Contractor to remove existing trees and vegetation, as necessary, for site construction unless specifically noted to remain.</p> <p>24. Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.</p>																							
SITE DIMENSION NOTES:																							
<p>1. BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.</p> <p>2. ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.</p>																							
PAVEMENT MARKING AND SIGNAGE NOTES:																							
<p>1. PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.</p> <p>2. HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.</p> <p>3. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".</p> <p>4. STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.</p> <p>5. TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-29Y2 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.</p>																							
SITE GRADING NOTES:																							
<p>1. CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finished grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.</p> <p>2. If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.</p> <p>3. CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all trees under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.</p> <p>4. TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site or directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and ITL.</p> <p>5. Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.</p> <p>6. SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be profiled and approved under the direction of the Geotechnical Engineer or his representative.</p> <p>7. PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving should be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.</p> <p>8. EARTHWORK:</p> <ul style="list-style-type: none"> A) GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications. B) SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill. C) FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five, feet building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation. D) BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper section of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements. E) EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benching providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer. F) COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be in a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be monitored within this range until completion of the work. When compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers. G) SLOPES: All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement. H) TESTING AND INSPECTION: Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility. I) CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation. J) PERMANENT RESTORATION: All areas disturbed by earthwork operations shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan. K) UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans. L) LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P. requirements. 																							
UTILITY NOTES:																							
<p>1. The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.</p> <p>2. The construction of storm sewers on this project shall conform to the requirements of the City of Kansas City, Missouri's Technical Specifications and Design Criteria.</p> <p>3. The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation of locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is given by the design engineer.</p> <p>4. It will be the contractors responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making field adjustments to the manholes and boxes.</p> <p>5. Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for horizontal pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the actual location of the pipes to match the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines of 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.</p> <p>6. The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other incidentals required for a complete operable fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of the City of Kansas City, Missouri.</p> <p>7. The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City of Kansas City, Missouri.</p> <p>8. The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, the City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work.</p> <p>9. By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.</p> <p>10. The Contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical, power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduit, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility lines.</p> <p>11. All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities shall be placed in trench conditions.</p> <p>12. Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.</p> <p>13. Branch service lines 2" and smaller shall conform to the latest federal specifications for Type K flexible copper tubing up to the water line. Five feet after the meter to the building high density polyethylene (HDPE) pipe may be installed on service lines up to two inches. The HDPE piping shall be SDR 9 and meet AWWA C901 and copper tube size (CTS) standards. Building grounding must meet current building codes.</p> <p>14. Branch service lines larger than 2" shall be ductile iron pipe, and in accordance with the water department's standards and specifications for water main extensions.</p> <p>15. Water mains and service lines shall have a cover of not less than 4 feet nor more than 5 feet unless obstructions require deeper excavation for clearance.</p> <p>16. Minimum trench width shall be 2 feet.</p> <p>17. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to the City of Kansas City, Missouri's specifications for commercial services.</p> <p>18. All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, an 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.</p> <p>19. Sanitary conflicts will be resolved prior to permit issuance.</p> <p>20. All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.</p> <p>21. All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to enclosed building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.</p> <p>22. Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.</p> <p>23. When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark off such site utility terminations.</p> <p>24. Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.</p>																							



DESCRIPTION:

PARCEL MAP.

NOTE: THIS SURVEYOR WAS NOT FURNISHED A ZONING REPORT OR LETTER FOR THIS PROPERTY.

BENCHMARK: VERTICAL DAUM = NAD88 BASED ON GPS
OBSERVATION USING SMARTNET GPS NETWORK

1. SET "+" PLUS CUT IN SE COR. CURB INLET LOCATED ON THE
EAST SIDE OF WARD PARKWAY NEAR PROJECT MIDPOINT.

ELEVATION = 935.74

VISION TO THE BEST OF MY PROFESSIONAL INFORMATION KNOWLEDGE

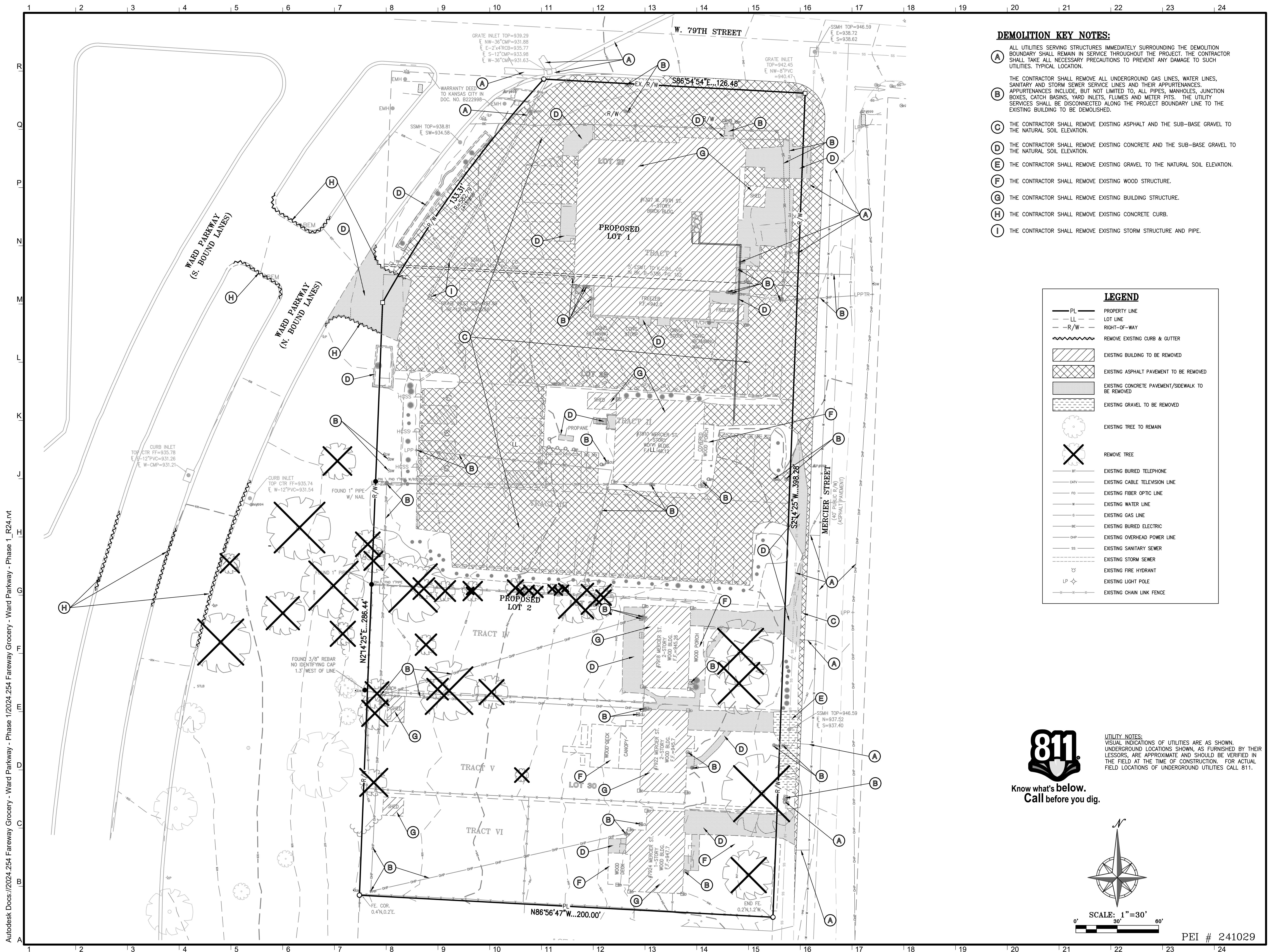
CERTIFICATE OF SURVEY

HOME GARDENS, LOTS 27 THRU 31
JACKSON COUNTY, KAN
ADDRESS: 1307 W. 79TH STREET

PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166
www.phelpsengineering.com
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The logo for DEI (Diversity, Equity, and Inclusion) is displayed. It consists of the letters 'DEI' in a bold, black, sans-serif font. The letters are slightly overlapping, with 'D' on the left, 'E' in the center, and 'I' on the right. The 'E' is notably taller than the 'D' and 'I'.

SHEET
C002



GastingerWalker &

Architects | Interior Designers | Construction Managers
617 Wyandotte Kansas City Missouri 64105 816.421.8200 gastingerwalker.com

Fareway Meat Market

1307 W 79th Street
Kansas City, MO 64114

Fareway Stores, Inc.
2300 Industrial Park Road
Boone, IA 50036
515.432.2623

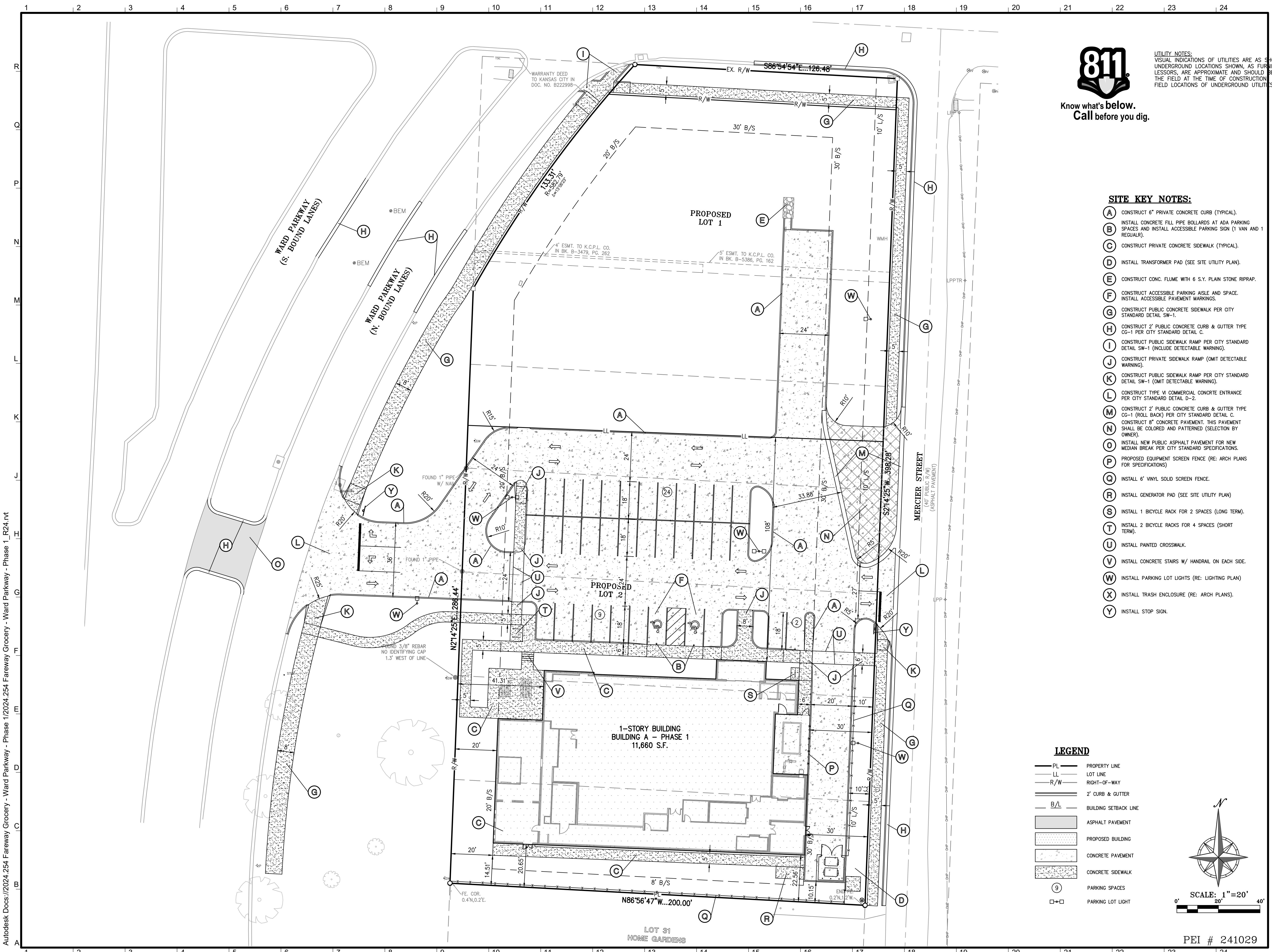
ISSUED FOR:
KCMO Final Plan Submittal 14 Mar 2025
KCMO Final Plan Resubmittal 21 April 2025

Missouri Certificate of Authority #ARC00344

Drawn By
Checked By
TA AM

GENERAL NOTES

C003



**Know what's below.
Call before you dig.**

NOTES:
ACTUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR
CONTRACTORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL
LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

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817 Wyandotte Kansas City Missouri 64105 816.421.8200 gastingerwalker.com

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SITE KEY NOTES:

- A** CONSTRUCT 6" PRIVATE CONCRETE CURB (TYPICAL).
- B** INSTALL CONCRETE FILL PIPE BOLLARDS AT ADA PARKING SPACES AND INSTALL ACCESSIBLE PARKING SIGN (1 VAN AND 1 REGUALR).
- C** CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- D** INSTALL TRANSFORMER PAD (SEE SITE UTILITY PLAN).
- E** CONSTRUCT CONC. FLUME WITH 6 S.Y. PLAIN STONE RIPRAP.
- F** CONSTRUCT ACCESSIBLE PARKING AISLE AND SPACE. INSTALL ACCESSIBLE PAVEMENT MARKINGS.
- G** CONSTRUCT PUBLIC CONCRETE SIDEWALK PER CITY STANDARD DETAIL SW-1.
- H** CONSTRUCT 2' PUBLIC CONCRETE CURB & GUTTER TYPE CG-1 PER CITY STANDARD DETAIL C.
- I** CONSTRUCT PUBLIC SIDEWALK RAMP PER CITY STANDARD DETAIL SW-1 (INCLUDE DETECTABLE WARNING).
- J** CONSTRUCT PRIVATE SIDEWALK RAMP (OMIT DETECTABLE WARNING).
- K** CONSTRUCT PUBLIC SIDEWALK RAMP PER CITY STANDARD DETAIL SW-1 (OMIT DETECTABLE WARNING).
- L** CONSTRUCT TYPE VI COMMERCIAL CONCRTE ENTRANCE PER CITY STANDARD DETAIL D-2.
- M** CONSTRUCT 2' PUBLIC CONCRETE CURB & GUTTER TYPE CG-1 (ROLL BACK) PER CITY STANDARD DETAIL C.
- N** CONSTRUCT 8" CONCRETE PAVEMENT. THIS PAVEMENT SHALL BE COLORED AND PATTERNED (SELECTION BY OWNER).
- O** INSTALL NEW PUBLIC ASPHALT PAVEMENT FOR NEW MEDIAN BREAK PER CITY STANDARD SPECIFICATIONS.
- P** PROPOSED EQUIPMENT SCREEN FENCE (RE: ARCH PLANS FOR SPECIFICATIONS)
- Q** INSTALL 6' VINYL SOLID SCREEN FENCE.
- R** INSTALL GENERATOR PAD (SEE SITE UTILITY PLAN)
- S** INSTALL 1 BICYCLE RACK FOR 2 SPACES (LONG TERM).
- T** INSTALL 2 BICYCLE RACKS FOR 4 SPACES (SHORT TERM).
- U** INSTALL PAINTED CROSSWALK.
- V** INSTALL CONCRETE STAIRS W/ HANDRAIL ON EACH SIDE.
- W** INSTALL PARKING LOT LIGHTS (RE: LIGHTING PLAN)
- X** INSTALL TRASH ENCLOSURE (RE: ARCH PLANS).
- Y** INSTALL STOP SIGN

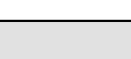
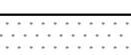
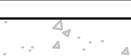
Fareway Meat Market

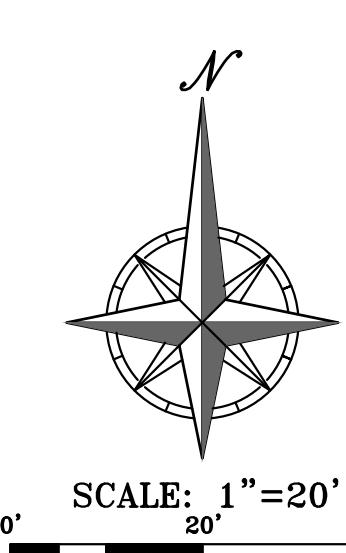
1307 W 79th Street
Kansas City, MO 64114

Fareway Stores, Inc

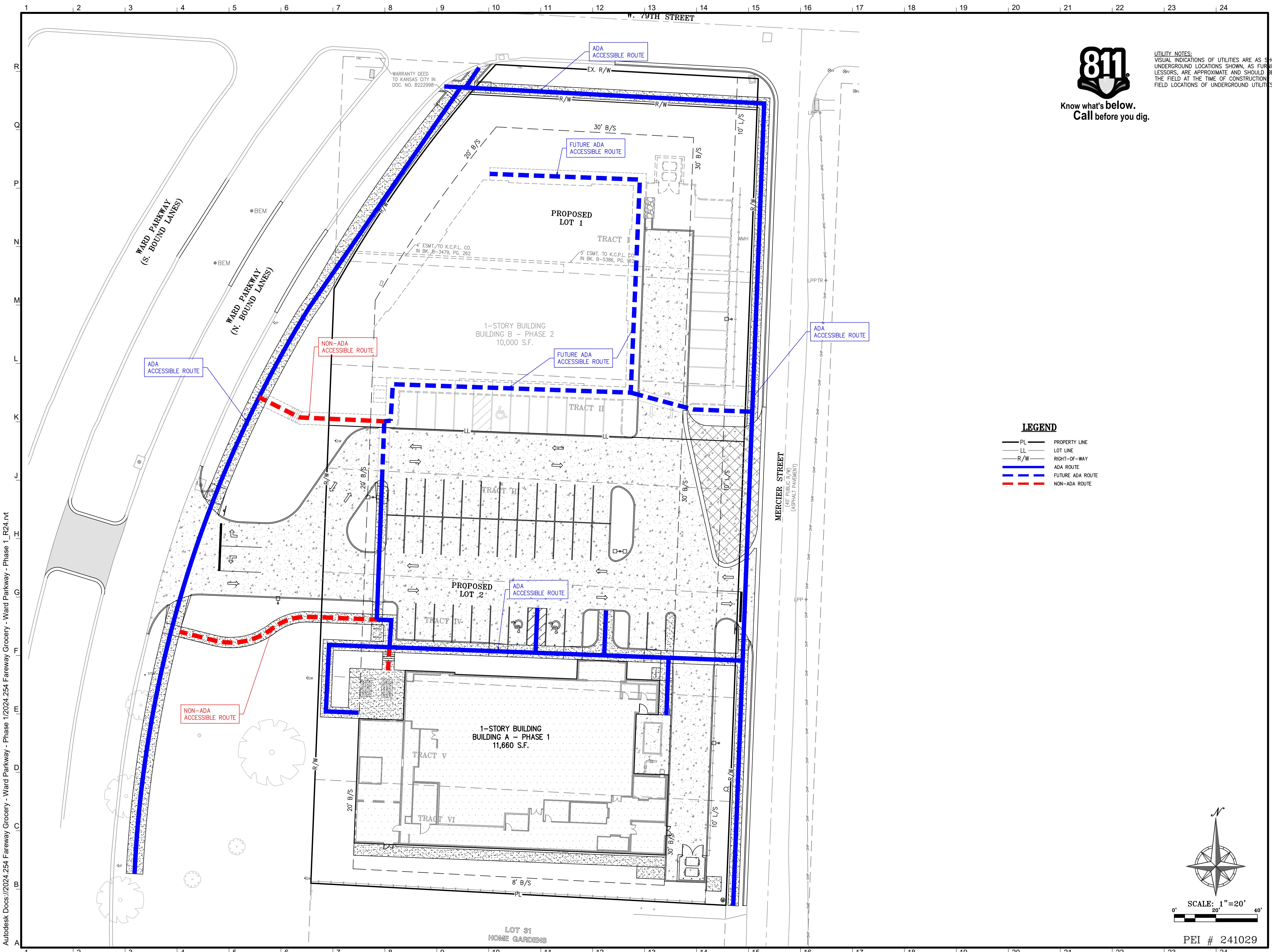
ISSUED FOR:

LEGEND

<u>LEGEND</u>	
— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
=====	2' CURB & GUTTER
— B/L —	BUILDING SETBACK LINE
	ASPHALT PAVEMENT
	PROPOSED BUILDING
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK
(9)	PARKING SPACES
	PARKING LOT LIGHT



PEI # 241029



**Know what's below.
Call before you dig.**

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN
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GastingerWalker &

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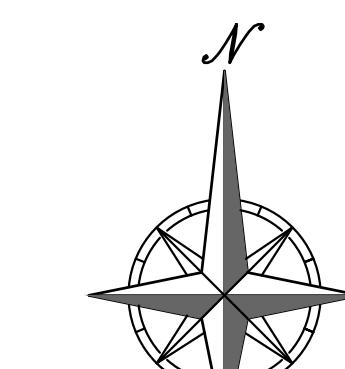
PROJECT NO. 210662

Fareway Meat Market

1307 W 79th Street
Kansas City, MO 64114

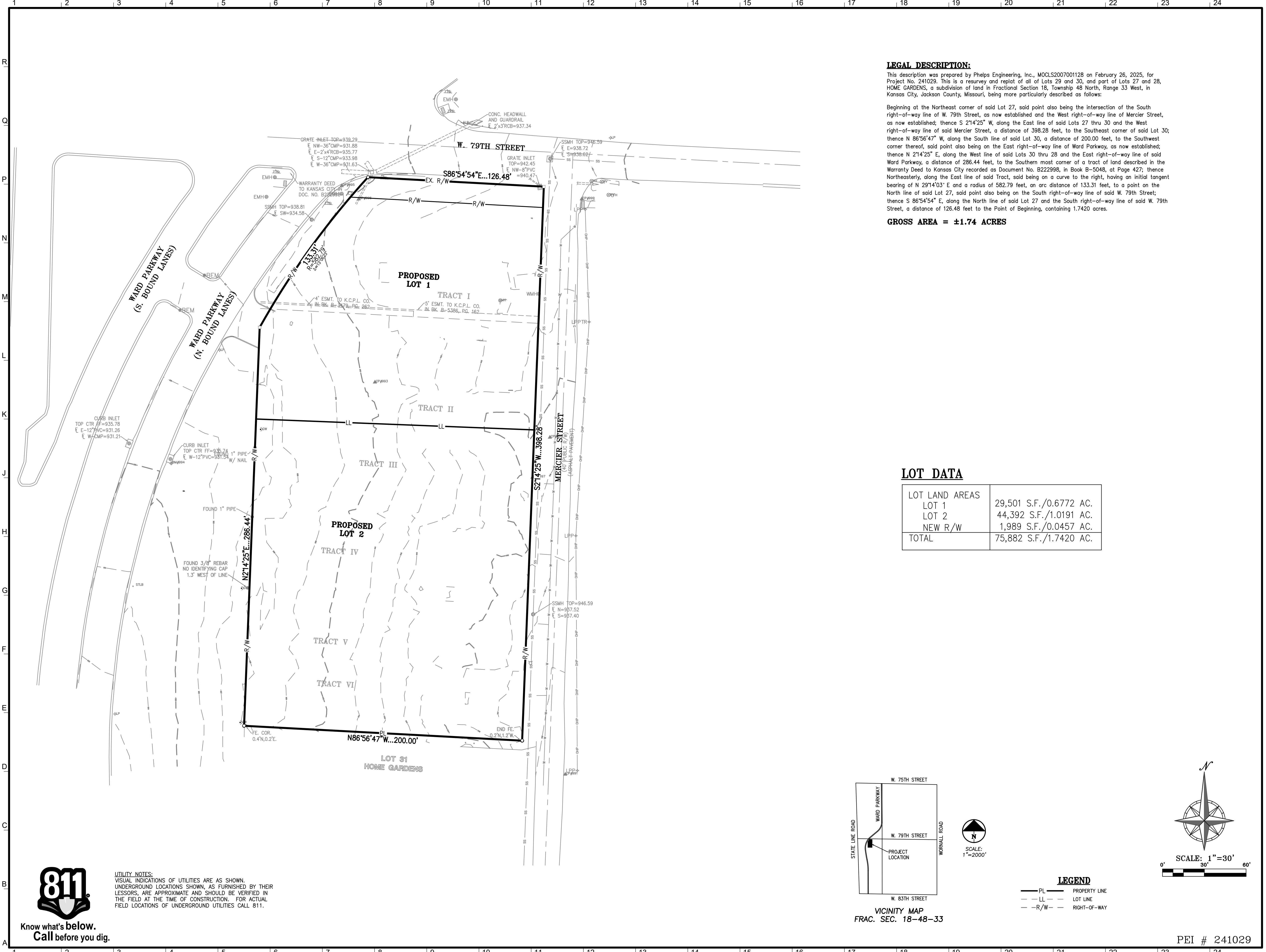
Fareway Stores, Inc
2300 Industrial Park Road
Boone, IA 50036
515.432.2623

ISSUED FOR:



SCALE: 1"=20'
0' 20' 40'
A horizontal scale bar consisting of a thick black line with a white center. The text '0'' is at the left end, '20'' is in the middle, and '40'' is at the right end.

C102



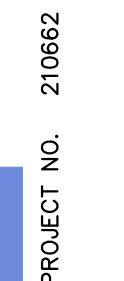
Know what's below.
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UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN AS FURNISHED BY THEIR
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Fareway Meat Market

1307 W 79th Street
Kansas City, MO 64114

Fareway Stores, Inc.
2300 Industrial Park Road
Boone, IA 50036
515.432.2623

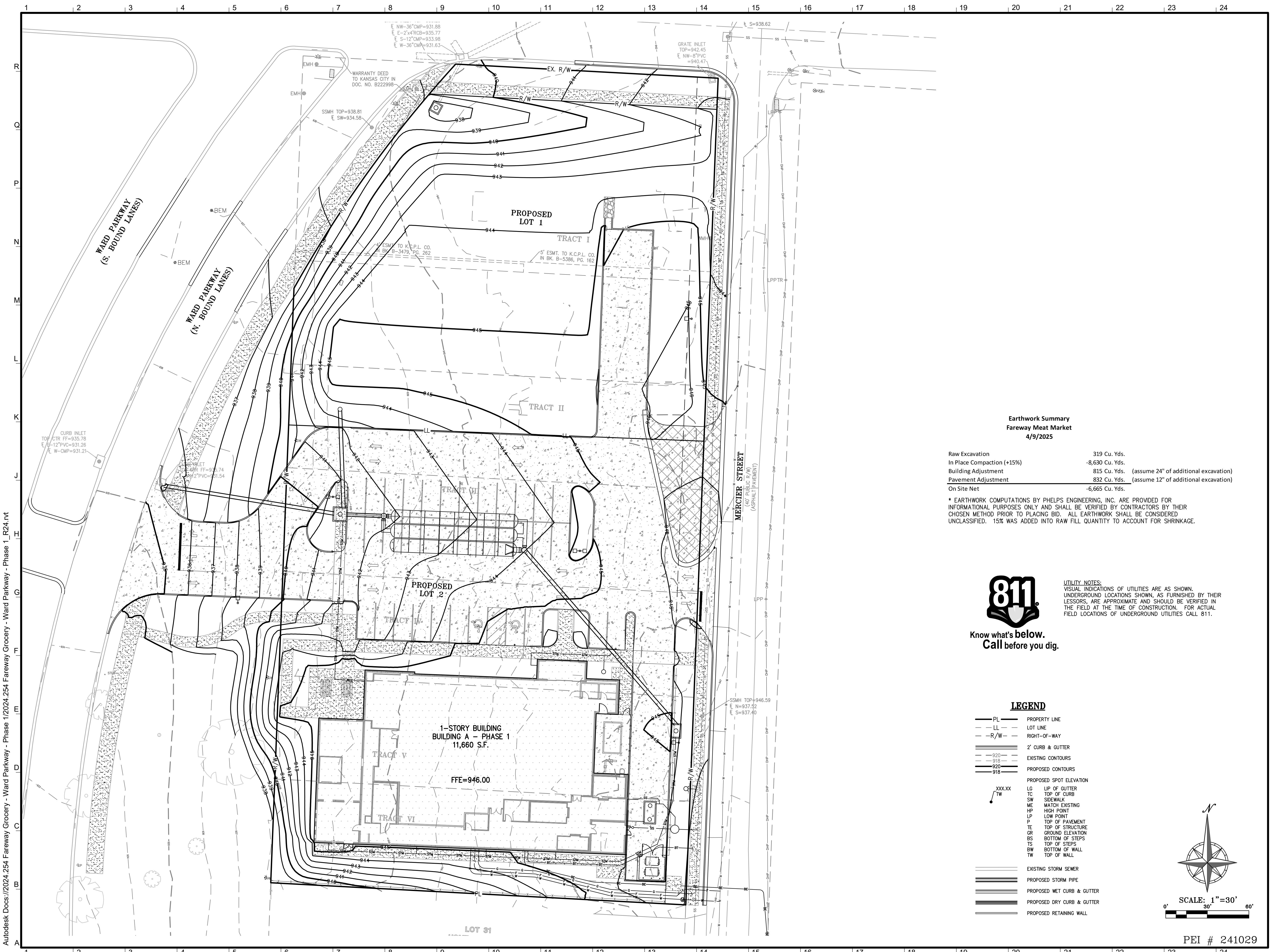
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Earthwork Summary

Fareway Meat Market

4/9/2025

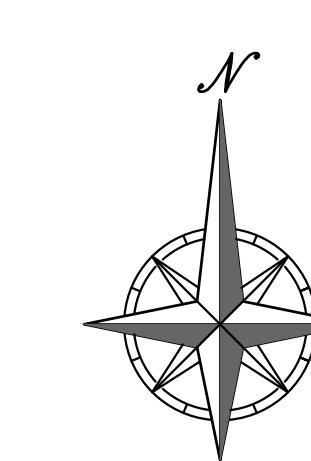
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ISSUED FOR:

LEGEND

— PL —	PROPERTY LINE
— — LL — —	LOT LINE
— — R/W — —	RIGHT-OF-WAY
=====	2' CURB & GUTTER
— — 920 — —	EXISTING CONTOURS
— — 918 — —	
=====	PROPOSED CONTOURS
=====	PROPOSED SPOT ELEVATION
XXX.XX	
TW	
	LG LIP OF GUTTER
	TC TOP OF CURB
	SW SIDEWALK
	ME MATCH EXISTING
	HP HIGH POINT
	LP LOW POINT
	P TOP OF PAVEMENT
	TE TOP OF STRUCTURE
	GR GROUND ELEVATION
	BS BOTTOM OF STEPS
	TS TOP OF STEPS
	BW BOTTOM OF WALL
	TW TOP OF WALL
=====	EXISTING STORM SEWER
=====	PROPOSED STORM PIPE
=====	PROPOSED WET CURB & GUTTER
=====	PROPOSED DRY CURB & GUTTER
=====	PROPOSED RETAINING WALL



SCALE: 1"=30'
0' 30' 60'

GENERAL NOTES

C200



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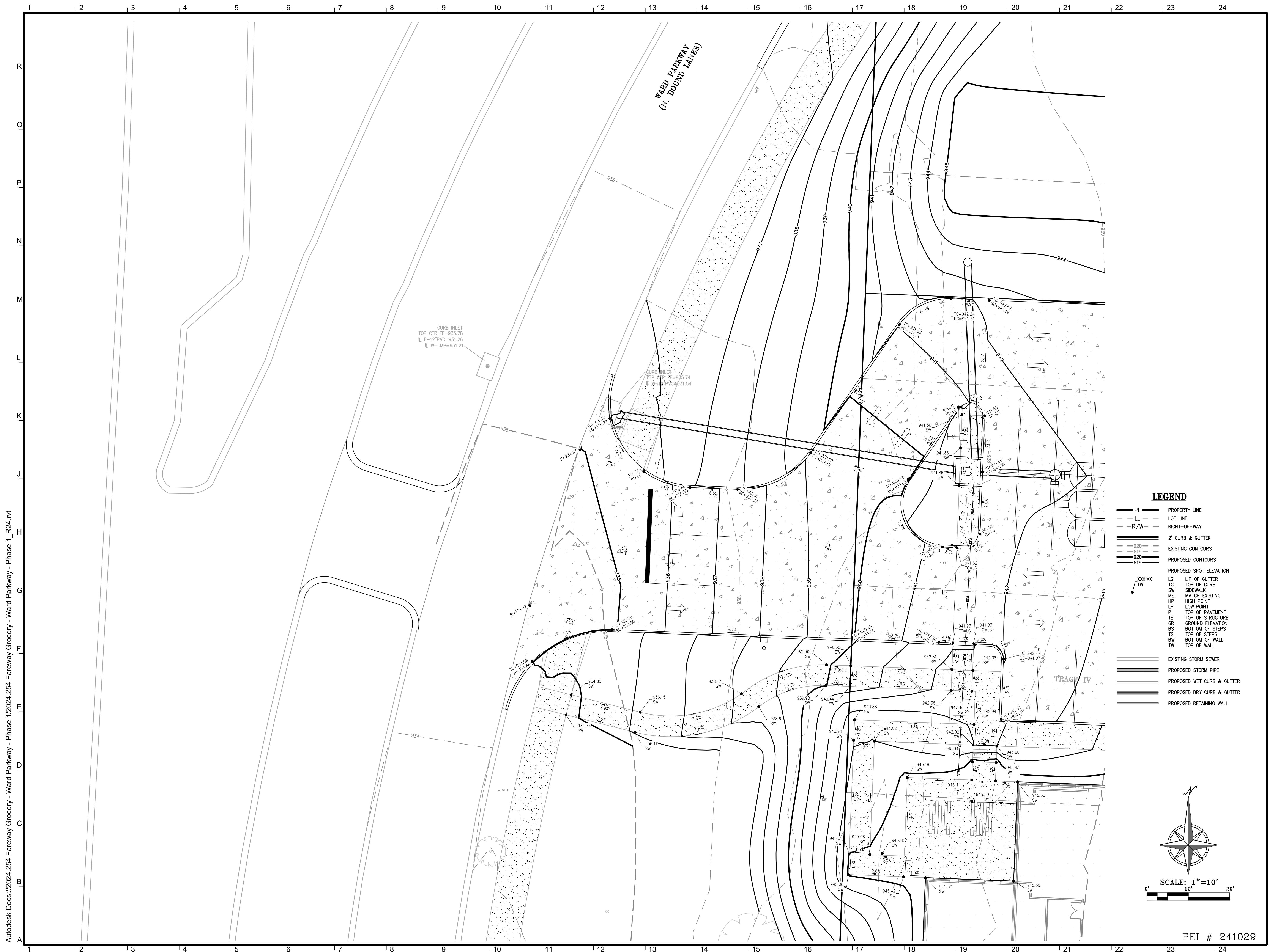
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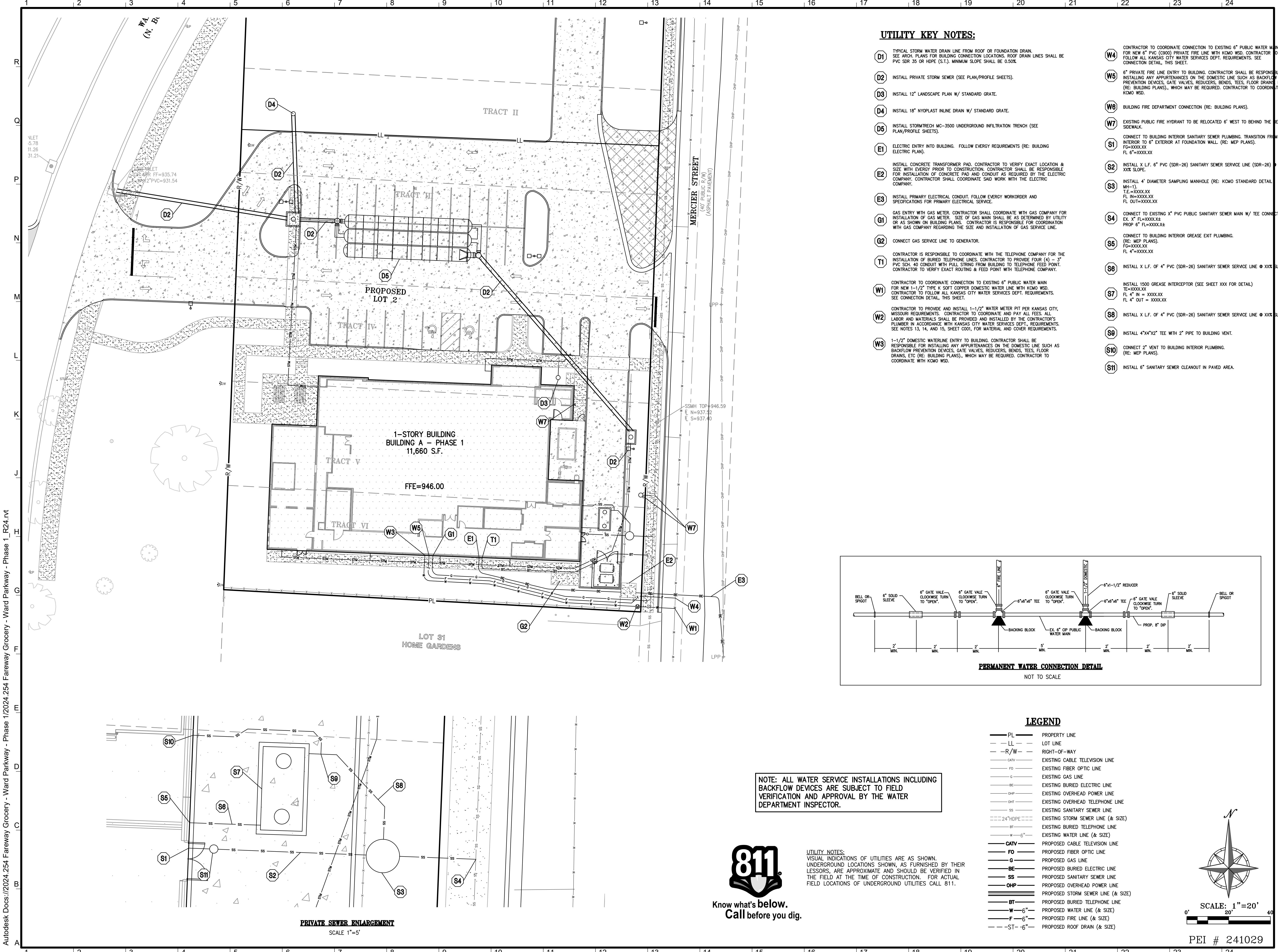
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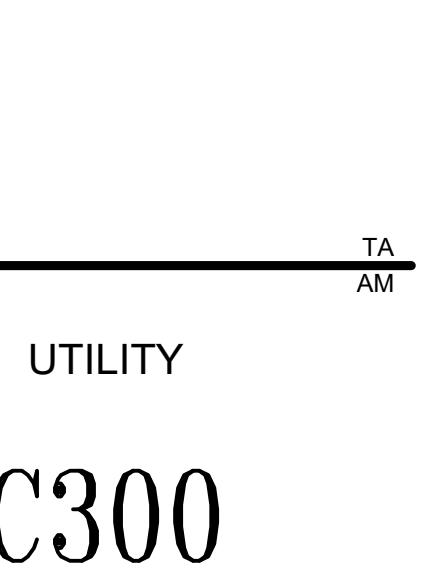
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areway Stores, Inc
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Boone, IA 50036
515 432 2623

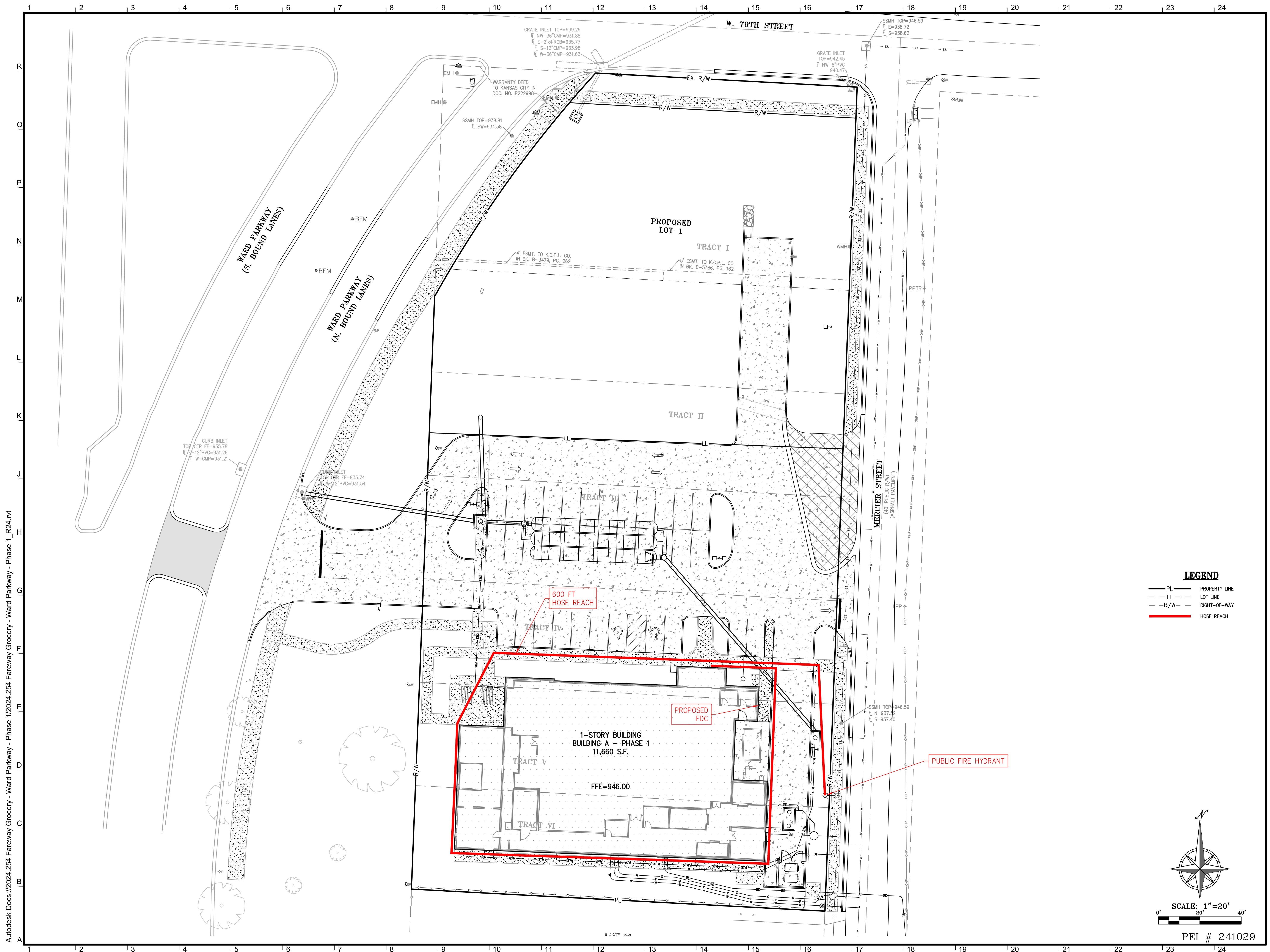
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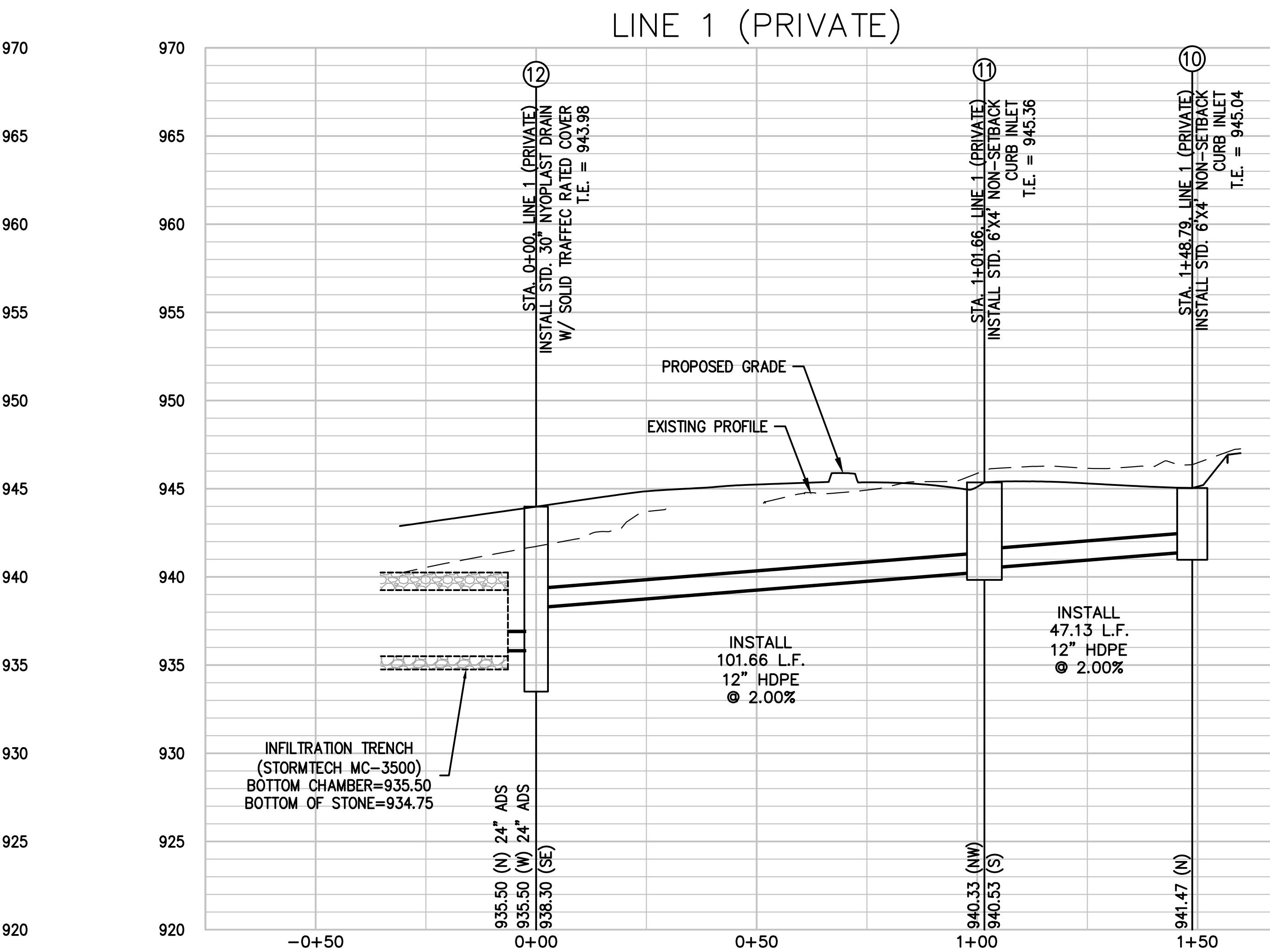
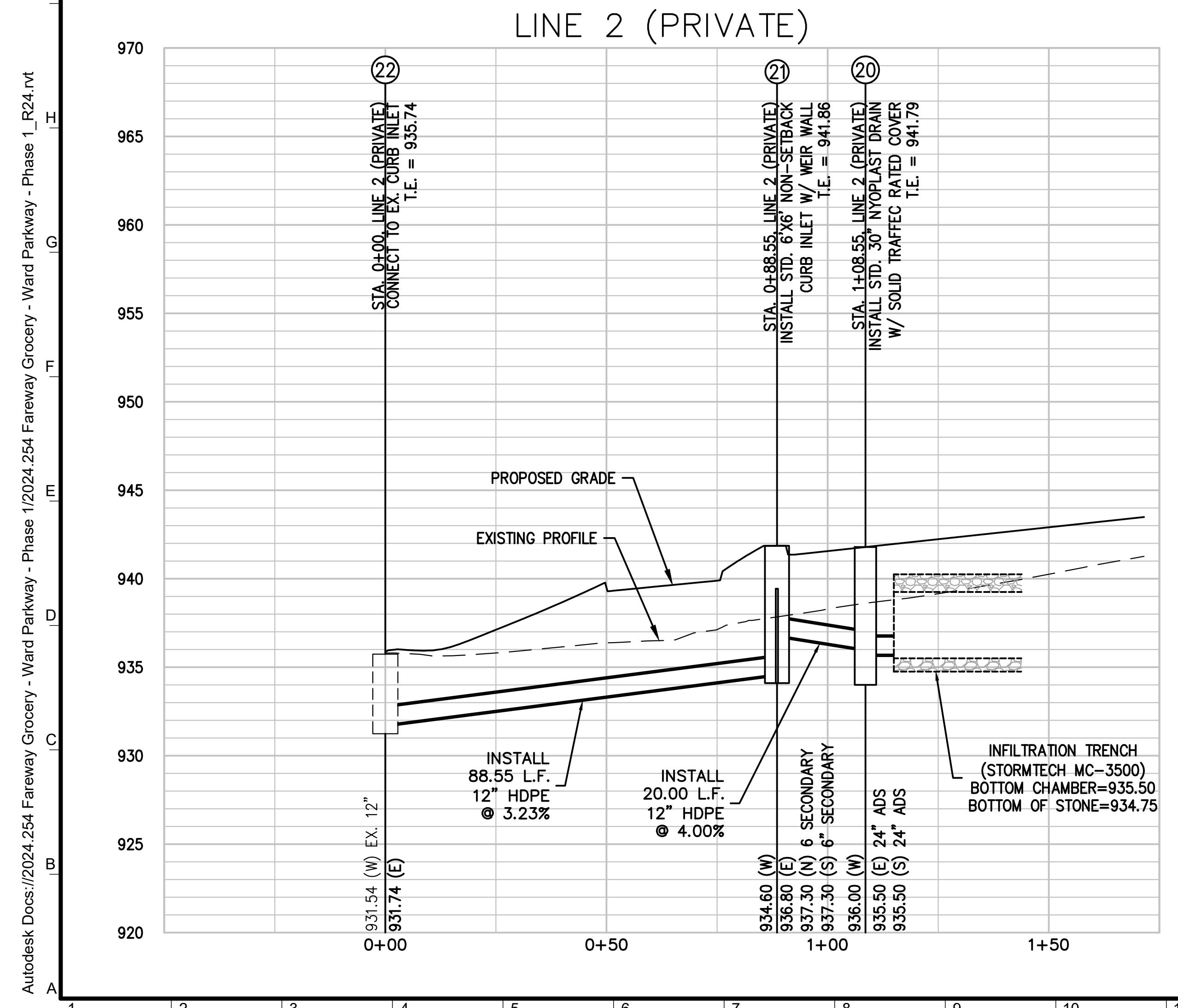
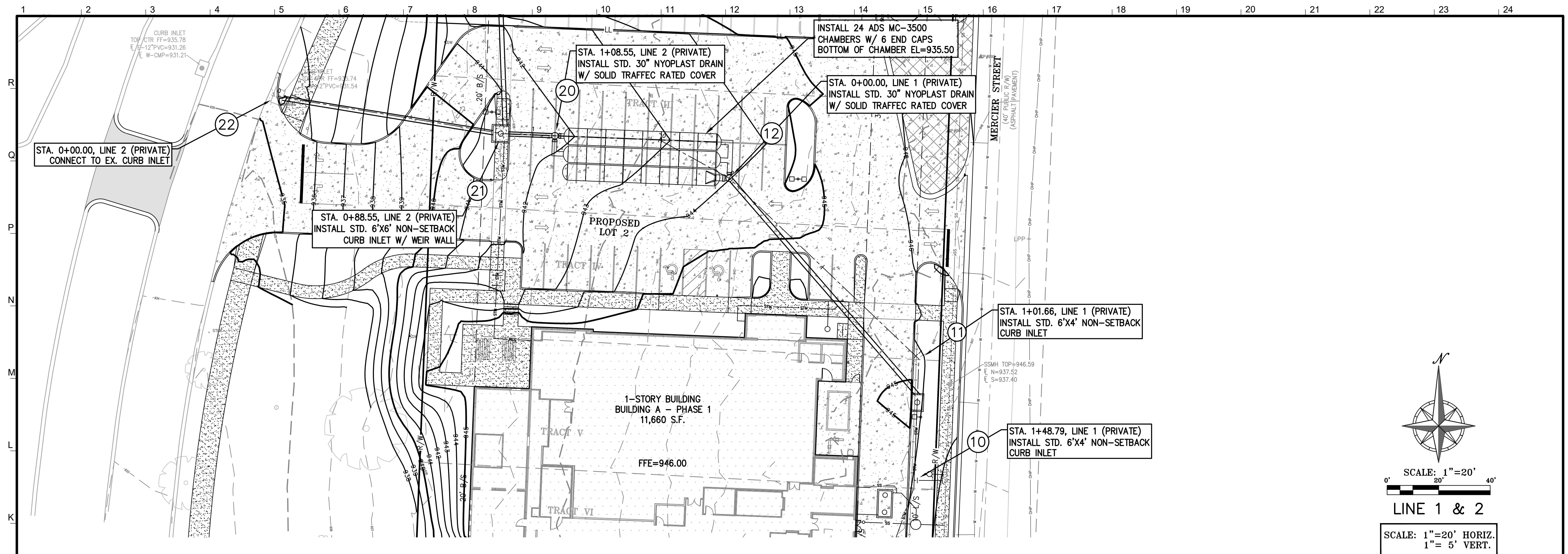
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FIRE PROTECTION

C301



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STORM

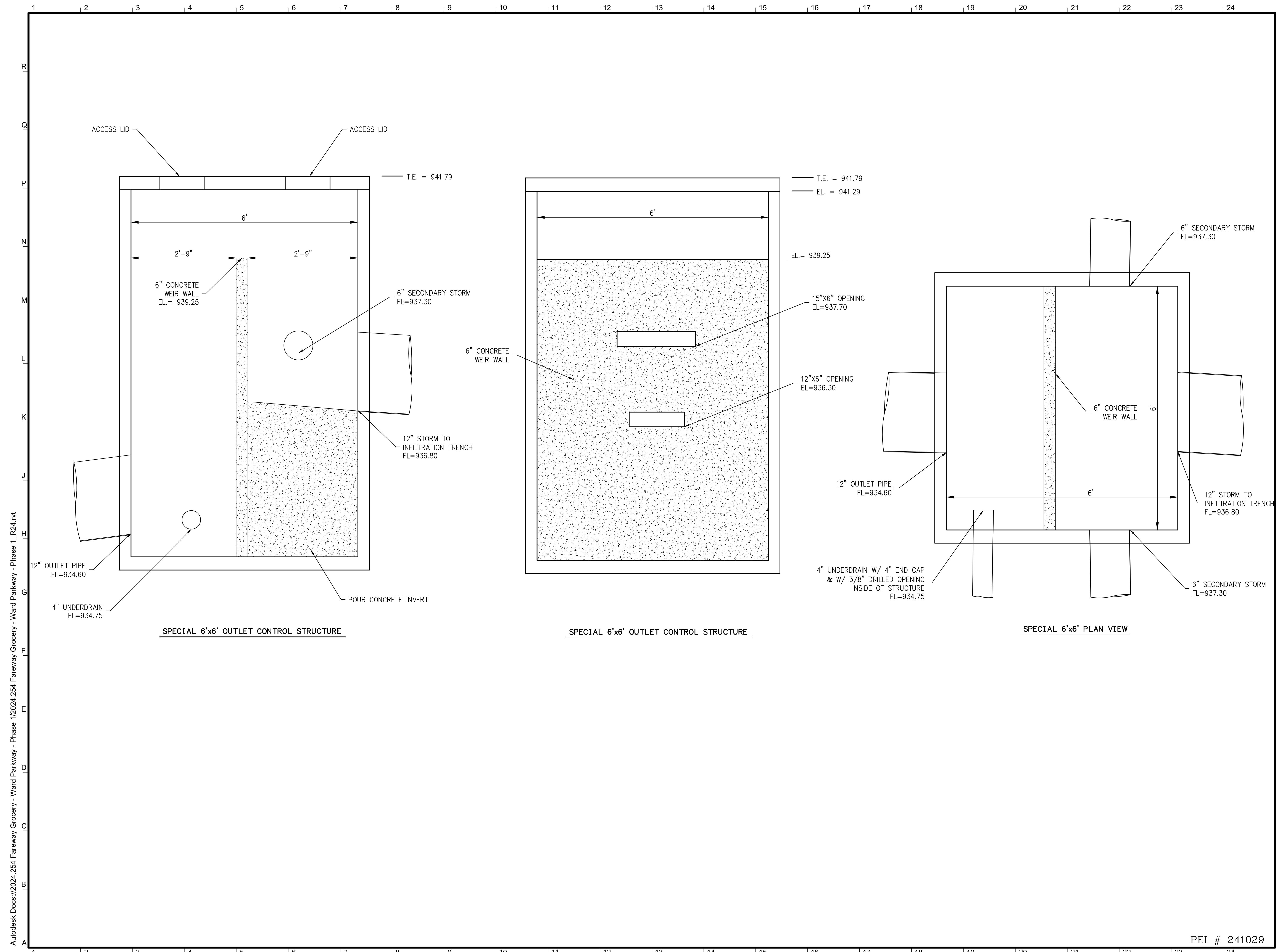
STORM

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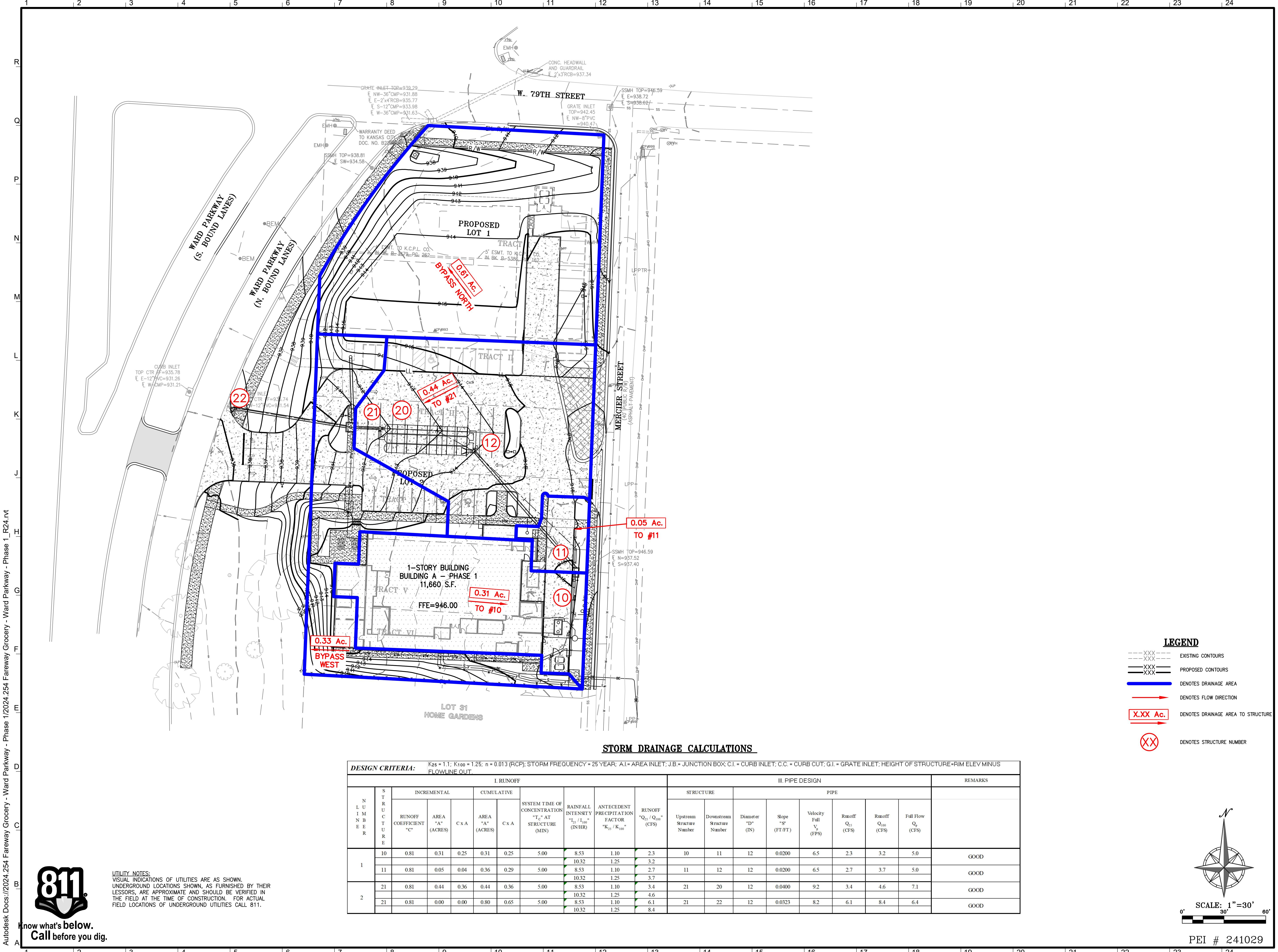
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Dowel size*

Slab depth, in. (mm)	Dowel diameter, in. (mm)	Dowel embedment, in. (mm) ¹	Total dowel length, in. (mm) ²
5 (125)	5/8 (16)	5 (125)	12 (300)
6 (150)	3/4 (19)	6 (150)	14 (360)
7 (180)	7/8 (22)	6 (150)	14 (360)
8 (200)	1 (25)	6 (150)	14 (360)
9 (230)	1-1/8 (29)	7 (180)	16 (400)

¹All dowels spaced at 12 in. (300 mm) centers.
²On each side of joint.
³Allowance made for joint openings and for minor errors in positioning dowels.

Tie bar dimensions

Slab depth, in. (mm)	Tie bar size, in. (mm)	Tiebar spacing		
		10 ft. in. (mm)	12 ft. in. (mm)	14 ft., in. (mm)
5 (125)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	28 (710)
6 (150)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	25 (630)
6-1/2 (165)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	21 (530)
7 (180)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	20 (510)
7-1/2 (190)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	18 (460)
8 (200)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	17 (430)
8-1/2 (215)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	16 (410)
9 (230)	1/2 x 30 (13 x 760)	36 (910)	36 (910)	—
				24 (610)

¹Distance to nearest free edge or to nearest joint where movement can occur

GENERAL PAVING NOTES:

- PRIOR TO PLACEMENT OF GRANULAR BASE OR ASPHALT, PROOF ROLL AND RE-COMPACT THE EXPOSED SURFACES UP TO A MINIMUM LATERAL DISTANCE OF TWO (2) FEET OUTSIDE THE PAVEMENT. ANY LOCALIZED SOFT, WET, OR LOOSE AREAS IDENTIFIED DURING THE PROOF ROLLING SHOULD BE REPAIRED PRIOR TO PAVING. FILL MATERIAL SHOULD BE PLACED IN LOOSE LIFTS UP TO A MAXIMUM OF EIGHT (8) INCHES IN THICKNESS. THE FILL MATERIAL SHOULD HAVE A MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D998 AT MOISTURE CONTENTS WITHIN 2% AND +/- 4% OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF GREATER THAN 40, AND +/- 3% OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF LESS THAN 40. MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT SHOULD BE DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D 698).
- PROOFROLL WITH A 25 TON RUBBER TIRE VEHICLE AND REPAIR SUBGRADE DEFICIENCIES. IF ANY SIGNIFICANT EVENT, SUCH AS PRECIPITATION, OCCURS AFTER PROOFROLLING, THE SUBGRADE SHOULD BE REVIEWED BY QUALIFIED PERSONNEL IMMEDIATELY PRIOR TO PLACING THE PAVEMENT.
- CRUSHED STONE BASE COURSE USED BEHIND CONCRETE PAVING SHALL BE COMPACTED AB-3 OR EQUIVALENT.
- ALL SITE CONCRETE (CURBS, PAVEMENTS, SIDEWALKS, ETC.) SHALL MEET KANSAS CITY MATERIALS METRO BOARD (KCMMB) MIX DESIGN SPECIFICATIONS FOR 4,000 P.S.I. AIR ENTRAINED CONCRETE.
- IN NEW PAVEMENT AREAS, CONTRACTOR SHALL OVER EXCAVATE AS SPECIFIED TO ESTABLISH NEW COMPACTED SUBGRADE ELEVATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PAVEMENT AND SUBGRADE MATERIALS TESTING.
- FIBER REINFORCEMENT:
 - FIBER REINFORCEMENT SHALL BE USED IN ALL CONCRETE CURB AND CONCRETE FLATWORK (SIDEWALKS, PAVEMENTS, ETC).
 - ALL FIBERS SHALL BE ALKALI-RESISTANT, NATURAL CELLULOSE FIBERS AS MANUFACTURED BY SOLOMON ULTRAFIBER 500, OR POLY PROPYLENE FIBRILLATED FIBERS AS MANUFACTURED BY SIKA FIBERMESH-300, OR AN APPROVED EQUAL IN ADVANCE BY THE ENGINEER. DELIVERY, STORAGE AND HANDLING SHALL BE LEFT MANUFACTURER'S RECOMMENDATIONS.
 - COMPLY WITH ASTM C-1116 AND ASTM C-1018, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. FIBERS SHALL BE USED AT A RATE OF 2-2.5 LBS. PER CUBIC YARD OF CONCRETE.
 - FIBERS SHALL NOT BE USED AS A SUBSTITUTE FOR PRIMARY STRUCTURAL STEEL.
 - ADD REINFORCING FIBERS INTO CONCRETE MIXTURE DIRECTLY INTO CONCRETE MIXER AT THE BEGINNING OF BATCH CYCLE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND ASTM C94.
 - ALLOW A MINIMUM OF 5 MINUTES AT MIXING SPEED IN CONCRETE MIXER FOR FULL REINFORCING FIBER DISPERSION.

PCC JOINT DETAIL BLOW-UP (TYP.)

CONSTRUCTION JOINT

CONCRETE JOINT DETAILS

SCALE: N.T.S.

TURN DOWN SIDEWALK DETAIL

Asphalt Pavement Elevation Against Sidewalk Varies

1/2" Continuous
#4 Bar Every 24"

1" DEEP SAWED JOINT (TYP.)

SECTION A-A

SECTION B-B

NOTE: PROVIDE 1/2" EXPANSION JOINT BETWEEN SIDEWALK AND ALL FIXED OBJECTS

1/4" THICKNESS PREMOLDED EXPANSION JOINT FILLER SPACED @ 35' O.C. MAX. EXTEND JOINT FILLER FULL DEPTH OF SIDEWALK

SEE SITE PLAN
4'-0" MAX SLOPE 2.0% MAX.
2" (TYP.)
1/2" R (TYP.)
6" (TYP.)
PC CONCRETE
COMPACTED SUBGRADE

PRIVATE CONCRETE SIDEWALKS (NON REINFORCED)

SCALE: N.T.S.

NOTE: 1. USE KANSAS CITY MATERIALS METRO BOARD (KCMMB) MIX DESIGN SPECIFICATIONS FOR 4,000 P.S.I. AIR ENTRAINED CONCRETE FOR ALL PRIVATE SIDEWALKS.

CONCRETE SIDEWALK JOINT DETAILS

TYPE A JOINT
TYPE B JOINT

NOTE: TYPE A JOINTS SHALL NOT EXCEED 20 TIMES THE PAVEMENT THICKNESS (T).

CONCRETE SIDEWALK JOINT DETAILS

SCALE: N.T.S.

DETAILS - PRIVATE

PEI # 241029

C600

Fareway Meat Market

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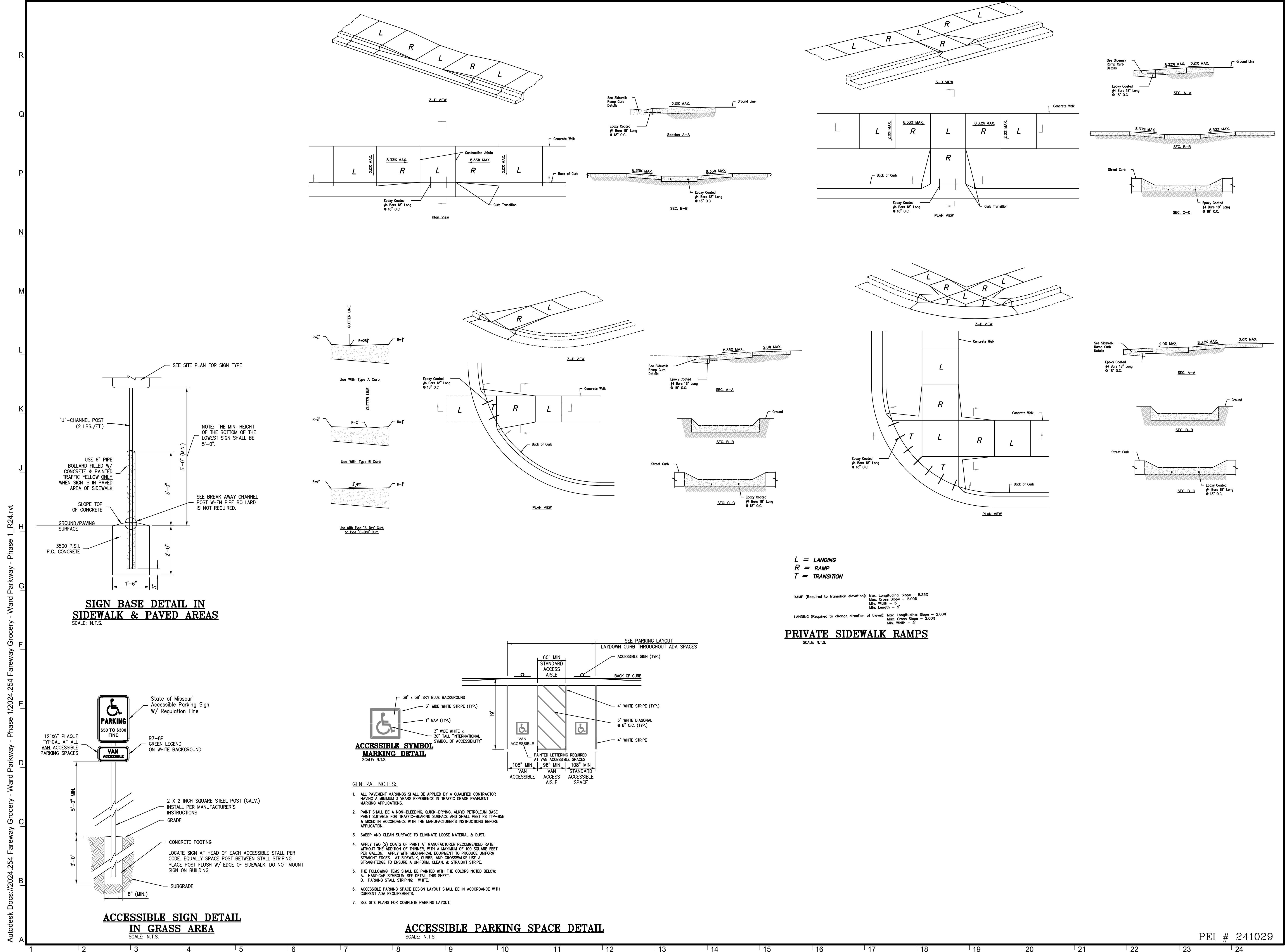
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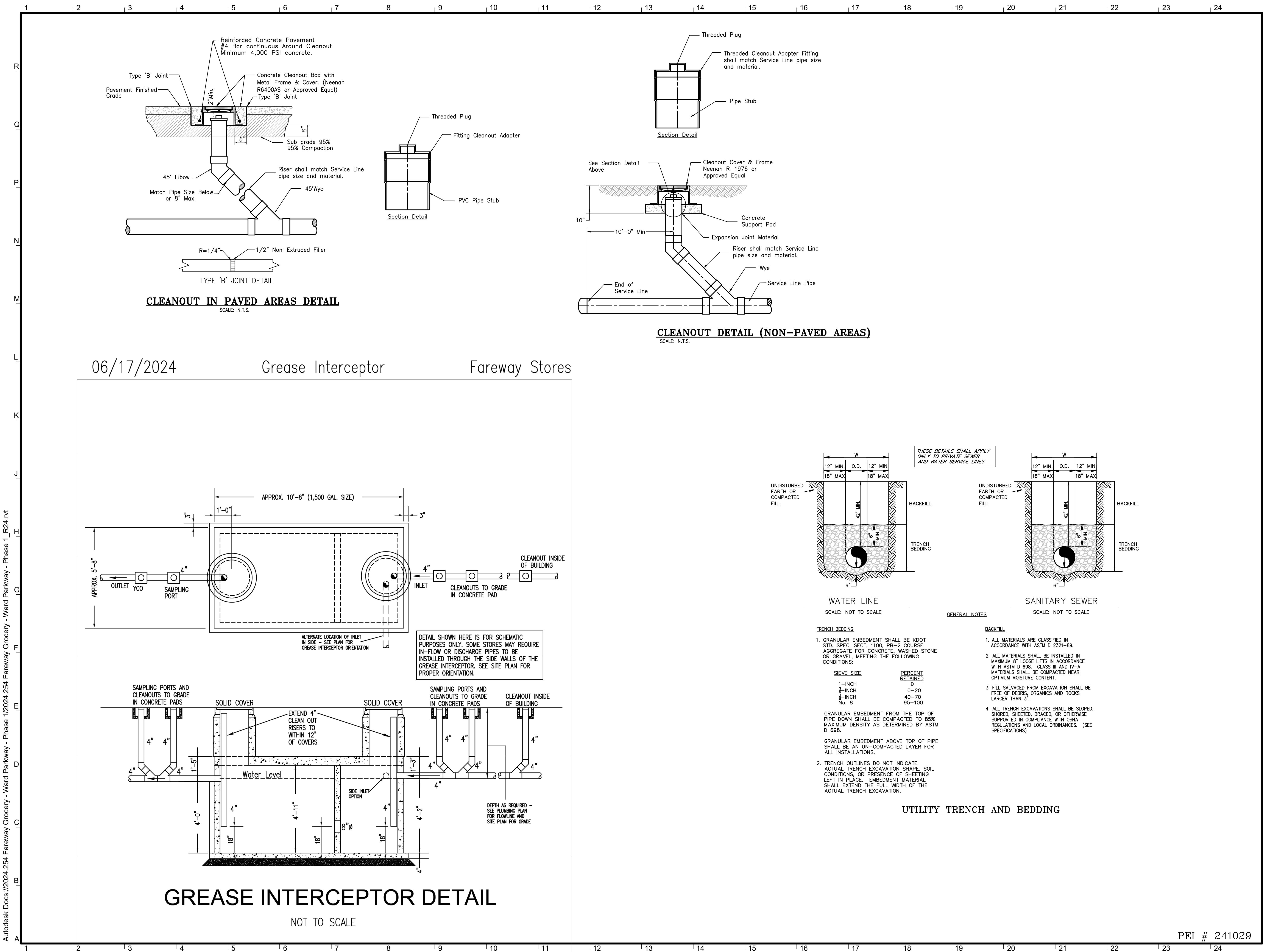
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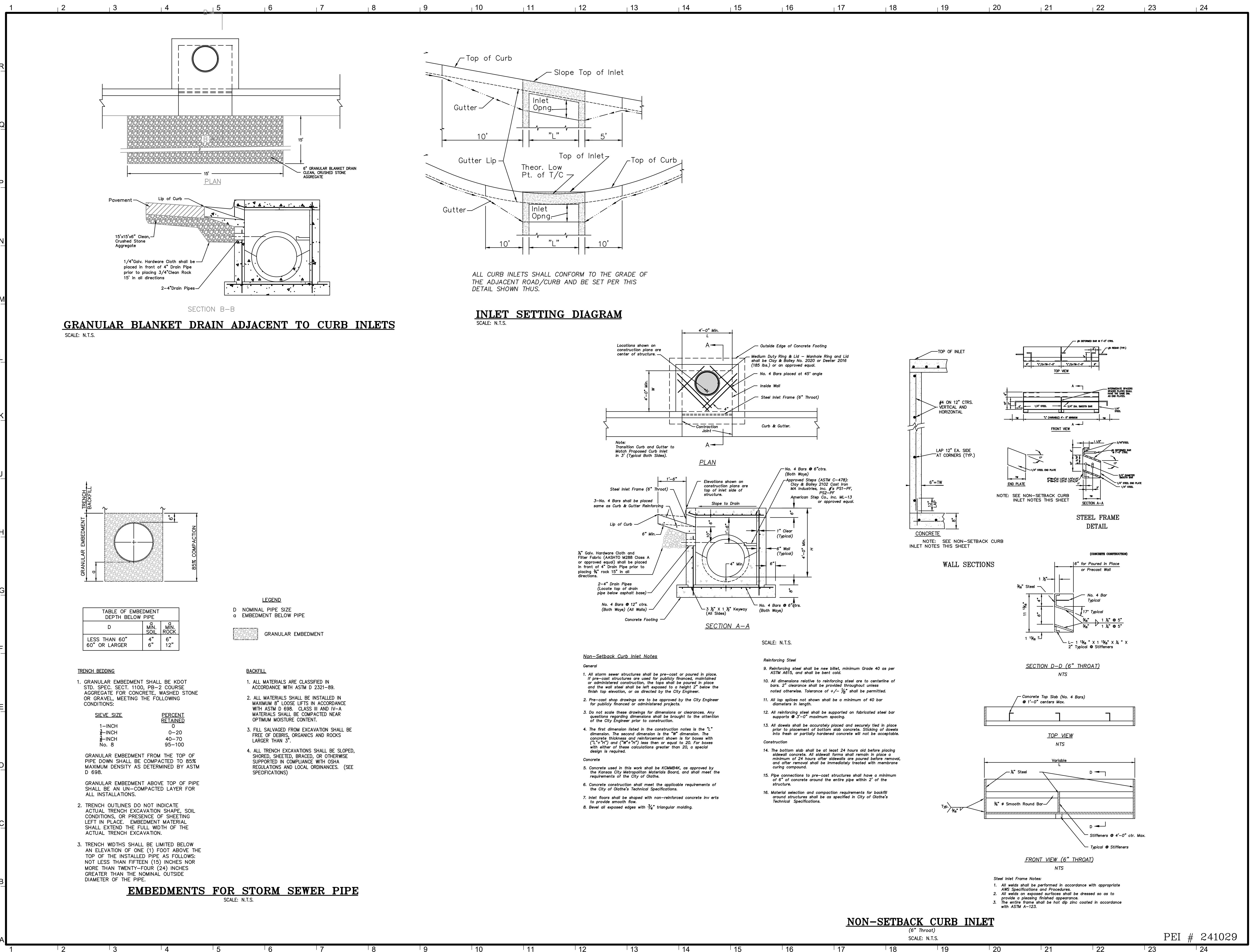
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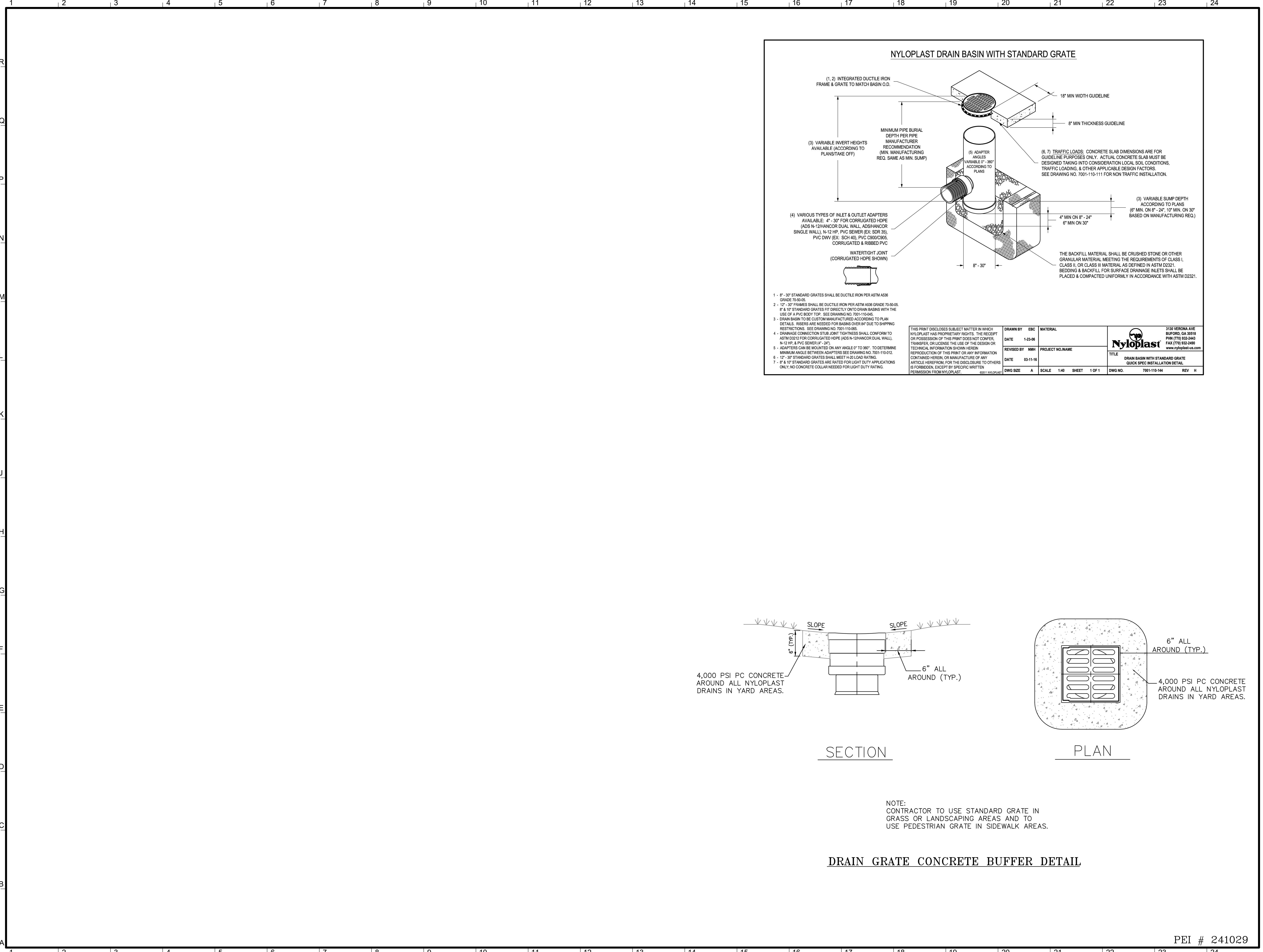
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DETAILS - PRIVATE

C602







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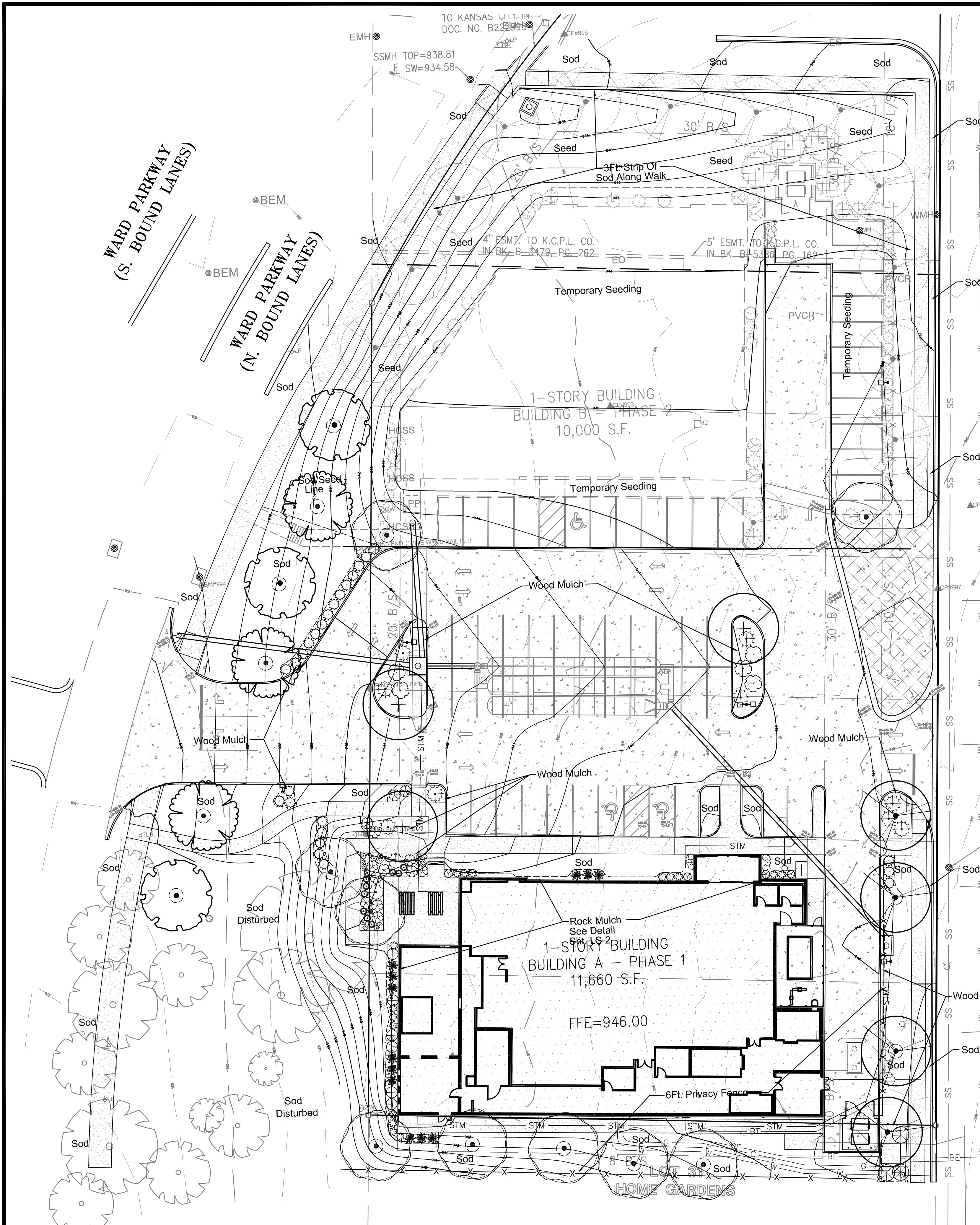
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DETAILS - PRIVATE

C605



PLANT_SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL
TREES				
3	3	Acer rubrum 'Red Pointe' / Red Pointe Red Maple	B & B	2"Cal
3	3	Gleditsia triacanthos 'Skyline' / 'Skyline' Honey Locust	B & B	2"Cal
9	9	Gymnocladus dioicus 'Epresso' / Kentucky Coffee Tree Seedless/Male Only	B & B	2"Cal
3	3	Nyssa sylvatica / Black Gum	B & B	2"Cal
4	4	Quercus bicolor / Swamp White Oak	B & B	2"Cal
SHRUBS				
26	26	Ilex glabra 'Shamrock' / Inkberry 36" hgt. & sp.	5 gal	
3	3	Juniperus chinensis 'Sea Green' / Sea Green Juniper 24"-30" hgt. & sp.	5 gal	
11	11	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper 24" sp.	3 gal	
4	4	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar B&B	6ft.	
5	5	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 18"-24" sp.	3 gal	
13	13	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spirea 18"-24" hgt.	3 gal	
6	6	Spiraea x bumalda 'Gold Flame' / Gold Flame Spirea 18"-24" hgt.	3 gal	
GRASSES				
6	6	Calamagrostis acutiflora 'Karl Foerster' / Feather Reed Grass 24" hgt.	3 gal	
12	12	Miscanthus sinensis 'Gracillimus' / Maiden Grass 24"-30" hgt.	3 gal	
16	16	Miscanthus sinensis 'Morning Light' / Eulalia Grass 24"-30" hgt.	3 gal	
9	9	Panicum virgatum 'Shenandoah' / Burgundy Switch Grass 15"-18" hgt.	1 gal	
17	17	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass 1 gal 15"-18" hgt. & sp.	3 gal	

EXISTING TREES TO BE SAVED

Seagreen Juniper	Juniperus Chinensis 'Seagreen'	24"-30" hgt. & sp.	5'o.c.
Heavy Metal Switch Grass	Panicum Virgatum 'Heavy Metal'	3 gal.	4'o.c.
Free Standing Transformer	Against Wall		
Against Wall	Free Standing Small Box		
Small Box	Clustered Boxes		

Typical Utility Box Screening Details

No Scale Note: Quantities Not Included In Plant List

UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

* In case of transformer tall than 3 ft. replace Seagreens with 6 ft. Keteleeri Junipers

Table 3. Landscape Requirements
This table shall appear on all landscape plans. Note that the column labeled "Alternative Requested" shall only be used when you cannot meet the landscape requirement and, if used, must be accompanied by Table 3a.

88-425 - LANDSCAPE REQUIREMENTS	Required	Proposed	Alternative Requested?	Approved
88-425-03 Street Trees	10.6	11		
88-425-04 General	2.28	9		
88-425-05 Perimeter Vehicular Use Area				
Adjacent to Streets				
Buffer Width	10ft.	10ft.		
Trees	See Note			
Shrubs/Wall/Berm	Continuous			
Adjacent to Residential Zones				
Buffer Width	6ft. Fence	6ft. Fence		
Shrubs/Berm/Fence/Wall	10ft. Fence	10ft. Fence		
88-425-06 Interior Vehicular Use Area				
Interior Area	33 CAR SPACES	6	6	
Trees	33	33	33+	
Shrubs	Describe NA	Describe NA	Describe NA	
88-425-07 Parking Garage Screening				
88-425-08 Mechanical/Utility Equipment Screening				
88-425-09 Outdoor Use Screening				

Table 3a. Alternative Compliance to Landscape Standards

This table shall appear on all landscape plans in which alternative compliance is requested.

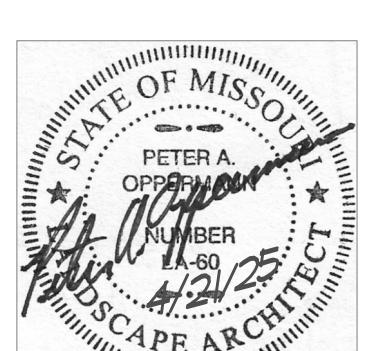
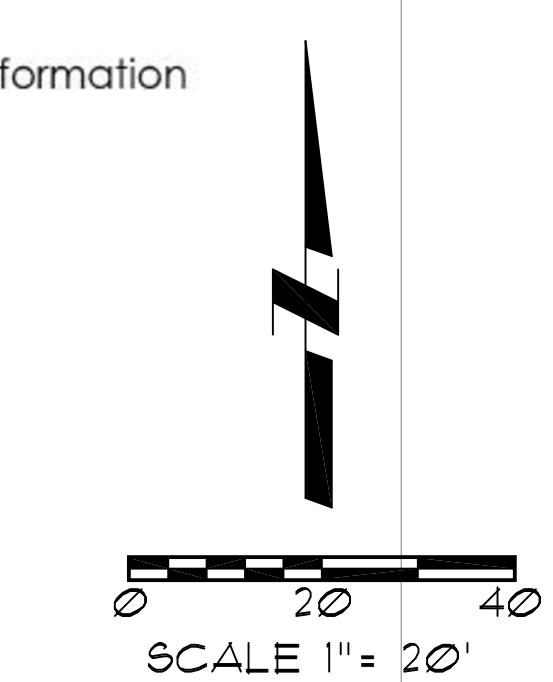
88-425 - LANDSCAPE REQUIREMENTS	Proposed Alternative	Approved
88-425-03 Street Trees	NA	
88-425-04 General	NA	
88-425-05 Perimeter Vehicular Use Area	NA	
Adjacent to Streets		
Buffer Width		
Trees		
Shrubs/Wall/Berm		
Adjacent to Residential Zones		
Buffer Width		
Shrubs/Berm/Fence/Wall		
88-425-06 Interior Vehicular Use Area		
Interior Area		
Trees		
Shrubs		
88-425-07 Parking Garage Screening	NA	
88-425-08 Mechanical/Utility Equipment Screening	NA	
88-425-09 Outdoor Use Screening	NA	

Note:
Street trees satisfy requirement.

Table 3b. Landscape Schedule

This table shall appear on all landscape plans and be used to identify the graphic information displayed on the face of the plan.

88-425 - LANDSCAPE SCHEDULE	SYMBOL	See plan and plant schedule
88-425-03 Street Trees		See plan and plant schedule
88-425-04 General		See plan and plant schedule
88-425-05 Perimeter Vehicular Use Area		See plan
Adjacent to Streets		See plan and plant schedule
Buffer Width		See plan
Trees		See plan and plant schedule
Shrubs/Wall/Berm		See plan and plant schedule
Adjacent to Residential Zones		See plan and plant schedule
Buffer Width		NA
Shrubs/Berm/Fence/Wall		
88-425-06 Interior Vehicular Use Area		See plan and plant schedule
Interior Area		NA
Trees		
Shrubs		
88-425-07 Parking Garage Screening	Describe	NA
88-425-08 Mechanical/Utility Equipment Screening	Describe	NA
88-425-09 Outdoor Use Screening	Describe	NA



Landscape Plan Fareway Meat Market

West 79th Street and Ward Parkway

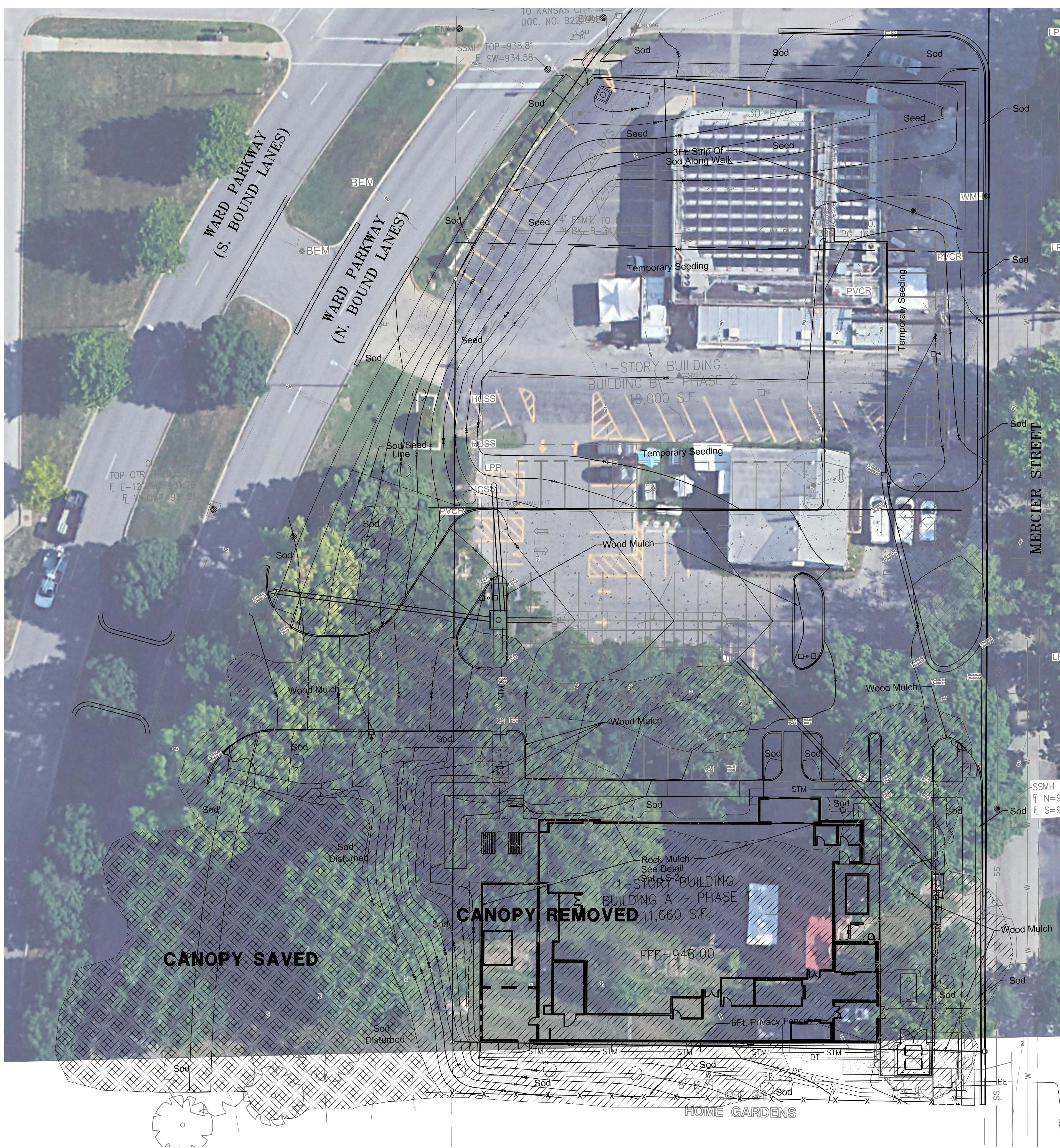
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LS-1

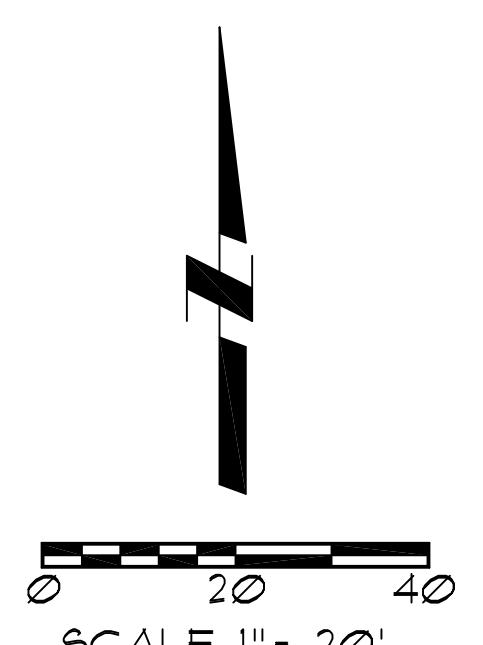


Oppermann LandDesign, LLC
Land Planning Landscape Architecture

92 Debra Lane New Windsor, New York 12553 913.529.5598

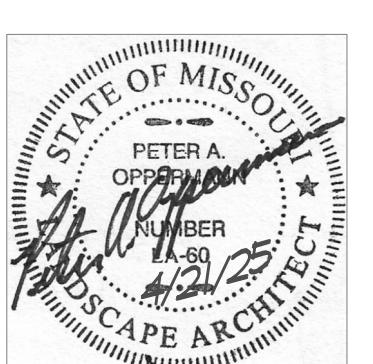


Tree Mitigation Calculations	
Total Area Of Trees To Be Removed	.821 Acres
Less area of contiguous canopy outside stream buffer to remain larger than 1 acre	.28 (0) Acres .821
Less undisturbed acres of stream buffer	0 .821
multiplied by	.35
multiplied by	.28
Less total caliper inches proposed in landscape plan	150
Caliper inches needed for mitigation	43 44 -1



Tree Mitigation Plan Fareway Meat Market

West 79th Street and Ward Parkway
Kansas City, Missouri



Dedicated Design Irrigation System:

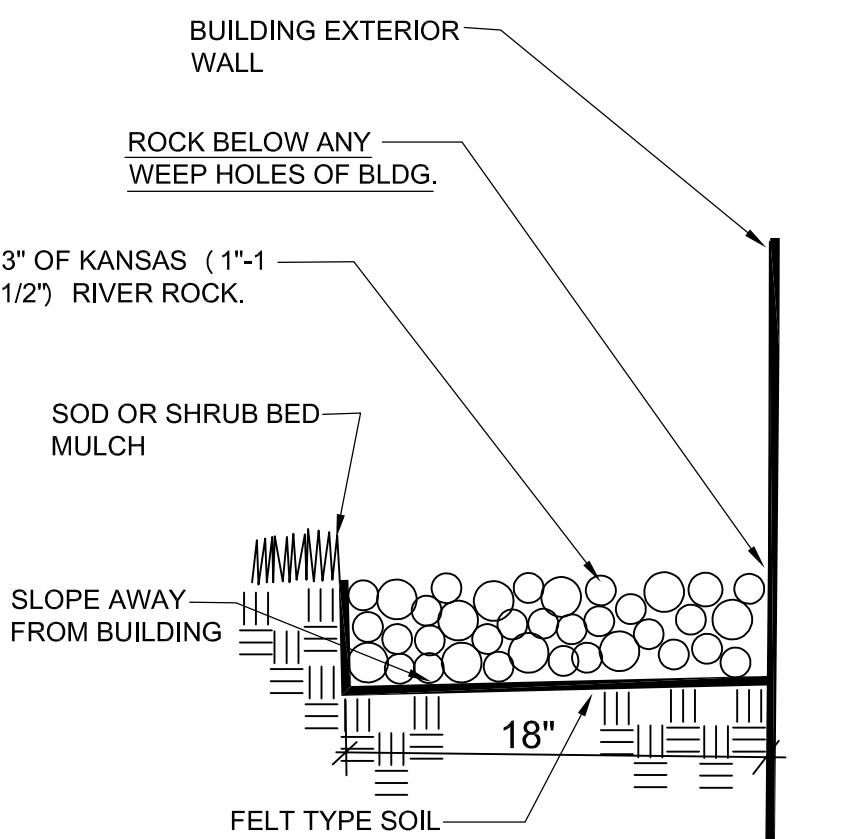
1. If an irrigation system is not provided with the Landscape Plans, the Contractor is to design a 100 percent coverage irrigation system, including comprehensive engineering analysis by a qualified Professional Engineer, using performance requirements and design criteria indicated per Owner's direction.
2. Irrigation Contractor to design and install irrigation system and shall include all required components including, but not limited to, rain shut off sensor, controller, taps, backflow preventers, all approvals, and all fees required by city. Components to be manufactured by Rainbird or Hunter unless alternate manufacturer is expressly approved by the Owner or Owner's Representative.
3. Irrigation Contractor shall submit a copy of plan to Owner's Representative or Project Landscape Architect for review prior to installation of system.
4. Irrigation Contractor shall conduct a training session with the owner (or representatives) demonstrating the operation of the system and the controller. As part of this training, Contractor shall provide one spring start-up and one fall shut-down of the system.
5. Landscape Contractor to provide cost estimates for irrigation system for all plant material indicated on plans.
6. Irrigation system shall be tested and approved by Owner's Representative or Landscape Architect prior to backfilling trenches. Irrigation system shall be fully operational prior to the installation of any plant materials.
7. All planting beds shall be watered by the irrigation system.
8. General Contractor to supply all power required to operate irrigation system.
9. Irrigation Contractor shall notify Owner's Representative or Project Landscape Architect of any changes to irrigation conduit locations or sizes.
10. It is the Landscape Contractor's responsibility to determine water application rates and timer cycling. The Irrigation Contractor will instruct the Owner on the operation and programming of the controller.
11. All zones and main lines will be pressure-tested at the time of installation and again prior to building turnover. Results shall be submitted in writing to Project Landscape Architect and Owner or Owner's Representative.
12. Irrigation shall not spray on building, sidewalks, and drives.
13. Irrigation controller location shall be coordinated with other wall-mounted service panels per Owner's approval.
14. Landscape Contractor shall hand-water all trees, and turf grass areas until substantial completion.
15. Treegator bags (or approved equal) shall be used for all proposed trees on site.

ADDITIONAL IRRIGATION NOTES:

All irrigation equipment shall be Rain Bird products or approved equal.
Drip Irrigation Note: Drip irrigation shall be 1/2" flex tubing with line emitters and check valves spaced 12" on center. For individual shrubs an 18" diameter circle shall be placed around each shrub. For trees in landscape beds two loops shall be around tree. One at 3' diameter and one at 5' diameter. Groundcover areas shall have lines placed 18" apart covering entire bed.

Quick Couple Locations: Quick couples shall be placed in the main line of the irrigation so they may be used when irrigation is not running.

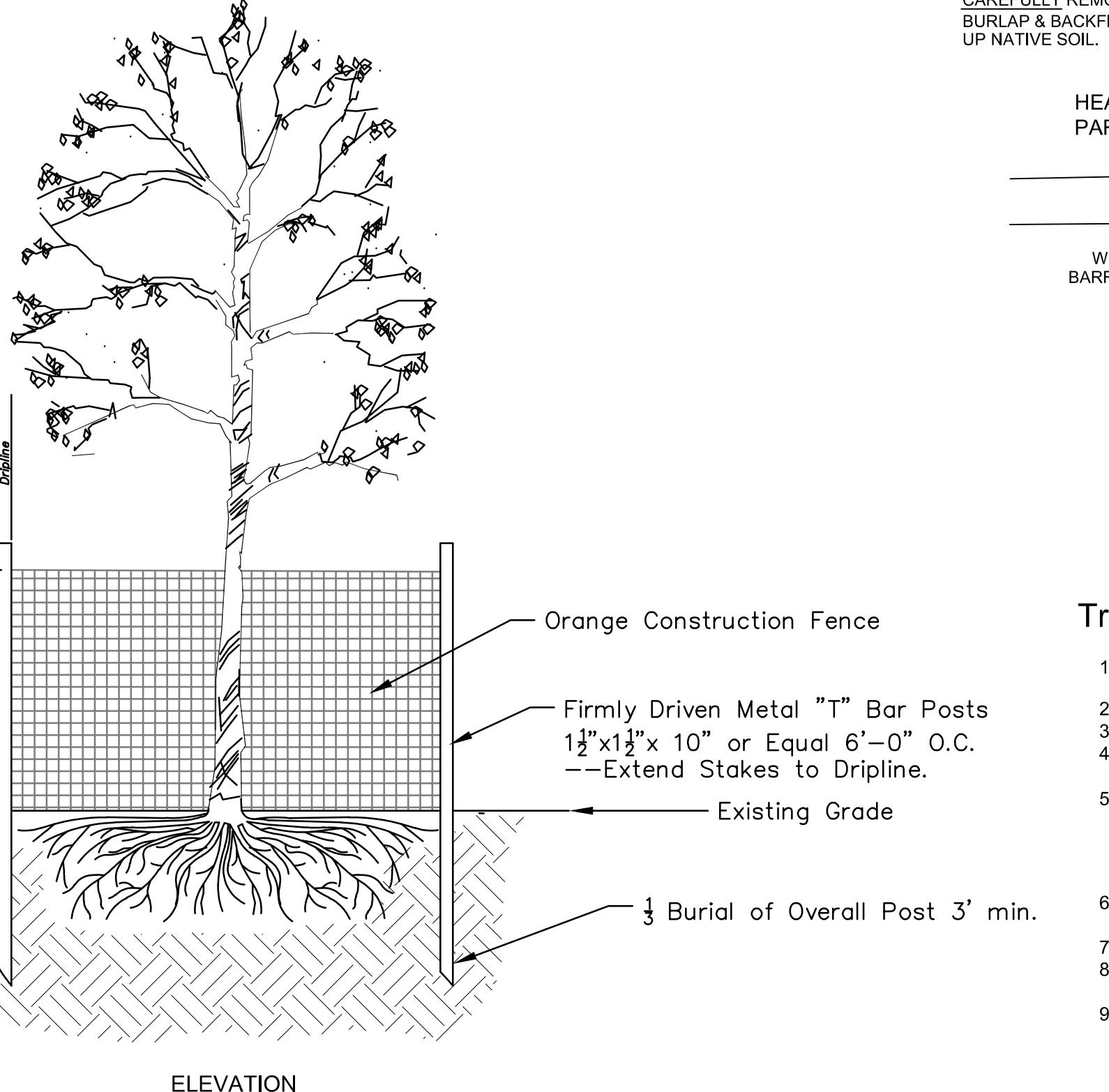
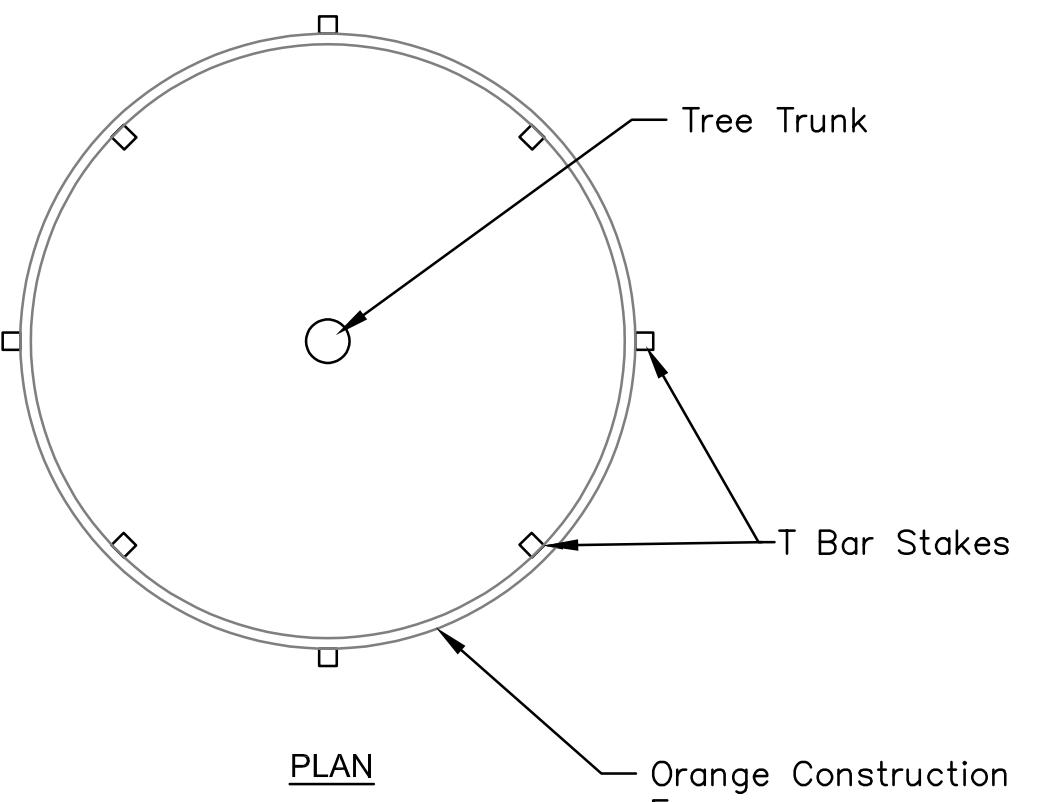
Irrigation controller shall be located as directed by Owner.



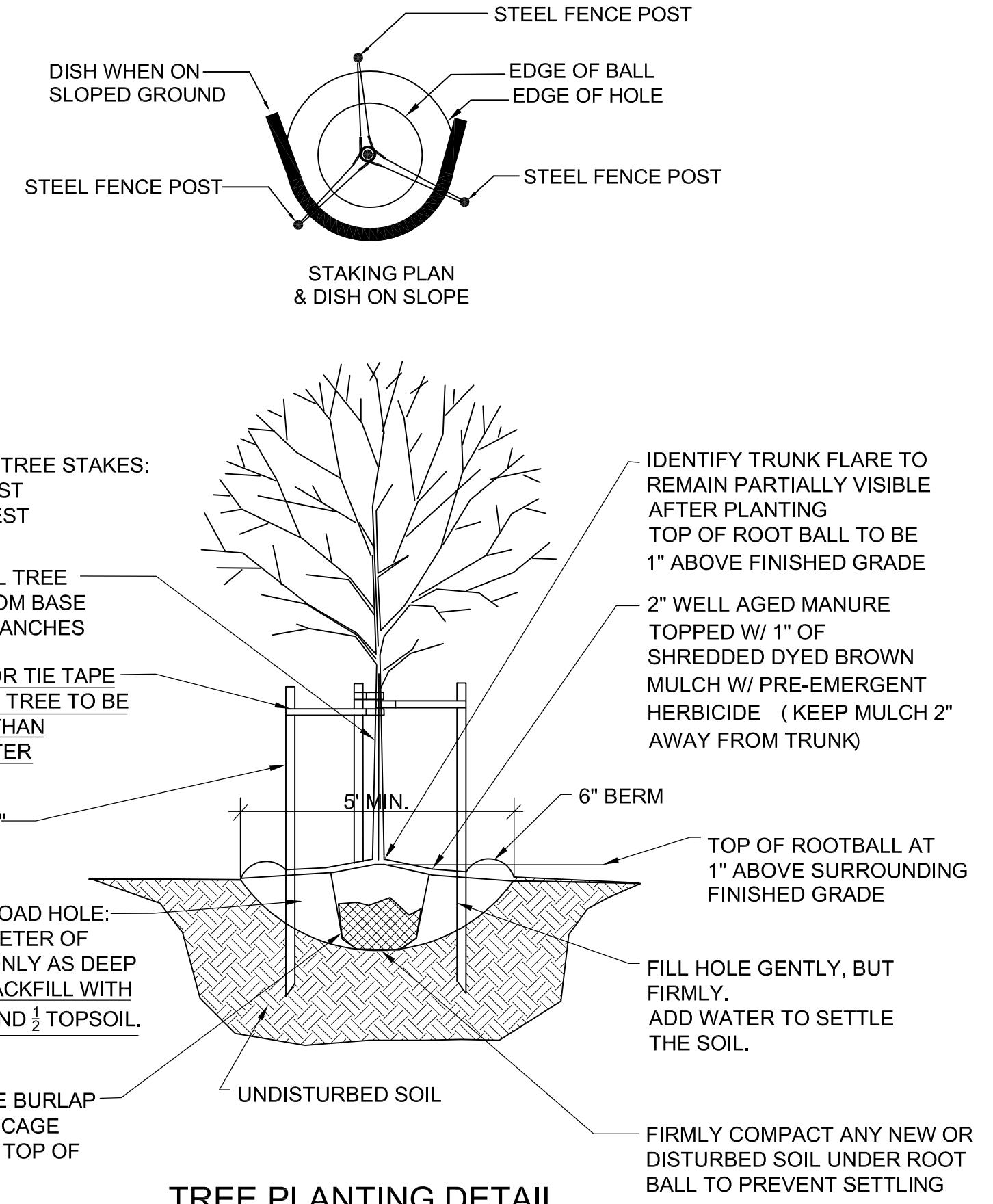
BUILDING ROCK EDGE

NO SCALE

*PLACE ROCK AROUND ENTIRE BLDG. PERIMETER WHEREVER THERE IS NOT CONCRETE OR ASPHALT

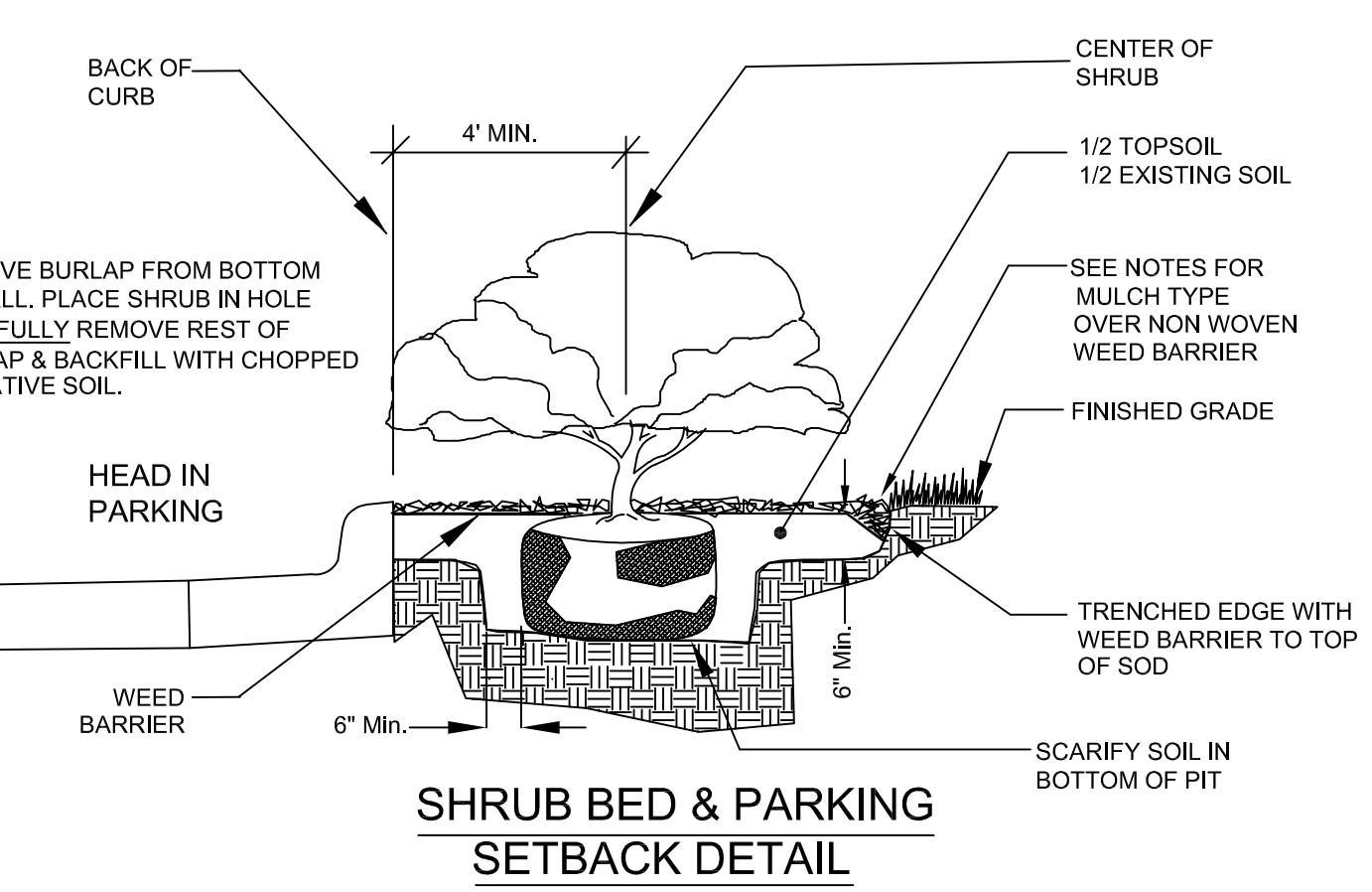


TREE PRESERVATION DETAIL



TREE PLANTING DETAIL

NO SCALE



SHRUB BED & PARKING SETBACK DETAIL

NO SCALE

Tree Protection Notes:

1. Four foot plastic snow fencing shall be erected around trees to be saved @ limits of grading.
2. Fence shall be erected before any site work takes place.
3. Steel "T" posts shall be placed 10ft. o.c. w/ fence attached securely.
4. Fencing shall remain in place during all demolition and new construction improvements & until the landscaping is complete.
5. No construction activity shall take place on the tree side of the fence including the storage of any construction materials including temporary storage of excavated soil. When appropriate excavated soil from areas to be graded shall be temporarily stored in adjacent available areas. If no adjacent areas are available excavated material shall be hauled offsite.
6. When trenching or other excavation takes place roots 1" in diameter & larger shall be root pruned with a saw, not a bulldozer blade.
7. Cut roots shall be wrapped with wet burlap if exposed.
8. Excavations with exposed roots shall be backfilled absolutely as soon as possible, after removing burlap from roots.
9. Where construction traffic needs to occur over critical root zones 4'x8' sheets of 3/4" plywood covered w/ 9" of shredded wood pulp or mulch shall be placed over the root zone first.

GENERAL LANDSCAPE NOTES:

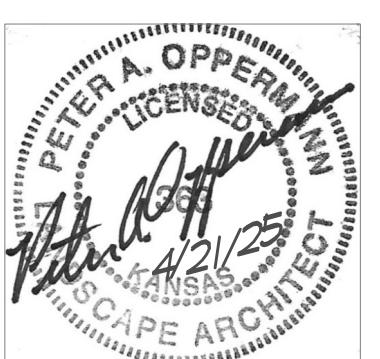
1. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
2. CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL MAKE NO SUBSTITUTIONS WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL STAKE LAYOUT PLAN IN THE FIELD AND SHALL HAVE THE LAYOUT APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE INSTALLATION.
5. ALL LANDSCAPE BEDS SHALL BE TREATED WITH THE PRE-EMERGENT HERBICIDE PRE M 60 DG (GRANULAR) OR AN APPROVED EQUAL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. ALL LANDSCAPE BEDS SHALL RECEIVE A TRENCHED EDGE. SEE SHRUB PLANTING DETAIL. FINISH GRADE OF BEDS SHALL FLOW WITH SLOPE, NOT BE MOUNDED, AND BE AT ADJACENT PAVED SURFACE LEVEL.
7. FERTILIZER FOR FESCUE SODDED AREAS, TREES AND CONTAINER STOCK AREAS SHALL BE A BALANCED FERTILIZER BASED ON RECOMMENDATIONS FROM A SOIL TEST SUPPLIED BY THE LANDSCAPE CONTRACTOR FROM AN APPROVED TESTING LAB.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PLANTS UNTIL COMPLETION OF THE JOB AND ACCEPTANCE BY THE OWNER.
9. CONTRACTOR SHALL WARRANTY ALL LANDSCAPE WORK AND PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.
10. CONTRACTOR SHALL PROVIDE MAINTENANCE OF ALL TREES AND SHRUBS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION IF CONTRACTED BY THE OWNER.
11. ANY PLANT MATERIAL WHICH DIES DURING THE ONE YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR DURING NORMAL PLANTING SEASONS.
12. ALL PLANT NAMES ON THE PLANT LIST CONFORM TO THE STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE OR TO NAMES GENERALLY ACCEPTED IN THE NURSERY TRADE.
13. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY STOCK AS DETERMINED IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, FREE OF PLANT DISEASES AND PESTS, OF TYPICAL GROWTH OF THE SPECIES AND HAVING A HEALTHY, NORMAL ROOT SYSTEM.
14. SIZES INDICATED ON THE PLANT LIST ARE THE MINIMUM, ACCEPTABLE SIZE. IN NO CASE WILL SIZES LESS THAN THE SPECIFIED SIZES BE ACCEPTED.
15. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY TO THE SITE OR AFTER INSTALLATION EXCEPT FOR THOSE BRANCHES THAT HAVE BEEN DAMAGED IN SOME WAY.
16. PLANTS SHALL NOT HAVE NAME TAGS REMOVED PRIOR TO FINAL INSPECTION.
17. ALL PLANTINGS SHALL RECEIVE A COMMERCIAL TRANSPLANT ADDITIVE PER MANUFACTURER'S RECOMMENDED RATES AND INSTRUCTIONS FOR APPLICATION.
18. BUILDING MULCH SHALL BE 3" DEPTH OF KANSAS RIVER ROCK (3/4"-1 1/2" SIZE), OTHER MULCH SHALL BE 3" OF DYED BROWN SHREDDED HARDWOOD. BOTH MULCHES SHALL BE OVER A FELT TYPE SOIL SEPARATOR CUT INTO THE GROUND WITH A TRENCHED EDGE. SEE TREE DETAIL FOR DIFFERENT MULCH AROUND TREES.
19. SEED SHALL BE A TURF-TALL FESCUE BLEND WITH 10% PERENNIAL RYE DRILL SEEDED AT A RATE OF #/1000S.F. AND HYDRO MULCHED AS A SEPARATE OPERATION AT A RATE OF 2000#/ACRE OF VIRGIN WOOD FIBRE WITH A DYED BLUE TACKIFIER. CONTRACTOR SHALL BE RESPONSIBLE FOR AN ACCEPTABLE STAND OF TURF GRASS OF AT LEAST 90% COVERAGE OF SOIL SURFACE PER SQUARE FOOT.
20. SEE PLANTING DETAILS FOR SOIL MIX IN PLANTING HOLES.
21. SOD SHALL BE A TURF-TALL FESCUE GRASS BLEND.
22. SUCCESSFUL LANDSCAPE BIDDER SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ANY IRRIGATION SYSTEM TO BE APPROVED BY THE OWNER.

Transplant Additives:

1. Apply a commercial transplant additive (approved by the Landscape Architect) to all trees, shrubs and groundcover at rates recommended by the manufacturer during the planting. This item shall be subsidiary to other planting items.
2. Transplant additive shall be Horticultural Alliance "DIEHARD Transplant" (or approved equal) mycorrhizal fungal transplant inoculant or equivalent equal containing the appropriate species of mycorrhizal fungi and bacteria, fungi stimulant, water retaining agents, mineral & organic nutrients and inert ingredients.
3. Demonstrate installation of all transplant additives for this project to the Landscape Architect. Provide actual additive product as evidence of sufficient quantity of product. (Empty product bags to be stockpiled for inspection by the Landscape Architect prior to disposal).
4. Number of transplant additive packets per tree, shrub or groundcover shall be applied according to the manufacturer's recommended rates and instructions. For all plants the packet mix shall be evenly distributed into the upper approximately 8" of backfill soil next to the rootball. Do not place mix in the bottom of the planting pit.
5. Furnishing and application of transplant additive shall be subsidiary to the planting operations.

Landscape Plan Fareway Meat Market

West 79th Street and Ward Parkway
Kansas City, Missouri





Fareway Meat Market

1307 W 79th Street
 Kansas City, MO 64114

Fareway Stores, Inc
 2300 Industrial Park Road
 Boone, IA 50036
 515.432.2623

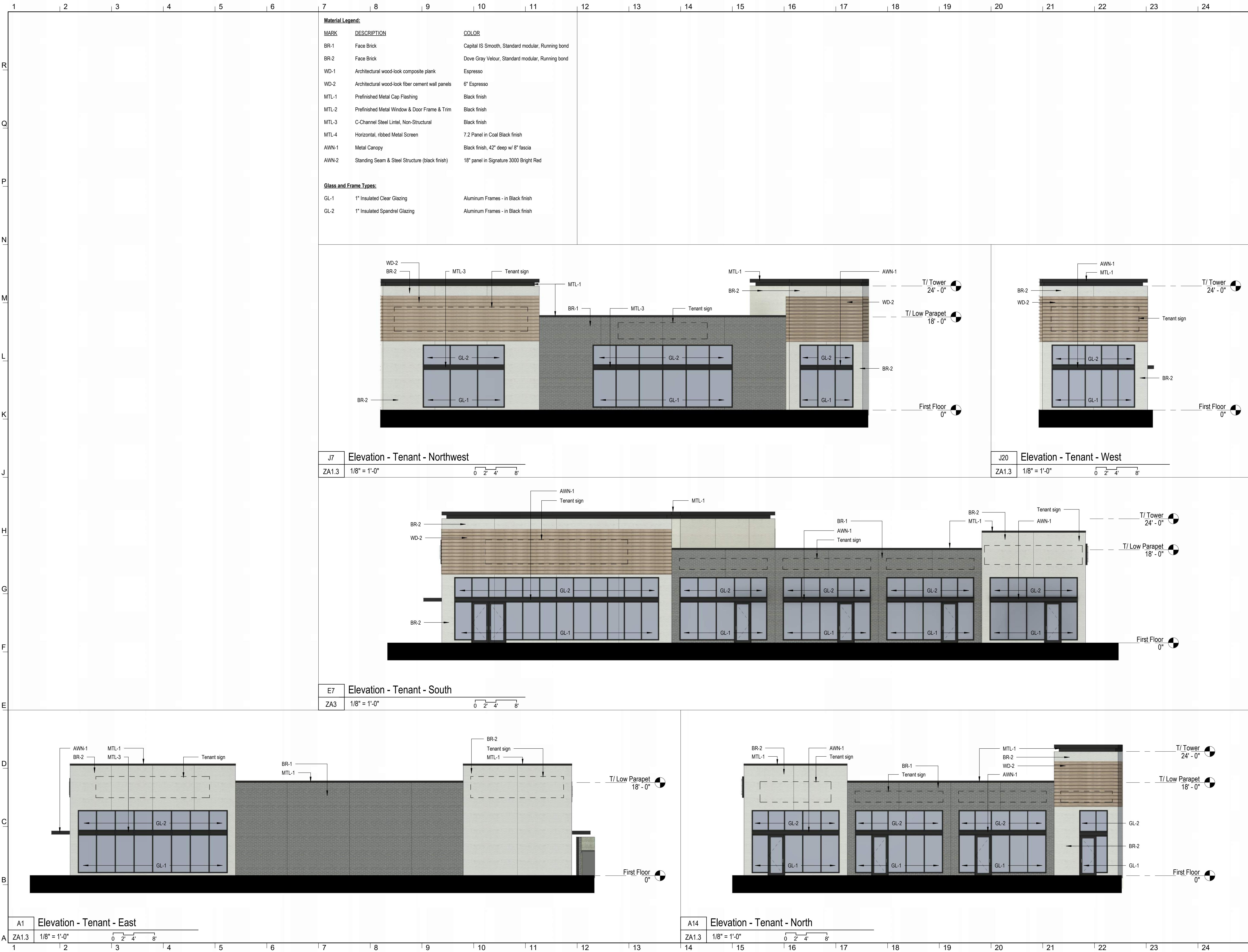
ISSUED FOR:
 KCMO Final Plan Submittal 14 Mar 2025
 KCMO Final Plan Resubmittal 21 April 2025

Missouri Certificate of Authority: #ARC000344

Drawn By
 Checked By
 KS AM

BUILDING ELEVATIONS

A4.0



Fareway Meat Market

1307 W 79th Street
Kansas City, MO 64114

Fareway Stores, Inc
2300 Industrial Park Road
Boone, IA 50036
515.432.2623

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Missouri Certificate of Authority: #ARC000344

NOT FOR CONSTRUCTION

Drawn By
Checked By
KS AM

BUILDING ELEVATIONS - TENANT

A4.1



Meat Market and Tenant - Aerial Site View



NW Corner at Fareway Meat Market



NE Corner at Fareway Meat Market



SW Corner at Tenant Building

Fareway Meat Market

 1307 W 79th Street
 Kansas City, MO 64114

 Fareway Stores, Inc
 2300 Industrial Park Road
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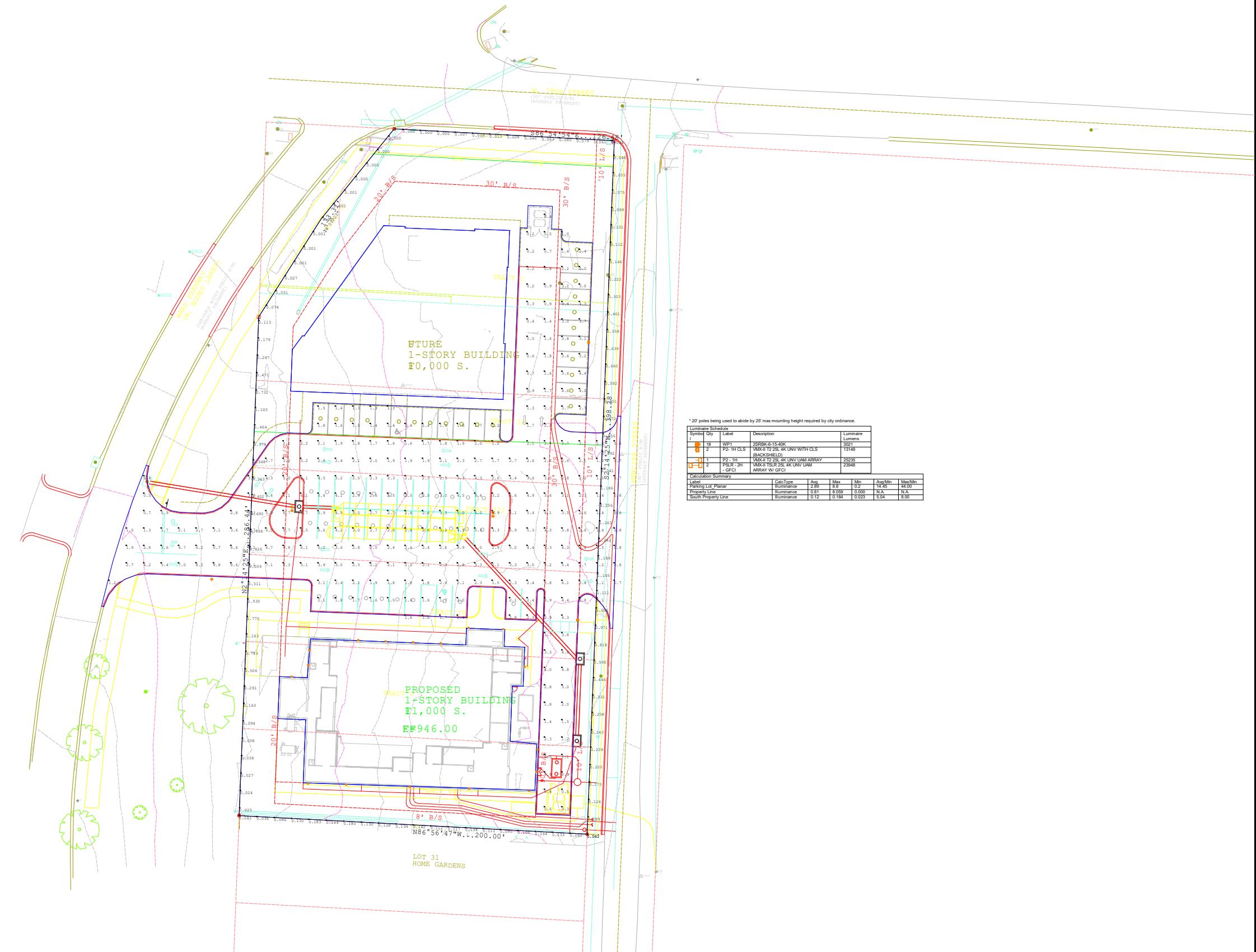
 Missouri Certificate of Authority: #ARC000344
 NOT FOR CONSTRUCTION

 Drawn By
 Checked By
 KS
 AM
 BUILDING AND AERIAL VIEWS
 A4.2
 Project Number: 2024.254 © Copyright 2022

#	Date	Comments

#	Date	Comments

Kansas City, MO Store
Fareway Stores



Public Meeting Notice

Fareway Stores, Inc.
Please join _____

for a meeting about _____
the upcoming redevelopment process at 79th & Ward Parkway.

case number CD-CPC-2025-00041

proposed for the following address: 1307 W 79th Street
Kansas City, MO 64114

Meeting Date: April 23, 2025

Meeting Time: 6PM

Meeting Location: Teams. Directions attached.

Project Description:

Demolition, redevelopment, and construction of a new Fareway Meat Market and
and commerical tenant building.

If you have any questions, please contact:

Name: Koby M. Pritchard

Phone: 515-317-9210

Email: kpritchard@farewaystores.com

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods
for certain types of development projects. You can read more about the process requirements at
kcmo.gov/publicengagement



If you would like further information on this proposed project, please visit the city's planning and permitting system,
Compass KC, at CompassKC.kcmo.org. You may search by project type and address/case number to find project details.

Sincerely,

Koby Pritchard

Koby M. Pritchard, Fareway Stores, Inc.

 Digitally signed by Koby Pritchard
Date: 2025.04.10 13:20:31 -05'00'



Corporate Headquarters
8800 NW 62nd Avenue
Johnston, IA 50131
Phone: 515-432-2623

Fareway Neighborhood Meeting Instructions

www.microsoft.com/en-us/microsoft-teams/join-a-meeting

Meeting ID: 280 277 182 381

Passcode: gD9Sw9xp

Meeting Sign-In Sheet

Project Name and Address

Name	Address	Phone	Email
John Rizzo	7913 Mercier St. Kansas City, MO 64114	(816) 333-1591	akriz42@aol.com
Jacob Johannigmeier	8004 Ward Parkway, Blue Springs, MO 64114	(660) 476-2572	jajohannigmeier@burnsmcd.com
Scott Groves	7909 Mercier St. Kansas City, MO 64114	(913) 244-7158	xcjedi@hotmail.com scott.groves@caramail.com
Koby Pritchard	8800 NW 62nd Ave. Johnston, IA 50131	(515) 432-2623 ext. 5322	kpritchard@farewaystores.com
Mark DeYoung	2300 Industrial Park Road, P.O. Box 70, Boone, IA 50036	(515) 432-2623 ext. 6509	mdeyoung@farewaystores.com
Andy Meyer	817 Wyandotte Kansas City, MO 64105	(816) 569-0824	ameyer@gastingerwalker.com
Kevin Stiegler	817 Wyandotte Kansas City, MO 64105	(816) 569-0824	kstiegler@gastingerwalker.com
Judd Claussen	1270 N. Winchester Olathe, Kansas 66061	(913) 393-1155	jclauessen@phelpseengineering.com



CITY OF
KANSAS CITY,
MISSOURI

CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

Meeting Summary:

Introductions and Overview

Koby Pritchard of Fareway Stores introduced the Fareway team and provided an overview of the company's vision for the site.

Andy Meyer of GasteringWalker& followed by introducing the design team and presenting an overview of the existing site conditions, the proposed site and floor plans, along with renderings and elevation drawings.

Trash Pickup Timing:

John Rizzo raised a concern about early morning trash collection at the new location. Mark noted that a request can be submitted to the city to ensure trash is not picked up before 7:00 AM.

Concerns About Nightlife Atmosphere:

John Rizzo also expressed concern about the potential for a club-like atmosphere or loud nighttime music. Fareway assured attendees that all tenants will be selected to align with the character of the neighborhood—this will not be a late-night or rowdy environment.

Demolition of the Three Houses to the South:

Jacob Johannigmeier asked about plans to demolish the three houses just south of the site. He mentioned that he appreciated the existing patio space and the shade provided by the trees. Judd Claussen explained that while some trees will be removed, others will remain, and additional trees and landscaping will be added.

Project Time line:

Mark DeYoung outlined the expected schedule:

Demolition of the three houses to the south is planned for Summer 2025.

Construction of the new Meat Market is expected to begin in September/October 2025.

The new store is scheduled to open in Fall 2026.

Demolition of the existing Fareway Meat Market building will take place in Fall 2026.

House Demolition Details:

Scott Groves asked which houses will be demolished. The three homes located directly south of the existing site are slated for removal.

Plans and Renderings:

Scott Groves also inquired about where he could view plans and renderings of the project.

Point of Contact:

John Rizzo asked for a reliable contact person.

Koby Pritchard confirmed he is the main point of contact for the project.