



CITY PLAN COMMISSION REPORT

City of Kansas City, Missouri
City Planning & Development
Department www.kcmo.gov/cpc

August 17, 2021

Project Name I-435 & State Line Rd Redevelopment

Docket # Request

#17.1 CD-CPC-2021-00096 Rezoning without Plan
#17.2 CD-CPC-2021-00097 Development Plan

Applicant

Judd Claussen
Phelps Engineering
1270 N Winchester St
Olathe, KS 66061

Owner

United Missouri Bank of Kansas City
C/O Corporate Tax Department
1010 Grand Blvd, 4th Floor
Kansas City, MO 64106

Location	1310 Carondelet Dr
Area	About 4.4 acres
Existing Zoning	B2-2 & R-0.5
Council District	6 th
County	Jackson
School District	Center 120

Surrounding Land Uses

North: I-435
East: St Joseph's Medical Center (zoned R-0.5)
West: I-435 (Kansas)
South: Commercial/QuikTrip (zoned B2-2)

Major Street Plan

State Line Rd is identified as a Thoroughfare on the City's Major Street Plan.

Land Use Plan

The Red Bridge Area Plan identifies the subject property as Mixed Use Community.

APPROVAL PROCESS



NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

Notice of this case was sent to the Center Planning and Development Council and the Country Lane Neighborhood Association.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. A meeting was hosted July 27, 2021 and a summary with sign-in sheets is attached to this report.

EXISTING CONDITIONS

The subject property is southeast of I-435 and State Line Rd. A multi-story bank/office space and associated parking lot for United Missouri Bank of Kansas City (UMB) is currently on the site.

NEARBY DEVELOPMENTS

North: I-435
East: St. Joseph's Medical Center
South: QuikTrip
West: I-435 (Kansas)

SUMMARY OF REQUEST

The applicant is proposing to demolish the existing multi-story building and develop a new UMB building, an additional office building, and a parking garage.

KEY POINTS

- Rezoning from B2-2 and R-0.5 to B2-4 to allow for the redevelopment of the site.
- 3 proposed buildings, (1) UMB Branch, (2) Office building (tenant(s)) unknown, (3) 4-level parking structure.
- Site access off Carondelet Drive.

PROFESSIONAL STAFF RECOMMENDATION

Docket #	Recommendation
17.1	Approval without Conditions
17.2	Approval with Conditions

CONTROLLING CASE

None.

RELATED RELEVANT CASES

Case No. 7394-CP: Amended a preliminary CP-2 plan to allow for a 4 story, 35,000 sq ft building (Ordinance No. 48542)

Case No. 7394-CP-2: Amended the preliminary plan to allow a 76-space parking lot on the property on the south side of Carondelet Drive (Ordinance No. 65421, Committee Substitute passed May 17, 1990).

Case No. 7394-CP-3: On April 3, 1990, the City Plan Commission approved a final plan for the parking lot.

PLAN REVIEW

Rezoning from B2-2 and R-0.5 to B2-4 allows for the redevelopment of the site. Office uses require a Special Use Permit in the R-0.5 zoning district. Additionally, establishing a uniform zoning designation of B2-4 on the site increases the Floor Area Ratio and height for proposed structures.

As noted on the submitted site plans, the development of the whole site will occur in phases. There is insufficient information about the second phase of this development to review, the proposed office building, additional parking lot, and parking structure. A project plan needs to be submitted for the second phase to occur.

REZONING ANALYSIS

In reviewing and making decisions on proposed zoning map amendments, the City Planning and Development Director, City Plan Commission, and City Council must consider at least the following factors:

88-515-08-A. Conformance with adopted plans and planning policies;

The proposed rezoning does follow the Mixed Use Community land use recommendation of the Red Bridge Area Plan.

88-515-08-B. Zoning and use of nearby property;

Properties to the south are zoned B2-2.

88-515-08-C. Physical character of the area in which the subject property is located;

The surrounding area includes an interstate, large medical campus, and low-density commercial (bank, fast food, and gas station establishments). The rezoning will not alter the physical characteristics of the area.

88-515-08-D. Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;

Currently, the I-435 and State Line Rd area is a high-traffic area. There is adequate public infrastructure to serve the development allowed by the rezoning.

88-515-08-E. Suitability of the subject property for the uses to which it has been restricted under zoning regulations;

The surrounding area includes an interstate, large medical campus, and low-density commercial (bank, fast food, and gas station establishments). The uses associated with the B- zoning districts (business/commercial) are suitable for the area.

88-515-08-F. Length of time the subject property has remained vacant as zoned;

The UMB office building was approved for the subject in 1977.

88-515-08-G. The extent to which approving the rezoning will detrimentally affect nearby properties; and

The proposed rezoning will not detrimentally affect nearby properties.

88-515-08-H. The gain, if any, to the public health, safety, and welfare due to the denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

Denial of the rezoning might affect the redevelopment of the existing property.

REQUESTED DEVIATIONS.

The plan does not stipulate or request any deviation.

Use-Specific (88-300) and Development Standards (88-400)

Standards	Applicability	Meets	More Information
Boulevard and Parkway Standards (88-323)	No	N/A	
Parkland Dedication (88-408)	No	N/A	
Parking and Loading Standards (88-420)	Yes	Subject to Conditions	Phase I is in compliance with the code; Phase II will be reviewed with a project plan in the future.
Landscape and Screening Standards (88-425)	Yes	Subject to Conditions	The developer shall submit and secure an approval of an alternative compliance for the required landscape plan regarding to street tree requirements prior to issuance of certificate of occupancy.
Outdoor Lighting Standards (88-430)	Yes	Subject to Conditions	Staff recommended to add 10' perimeter landscaping on the east side of Phase II parking lot. This recommendation will improve screening of spillight at the southeast corner to the adjacent property.
Sign Standards (88-445)	N/A	N/A	A sign package was not submitted, but the signs are expected to comply with 88-445 and be permitted separately.
Pedestrian Standards (88-450)	Yes	Yes	

PROFESSIONAL STAFF RECOMMENDATION

Staff recommends **Approval without Conditions to the rezoning application** and **Approval Subject to Conditions for the Development Plan** as reflected in the attached Conditions Report.

Respectfully submitted,

Ahna Nanoski, AICP
Lead Planner



Plan Conditions, Corrections, & Recommendations Report

Recommended to CPC

Recommended by Development Review Committee

Report Date: August 12, 2021

Case Number: CD-CPC-2021-00097

Project: 435 & State Line Redevelopment

Plan Conditions

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

1. The developer provide acceptable easement and secure permits to relocate sanitary sewers out from under proposed buildings and structures, etc., while continuing to ensure individual service is provided to all proposed lots as required by Land Development Division prior to recording the plat or issuance of a building permit, whichever occurs first. (5/24/2021)
2. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations. (5/24/2021)
3. The developer must enter into a covenant agreement for the maintenance of any stormwater detention area tracts as required by the Land Development Division, prior to recording the plat. (5/24/2021)
4. The developer shall submit construction plans in compliance with adopted standards for all improvements required by the traffic study approved by the Public Works Department, and shall secure permits for those improvements as required by the Land Development Division, prior to recording the plat. (5/24/2021)
5. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required. (5/24/2021)
6. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting (5/24/2021)
7. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities. (5/24/2021)
8. That the north half of Carondelet Drive shall be improved to City standards as required by Chapter 88, to current standards, including curbs and gutters, sidewalks, street lights, relocating any utilities as may be necessary and adjusting vertical grades for the road, etc., and obtaining required permit from Land Development Division for said improvement prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first. (5/24/2021)
9. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division. (5/24/2021)
10. The developer must grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits. (5/24/2021)
11. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division. (5/24/2021)
12. The developer must design and construct all interior public streets to City Standards, as required by Chapter 88 and the Land Development Division, including curb and gutter, storm sewers, street lights, and sidewalks. (5/24/2021)

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

13. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first. (5/24/2021)
14. The developer must grant a city approved pedestrian right-of-way easement, for the portions of the public sidewalks approved to be outside of the street right-of-way, to the City as required by the Land Development Division, prior to recording the plat. (6/01/2021)

Condition(s) by City Planning and Development Department. Contact Xue Wood at 816-513-8823 / Xue.Wood@kcmo.org with questions.

15. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy. (6/09/2021)
16. The developer shall secure approval of a project plan for Phase II (an office building and a parking garage) from the City Plan Commission prior to building permit. (6/09/2021)
17. The developer shall secure approval of a street tree planting plan from the City Forester and plant according to said plan prior to recording the final plat. (6/09/2021)
18. All proposed signage shall comply with 88-445 and are subject to permits. (6/09/2021)
19. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy. (6/09/2021)
20. Screening of all containers, dumpsters, mechanical equipment or utility equipment shall comply with 88-425-08. (7/12/2021)
21. The applicant shall continue to work with staff to make the following corrections prior to request for ordinance:
 - a. Add sidewalks and pedestrian crossing to the parking lot located on the east side of the private entry from Carondelet Drive of Phase II.
 - b. Add 10' perimeter landscaping on the east side of Phase II parking lot in compliance with 88-425-05.
 - c. The UMB sign and its supporting structure located above the general roof lines shall be decreased. The proposed size shall not exceeds 50 square feet and the highest point of the structure shall not exceed 30 feet above the average ground level. (8/05/2021)

Condition(s) by Fire Department. Contact Michael Schroeder at 816-513-4611 / michael.schroeder@kcmo.org with questions.

22. • The expectation is the project will meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1) (6/10/2021)
23. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) (6/10/2021)
24. • Fire hydrant distribution shall follow IFC-2018 Table C102.1 (6/10/2021)

Condition(s) by Parks & Recreation. Contact Justin Peterson at 816-513-7599 / Justin.Peterson@kcmo.org with questions.

25. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way (6/10/2021)

Condition(s) by Water Services Department. Contact Heather Massey at / heather.massey@kcmo.org with questions.

26. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations.
<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Service-Lines.pdf>
(6/08/2021)
27. The developer shall have the existing water service lines killed at the public water main. (6/08/2021)

Condition(s) by Water Services Department. Contact Jerald Windsor at 816-513-2904 / Jerald.Windsor@kcmo.org with questions.

28. Water Department must approve any changes of grade over the Water Main. (6/08/2021)

"Redevelopment Plan - NE Corner of State Line Rd & Cavendish Rd



TRAILSIDE CENTER

(Please Sign In)



Event: "Center Plan & Redevelopment" 7/27/2021
 Date: 7/27/2021 Time: 9:00 P.M. -

Date	Name (Please Print)	City & State	Country	Organization/Comments
7/27/21	Chuck Loomis	KC MO	USA	Trailside Center Director
7/27/21	JAKE BAKER	KANSAS CITY MO	USA	HOK ARCHITECTURE
7-27-21	DAVID REZAC	KC MO	USA	VANTRUST REAL ESTATE
7/27-21	James Moore	FDNY	✓	Red Bob Estates
7/27/21	Judd Claussen	Overland Park KS	✓	Phelps Engineering, Inc.
7/27/21	Josh Christopher	KC MO	USA	JE Dunn Construction
✓	Frank Szwedowski	KC MO	✓	RETIRED
✓	Orville M. Seal	KCMO		
	Terrence Nash	KCMO		Country Lane Estates
✓	Marice Thatche	Raytown MO	USA	BANKERS SECURITY

Note: Sign-in sheets are the property of the Historical Society of New Santa Fe. All information will be kept confidential.



TRAILSIDE CENTER

(Please Sign In)



Event: UMB Meet 27 July
 Date: Time:

Date	Name (Please Print)	City & State	Country	Organization/Comments
now	Bob Kessel	KC Mo		
7/27	Mary Nestel Bon Weasing	KCMO	Jackson	Palmira Hills South Hq.
7/27	Sharon Wilbourn	KC	Jackson	Foxcroft
7/27	Danny & Sharon Hill	KC	SoCal	Red Bungal

Note: Sign-in sheets are the property of the Historical Society of New Santa Fe. All information will be kept confidential.

"Redevelopment Plan - NE Corner of State Line Rd
 + Cason Rd" " "

TRAILSIDE CENTER

(Please Sign In)

Event:

"Center Plan + Development"

7/27/21

Date:

7/27/2021

Time:

7:00 P.M.



Date	Name (Please Print)	City & State	Country	Organization/Comments
7/27/21	Carole KB Wisthouse			West Bonister Neighborhood
7/27/21	JOE HUBER			Wright Base
"	Jill Turk			VANTRUST Real Estate
"	Wendy Janner Schryver			Bridleway HOA

Note: Sign-in sheets are the property of the Historical Society of New Santa Fe. All information will be kept confidential.

Center Planning and Development Council

Tuesday, July 27, 2021 7PM

Trailside Center, 9901 Holmes Road, Kansas City, MO 64131

AGENDA

1. Representatives from GastingerWalker, HOK, VanTrust and UMB will discuss the proposal for a Redevelopment plan for the northeast corner of State Line Rd and Carondolet Rd. This will involve a rezoning from B2-2 to B2-4 to allow redevelopment for financial services and office uses on about 4,398 acres.

The project will demolish UMB's existing building and create a new smaller branch bank at the southwest corner of the property. The remaining property is currently shown as a multistory office building and a structured parking garage.

Announcements

Thanks to Bridlespur Homes Association for their donation to Center Planning and Development Council.

Center Planning and Development Council

Board Members

President

Carol Winterowd

Vice President

Stacey Johnson-Cosby

Secretary

Joyce Maas

Treasurer

Ben Wearing

Cecelia Ball * Sharron Hill * Chuck Loomis * Joe Nastasi

Dr. Sharon Nibbelink * Wanda Shipman * Frank Swendrowski * Carol Finlay Cutler

~Working for the Future of Our Communities~





CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

“The project team presented the proposed development plan which included the Office Building, Parking Garage, Branch Bank, and overall master plan. We shared the 3d model and rotated around the site so the audience better understood the massing and scale of the development from all angles. We shared the proposed schedule and then opened it up for discussion. The audience had questions related to:

- Building Signage
- Site Drainage
- Traffic concerns
- Office tenants and occupancy
- What constitutes a ‘Class A’ Office building
- Landscaping
- If there was a possible Restaurant tenant = no

It was a good discussion and everyone seemed to support the new development. There were 28 people attending the meeting, which began at 7:00 p.m. and concluded about 8:15 p.m.”

Exhibits:

- Introduction Powerpoint

1310 Carondelet Drive

Preliminary Development Plan
Kansas City, Missouri

July 27, 2021



Project Team

Developers: UMB and VanTrust Real Estate

Property Owner: UMB

Architects: HOK and GastingerWalker

Civil Engineer: Phelps Engineering



Project Site

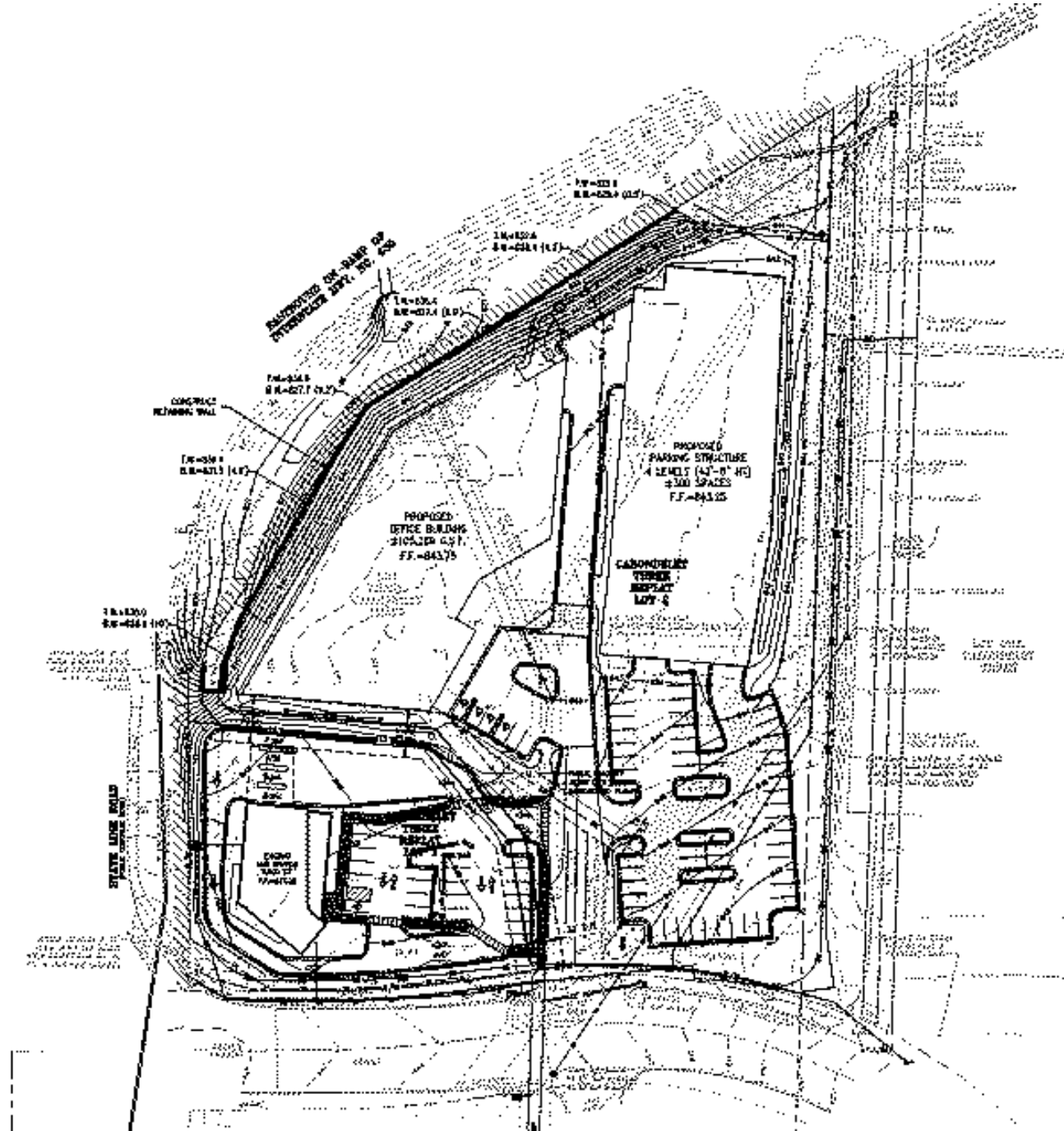
1310 Carondelet Drive is located on an 4.39 acre parcel that is bordered by State Line Road on the west, Interstate I-435 on the north, Carondelet Drive on the south and an adjacent parcel on the east.

1310 Carondelet Drive

Our master plan for this development consists of:

- a new 4,500 sf UMB Branch Bank
- a new 4-story 105,289 gsf Office building
- a new 4-story 300-car structured parking Garage
- new surface parking accommodating approximately 80 spaces.

The existing office building will be demolished.



1310 Carondelet Drive

The proposed new UMB Branch Bank will be modern with clean lines & materials, subtle scale and appropriate proportions.

The design will compliment the design & materials of the proposed Office Building.



East Elevation
7/1/17

MATERIAL (2016) 1.000000 2.0000 3.0000 4.0000 5.0000 6.0000 7.0000 8.0000 9.0000 10.0000



South Elevation
7/1/17



West Elevation
7/1/17



North Elevation
7/1/17



Southeast Perspective
7/1/17



Southeast Perspective
7/1/17

1310 Carondelet Drive



View looking West



View looking East

The proposed new Office Building and Garage will be modern with clean lines & natural materials, subtle scale and appropriate proportions.

The design will compliment the design & materials of the proposed UMB Branch Bank.



View looking Northwest



View looking North

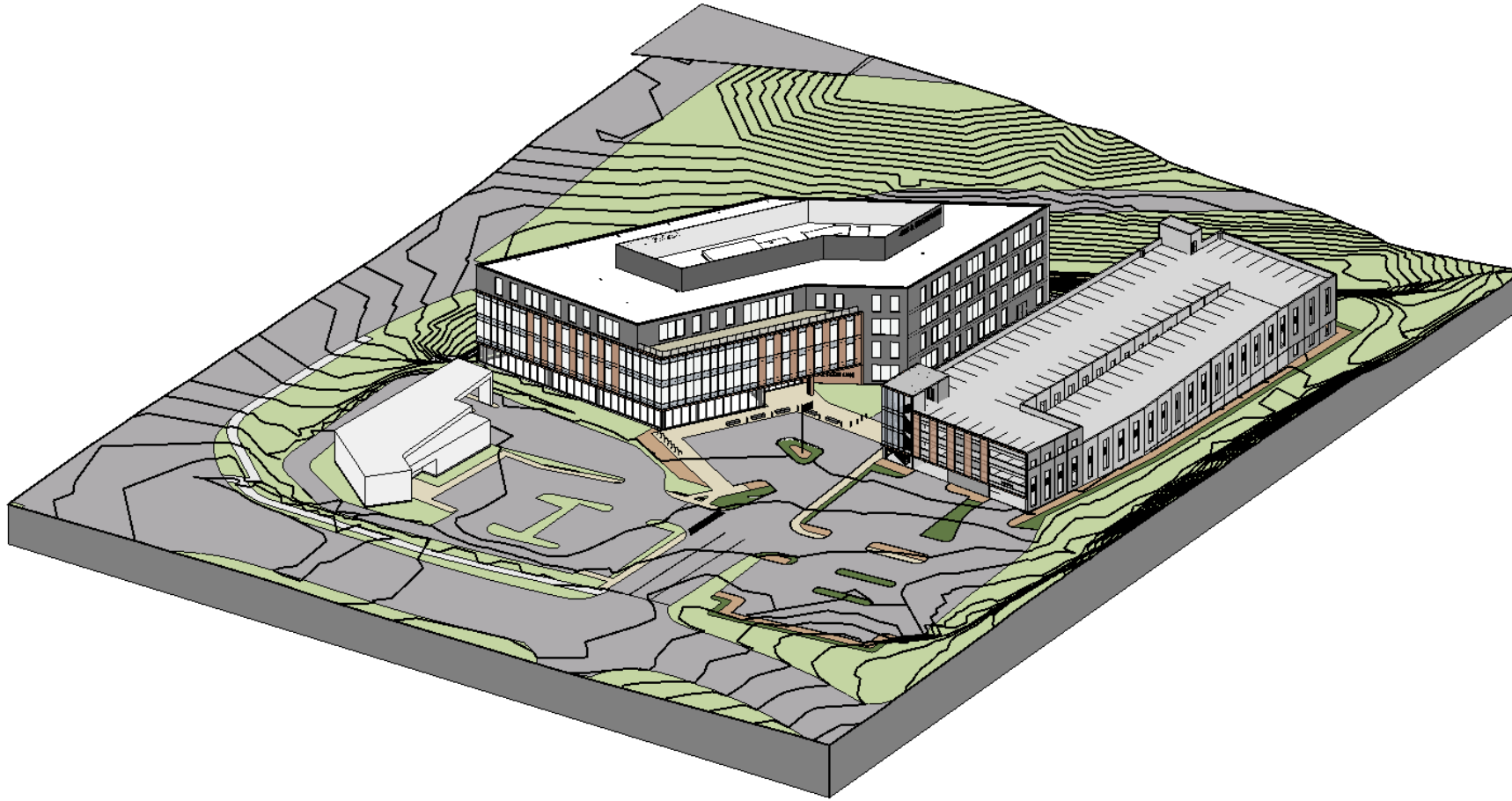
1310 Carondelet Drive

SCHEDULE

The Temporary Bank will be placed in the southeast surface lot in the Fall of 2021. This will then allow demolition of the existing building. Construction of the new UMB Branch Bank should begin in December 2021 and be complete in Fall of 2022.

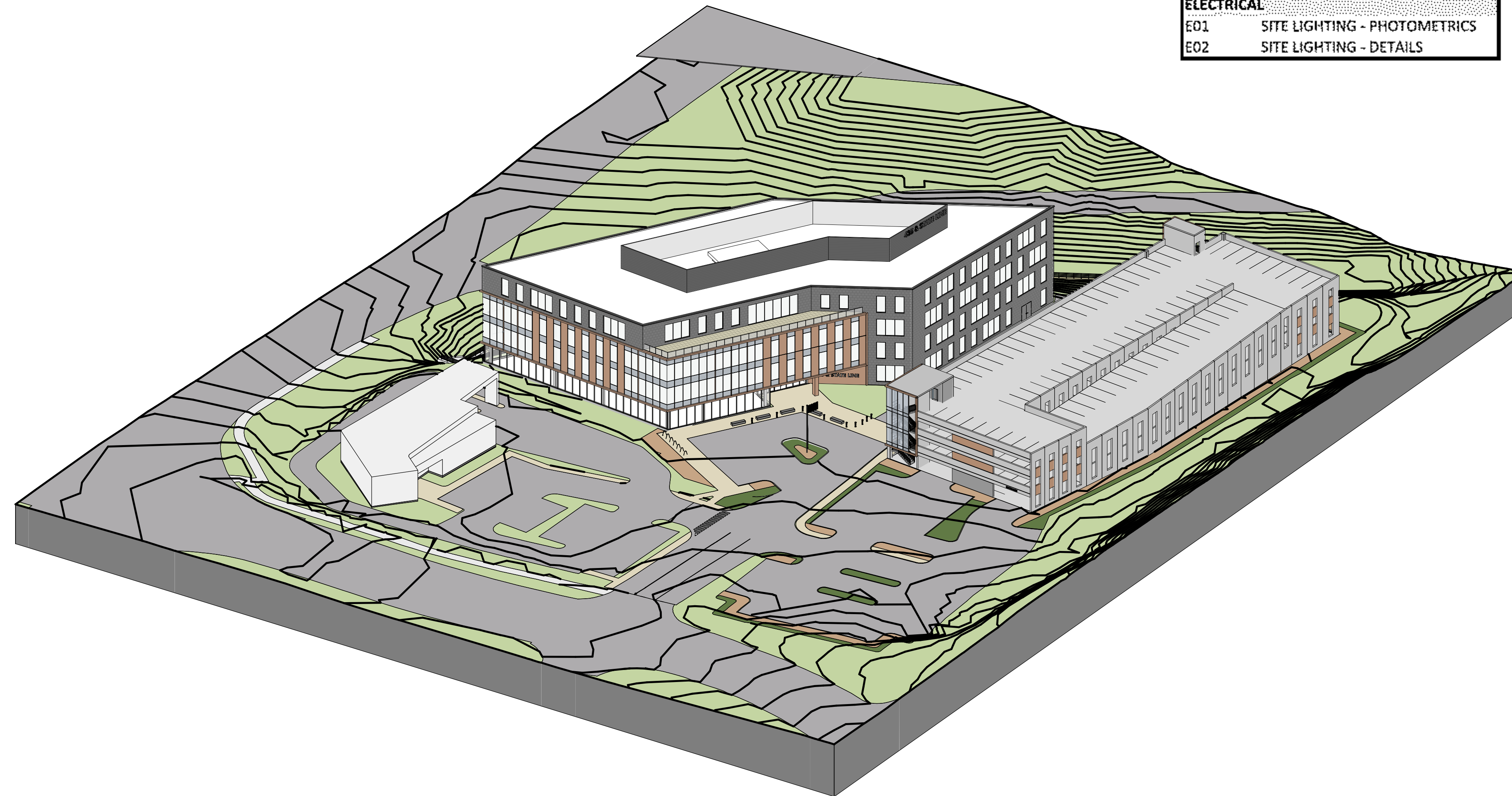
VanTrust would like to sign an anchor tenant prior to beginning construction on the Office Building and Garage.

UMB and VanTrust is excited about this development and look forward to continuing to be a good neighbor.



435 & STATE LINE REDEVELOPMENT

Preliminary Development Plan Resubmission // 7.1.2021



SHEET INDEX	
CIVIL	
C0	OVERALL SITE PLAN
C0.1	PRELIMINARY PLAT
C0.2	OVERALL SITE PLAN - AERIAL
C1	DEMOLITION PLAN - PHASE 1
C1.1	SITE PLAN - PHASE 1
C1.2	GRADING PLAN - PHASE 1
C1.3	UTILITY PLAN - PHASE 1
C2	DEMOLITION PLAN - PHASE 2
C2.1	OVERALL SITE PLAN - PHASE 2
C2.2	ENLARGED SITE PLAN - PHASE 2
C2.3	ENLARGED SITE PLAN - PHASE 2
C2.4	GRADING PLAN - PHASE 2
C2.5	UTILITY PLAN - PHASE 2
C3	STORM SEWER PLAN & PROFILE
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L-102	BANK LANDSCAPE PLAN
ARCHITECTURAL	
A01	OFFICE ELEVATIONS
A02	GARAGE ELEVATIONS
A03	UMB BANK ELEVATIONS
ELECTRICAL	
E01	SITE LIGHTING - PHOTOMETRICS
E02	SITE LIGHTING - DETAILS



Project
435 & STATE LINE
 1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
 4900 Main St. Ste 400, Kansas City, MO 64112
 and

UMB Financial Corporation
 1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
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GastingerWalker&

UMB Retail Bank Architect
 817 Wyandotte St, Kansas City, MO 64105
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 In Association with

Phelps Engineering Inc
 Civil Engineering
 1270 N Winchester St #5878, Olathe, KS 66061

Oppermann LandDesign LLC
 Retail Bank Landscape Architect
 22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
 Engineering Consultant
 1730 Walnut St, Kansas City, MO 64108

Professional Seals

NOT FOR CONSTRUCTION

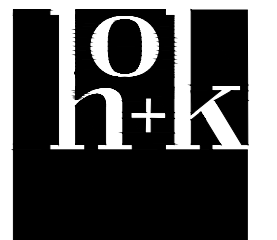
No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021

Project No: 20.70060.00
 Sheet Title:

COVER SHEET

Original is 36 x 24. Do not scale contents of this drawing.
 Sheet Number

G00



**PDP SUBMITTAL
NOT FOR
CONSTRUCTION**

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

LEGAL DESCRIPTION:

LOT THREE (3), CARONDELET THREE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, EXCEPT THEREFROM THAT PART DEEDED TO THE CITY OF KANSAS CITY, A MUNICIPAL CORPORATION, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT THREE; THENCE NORTH 0 DEGREES, 14 MINUTES 00 SECONDS WEST, ALONG THE WEST LINE OF SAID LOT THREE, A DISTANCE OF 35.78 FEET; THENCE SOUTH 58 DEGREES 08 MINUTES 01 SECONDS EAST, A DISTANCE OF 67.34 FEET, TO A POINT ON THE SOUTH LINE OF SAID LOT THREE; THENCE SOUTH 89 DEGREES 46 MINUTES 00 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT THREE, A DISTANCE OF 57.05 FEET TO THE POINT OF BEGINNING.

AREA = 4.3230 ACRES / ±188,310 SQ.FT.

OWNER:

UNITED MISSOURI BANK OF KANSAS CITY
C/O CORPORATE TAX DEPARTMENT
1010 GRAND BLVD 4TH FLOOR
KANSAS CITY, MISSOURI

SCHEDULE:

Commencement of Construction Date: 10-01-21
Completion of Construction Date: 02-01-24

BUILDING & LOT DATA

Site Area	188,310 S.F./4.32 Ac.
Zoning	B2-2, R-0.5
Existing	B2-2, R-0.5
Proposed	B2-4
Phase 1	
Lot 1 Area	0.94 Ac.
UMB Bank	
Building S.F.	4,500 S.F.
# of Stories	1 Story
Building Height	25'-0" (Building)
	40'-0" (Tower/Clerestory)
Floor Area Ratio (FAR)	0.1099
Building Coverage	4,500 SF (0.1099)
Phase 2	
Lot 2 Area	3.38 Ac.
Office Building	
Building S.F.	105,289 S.F.
# of Stories	4 Stories
Building Height	58'-0"
Floor Area Ratio (FAR)	0.7151
Building Coverage	26,800 SF (0.1820)
Parking Garage	
Building S.F.	108,000 S.F.
# of Stories	4 Stories
Building Height	43'-6"
Floor Area Ratio (FAR)	0.7335
Building Coverage	27,000 SF (0.1834)
Lot 2 Total	
Building S.F.	213,289 S.F.
Floor Area Ratio (FAR)	1.4487
Building Coverage	53,800 SF (0.3654)
Overall	
Lot 1 and Lot 2 Area	4.32 Ac.
Total Building S.F.	217,789 S.F.
Total Floor Area Ratio (FAR)	1.1573
Total Building Coverage	58,300 SF (0.1663)

PARKING SUMMARY

Phase 1 - Lot 1		
Parking Required:		
Financial Services (all other) 2.5 Spaces for Every 1,000 S.F.	11 Spaces	
Parking Provided:		
Exterior Parking Spaces	22 Spaces	
Required Accessible Parking Spaces (1-25)	1 Spaces	
Phase 2 - Lot 2		
Parking Required:		
Office (general) 1 Space For Every 1,000 S.F.	105 Spaces	
Parking Provided:		
Parking Garage Parking Spaces	300 Spaces	
Exterior Parking Spaces	58 Spaces	
Total Parking Provided	358 Spaces	
Required Accessible Parking Spaces (301-400)	8 Spaces	

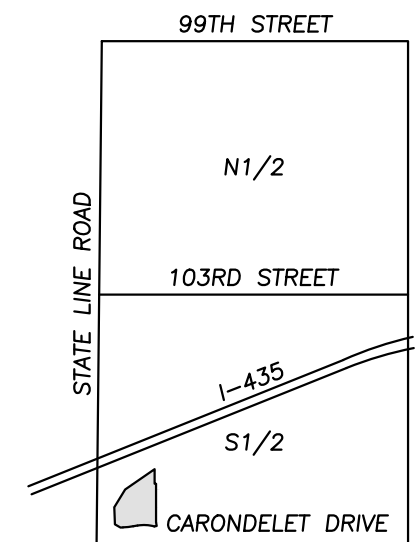
LEGEND

PL	PROPERTY LINE
LL	LOT LINE
R/W	RIGHT-OF-WAY
---	2' CURB & GUTTER
▒	ASPHALT PAVEMENT
▒	PERVIOUS PAVEMENT
▒	PROPOSED BUILDING
▒	CONCRETE PAVEMENT
▒	CONCRETE SIDEWALK

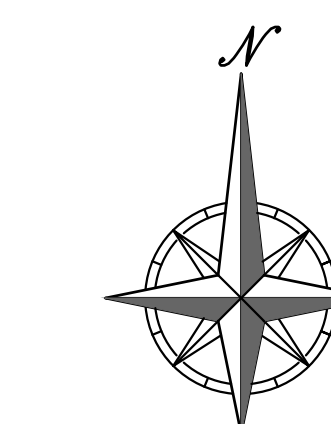
UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



Know what's below.
Call before you dig.

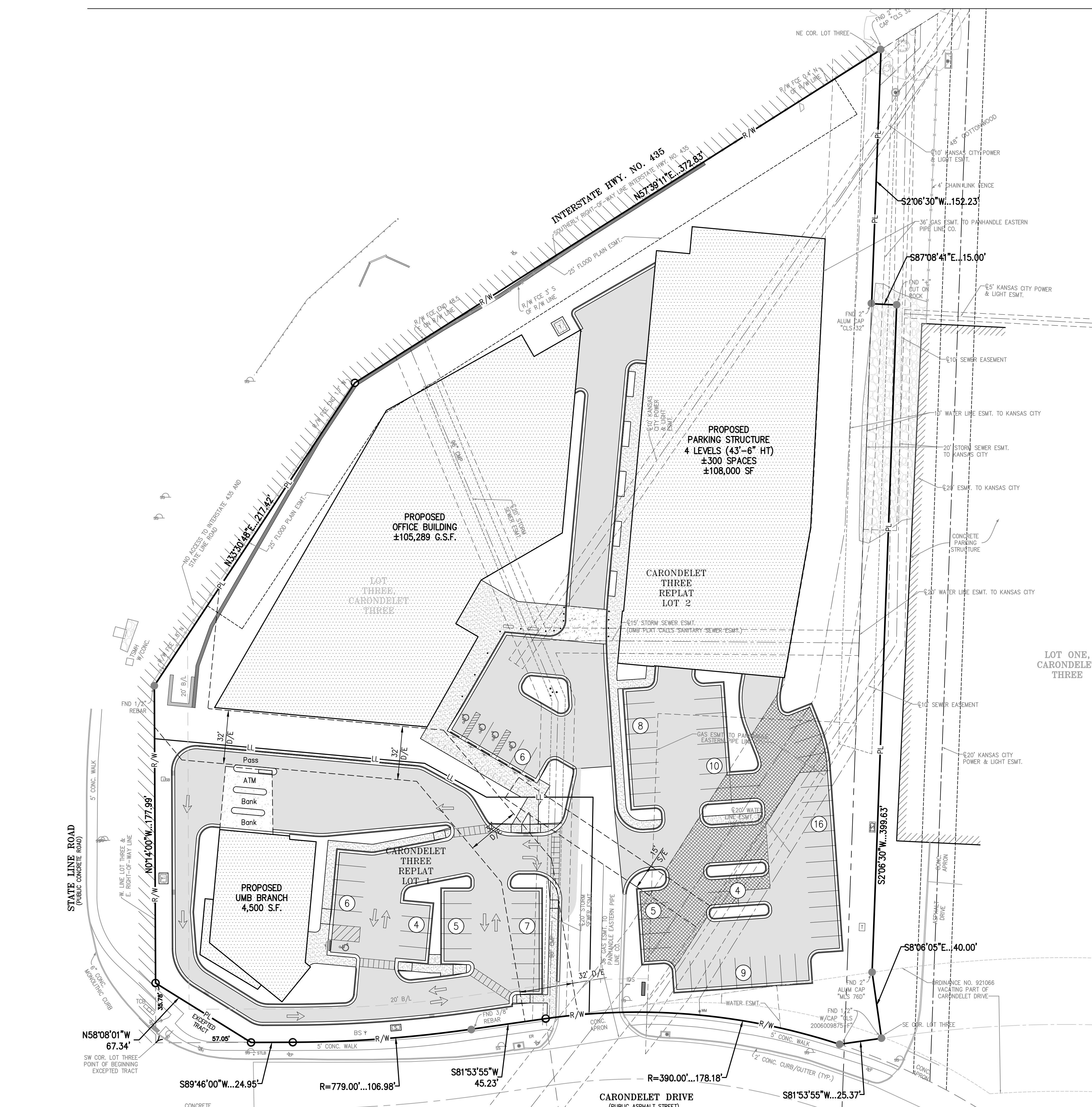


VICINITY MAP
FRAC. SEC. 31-48-33



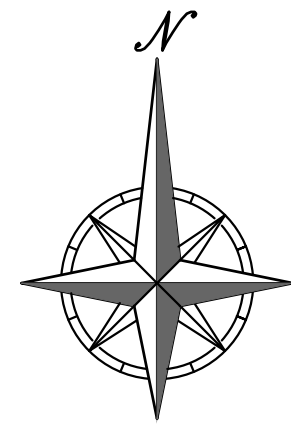
SCALE: 1"=30'
0' 30' 60'

PEI #210040



PRELIMINARY PLAT OF CARONDELET THREE REPLAT

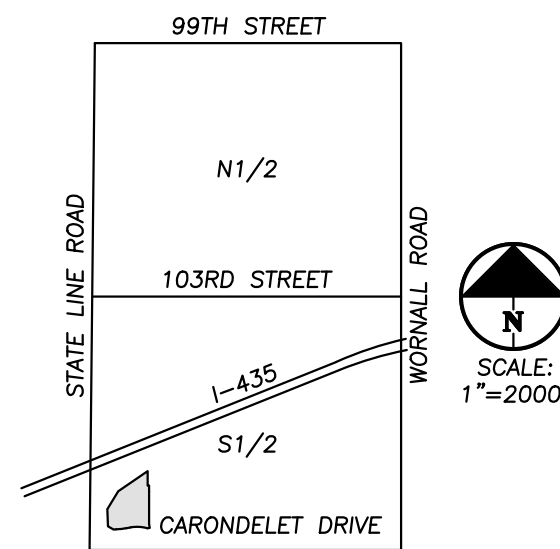
A REPLAT OF LOT 3, CARONDELETE THREE, A PLATTED SUBDIVISION IN THE SOUTH HALF OF FRACTIONAL SECTION 31,
TOWNSHIP 48 NORTH, RANGE 33 WEST, IN THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI



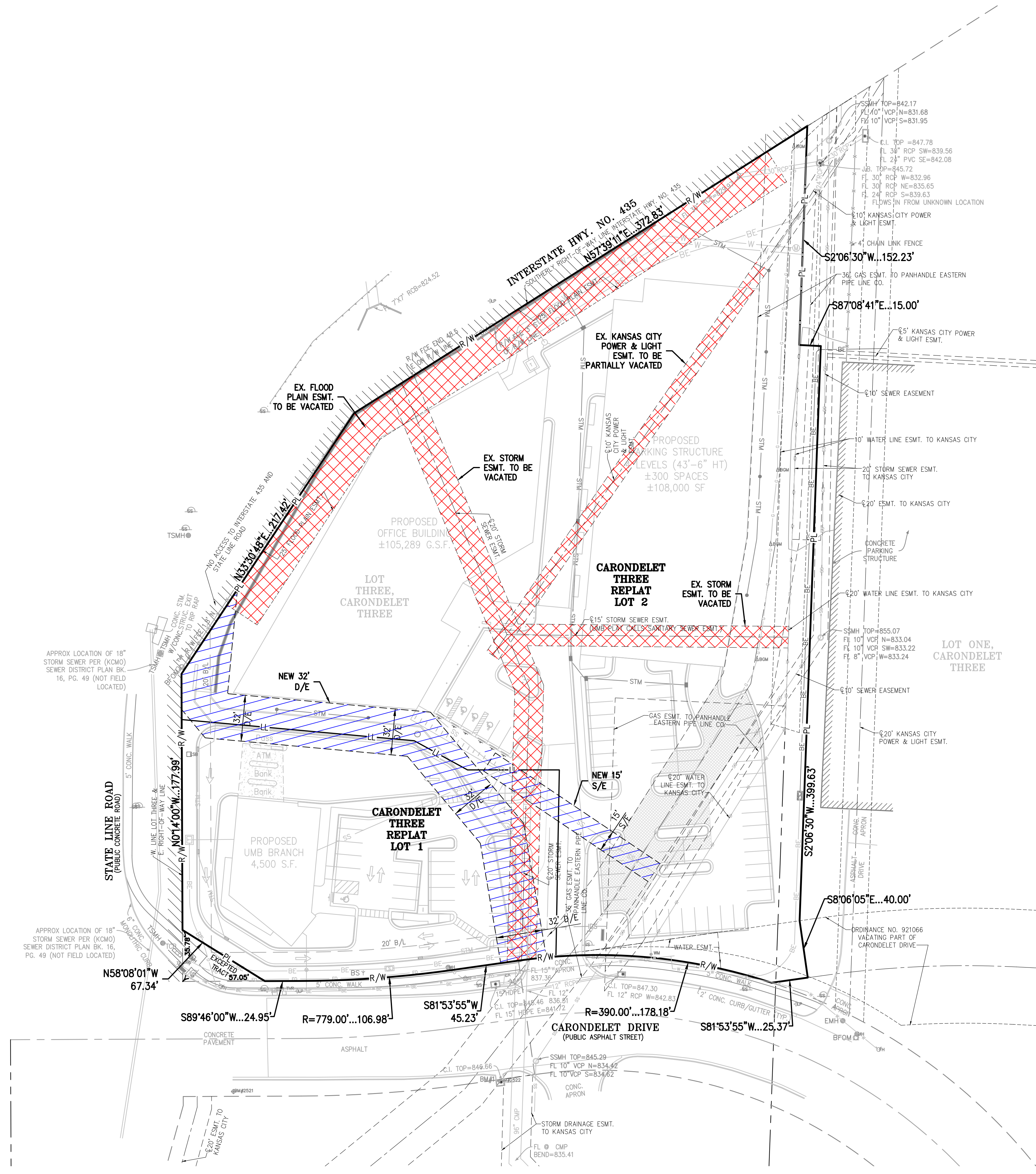
SCALE: 1"=40'
0' 40' 80'

LOT AREAS		
PARCEL	AREA (S.F.)	AREA (AC.)
LOT 1	40907.00	0.9391
LOT 2	147403.26	3.3839
PLAT	188310.27	4.3230

- B.L. DENOTES BUILDING LINE
- U/E DENOTES UTILITY EASEMENT
- L/E DENOTES LANDSCAPE EASEMENT
- T.P.E. DENOTES TREE PRESERVATION EASEMENT
- DENOTES PROPOSED SIDEWALK
- - - DENOTES EXISTING SIDEWALK
- - - DENOTES EXISTING FENCE
- SS DENOTES SANITARY SEWER
- DENOTES STORM SEWER



VICINITY MAP
FRAC. SEC. 31-48-33



LEGAL DESCRIPTION:

LOT THREE (3), CARONDELET THREE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, EXCEPT THEREFROM THAT PART DEEDED TO THE CITY OF KANSAS CITY, A MUNICIPAL CORPORATION, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT THREE, THENCE NORTH 0 DEGREES, 14 MINUTES 00 SECONDS WEST, ALONG THE WEST LINE OF SAID LOT THREE, A DISTANCE OF 35.78 FEET; THENCE SOUTH 58 DEGREES 08 MINUTES 01 SECONDS EAST, A DISTANCE OF 67.34 FEET; TO A POINT ON THE SOUTH LINE OF SAID LOT THREE; THENCE SOUTH 89 DEGREES 48 MINUTES 00 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT THREE, A DISTANCE OF 57.05 FEET TO THE POINT OF BEGINNING.

AREA = 4.3230 ACRES / ±188,310 SQ.FT.

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF KANSAS CITY, COMMUNITY NO. 290173, JACKSON COUNTY, MISSOURI, MAP NO. 29095C03866, AND DATED JANUARY 20, 2017.

PHASING TABLE/TIMELINE:

Commencement of Construction Date: 10-01-21
Completion of Construction Date: 02-01-24

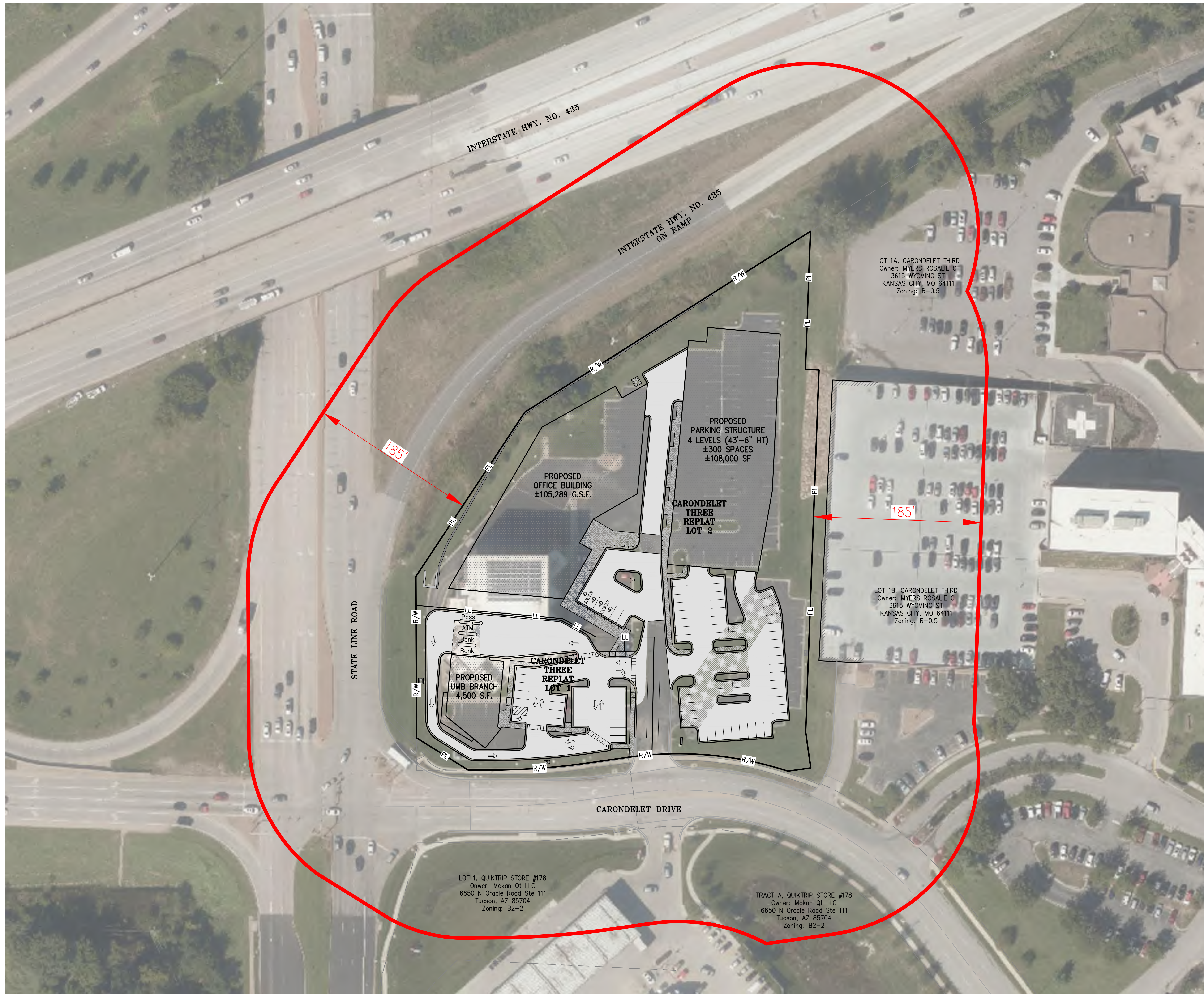
OWNER:

UNITED MISSOURI BANK OF KANSAS CITY
C/O CORPORATE TAX DEPARTMENT
1010 GRAND BLVD 4TH FLOOR
KANSAS CITY, MISSOURI

ENGINEER/APPLICANT:

PHELPS ENGINEERING, INC.
1270 N. WINCHESTER
OLATHE, KS. 66061
(913) 393-1155
(913) 393-1166 FAX

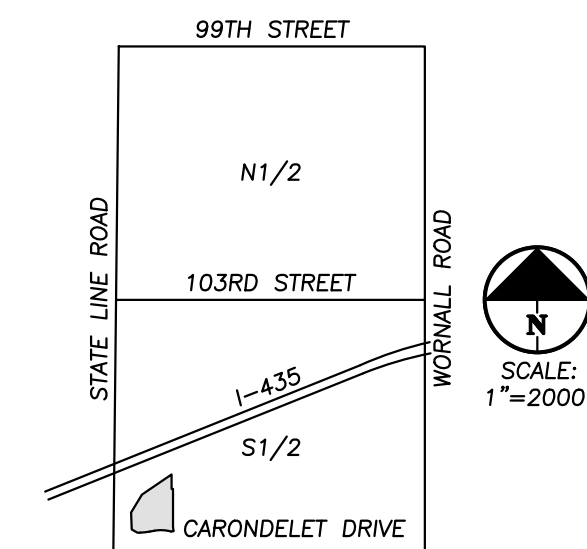
PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166



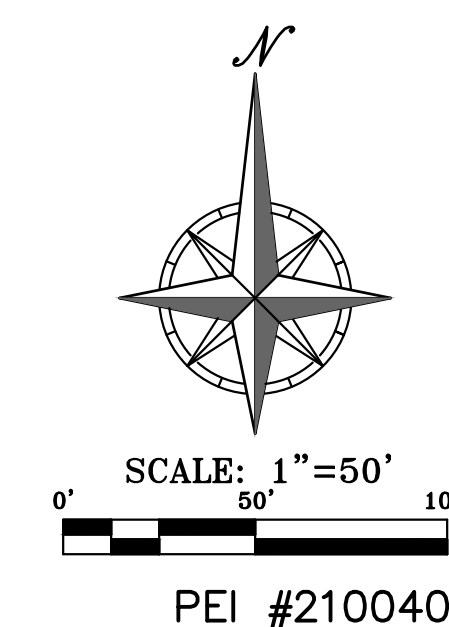
**PDP SUBMITTAL
NOT FOR
CONSTRUCTION**

LEGEND

— PL —	PROPERTY LINE
- - LL - -	LOT LINE
- - R/W - -	RIGHT-OF-WAY
====	2' CURB & GUTTER
[Pattern]	ASPHALT PAVEMENT
[Pattern]	PROPOSED BUILDING
[Pattern]	CONCRETE PAVEMENT
[Pattern]	CONCRETE SIDEWALK
[Pattern]	PERVIOUS PAVEMENT



VICINITY MAP
FRAC. SEC. 31-48-33



No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

Project
435 & STATE LINE
 1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
 4900 Main St. Ste 400, Kansas City, MO 64112
 and

UMB Financial Corporation
 1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
 300 West 22nd Street
 Kansas City, MO 64108 USA
 t+1 816 472 3360 f+1 816 472 2100

GastingerWalker

UMB Retail Bank Architect
 817 Wyandotte St, Kansas City, MO 64105
 t+1 816 421 8200 f+1 816 421 1262

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 In Association with

Phelps Engineering Inc
 Civil Engineering
 1270 N Winchester St #5878, Olathe, KS 66051

Oppermann LandDesign LLC
 Retail Bank Landscape Architect
 22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
 Engineering Consultant
 1730 Walnut St, Kansas City, MO 64108

Professional Seals

**PDP SUBMITTAL
 NOT FOR
 CONSTRUCTION**

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

Project No: 20.70060.00
 Sheet Title:

ALTA SURVEY

Original is 36 x 24. Do not scale contents of this drawing.
 Sheet Number

PEI
 PHILIPS ENGINEERING, INC.
 1270 N. WINCHESTER
 OLATHE, KANSAS 66051
 (913) 393-1115
 FAX (913) 393-1166
 WWW.PHELPSENGINEERING.COM



ALTA/NSPS LAND TITLE SURVEY
 LOT THREE, CARONDELET THREE
 CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI
 1310 CARONDELET DRIVE

PROJECT NO.	DATE	BY	APP.	REVISIONS
210040	2/18/21			

SHEET
1
 OF 1

SURVEY NOTES:

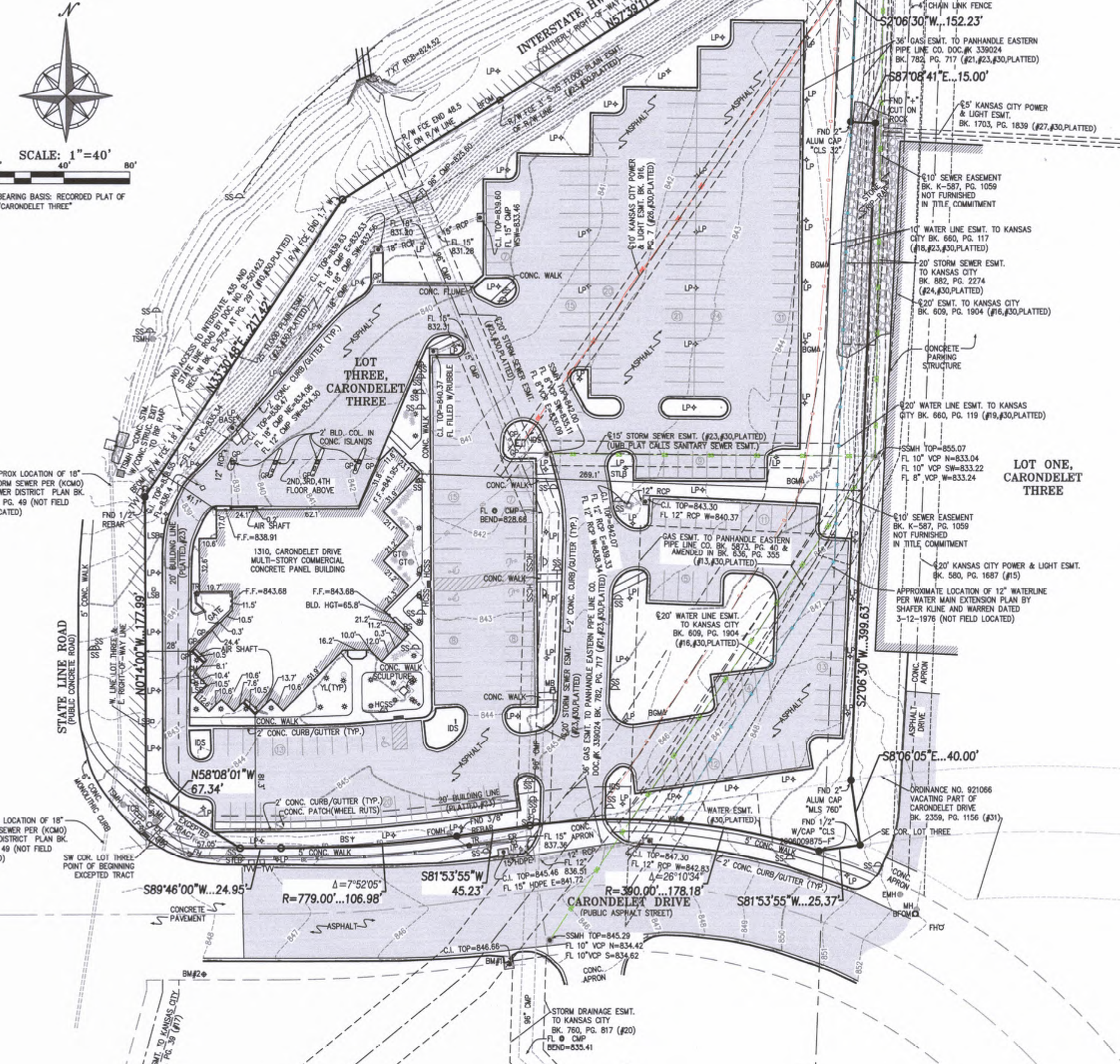
- THERE ARE 243 PARKING STALLS, WHICH INCLUDES 5 HANDICAP STALLS. PARKING STALLS ARE MARKED WITH STRIPES AS SHOWN HEREON.
- DISTANCE TO THE CENTERLINE OF CORONDELET DRIVE AND STATE LINE ROAD INTERSECTION IS 380 FEET.
- THERE IS NO VISIBLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE WERE NO FIELD DELINEATIONS OF WETLANDS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- CONTOURS SHOWN HEREON ARE AT 1 FOOT INTERVALS.
- SIDEWALKS ALONG STREETS ARE PUBLIC CITY SIDEWALKS.
- THIS PROPERTY HAS ACCESS TO CORONDELET DRIVE A PUBLIC STREET.
- AT THE TIME OF THIS SURVEY THE SURVEYED PROPERTY WAS SNOW COVERED AND EVERY ATTEMPT WAS MADE TO LOCATE ALL FEATURES ON THIS PROPERTY, HOWEVER, THIS SURVEYOR CANNOT BE CERTAIN THAT ALL FEATURES ON THIS PROPERTY WERE VISIBLE AS OF THE DATE OF SURVEY.
- ALL BUILDING DIMENSIONS WERE MEASURED AT GROUND LEVEL.

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF KANSAS CITY, COMMUNITY NO. 290173, JACKSON COUNTY, MISSOURI, MAP NO. 29095C03866, AND DATED JANUARY 20, 2017.



- LEGEND:**
- FOUND SURVEY MONUMENT (ORIGIN UNKNOWN UNLESS DESCRIBED)
 - SET 1/2" X 24" REBAR WITH PLASTIC CAP STAMPED "MOCL5200700128"
 - ACU AIR CONDITIONING UNIT
 - BFOM FIBER OPTIC MARKER
 - BGM BURED GAS MARKER
 - BM BENCHMARK
 - BS BUILDING SPRINKLER
 - EMH ELECTRIC MANHOLE
 - EM ELECTRIC METER
 - ER ELECTRIC RISER
 - ET ELECTRIC TRANSFORMER
 - FH FIRE HYDRANT
 - FOMH FIBER OPTIC MANHOLE
 - GM GAS METER
 - GP GUARD POST
 - GT GREASE TRAP
 - HCS HANDICAP SIGN
 - IDS INFORMATION DIRECTION SIGN
 - LP LIGHT POLE
 - LSR LAWN SPRINKLER BOX
 - MB MAIL BOX
 - MH MANHOLE
 - RM RIGHT OF WAY MARKER
 - SS STREET SIGN
 - SSMH SANITARY SEWER MANHOLE
 - STLB STREET LIGHT BOX
 - STLHM STREET LIGHT MANHOLE
 - STMH STORM SEWER MANHOLE
 - TCS TRAFFIC CONTROL BOX
 - TMH TELEPHONE MANHOLE
 - TR TELEPHONE RISER
 - TVR TELEVISION RISER
 - WM WATER METER
 - WMH WATER MANHOLE
 - WV WATER VALVE
 - YL YARD LIGHT
 - BUSH
 - DEODOROUS TREE
 - G.I. GRATE INLET
 - C.I. CURB INLET
 - J.B. JOINT BOX
 - F.F. FINISH FLOOR
 - B.L. BUILDING LINE
 - (P) PLATTED
 - (D) DEEDED
 - (M) MEASURED
 - (A) APPARENT ENCROACHMENT
 - DETECTABLE WARNING SURFACE
 - BURIED TELEPHONE LINE
 - CABLE TELEVISION LINE
 - FIBER OPTIC LINE
 - WATER LINE
 - GAS LINE
 - BURIED ELECTRIC LINE
 - PROPERTY LINE
 - RIGHT OF WAY LINE
 - SANITARY SEWER LINE
 - STORM SEWER LINE
 - FENCE LINE
 - GUARD RAIL



LEGAL DESCRIPTION:

LOT THREE (3), CARONDELET THREE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, EXCEPT THEREFROM THAT PART DEEDED TO THE CITY OF KANSAS CITY, A MUNICIPAL CORPORATION, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT THREE; THENCE NORTH 0 DEGREES, 14 MINUTES 00 SECONDS WEST, ALONG THE WEST LINE OF SAID LOT THREE, A DISTANCE OF 35.78 FEET; THENCE SOUTH 89 DEGREES 58 MINUTES 01 SECONDS EAST, A DISTANCE OF 67.34 FEET, TO A POINT ON THE SOUTH LINE OF SAID LOT THREE; THENCE SOUTH 89 DEGREES 46 MINUTES 00 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT THREE, A DISTANCE OF 57.05 FEET TO THE POINT OF BEGINNING.
AREA = ±4.3230 ACRES / ±188,310 SQ.FT.

TITLE NOTE:

- TITLE INFORMATION SHOWN HEREON WAS TAKEN FROM FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE NO. NCS-1046256-KCTY AND WITH AN EFFECTIVE DATE OF DECEMBER 22, 2020, AT 8:00 A.M.
 PROPERTY IS SUBJECT TO:
- AN EASEMENT FOR JACKSON COUNTY, MISSOURI RECORDED OCTOBER 16, 1959 IN BOOK 5251, PAGE 683 OF OFFICIAL RECORDS. (DOES NOT AFFECT THIS PROPERTY)
 - AN EASEMENT TO THE STATE OF MISSOURI, ACTING BY AND THROUGH THE STATE HIGHWAY COMMISSION OF MISSOURI RECORDED NOVEMBER 30, 1964 IN BOOK 5754, PAGE 297. (SHOWS, AFFECTS THIS PROPERTY, ESTABLISHES BOUNDARY LINE)
 - LACK OF DIRECT ACCESS TO INTERSTATE ROUTE 435 AND STATE LINE ROAD FROM THE LAND, SUCH RIGHT OF ACCESS HAVING BEEN GRANTED TO STATE HIGHWAY COMMISSION OF MISSOURI BY DOCUMENT FILED IN BOOK 5754, PAGE 297, AS DOCUMENT NO. B501423. (SHOWS, LACK OF ABUTTERS' RIGHTS)
 - AN EASEMENT FOR STATE OF MISSOURI, ACTING BY AND THROUGH THE STATE HIGHWAY COMMISSION OF MISSOURI RECORDED NOVEMBER 2, 1964 IN BOOK 5769, PAGE 61 OF OFFICIAL RECORDS. (DOES NOT AFFECT THIS PROPERTY)
 - LACK OF DIRECT ACCESS TO STATE LINE ROAD FROM THE LAND, SUCH RIGHT OF ACCESS HAVING BEEN GRANTED TO STATE HIGHWAY COMMISSION OF MISSOURI BY DOCUMENT FILED IN BOOK 5769, PAGE 61, AS DOCUMENT NO. B505562. (DOES NOT AFFECT THIS PROPERTY)
 - A RIGHT-OF-WAY TO PANHANDLE EASTERN PIPE LINE COMPANY, A DELAWARE CORPORATION IN THE DOCUMENT RECORDED FEBRUARY 24, 1968 IN BOOK 5873, PAGE 40. AMENDMENT OF RIGHT-OF-WAY DATED OCTOBER 22, 1975 AND RECORDED NOVEMBER 19, 1975 IN BOOK 636, PAGE 355. OF OFFICIAL RECORDS. (SHOWS, AFFECTS THIS PROPERTY) AMENDMENT OF RIGHT OF WAY BY DOCUMENT NO. K-283786 AND RECORDED IN BOOK K-650 AT PAGE 1576 FEBRUARY 5, 1976 (SHOWS ON PLAT EXCEPTION (430) NOT IN TITLE COMMITMENT)
 - COVENANTS AND RESTRICTIONS CONTAINED IN DEED RECORDED MARCH 31, 1971, IN BOOK 245, PAGE 1248. (DOES NOT AFFECT THIS PROPERTY)
 - AN EASEMENT FOR KANSAS CITY POWER & LIGHT COMPANY RECORDED MARCH 12, 1975 IN BOOK 580, PAGE 1687 OF OFFICIAL RECORDS. (SHOWS, DOES NOT AFFECT THIS PROPERTY)
 - AN EASEMENT FOR KANSAS CITY, A MUNICIPAL CORPORATION RECORDED JULY 24, 1975 IN BOOK 609, PAGE 1904 OF OFFICIAL RECORDS. (SHOWS, AFFECTS THIS PROPERTY)
 - AN EASEMENT FOR KANSAS CITY, A MUNICIPAL CORPORATION RECORDED JANUARY 27, 1976 IN BOOK 649, PAGE 39 OF OFFICIAL RECORDS. (SHOWS, DOES NOT AFFECT THIS PROPERTY)
 - AN EASEMENT FOR KANSAS CITY, A MUNICIPAL CORPORATION RECORDED MARCH 24, 1976 IN BOOK 660, PAGE 117 OF OFFICIAL RECORDS. (SHOWS, AFFECTS THIS PROPERTY)
 - AN EASEMENT FOR KANSAS CITY, A MUNICIPAL CORPORATION RECORDED MARCH 24, 1976 IN BOOK 660, PAGE 119 OF OFFICIAL RECORDS. (SHOWS, AFFECTS THIS PROPERTY)
 - AN EASEMENT FOR KANSAS CITY, A MUNICIPAL CORPORATION RECORDED JUNE 13, 1977 IN BOOK 760, PAGE 817 OF OFFICIAL RECORDS. (SHOWS, DOES NOT AFFECT THIS PROPERTY)
 - A RIGHT-OF-WAY TO PANHANDLE EASTERN PIPE LINE COMPANY IN THE DOCUMENT RECORDED AUGUST 30, 1977 IN BOOK 782, PAGE 717 OF OFFICIAL RECORDS. (SHOWS, AFFECTS THIS PROPERTY)
 - AN EASEMENT FOR KANSAS CITY, A MUNICIPAL CORPORATION RECORDED OCTOBER 4, 1977 IN BOOK 791, PAGE 1376 OF OFFICIAL RECORDS. (AFFECTS THIS PROPERTY, BLANKET IN NATURE)
 - EASEMENTS, RESTRICTIONS AND SETBACK LINES AS PER PLAT, RECORDED AS UNITED MISSOURI BANK, RECORDED IN BOOK 34, PAGE 62. (SHOWS, AFFECTS THIS PROPERTY) (ORIGINAL PLAT CALLS FOR SANITARY SEWER EASEMENT, REPLAT CALLS OUT STORM SEWER EASEMENT)
 - TERMS AND CONDITION OF STORM SEWER AGREEMENT DATED SEPTEMBER 5, 1978 AND RECORDED OCTOBER 11, 1978 IN BOOK 882, PAGE 2274. (SHOWS, AFFECTS THIS PROPERTY)
 - AN EASEMENT FOR KANSAS CITY POWER & LIGHT COMPANY RECORDED MARCH 22, 1979 IN BOOK 916, PAGE 5 OF OFFICIAL RECORDS. (SHOWS, DOES NOT AFFECT THIS PROPERTY)
 - AN EASEMENT FOR KANSAS CITY POWER & LIGHT COMPANY RECORDED MARCH 22, 1979 IN BOOK 916, PAGE 7 OF OFFICIAL RECORDS. (SHOWS, AFFECTS THIS PROPERTY)
 - AN EASEMENT FOR KANSAS CITY POWER & LIGHT COMPANY RECORDED JULY 20, 1987 IN BOOK 1703, PAGE 1839 OF OFFICIAL RECORDS. (SHOWS, DOES NOT AFFECT THIS PROPERTY)
 - AN EASEMENT TO KANSAS CITY, A CONSTITUTIONALLY CHARTERED MUNICIPAL CORPORATION RECORDED DECEMBER 12, 2011 IN DOCUMENT NO. 2011E107016. (DOES NOT AFFECTS THIS PROPERTY)
 - AN EASEMENT TO KANSAS CITY, A MISSOURI MUNICIPAL CORPORATION, THROUGH HIS WATER SERVICE DEPARTMENT RECORDED OCTOBER 17, 2011 IN DOCUMENT NO. 2011E0959225. (DOES NOT AFFECTS THIS PROPERTY)
 - EASEMENTS, RESTRICTIONS AND SETBACK LINES AS PER PLAT, RECORDED AS CARONDELET THREE, RECORDED IN BOOK K38, PAGE 96. (SHOWS, AFFECTS THIS PROPERTY) (UNITED MISSOURI BANK PLAT CALLS FOR SANITARY SEWER EASEMENT AND CARONDELET THREE PLAT CALLS FOR STORM SEWER EASEMENT, EXISTING SANITARY SEWER LINE LIES WITHIN 15' EASEMENT)
 - ORDINANCE NO. 921066 VACATING A PART OF CARONDELET DRIVE BETWEEN THE EAST LINE OF STATE LINE ROAD AND THE WEST LINE OF WORNALL ROAD AND ALL UTILITY EASEMENTS, OVER, UNDER, ALONG AND ACROSS SAID STREET ALL IN KANSAS CITY, JACKSON COUNTY, MISSOURI AND RECORDED MARCH 1, 1993 IN BOOK 2359, PAGE 1156. (SHOWS, AFFECTS THIS PROPERTY)
 - TERMS AND CONDITIONS OF SAID AGREEMENT DATED NOVEMBER 15, 1977 AND RECORDED DECEMBER 5, 1977 IN BOOK 807, PAGE 1876. (AFFECTS THIS PROPERTY, BLANKET IN NATURE)

UTILITY NOTE:

UTILITIES SHOWN HEREON ARE SHOWN FROM FIELD LOCATES BY THE UTILITY COMPANIES OR THEIR RESPECTIVE REPRESENTATIVES AND MAPPING PROVIDED BY THE UTILITY COMPANIES AND ARE NOT THE RESULT OF AN ACTUAL DIG. PEI DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN HEREON.
 BEFORE DIGGING, CONTACT THE MISSOURI ONE CALL SYSTEM AT 1 800 DIG-ORIT OR 811 FOR UTILITY LOCATES.

ZONING:

THIS PROPERTY IS ZONED B2-2 & R-0.5 KANSAS CITY MISSOURI GIS WEBSITE
 NOTE: THIS SURVEYOR WAS NOT SUPPLIED A ZONING REPORT OR LETTER FOR THIS SURVEY.

BENCHMARK:

VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING (WOODT VRS)
 1. SET "I" OUT IN CENTER FRONT FACE OF CURB INLET AT APPROXIMATE MIDPOINT OF SOUTH PROPERTY LINE LOT 3, CARONDELET THREE ON THE SOUTH SIDE OF CORONDELET DRIVE AT THE WEST RETURN OF THE NORTH ENTRANCE TO GAS STATION
 ELEVATION = 845.67

2. SET PLUS OUT IN CONCRETE SIDEWALK IN THE SOUTHEAST QUADRANT OF CORONDELET DRIVE AND STATE LINE ROAD JUST EAST OF AN ELECTRIC MANHOLE LID
 ELEVATION = 848.97

CERTIFICATION:

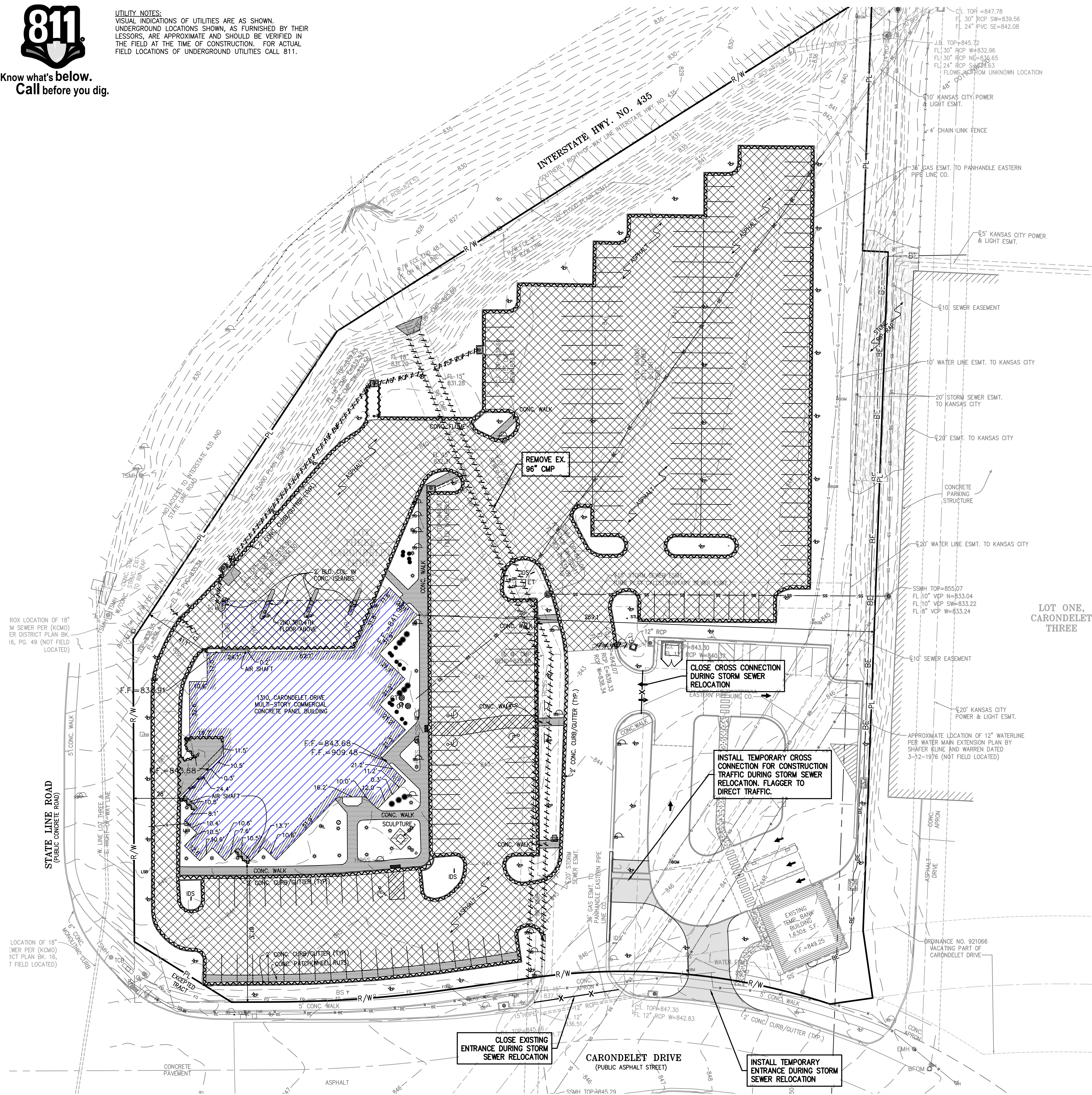
TO: VITRE DEVELOPMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY; UNITED MISSOURI BANK OF KANSAS CITY, N.A., A NATIONAL BANKING ASSOCIATION AND FIRST AMERICAN TITLE INSURANCE COMPANY
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(B), 7(C) & 9, 11, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 12, 2021.





Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL
FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



- DEMOLITION NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
 4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
 5. REFER TO THE BUILDING PLANS FOR SITE LIGHTING ELECTRICAL MODIFICATIONS (IF ANY) TO THE EXISTING SYSTEM.



Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
4900 Main St. Ste 400, Kansas City, MO 64112
and

UMB Financial Corporation
1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
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Kansas City, MO 64108 USA
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GastingerWalker
UMB Retail Bank Architect
817 Wyandotte St, Kansas City, MO 64105
t+1 816 421 8200 f+1 816 421 1262

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Civil Engineering
1270 N Winchester St #5878, Olathe, KS 66061

Oppermann LandDesign LLC
Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

Professional Seals

**PDP SUBMITTAL
NOT FOR
CONSTRUCTION**

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

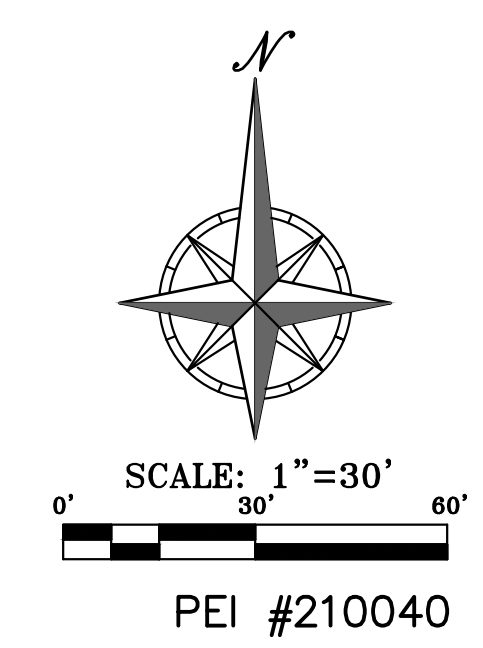
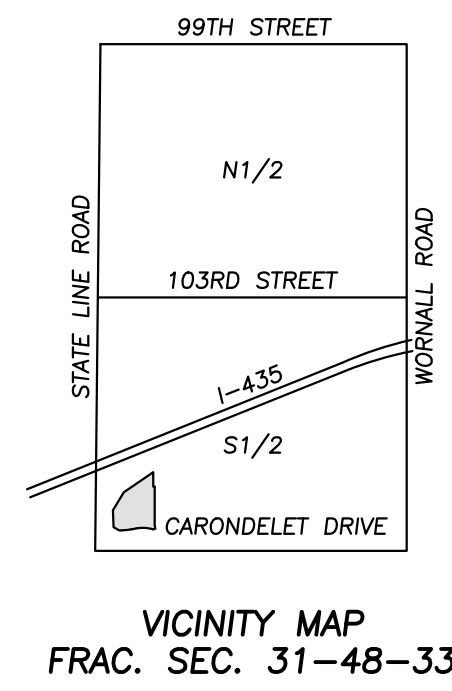
Project No: 20.70060.00
Sheet Title:

**DEMOLITION
PLAN - PHASE 1**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

LEGEND

- PL ——— PROPERTY LINE
- LL ——— LOT LINE
- R/W ——— RIGHT-OF-WAY
- ~ ~ ~ REMOVE EXISTING CURB & GUTTER
- [Blue Hatched] EXISTING BUILDING TO BE REMOVED
- [Cross-hatched] EXISTING ASPHALT PAVEMENT TO BE REMOVED
- [Grey Hatched] EXISTING CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED
- [Dotted] EXISTING GRAVEL TO BE REMOVED
- [Tree Symbol] EXISTING TREE TO REMAIN
- [X Symbol] REMOVE TREE
- BT ——— EXISTING BURIED TELEPHONE
- CTV ——— EXISTING CABLE TELEVISION LINE
- FO ——— EXISTING FIBER OPTIC LINE
- W ——— EXISTING WATER LINE
- G ——— EXISTING GAS LINE
- BE ——— EXISTING BURIED ELECTRIC
- OHP ——— EXISTING OVERHEAD POWER LINE
- SS ——— EXISTING SANITARY SEWER
- SS ——— EXISTING STORM SEWER
- [Hydrant Symbol] EXISTING FIRE HYDRANT
- LP ——— EXISTING LIGHT POLE
- [Fence Symbol] EXISTING CHAIN LINK FENCE



\\PHELPS-SERVER\Projects\210040\Proj\Development\Plans\DEM0 PH1.dwg Layout:1 Jul 29, 2021 - 4:47pm Daniel Finn

C1

LOT THREE, CARONDELET THREE

CARONDELET THREE REPLAT LOT 2

SITE PLAN NOTES:

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference.
 - City ordinances & O.S.H.A. Regulations.
 - The City of Kansas City, Missouri Technical Specifications and Municipal Code.
 - APWA Standard Specifications and Design Criteria, latest edition.
 - Project Specific Specifications.
- The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications of the job site at all times.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
- The demolition and removal (or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
- Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
- All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor shall be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
- The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
- SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.
- WARRANTY/DISCLAIMER:** The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. However, neither the Engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the Engineer observes the physical construction on a continual basis at the site.
- No work is to be allowed within the public right-of-way or easements without a right of way work permit.
- All paving construction and earthwork grading/compaction shall conform to the requirements of the geotechnical engineering report prepared for this project.
- Within forty-eight hours prior to any asphalt or concrete paving, the subgrade shall be proof rolled with a fully loaded tandem wheeled dump truck and observed by the on-site geotechnical engineer. Areas of the subgrade with excessive rutting and/or pumping shall be re-worked or removed in accordance with the project specifications. Flyash or granular material may be added by the contractor to stabilize the subgrade. See project specifications.
- All curb shall be sloped for positive drainage. Contractor shall use "dry curb and gutter" as needed in localized paved areas that drain away from the curb and gutter. See paving details.
- The Contractor is responsible for the protection all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, etc. Damaged improvements shall be repaired in conformance with the latest city standards and to the City's satisfaction.
- The contractor is responsible for providing berms, all fences, straw bales, or other means to prevent eroded materials from reaching the public right-of-way and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt or mud and restore the right-of-way or adjacent property to original or better condition.
- All disturbed areas are to receive topsoil, sod and water until a healthy stand of grass is established. See the landscaping plans for requirements. Re-seeding shall be required (see project specifications).
- The contractor shall sod all disturbed areas within the public street right-of-way.
- Contractor shall refer to the architectural building plans for exact locations and dimensions of vestibules, slope paving, sidewalks, exit porches, truck docks, precise building dimensions and exact building utility entrance locations. All dimensions are to outside wall of building(s).
- Refer to building plans for site lighting electrical plan.
- Contractor to remove existing trees and vegetation, as necessary, for site construction unless specifically noted to remain.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

SITE DIMENSION NOTES:

- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

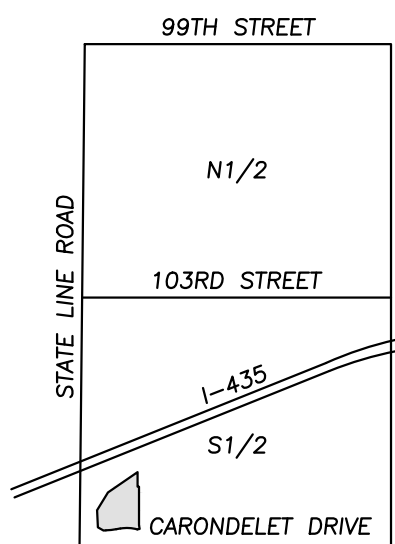
- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
- TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-2912 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

SITE KEY NOTES:

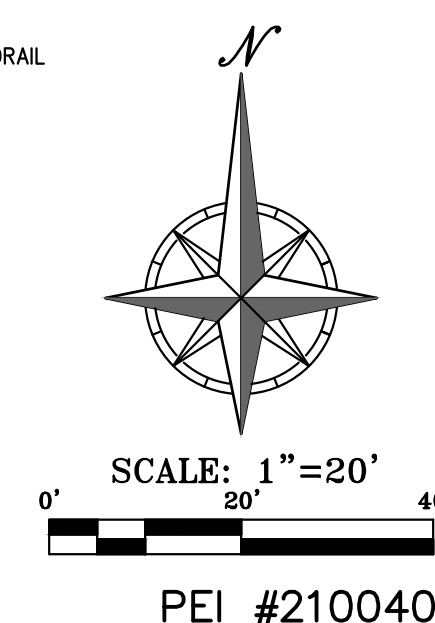
- (A) CONSTRUCT 2' CURB & GUTTER (TYPICAL).
- (B) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- (C) CONSTRUCT ADA STALL W/ PAVEMENT MARKINGS, SIGNAGE AND BUMPER.
- (D) INSTALL PAINTED CROSSWALK.
- (E) INSTALL PRIVATE SIDEWALK RAMPS (OMIT DETECTABLE WARNING).
- (F) INSTALL VAN ACCESSIBLE PARKING SIGN.
- (G) CONSTRUCT CONCRETE TRANSFORMER PAD (RE: SHEET C1.3)
- (H) SHORT TERM BICYCLE PARKING.
- (I) INSTALL LONG TERM BICYCLE PARKING (DETAILS TO BE INCLUDED WITH BUILDING PERMIT PLANS).
- (J) PROPOSED CONCRETE HEADWALL AND MINICALLS (WITH HANDRAIL AT ANY LOCATION WALL HEIGHT EXCEEDS 30").
- (K) PROPOSED MONUMENT SIGN.

LEGEND

- PL — PROPERTY LINE
- - - LL - - - LOT LINE
- - - R/W - - - RIGHT-OF-WAY
- ==== 2' CURB & GUTTER
- ▨ ASPHALT PAVEMENT
- ▨ PROPOSED BUILDING
- ▨ CONCRETE PAVEMENT
- ▨ CONCRETE SIDEWALK



VICINITY MAP
FRAC. SEC. 31-48-33



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UTILITY NOTES:
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Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
4900 Main St. Ste 400, Kansas City, MO 64112
and

UMB Financial Corporation
1010 Grand Boulevard, Kansas City, MO 64106



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In Association With

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Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

Professional Seals

**PDP SUBMITTAL
NOT FOR
CONSTRUCTION**

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

Project No: 20.70060.00
Sheet Title:

**SITE PLAN -
PHASE 1**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

C1.1



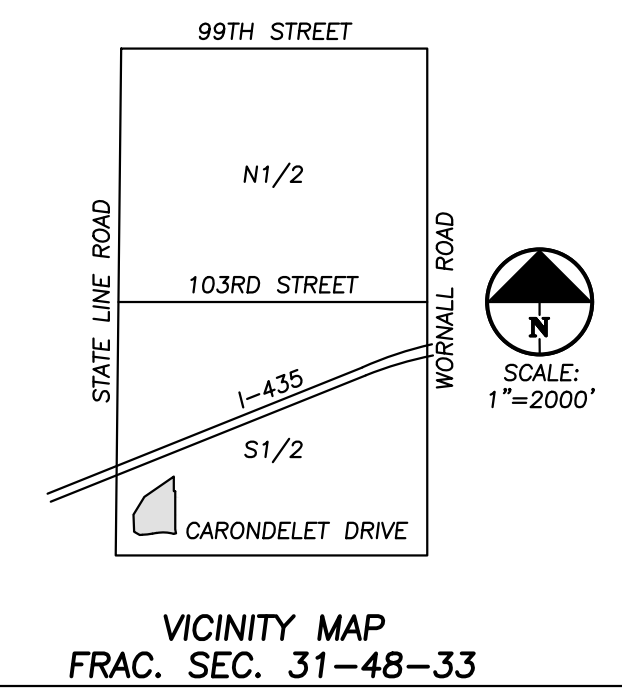
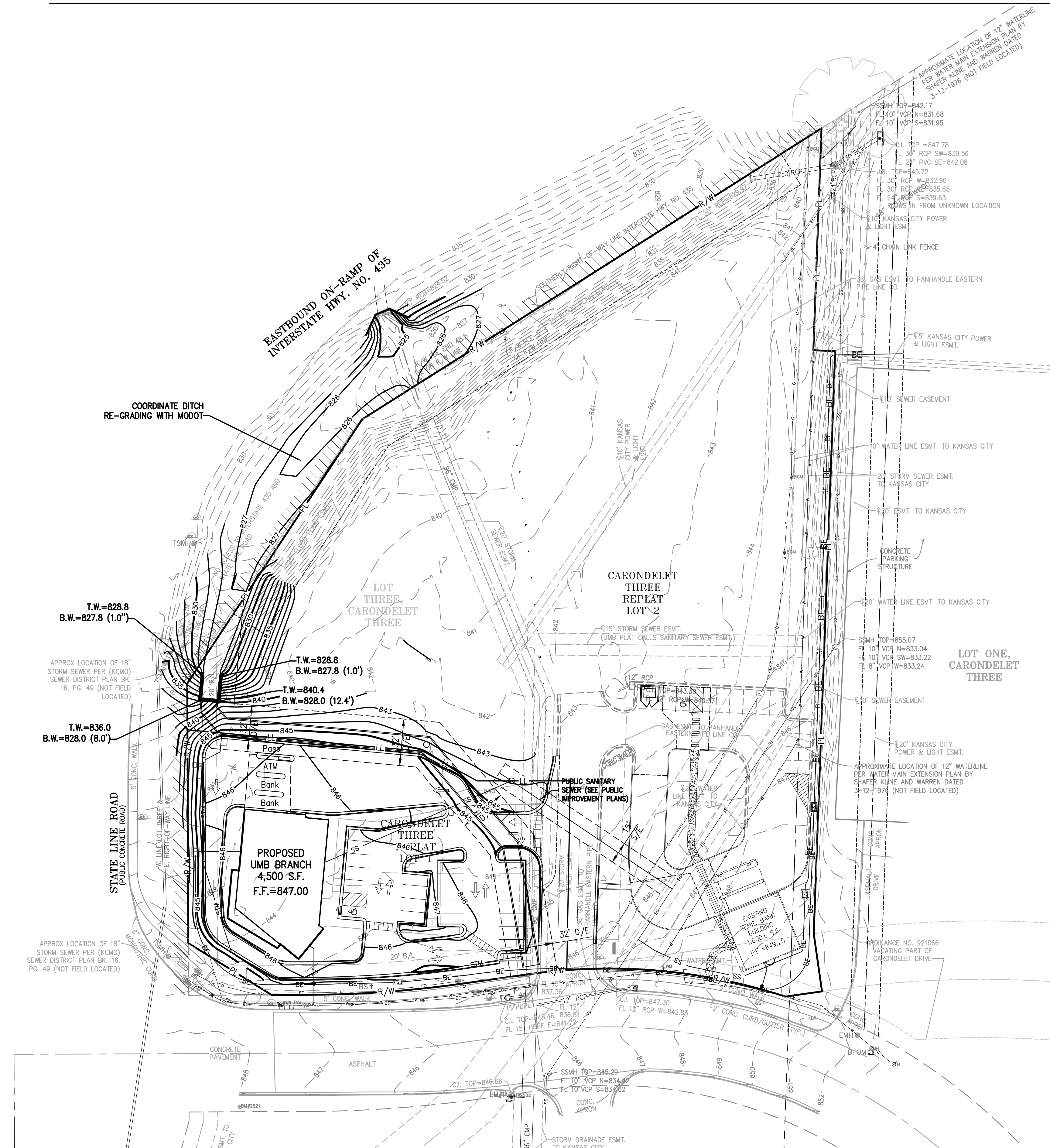
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**OVERALL
GRADING PLAN -
PHASE 1**

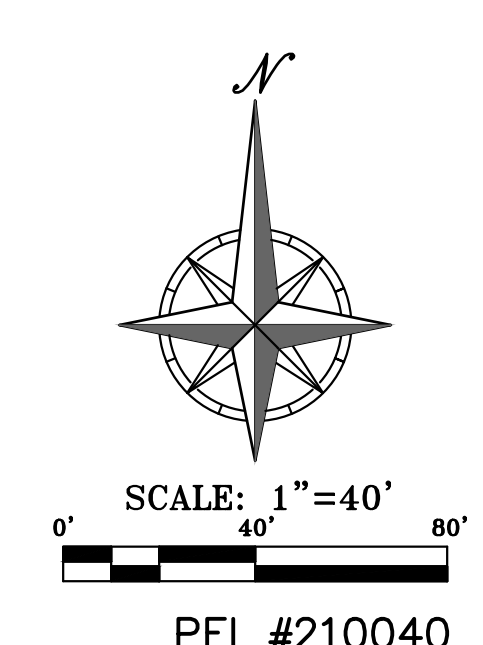
SITE GRADING NOTES:

- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.
- If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.
- TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and ILL.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
- PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that cannot be recompacted should be over-excavated and replaced with controlled structural fill.
- EARTHWORK:
 - GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
 - SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five feet building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
 - BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper 24 inches of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.
 - EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
- TESTING AND INSPECTION: Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
- CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
- RESTORATION: All disturbed areas not in building or pavements shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
- UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P.P. requirements.



LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- — 2' CURB & GUTTER
- — — — — EXISTING CONTOURS
- — — — — 920 — PROPOSED CONTOURS
- — — — — 918 —
- — — — — EXISTING STORM SEWER
- — — — — PROPOSED STORM PIPE
- — — — — PROPOSED WET CURB & GUTTER
- — — — — PROPOSED DRY CURB & GUTTER
- — — — — PROPOSED RETAINING WALL



UTILITY NOTES:
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FLOOD NOTE:
THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF KANSAS CITY, COMMUNITY NO. 290173, JACKSON COUNTY, MISSOURI, MAP NO. 29095C03866, AND DATED JANUARY 20, 2017.

BENCHMARK:
VERTICAL DATUM = NAVD83 BASED ON GPS OBSERVATION USING (MODOT VRS)
1. SET "1" CUT IN CENTER FRONT FACE OF CURB INLET AT APPROXIMATE MIDPOINT OF SOUTH PROPERTY LINE LOT 3, CORONDELET THREE ON THE SOUTH SIDE OF CORONDELET DRIVE AT THE WEST RETURN OF THE NORTH ENTRANCE TO GAS STATION
ELEVATION = 845.67
2. SET PLUS CUT IN CONCRETE SIDEWALK IN THE SOUTHEAST QUADRANT OF CORONDELET DRIVE AND STATE LINE ROAD JUST EAST OF AN ELECTRIC MANHOLE LID
ELEVATION = 848.97

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**PDP SUBMITTAL
NOT FOR
CONSTRUCTION**

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

Project No: 20.70060.00
Sheet Title:

**UTILITY PLAN -
PHASE 1**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

C1.3

UTILITY NOTES:

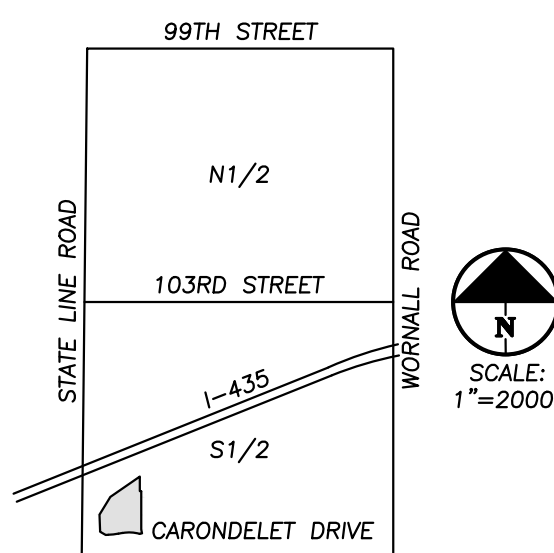
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate &/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
- The construction of storm sewers on this project shall conform to the requirements of the City's Technical Specifications and Design Criteria.
- The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
- It will be the contractor's responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
- Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other incidentals required for a complete operate fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of City.
- The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- The Contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
- Water lines shall be as follows (unless otherwise shown on plans):
 - Pipe sizes less than 3-inches that are installed below grade and outside building shall comply with the following:
 - Seamless Copper Tubing: Type "K" soft copper, ASTM B88.
 - Fittings: Wrought copper (95.5 Tin Antimony solder joint), ASME B 16.22.
- Minimum trench width shall be 2 feet.
- Contractor shall maintain a minimum of 42" cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to City's specifications for commercial services.
- All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, a 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
- Sanitary conflicts will be resolved prior to permit issuance.
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.
- When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such site utility terminations.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

UTILITY COMPANIES:

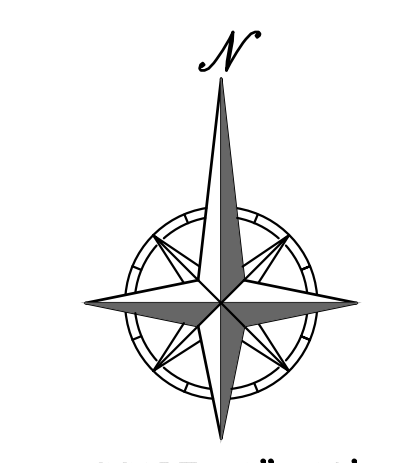
SPIRE ENERGY BEVERLY PASSANTINO 7500 E. 35TH TERRACE KANSAS CITY, MO. 64129 EMAIL: beverly.passantino@spireenergy.com	(816) 472-3434	CITY OF KANSAS CITY PUBLIC WORKS DEPARTMENT 414 E. 12TH STREET KANSAS CITY, MO. 64106	(816) 513-2627
EVERGY MELISSA FELTES 8325 N. PLATTE PURCHASE DRIVE KANSAS CITY, MO. 64118 E-MAIL: Melissa.Feltes@kcpl.com	(816) 420-4721	CITY OF KANSAS CITY (GENERAL NUMBER) CARLA HASKINS (WATER) EMAIL: carla.haskins@kcmo.org AMY BUNNELL (LAND DEVELOPMENT DIVISION) EMAIL: amy.bunnell@kcmo.org 4800 E. 63RD STREET KANSAS CITY, MO. 64130	(816) 513-1313 (816) 513-2133 (816) 513-2552
AT&T JILL SCHROEDER 9556 N. MCGEE COURT KANSAS CITY, MO 64155 EMAIL: jp0311@att.com	(816) 734-8700	TIME WARNER CABLE 15 NW BARRY ROAD KANSAS CITY, MO. 64155	(816) 358-8833

LEGEND

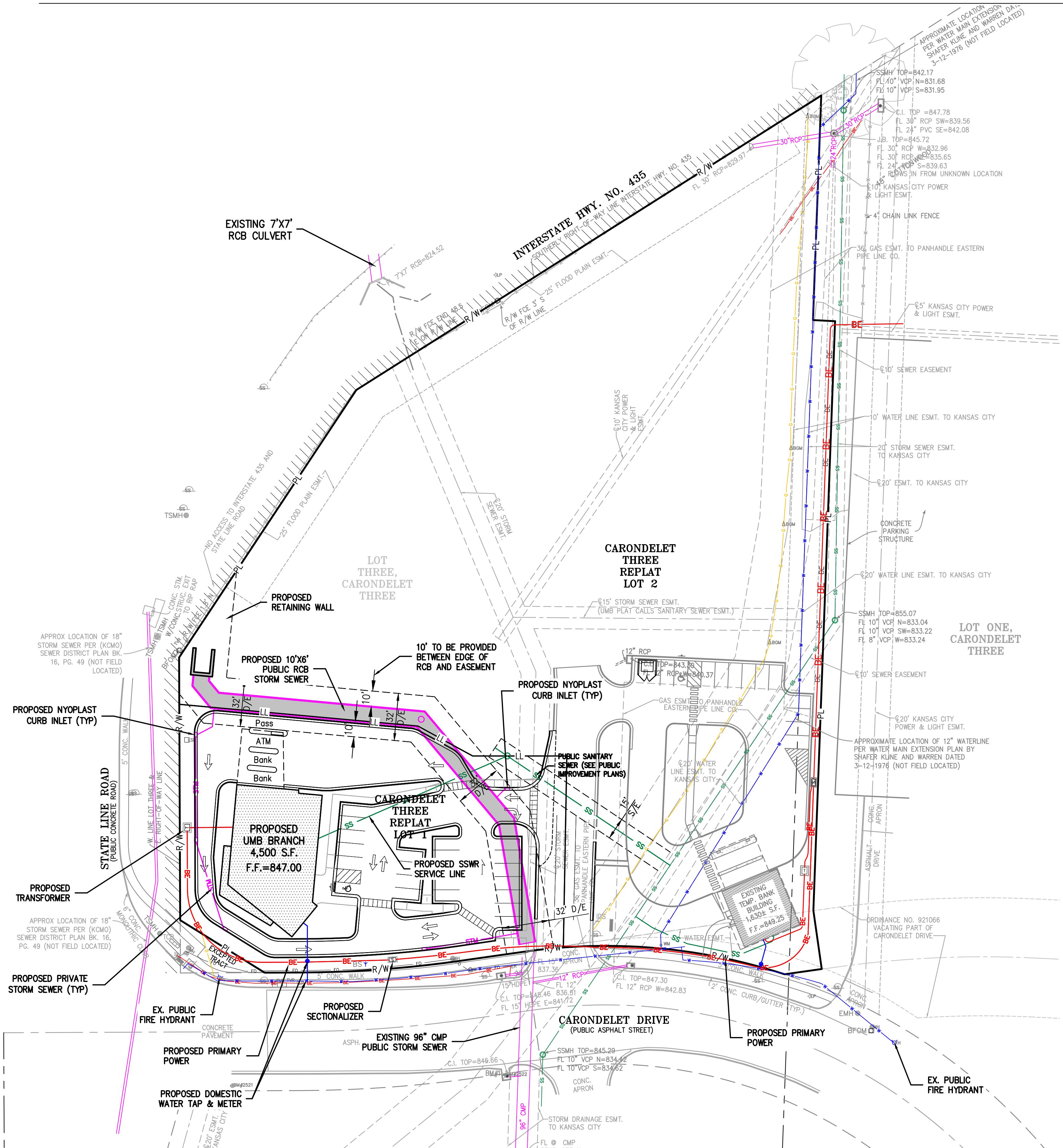
- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- CTV — EXISTING CABLE TELEVISION LINE
- FO — EXISTING FIBER OPTIC LINE
- G — EXISTING GAS LINE
- BE — EXISTING BURIED ELECTRIC LINE
- OHP — EXISTING OVERHEAD POWER LINE
- OHT — EXISTING OVERHEAD TELEPHONE LINE
- SS — EXISTING SANITARY SEWER LINE
- HDPE — EXISTING STORM SEWER LINE (& SIZE)
- BT — EXISTING BURIED TELEPHONE LINE
- W — EXISTING WATER LINE (& SIZE)
- BE — PROPOSED BURIED ELECTRIC LINE
- SS — PROPOSED SANITARY SEWER LINE
- HDPE — PROPOSED STORM SEWER LINE (& SIZE)
- W — PROPOSED WATER LINE (& SIZE)



VICINITY MAP
FRAC. SEC. 31-48-33



SCALE: 1" = 40'
SCALE: 1" = 40'
PEI #210040



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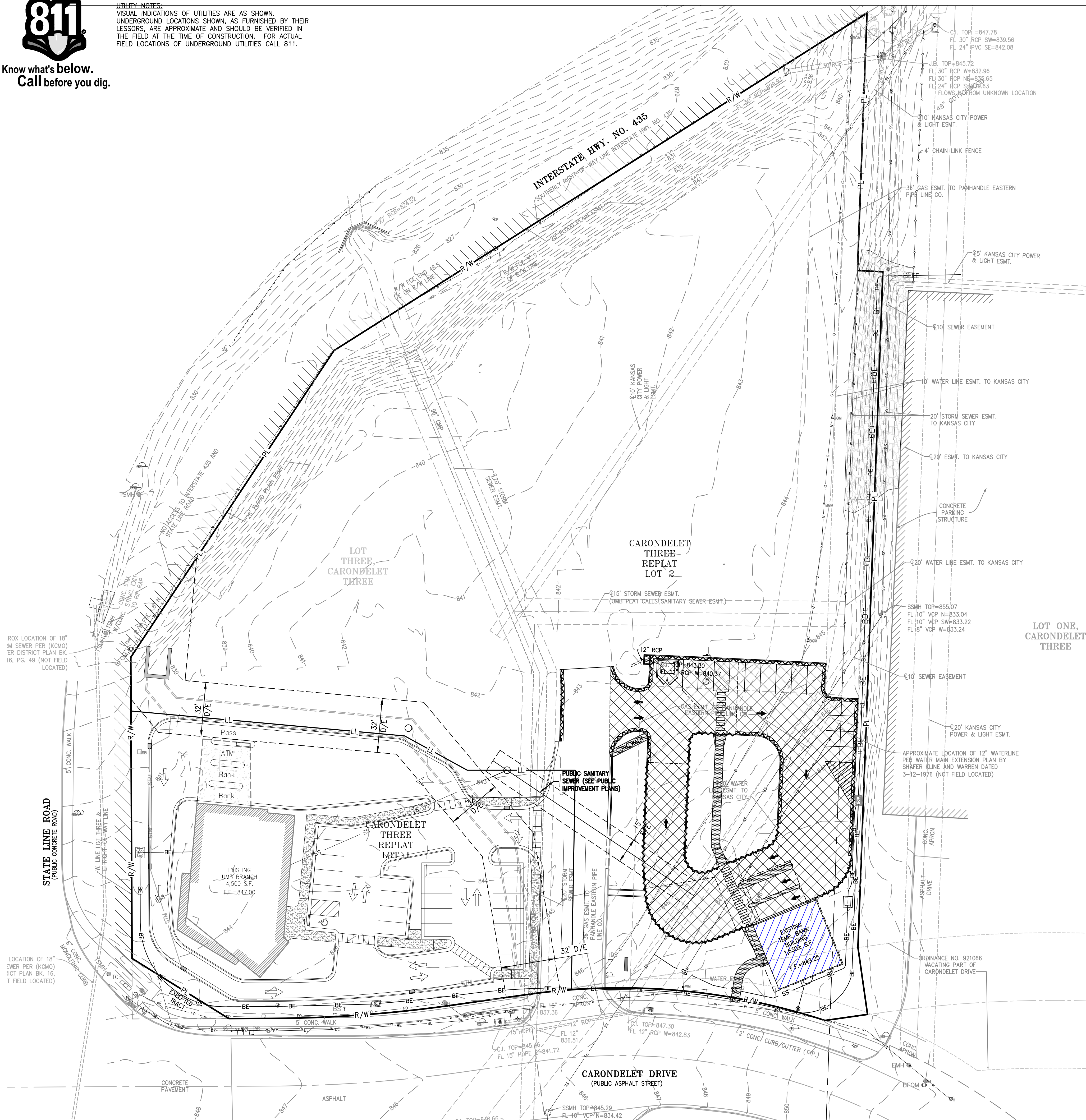


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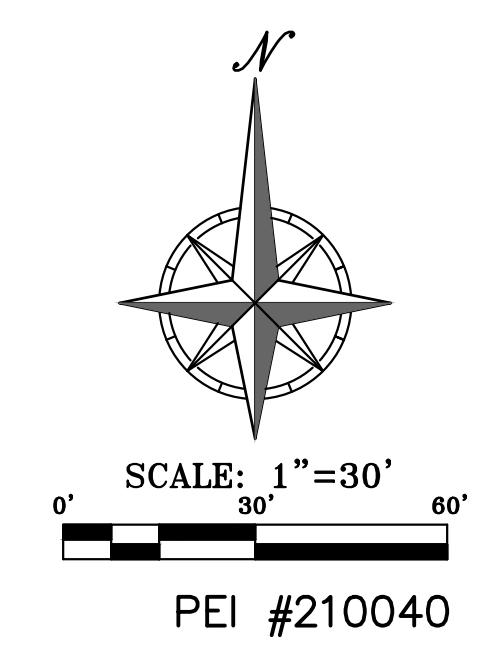
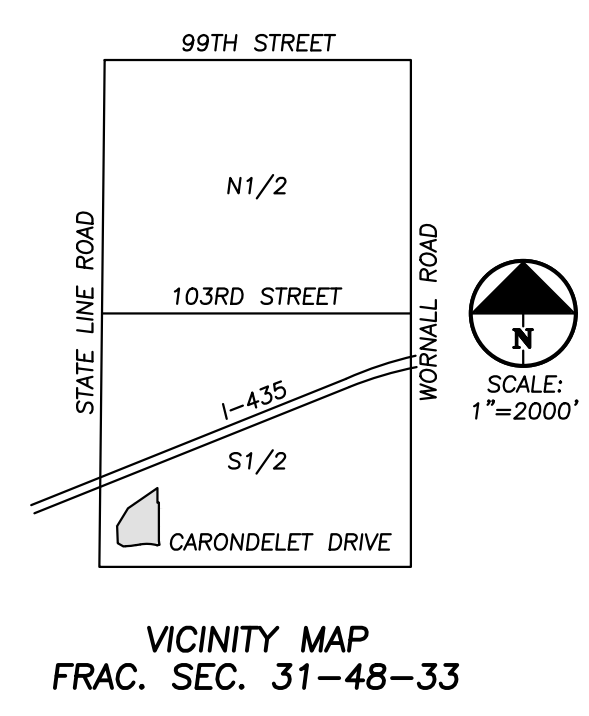
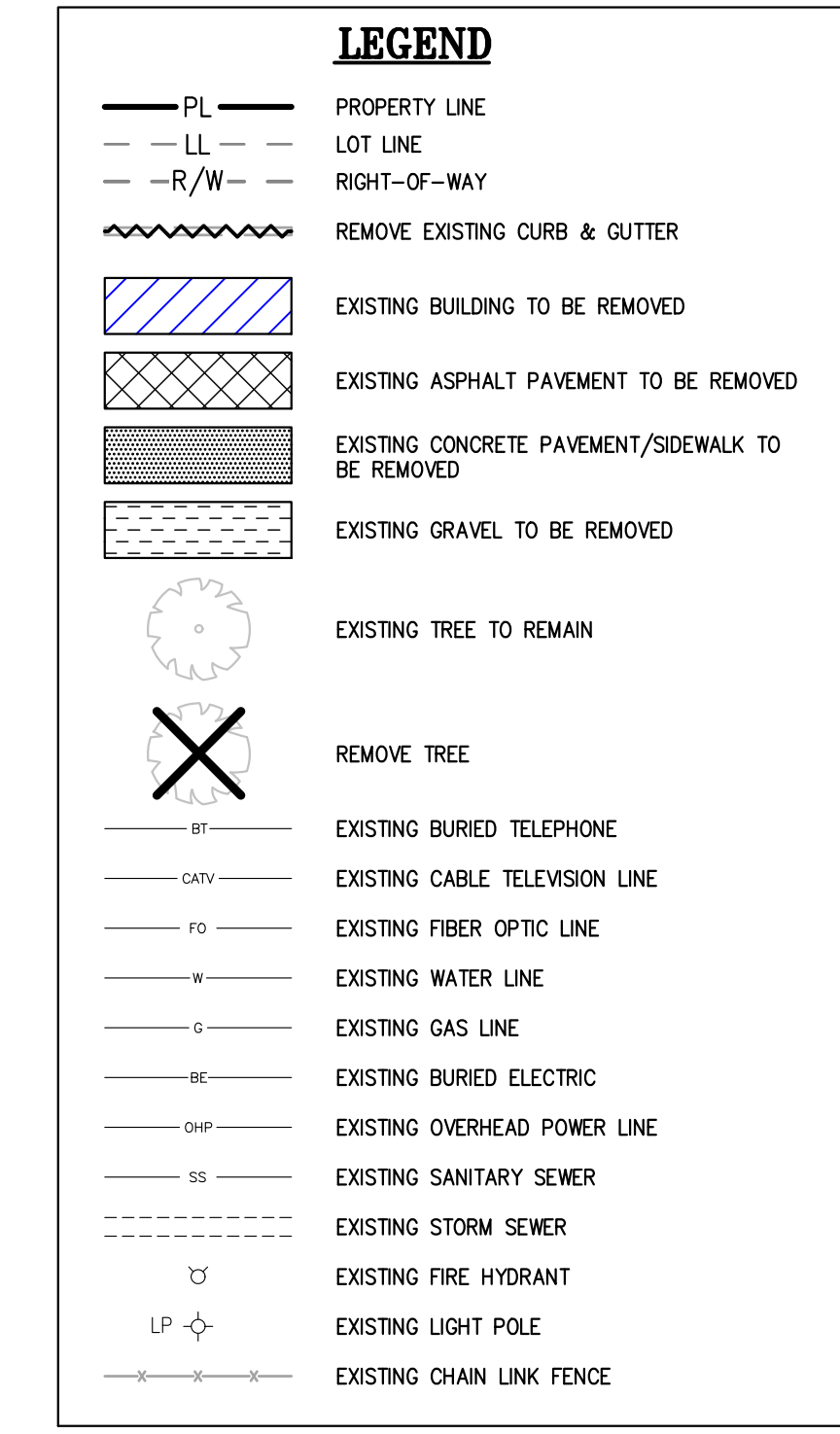
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DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
5. REFER TO THE BUILDING PLANS FOR SITE LIGHTING ELECTRICAL MODIFICATIONS (IF ANY) TO THE EXISTING SYSTEM.



Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
4900 Main St. Ste 400, Kansas City, MO 64112
and

UMB Financial Corporation
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Civil Engineering
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Oppermann LandDesign LLC
Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

Professional Seals

**PDP SUBMITTAL
NOT FOR
CONSTRUCTION**

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

Project No: 20.70060.00
Sheet Title:

**DEMOLITION
PLAN - PHASE 2**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

C2

\\PHELPS-SERVER\Projects\210040\Org\Preliminary Development Plans\DEM0 PH2.dwg Layout:2 Jul 29, 2021 - 4:47pm Daniel Finn



PDP SUBMITTAL
NOT FOR
CONSTRUCTION

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

OVERALL SITE
PLAN - PHASE 2

SITE PLAN NOTES:

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference.
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 - The City of Kansas City, Missouri Technical Specifications and Municipal Code.
 - APWA Standard Specifications and Design Criteria, latest edition.
 - Project Specific Specifications.
- The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications of the job site at all times.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
- The demolition and removal (or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
- Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc., as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
- All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
- The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
- SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.
- WARRANTY/DISCLAIMER:** The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. However, neither the Engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the Engineer observes the physical construction on a continual basis at the site.
- No work is to be allowed within the public right-of-way or easements without a right of way work permit.
- All paving construction and earthwork grading/compaction shall conform to the requirements of the geotechnical engineering report prepared for this project.
- Within forty-eight hours prior to any asphalt or concrete paving, the subgrade shall be proof rolled with a fully loaded tandem wheeled dump truck and observed by the on-site geotechnical engineer. Areas of the subgrade with excessive rutting and/or pumping shall be re-worked or removed in accordance with the project specifications. Flyash or granular material may be added by the contractor to stabilize the subgrade. See project specifications.
- All curb shall be sloped for positive drainage. Contractor shall use "dry curb and gutter" as needed in localized paved areas that drain away from the curb and gutter. See paving details.
- The Contractor is responsible for the protection all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, etc. Damaged improvements shall be repaired in conformance with the latest city standards and to the City's satisfaction.
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- All disturbed areas are to receive topsoil, sod and water until a healthy stand of grass is established. See the landscaping plans for requirements. Re-seeding shall be required (see project specifications).
- The contractor shall sod all disturbed areas within the public street right-of-way.
- Contractor shall refer to the architectural building plans for exact locations and dimensions of vestibules, slope paving, sidewalks, exit porches, truck docks, precise building dimensions and exact building entrance locations. All dimensions are to outside wall of building(s).
- Refer to building plans for site lighting electrical plan.
- Contractor to remove existing trees and vegetation, as necessary, for site construction unless specifically noted to remain.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

SITE DIMENSION NOTES:

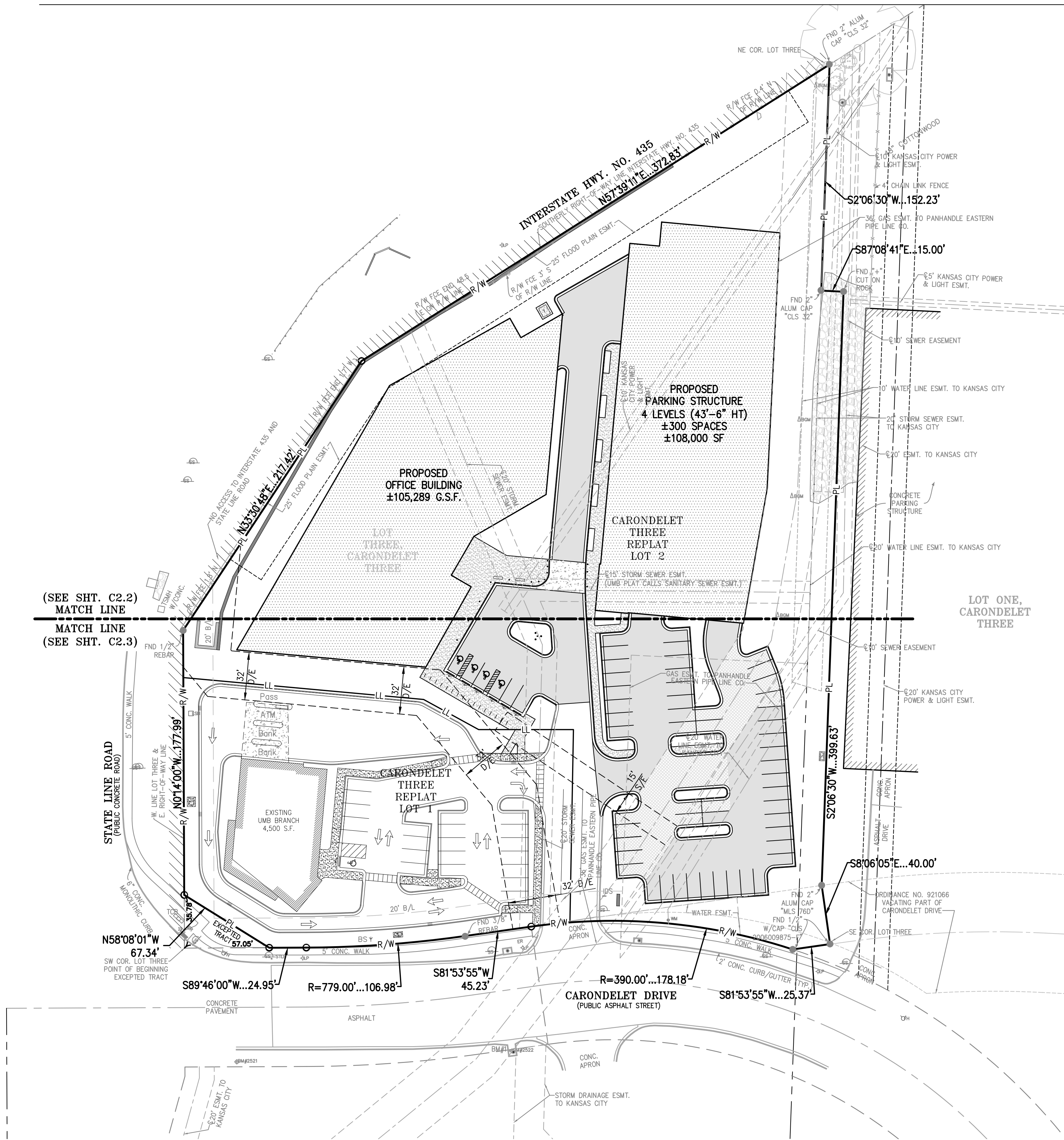
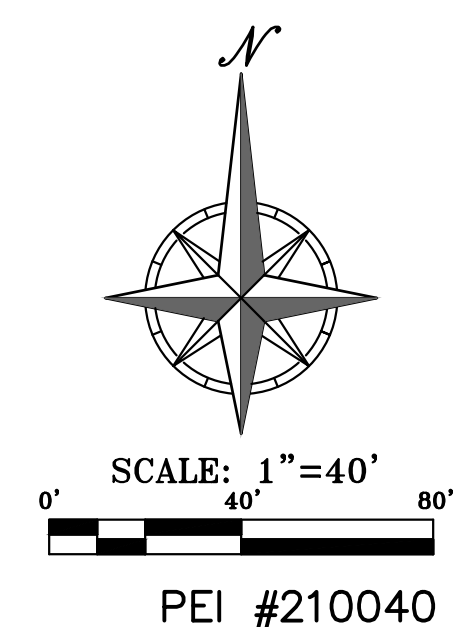
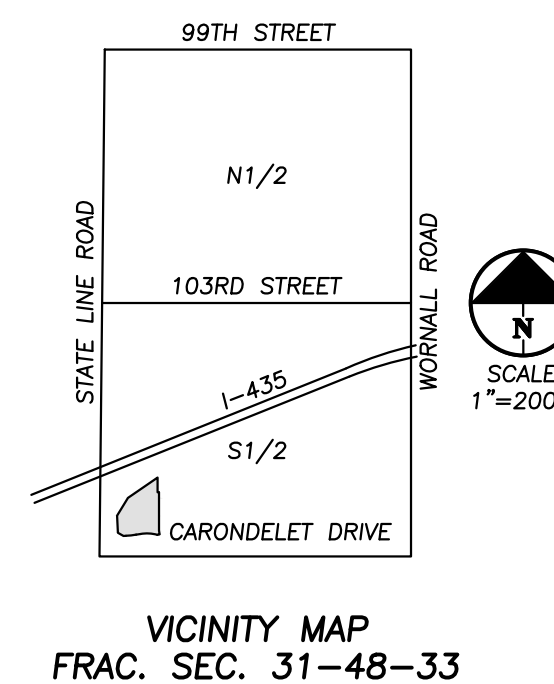
- BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
- TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-2912 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

LEGEND

- PL — PROPERTY LINE
- - - LL - - LOT LINE
- - - R/W - - RIGHT-OF-WAY
- 2' CURB & GUTTER
- ASPHALT PAVEMENT
- PERVIOUS PAVEMENT
- PROPOSED BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK



UTILITY NOTES:
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Know what's below.
Call before you dig.



PDP SUBMITTAL
NOT FOR
CONSTRUCTION

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

ENLARGED SITE
PLAN - PHASE 2

SITE PLAN NOTES:

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference.
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 - The City of Kansas City, Missouri Technical Specifications and Municipal Code.
 - APWA Standard Specifications and Design Criteria, latest edition.
 - Project Specific Specifications.
- The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications of the job site at all times.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
- The demolition and removal (or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
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- The contractor shall be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
- The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
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- WARRANTY/DISCLAIMER:** The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. However, neither the Engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the Engineer observes the physical construction on a continual basis at the site.
- No work is to be allowed within the public right-of-way or easements without a right of way work permit.
- All paving construction and earthwork grading/compaction shall conform to the requirements of the geotechnical engineering report prepared for this project.
- Within forty-eight hours prior to any asphalt or concrete paving, the subgrade shall be proof rolled with a fully loaded tandem wheeled dump truck and observed by the on-site geotechnical engineer. Areas of the subgrade with excessive rutting and/or pumping shall be re-worked or removed in accordance with the project specifications. Flyash or granular material may be added by the contractor to stabilize the subgrade. See project specifications.
- All curbs shall be sloped for positive drainage. Contractor shall use "dry curb and gutter" as needed in localized paved areas that drain away from the curb and gutter. See paving details.
- The Contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
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SITE DIMENSION NOTES:

- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
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PAVEMENT MARKING AND SIGNAGE NOTES:

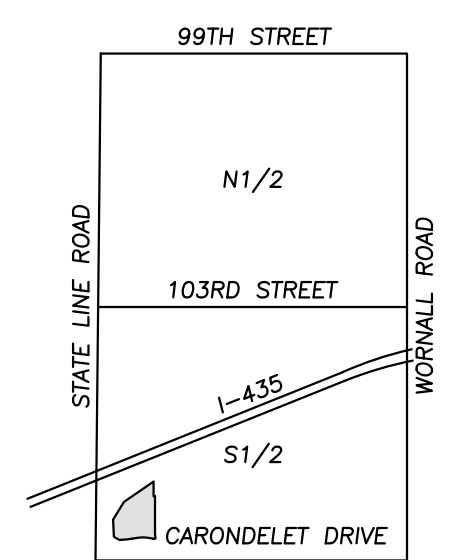
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SITE KEY NOTES:

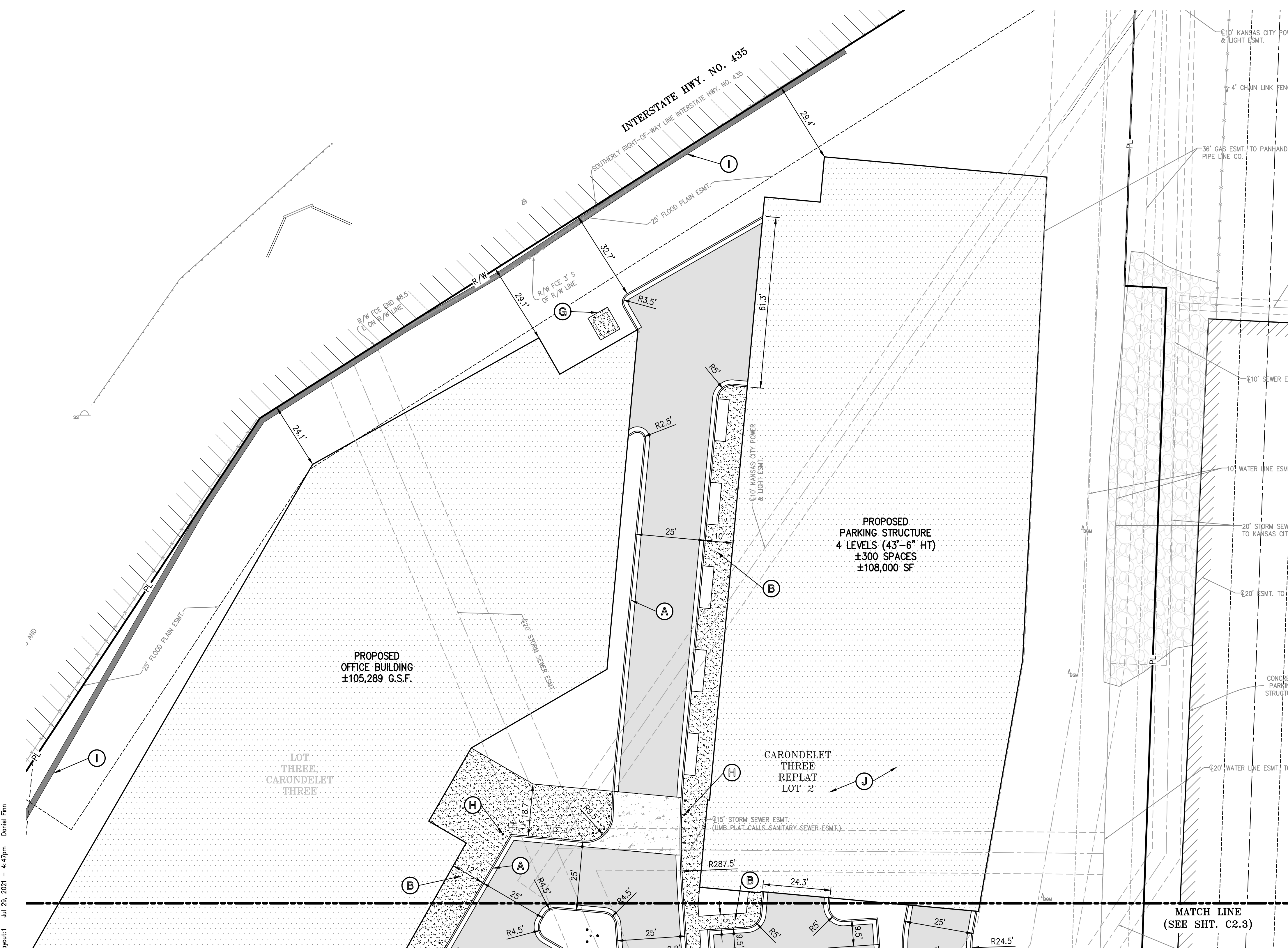
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- (C) CONSTRUCT ADA STALL W/ PAVEMENT MARKINGS AND SIGNAGE.
- (D) INSTALL BUMPER BLOCK.
- (E) INSTALL BICYCLE PARKING (RE: ARCHITECT PLAN).
- (F) INSTALL FLAG POLE (RE: ARCH PLANS).
- (G) CONSTRUCT CONCRETE TRANSFORMER PAD.
- (H) INSTALL BOLLARD (TYPICAL).
- (I) CONSTRUCT SEGMENTAL BLOCK RETAINING WALL (WITH HANDRAIL AT ANY LOCATION WALL HEIGHT EXCEEDS 30").
- (J) LONG TERM BICYCLE PARKING LOCATED WITHIN PARKING GARAGE.
- (K) INSTALL ACCESSIBLE PARKING SIGN.
- (L) INSTALL VAN ACCESSIBLE PARKING SIGN.

LEGEND

- PL — PROPERTY LINE
- - - LL - - LOT LINE
- - - R/W - - RIGHT-OF-WAY
- ===== 2' CURB & GUTTER
- ▒ ASPHALT PAVEMENT
- ▒ PERVIOUS PAVEMENT
- ▒ PROPOSED BUILDING
- ▒ CONCRETE PAVEMENT
- ▒ CONCRETE SIDEWALK



VICINITY MAP
FRAC. SEC. 31-48-33



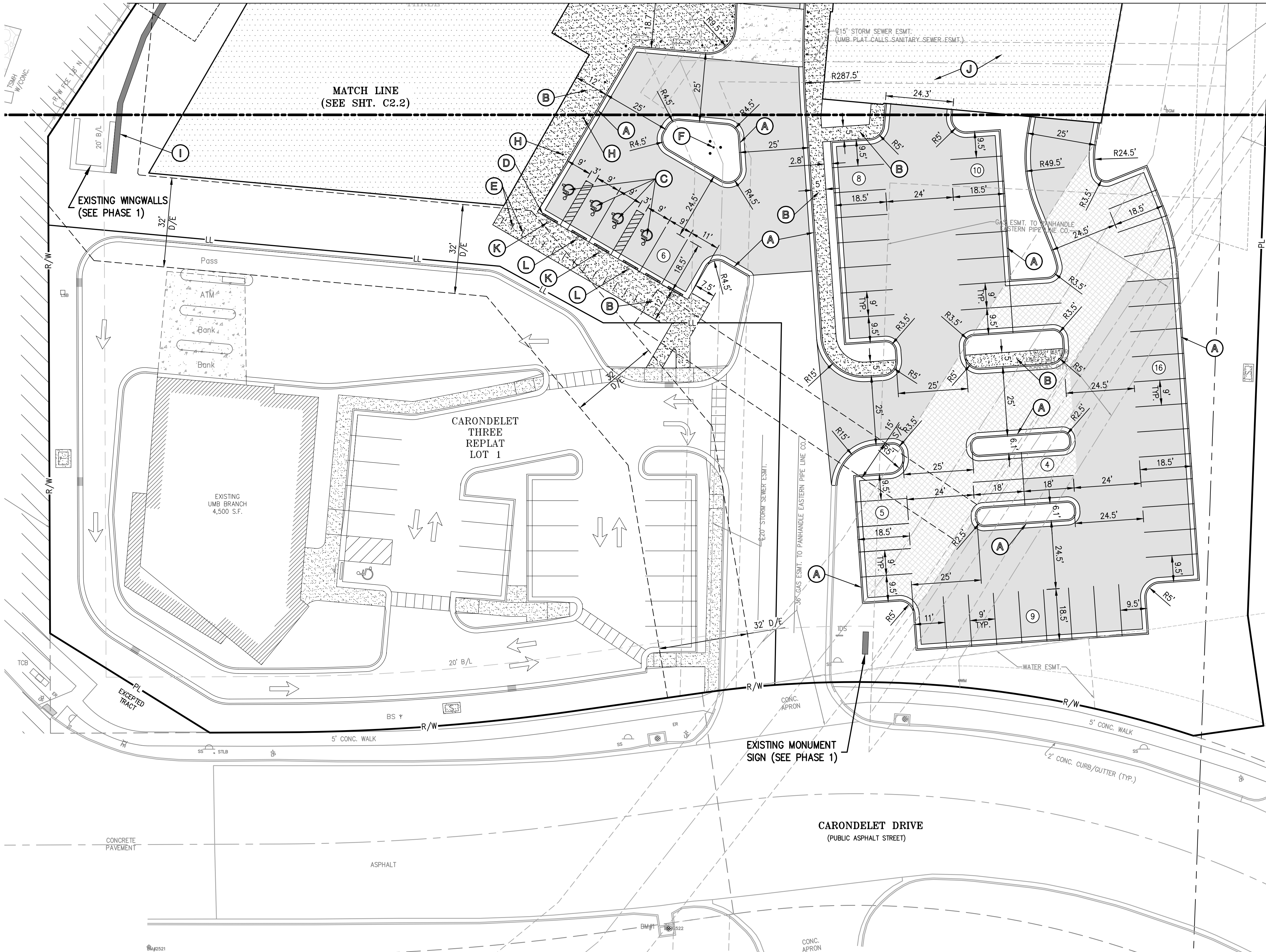
\\PHELPS-SERVER\Projects\210040\Eng\Development\Plans\Site_Ph2.dwg Layout1 Jul 29, 2021 4:47pm Donita Finn



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\\PHELPS-SERVER\Projects\210040\Map\Development\Plans\Site\PH2.dwg Layout:2 Jul 29, 2021 4:48pm Daniel Fin



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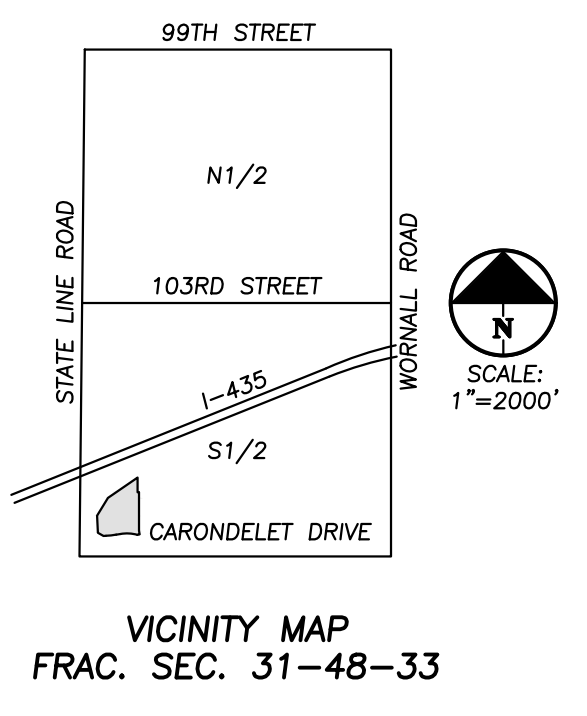
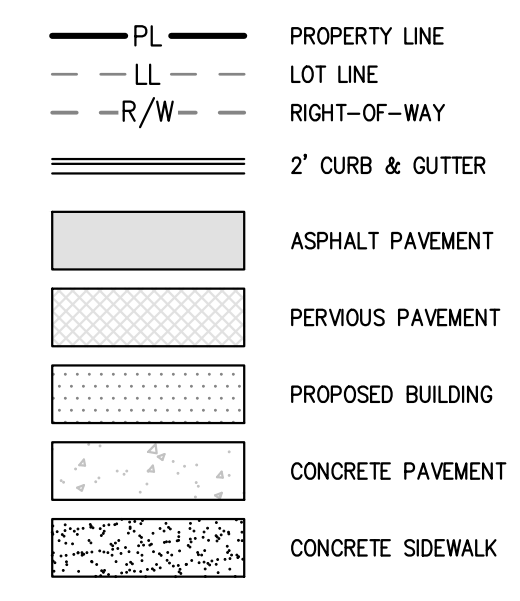
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SITE KEY NOTES:

- (A) CONSTRUCT 2' CURB & GUTTER (TYPICAL).
- (B) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- (C) CONSTRUCT ADA STALL W/ PAVEMENT MARKINGS AND SIGNAGE.
- (D) INSTALL BUMPER BLOCK.
- (E) INSTALL SHORT BICYCLE PARKING.
- (F) INSTALL FLAG POLE (RE: ARCH PLANS).
- (G) CONSTRUCT CONCRETE TRANSFORMER PAD (RE: SHEET C2.5)
- (H) INSTALL BOLLARD (TYPICAL).
- (I) CONSTRUCT SEGMENTAL BLOCK RETAINING WALL (WITH HANDRAIL AT ANY LOCATION WALL HEIGHT EXCEEDS 30").
- (J) LONG TERM BICYCLE PARKING LOCATED WITHIN PARKING GARAGE.
- (K) INSTALL ACCESSIBLE PARKING SIGNS.
- (L) INSTALL VAN ACCESSIBLE PARKING SIGNS.

LEGEND



Know what's below.
Call before you dig.

UTILITY NOTES:
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Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
4900 Main St. Ste 400, Kansas City, MO 64112
and

UMB Financial Corporation
1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
300 West 22nd Street
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Civil Engineering
1270 N Winchester St #5878, Olathe, KS 66061

Oppermann LandDesign LLC
Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

Professional Seals

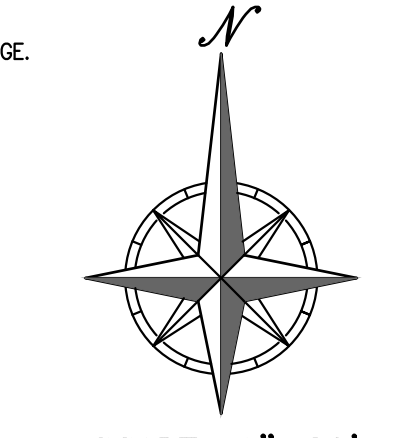
**PDP SUBMITTAL
NOT FOR
CONSTRUCTION**

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

Project No: 20.70060.00
Sheet Title:

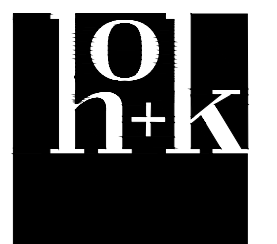
**ENLARGED SITE
PLAN - PHASE 2**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number



SCALE: 1"=20'
PEI #210040

C2.3



**PDP SUBMITTAL
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CONSTRUCTION**

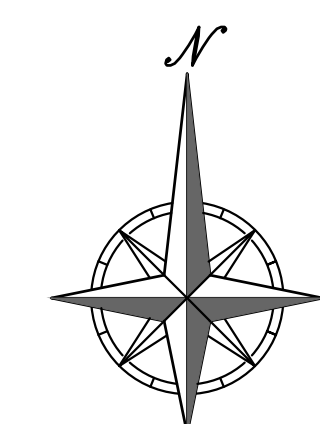
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SITE GRADING NOTES:

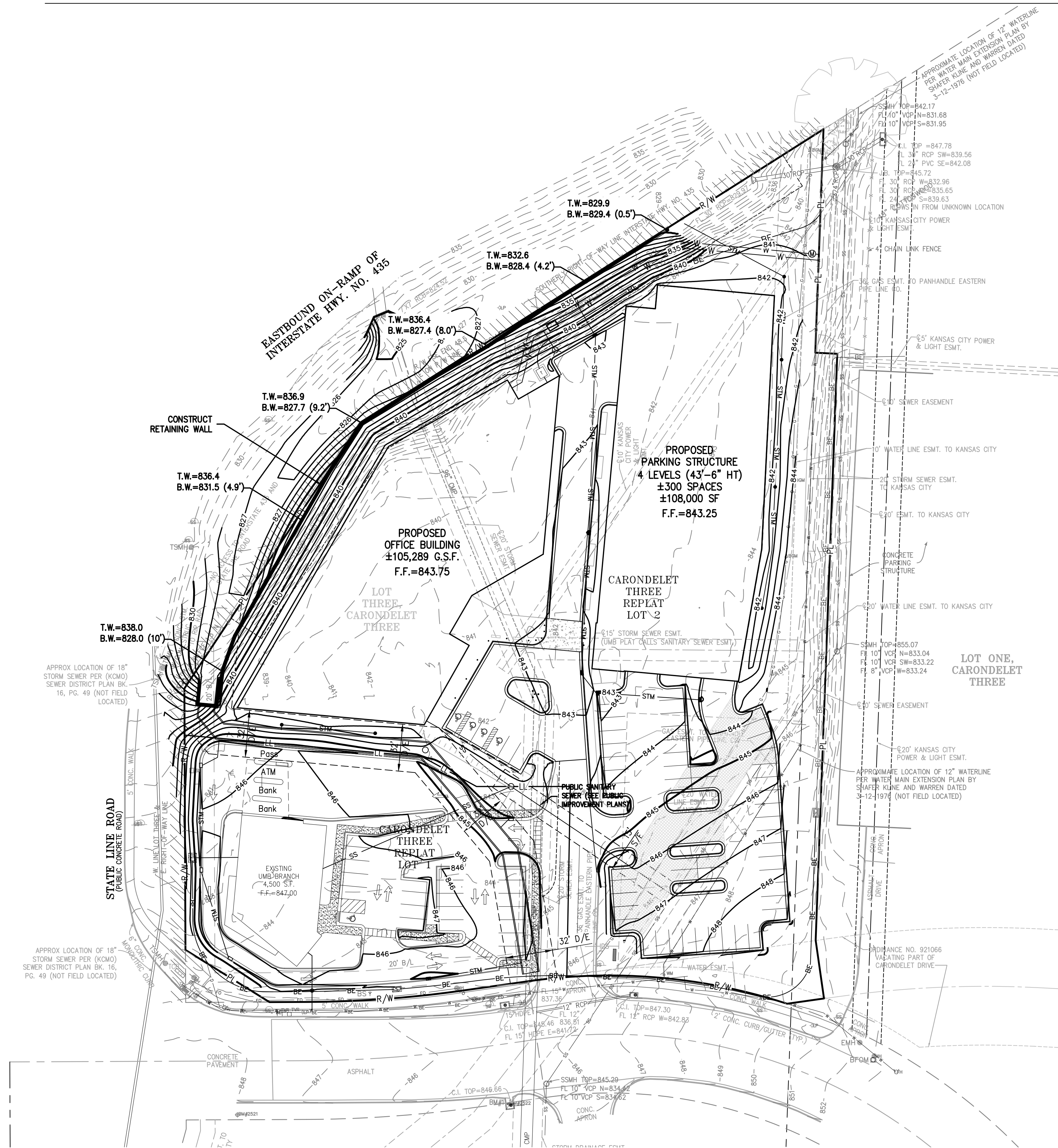
- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.
- If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.
- TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and I.T.L.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
- PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.
- EARTHWORK:
 - GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
 - SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five feet, building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
 - BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper 24 inches of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.
 - EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
- TESTING AND INSPECTION: Owner's independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
- CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
- RESTORATION: All disturbed areas not in building or pavements shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
- UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P.P. requirements.

LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2" CURB & GUTTER
- 920 — EXISTING CONTOURS
- 910 — EXISTING CONTOURS
- 918 — PROPOSED CONTOURS
- EXISTING STORM SEWER
- PROPOSED STORM PIPE
- PROPOSED WET CURB & GUTTER
- PROPOSED DRY CURB & GUTTER
- PROPOSED RETAINING WALL



SCALE: 1" = 40'
0' 40' 80'
PEI #210040



FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF KANSAS CITY, COMMUNITY NO. 290173, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0386G, AND DATED JANUARY 20, 2017.

BENCHMARK:

- VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING (MODOT VRS)
- SET "1" CUT IN CENTER FRONT FACE OF CURB INLET AT APPROXIMATE MIDPOINT OF SOUTH PROPERTY LINE LOT 3, CORONDELET THREE ON THE SOUTH SIDE OF CORONDELET DRIVE AT THE WEST RETURN OF THE NORTH ENTRANCE TO GAS STATION
ELEVATION = 845.67
 - SET PLUS CUT IN CONCRETE SIDEWALK IN THE SOUTHEAST QUADRANT OF CORONDELET DRIVE AND STATE LINE ROAD JUST EAST OF AN ELECTRIC MANHOLE LID
ELEVATION = 848.97

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UTILITY PLAN -
PHASE 2

UTILITY NOTES:

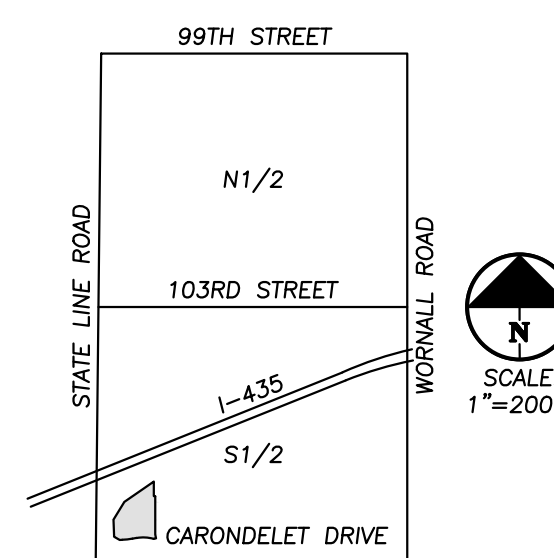
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate &/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
- The construction of storm sewers on this project shall conform to the requirements of the City's Technical Specifications and Design Criteria.
- The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
- It will be the contractor's responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
- Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other incidentals required for a complete operable fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of City.
- The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- The contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact in-locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
- Water lines shall be as follows (unless otherwise shown on plans):
 - Pipe sizes less than 3-inches that are installed below grade and outside building shall comply with the following:
 - Seamless Copper Tubing: Type "K" soft copper, ASTM B88.
 - Fittings: Wrought copper (95.5 Tin Antimony solder joint), ASME B 16.22.
- Minimum trench width shall be 2 feet.
- Contractor shall maintain a minimum of 42" cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to City's specifications for commercial services.
- All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, on 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
- Sanitary conflicts will be resolved prior to permit issuance.
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.
- When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such site utility terminations.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

UTILITY COMPANIES:

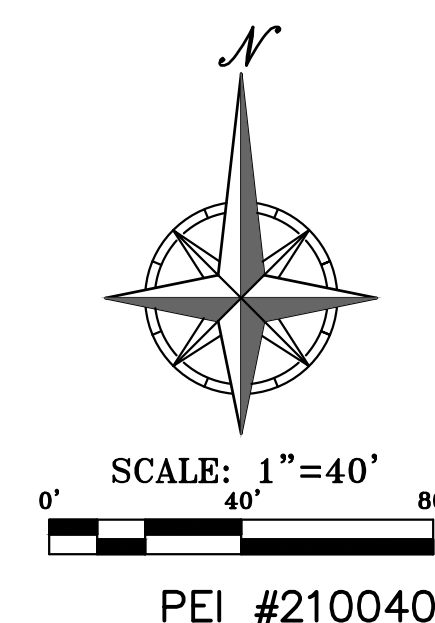
SPIRE ENERGY BEVERLY PASSANTINO 7500 E. 35TH TERRACE KANSAS CITY, MO. 64129 EMAIL: beverly.passantino@spireenergy.com	(816) 472-3434	CITY OF KANSAS CITY PUBLIC WORKS DEPARTMENT 414 E. 12TH STREET KANSAS CITY, MO. 64106	(816) 513-2627
EVERGY MELISSA FELTES 8325 N. PLATTE PURCHASE DRIVE KANSAS CITY, MO. 64118 E-MAIL: Melissa.Feltes@kcpl.com	(816) 420-4721	CITY OF KANSAS CITY (GENERAL NUMBER) CARLA HASKINS (WATER) EMAIL: carla.haskins@kcmo.org AMY BUNNELL (LAND DEVELOPMENT DIVISION) EMAIL: amy.bunnell@kcmo.org 4800 E. 63RD STREET KANSAS CITY, MO. 64130	(816) 513-1313 (816) 513-2133 (816) 513-2552
AT&T JILL SCHROEDER 9556 N. MCGEE COURT KANSAS CITY, MO 64155 EMAIL: j0311@att.com	(816) 734-8700	TIME WARNER CABLE 15 NW BARRY ROAD KANSAS CITY, MO. 64155	(816) 358-8833

LEGEND

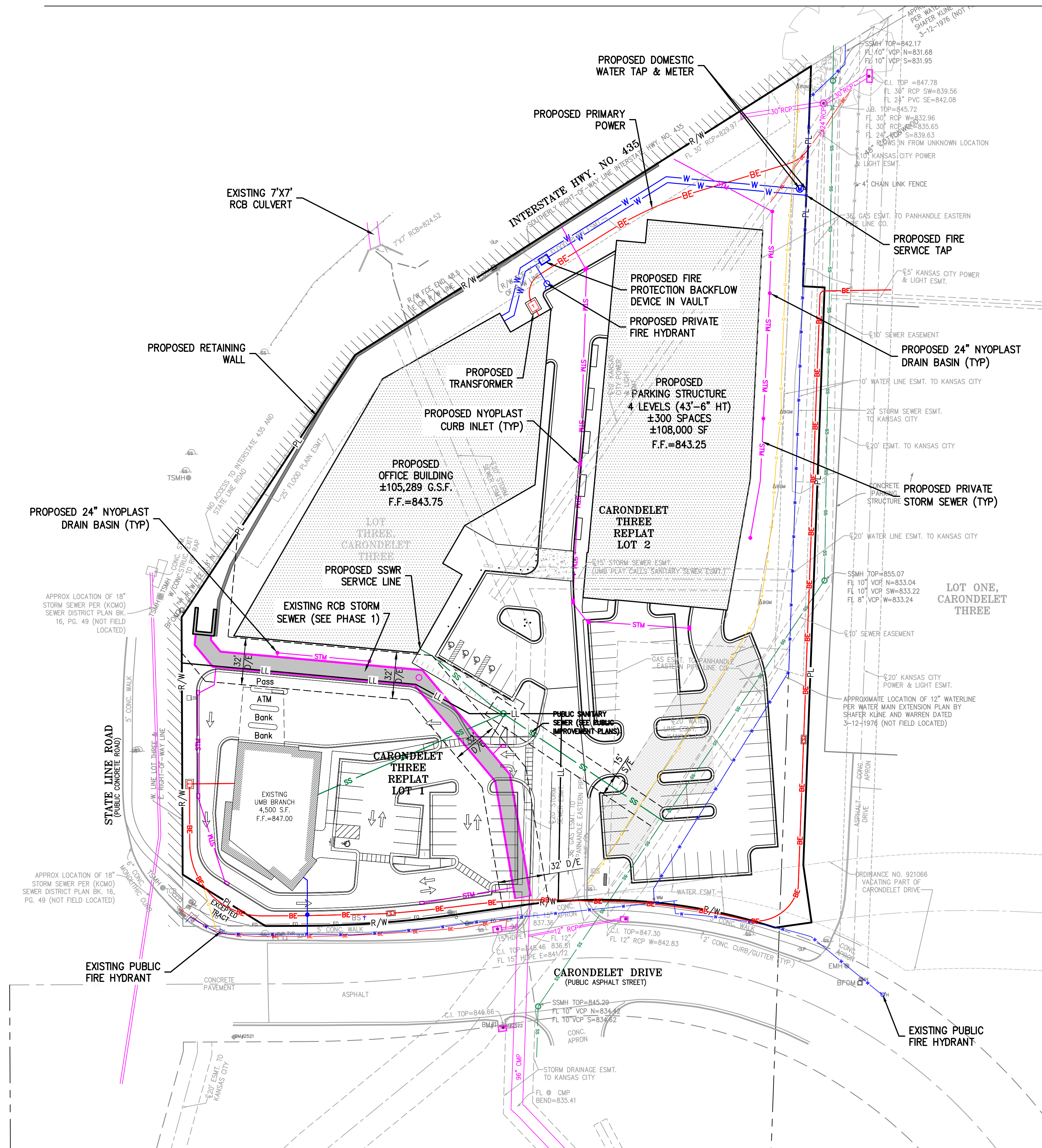
— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
— CTV —	EXISTING CABLE TELEVISION LINE
— FO —	EXISTING FIBER OPTIC LINE
— G —	EXISTING GAS LINE
— BE —	EXISTING BURIED ELECTRIC LINE
— OHP —	EXISTING OVERHEAD POWER LINE
— OHT —	EXISTING OVERHEAD TELEPHONE LINE
— SS —	EXISTING SANITARY SEWER LINE
— SSS —	EXISTING SANITARY SEWER LINE (& SIZE)
— ST —	EXISTING BURIED TELEPHONE LINE
— W —	EXISTING WATER LINE (& SIZE)
— BE —	PROPOSED BURIED ELECTRIC LINE
— SS —	PROPOSED SANITARY SEWER LINE
— SSS —	PROPOSED STORM SEWER LINE (& SIZE)
— W —	PROPOSED WATER LINE (& SIZE)



VICINITY MAP
FRAC. SEC. 31-48-33



SCALE: 1"=40'
PEI #210040



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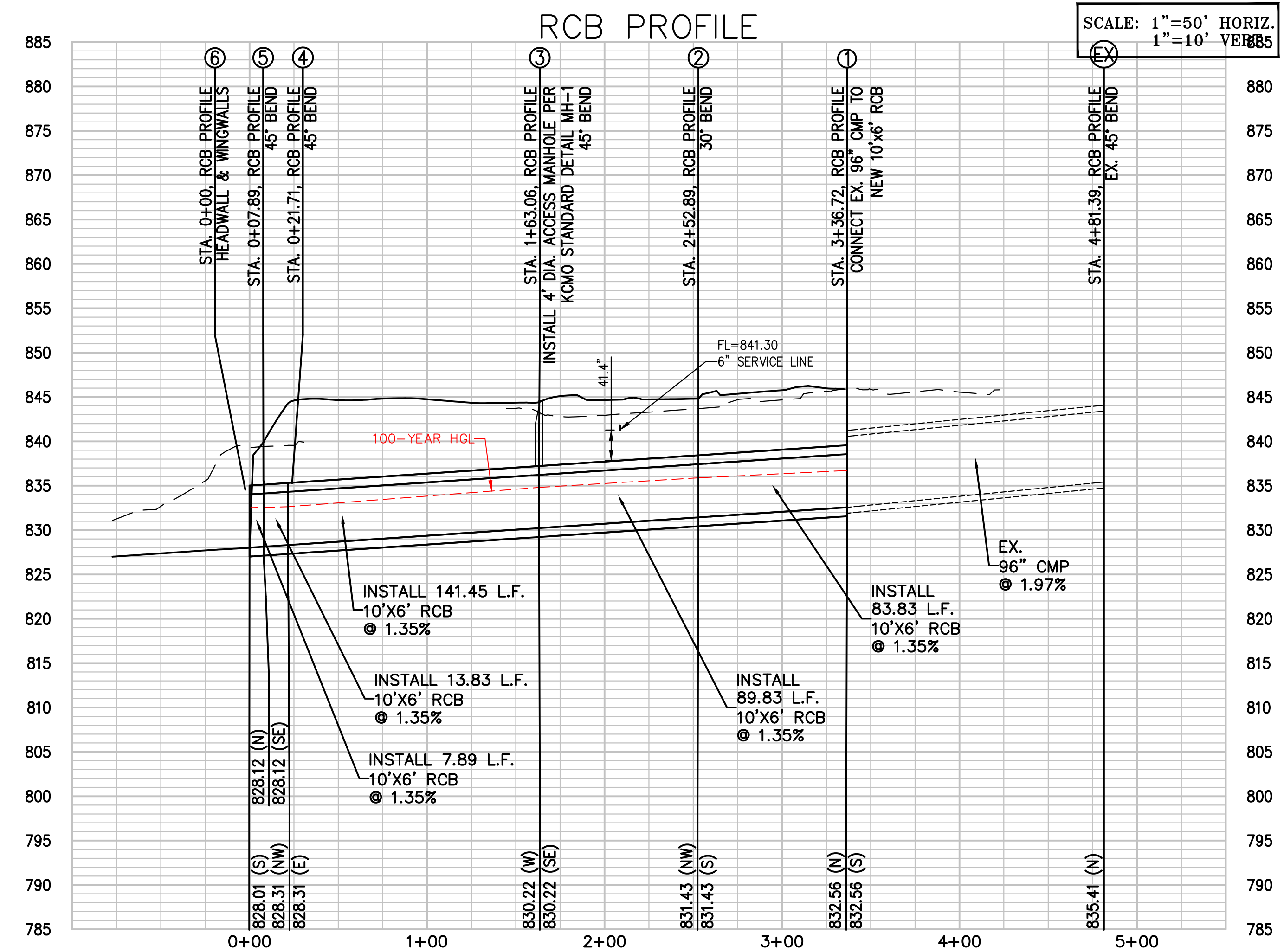
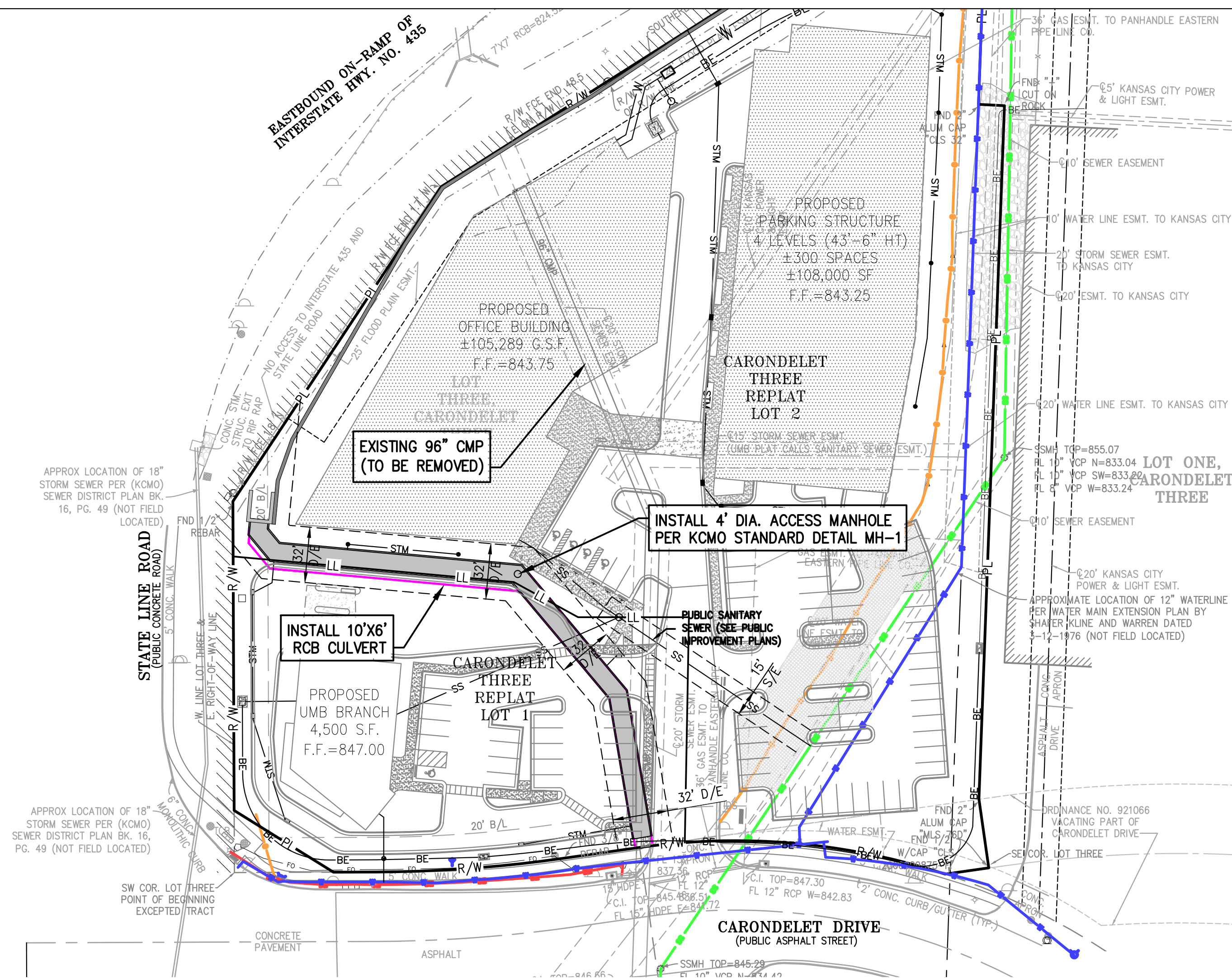


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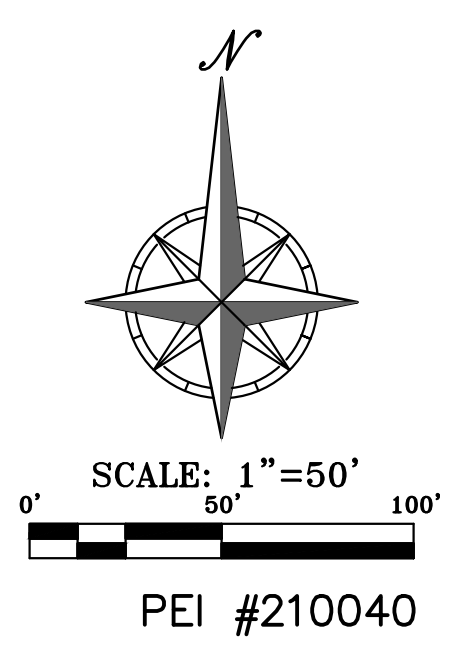
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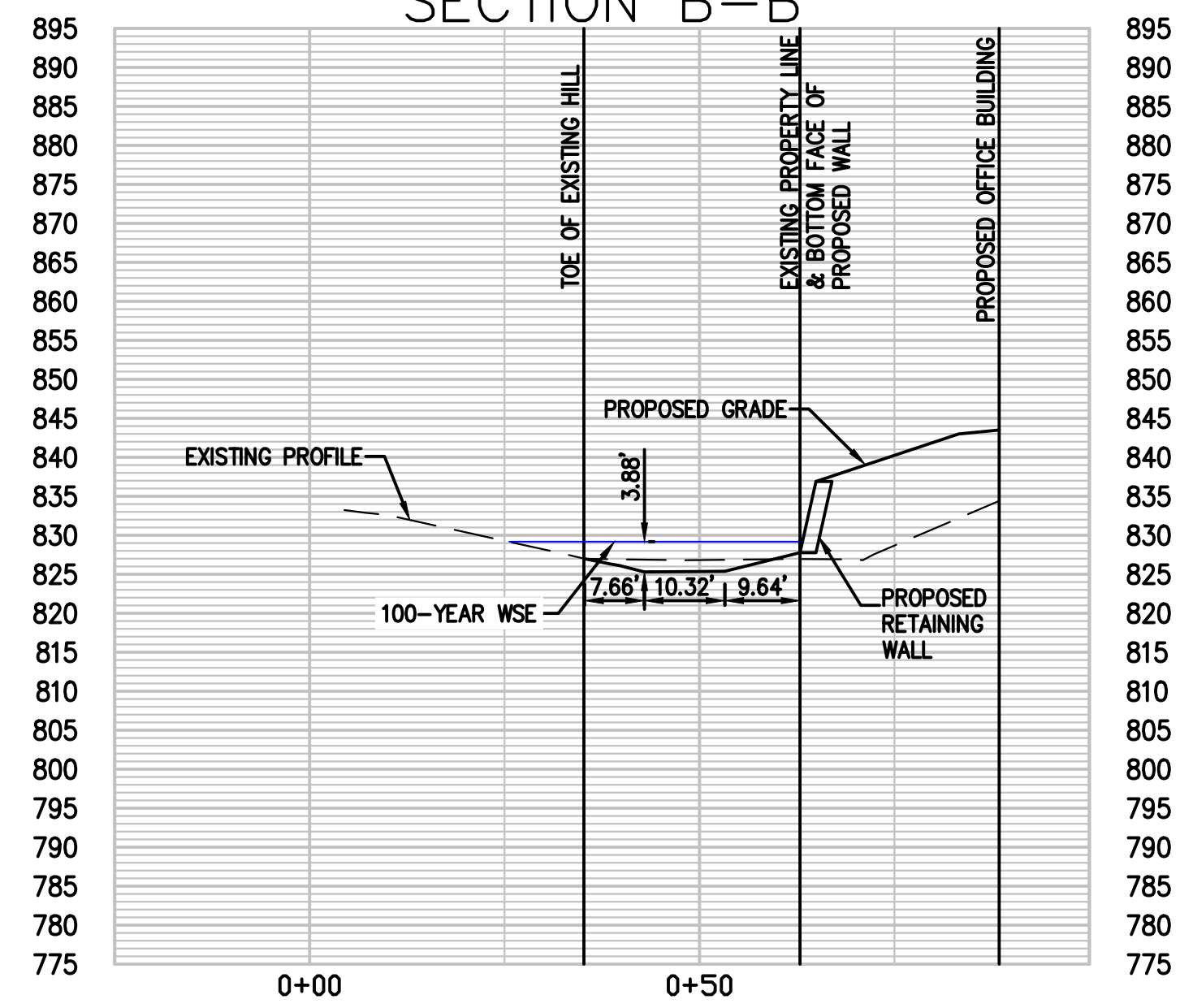


Watershed Analysis		
Storm Event	25-YR	100-YR
Total Area (A.C.)	240	240
Slope	1.88%	1.88%
Length	4,340	4,340
Time of Conc. (min)	20	20
Intensity (in/hr)	5.37	6.62
% impervious	30%	30%
"C" Value	0.48	0.48
"K" Value	1.1	1.25
Q (CFS)	680	953

EXISTING 96" CMP CAPACITY=680 CFS
PROPOSED 10'X6' RCB CAPACITY=1,212 CFS



SCALE: 1"=20' HORIZ.
1"=20' VERT.



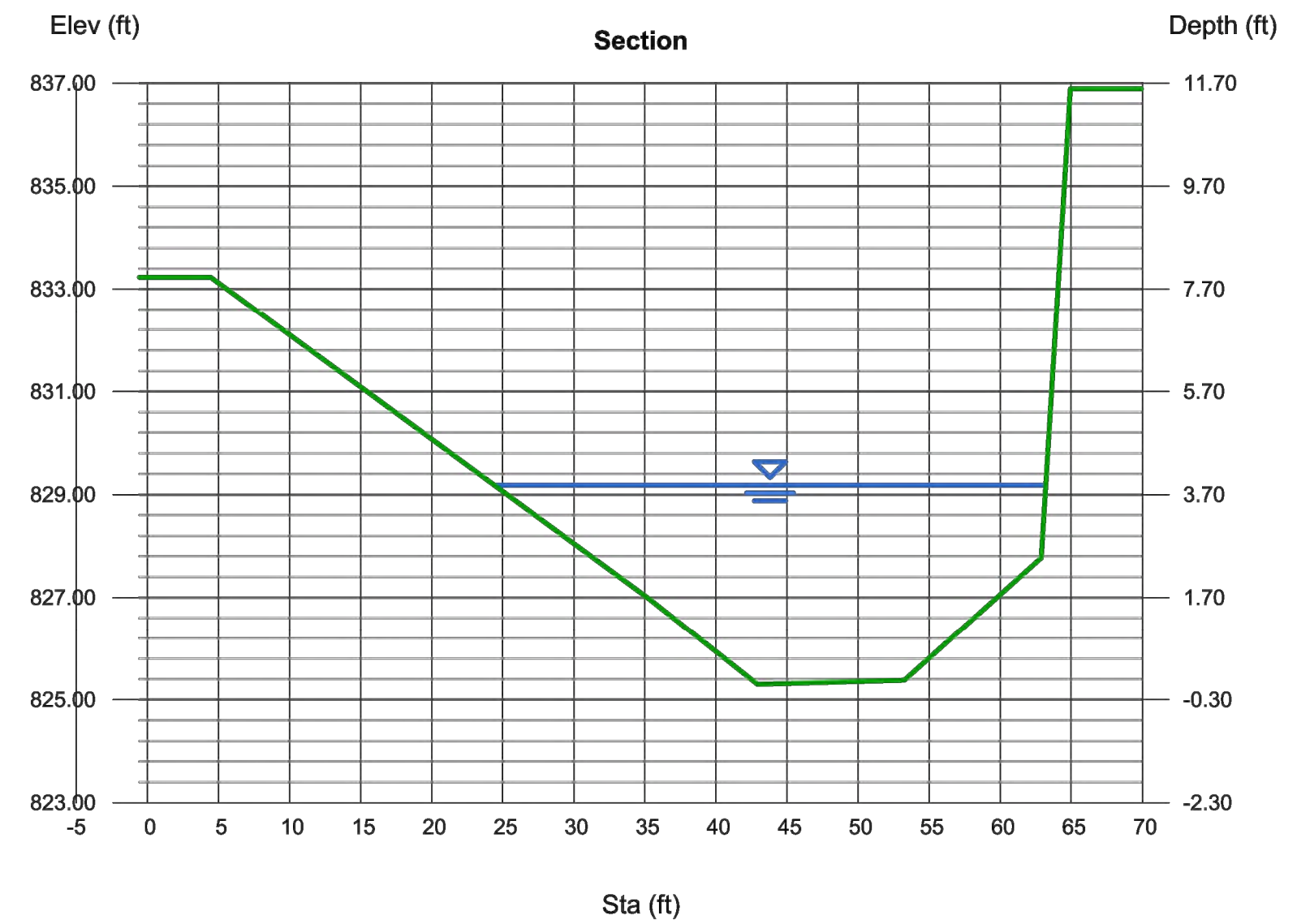
Channel Report

Hydrflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Thursday, Apr 1 2021

Swale Section B-B

User-defined		Highlighted	
Invert Elev (ft)	= 825.30	Depth (ft)	= 3.88
Slope (%)	= 1.20	Q (cfs)	= 1,190
N-Value	= 0.025	Area (sqft)	= 100.19
		Velocity (ft/s)	= 11.88
		Wetted Perim (ft)	= 40.61
		Crit Depth, Yc (ft)	= 4.44
		Top Width (ft)	= 38.79
		EGL (ft)	= 6.07

(Sta, El, n)-(Sta, El, n)...
(4.44, 833.23)-(35.27, 826.98, 0.025)-(42.93, 825.30, 0.025)-(53.25, 825.38, 0.025)-(62.89, 827.77, 0.025)-(64.93, 836.89, 0.025)



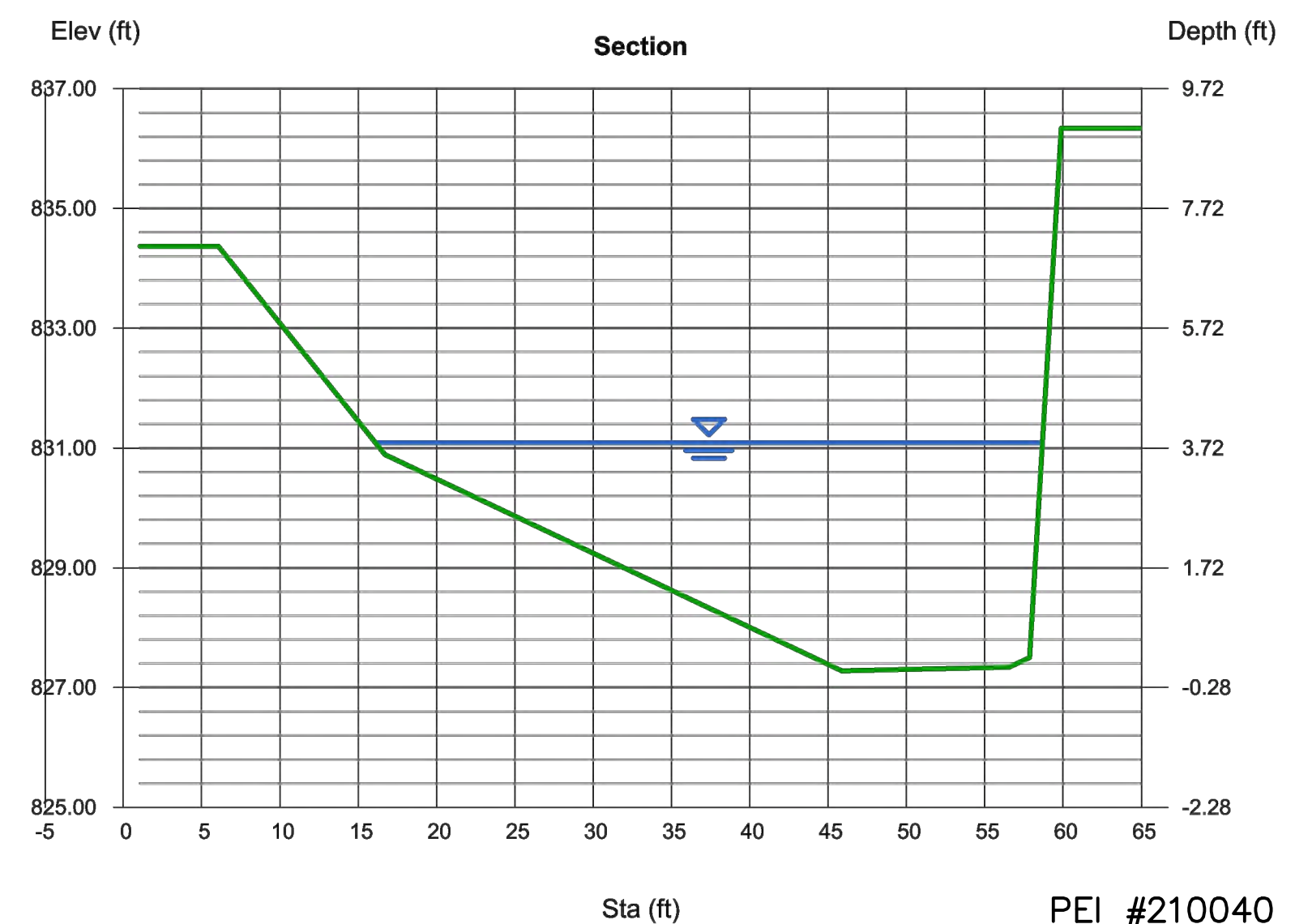
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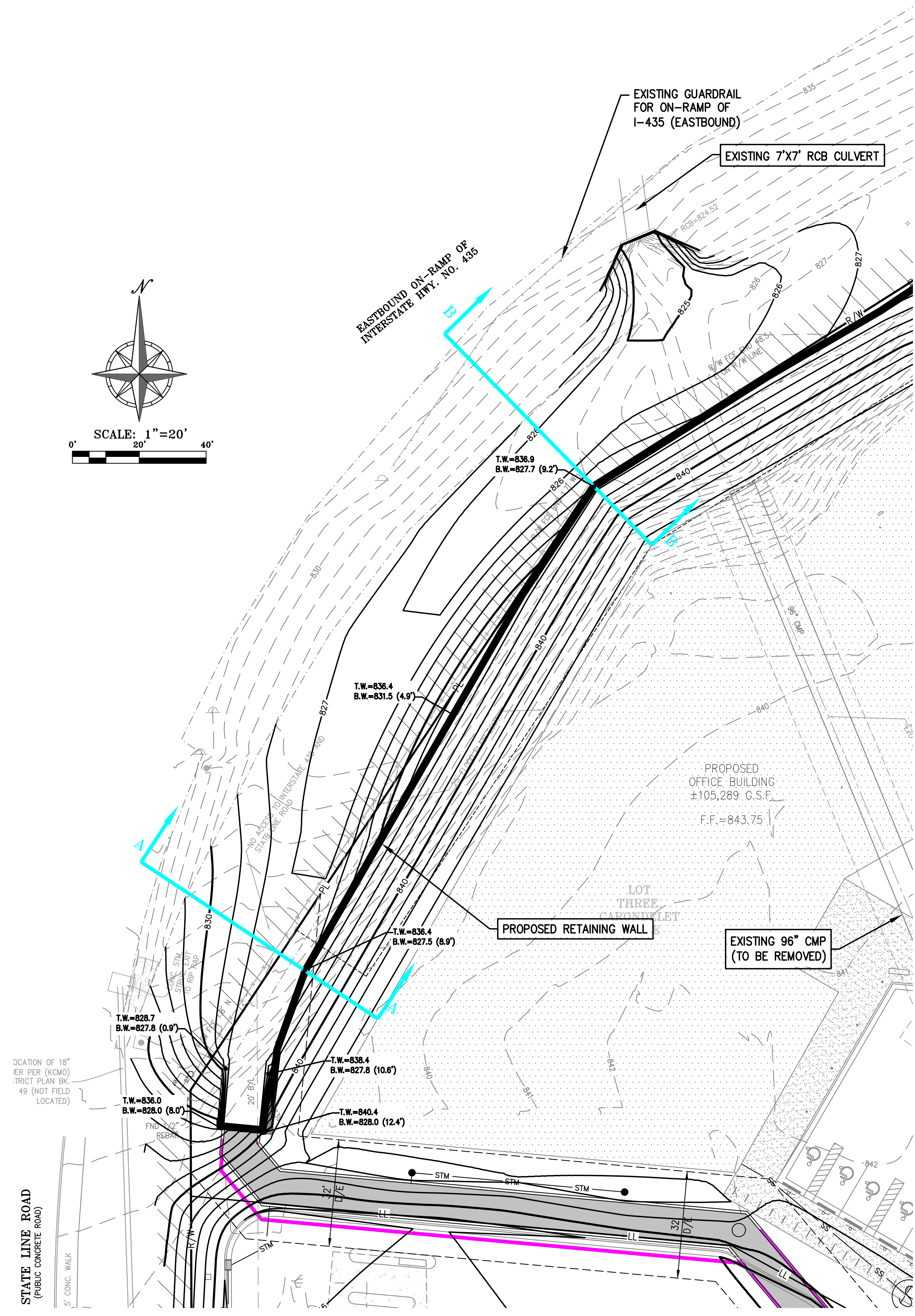
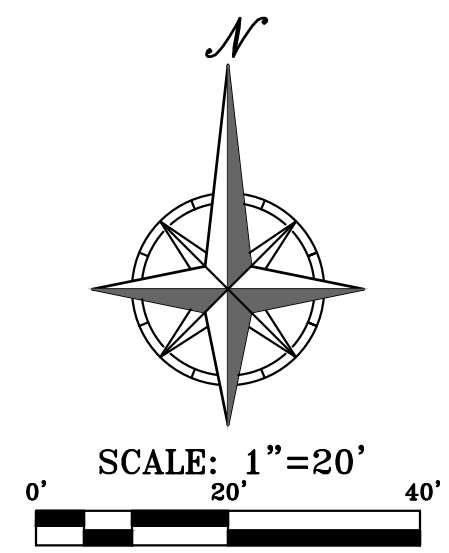
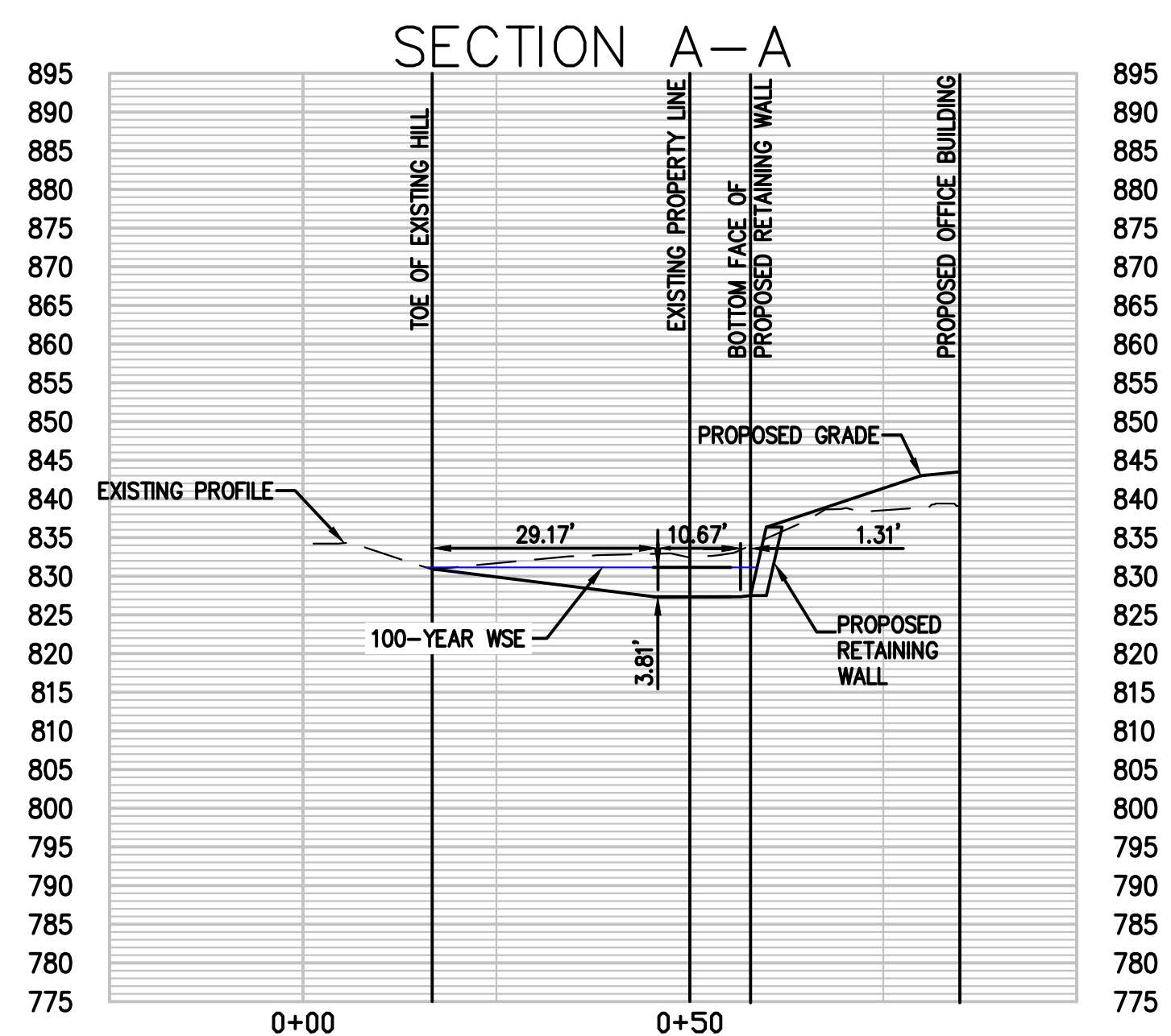
Swale Section A-A

User-defined		Highlighted	
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Slope (%)	= 1.20	Q (cfs)	= 1,190
N-Value	= 0.025	Area (sqft)	= 105.18
		Velocity (ft/s)	= 11.31
		Wetted Perim (ft)	= 45.72
		Crit Depth, Yc (ft)	= 4.27
		Top Width (ft)	= 42.59
		EGL (ft)	= 5.80

(Sta, El, n)-(Sta, El, n)...
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SCALE: 1"=20' HORIZ.
1"=20' VERT.



Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
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4900 Main St. Ste 400, Kansas City, MO 64112
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Project No: 20.70060.00
Sheet Title:

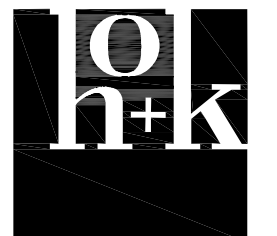
**STORM SEWER
SECTIONS**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

PEI #210040

C3.1

\\PHelps-SERVER\Projects\210040\Eng\Preliminary Development\Plans\CONCEPT STORM P&P.dwg Layout2 Jul 29, 2021 - 4:46pm Daniel Finn



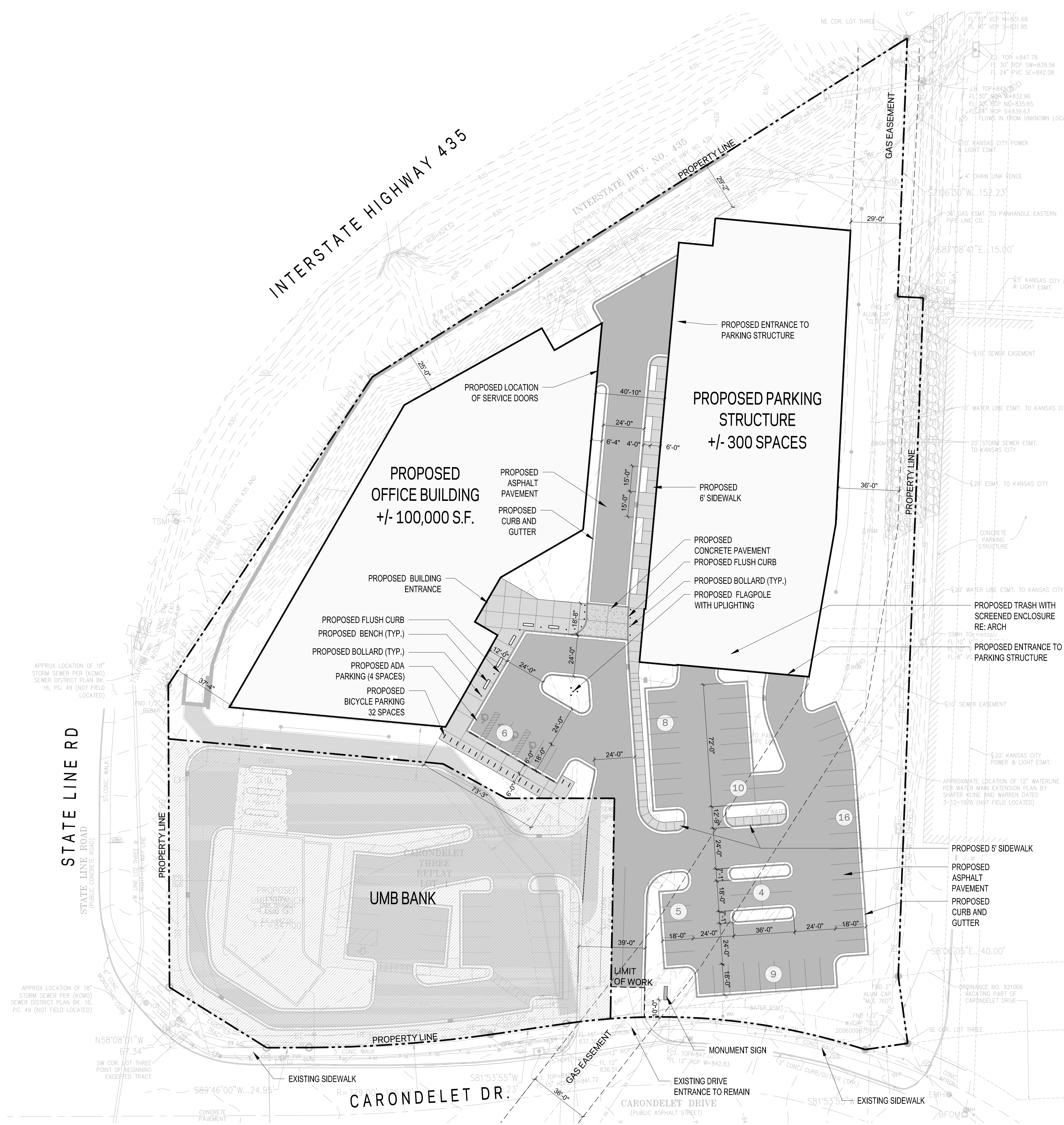
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1	PDP SUBMISSION	4.30.2021
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Project No: 20.70060.00

Sheet Title:

SITE PLAN

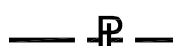
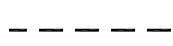

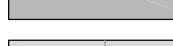


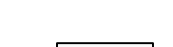




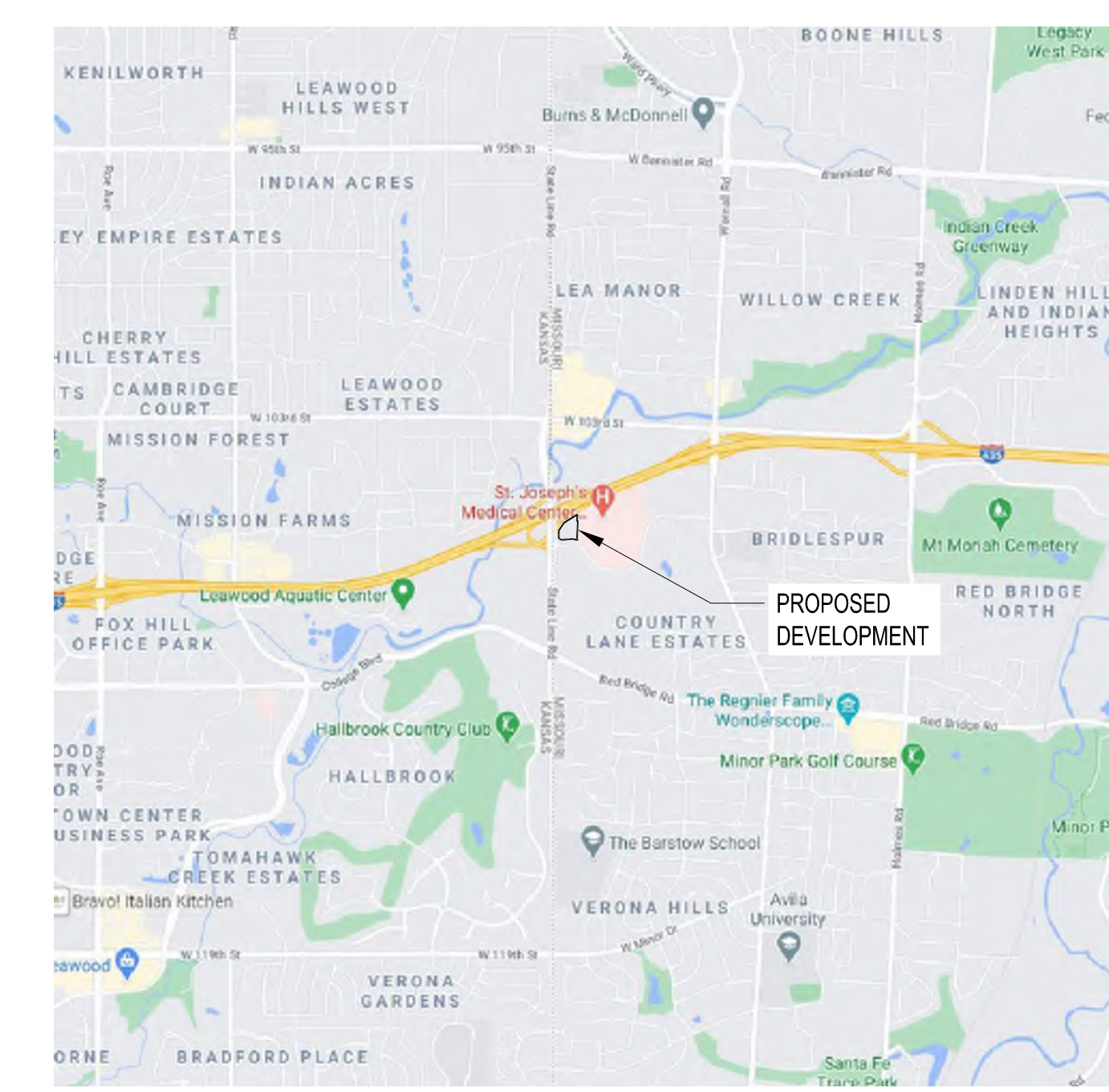
SUMMARY OF REQUIRED BIKE PARKING

City of Kansas City Zoning and Development Code: 88-420-09: Bicycle Parking

TOTAL PARKING SPACES	BIKE PARKING REQUIRED	BIKE PARKING PROPOSED
351	36	36

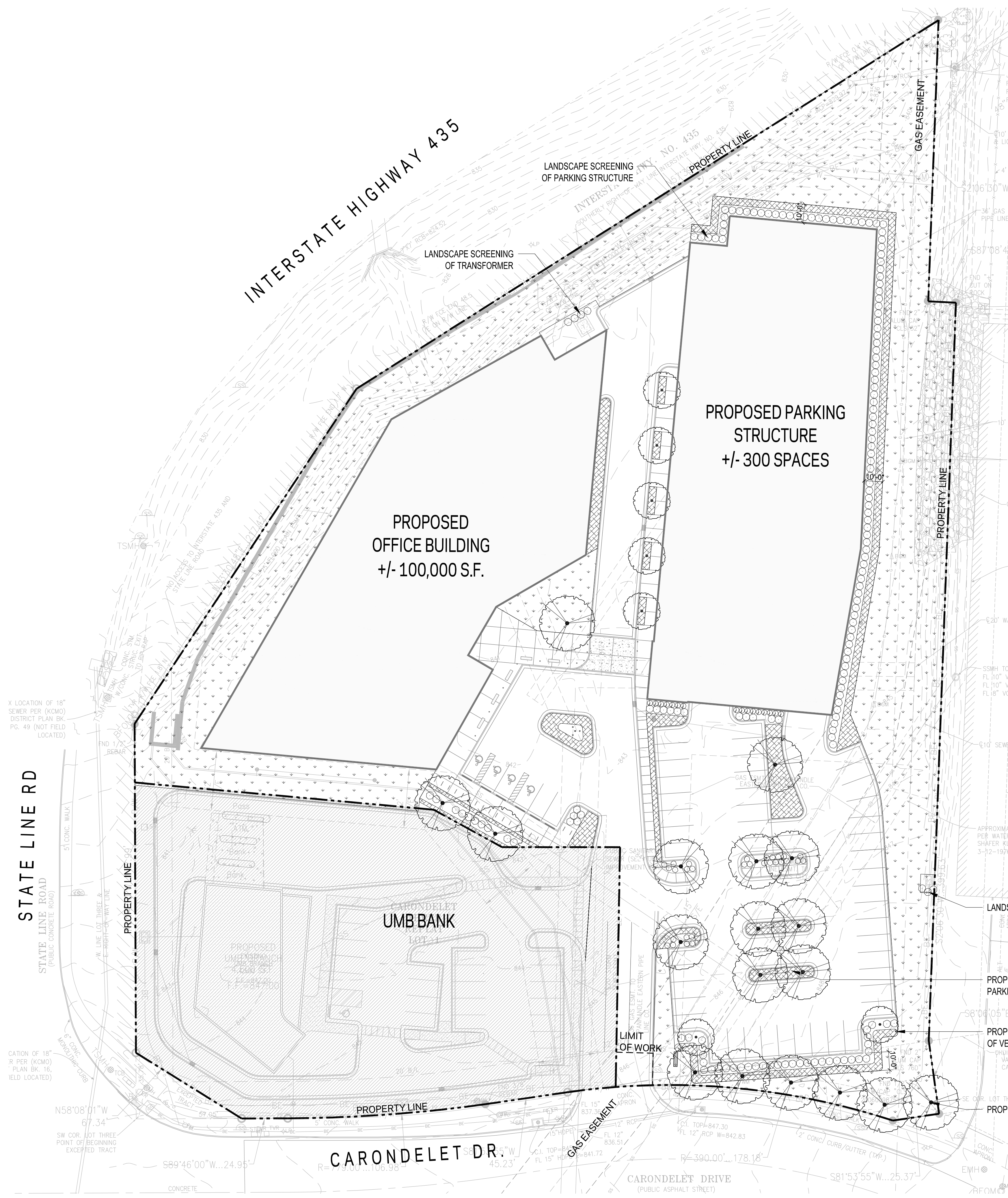
LEGEND

-  PROPERTY LINE
-  LIMITS OF WORK
-  ASPHALT PAVEMENT
-  CONCRETE PAVEMENT, LIGHT BROOM FINISH
-  VEHICULAR RATED CONCRETE PAVEMENT, LIGHT BROOM FINISH
-  BENCH
-  BOLLARD
-  BICYCLE RACK
-  CONCRETE WHEEL STOP, RE: CIVIL



1 SITE PLAN
SCALE: 1" = 30'-0"

2 VICINITY MAP
SCALE: NTS



STREET TREE PLANTING SUMMARY

City of Kansas City Zoning and Development Code: 88-425-03: Street Trees

FRONTAGE DESCRIPTION	LOT FRONTAGE (LF)	TREES REQUIRED	PROPOSED
CARONDELET DR.	176	6	6

PERIMETER LANDSCAPING OF VEHICULAR USE AREAS SUMMARY

City of Kansas City Zoning and Development Code: 88-425-05: Perimeter Landscaping of Vehicular Use Areas

FRONTAGE DESCRIPTION	FRONTAGE (LF)	TREES REQUIRED	PROPOSED
CARONDELET DR.	120	4	4*

*Includes Street Trees Applied Toward Perimeter Landscaping Requirement

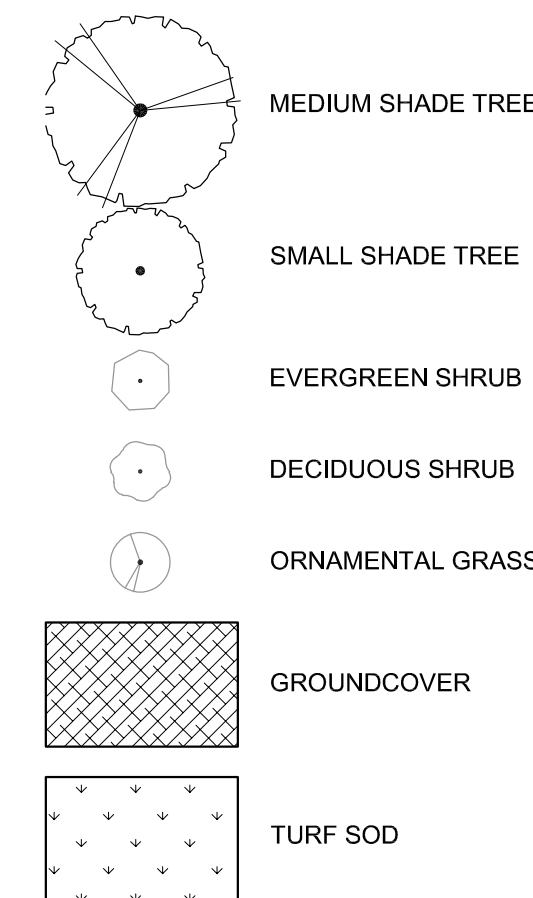
FRONTAGE DESCRIPTION	LANDSCAPE REQUIRED	LANDSCAPE PROPOSED
CARONDELET DR.	Evergreen Shrubs: Continuous Row 3' Tall Min 10' Bed Groundcover	Evergreen Shrubs: Continuous Row 3' Tall 10' Bed Groundcover

INTERIOR LANDSCAPING OF PARKING LOTS SUMMARY

City of Kansas City Zoning and Development Code: 88-425-06: Interior Landscaping of Parking Lots

PARKING SPACES	TREES REQUIRED	PROPOSED	SHRUBS REQUIRED	SHRUBS PROPOSED
58	12	12	58	71

LEGEND



CONCEPTUAL PLANT PALETTE

	BOTANICAL NAME	COMMON NAME
SHADE TREES	ACER SACCHARUM 'BALISTA'	FALL FIESTA SUGAR MAPLE
	GINKGO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE
	QUERCUS RUBRA	RED OAK
ORNAMENTAL TREES	ULMUS X 'FRONTIER'	AMERICAN ELM
	CERCIS CANADENSIS	EASTERN REDBUD
	CORNUS FLORIDA 'KOUSA'	KOUSA DOGWOOD
DECIDUOUS SHRUBS	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA
	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE
	PHYSOCARPUS OPULIFOLIUS 'SUMMERWINE'	SUMMER WINE NINEBARK
EVERGREEN SHRUBS	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA
	BUXUS MICROPHYLLA 'WINTERGREEN'	WINTERGREEN BOXWOOD
	JUNIPERUS PFITZERIANA 'SEA GREEN'	SEA GREEN JUNIPER
ORNAMENTAL GRASSES	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS
	PANICUM VIRGATUM 'HEAVY METAL'	SWITCHGRASS
	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	LITTLE BLUESTEM
GROUNDCOVER	EUONYMUS FORTUNEI 'COLORATUS'	WINTERCREEPER
	LIRIOPE MUSCARI	BIG BLUE LILYTURF
	VINCA MINOR	PERIWINKLE



Project
435 & STATE LINE
 1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
 4900 Main St. Ste 400, Kansas City, MO 64112
 and

UMB Financial Corporation
 1010 Grand Boulevard, Kansas City, MO 64106



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 Retail Bank Landscape Architect
 22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
 Engineering Consultant
 1730 Walnut St, Kansas City, MO 64108

Professional Seals

NOT FOR CONSTRUCTION

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RESUBMITTAL	7.1.2021

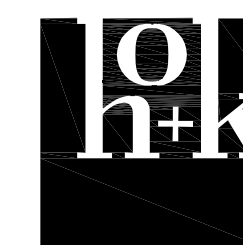
Project No: 20.70060.00
 Sheet Title:
OFFICE LANDSCAPE PLAN

Original is 36 x 24. Do not scale contents of this drawing.
 Sheet Number

Project
435 & STATE LINE
 1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
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No.	Description	Date
1	PDP RESUBMITTAL	7.1.2021

Project No: 20.70060.00
 Sheet Title:

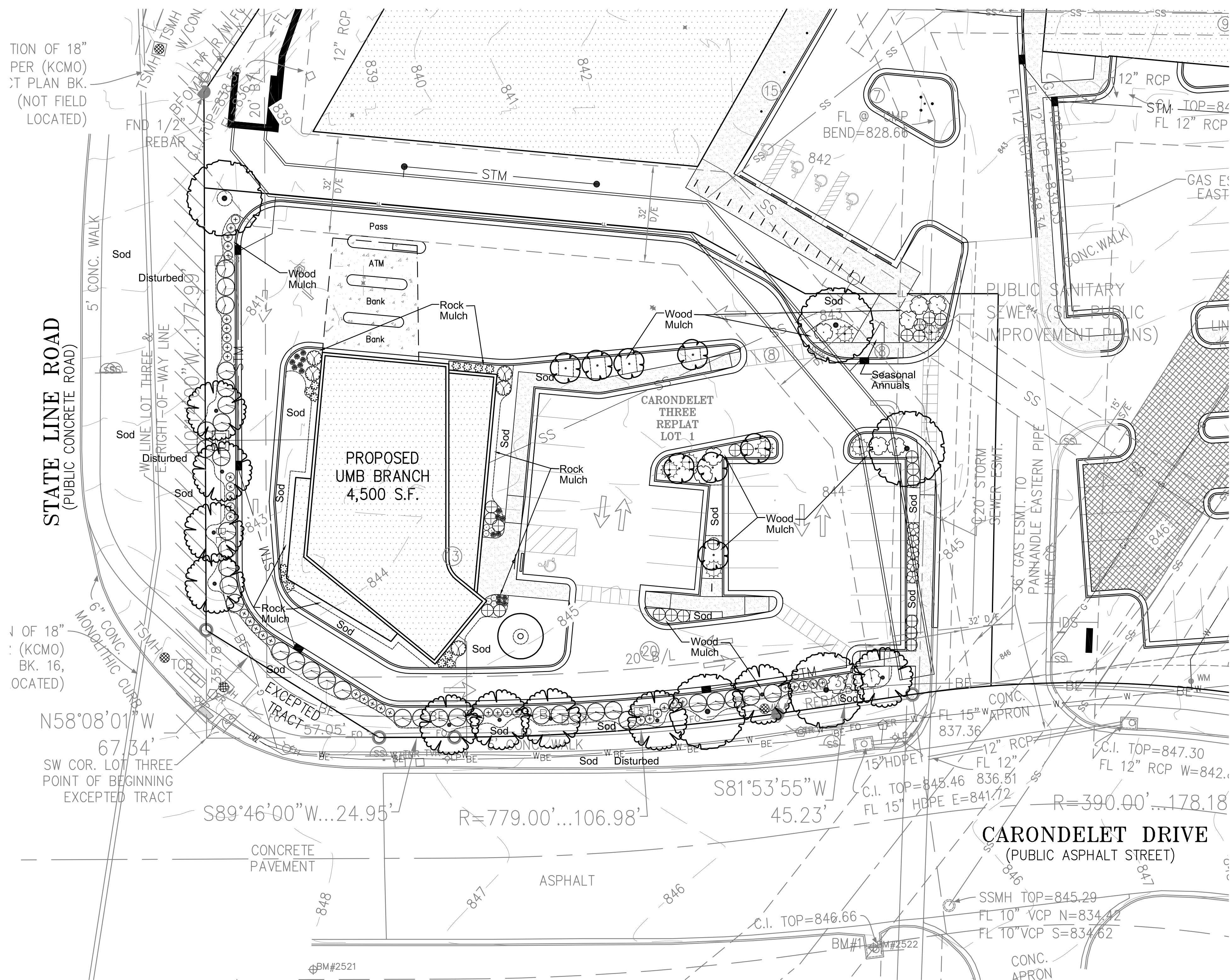
BANK LANDSCAPE PLAN

Original is 36 x 24. Do not scale contents of this drawing.
 Sheet Number

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	5	Acer saccharum 'Bailista' TM / Fall Fiesta Sugar Maple	B & B	2" Cal
	1	Cercis canadensis 'Oklahoma' / Oklahoma Redbud	B & B	1.5" Cal
	10	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree Male Only	B & B	2" cal.
	8	Quercus robur x alba 'Crimschmidt' TM / Crimson Spire Oak	B & B	2" Cal
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	41	Buxus microphylla 'Wintergreen' / Korean Boxwood 18"-24" hgt. & sp.	5 gal	
	7	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper 24"-30" sp.	5 gal	
	36	Juniperus x pfitzeriana 'Sea Green' / Sea Green Juniper 24"-30" sp. & hgt.	5 gal	
	5	Physocarpus opulifolius 'Seward' TM / Summer Wine Ninebark 24"-30" hgt. & sp.	3 gal	
	11	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 18"-24" sp.	3 gal.	
	5	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea 18"-24" hgt.	3 gal	
	22	Spiraea x bumalda 'Gold Flame' / Gold Flame Spiraea 18"-24" hgt.	3 gal	
ANNUALS/PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT	
	16	Ceratostigma plumbaginoides 'Blue Plumbago' / Blue Plumbago	1 gal	
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	
	6	Calamagrostis acutiflora 'Karl Foerster' / Feather Reed Grass 18"-24" hgt.	3 gal	
	13	Miscanthus sinensis 'Morning Light' / Eulalia Grass 18"-24" sp.	3 gal	

Street Tree Requirements:
 394 ft. of road frontage divided by 30 equals 13 trees. 13 trees provided.



SECTION OF 18" PER (KCMO) AT PLAN BK. (NOT FIELD LOCATED)

STATE LINE ROAD (PUBLIC CONCRETE ROAD)

SECTION OF 18" PER (KCMO) AT PLAN BK. 16, (LOCATED)

CARONDELET DRIVE (PUBLIC ASPHALT STREET)

Utility Note:
 Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Missouri call 1-800-DIG-RITE (344-7483) to have utilities located.

Oppermann LandDesign, LLC
 Land Planning Landscape Architecture
 18990 West 117th Street
 Olathe, Kansas 66061
 pete@opperland.com
 913.894.9407



NOT FOR
CONSTRUCTION

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021

Project No: 20.70060.00
Sheet Title:

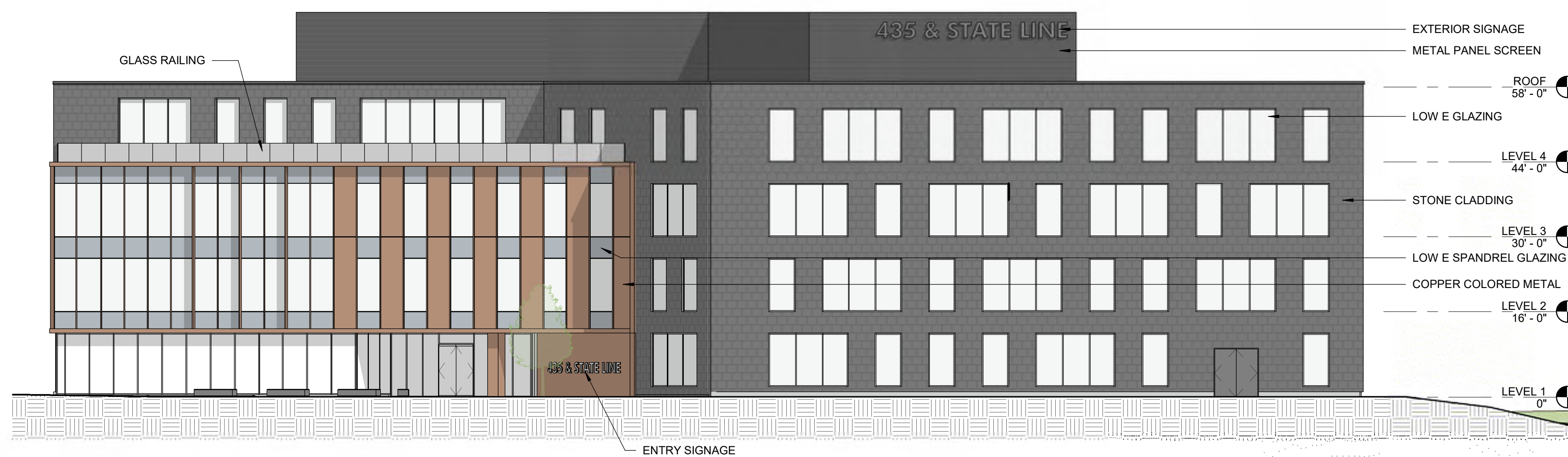
OFFICE ELEVATIONS

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Sheet Number

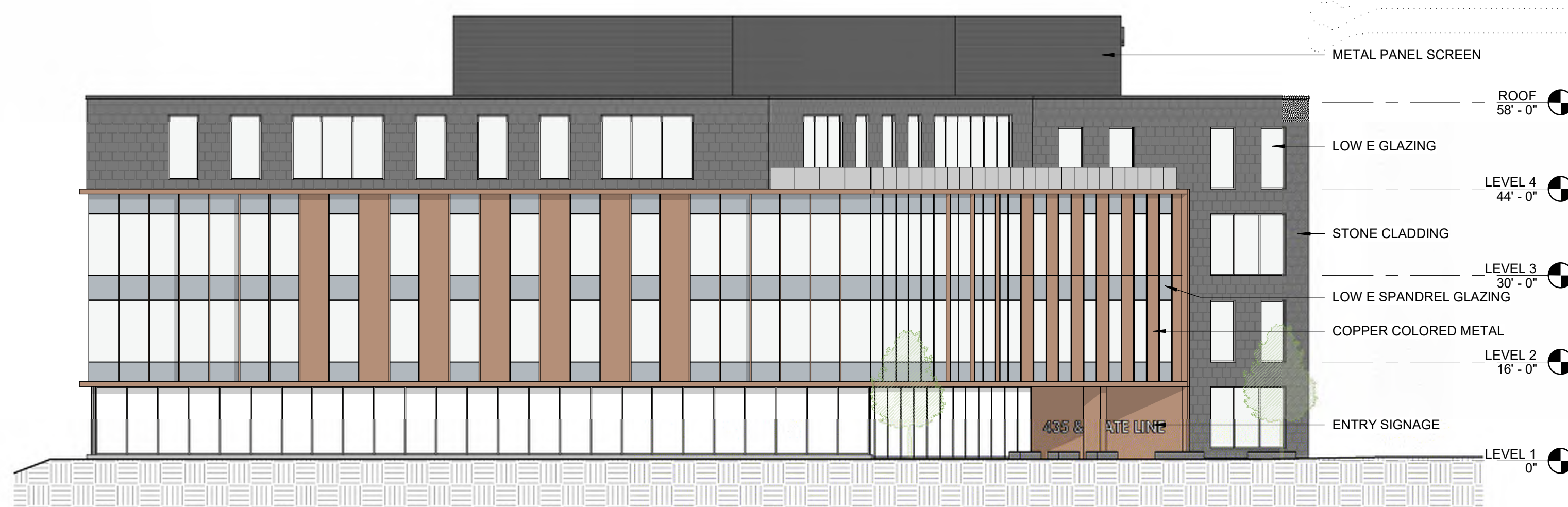
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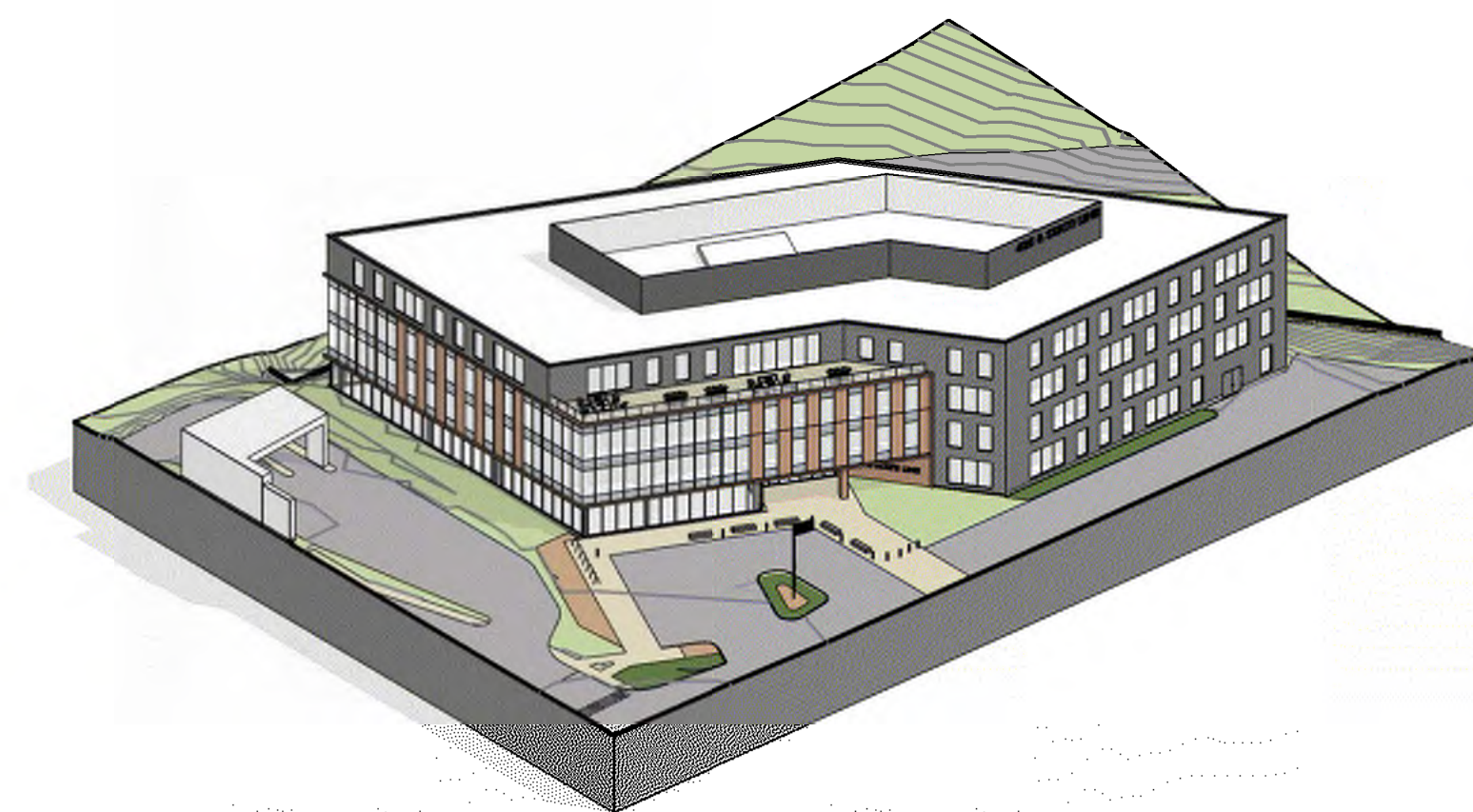
2 NW ELEVATION
1/16" = 1'-0"



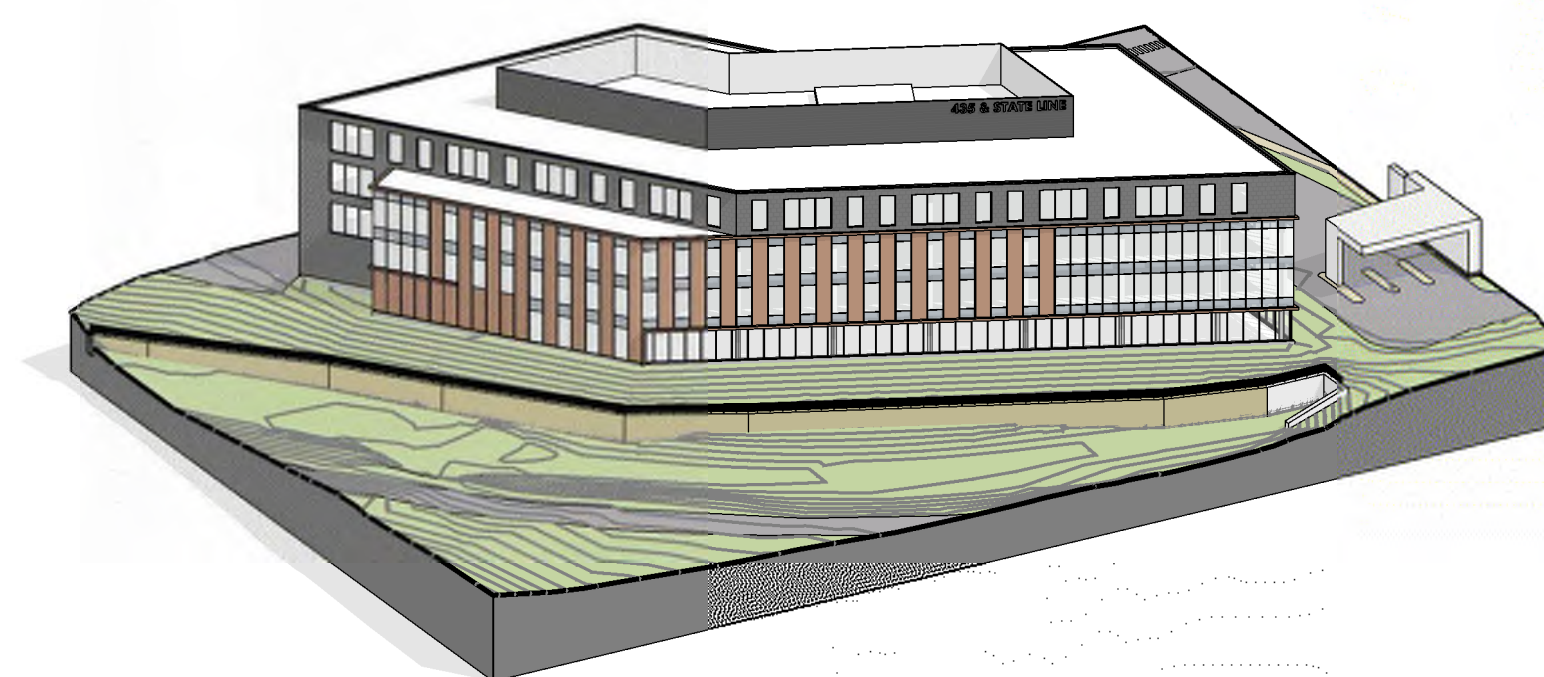
1 SE ELEVATION
1/16" = 1'-0"



3 SOUTH ELEVATION
1/16" = 1'-0"



4 SE AXON



5 NW AXON

Project
435 & STATE LINE
Project Address

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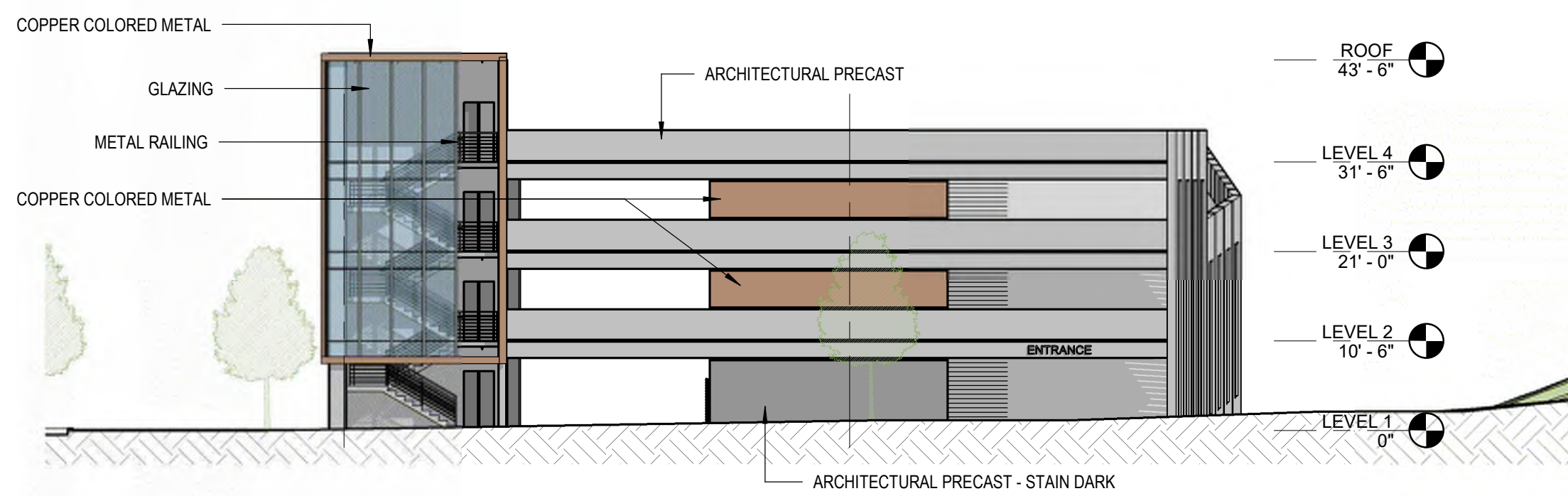
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Sheet Title:

Garage Elevations

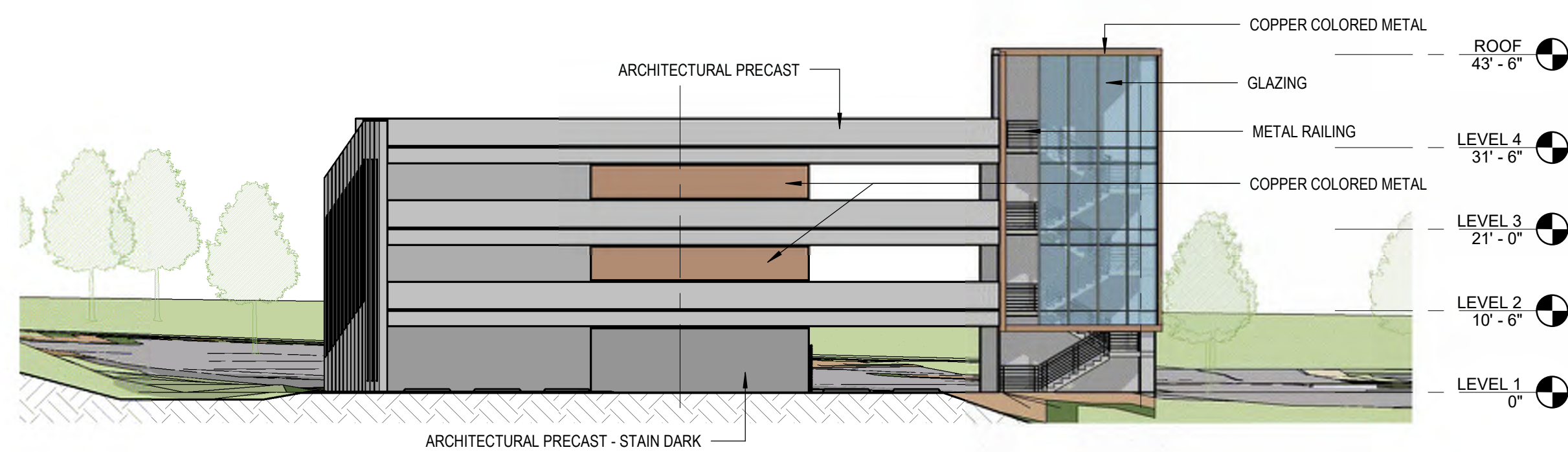
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Sheet Number



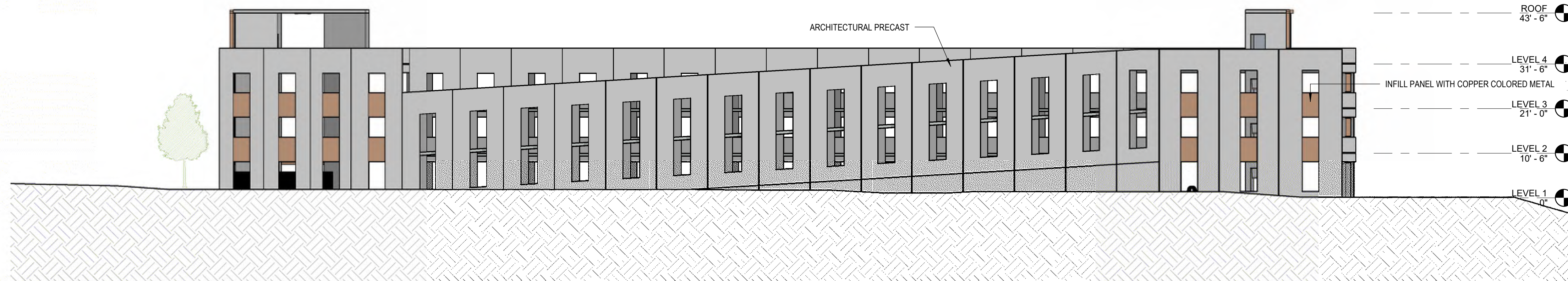
1 WEST ELEVATION
1/16" = 1'-0"



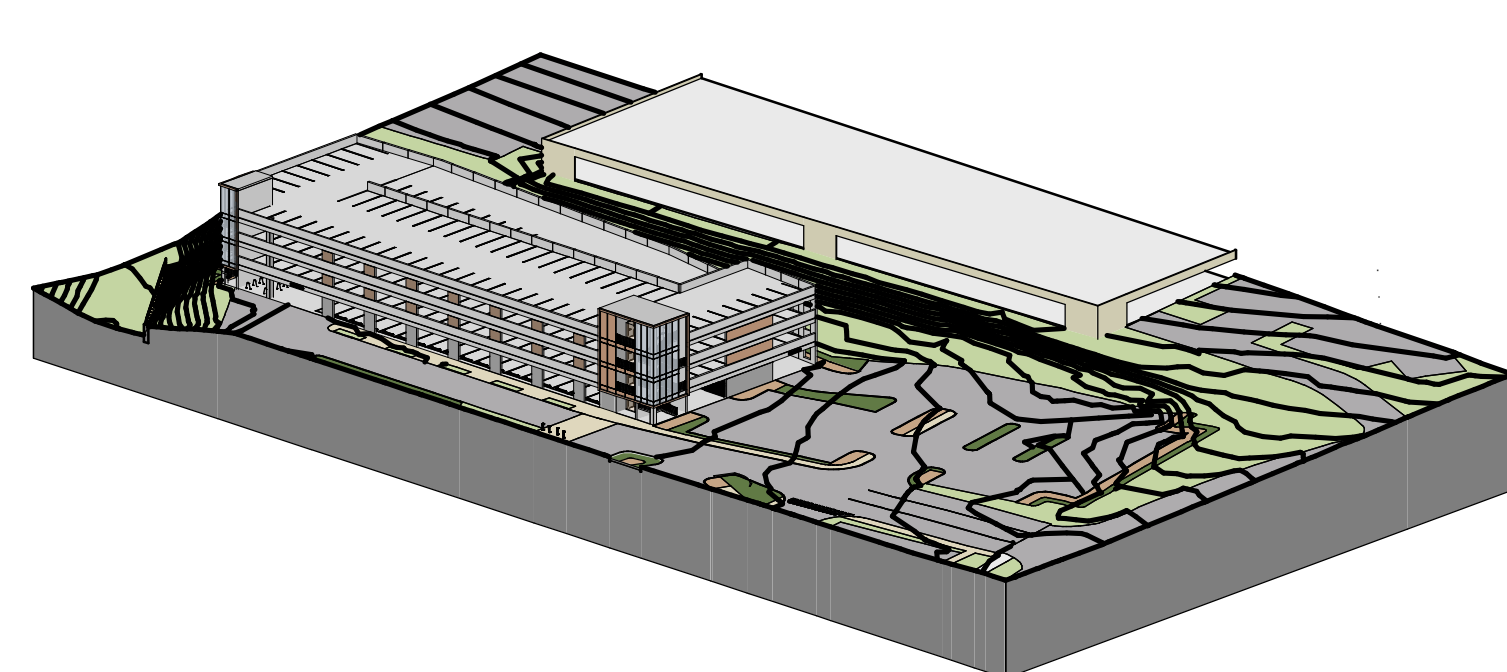
2 SOUTH ELEVATION
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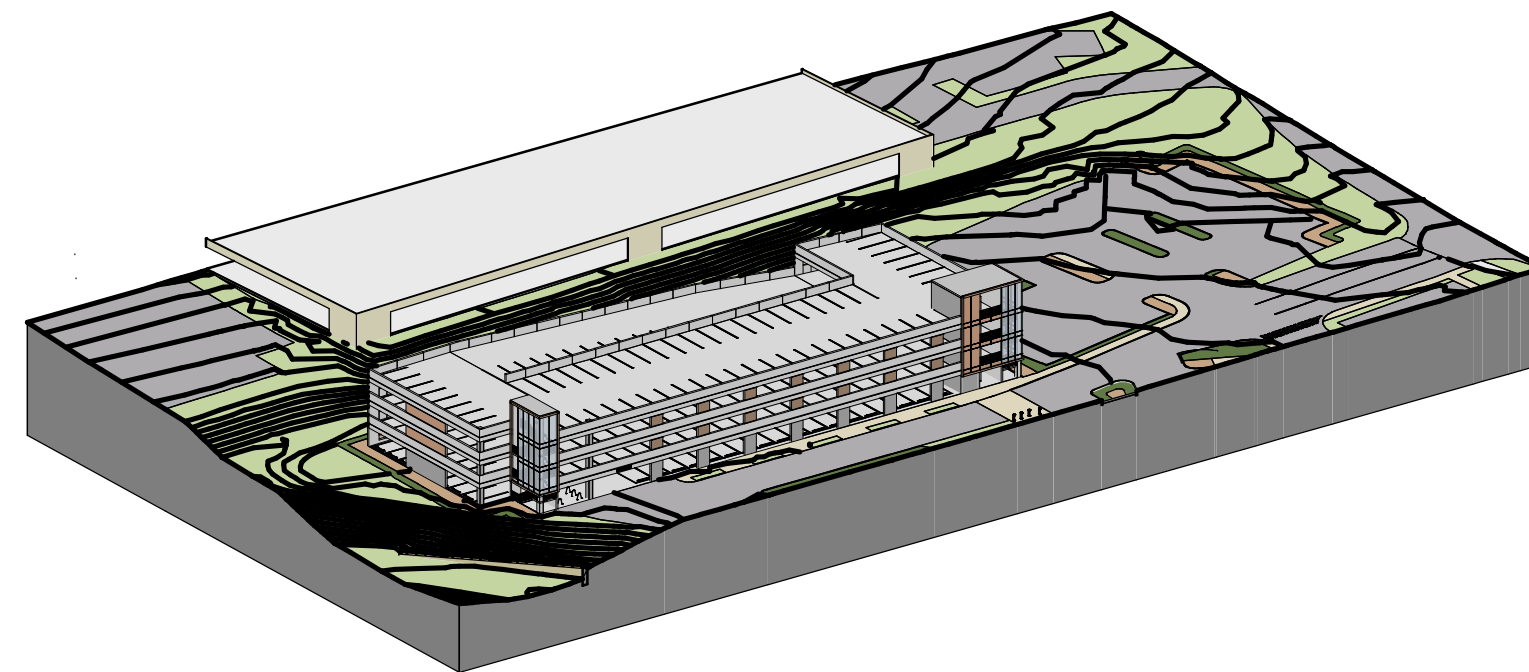
3 NORTH ELEVATION
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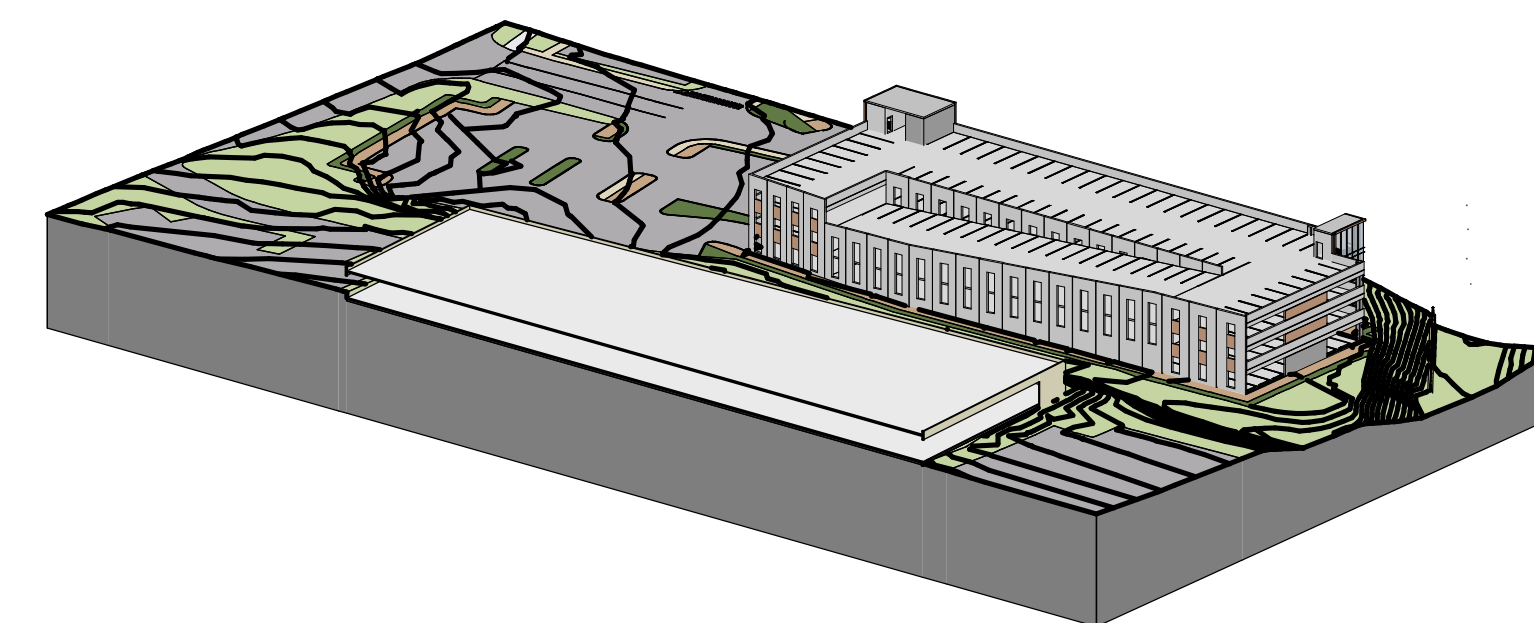
4 EAST ELEVATION
1/16" = 1'-0"



5 SW AXON



6 NW AXON



7 NE AXON

PHOTOMETRIC STATISTICS					
	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVERAGE/MIN
PARKING AREA	2.3 FC	7.0 FC	0.4 FC	17.5:1	5.8:1
GARAGE ROOF	2.8 FC	6.9 FC	0.4 FC	17.3:1	7.0:1



DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

RATIO Flood COMPACT

- FEATURES**
- Compact LED flood with a variety of NEMA distributions for lighting applications such as: safety/security, accent, flag pole, columns or signs
 - Part of the Ratio flood series, this luminaire was designed in cohesion with the site/area products to provide a sleek and timeless look
 - Features a dense optical array, providing reduced pixelation and increased visual comfort without compromising performance



RELATED PRODUCTS
 RATIO Family Boxes and Covers

SPECIFICATIONS

- CONSTRUCTION**
- Corrosion resistant, rugged die-cast aluminum housing with powder coat paint finish
 - High impact UV stabilized acrylic outer lens protects LEDs and allows for cleaning and debris removal
 - Internal venting fins create optimal heat dissipation and allow all water to drain from the face of the luminaire
 - Lens hardware is internal to the fixture allowing for uniform pressure on the gasket for an optimal water tight seal
- OPTICS**
- 44 or 90 midpower LEDs
 - Stock Versions: 4000K and 5000K CCT
 - Variety of NEMA distributions: - N (2x2), M (4x4) and W (6x6) - Stock version Wide (6x6) only
 - Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- INSTALLATION**
- Traditional 1/2" x 14 NPS threaded adjustable knuckle mounting
 - Easy maintenance access to electrical components with removal of 4 screws from back of fixture housing
 - Trunion mount available (sold separately)
- ELECTRICAL**
- 120-277V operation, 50/60Hz
 - Driver IP66 and RoHS compliant driver
 - 10kV surge protector optional
 - 0-10V dimming driver standard, continuous dimming option to have leads pulled out for easy connection
 - Drivers have 90% power factor and less than 20% THD
 - LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
 - Dimming drivers are standard, but must contact factory to request wiring leads for purpose of external dimming controls
- CERTIFICATIONS**
- Fixture is IP66 rated
 - Listed to UL1598 for use in wet locations
 - This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions
- WARRANTY**
- 5 year limited warranty
 - See HLI Standard Warranty for additional information

KEY DATA	
Lumen Range	3245-6823
Wattage Range	26-52
Efficacy Range (LPW)	126-142
Fixture Projected Life (Hours)	L70>191,000
Weights lbs. (kg)	3.7-5.5 (1.7-2.5)

Page 14 Rev. 08/14/20 © 2020 Hubbell Outdoor Lighting, a division of Hubbell Lighting, Inc. Specifications subject to change without notice. 701 Millstream Blvd • Greenville, SC 29607 / Tel 864.678.1000 / Website www.hubbelloutdoor.com

LIGHT FIXTURE SCHEDULE - SITE

TYPE	MANUFACTURER	LAMPS	WATTS	DIMMING	DESCRIPTION	NOTES
			VOLTS	PROTOCOL		
SA	H.E. WILLIAMS 4DR-TL-L20-840-DIM-UNV- OW-OF-CS-WET-CC	2,000 LUMENS 4,000K 80+ CRI	19.8 120	N/A -	4" LED DOWNLIGHT WITH OPEN REFLECTOR, WIDE DISTRIBUTION, 1/2" STANDARD FLANGE, CLEAR SEMI-SPECULAR ANODIZE AND WET LOCATION LISTED.	
SF	HUBBELL OUTDOOR LIGHTING RATIO FLOOR COMPACT	LED / 4,000K	TBD 120	N/A -	FLAG POLE LIGHT	2
SL2	McGRAW EDISON GLEON-SA2A-740-U-SL2	9,357 LUMENS 4,000K 70+ CRI	66 208	N/A -	LED PARKING LOT LUMINAIRE WITH TYPE 2 DISTRIBUTION AND SPILL CONTROL. MOUNTED AT 15FT.	1,2
T2-HSS	McGRAW EDISON GLEON-SA3B-740-U-T2-HSS	17,121 LUMENS 4,000K 70+ CRI	124 208	N/A -	LED PARKING LOT LUMINAIRE WITH TYPE 2 DISTRIBUTION AND HOUSE SIDE SHIELD. MOUNTED AT 25FT.	1,2
T3-HSS	McGRAW EDISON GLEON-SA3B-740-U-T3-HSS	17,450 LUMENS 4,000K 70+ CRI	124 208	N/A -	LED PARKING LOT LUMINAIRE WITH TYPE 3 DISTRIBUTION AND HOUSE SIDE SHIELD. MOUNTED AT 25FT.	1,2
T3	McGRAW EDISON GLEON-SA3B-740-U-T3	17,450 LUMENS 4,000K 70+ CRI	124 208	N/A -	LED PARKING LOT LUMINAIRE WITH TYPE 3 DISTRIBUTION. MOUNTED AT 25FT.	1,2
T4FT-HSS	McGRAW EDISON GLEON-SA2A-740-U-T4FT-HSS	9,591 LUMENS 4,000K 70+ CRI	66 208	N/A -	LED PARKING LOT LUMINAIRE WITH TYPE 4 DISTRIBUTION AND HOUSE SIDE SHIELD. MOUNTED AT 15FT.	1,2

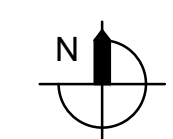
SPECIFIC NOTES:

- HEIGHT OF LUMINAIRE INDICATED IS HEIGHT FROM GRADE TO BOTTOM OF LUMINAIRE. ORDER POLE TO ACCOMMODATE BASE HEIGHT.
- VERIFY FINISH COLOR WITH ARCHITECT.

SUBSTITUTION NOTES:
 THE LIGHTING DESIGN FOR THIS PROJECT IS BASED UPON THE MANUFACTURERS SPECIFIED. IF AN ADDITIONAL SUBSTITUTION IS DESIRED BY THE CONTRACTOR, A SUBSTITUTION REQUEST SUBMITTAL MUST BE PROVIDED AS FOLLOWS:

- SUBSTITUTION REQUEST MUST BE RECEIVED BY THE ENGINEER IN WRITING 10 DAYS PRIOR TO BID. FAILURE TO SUBMIT CONSTITUTES A GUARANTEE TO SUPPLY THE SPECIFIED FIXTURES.
- INFORMATION IS TO BE SUPPLIED COMPARING PHOTOMETRY, (WITH FLOOR PLANS INDICATING POINT BY POINT CALCULATIONS) DIMENSIONS, MATERIAL COMPOSITION, FINISH, VISUAL APPEARANCE AS WELL AS THE "CONTRACTOR NET" PRICING. SAMPLES ARE TO BE PROVIDED UPON REQUEST.

SITE LIGHTING-PHOTOMETRICS
 SCALE: 1"=40'-0"



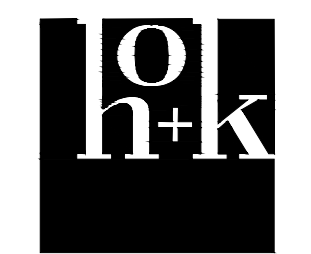
Lankford Fendler
 + associates
 1730 Walnut Street Kansas City, Missouri 64108
 1915 Frederick Avenue, St. Joseph, Missouri 64501
 Phone: 816.221.1411 | Fax: 816.221.1429
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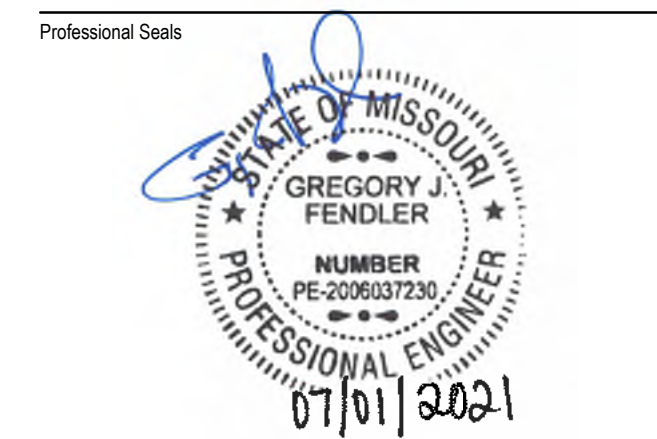
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No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RESUBMISSION	7.01.2021

Project No: 20.70060.00
 Sheet Title:

SITE LIGHTING-PHOTOMETRICS

Original is 36 x 24. Do not scale contents of this drawing.
 Sheet Number

E01

Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison GLEON Galleon

Area / Site Luminaire

Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

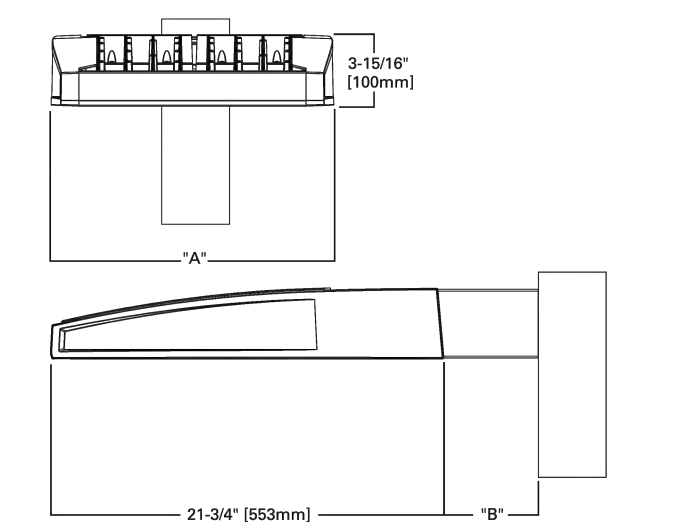
Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 4
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 9

Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficiency up to 156 lumens per watt

Dimensional Details

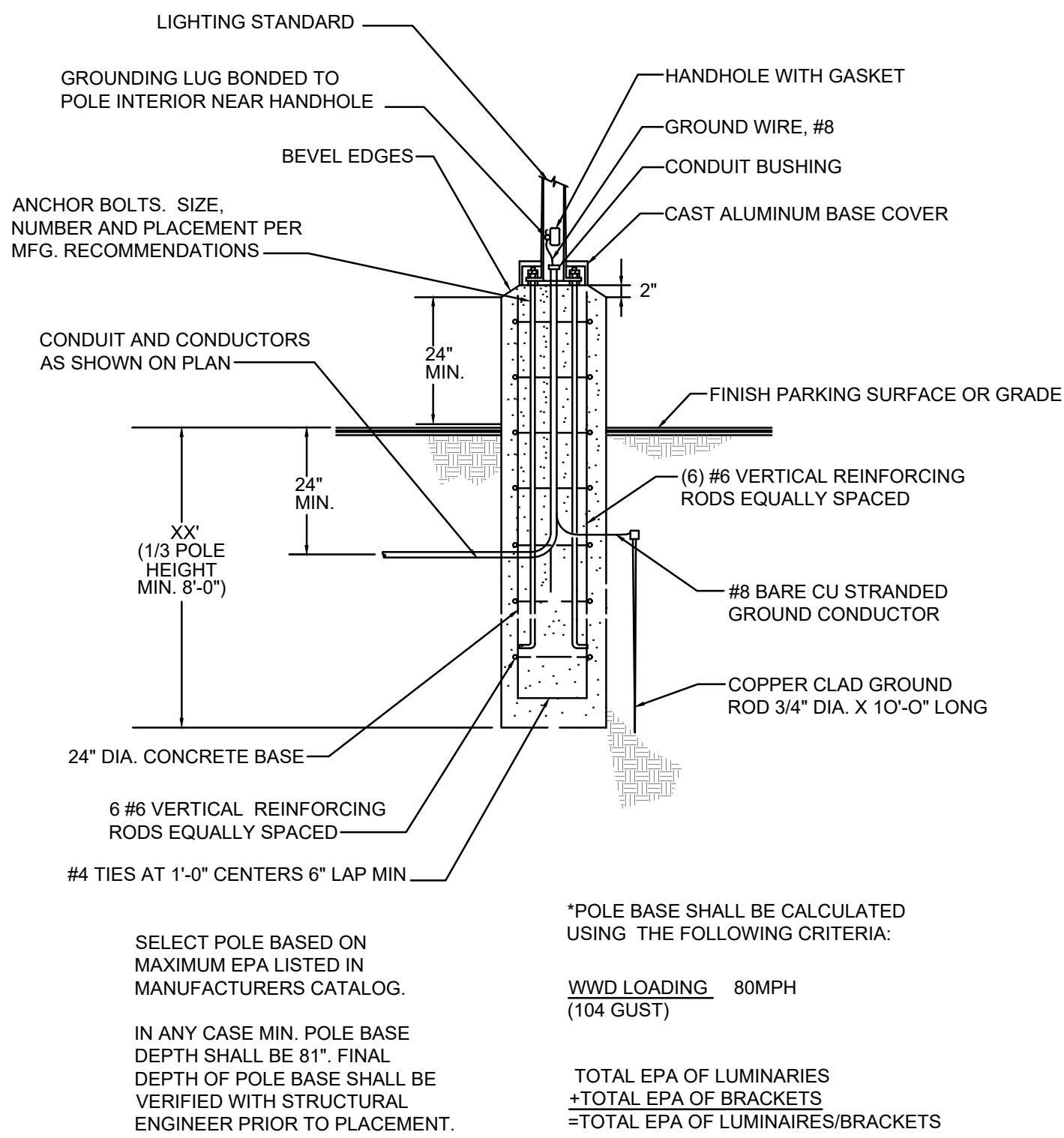


Number of Light Squares	7' Arm Length	10' Standard Arm Length	10' Extended Arm Length	16' Quick Mount Arm Length	16' Quick Mount Extended Arm Length
1-4	15-1/2"	7"	10"	10-5/8"	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	16-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	-
9-10	33-3/4"	7"	16"	-	-

NOTE: For all selection requirements and additional size art, see Mounting Details section.



PSS00020EN page 1
April 12, 2021 1:45 PM



LIGHTING POLE BASE DETAIL

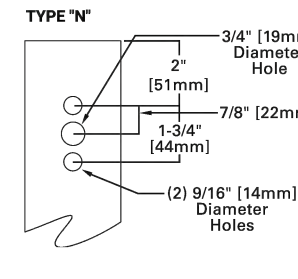
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McGraw-Edison

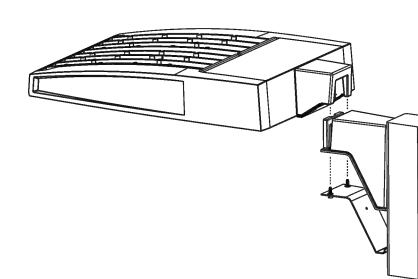
GLEON Galleon

Mounting Details

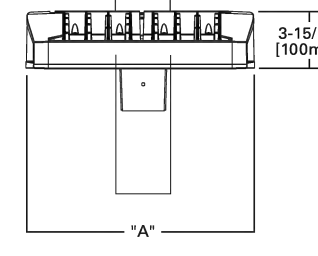
Standard Arm (Drilling Pattern)



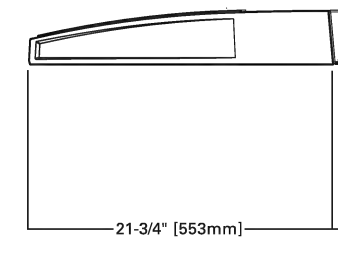
Quick Mount Arm (Includes fixture adapter)



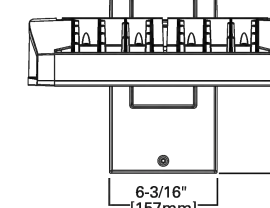
QM Quick Mount Arm (Standard)



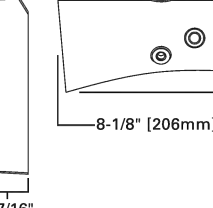
QMEA Quick Mount Arm (Extended)



Standard Wall Mount

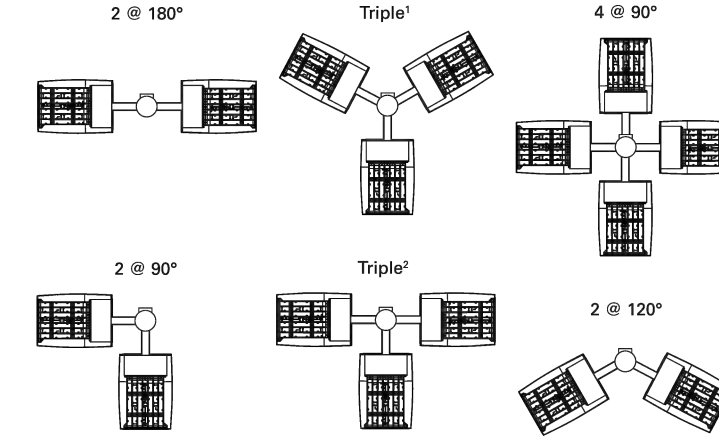


Mast Arm Mount



Arm Mounting Requirements

Number of Light Squares	Standard Arm @ 90° Apart	Standard Arm @ 120° Apart	Quick Mount Arm @ 90° Apart	Quick Mount Arm @ 120° Apart
1	Standard	Standard	QM Extended	Quick Mount
2	Standard	Standard	QM Extended	Quick Mount
3	Standard	Standard	QM Extended	Quick Mount
4	Standard	Standard	QM Extended	Quick Mount
5	Extended	Standard	QM Extended	Quick Mount
6	Extended	Standard	QM Extended	Quick Mount
7	Extended	Extended	-	Quick Mount
8	Extended	Extended	-	Quick Mount
9	Extended	Extended	-	-
10	Extended	Extended	-	-



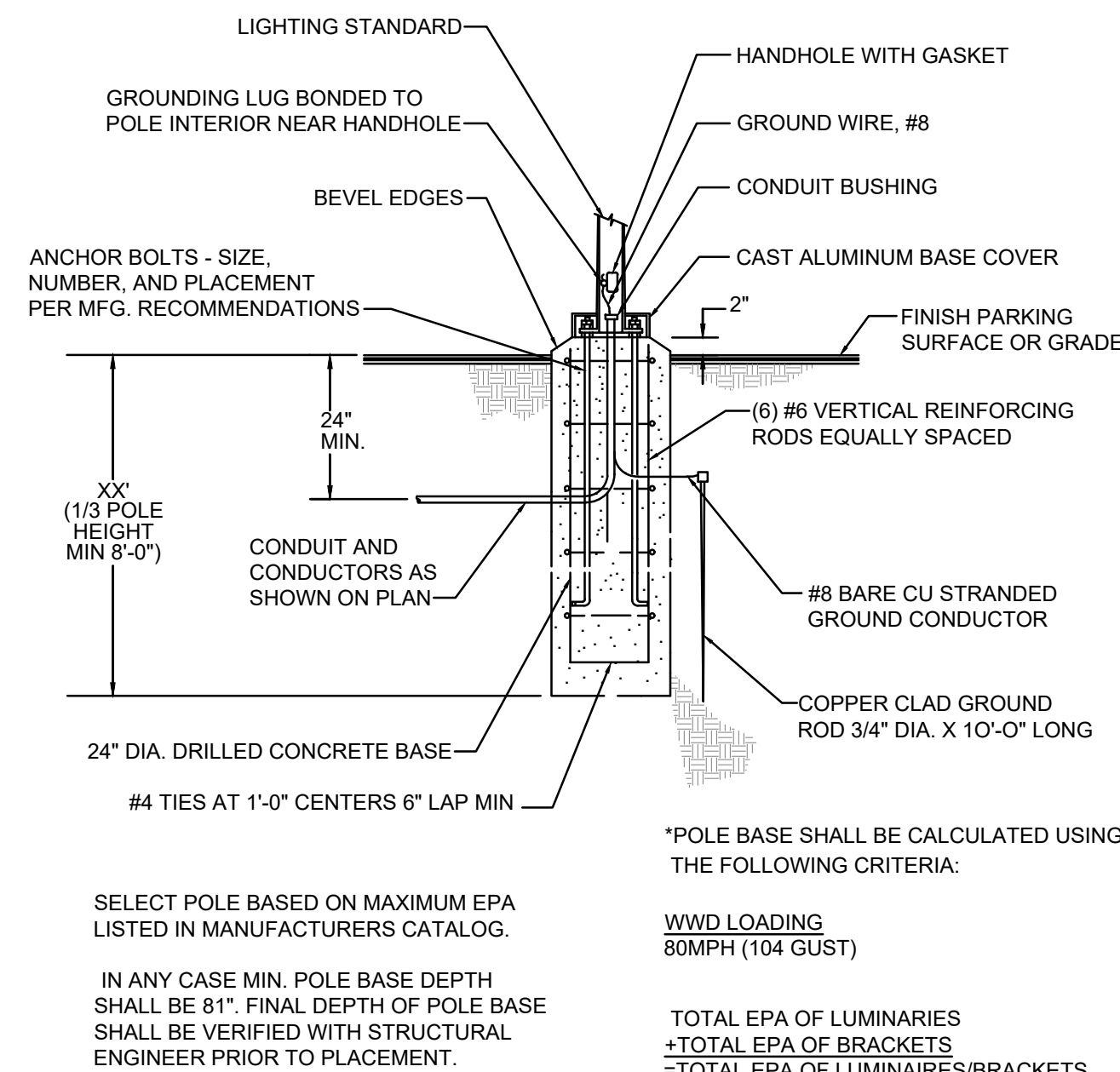
NOTE: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

Fixture Weights and EPAs

Number of Light Squares	Weight with Standard and Extended Arm (lbs.)	EPA with Standard and Extended Arm (Sq. Ft.)	Weight with Quick Mount Arm (lbs.)	EPA with Quick Mount Arm (Sq. Ft.)	Weight with Quick Mount Extended Arm (lbs.)	EPA with Quick Mount Extended Arm (Sq. Ft.)
1-4	33	0.96	35	1.11	38	1.11
5-6	44	1.00	46	1.11	49	1.11
7-8	54	1.07	56	1.11	-	-
9-10	63	1.12	-	-	-	-



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LIGHTING POLE BASE DETAIL

NO SCALE

McGraw-Edison

GLEON Galleon

Ordering Information

SAMPLE NUMBER: GLEON-SA4C-740-U-T4FT-GM

Product Family	Light Engine Configuration	Drive Current	Color Temperature	Voltage	Distribution	Mounting	Finish
GLEON-Galleon	SA1-1 Square SA2-2 Squares SA3-3 Squares SA4-4 Squares SA5-5 Squares SA6-6 Squares SA7-7 Squares SA8-8 Squares SA9-9 Squares	A-400mA B-1000mA C-1000mA D-1200mA	72-700K 2200K 72-700K 2700K 73-700K 3000K 73-700K 3500K 74-700K 4000K 75-700K 4500K 76-700K 5000K 77-700K 5500K 78-700K 6000K 79-700K 6500K 80-700K 7000K	0-120 277V 1-120V 2-200V 3-200V 4-200V 5-200V 6-240V 7-240V	T2-Type II T2-Type III T2-Type IV T2-Type V T2-Type VI T2-Type VII T2-Type VIII T2-Type IX T2-Type X T2-Type XI T2-Type XII T2-Type XIII T2-Type XIV T2-Type XV T2-Type XVI T2-Type XVII T2-Type XVIII T2-Type XIX T2-Type XX T2-Type XXI T2-Type XXII T2-Type XXIII T2-Type XXIV T2-Type XXV T2-Type XXVI T2-Type XXVII T2-Type XXVIII T2-Type XXIX T2-Type XXX	Black-Arm for Round or Square Pole Black-Extended Arm Black-Mast Arm Adapter Black-Quick Mount Arm (Standard Length) Black-Quick Mount Arm (Extended Length) White-Arm for Round or Square Pole White-Extended Arm White-Mast Arm Adapter White-Quick Mount Arm (Standard Length) White-Quick Mount Arm (Extended Length)	AP-Gray B2-Black BK-Black CP-Platinum GM-Graphite Metallic WH-White

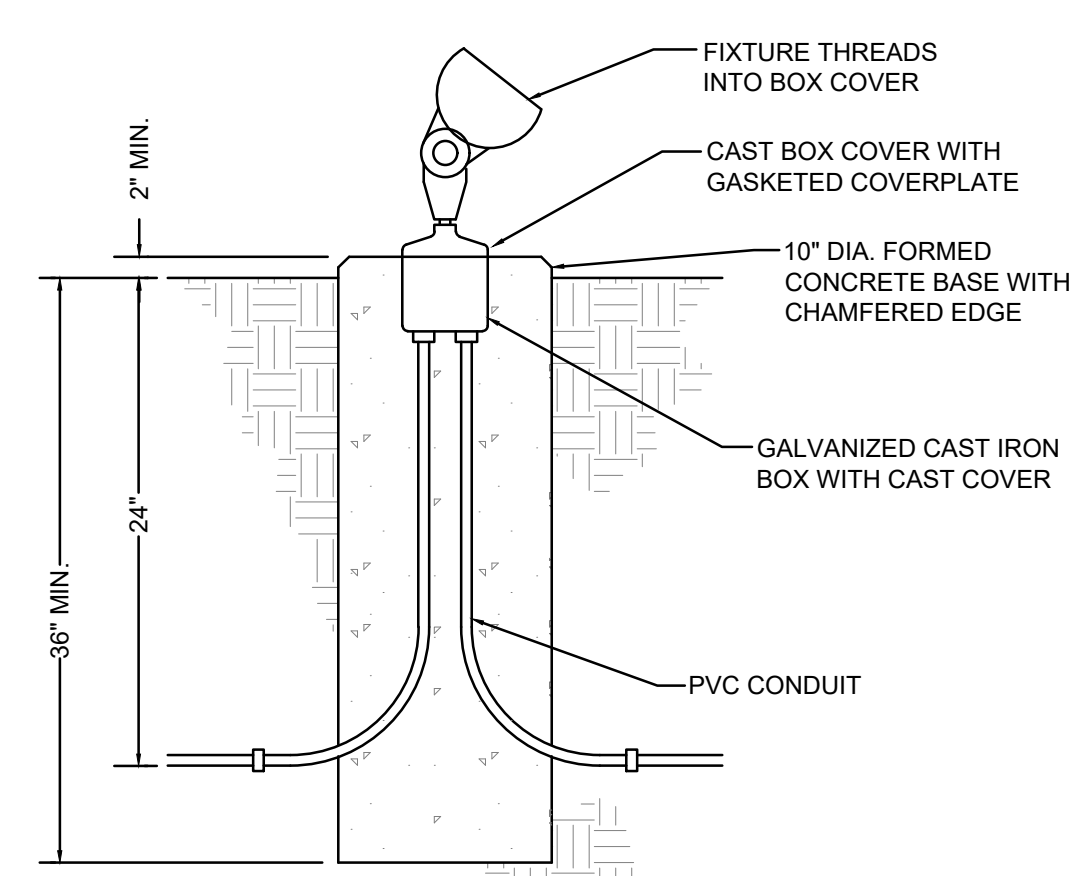
NOTE: 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper HPS1301 (2) for additional support information.
2. Single Light Control* (SFC) refers to one light fixture or one fixture module. See our white paper HPS1301 (2) for additional support information.
3. Control distribution block will support up to 6,000 hours per ASTM B117, with a single photo eye per ASTM B117.
4. Not available with 10' poles.
5. Not available with 10' poles.
6. Not available with 10' poles.
7. Not available with 10' poles.
8. Not available with 10' poles.
9. Not available with 10' poles.
10. Not available with 10' poles.
11. Not available with 10' poles.
12. Not available with 10' poles.
13. Not available with 10' poles.
14. Not available with 10' poles.
15. Not available with 10' poles.
16. Not available with 10' poles.
17. Not available with 10' poles.
18. Not available with 10' poles.
19. Not available with 10' poles.
20. Not available with 10' poles.
21. Not available with 10' poles.
22. Not available with 10' poles.
23. Not available with 10' poles.
24. Smart device with mobile application required to change system defaults. See controls section for details.

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L-LumenSafe Technology	B-Standard Dome Camera C-Standard Dome Camera D-Standard Dome Camera	C-Cellular, No SIM D-Cellular, No SIM E-Cellular, No SIM F-Cellular, No SIM G-Cellular, No SIM



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SUPPORT FOR GROUND MOUNTED LIGHTS DETAIL

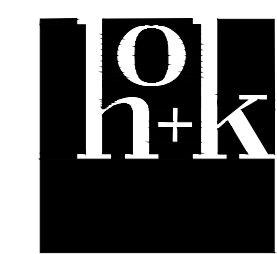
NO SCALE



Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
4900 Main St. Ste 400, Kansas City, MO 64112

and
UMB Financial Corporation
1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
300 West 22nd Street
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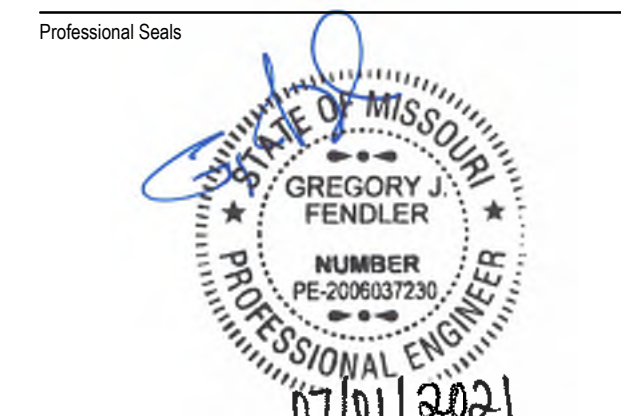
UMB Retail Bank Architect
817 Wyandotte St, Kansas City, MO 64105
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Oppermann LandDesign LLC
Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108



No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RESUBMISSION	7.01.2021

Project No: 20.70060.00
Sheet Title:

SITE LIGHTING-DETAILS

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

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+ associates
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1915 Frederick Avenue, St. Joseph, Missouri 64501
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C01 No. 2006031168

E02

Project
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and

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Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

Professional Seals

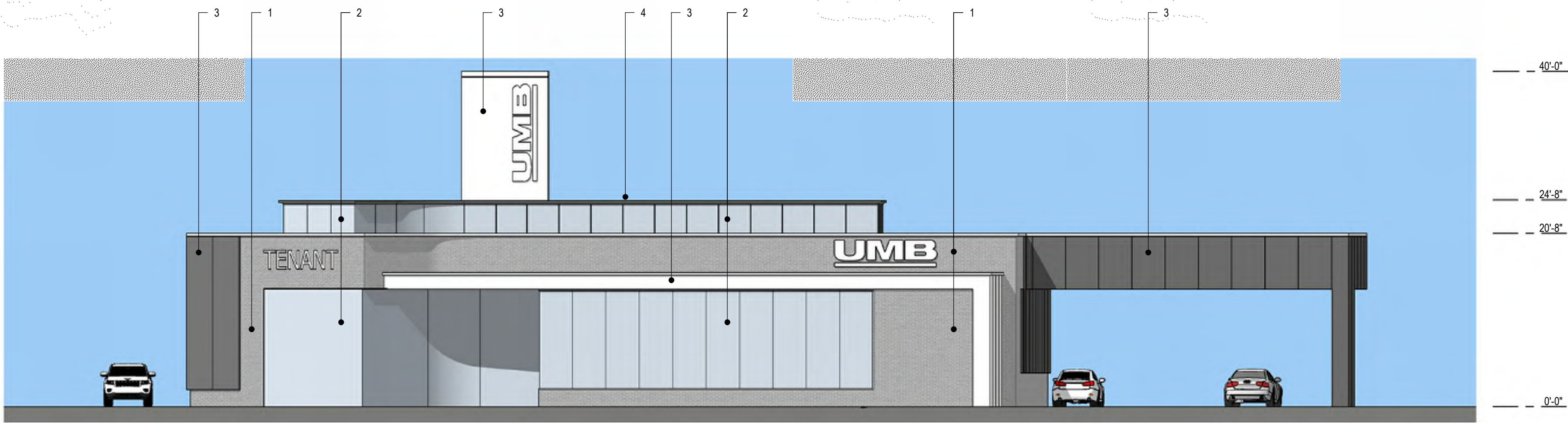
**NOT FOR
CONSTRUCTION**

No.	Description	Date
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2	PDP RE-SUBMISSION	7.1.2021

Project No:
Sheet Title:

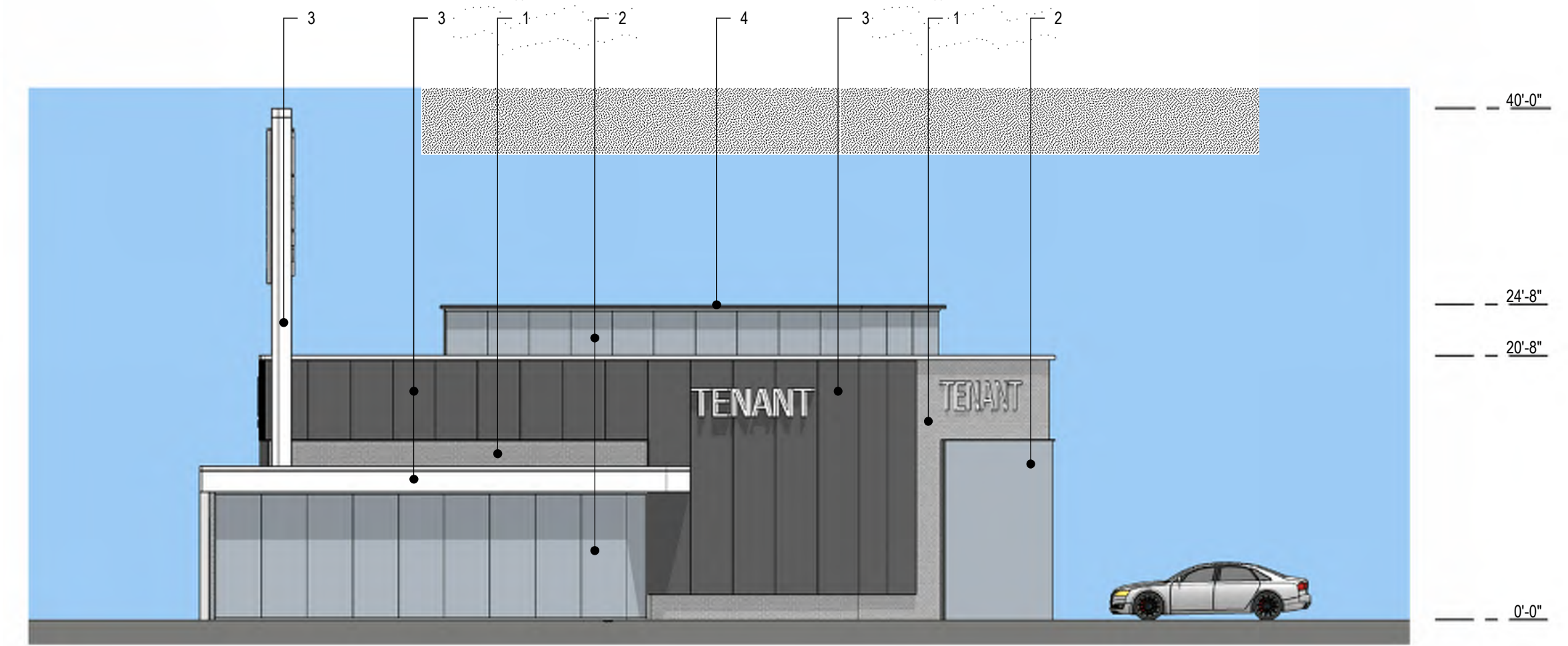
**UMB Bank
Exterior Elevations**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

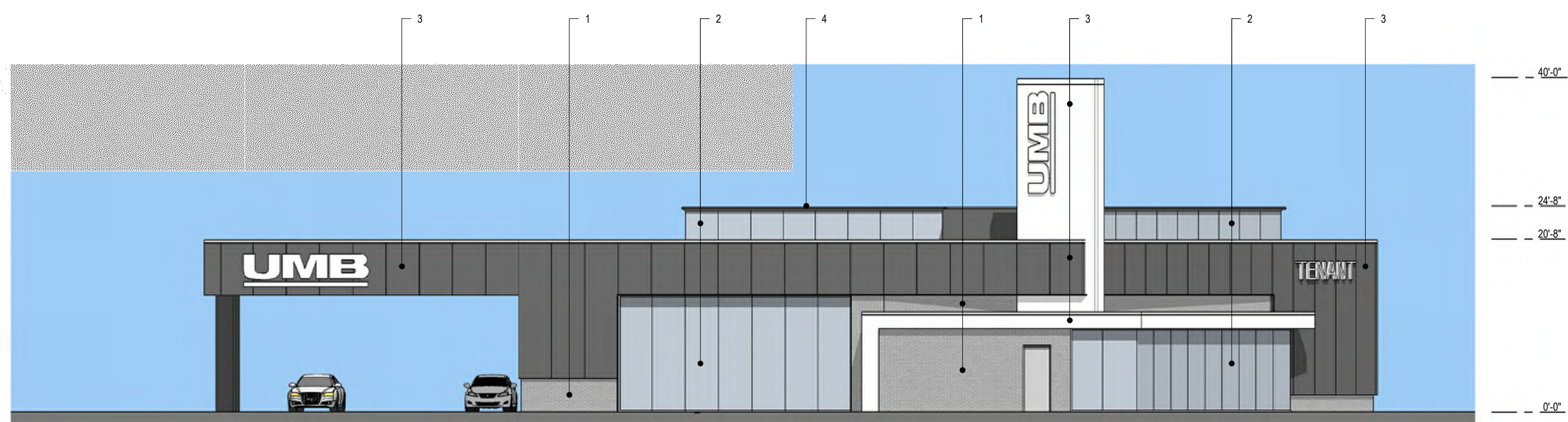


1 East Elevation
1" = 10'-0"

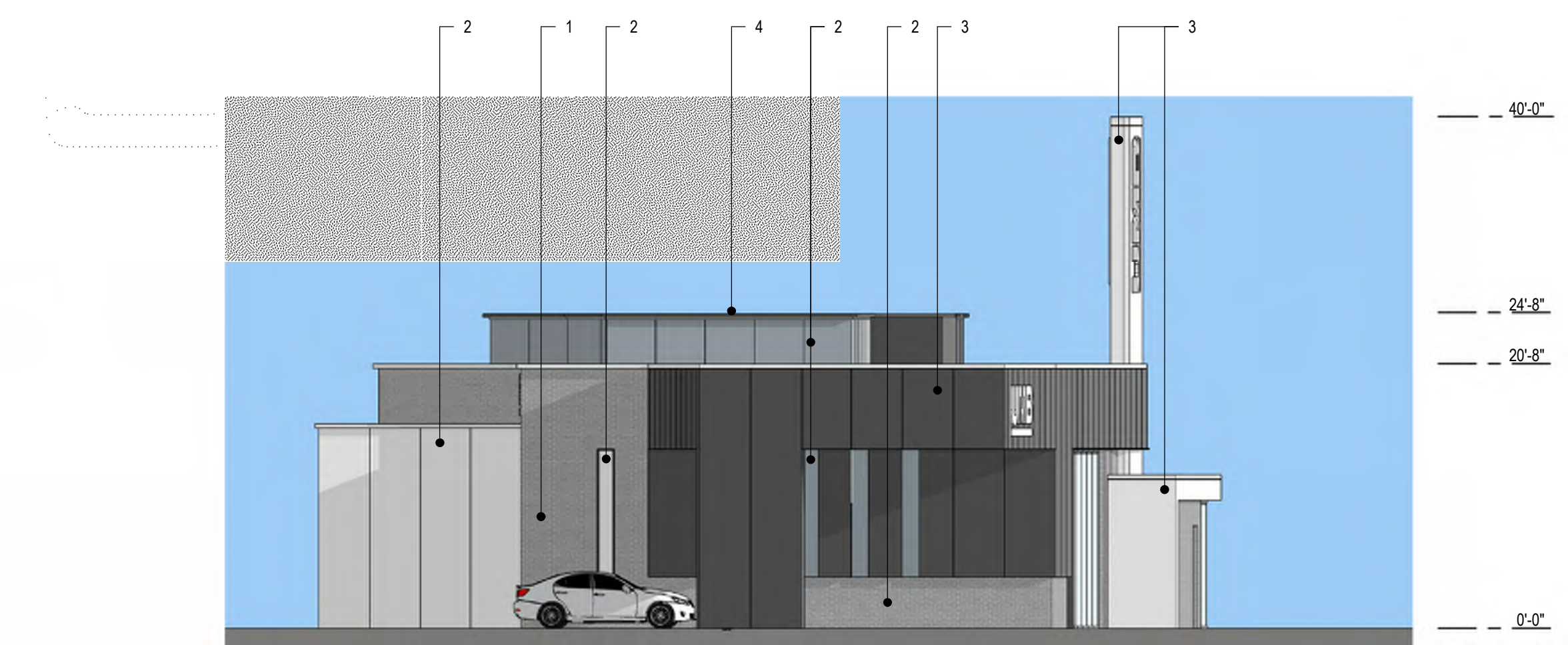
MATERIAL LEGEND: 1. Brick Veneer 2. Glazing 3. Architectural Aluminum Composite Wall Panel 4. Sheet Metal Coping



2 South Elevation
1" = 10'-0"



3 West Elevation
1" = 10'-0"



4 North Elevation
1" = 10'-0"



5 Southwest Perspective
1" = 10'-0"



6 Southeast Perspective
1" = 10'-0"