



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

3.19.2025

**Project Name**  
RMC Brookside Emergency Care Hospital

**Docket #4**

**Request**  
CD-CPC-2025-00016  
Major Amendment – Development Plan

**Applicant**  
Wesley Blissard  
Catalyst Design Group

**Owner**  
Health Midwest Office  
Indianapolis, IN

Location 6735 Holmes Rd  
Area About 4.8 Acres  
Zoning B3-2/R-0.5  
Council District 6  
County Jackson  
School District Kansas City, MO

**Surrounding Land Uses**  
**North:** Research Medical Center, zoned B3-2/R-0.5  
**South:** University Academy, zoned R-5  
**East:** Institutional Uses, varies  
**West:** Residential Uses, zoned R-6

**KC Spirit Playbook Alignment**  
Medium

**Land Use Plan**  
The Country Club Waldo Area Plan recommends Future Office/Residential for this location. The proposed plan aligns with this designation. See Criteria A for more information.

**Major Street Plan**  
Holmes Rd, in this section, is identified on the City's Major Street Plan as an Established Boulevard.

## APPROVAL PROCESS



## SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a major amendment to a previously approved development plan to construct a new emergency care hospital on the subject site.

## PROJECT TIMELINE

The application for the subject request was filed on 01/26/2025. No scheduling deviations from 2025 Cycle 3.2 have occurred.

## NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

At the time this staff report was published, the subject site was not located within a registered neighborhood or homes association. The Oak Meyer Gardens Homes Association is to the west of the subject property.

## REQUIRED PUBLIC ENGAGEMENT

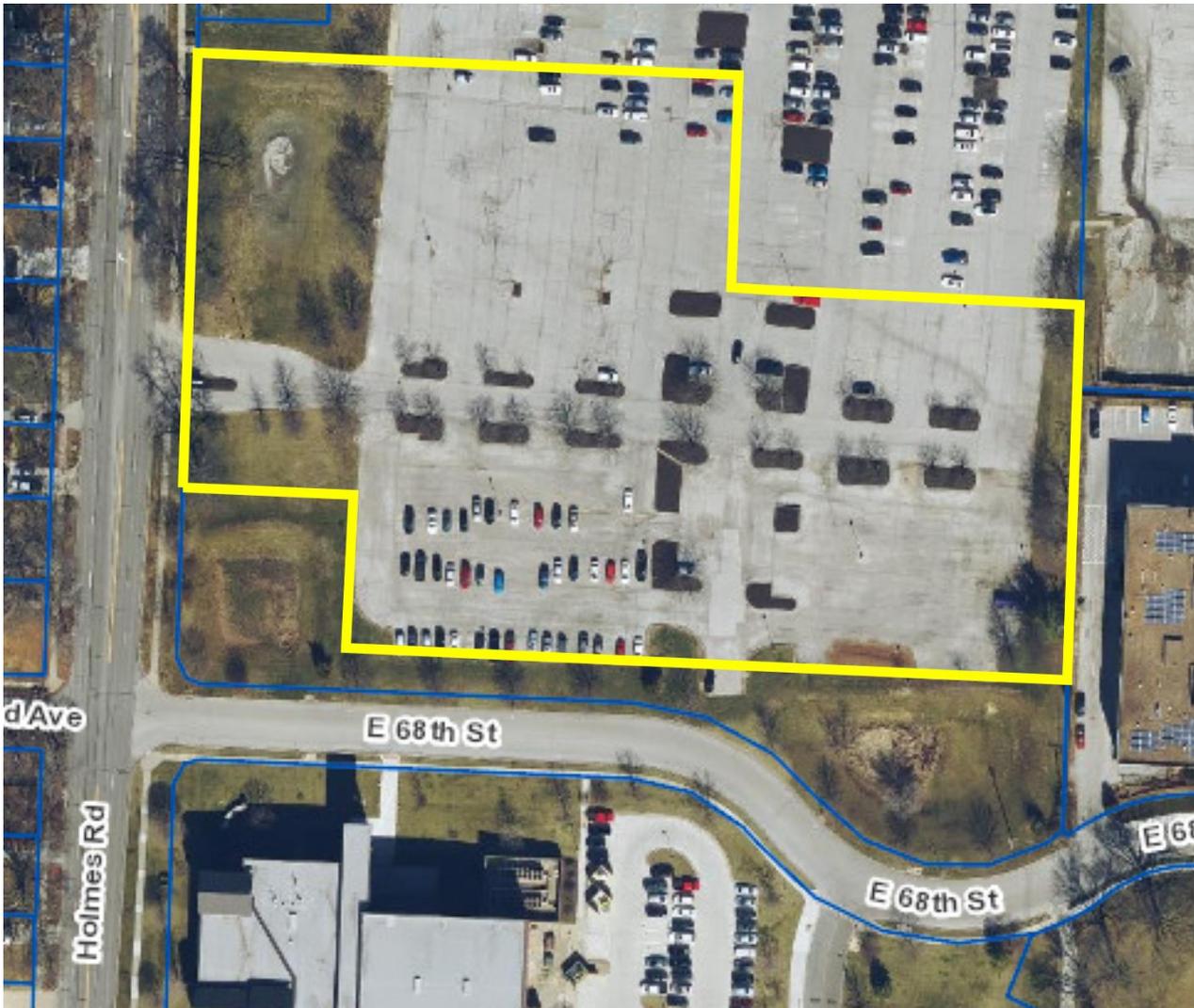
Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on 03/11/2025. A summary of the meeting is attached to the staff report, see Attachment #3.

## EXISTING CONDITIONS

A parking lot for the existing Hospital occupies the subject site.

## PROFESSIONAL STAFF RECOMMENDATION

Docket #4 Recommendation  
Approval, Subject to Conditions

**Vicinity Map****CONTROLLING + RELATED CASES**

021296: APPROVED

Approving an amendment to a previously approved preliminary plan in District PD/R-5, C-2 (Planned District/High Apartments, Local Retail Business) on approximately on 40.3 acre tract of land generally bounded by Rockhill Road and Holmes Road on the west, Troost Avenue on the east, 65<sup>th</sup> Street on the north, and 68<sup>th</sup> Street on the south for the purposes of deleting an approximately 3.9 acre tract of land from said preliminary plan.

170632: APPROVED

Approving a major amendment to the existing Baptist Medical Center development plan to delete an approximately 5.4-acre tract from the plan.

**PLAN REVIEW**

Development plans allow the City Council to review projects proposing significant development, to determine compliance with the purposes of the Zoning and Development Code and other city goals, policies, or regulations. Major amendments to previously approved development plans occur when one or more changes listed in 88-516-06-A are proposed.

The proposed project would site a new 24,946 sq ft emergency care hospital on the subject property, triggering a major amendment to the existing Research Medical Center Development Plan. The proposal also takes advantage of an existing access point off of Holmes Rd and underutilized parking. The existing and proposed hospital facilities will operate independently with no anticipated crossover of employees or patrons.

**PLAN ANALYSIS**

*Commercial Lot and Building (88-120), Use- Specific (88-300), and Development Standards (88-400)*

*\*indicates adjustment/deviation*

<b>Standards</b>	<b>Applicability</b>	<b>Meets</b>	<b>More Information</b>
Lot and Building Standards (88-120)	Yes	Yes	See Site Plans.
Accessory or Use- Specific Standards (88-305 – 385)	No	-	
Boulevard and Parkway Standards (88-323)	No	-	The proposed building and associated parking are setback over 150' from the Holmes Rd right-of-way.
Parkland Dedication (88-408)	No	-	-
Tree Preservation and Protection (88-424)	No	-	Projects in which no tree canopy cover will be impacted or less than one acre is removed, are exempt from 88-424.
Parking and Loading Standards (88-420)	Yes	Yes	See Site Plans.
Landscape and Screening Standards (88-425)	Yes	Yes	See Site Plans.
Outdoor Lighting Standards (88-430)	Yes	Yes	See Site Plans
Sign Standards (88-445)	Yes	-	No detailed sign plan was provided. All future signage must comply 88-445 (nonresidential).
Pedestrian Standards (88-450)	Yes	-	See condition #4.

**SPECIFIC REVIEW CRITERIA****Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

- A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**
- Yes, the plan complies with applicable standards of the Zoning and Development Code. See the Plan Analysis above.
  - The Country Club/Waldo Area Plan states that “more intensive uses like hospitals, and large government office buildings should be limited to appropriate non-residential areas.” Expanding an existing use (within the same development area), will not challenge the design or development potential identified in the area plan.
- B. The proposed use must be allowed in the district in which it is located;**  
Hospitals are permitted in the R-0.5 and B3-2 zoning districts.
- C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**  
The proposed project utilizes an existing access point off of Holmes Rd. Vehicular ingress and egress to, from, and around the site provide efficient movement and circulation.
- D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**  
Safe, efficient, and convenient non-motorized travel opportunities and amenities are proposed on the subject site.
- E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**  
The appropriate city divisions/departments responsible for ensuring that public facilities and services are connected/available to serve the development have reviewed the project.
- F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**  
Considering the hospital use is adjacent to an established residential neighborhood, the building is setback over 150 ft from Holmes Rd, with an adequate amount of landscaping, to reduce potential negative operational externalities.
- G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**  
Considering the hospital use is adjacent to an established residential neighborhood, the proposed building is setback over 150 ft from Holmes Rd, with an adequate amount of landscaping, to buffer noise, lighting, sound, or activity from adjacent properties.
- H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The existing site is an underutilized parking lot. Though the impervious surface coverage is not dramatically being reduced, city staff support new development versus the underutilized parking area remaining.

- I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

The existing site is an underutilized parking lot. The proposed development proposed additional trees and landscaping be added to the site.

#### **ATTACHMENTS**

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials
4. KC Spirit Alignment (CompassKC)

#### **PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends **APPROVAL, SUBJECT TO CONDITIONS** as stated in the conditions report.

Respectfully Submitted,

Ahna Nanoski, AICP  
Planning Supervisor



## Plan Conditions

Report Date: March 13, 2025

Case Number: CD-CPC-2025-00016

Project: RMC Brookside Emergency Care Hospital

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*Condition(s) by City Planning and Development Department. Contact Ahnna Nanoski at (816) 513-8816 / Ahnna.Nanoski@kcmo.org with questions.*

1. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping and street trees required of the approved plan have been installed in accordance with the plan and are healthy prior to Certificate of Occupancy.
2. All dumpsters, trash/recycling enclosures, and mechanical/utility equipment shall be screened in accordance with 88-425-08.
3. No detailed sign plan was provided. All signage must comply 88-445 (nonresidential).
4. Pedestrian connections, per 88-450, will be constructed if amendments (major or minor) to the existing development plan include campus-style improvements (for example, employees and patrons are intended to travel around the site).
5. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan prior to Certificate of Occupancy. This condition may be satisfied by an assigned City Planning and Development Building Inspector.

*Condition(s) by City Planning and Development Department. Contact Ray Rhodes at (816) 513-1487 / Raymund.rhodes@kcmo.org with questions.*

6. Building plans submittal shall meet the requirements of the Kansas City Building and Rehabilitation Code in effect at the of submission.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

7. • Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
8. • The developer shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
9. • Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2)
  - Fire hydrant distribution shall follow IFC-2018 Table C102.1
10. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
11. • A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3) (No Grass Pavers Allowed)
12. • Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
13. • The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)

*Condition(s) by Parks & Recreation. Contact Richard Sanchez at / richard.sanchez@kcmo.org with questions.*

14. Holmes Road is classified as a Boulevard; therefore, the development shall fully comply with the parkway and boulevard standards outlined in 88-323 or obtain a variance from the Board of Zoning Adjustment before receiving a building permit.

*Condition(s) by Parks & Recreation. Contact Virginia Tharpe at / virginia.tharpe@kcmo.org with questions.*

*Condition(s) by Parks & Recreation. Contact Virginia Tharpe at /virginia.tharpe@kcmo.org with questions.*

15. The developer shall be responsible for tree preservation in an easement or platted tract, mitigation planting, or payment of cash-in-lieu of preservation or mitigation planting, or any combination thereof in accordance with 88-424. Should the developer choose to pay cash-in-lieu of preservation or mitigation of all or a portion of the required area, the amount due shall be based upon the rate specified in 88-424. This requirement shall be satisfied prior to issuance of certificate of occupancy, or prior to the recording of the final plat, whichever occurs first.
16. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way.

*Condition(s) by Public Works Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

17. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
18. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
19. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

20. No water service tap permits will be issued until the public water main is released for taps.
21. Branch service lines one-and-one-half inches and larger in diameter for domestic water services or fire protection lines shall be connected to the main by cutting in a minimum 6" branch service tee, installing three gate valves, and two solid sleeves on the main. Line valves on the main shall be the same nominal size as the main.
22. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact - Patrick Lewis (816) 513-0423  
North of River contact - David Gilyard (816) 513-4772
23. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to issuance of Certificate of Occupancy. <https://www.kcwater.us/projects/rulesandregulations/>

*Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.*

24. Submit Water main extension plans prepared by a MO PE and meeting KC Water Rules and Regulations through CompassKC for the following distribution system changes: Extension of the public water main in 68th Street approximately 300' with an 8" DIP between the current 6" terminus and the 12" main in Holmes. Abandonment or conversion of the current public water main and public fire hydrants through the site to private.

*Condition(s) by Water Services Department. Contact Philip Taylor at / philip.taylor@kcmo.org with questions.*

25. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting.
26. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by KC Water, prior to recording the plat or issuance of a building permit whichever occurs first.

*Condition(s) by Water Services Department. Contact Philip Taylor at / philip.taylor@kcmo.org with questions.*

27. The developer provide acceptable easement and secure permits to relocated sanitary sewers out from under proposed buildings and structures, etc., while continuing to ensure individual service is provided to all proposed lots as required by KC Water prior to recording the plat or issuance of a building permit, whichever occurs first. Any existing public lines located under proposed structures must be abandoned in place or removed and easement vacated, or relocated and new easements shall be provided; as required by KC Water prior to recording the plat or issuance of a building permit, whichever occurs first.
28. The developer must grant a [BMP and/or Surface Drainage Easement] to the City as required by KC Water, prior to recording the plat or issuance of any building permits.
29. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to KC Water evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the disturbed area to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by KC Water prior to issuance of any certificate of occupancy.
30. The owner/developer must submit plans for grading, siltation, and erosion control to KC Water for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

# DEVELOPMENT PLAN - MAJOR AMENDMENT RESEARCH MEDICAL CENTER BROOKSIDE - EMERGENCY CARE HOSPITAL

KANSAS CITY, JACKSON COUNTY, MO

CATALYST PROJECT NO. 20240201  
MARCH 7, 2025



VICINITY MAP  
NOT TO SCALE

**SITE DATA**

COUNCIL DISTRICT: 6  
COUNCIL MEMBER: ANDREA BOUGH  
TAX MAP: 47  
PARCEL ID.: 47-510-01-38-01-0-00-000  
SITE ADDRESS: 6635 HOLMES ROAD, KANSAS CITY, MO 64131

EXISTING ZONING: B3-2/R-0.5  
PROPOSED USE: EMERGENCY CARE HOSPITAL

OWNER: HCA HEALTHCARE  
ADDRESS: 1 PARK PLAZA, PO BOX 550, NASHVILLE, TN 37203  
PHONE NO.: 615-344-2733  
CONTACT NAME: MIKAL MALIK  
CONTACT E-MAIL ADDRESS: mikal.malik@hcahealthcare.com

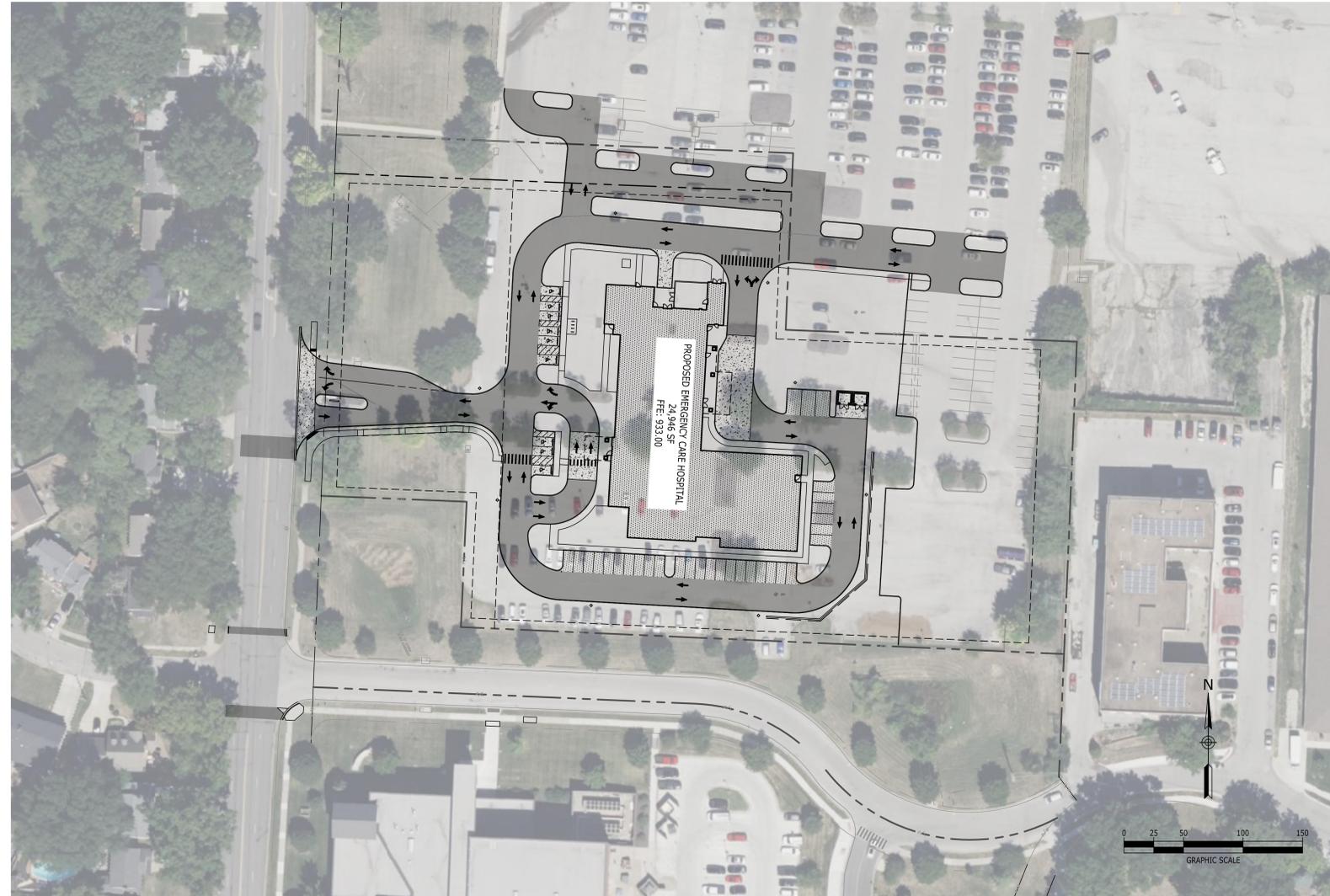
PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP  
ADDRESS: 5100 TENNESSEE AVENUE, NASHVILLE, TN 37209  
PHONE NO.: 615-622-7200  
CONTACT NAME: JACK PARKER  
CONTACT E-MAIL ADDRESS: jparker@catalyst-dg.com

FEMA PANEL:  
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 2909SC0264G, 1/20/2017, COMMUNITY NAME: CITY OF KANSAS CITY 290173.

SITE DATA	EXISTING	PROPOSED	APPROVED
ZONING	B3-2/R-0.5	B3-2/R-0.5	
GROSS LAND AREA			
IN SQUARE FEET	209,348 FT <sup>2</sup>	209,348 FT <sup>2</sup>	
IN ACRES	4.81 AC.	4.81 AC.	
RIGHT OF WAY DEDICATION			
IN SQUARE FEET	N/A	N/A	
IN ACRES	N/A	N/A	
NET LAND AREA			
IN SQUARE FEET	151,801 FT <sup>2</sup>	151,801 FT <sup>2</sup>	
IN ACRES	3.48 AC.	3.48 AC.	
BUILDING AREA (SQ. FT.)	N/A	22,239 FT <sup>2</sup>	
FLOOR AREA RATIO	N/A	0.12	
TOTAL LOTS	1	1	
COMMERCIAL	1	1	

BUILDING DATA	REQUIRED	PROPOSED	APPROVED
REAR SETBACK	30'-0"	226'-6"	
FRONT SETBACK	12'-6"	231'-11"	
SIDE SETBACK	8'-0"	78'-10"	
SIDE SETBACK (ABUTTING STREET)	N/A	N/A	
HEIGHT	55'-0"	19'-4"	

PARKING SUMMARY			
1 SPACE PER 3 BEDS + 1 SPACE PER 4 EMPLOYEES REQUIRED			
EXISTING HOSPITAL: 320 BEDS + 900 EMPLOYEES = 332 SPACES REQUIRED			
PROPOSED EMERGENCY CARE HOSPITAL: 3 BEDS + 45 EMPLOYEES = 13 SPACES REQUIRED			
	STANDARD	ADA	AMBULANCE
EXISTING HOSPITAL CAMPUS PARKING	944 SPACES	65 SPACES	0 SPACES
TOTAL PARKING REMOVED	379 SPACES	0 SPACES	0 SPACES
PROPOSED EXISTING HOSPITAL CAMPUS PARKING	412 SPACES	65 SPACES (9 REQ.)	0 SPACES
PROPOSED EMERGENCY CARE HOSPITAL PARKING	153 SPACES	9 SPACES (6 REQ.)	3 SPACES
TOTAL PARKING PROPOSED: 639 SPACES			



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C1.1	EXISTING PROPERTY OWNER MAP
C2.0	GENERAL NOTES
C3.0	INITIAL EROSION CONTROL PLAN
C3.1	INTERIM & FINAL EROSION CONTROL PLAN
C3.2	SEDIMENT AND EROSION CONTROL DETAILS
C4.0	DEMOLITION PLAN
C5.0	LAYOUT PLAN
C6.0	GRADING & DRAINAGE PLAN
C6.1	DETAILED GRADING & DRAINAGE
C6.2	DETAILED POND GRADING & DRAINAGE
C7.0	UTILITY PLAN
C7.1	PUBLIC WATER MAIN PLAN & PROFILE
C7.2	PUBLIC SANITARY SEWER PLAN & PROFILE
C8.0	SITE DETAILS
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C8.3	SITE DETAILS
L1.0	TREE PRESERVATION PLAN
L2.0	OVERALL LANDSCAPE PLAN
L3.0	LANDSCAPE DETAILS
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A2.03	EXTERIOR AXONS
E1.01	SITE PLAN - PHOTOMETRICS

ARCHITECT  
**EARL SWENSSON ASSOCIATES, INC.**  
1033 DEMONBREUN STREET SUITE 800  
NASHVILLE, TN 37203  
615-329-9445

PREPARED FOR  
**HCA HEALTH CARE**  
1 PARK PLAZA, PO BOX 550  
NASHVILLE, TN 37203  
615-344-2733



CIVIL ENGINEER/LANDSCAPE ARCHITECT  
**Catalyst**  
DESIGN GROUP  
1524 WILLIAMS DRIVE, SUITE 201  
MURFREESBORO, TN 37129  
(615) 622-7200



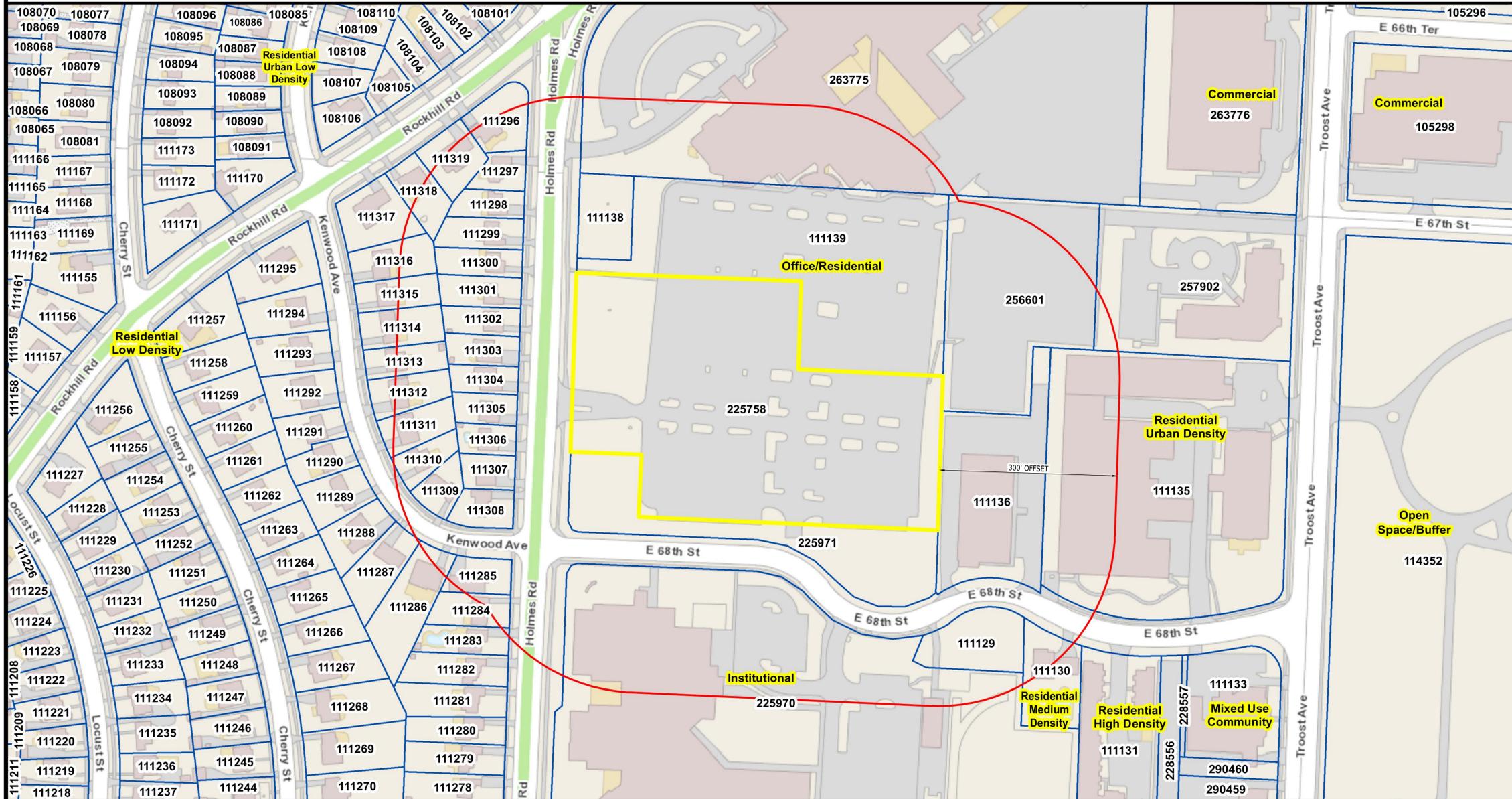


Description	Date
REVISION 1	03/07/25

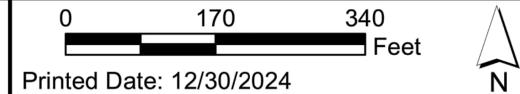
Issue Description	FOR CONSTRUCTION
Original Issue Date	01/31/2025
HCA Project No	097270030
Project No	24208.00
Drawn By	AP
Checked By	JP
Drawing Title	

EXISTING PROPERTY OWNER MAP

# Existing Property Owner Map



While the City of Kansas City, Missouri makes every effort to maintain and distribute accurate information, no warranties and/or representations of any kind are made regarding information, data or services provided. In no event shall the City of Kansas City, MO, be liable in any way to the users of this data. Users of this data shall hold the City of Kansas City, MO harmless in all matters and accounts



Printed Date: 12/30/2024

PIN	OWNER NAME	ADDRESS
111129	UNIVERSITY ACADEMY SUPPORTING FOUNDATION	4520 MAIN # 1050
111130	PHILLIPS CHARLES EDWARD JOHN	915 E 68TH ST
111135	ST ANTHONYS LLC	5200 W 94TH TER STE 204
111136	SOUTH PARK PARTNERS LP	904 E 68TH ST 301
111138	LAS ENCINAS HOSPITAL	PO BOX 80610
111139	LAS ENCINAS HOSPITAL	PO BOX 80610
111283	ALLEN LAUREN ELIZABETH	6808 HOLMES RD
111284	TURNBULL MARIANNE	6804 HOLMES
111285	COLEMAN RACHEL & GILLAND RHIANNON	6746 KENWOOD AVE
111286	HAIR JENNIFER E & SHAWN P	6742 KENWOOD AVE
111287	BRESHEARS SUSAN & DONN	6738 KENWOOD
111296	OWENS JAMI	6701 ROCKHILL RD
111297	NICHOL HOLLY TAYLOR	6706 HOLMES RD
111298	ROBBE LUKE	6708 HOLMES RD
111299	KALEBA DAVID & CONKLIN LUCILLE	6712 HOLMES RD
111300	KING RICHARD E	6716 HOLMES RD
111301	FERGUSON GREGORY H & ROSE M	6720 HOLMES
111302	WAGNER FRANKLIN	6424 HOLMES RD
111303	GOTTBERG AMY	6728 HOLMES RD
111304	LAWRENCE PATRICK & ELIZABETH R	6732 HOLMES

111305	BARRY SEAN P & AMY L	6736 HOLMES
111306	REYNOLDS BEVERLY A	6740 HOLMES ST
111307	MULLOY COLIN	6744 HOLMES RD
111308	SADICH RYAN WILLIAM	6748 HOLMES
111309	HUNTER ROBERT P	6737 KENWOOD AVE
111310	HUMPHREY RYAN W	6733 KENWOOD AVE
111311	SPERRY SUE ANN-TRUSTEE	6729 KENWOOD AVE
111312	FULLER NICK	6725 KENWOOD AVE
111313	JOHNSON LAWRENCE N JR	6801 LOCUST ST
111314	KITCHENS TIMOTHY L	6717 KENWOOD AVE
111315	FRICKE MICHELE M J TRUSTEE	6713 KENWOOD AVE
111316	LONDY ALAN D & JANE B	6709 KENWOOD AVE
111317	MALLOUK MICHAEL PETER	6737 ROCKHILL RD
111318	MULLOY RYAN M	6733 ROCKHILL RD
111319	SOLOMON ROCHELLE N-TRUSTEE	6729 ROCKHILL RD
225758	HEALTH MIDWEST OFFICE	PO BOX 80610
225970	UNIVERSITY ACADEMY SUPPORTING FOUNDATION	4520 MAIN ST STE 1050
225971	UNIVERSITY ACADEMY SUPPORTING FOUNDATION	4520 MAIN ST STE 1050
256601	LAS ENCINAS HOSPITAL	PO BOX 80610
257902	RGRS PARTNERSHIP LP	5871 S TETERS CT
263775	ATLANTA HEALTHCARE MANAGEMENT LP	PO BOX 80610



DOCUMENT CHANGES

Table with 2 columns: Description, Date. Row 1: REVISION 1, 03/07/25

Issue Description FOR CONSTRUCTION

Table with 2 columns: Original Issue Date, Date. Row 1: 01/31/2025, 03/07/25

HCA Project No 097270030

Project No 24208.00

Drawn By AP Checked By JP

Drawing Title

GENERAL NOTES

C2.0

STORM SEWER NOTES

- 1. ALL STORMWATER PIPES, STRUCTURES, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL AND STATE STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL FOLLOW CONSTRUCTION PLANS AND MANUFACTURER DETAILS, SPECIFICATIONS, AND INSTALLATION INSTRUCTIONS AS INCLUDED WITHIN THE PLANS AND PROVIDED BY THE MANUFACTURER FOR THE INSTALLATION OF PIPES, STRUCTURES, WATER QUALITY UNITS AND FABRICATED DETENTION SYSTEMS.

SITE UTILITY NOTES

- 1. THE CONTRACTOR SHALL REQUEST UTILITY LOCATIONS (811) AND VERIFY LOCATIONS OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF DAMAGED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.

SITE GRADING NOTES

- 1. THE DISTURBED AREA FOR THIS PROJECT IS ESTIMATED TO BE 45.38 ACRES.
2. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 29095CO264G OF THE FEMA FLOOD INSURANCE MAPS FOR JACKSON COUNTY, MO, DATED 12/20/2017.

TREE PROTECTION NOTES

- 1. INSTALL TREE PROTECTION PRIOR TO DEMOLITION OR EARTH MOVING OPERATIONS ON SITE IN ACCORDANCE WITH THE DETAILS AND NOTES PROVIDED IN THESE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL STAKE THE LIMITS OF CONSTRUCTION TO ENSURE THE TREE PROTECTION MEASURES ARE INSTALLED IN THE PROPER LOCATIONS.

EROSION CONTROL NOTES

- 1. EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) MEASURES SHALL BE INSTALLED PER LOCAL AND STATE REQUIREMENTS PRIOR TO ANY EARTH MOVING ACTIVITIES.
2. PROVIDE CONSTRUCTION ENTRANCE/EXIT AS DETAILED ON THE PLANS AND PER LOCAL REQUIREMENTS. MAINTAIN ENTRANCE/EXIT THROUGHOUT CONSTRUCTION AND MAINTAIN THE PUBLIC ROADWAY FREE OF TRACKED MUD AND DIRT.

AS-BUILT REQUIREMENTS

- 1. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A LICENSED SURVEYOR IN THE STATE OF MO TO PROVIDE AS-BUILT SURVEY DATA FOR PUBLIC UTILITIES AND PUBLIC/PRIVATE STORMWATER MANAGEMENT INFRASTRUCTURE.
2. AS-BUILT SURVEYS SHOULD AT A MINIMUM PROVIDE THE FOLLOWING ITEMS:
2.1. SPOT ELEVATIONS OF THE EXCAVATED BIORETENTION AND/OR PERMEABLE PAVEMENT SUBGRADE PRIOR TO BACKFILLING WITH THE SPECIALTY SOIL AND GRAVEL LAYERS.

PROJECT NOTES

- 1. SUBJECT PROPERTY SHOWN ON TAX MAP 47, AS PARCEL 47-510-01-38-01-0-00-000 OF THE JACKSON COUNTY, MO, TAX MAPS.
2. SITE EXISTING CONDITIONS ARE TAKEN FROM SURVEY BY LOVELESS & ASSOCIATES DATED 12/10/2024. CATALYST DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF OR OMISSIONS FROM THE EXISTING CONDITIONS OR ERRORS RESULTING THEREFROM.

DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL REQUEST UTILITY LOCATIONS (811) AND VERIFY LOCATIONS OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF DAMAGED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO ACCOMPLISH THE PROPOSED WORK.

ADA ACCESSIBILITY NOTES

- 1. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY ARE TO BE CONSTRUCTED BASED ON LOCAL AUTHORITY'S STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, WHERE THERE ARE NO LOCAL STANDARDS, THE CONTRACTOR SHALL CONSTRUCT CURB RAMPS ACCORDING TO THE CURRENT VERSION OF THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), PUBLISHED BY THE UNITED STATES ACCESS BOARD.
2. PRIVATE CURB RAMPS ON THE SITE OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS AND/OR FAIR HOUSING ACT (FHA), WHERE APPLICABLE.

PROJECT INFO: FACILITY NAME: EMERGENCY CARE; PROJECT DESCRIPTION: Emergency Care Unit; HCA PROJECT NUMBER: 097270030; AHJ PROJECT NUMBERS: CON NUMBER: 24208.00; ARCHITECT PROJECT NUMBER: 24208.00

OWNER CONTACTS

HCA TEAM CONTACTS

DESIGN TEAM CONTACTS: DESIGN MANAGER: MIKA MAJIK; CONSTRUCTION MANAGER: RUSSELL MAAS; ONE PARK PLAZA, P.O. BOX 260; BIRMINGHAM, AL 35202-0260; NASHVILLE, TN 37203; T: 615.344.2703

PROJECT CONTACTS

DESIGN TEAM CONTACTS

ARCHITECT & INTERIOR DESIGN: EARL SWENSON ASSOCIATES, INC.; 103 DENHAMBLISS STREET; SUITE 800; NASHVILLE, TENNESSEE 37203; T: 615.329.4448

CIVIL ENGINEERING

CATALYST DESIGN GROUP: 1524 WILLIAMS DRIVE; SUITE 301; MURFREESBORO, TN 37139; 615.622.7000; JACK PARKER

STRUCTURAL ENGINEERING

CATALYST DESIGN GROUP: 220 GREAT CIRCLE ROAD, SUITE 106; NASHVILLE, TN 37228; 615.255.1486; JEREMY SALMON

MEPT ENGINEERING

TLC ENGINEERING: 12 CADILLAC DRIVE, SUITE 100; BENTLEYWOOD, TN 37027; 615.346.3981; HANNAH BROWNING

ARCHITECT & INTERIOR DESIGN

EARL SWENSON ASSOCIATES, INC.: 103 DENHAMBLISS STREET; SUITE 800; NASHVILLE, TN 37203; 615.255.1486; JEREMY SALMON

DESIGN TEAM CONTACTS

DESIGN MANAGER: MIKA MAJIK; CONSTRUCTION MANAGER: RUSSELL MAAS; ONE PARK PLAZA, P.O. BOX 260; BIRMINGHAM, AL 35202-0260; NASHVILLE, TN 37203; T: 615.344.2703

ARCHITECT & INTERIOR DESIGN

EARL SWENSON ASSOCIATES, INC.: 103 DENHAMBLISS STREET; SUITE 800; NASHVILLE, TN 37203; 615.255.1486; JEREMY SALMON

CIVIL ENGINEERING

CATALYST DESIGN GROUP: 1524 WILLIAMS DRIVE; SUITE 301; MURFREESBORO, TN 37139; 615.622.7000; JACK PARKER

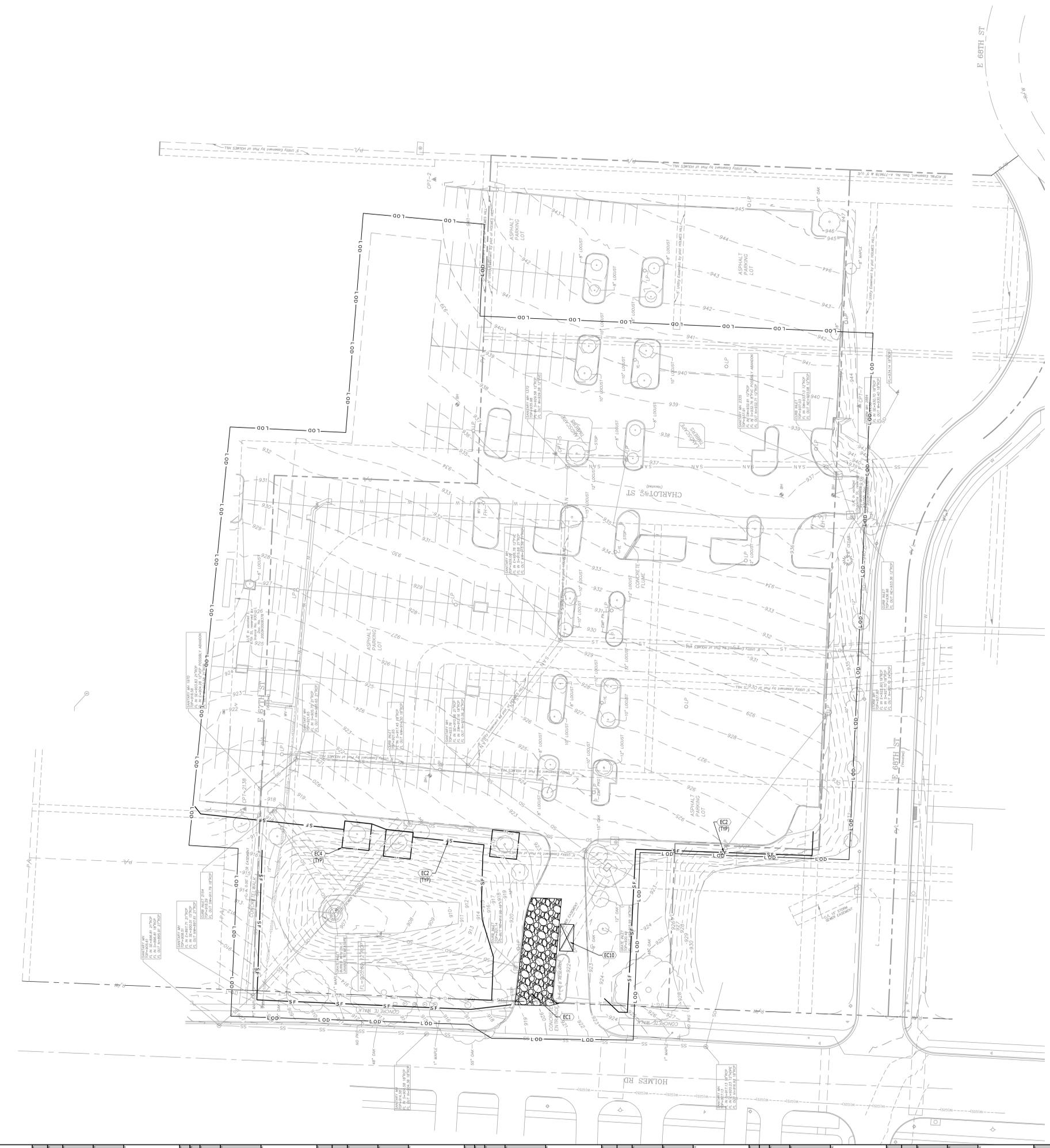
STRUCTURAL ENGINEERING

CATALYST DESIGN GROUP: 220 GREAT CIRCLE ROAD, SUITE 106; NASHVILLE, TN 37228; 615.255.1486; JEREMY SALMON

**PROJECT INFO.**  
 FACILITY NAME:  
 EMERGENCY CARE  
 PROJECT DESCRIPTION:  
 Emergency Care Unit  
 HCA PROJECT NUMBER:  
 097270030  
 AHJ PROJECT NUMBERS:  
 CON NUMBER:  
 16A  
 ARCHITECT PROJECT NUMBER:  
 24208.00

**OWNER CONTACTS**  
**HCA TEAM CONTACTS**  
 DESIGN MANAGER:  
 MR. MARK  
 CONSTRUCTION MANAGER:  
 RUSSELL MAAS  
 ONE PARK PLAZA, P.O. BOX 250  
 BUILDING II, 3RD FLOOR EAST  
 NASHVILLE, TN 37203  
 T. 615.344.2703

**PROJECT CONTACTS**  
**DESIGN TEAM CONTACTS**  
**ARCHITECT & INTERIOR DESIGN**  
 EARL SWENSON ASSOCIATES, INC.  
 103 DENNINGBRIAN STREET  
 SUITE 800  
 NASHVILLE, TENNESSEE 37203  
 T. 615.259.9446  
**CIVIL ENGINEERING**  
 CATALYST DESIGN GROUP  
 1524 WILLIAMS DRIVE  
 SUITE 301  
 MURFREESBORO, TN 37129  
 615.822.7200  
 JACK PARKER  
**STRUCTURAL ENGINEERING**  
 STRUCTURAL DESIGN GROUP  
 220 GREAT CIRCLE ROAD, SUITE 106  
 NASHVILLE, TN 37228  
 615.256.1486  
 JEREMY SALMON  
**MEPT ENGINEERING**  
 TLC ENGINEERING  
 12 CADILLAC DRIVE, SUITE 100  
 BRENTWOOD, TN 37027  
 615.346.3581  
 HANNAH BROWNING



EROSION CONTROL KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
EC1	TEMPORARY CONSTRUCTION ENTRANCE	1 / C3.2
EC2	SILT FENCE	3 / C3.2
EC3	INLET PROTECTION	4 / C3.2
EC4	TREE PROTECTION	6 / C3.2
EC5	TURF REINFORCEMENT MATTING	5 / C3.2
EC10	CONCRETE WASH-OUT	2 / C3.2

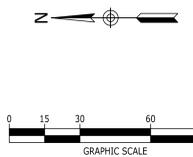
**SITE DESCRIPTION AND NOTES:**

THE SITE IS LOCATED ON TAX MAP 47, PARCEL 47-510-01-38-01-0-00-000 IN KANSAS CITY, JACKSON COUNTY, MO. CONSTRUCTION ACTIVITY ON THIS SITE WILL CONSIST OF DISTURBING APPROXIMATELY 5.38± ACRES TO CONSTRUCT A 3-BED EMERGENCY CARE HOSPITAL.

- APPROXIMATE CONSTRUCTION TIME TABLE:  
 BEGIN CONSTRUCTION - SUMMER 2025  
 COMPLETE CONSTRUCTION - SPRING 2026
- CONSTRUCTION SEQUENCE:  
 A. ATTEND WATER QUALITY DIVISION PRE-CONSTRUCTION MEETING.  
 B. INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE  
 C. CONTACT WATER QUALITY DIVISION - EROSION CONTROL INSPECTOR FOR INSPECTION OF EROSION CONTROL DEVICES TO OBTAIN GRADING PERMIT.  
 D. CLEAR AND GRUB THE REMAINING SITE.  
 E. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES.  
 F. UPON PERMANENT SITE STABILIZATION SEED AND STRAW.  
 G. REMOVE ALL OTHER EROSION TEMPORARY CONTROL DEVICES PRIOR TO AS-BUILT APPROVALS.
- TOTAL PROJECT AREA = 209,348 SF (4.81± AC.)  
 DISTURBED AREA = 234,277 S.F. (5.38± AC.)

**EROSION CONTROL NOTES:**

- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATION BEGINS AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
- THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS.
- THE CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
- CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDEED AREAS.
- SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS AND OTHER SEDIMENT CONTROLS AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50% OR AS DIRECTED BY OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
- DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF THE COMPLETION OF GRADING ACTIVITIES. SLOPES 3:1 OR STEEPER SHALL BE STABILIZED WITHIN 7 DAYS.



**EMERGENCY CARE**  
**RESEARCH MEDICAL CENTER BROOKSIDE**  
 6675 HOLMES RD, KANSAS CITY, MO 64131

**DOCUMENT CHANGES**

Description	Date
REVISION 1	03/07/25

**Issue Description** FOR CONSTRUCTION

**Original Issue Date** 01/31/2025

**HCA Project No** 097270030

**Project No** 24208.00

**Drawn By** AP **Checked By** JP

**Drawing Title** INITIAL EROSION CONTROL PLAN

**Sheet Number** C3.0



Seals

**EMERGENCY CARE  
RESEARCH MEDICAL CENTER BROOKSIDE**  
6675 HOLMES RD, KANSAS CITY, MO 64131

**PROJECT INFO.**  
FACILITY NAME: EMERGENCY CARE  
PROJECT DESCRIPTION: Emergency Care Unit  
HCA PROJECT NUMBER: 097270030  
AHJ PROJECT NUMBERS:  
CON NUMBER: NA  
ARCHITECT PROJECT NUMBER: 2428.00

**OWNER CONTACTS**  
HCA TEAM CONTACTS  
DESIGN MANAGER: MIRA MAJIK  
CONSTRUCTION MANAGER: RUSSELL MAASIS  
ONE PARK PLAZA, P.O. BOX 250  
BUILDING II, 9TH FLOOR EAST  
NASHVILLE, TN 37203  
T: 615.344.2753

**PROJECT CONTACTS**  
DESIGN TEAM CONTACTS  
ARCHITECT & INTERIOR DESIGN  
EARL SWENSON ASSOCIATES, INC.  
103 DENOMBRON STREET  
SUITE 800  
NASHVILLE, TENNESSEE 37203  
T: 615.259.9449

CIVIL ENGINEERING  
CATALYST DESIGN GROUP  
1524 WILLIAMS DRIVE  
SUITE 301  
MURFREESBORO, TN 37129  
615.622.7200  
JACK PARKER

STRUCTURAL ENGINEERING  
STRUCTURAL DESIGN GROUP  
220 GREAT CIRCLE ROAD, SUITE 106  
NASHVILLE, TN 37228  
615.256.1486  
JEREMY SALMON

MEPT ENGINEERING  
TLC ENGINEERING  
12 CADILLAC DRIVE, SUITE 150  
BENTWOOD, TN 37027  
615.346.3581  
HANNAH BROWNING

EROSION CONTROL KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
EC1	TEMPORARY CONSTRUCTION ENTRANCE	1 / C3.2
EC2	SILT FENCE	3 / C3.2
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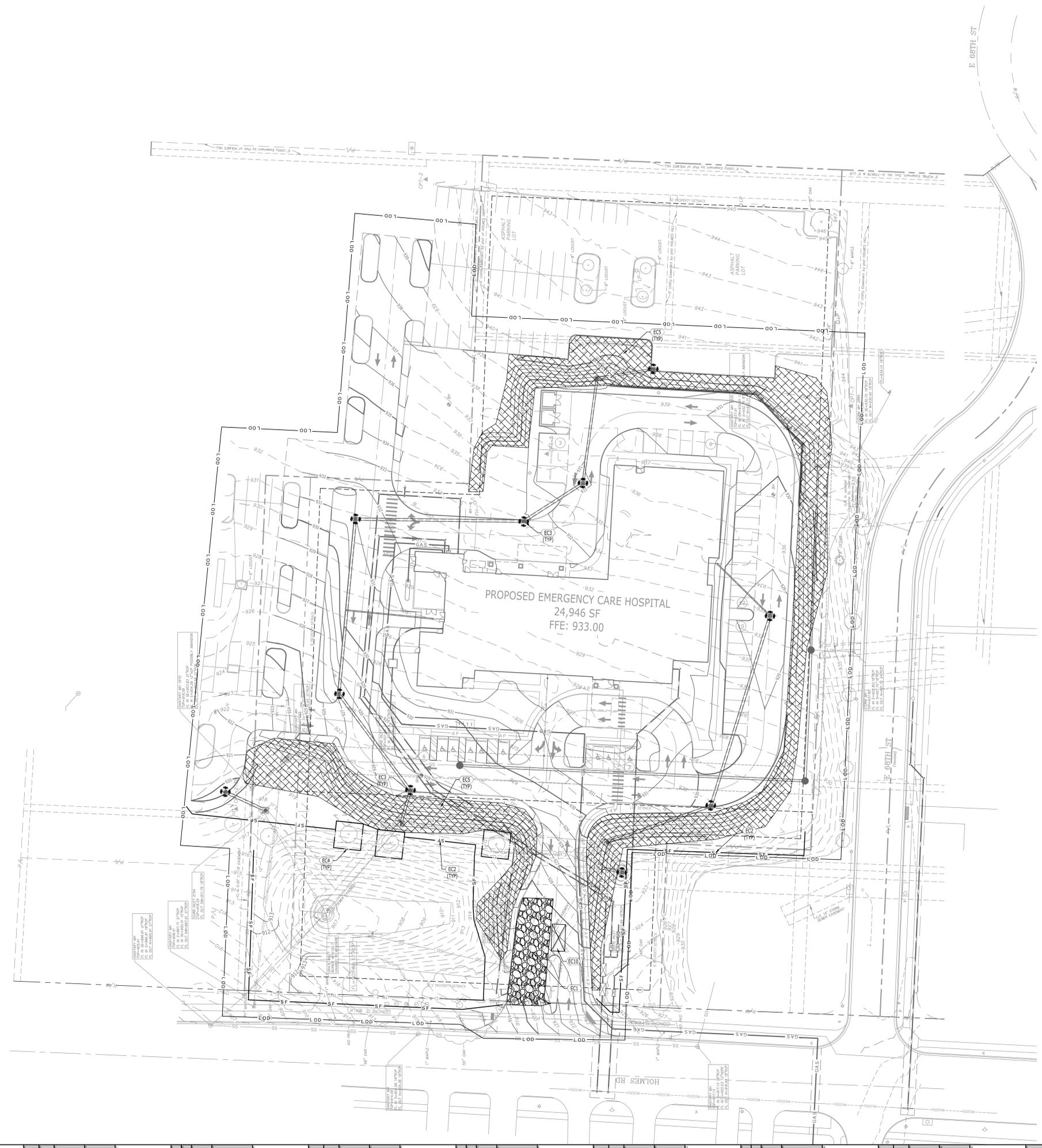
**SITE DESCRIPTION AND NOTES:**

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- CONSTRUCTION SEQUENCE:  
A. ATTEND WATER QUALITY DIVISION PRE-CONSTRUCTION MEETING.  
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D. CLEAR AND GRUB THE REMAINING SITE.  
E. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES.  
F. UPON PERMANENT SITE STABILIZATION SEED AND STRAW.  
G. REMOVE ALL OTHER EROSION TEMPORARY CONTROL DEVICES PRIOR TO AS-BUILT APPROVALS.
- TOTAL PROJECT AREA = 209,348 SF (4.81± AC.)  
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- DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF THE COMPLETION OF GRADING ACTIVITIES. SLOPES 3:1 OR STEEPER SHALL BE STABILIZED WITHIN 7 DAYS.



**DOCUMENT CHANGES**

Description	Date
REVISION 1	03/07/25

Issue Description	FOR CONSTRUCTION
Original Issue Date	01/31/2025
HCA Project No	097270030
Project No	2428.00
Drawn By	AP
Checked By	JP

INTERIM & FINAL  
EROSION CONTROL  
PLAN

Sheet Number  
**C3.1**



**PROJECT INFO**  
 FACILITY NAME: EMERGENCY CARE  
 PROJECT DESCRIPTION: Emergency Care Unit  
 HCA PROJECT NUMBER: 097270030  
 AHJ PROJECT NUMBERS:  
 CON NUMBER: 24208.00  
 ARCHITECT PROJECT NUMBER: 24208.00

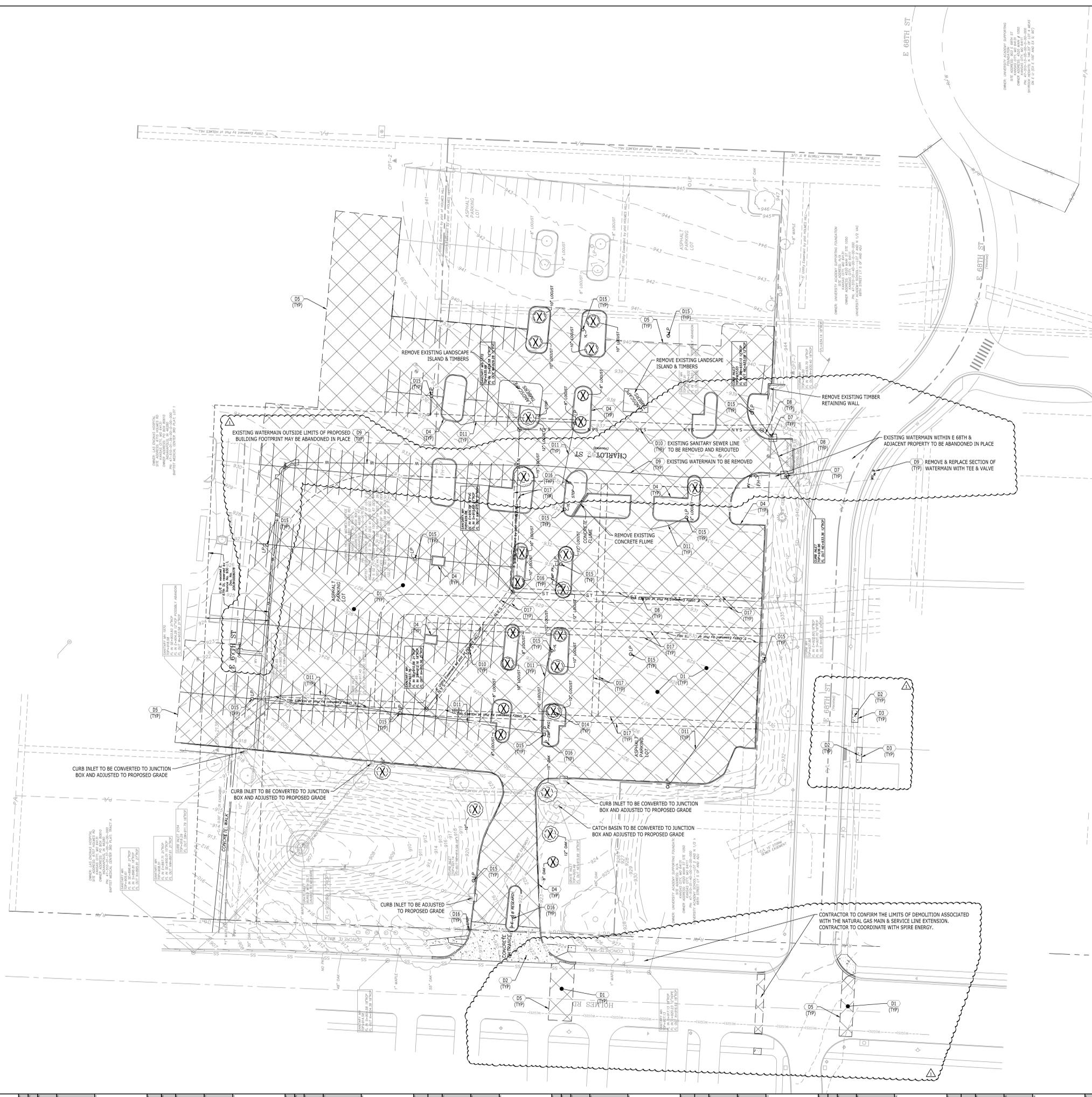
**OWNER CONTACTS**  
**HCA TEAM CONTACTS**  
 DESIGN MANAGER: MURAL MAJIK  
 CONSTRUCTION MANAGER: RUSSELL MAASIS  
 ONE PARK PLAZA, P.O. BOX 250  
 BUILDING II, 3RD FLOOR EAST  
 NASHVILLE, TN 37203  
 T: 615.344.3753

**PROJECT CONTACTS**  
**DESIGN TEAM CONTACTS**  
**ARCHITECT & INTERIOR DESIGN**  
 EARL SWENSON ASSOCIATES, INC.  
 103 DENNINGTON STREET  
 SUITE 800  
 NASHVILLE, TENNESSEE 37203  
 T: 615.259.9446

**CIVIL ENGINEERING**  
 CATALYST DESIGN GROUP  
 1524 WILLIAMS DRIVE  
 SUITE 301  
 MURFREESBORO, TN 37129  
 615.622.7200  
 JACK PARKER

**STRUCTURAL ENGINEERING**  
 STRUCTURAL DESIGN GROUP  
 220 GREAT CIRCLE ROAD, SUITE 106  
 NASHVILLE, TN 37228  
 615.256.1486  
 JEREMY SALMON

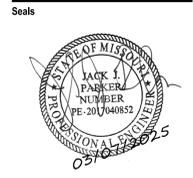
**MEPT ENGINEERING**  
 TLC ENGINEERING  
 12 CADILLAC DRIVE, SUITE 100  
 BRENTWOOD, TN 37027  
 615.346.3581  
 HANNAH BROWNING



DEMOLITION KEYNOTES	
CODE	DESCRIPTION
D1	REMOVE EXISTING ASPHALT PAVEMENT
D2	REMOVE EXISTING CONCRETE PAVEMENT
D3	REMOVE EXISTING CONCRETE SIDEWALK
D4	REMOVE EXISTING CONCRETE CURB
D5	EVENLY SAWCUT
D6	REMOVE EXISTING BUILDING/STRUCTURE
D7	REMOVE EXISTING DRAINAGE STRUCTURE
D8	REMOVE EXISTING STORM LINE
D9	REMOVE EXISTING WATERLINE & APPURTENANCES
D10	REMOVE EXISTING SANITARY SEWER LINE
D11	REMOVE EXISTING UTILITY LINE & APPURTENANCES
D12	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE
D13	EXISTING HYDRANT TO BE RELOCATED
D14	REMOVE EXISTING TREE
D15	REMOVE EXISTING LIGHT POLE
D16	REMOVE EXISTING SITE SIGNAGE
D17	EASEMENT TO BE ABANDONED/RELOCATED

LEGEND	
BUILDING TO BE REMOVED	[Hatched pattern]
CONCRETE TO REMOVE	[Cross-hatched pattern]
ASPHALT PAVEMENT TO REMOVE	[Diagonal hatched pattern]
TREES TO BE REMOVED	(X)

DEMOLITION SUMMARY	
EXISTING PARKING PROVIDED:	483 SPACES
PARKING REMOVED:	343 SPACES
REMAINING SPACES:	140 SPACES
EXISTING TREES REMOVED:	25 TREES



**EMERGENCY CARE**  
**RESEARCH MEDICAL CENTER BROOKSIDE**  
 6675 HOLMES RD, KANSAS CITY, MO 64131

DOCUMENT CHANGES	
Description	Date
REVISION 1	03/07/25

Issue Description	FOR CONSTRUCTION
Original Issue Date	01/31/2025
HCA Project No	097270030
Project No	24208.00
Drawn By	AP
Checked By	JP
Drawing Title	DEMOLITION PLAN
Sheet Number	C4.0

Seals

EMERGENCY CARE  
RESEARCH MEDICAL CENTER BROOKSIDE  
6675 HOLMES RD, KANSAS CITY, MO 64131

DOCUMENT CHANGES

Description	Date
REVISION 1	03/07/25

Issue Description	FOR CONSTRUCTION
Original Issue Date	01/31/2025
HCA Project No	092720030
Project No	24208.00
Drawn By	AP
Checked By	JP

Drawing Title

LAYOUT PLAN

Sheet Number

C5.0

**PROJECT INFO**

FACILITY NAME:  
EMERGENCY CARE

PROJECT DESCRIPTION:  
Emergency Care Unit

HCA PROJECT NUMBER:  
092720030

AHU PROJECT NUMBER:  
24208.00

CON NUMBER:  
NA

ARCHITECT PROJECT NUMBER:  
24208.00

**OWNER CONTACTS**

HCA TEAM CONTACTS

DESIGN MANAGER:  
MIRA MAJIK

CONSTRUCTION MANAGER:  
RUSSELL MAASIS

ONE PARK PLAZA, P.O. BOX 250  
BUILDING, 3RD FLOOR EAST  
NASHVILLE, TN 37203  
T: 615.344.2753

**LEGAL DESCRIPTION**

PN: 47-510-01-38-01-0-00-000  
BAPTIST MEDICAL CENTER 3RD PLAT---PT OF LOT 2  
DAF, BEG NW COR LOT 2 TH S 87 DEG 41 MIN 57 SEC  
E 384' TH S 02 DEG 18 MIN 05 SEC W 150' TH S 87  
DEG 41 MIN 57 SEC E 244.77' TH S 02 DEG 16 MIN  
54 SEC W, 263.34' TH N 87 DEG 24 MIN 42 SEC W  
507.09' TH N 02 DEG 35 MIN 18 SEC E 106.41' TH N  
87 DEG 38 MIN 23 SEC W 122.2' TH N 02 DEG 18 MIN  
03 SEC E 306.7' TO POB

ZONING: B3.0R-0.5  
FAR: MAX 3.0  
HEIGHT: MAX 55'

SETBACKS:  
FRONT: 12.5'  
REAR: 30'  
SIDE: 8'

JACKSON COUNTY APN: J447510013801000000; 47-510-01-38-01-0-00-000; 44.806 ACRES  
FEMA: 29095C0264G, EFFECTIVE 12/02/2017, ZONE X

**PARKING SUMMARY**

1 SPACE PER 3 BEDS + 1 SPACE PER 4 EMPLOYEES REQUIRED

EXISTING HOSPITAL: 320 BEDS + 900 EMPLOYEES = 332 SPACES REQUIRED

PROPOSED EMERGENCY CARE HOSPITAL: 3 BEDS + 45 EMPLOYEES = 13 SPACES REQUIRED

	STANDARD	ADA	AMBULANCE
EXISTING HOSPITAL CAMPUS PARKING	944 SPACES	65 SPACES	0 SPACES
TOTAL PARKING REMOVED	379 SPACES	0 SPACES	0 SPACES
PROPOSED EXISTING HOSPITAL CAMPUS PARKING	412 SPACES	65 SPACES (9 REQ.)	0 SPACES
PROPOSED EMERGENCY CARE HOSPITAL PARKING	153 SPACES	9 SPACES (6 REQ.)	3 SPACES
<b>TOTAL PARKING PROPOSED:</b>	<b>639 SPACES</b>		

**PROJECT CONTACTS**

**DESIGN TEAM CONTACTS**

ARCHITECT & INTERIOR DESIGN  
EARL SWENSON ASSOCIATES, INC.  
1033 DENOMORRIS STREET  
SUITE 800  
NASHVILLE, TENNESSEE 37203  
T: 615.209.9446

CIVIL ENGINEERING  
CATALYST DESIGN GROUP  
1524 WILLIAMS DRIVE  
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STRUCTURAL ENGINEERING  
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220 GREAT CIRCLE ROAD, SUITE 106  
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HANNAH BROWNING



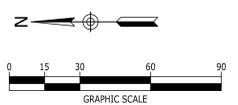
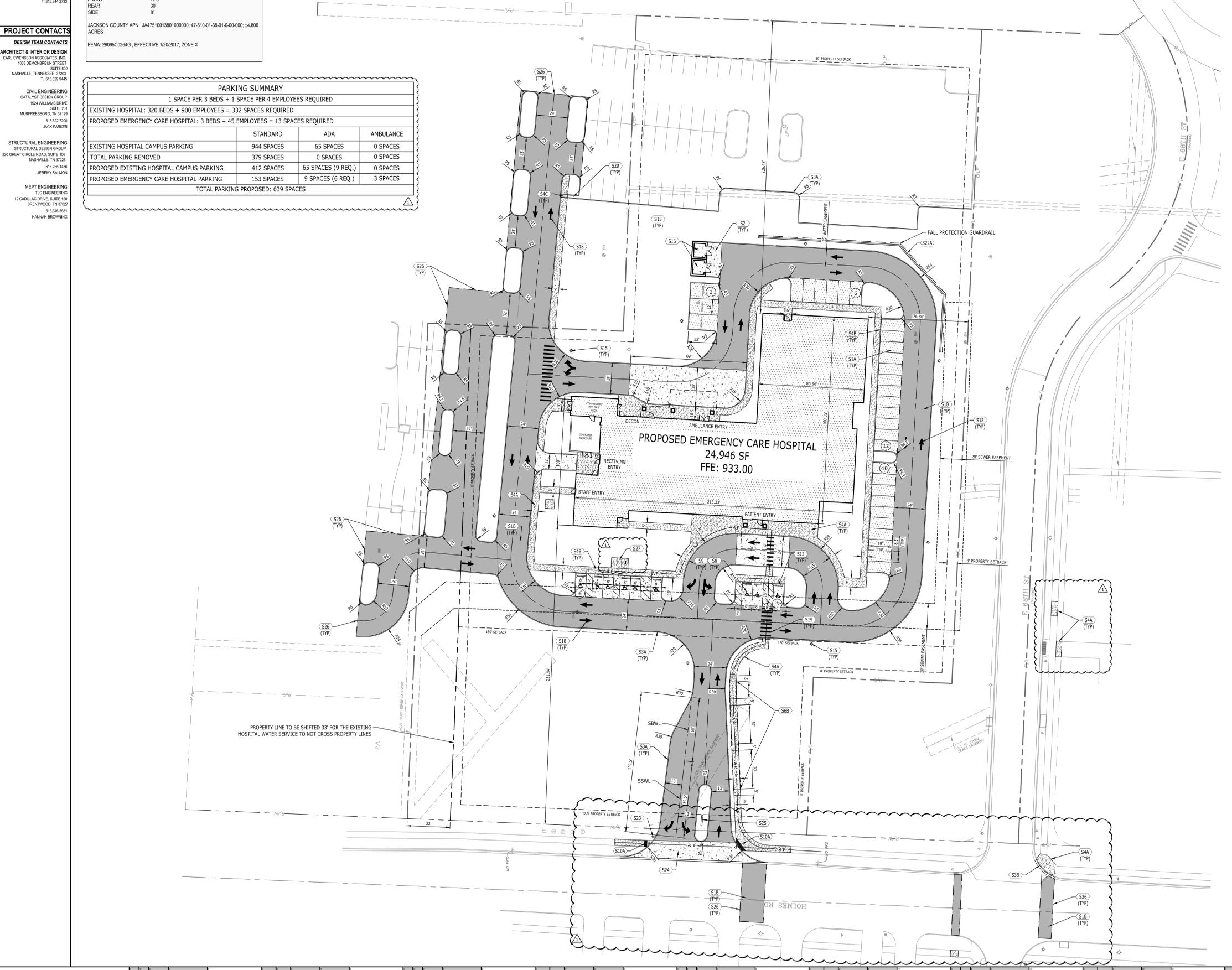
VICINITY MAP  
NOT TO SCALE

**SITE LAYOUT KEYNOTES**

CODE	DESCRIPTION	DET #/SHT #
S1A	ASPHALT PAVEMENT - LIGHT DUTY	1 / C8.0
S1B	ASPHALT PAVEMENT - HEAVY DUTY	1 / C8.0
S2	CONCRETE PAVEMENT	3 / C8.0
S3A	CONCRETE POST CURB	7 / C8.0
S3B	CONCRETE CURB & GUTTER	16 / C8.0
S4A	CONCRETE SIDEWALK	10 / C8.0
S4B	CONCRETE SIDEWALK AT POST CURB	8 / C8.0
S4C	CONCRETE SIDEWALK DRAIN	1 / C8.3
S5	SIDEWALK JOINTS	6 / C8.0
S6B	CONCRETE RAMP WITH HANDRAIL	14 / C8.0
S8	ACCESSIBLE SYMBOL	5 / C8.0
S9	ACCESSIBLE PARKING SPACE	9 / C8.0
S10A	ACCESSIBLE RAMP	13 / C8.0
S12	CONCRETE WHEELSTOP	2 / C8.0
S13	UTILITY PAD	2 / C8.0
S15	SITE LIGHTING (REFER TO MEP PLANS)	
S16	CONCRETE DUMPSTER PAD (REFER TO ARCHITECTURAL & STRUCTURAL PLANS FOR DETAILS)	15 / C8.0
S18	DIRECTIONAL ARROWS	11 / C8.0
S19	PEDESTRIAN CROSSWALK	12 / C8.0
S20	CONCRETE FLUME	2 / C8.3
S22A	RETAINING WALL (REFER TO STRUCTURAL PLANS)	
S23	STOP SIGN	3 / C8.3
S24	COMMERCIAL DRIVEWAY ENTRANCE	4 / C8.3
S25	MONUMENT SIGN (REFER TO ARCHITECTURAL PLANS)	
S26	EDGE OF PROPOSED PAVEMENT (MATCH EXISTING)	
S27	BICYCLE PARKING	5 / C8.3

**LEGEND**

BUILDING	[Symbol]
CONCRETE PAVEMENT	[Symbol]
CONCRETE SIDEWALK	[Symbol]
HEAVY DUTY PAVEMENT	[Symbol]
LIGHT DUTY PAVEMENT	[Symbol]
PAINTED STRIPE	[Symbol]
CONCRETE CURB	[Symbol]
CENTERLINE	[Symbol]
TACTILE WARNING	[Symbol]
ACCESSIBLE PATH	[Symbol]
SBWL	[Symbol]
SSWL	[Symbol]









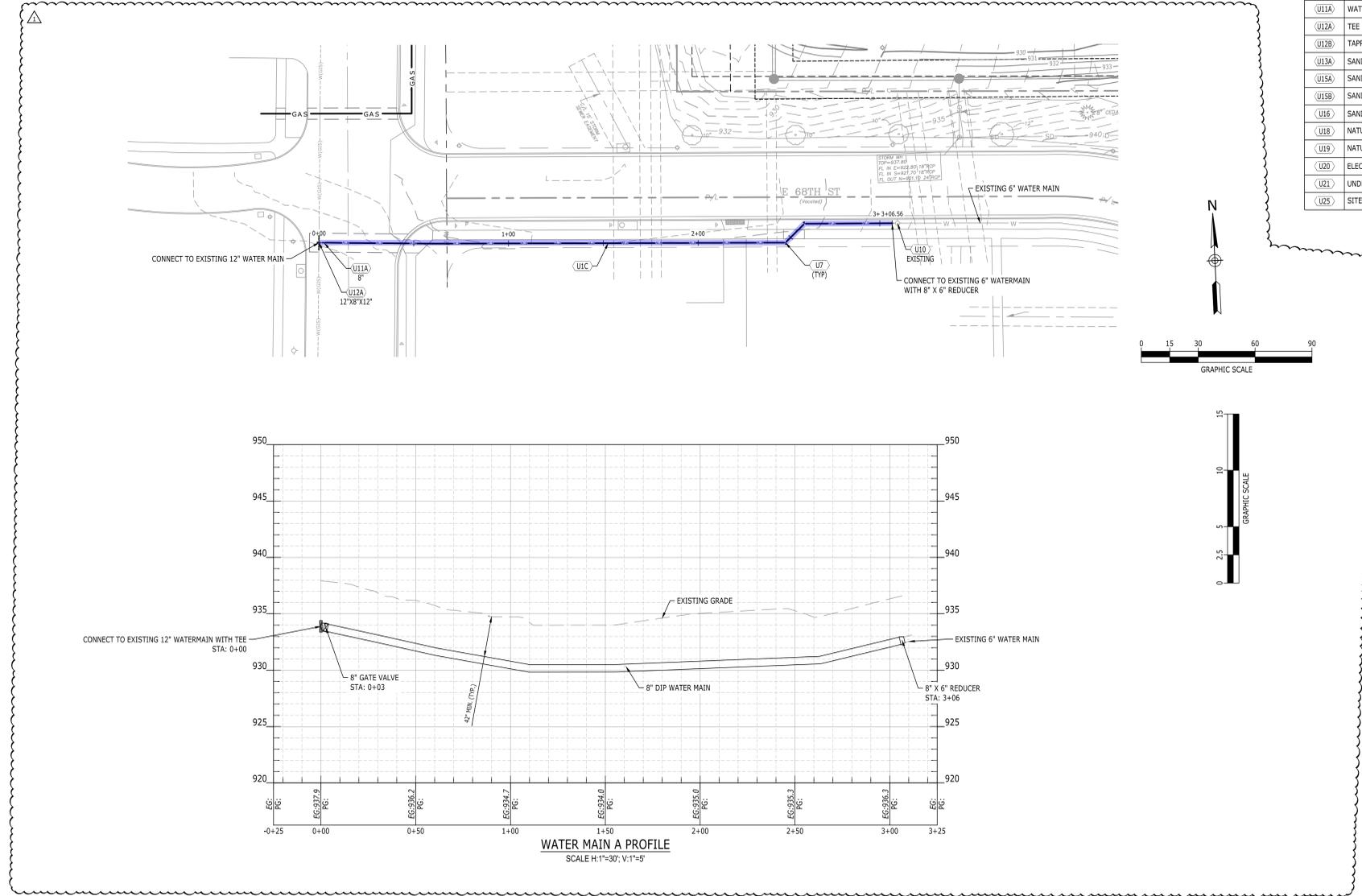


**PROJECT INFO.**  
 FACILITY NAME:  
 EMERGENCY CARE  
 PROJECT DESCRIPTION:  
 Emergency Care Unit  
 HCA PROJECT NUMBER:  
 097270030  
 AHJ PROJECT NUMBERS:  
 CON NUMBER:  
 16A  
 ARCHITECT PROJECT NUMBER:  
 24208.00

**OWNER CONTACTS**  
**HCA TEAM CONTACTS**  
 DESIGN MANAGER:  
 MURAL MAJIK  
 CONSTRUCTION MANAGER:  
 RUSSELL MAASIS  
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**PROJECT CONTACTS**  
**DESIGN TEAM CONTACTS**  
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 STRUCTURAL DESIGN GROUP  
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**MEPT ENGINEERING**  
 TLC ENGINEERING  
 12 CADILLAC DRIVE, SUITE 100  
 BRENTWOOD, TN 37027  
 615.346.5381  
 HANNAH BROWNING

UTILITY KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
U1A	WATER LINE (6")	
U1B	WATER LINE (2")	
U1C	WATER LINE (8" DIP)	
U2A	FIRE LINE (6")	
U3A	IRRIGATION LINE (2")	
U4A	WATER METER	1 / CB.1
U4B	IRRIGATION METER	1 / CB.1
U5	REDUCED PRESSURE BACKFLOW PREVENTER	2 / CB.1
U6	DOUBLE DETECTOR CHECK VALVE ASSEMBLY	2 / CB.1
U7	WATER BLOCKING/KICKERS	9 / CB.1
U8	POST INDICATOR VALVE	10 / CB.1
U9	FIRE DEPARTMENT CONNECTION	
U10	FIRE HYDRANT ASSEMBLY	
U11A	WATER VALVE	
U12A	TEE	
U12B	TAPPING SLEEVE & VALVE (12" X 2")	
U13A	SANITARY SEWER LINE	
U15A	SANITARY SEWER MANHOLE (PRECAST)	5 / CB.2
U15B	SANITARY SEWER DROP MANHOLE (C.I.P.)	11 / CB.2
U16	SANITARY SEWER CLEANOUT	16 / CB.0
U18	NATURAL GAS LINE (2")	
U19	NATURAL GAS METER (2")	
U20	ELECTRIC TRANSFORMER	
U21	UNDERGROUND ELECTRIC LINE	
U25	SITE LIGHTING, REFER TO MEP PLANS	



**DOCUMENT CHANGES**

Description	Date
REVISION 1	03/07/25

**Issue Description** FOR CONSTRUCTION  
**Original Issue Date** 01/31/2025  
**HCA Project No** 097270030  
**Project No** 24208.00  
**Drawn By** AP **Checked By** JP  
**Drawing Title**  
 PUBLIC WATER MAIN  
 PLAN & PROFILE



**PROJECT INFO.**  
FACILITY NAME: EMERGENCY CARE  
PROJECT DESCRIPTION: Emergency Care Unit  
HCA PROJECT NUMBER: 097270030  
AHJ PROJECT NUMBERS:  
CON NUMBER: 16A  
ARCHITECT PROJECT NUMBER: 2428.00

**OWNER CONTACTS**  
**HCA TEAM CONTACTS**  
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**PROJECT CONTACTS**  
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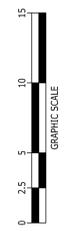
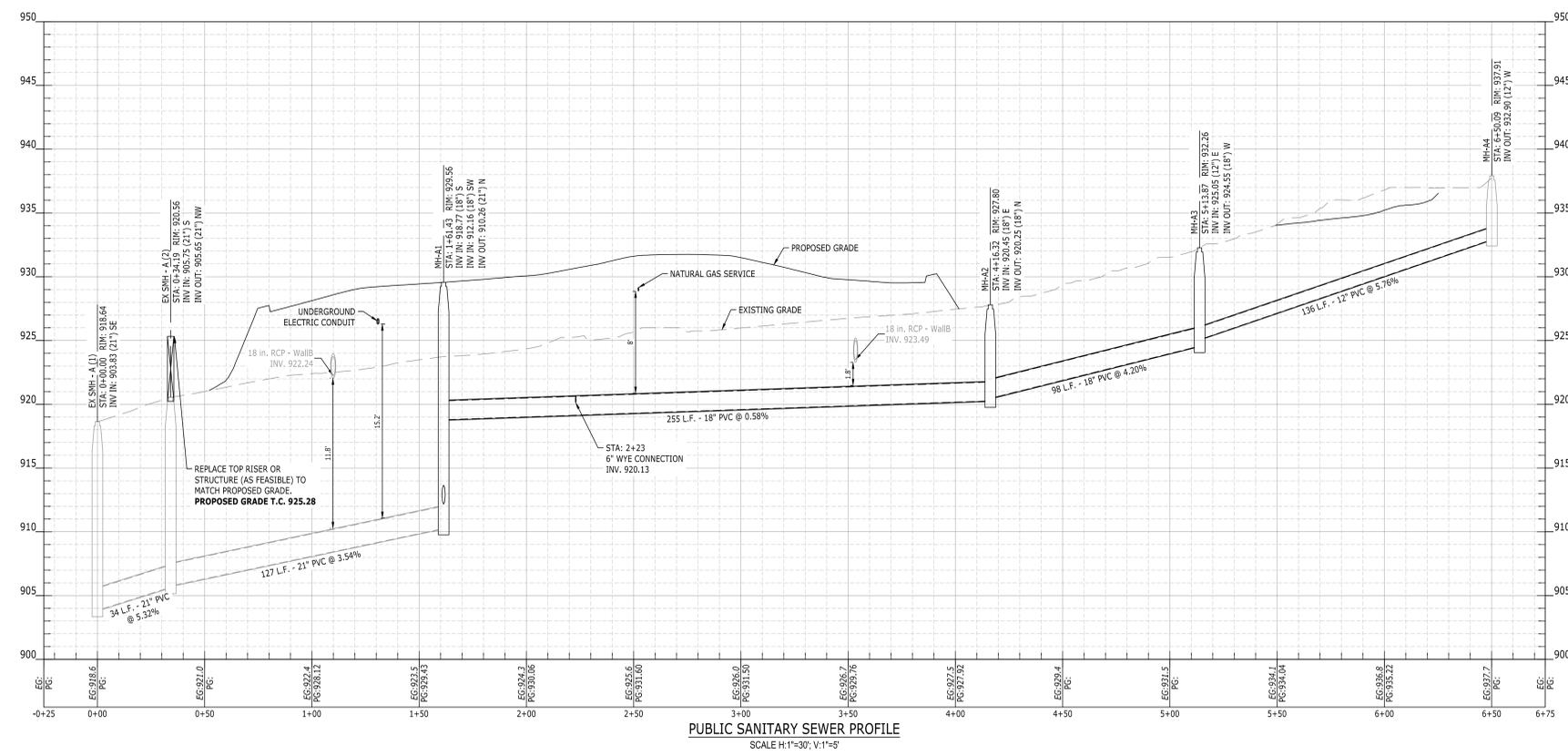
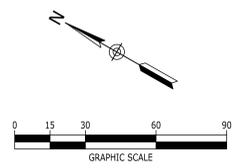
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615.346.3581  
HANNAH BROWNING



UTILITY KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
(U1A)	WATER LINE (6")	
(U1B)	WATER LINE (2")	
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(U4A)	WATER METER	1 / CB.1
(U5)	REDUCED PRESSURE BACKFLOW PREVENTER	2 / CB.1
(U6)	DOUBLE DETECTOR CHECK VALVE ASSEMBLY	2 / CB.1
(U7)	WATER BLOCKING/KICKERS	9 / CB.1
(U9)	FIRE DEPARTMENT CONNECTION	
(U10)	FIRE HYDRANT ASSEMBLY	
(U11A)	WATER VALVE	
(U12A)	TEE	
(U12B)	TAPPING SLEEVE & VALVE (6" X 2")	
(U13A)	SANITARY SEWER LINE	
(U15A)	SANITARY SEWER MANHOLE (PRECAST)	5 / CB.2
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(U19)	NATURAL GAS METER (2")	
(U20)	ELECTRIC TRANSFORMER	
(U21)	UNDERGROUND ELECTRIC LINE	
(U25)	SITE LIGHTING, REFER TO MEP PLANS	



EMERGENCY CARE  
RESEARCH MEDICAL CENTER BROOKSIDE  
6675 HOLMES RD, KANSAS CITY, MO 64131

**DOCUMENT CHANGES**

Description	Date
REVISION 1	03/07/25

**Issue Description** FOR CONSTRUCTION  
**Original Issue Date** 01/31/2025  
**HCA Project No** 097270030  
**Project No** 2428.00  
**Drawn By** AP **Checked By** JP

**PROJECT INFO**

FACILITY NAME: EMERGENCY CARE  
 PROJECT DESCRIPTION: Emergency Care Unit  
 HCA PROJECT NUMBER: 097270030  
 AHJ PROJECT NUMBERS: CON NUMBER: 16  
 ARCHITECT PROJECT NUMBER: 24208.00

**OWNER CONTACTS**

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MEPT ENGINEERING: TJC ENGINEERING  
 12 CADILLAC DRIVE, SUITE 100  
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 615.346.3581  
 HANNAH BROWNING

**13 ACCESSIBLE CURB RAMP**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	RAMP; 1:2.1 MAX. SLOPE
2	TACTILE WARNING; REFER TO DETAIL
3	1/2" EXPANSION JOINT (TYP.)
4	CURB TRANSITION TO FLUSH CONDITION

NOTE: SIDES SHALL PROVIDE A SMOOTH TRANSITION FROM FLUSH CONDITION TO THE ADJACENT CURB AND SIDEWALK ELEVATIONS. 2. PROVIDE A MINIMUM 3' FLAT (2% MAX. SLOPE) LANDING ALL AROUND THE RAMP.

**14 HANDRAIL**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	1.5" O.D. STEEL PIPE
2	2" DIA. PIPE SLEEVE; 4" DEEP CAST IN PLACE
3	3" RADIUS; MAX.
4	CONCRETE SURFACE OR WALK

NOTES:  
 1. PROVIDE 36" HEIGHT, 1.5" O.D. HANDRAIL. 12" MIN. HANDRAIL EXTENSIONS AT EACH END.  
 2. VARIATIONS IN HANDRAIL HEIGHT ARE NOT ALLOWED.  
 3. THE HANDRAIL SHALL HAVE A SMOOTH FINISH AT ALL WELDED SURFACES AND PAINTED WITH TWO COATS RUST RESISTANT PRIMER AND 2 COATS ENAMEL, COLOR TO BE SELECTED BY THE ARCHITECT.  
 4. PROVIDE GUARDRAIL WHERE EDGE DROPOFF IS 30" OR GREATER.

**15 DUMPSTER PAD**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	CONCRETE DUMPSTER PAD WITH TURN-DOWN FOOTER ALL AROUND
2	1/2" EXP. JOINT
3	6x6 W2.9 X W2.9 W.W.F. WITH TWO NO. 4 BARS IN THE TURN-DOWN (TYP.)
4	CONCRETE TRUCK PAD WITH TURN-DOWN FOOTER ALL AROUND
5	1/2" EXP. JOINT
6	EXIST. PAVEMENT
7	SUBGRADE; COMPACT TO 95% STD. PROCTOR
8	12" DEPTH MINERAL AGGREGATE BASE
9	NO. 4 BAR, CONTINUOUS; (4 BARS, 8" O.C.)

NOTES:  
 1. ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS CURE.  
 2. BROOM-FINISH SURFACES OF BOTH PADS.

**16 CONCRETE CURB AND GUTTER**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	3500 PSI CONCRETE REINFORCED WITH FIBERFORCE 350 FIBER REINFORCEMENT AT A DOSING RATE OF 1.0 LBS./CY.
2	SPILL CURB
3	CATCH CURB; TRANSITION FROM CATCH TO SPILL CURB OVER 10' LENGTH (TYP.)
4	BACKFILL BEHIND CURB
5	4" MINERAL AGGREGATE BASE

**9 ACCESSIBLE PARKING LAYOUT**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	SIDEWALK FLUSH WITH PAVEMENT; MAX. 2% SLOPE IN ANY DIRECTION
2	5' LANDING AREA; MAX. 2% SLOPE IN ANY DIRECTION AT TOP OF ALL RAMPS
3	RAMP; 1:12 MAX. SLOPE (TYP.)
4	ACCESSIBLE PARKING SIGN (TYP.); REFER TO DETAIL; ADD VAN ACCESS SIGNS FOR SPACES EACH SIDE OF 8' ACCESS AISLES
5	5' WIDE SHARED ACCESS AISLE; REFER TO PLANS FOR LOCATIONS
6	8' WIDE VAN ACCESSIBLE ACCESS AISLE; REFER TO PLANS FOR LOCATIONS
7	PRECAST CONCRETE WHEELSTOP (TYP.); REFER TO DETAIL
8	PAINTED ACCESSIBLE SYMBOL; REFER TO DETAIL

NOTE: ALL PAINTED SPACE LIMIT LINES SHOULD BE SOLID WHITE LINES 4" WIDE; MAX. 2% SLOPE IN ANY DIRECTION FOR PARKING SPACES AND ACCESS AISLES

**10 CONCRETE SIDEWALK**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	CONCRETE SIDEWALK WITH BROOM FINISH; 4" THICK; 3500 PSI CONCRETE; CROSS SLOPE 2% MAX., 1% MIN.
2	CONTROL JOINTS 5' O.C.; EXPANSION JOINTS 25' O.C. AND WHERE SIDEWALKS ABUT RIGID MATERIALS.
3	CONCRETE REINFORCEMENT; 6"x6"xW2.9x22.9 W.W.F.; GRADE 60 STEEL
4	TOPSOIL; PLACE WITHIN 1/2" OF WALKWAY SURFACE
5	4" MINERAL AGGREGATE BASE

**11 PAINTED DIRECTIONAL ARROWS**  
NOT TO SCALE

**12 PEDESTRIAN CROSSWALK**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	PEDESTRIAN CROSSWALK; MARKINGS SHALL BE SOLID WHITE PAINTED ON ASPHALT; PAINT 12" WIDE STRIPES AS INDICATED WITH PORTER TRAFFIC WHITE PAINT OR APPROVED EQUAL; CROSSWALK SHALL BE IN COMPLIANCE WITH ADAAG 403.3.
2	FACE OF CURB
3	ACCESSIBLE RAMP; SEE DETAIL
4	MAX. 2% CROSS SLOPE; MAX. 5% RUNNING SLOPE (TYP.)

**8 SIDEWALK AT POST CURB**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	4" CONCRETE WALK REINFORCED WITH 6" x 6" x W2.9 x W2.9 W.W.F. USE 8" CONCRETE THICKNESS WHERE HS-20-44 LOADING IS REQUIRED (SEE PLANS).
2	1/2" EXPANSION JOINT
3	NO. 4 DOWELS 12" APART; GREASE HALF OF DOWEL.
4	4" MINERAL AGGREGATE. USE 6" AGGREGATE BASE WHERE HS-20-44 LOADING IS REQUIRED (SEE PLANS).
5	POST CURB; REFER TO DETAIL
6	PAVEMENT; REFER TO DETAIL

NOTES:  
 1. USE 3500 PSI CONCRETE AND ASTM GRADE 60 STEEL.  
 2. PROVIDE CONTROL JOINTS 5' APART AND EXPANSION JOINTS 25' APART AND WHERE SIDEWALK ABUTS RIGID MATERIAL.

**5 HANDICAP SYMBOL**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	ACCESSIBLE SYMBOL; PAINT ON ALL ACCESSIBLE SPACES; SYMBOL SHALL BE PAINTED WHITE ON A BLUE BACKGROUND

**6 SIDEWALK JOINTS**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	CONCRETE SIDEWALK
2	BROOM FINISH
3	1" HAND-GROOVED JOINT
4	TOOLED EDGE; 1/2" RADIUS (TYP.)
5	POLYURETHANE SEALANT
6	1/2" PREMOULDED EXPANSION JOINT MATERIAL
7	MINERAL AGGREGATE BASE (TYP.)

**7 CURBS**  
NOT TO SCALE

NOTES:  
 1. 1/2" Expansion joints with 2" dowels shall be placed at 150' intervals. These dowels shall be galvanized steel wrapped in one end with expansion tubes.  
 2. 1" deep contraction joints shall be installed at approximately 10' intervals. These joints shall pass across the entire curb section.  
 3. Fix dowels with bar supports.  
 4. Concrete shall conform to Section 2200 unless otherwise specified in plans project manual. For 180' of K.C.M.O. See section 2200 of standard specifications and design criteria.  
 5. Use 3/8" diameter by smooth dowels at locations shown on each typical section.  
 6. Depth of gutter shall be a minimum of 8" thru the handhole access opening. Only white curing membranes shall be permitted and shall conform to standard specification section 2200.

**4 CONCRETE PAVEMENT JOINTS**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	CONCRETE; 4,000 PSI; BROOM FINISH
2	6" CRUSHED STONE BASE
3	3" SAW CUT JOINT; 1.75" DEPTH
4	PROVIDE 1" EXPANSION JOINT WHERE PAVEMENT ADJOINS BUILDING OR SIDEWALK
5	3" SAWN JOINT x 1" DEEP; JOINT SEALER "SIKAFLEX-12SL"
6	BUTT JOINT FORMED BULK HEAD
7	3" DIA. SMOOTH DOWEL BAR, 14" LONG @ 24" CENTERS; LUBRICATE ONE END

**1 ASPHALT PAVEMENT**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	ASPHALTIC SURFACE COURSE
2	TACK COAT AT 0.10 GAL./S.Y.
3	ASPHALTIC BASE COURSE
4	PRIME COAT AT 0.30 GAL./S.Y.
5	ASPHALTIC SURFACE COURSE
6	COMPACTED MINERAL AGGREGATE BASE
7	COMPACTED SUBGRADE

NOTE:  
 1. ON ALL EXISTING PAVEMENT REPAIR OR REPLACEMENT, USE THE PAVEMENT SECTIONS SHOWN OR MATCH THE EXISTING SECTION, WHICHEVER IS GREATER.  
 2. VERIFY PAVEMENT DEPTHS WITH GEOTECHNICAL REPORT.

**2 PRECAST CONCRETE WHEEL STOP**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	WHEEL STOP; REQUIRES TWO NO. 5 STEEL BAR ANCHOR STAKES, 24" LONG FOR EACH SECTION; EACH SECTION REINFORCED WITH TWO NO. 3 DEFORMED BARS
2	FACE OF CURB OR EDGE OF PAVEMENT
3	3" DIA. HOLE (TYP.)

**3 CONCRETE PAVEMENT**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	CONCRETE PAVEMENT, 4000 PSI
2	6"x6" W2.9xW2.9 W.W.F.; ASTM GRADE 60 STEEL
3	COMPACTED MINERAL AGGREGATE BASE
4	COMPACTED SUBGRADE

**3 CONCRETE PAVEMENT JOINTS**  
NOT TO SCALE

KEYNOTES	DESCRIPTION
1	CONCRETE; 4,000 PSI; BROOM FINISH
2	6" CRUSHED STONE BASE
3	3" SAW CUT JOINT; 1.75" DEPTH
4	PROVIDE 1" EXPANSION JOINT WHERE PAVEMENT ADJOINS BUILDING OR SIDEWALK
5	3" SAWN JOINT x 1" DEEP; JOINT SEALER "SIKAFLEX-12SL"
6	BUTT JOINT FORMED BULK HEAD
7	3" DIA. SMOOTH DOWEL BAR, 14" LONG @ 24" CENTERS; LUBRICATE ONE END

**HCA Healthcare**

**Catalyst DESIGN GROUP**

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**EMERGENCY CARE RESEARCH MEDICAL CENTER BROOKSIDE**

6675 HOLMES RD, KANSAS CITY, MO 64131

**DOCUMENT CHANGES**

Description	Date
REVISION 1	03/07/25

Issue Description FOR CONSTRUCTION  
 Original Issue Date 01/31/2025  
 HCA Project No 097270030  
 Project No 24208.00  
 Drawn By AP Checked By JP  
 Drawing Title SITE DETAILS

Sheet Number **C8.0**

**PROJECT INFO**

FACILITY NAME: EMERGENCY CARE  
 PROJECT DESCRIPTION: Emergency Care Unit  
 HCA PROJECT NUMBER: 097270030  
 AHJ PROJECT NUMBERS:  
 CON NUMBER: 24208.00  
 ARCHITECT PROJECT NUMBER: 24208.00

**OWNER CONTACTS**

HCA TEAM CONTACTS  
 DESIGN MANAGER: MIRAL MAJIK  
 CONSTRUCTION MANAGER: RUSSELL MAAS  
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**PROJECT CONTACTS**

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 12 CADILLAC DRIVE, SUITE 100  
 BRENTWOOD, TN 37027  
 615.346.3581  
 HANNAH BROWNING

**KEYNOTES**

CODE	DESCRIPTION
1	WEATHERPROOF, TAMPER-PROOF SENSOR HOUSING
2	RIGID CONDUIT ABOVE GRADE. SIZE PER SWITCH MANUFACTURER'S RECOMMENDATIONS.
3	PVC CONDUIT ALLOWED BELOW GRADE.
4	FIRE MAIN. SEE SPECS FOR PIPE SIZE AND LOCATION.
5	CONCRETE THRUST BLOCK
6	VALVE. SEE SPECIFICATIONS FOR SIZE AND TYPE.
7	FINISHED GRADE
8	ADJUSTABLE CAST IRON VALVE BOX SLEEVE
9	POST INDICATOR VALVE. SEE SPEC'S.

**10** POST INDICATOR VALVE  
NOT TO SCALE

**6217 Cast-in-Place or Pre-cast Meter Pit & Setting with Bypass for 6" Through 10" Fire Flow Meters**

**NO SCALE**

KC Water Rules and Regulations for Water Service Lines 2021 55

**7** KC Water Rules and Regulations for Water Service Lines 2021 55

**6213 Flexible Coupling Adapter & Mechanical Joint Retainer Gland**

**NO SCALE**

KC Water Rules and Regulations for Water Service Lines 2021 51

**4** KC Water Rules and Regulations for Water Service Lines 2021 51

**6207 Water Meter Settings for Single 1-1/2" and 2" Meters Settings**

**NO SCALE**

KC Water Rules and Regulations for Water Service Lines 2022 47

**1** KC Water Rules and Regulations for Water Service Lines 2022 47

**6218 RPZ BACKFLOW DETAIL**

**RPZ INSTALLATION**

NOTES: THE DEVICE MUST BE INSTALLED:

- WITH A STRAINER (ONLY ON COMMERCIAL PROPERTIES).
- ABOVE GROUND LEVEL.
- WITH SUITABLE AIR GAP BETWEEN RELIEF VALVE DISCHARGE PORT AND GROUND LEVEL OR FLOOD LEVEL (12" MINIMUM, 5" MAXIMUM).
- WITH A MINIMUM OF 12" CLEARANCE FROM ALL WALLS, AND WITH ADEQUATE SUPPORT TO PREVENT THE UNIT FROM SAGGING FOR 3" AND LARGER RPZ.

SCALE = NTS

**RPZ BACKFLOW PREVENTER**

WATER SERVICES  
 CITY OF KANSAS CITY, MISSOURI  
 DRAWING NO. \_\_\_\_\_  
 DEVELOPED BY: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_  
 TECHNICAL ADVISORY COMMITTEE DATE: 05-Aug-2021

**NO SCALE**

KC Water Rules and Regulations for Water Service Lines 2021 56

**8** KC Water Rules and Regulations for Water Service Lines 2021 56

**6214 Combination Service Lines**

**NO SCALE**

KC Water Rules and Regulations for Water Service Lines 2021 52

**5** KC Water Rules and Regulations for Water Service Lines 2021 52

**6208 Cast-in-Place or Pre-cast Vault for 2" & Larger Cross Connection Preventers**

**NO SCALE**

KC Water Rules and Regulations for Water Service Lines 2022 48

**2** KC Water Rules and Regulations for Water Service Lines 2022 48

**6216 Excavation Details for Tapping Valves and Corporation Taps**

**NO SCALE**

KC Water Rules and Regulations for Water Service Lines 2021 54

**6** KC Water Rules and Regulations for Water Service Lines 2021 54

**6209 Cast-in-Place or Pre-cast Meter Pit & Setting with Bypass for Single 3" thru 10" Meters**

**NO SCALE**

KC Water Rules and Regulations for Water Service Lines 2022 49

**3** KC Water Rules and Regulations for Water Service Lines 2022 49

**HCA Healthcare**

**Catalyst DESIGN GROUP**

1524 WILLIAMS DRIVE, SUITE 301, MURFREESBORO, TN 37139  
 (615) 622-7200 | WWW.CATALYST-DESIGN.COM  
 jackparker@hca.com

Seals

**EMERGENCY CARE**

**RESEARCH MEDICAL CENTER BROOKSIDE**

6675 HOLMES RD, KANSAS CITY, MO 64131

**DOCUMENT CHANGES**

Description	Date
REVISION 1	03/07/25

Issue Description FOR CONSTRUCTION  
 Original Issue Date 01/31/2025  
 HCA Project No 097270030  
 Project No 24208.00  
 Drawn By AP Checked By JP  
 Drawing Title SITE DETAILS

Sheet Number **C8.1**



**PROJECT INFO.**  
 FACILITY NAME:  
 EMERGENCY CARE  
 PROJECT DESCRIPTION:  
 Emergency Care Unit  
 HCA PROJECT NUMBER:  
 097270030  
 AHJ PROJECT NUMBERS:  
 CON NUMBER:  
 164  
 ARCHITECT PROJECT NUMBER:  
 24208.00

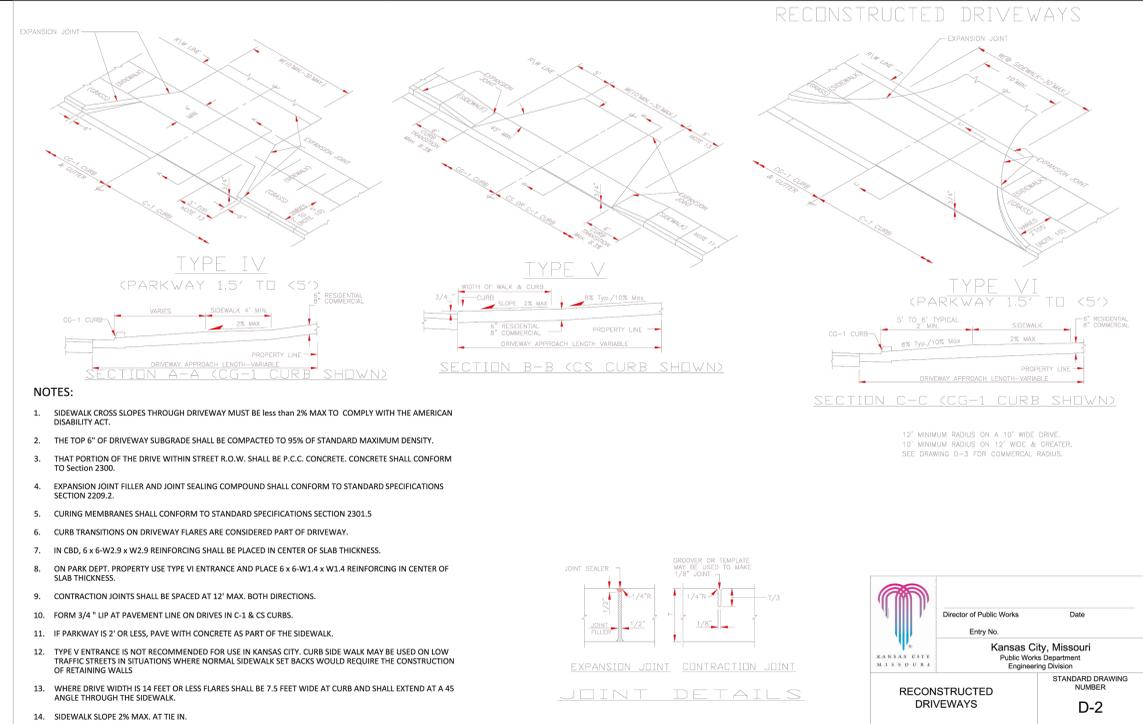
**OWNER CONTACTS**  
**HCA TEAM CONTACTS**  
 DESIGN MANAGER:  
 MURAL MAJIK  
 CONSTRUCTION MANAGER:  
 RUSSELL MAASIS  
 ONE PARK PLAZA, P.O. BOX 250  
 BUILDING II, 3RD FLOOR EAST  
 NASHVILLE, TN 37203  
 T: 615.344.2703

**PROJECT CONTACTS**  
**DESIGN TEAM CONTACTS**  
**ARCHITECT & INTERIOR DESIGN**  
 EARL SWENSON ASSOCIATES, INC.  
 103 DENOMOREN STREET  
 SUITE 800  
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**CIVIL ENGINEERING**  
 CATALYST DESIGN GROUP  
 1524 WILLIAMS DRIVE  
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 MURFREESBORO, TN 37129  
 615.622.7200  
 JACK PARKER

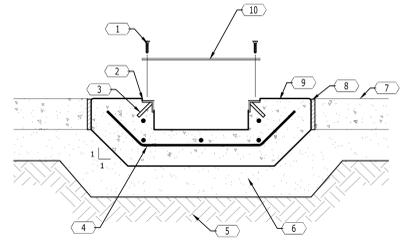
**STRUCTURAL ENGINEERING**  
 STRUCTURAL DESIGN GROUP  
 220 GREAT CIRCLE ROAD, SUITE 106  
 NASHVILLE, TN 37228  
 615.256.1486  
 JEREMY SALMON

**MEPT ENGINEERING**  
 TLC ENGINEERING  
 12 CADILLAC DRIVE, SUITE 100  
 BENTWOOD, TN 37027  
 615.346.3581  
 HANNAH BROWNING



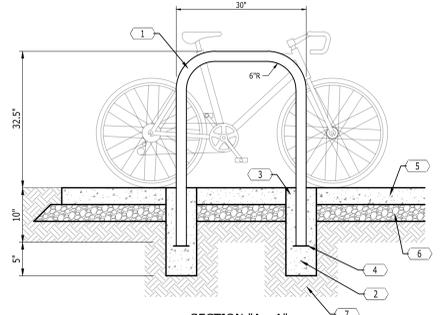
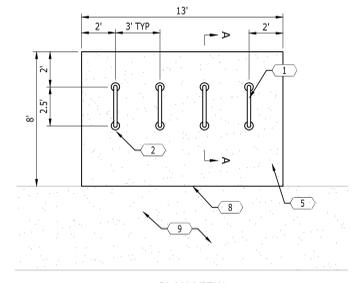
**4** **COMMERCIAL DRIVEWAY ENTRANCE**  
 NOT TO SCALE

KEYNOTES	
CODE	DESCRIPTION
1	ATTACH PLATE WITH 3/8" X 1" TAMPER-RESISTANT COUNTER-SUNK FLAT-HEAD STAINLESS BOLTS
2	2"x2"x0.125" STAINLESS STEEL ANGLE (TYP)
3	NO. 4 ANCHOR BARS, 4" LONG MAX. 2' APART. MIN. 3 BARS PER SIDE.
4	NO. 4 DEFORMED BARS 8" APART, EACH WAY
5	COMPACTED SUBGRADE
6	4" THICK AGGREGATE BASE
7	SIDEWALK
8	1/2" EXPANSION JOINT (TYP)
9	4000 P.S.I. CONCRETE
10	DIAMOND PLATE A-36 NON-SLIP STAINLESS STEEL



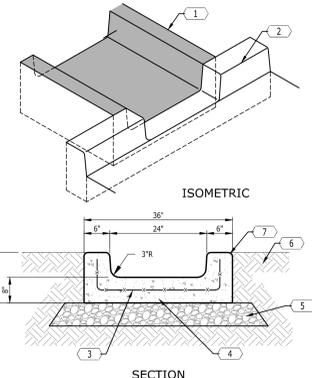
**1** **SIDEWALK DRAIN**  
 NOT TO SCALE

KEYNOTES	
CODE	DESCRIPTION
1	BICYCLE RACK; 2.375" DIA. STEEL TUBING; COVER PORTION ABOVE GRADE WITH BLACK PVC COATING 1/4" THICK; PVC COATING IS NOT REQUIRED IF STAINLESS STEEL IS USED; OTHER RACK/FIXTURE TYPES MAY BE USED WITH THE ENGINEER'S PRIOR APPROVAL
2	CONCRETE FOOTING; 3500 PSI
3	6" DIA. HOLE FORMED OR CORED IN CONCRETE PAVEMENT
4	3"x3"x1/2" STEEL PLATE WELDED TO END OF TUBING
5	CONCRETE PAVEMENT; MATCH SIDEWALK SECTION (4" DEPTH WITH 6"x6"xW2.9xW2.9 W.W.F.)
6	4" AGGREGATE BASE
7	UNDISTURBED OR COMPACTED SUBGRADE
8	1/2" EXPANSION JOINT
9	ADJACENT SIDEWALK OR PARKING LOT

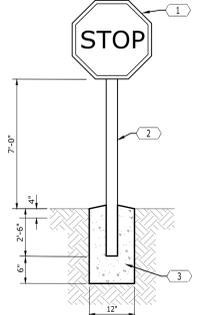


**5** **BICYCLE RACK WITH PAD**  
 NOT TO SCALE

KEYNOTES	
CODE	DESCRIPTION
1	FLUME
2	CURB
3	6"x6" W2.9 X W2.9 W.W.F.
4	3500 PSI CONCRETE
5	4" MINERAL AGGREGATE BASE
6	BACKFILL
7	3/4" RADIUS, TYP



**2** **CONCRETE FLUME**  
 NOT TO SCALE



KEYNOTES	
CODE	DESCRIPTION
1	R1-1 STOP SIGN; WHITE LEGEND, RED BACKGROUND (PER MUTCD)
2	2" SQUARE GALVANIZED STEEL TUBE. PROVIDE WELDED CAP AT TOP AND GRIND WELDS SMOOTH.
3	CONCRETE FOOTING

NOTE:  
 SIGN SHALL BE LOCATED 3" FROM THE EDGE OF THE PAVEMENT UNLESS SUCH PLACEMENT WOULD OBSTRUCT THE SIDEWALK.

**3** **STOP SIGN**  
 NOT TO SCALE



DOCUMENT CHANGES	
Description	Date
REVISION 1	03/07/25

Issue Description	FOR CONSTRUCTION
Original Issue Date	01/31/2025
HCA Project No	097270030
Project No	24208.00
Drawn By	AP
Checked By	JP
Drawing Title	

SITE DETAILS

**PROJECT INFO**  
 FACILITY NAME: EMERGENCY CARE  
 PROJECT DESCRIPTION: Emergency Care Unit  
 HCA PROJECT NUMBER: 097270030  
 AHJ PROJECT NUMBERS:  
 CON NUMBER: NA  
 ARCHITECT PROJECT NUMBER: 24208.00

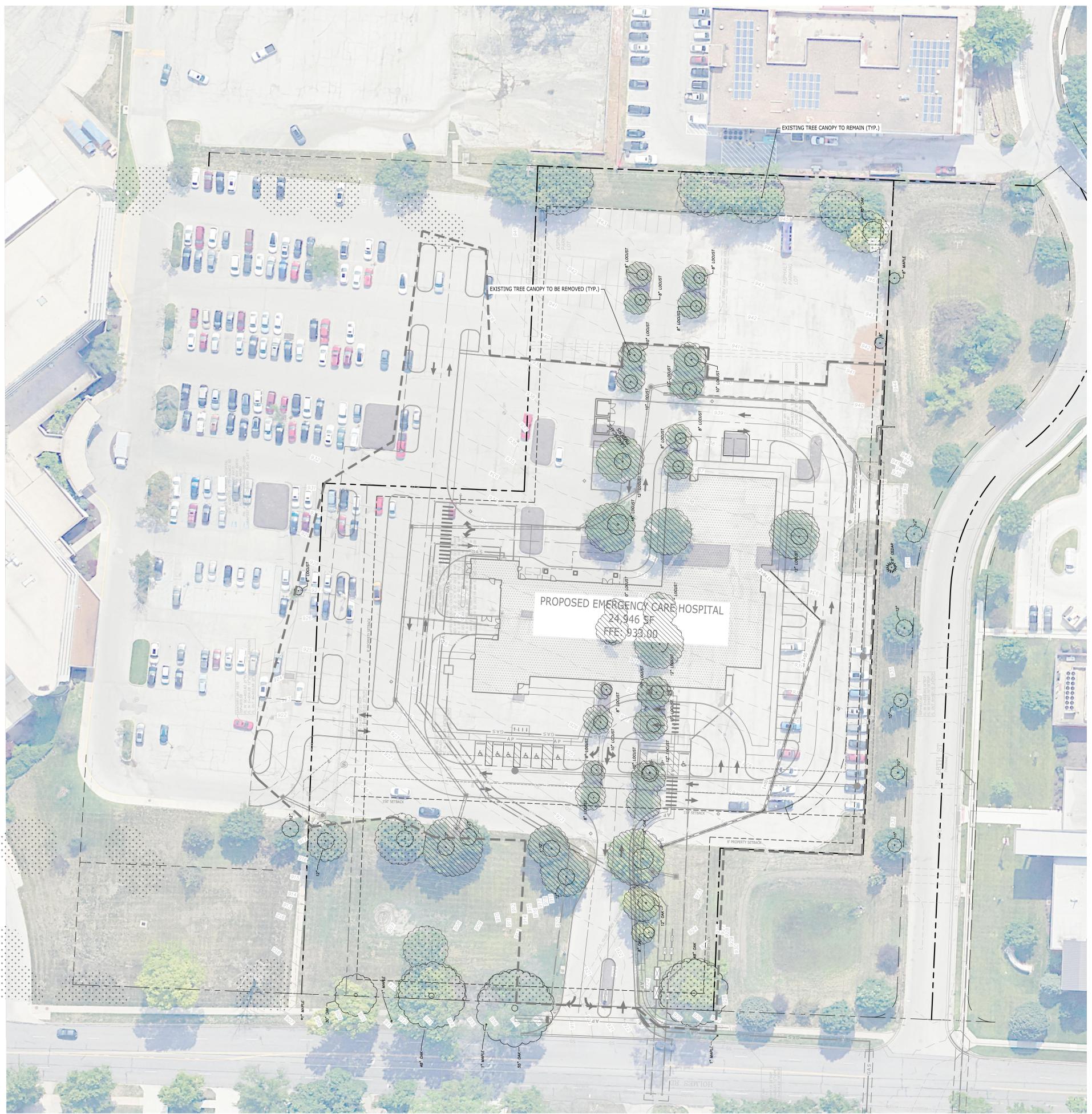
**OWNER CONTACTS**  
**HCA TEAM CONTACTS**  
 DESIGN MANAGER: MIRAL MAJIK  
 CONSTRUCTION MANAGER: RUSSELL MAAS  
 ONE PARK PLAZA, P.O. BOX 250  
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**PROJECT CONTACTS**  
**DESIGN TEAM CONTACTS**  
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 JACK PARKER

**STRUCTURAL ENGINEERING**  
 STRUCTURAL DESIGN GROUP  
 220 GREAT CIRCLE ROAD, SUITE 106  
 NASHVILLE, TN 37228  
 615.256.1486  
 JEREMY SALMON

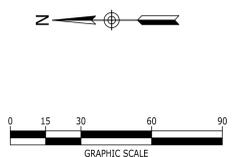
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 TLC ENGINEERING  
 12 CADILLAC DRIVE, SUITE 100  
 BENTWOOD, TN 37027  
 615.346.3581  
 HANNAH BROWNING



TREE PRESERVATION KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
ET	TREE PROTECTION FENCE	

LEGEND	
STORM PIPE & INLET	T.P.
TREE CANOPY TO REMAIN	[Dotted pattern]
TREE CANOPY TO BE REMOVED	[Diagonal hatching]

**TREE PRESERVATION REQUIREMENTS**  
 88.424-06-C  
 TOTAL EXISTING TREE CANOPY COVER 29,317 S.F. (0.67 AC.)  
 AREA OF EXISTING TREE CANOPY COVER TO REMAIN 11,437 S.F. (0.33 AC.)  
 AREA OF EXISTING TREE CANOPY COVER TO BE REMOVED 17,880 S.F. (0.34 AC.)  
 CONTIGUOUS TREE CANOPY COVERAGE IS LESS THAN 1 ACRE; NO MITIGATION REQUIRED



**EMERGENCY CARE**  
**RESEARCH MEDICAL CENTER BROOKSIDE**  
 6675 HOLMES RD, KANSAS CITY, MO 64131

**DOCUMENT CHANGES**

Description	Date
REVISION 1	03/07/25

**Issue Description** FOR CONSTRUCTION  
**Original Issue Date** 01/31/2025  
**HCA Project No** 097270030  
**Project No** 24208.00  
**Drawn By** AP **Checked By** JP  
**Drawing Title** TREE PRESERVATION PLAN  
**Sheet Number** L1.0

**PROJECT INFO.**  
 FACILITY NAME:  
 EMERGENCY CARE  
 PROJECT DESCRIPTION:  
 Emergency Care Unit  
 HCA PROJECT NUMBER:  
 097270030  
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 CON NUMBER:  
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 BUILDING II, 3RD FLOOR EAST  
 NASHVILLE, TN 37203  
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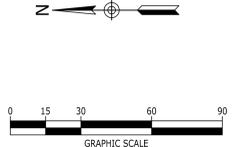
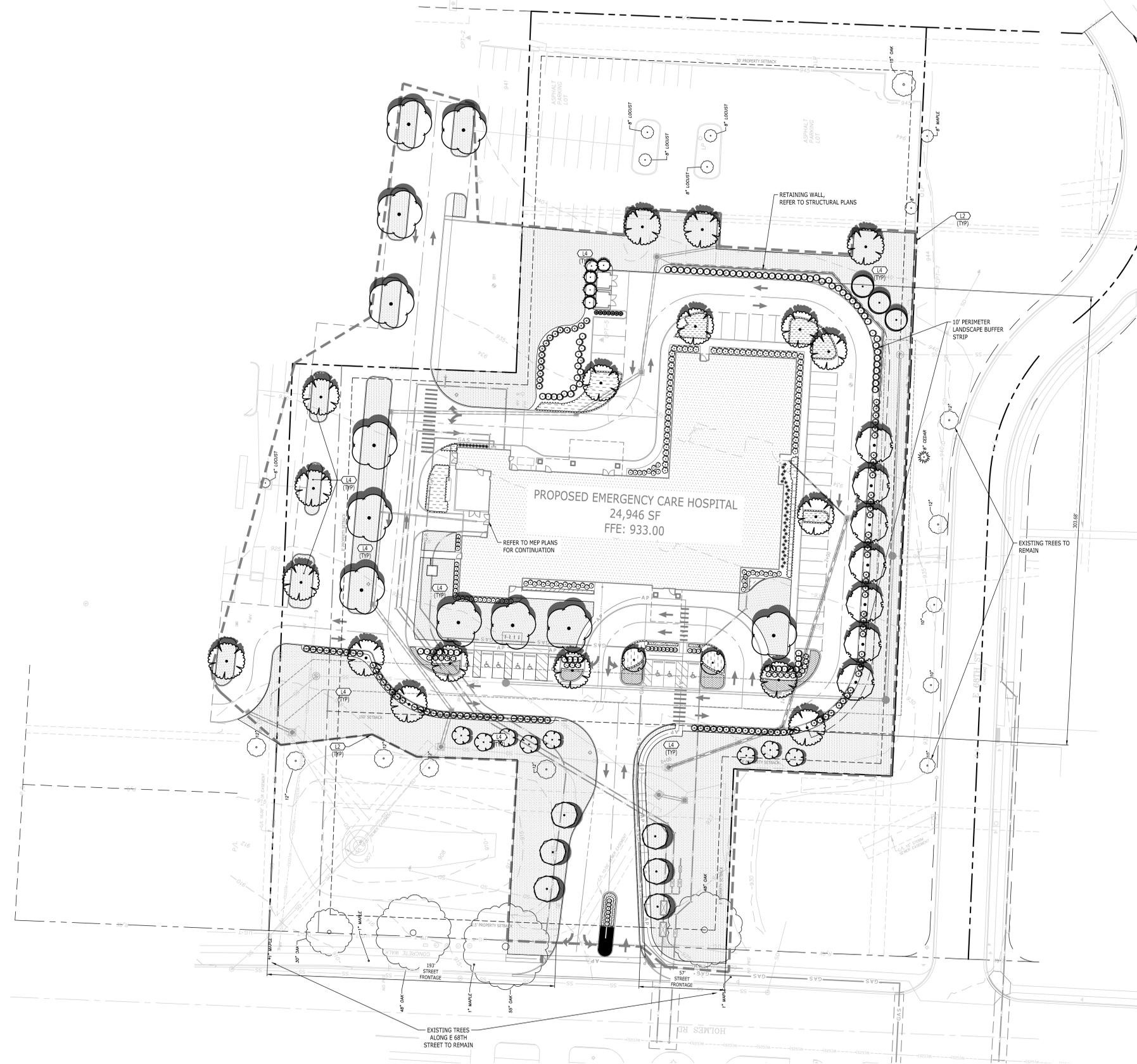
**PROJECT CONTACTS**  
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**ARCHITECT & INTERIOR DESIGN**  
 EARL SWENSON ASSOCIATES, INC.  
 1033 CEDARHURST STREET  
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 JEREMY SALMON  
**MEPT ENGINEERING**  
 TLC ENGINEERING  
 12 CADILLAC DRIVE, SUITE 100  
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 615.346.3581  
 HANNAH BROWNING

LANDSCAPE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
L1	PLANTING BED LIMITS	1/L3.0
L2	IRRIGATION LIMITS	NOTES/L3.0
L3	AREA TO BE SEEDED	SPECS
L4	AREA TO BE SODDED	SPECS
L5	AREA TO BE 4"-6" RIVER ROCK	

- LANDSCAPE REQUIREMENTS**
- 88-425-03-C TREES**  
 1 STREET TREE / 30 L.F. OF STREET FRONTAGE  
 250 L.F. STREET FRONTAGE / 30 L.F. = 9 STREET TREES REQUIRED  
 8 EXISTING STREET TREES TO REMAIN + ADDITIONAL DRIVEWAY TREES; INTENT IS FOR AREA IN FRONT OF SITE TO REMAIN UNDISTURBED
- 88-425-04-D TREES**  
 1 TREE / 5,000 S.F. OF PRINCIPAL BUILDING COVERAGE REQUIRED  
 24,946 S.F. PRINCIPAL BUILDING COVERAGE / 5,000 S.F. = 5 TREES REQUIRED
- 88-425-05 PERIMETER LANDSCAPING OF VEHICULAR USE AREAS**  
 10' PERIMETER LANDSCAPING BUFFER STRIP TO BE LOCATED BETWEEN VUA AND STREET ROW  
 1 TREE REQUIRED / 30 L.F.  
 EVERGREEN SHRUBS TO FORM A CONTINUOUS VISUAL SCREEN REQUIRED
- 88-425-06 - INTERIOR LANDSCAPING OF PARKING LOTS**  
 35 SF OR INTERIOR LANDSCAPE AREA REQUIRED FOR EACH PARKING SPACE REQUIRED  
 1 TREE REQUIRED PER 5 PARKING SPACES  
 1 SHRUB REQUIRED PER 1 PARKING SPACE
- 44 NEW PARKING SPACES PROPOSED  
 44 SPACES x 35 S.F. = 1,540 S.F. INTERIOR AREA REQUIRED  
 9 TREES REQUIRED  
 44 SHRUBS REQUIRED

88-425 - LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED	APPROVED
88-425-03 STREET TREES	9	9	
88-425-04 GENERAL	5	7	
88-425-05 PERIMETER VEHICULAR USE AREA			
ADJACENT TO TO STREETS			
BUFFER WIDTH	10'-0"		
TREES	10	10	
SHRUBS/WALL/BERM	SHRUBS	PROVIDED	
ADJACENT TO RESIDENTIAL ZONES			
BUFFER WIDTH			
SHRUBS/BERM/FENCE/WALL			
88-425-06 INTERIOR VEHICULAR USE AREA			
INTERIOR AREA	1,540		
TREES	9	12	
SHRUBS	44	56	
88-425-07 PARKING GARAGE SCREENING		N/A	
88-425-08 MECHANICAL/UTILITY EQUIPMENT SCREENING		PROVIDED	
88-425-09 OUTDOOR USE SCREENING		N/A	

SEE L2.1 FOR DETAILED PLANTING AND PLANTING SCHEDULE



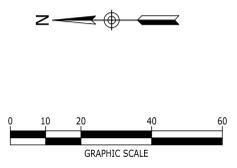
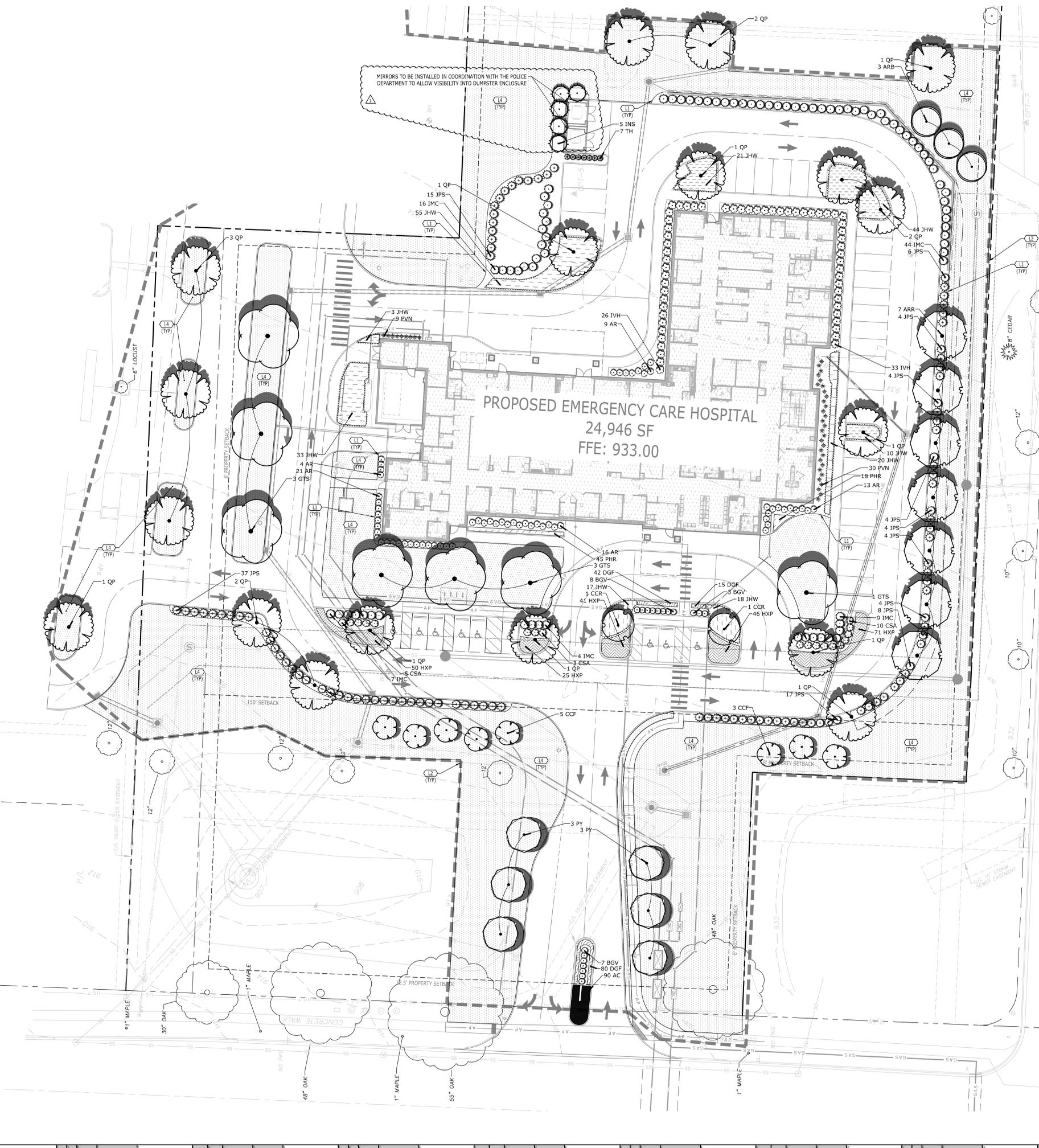
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097270030  
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CONSTRUCTION MANAGER:  
RUSSELL MAASIS  
ONE PARK PLAZA, P.O. BOX 250  
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**PROJECT CONTACTS**  
DESIGN TEAM CONTACTS  
ARCHITECT & INTERIOR DESIGN  
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12 CADILLAC DRIVE, SUITE 100  
BENTWOOD, TN 37027  
615.346.3581  
HANNAH BROWNING

**PLANT SCHEDULE**

CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
<b>TREES</b>					
ARB	3	Acer rubrum 'Bowhall Red' / Red Maple	B&B	2"	10-12'
ARR	7	Acer rubrum 'Red Sunset' / Red Sunset Maple	B&B	2"	10-12'
CCF	8	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B&B	2"	8-10'
CCR	2	Cercis canadensis 'JN2' TM / The Rising Sun Eastern Redbud	B&B	2"	8-10'
GTS	11	Gleditsia thurcuthus 'Shademaster' / Shademaster Honey Locust	B&B	2"	10-12'
PY	6	Prunus x yedoensis / Yoshino Cherry	B&B	2"	8-9'
QP	18	Quercus phellos / Willow Oak	B&B	2"	10-12'
<b>EVERGREEN TREES</b>					
INS	5	Ilex x 'Nellie R Stevens' / Nellie Stevens Holly	B&B	2"	6-7'
<b>SHRUBS</b>					
AR	63	Abelia x 'Rose Creek' / Rose Creek Abelia	#3		15-18"
BGV	18	Buxus x 'Green Velvet' / Green Velvet Boxwood	#5		24"
CSA	18	Cornus sericea 'Artic Fire' / Artic Fire Dogwood	#3		24"
IMC	81	Ilex x meserveae 'China Girl' TM / China Girl Holly	#5		24"
IVH	59	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire	#3		15-18"
JPS	107	Juniperus x pfitzeriana 'Sea Green' / Sea Green Pfitzer Juniper	#5		24"
PVN	39	Panicum virgatum 'Northwind' / Northwind Switch Grass	#1		15-18"
TH	7	Taxus x media 'Hicksii' / Hicks Yew	#5		24"
<b>SHRUB AREAS</b>					
JHW	221	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	#1		42" o.c.
<b>GROUND COVERS</b>					
AC	169	Annual Color / Annual Color	SF		12" o.c.
DGF	137	Dianthus gratianopolitanus 'Feuerhexe' / Feuerhexe Cheddar Pink	#1		12" o.c.
FSC	54,046 sf	Festuca x / Tall Fescue	Sod		12" o.c.
HXP	233	Hemerocallis x 'Pardon Me' / Pardon Me Daylily	#1		24" o.c.
PHR	63	Penstemon digitalis 'Husker Red' / Husker Red Beardtongue	#1		18" o.c.

**LANDSCAPE KEYNOTES**

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L3	AREA TO BE SEEDDED	SPECS
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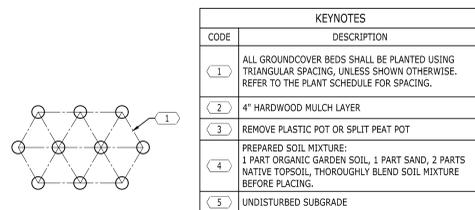
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**PLANTING NOTES**

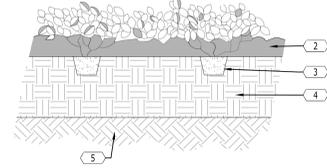
- BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY LOVELACE & ASSOCIATES DATED 12/10/2024. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONFIRM ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
- NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL PLANTING BEDS TO RECEIVE "CHANCELLOR" HARDWOOD MULCH. MULCH TO BE INSTALLED TO 3" DEPTH UNLESS OTHERWISE INDICATED ON THE PLANTING DETAILS.
- NEW TREE PLANTINGS TO BE STAKED PER PLANTING DETAILS.
- DIMENSIONS LISTED FOR HEIGHTS, SPREAD AND TRUNK SPECIFICATIONS ON THE PLANT MATERIAL SCHEDULE ARE GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
- ALL DISTURBED AREAS OF THE SITE ARE TO BE SEEDED AND/OR SOODED IN ACCORDANCE WITH THE SPECIFICATIONS.
- NO EXCAVATION OR PLANTING PIT SHALL BE LEFT OPEN OVERNIGHT.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC. AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THIS PROJECT.
- ALL PLANT MATERIALS TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND QUALITY.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
- ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY PERCENT (50%) OF THIS YEARS VERTICAL GROWTH (TOP CANDLE).
- THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER. THIS WATER SHOULD PERCOLATE OUT WITHIN A 24-HOUR PERIOD. THE OWNER OR LANDSCAPE ARCHITECT SHALL VERIFY ACCURACY AND EFFECT OF PERCOLATION TESTING. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A P V C DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING RELOCATED.
- SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR OTHER SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, STEAM OF OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS, OTHERWISE THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
- NO MATERIAL SHALL BE PLANTED BEFORE FINISH GRADING HAS BEEN COMPLETED.
- EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION. IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAILS ON THE LANDSCAPE PLAN.
- SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
- PLANTS IDENTIFIED IN ALTERNATE AREAS ARE TO BE BID SEPARATELY.
- ALL BEDS ARE TO BE TILLED TO A DEPTH OF 8" WITH THE ADDITION OF: (1) 6 CU. FT. BALE OR SPHAGNUM PEAT MOSS PER 40 SQ. FT. OF BED AREA; (25#) 10-10-10 FERTILIZER PER 1000 SQ. FT. IF AZALEAS, RHODODENDRONS OR PIERIS ARE USED, ADD 1 3 CU. FT. FINELY GROUND "PINE" BARK MULCH PER 25 SQ. FT. OF BED AREA. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**IRRIGATION NOTES**

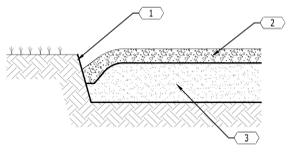
- LANDSCAPE CONTRACTOR TO PROVIDE IRRIGATION SYSTEM ON A DESIGN/BUILD ARRANGEMENT FOR AREA NOTED ON THE PLAN. CONTRACTOR TO PREPARE DESIGN DRAWINGS IN ACCORDANCE WITH PERFORMANCE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL AND SUBMIT SAME FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO CONFIRM ADEQUATE PRESSURE EXISTS TO OPERATE SYSTEM PRIOR TO INSTALLATION.
- IRRIGATION SPRINKLER HEADS SHALL BE MANUFACTURED BY EITHER TORO OR RAINBIRD. IRRIGATION CONTROLLER SHALL BE TORO VISION II MODEL OR APPROVED EQUAL.
- MAIN LINE TO BE CLASS 200 PVC PIPE. LATERAL LINES TO BE CLASS 150 PVC.
- IRRIGATION SYSTEM TO BE OPERATIONAL BEFORE PLANTING MATERIALS MAY BE INSTALLED IN PLANTING BEDS.
- INSTALL SPRINKLER HEADS ACCORDING TO MANUFACTURERS SPECIFICATIONS. FLUSH ALL LINES BEFORE INSTALLING NOZZLES.
- WIRE CONNECTIONS TO BE MADE BY USING RAINBIRD MODEL ST-103/PT-ST SNAP-TITE CONNECTIONS.
- LEAVE 18 INCHES OF ADDITIONAL WIRE AT EACH VALVE LOCATION. ROLL WIRE INTO COIL AT EACH LOCATION.
- ALL VALVES SHALL BE LOCATED IN AMATEX 10 INCH CIRCULAR VALVE BOXES WITH COVER, OR EQUAL.
- IRRIGATION CONTRACTOR TO COORDINATE PLACEMENT OF REQUIRED SLEEVES WITH GENERAL CONTRACTOR PRIOR TO PAVING AND CONCRETE INSTALLATION BEING COMPLETED.



KEYNOTES	
CODE	DESCRIPTION
1	ALL GROUNDCOVER BEDS SHALL BE PLANTED USING TRIANGULAR SPACING, UNLESS SHOWN OTHERWISE. REFER TO THE PLANT SCHEDULE FOR SPACING.
2	4" HARDWOOD MULCH LAYER
3	REMOVE PLASTIC POT OR SPLIT PEAT POT
4	PREPARED SOIL MIXTURE: 1 PART ORGANIC GARDEN SOIL, 1 PART SAND, 2 PARTS NATIVE TOPSOIL, THOROUGHLY BLEND SOIL MIXTURE BEFORE PLACING.
5	UNDISTURBED SUBGRADE



KEYNOTES	
CODE	DESCRIPTION
1	EDGE OF LAWN OR PAVEMENT. REFER TO GRADING PLANS FOR FINISH GRADE ELEVATION.
2	3" DEEP MULCH LAYER
3	BACKFILL WITH SOIL MIXTURE: 1 PART COMPOSTED GARDEN SOIL 1 PART SAND 2 PARTS NATIVE TOPSOIL



4

**GROUNDCOVER PLANTING**

NOT TO SCALE

1

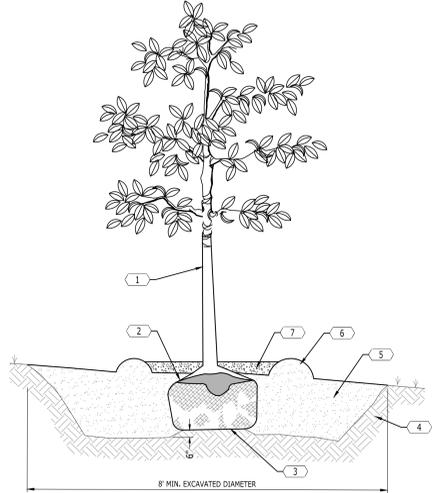
**SPADED BED EDGE**

NOT TO SCALE

5

KEYNOTES	
CODE	DESCRIPTION
1	CLEAR TRUNK TO HEIGHT SPECIFIED
2	FOLD DOWN OR CUT AND REMOVE THE TOP THIRD OF THE BURLAP. REMOVE NON-BIODEGRADABLE WRAP COMPLETELY. REMOVE WIRE BASKET.
3	PLACE ROOT BALL ON UNDISTURBED SOIL
4	UNDISTURBED SUBGRADE
5	BACKFILL EXCAVATION WITH TOP 8" REMOVED DURING PIT EXCAVATION
6	SOIL RING 4" HIGH AROUND TREE. MINIMUM 3' RADIUS AROUND TRUNK.
7	3" DEEP MULCH IN SOIL RING AREA

- NOTES:
- SCARIFY THE EDGES OF THE EXCAVATED PIT AND TAKE ALL NECESSARY MEASURES TO ASSURE ADEQUATE DRAINAGE.
  - TO ENSURE SUCCESSFUL ESTABLISHMENT OF ALL TREES PLANTED OUTSIDE THE LIMITS OF IRRIGATION BE WATERED A MAXIMUM OF TWO TIMES PER WEEK DURING DRY SEASONS AND ONE TIME PER WEEK DURING WET SEASONS FOR A MINIMUM OF TWO YEARS FROM THE DATE OF INSTALLATION.
  - AS PART OF THE MAINTENANCE PLAN IT IS RECOMMENDED THAT ALL TREES OUTSIDE THE LIMITS OF IRRIGATION BE WATERED A MAXIMUM OF TWO TIMES PER WEEK DURING DRY SEASONS AND ONE TIME PER WEEK DURING WET SEASONS FOR A MINIMUM OF TWO YEARS FROM THE DATE OF INSTALLATION.
  - IT IS THE OWNER'S RESPONSIBILITY TO COORDINATE AND SCHEDULE TREE MAINTENANCE.



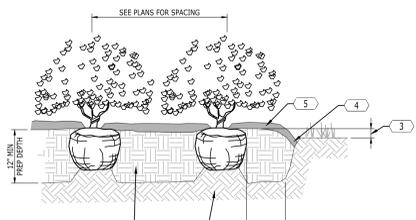
**CANOPY TREE PLANTING**

6

2

KEYNOTES	
CODE	DESCRIPTION
1	PLANTING MIX AS SPECIFIED
2	UNDISTURBED SUBGRADE. PROVIDE SUBGRADE PEDESTAL FOR EACH SHRUB INSTALLED, TO AVOID SETTLEMENT.
3	TOP OF ROOT BALL TO BE 1"-2" HIGHER THAN THE ADJACENT GRADE
4	"V" TRENCH AROUND PLANTING BED
5	3" HARDWOOD MULCH LAYER. CLEAR MULCH FROM WOODY SHRUB STEMS TO PREVENT FUNGAL GROWTH AND DECAY.

- NOTES:
- TAMP PLANTING MIX AS PIT IS FILLED AROUND EACH PLANT BALL.
  - SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER PLANTING.
  - SCARIFY THE ROOT BALL IF ROOT-BOUND IN ITS CONTAINER.
  - WHERE SHRUBS APPEAR IN BED AREAS, 3" OF MULCH SHALL BE SPREAD OVER THE ENTIRE AREA WITHIN THE BED EDGE AS INDICATED ON THE PLANS.
  - DO NOT PRUNE BEFORE ACCEPTANCE.
  - REMOVE BURLAP FROM TOP THIRD OF ROOT BALL OR CAREFULLY REMOVE THE PLASTIC CONTAINER, IF ONE IS USED.
  - BACKFILL WITH SOIL MIXTURE AS FOLLOWS: 1 PART COMPOSTED GARDEN SOIL; 1 PART SAND AND 2 PARTS NATIVE TOPSOIL.



**SHRUB PLANTING**

NOT TO SCALE

7

3

**DOCUMENT CHANGES**

Description	Date
REVISION 1	03/07/25

Issue Description	FOR CONSTRUCTION
Original Issue Date	01/31/2025
HCA Project No	097270030
Project No	24208.00
Drawn By	AP
Checked By	JP
Drawing Title	LANDSCAPE DETAILS

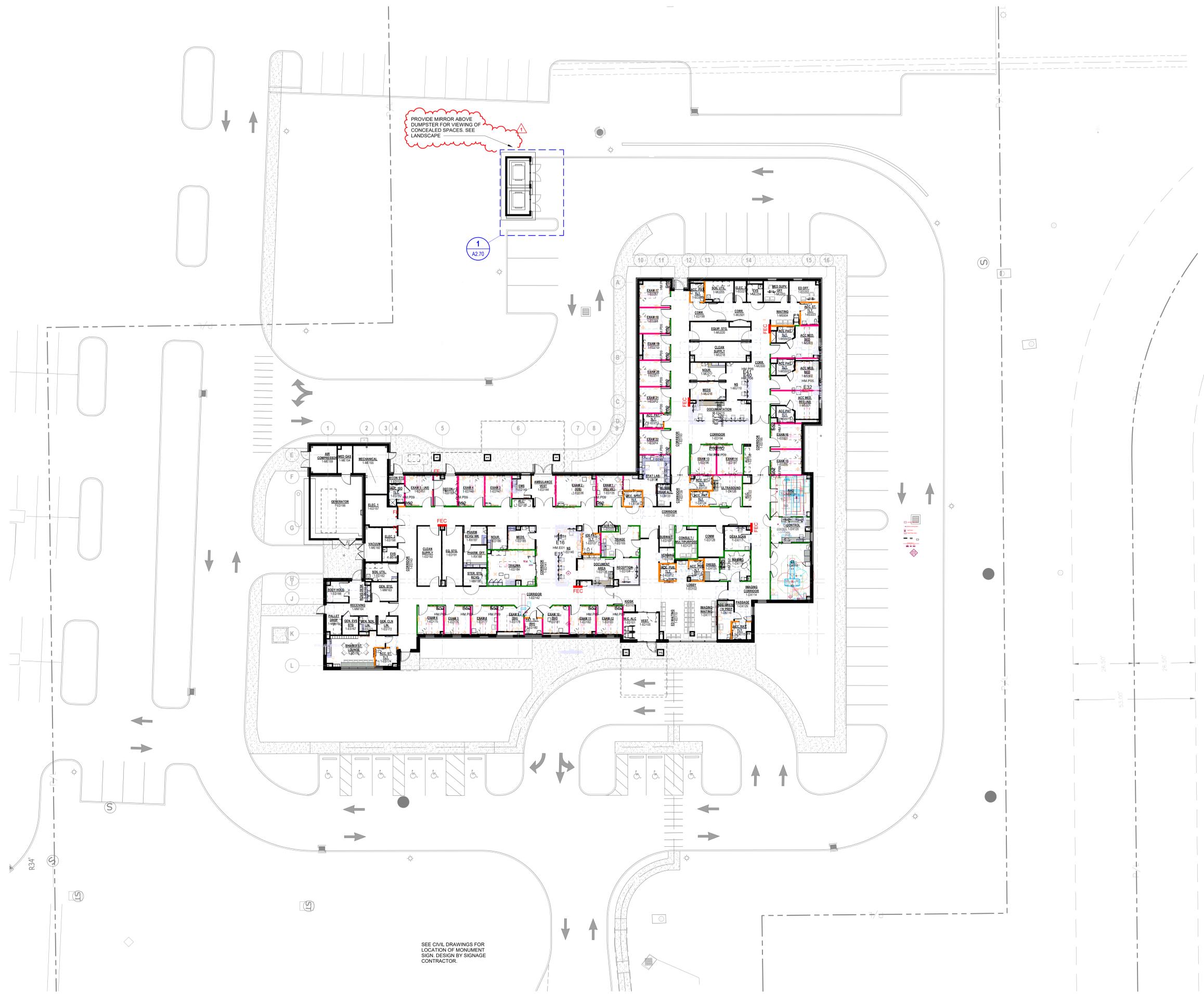
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 FACILITY NAME:  
 EMERGENCY CARE  
 PROJECT DESCRIPTION:  
 Emergency Care Unit  
 HCA PROJECT NUMBER:  
 0972700030  
 AHJ PROJECT NUMBERS:  
 CON NUMBER:  
 N/A  
 ARCHITECT PROJECT NUMBER:  
 24208.00

**OWNER CONTACTS**  
**HCA TEAM CONTACTS**  
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Seals  

SEE CIVIL DRAWINGS FOR LOCATION OF MONUMENT SIGN. DESIGN BY SIGNAGE CONTRACTOR.

**1ST FLOOR - ORIENTATION + SOUNDWALL PLAN**  
 SCALE: 1/16" = 1'-0"

**EMERGENCY CARE**  
**RESEARCH MEDICAL CENTER BROOKSIDE**  
 6735 HOLMES RD, KANSAS CITY, MO 64131

**DOCUMENT CHANGES**

Revision	Description	Date
REVISION 1		03/07/25

**Issue Description** FOR CONSTRUCTION  
**Original Issue Date** 01/31/2025  
**HCA Project No** 0972700030  
**Project No** 24208.00  
**Drawn By** CP, VP, RJ **Checked By** VP  
**Drawing Title**



**PROJECT INFO.**  
 FACILITY NAME:  
 EMERGENCY CARE  
 PROJECT DESCRIPTION:  
 Emergency Care Unit  
 HCA PROJECT NUMBER:  
 0972700030  
 AHJ PROJECT NUMBERS:  
 CON NUMBER:  
 24208.00  
 ARCHITECT PROJECT NUMBER:  
 24208.00

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**HCA TEAM CONTACTS**  
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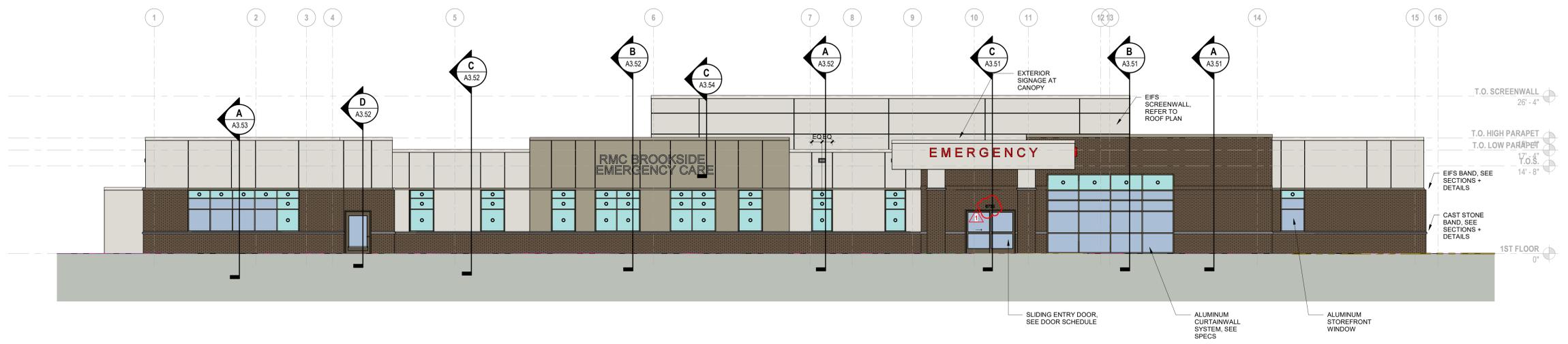
**ELEVATION MATERIAL LEGEND**

	EIFS COLOR 1 (W/ CTRL. JTS.)
	EIFS COLOR 2 (W/ CTRL. JTS.)
	BRICK - BASIS OF DESIGN: BELDEN MODULAR SEAL BROWN VELOUR
	VISION GLASS - 1" INSULATED
	SPANDREL #1 - 1" INSULATED

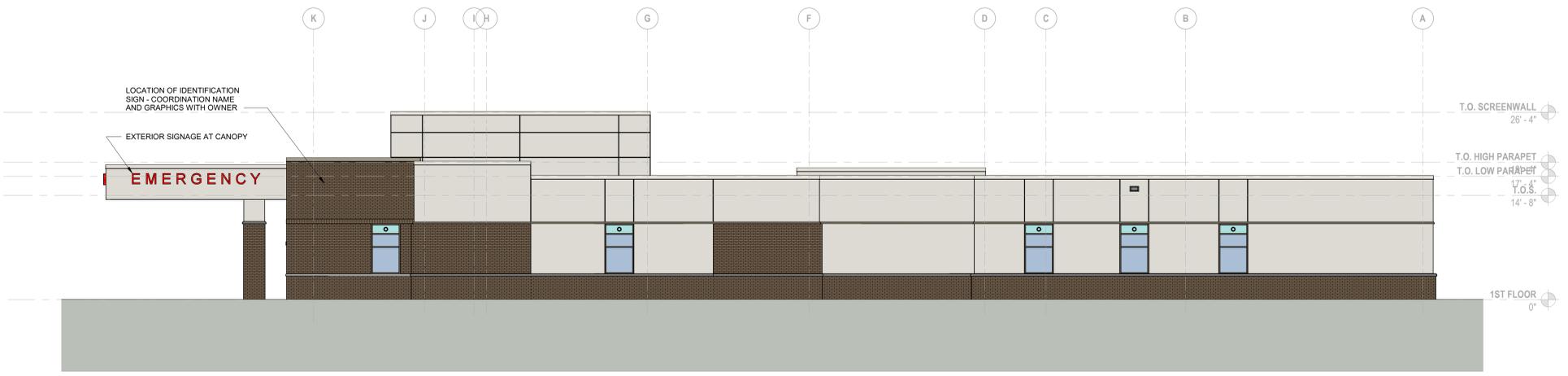
\*\* EXTERIOR SIGNAGE IS SHOWN AS A PLACEHOLDER AND WILL BE ISSUED IN A SEPARATE PACKAGE\*\*

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**1 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**EMERGENCY CARE**  
**RESEARCH MEDICAL CENTER BROOKSIDE**  
 6735 HOLMES RD, KANSAS CITY, MO 64131

**DOCUMENT CHANGES**

Revision	Description	Date
REVISION 1		03/07/25

**Issue Description** FOR CONSTRUCTION

Original Issue Date	01/27/2025
HCA Project No	0972700030
Project No	24208.00
Drawn By	CP
Checked By	VP

**EXTERIOR ELEVATIONS**

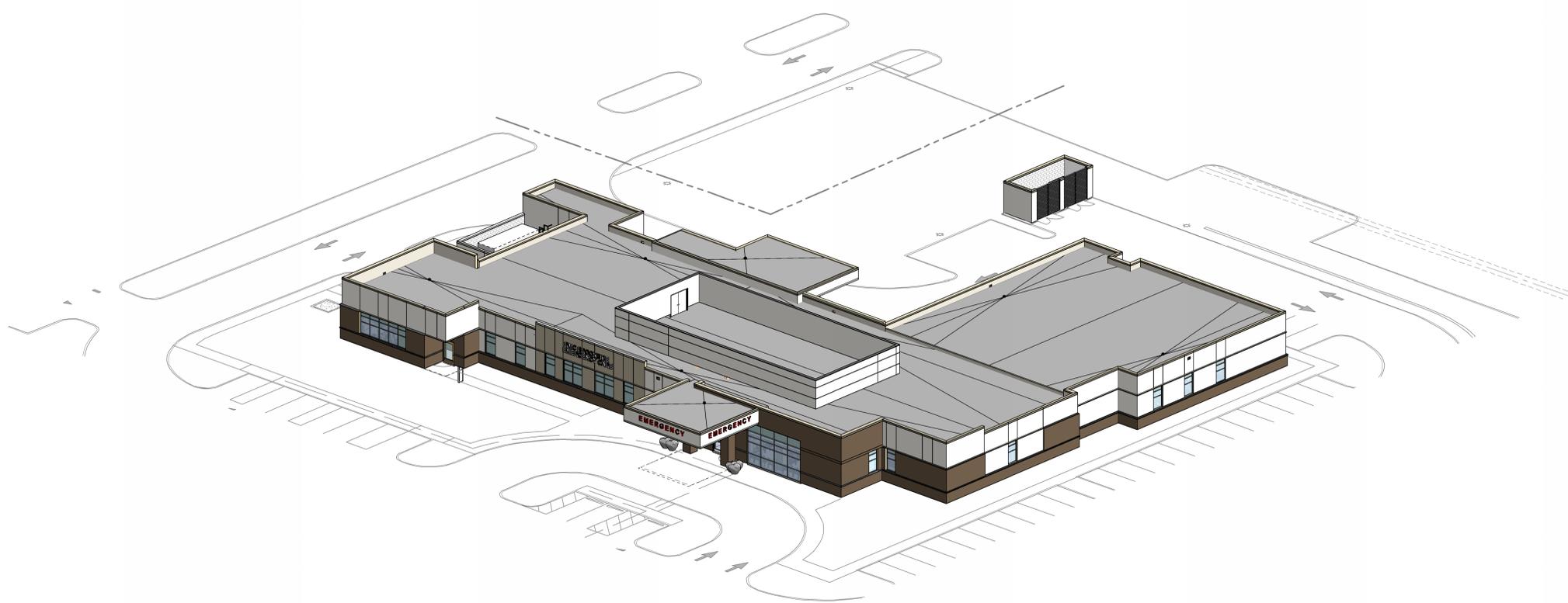
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**A2.01**



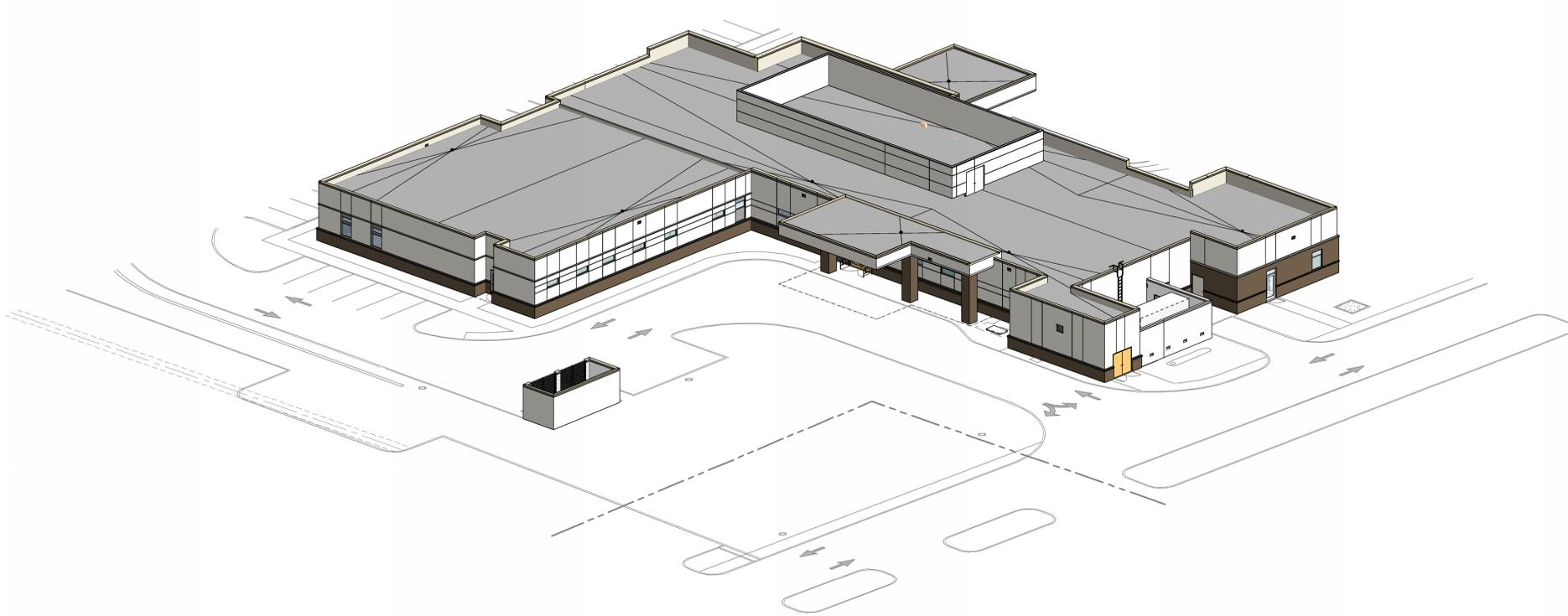
**PROJECT INFO.**  
 FACILITY NAME:  
 EMERGENCY CARE  
 PROJECT DESCRIPTION:  
 Emergency Care Unit  
 HCA PROJECT NUMBER:  
 0972700030  
 AHJ PROJECT NUMBERS:  
 CON NUMBER:  
 24208.00  
 ARCHITECT PROJECT NUMBER:  
 24208.00

**OWNER CONTACTS**  
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**1 AXON VIEW 1**  
 SCALE:



**2 AXON VIEW 3**  
 SCALE:



**HCA**   
**Healthcare**  
**ESa**  
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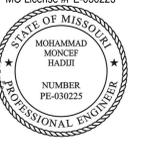
**EMERGENCY CARE**  
**RESEARCH MEDICAL CENTER BROOKSIDE**  
 6675 HOLMES RD., KANSAS CITY, MO 64131

**DOCUMENT CHANGES**

Description	Date

Issue Description    DEVELOPMENT PLAN  
 Original Issue Date    01/27/2025  
 HCA Project No    0972700030  
 Project No    24208.00  
 Drawn By    CP    Checked By    VP  
 Drawing Title

**EXTERIOR AXONS**  
 Sheet Number  
**A2.03**



**EMERGENCY CARE  
RESEARCH MEDICAL CENTER BROOKSIDE**  
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**DOCUMENT CHANGES**

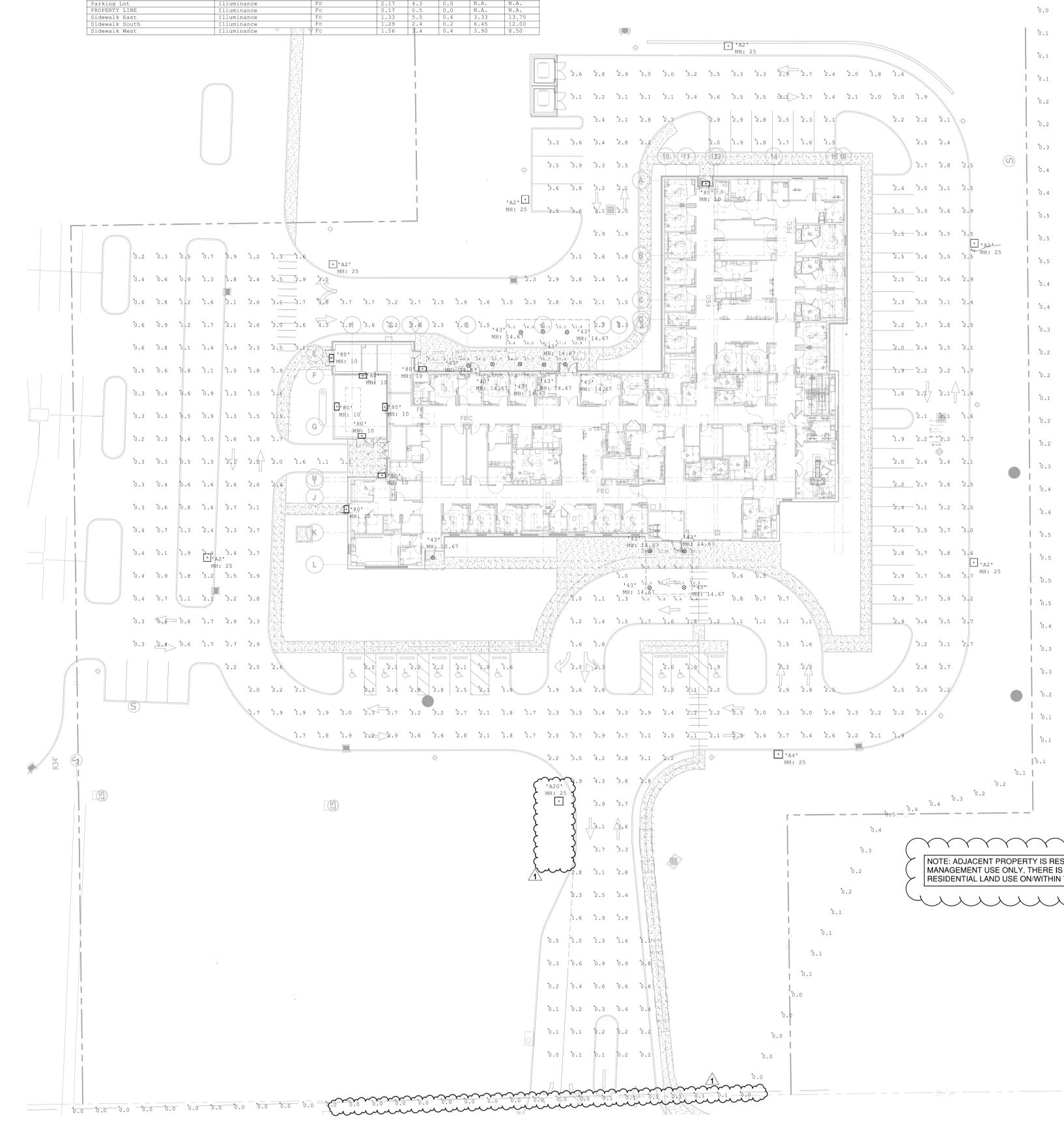
Description	Date
Revision 1	03.07.25

Issue Description	FOR CONSTRUCTION
Original Issue Date	01/31/2025
HCA Project No	097270030
Project No	24208.00
Drawn By	JE
Checked By	DL
Drawing Title	

**SITE PLAN -  
PHOTOMETRICS**

Luminaire Schedule Symbol	Qty	Label	Arrangement	Description	Tag	TLF	Luminaire Lumens	Luminaire Watts	Total Watts
1	1	DSX1 LED P8 40K 80CRI T2M	Single	DSX1 LED P8 40K 80CRI T2M	*A2*	0.900	25421	215.77	1294.62
2	13	EVO6 40 25 AR MWD L8S	Single	EVO6 40 25 AR MWD L8S	*A3*	0.900	2449	12	156
3	9	WST LED P1 40K VW WYOL1	Single	WST LED P1 40K VW WYOL1	*B0*	0.900	1639	12	108

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ambulance Canopy	Footcandle	FC	13.46	18.6	5.3	2.54	3.51
Egress Door North	Footcandle	FC	7.92	9.2	7.0	1.13	1.31
Egress Door South	Footcandle	FC	17.14	20.2	10.6	1.62	1.91
Egress Doors West	Footcandle	FC	4.45	10.5	0.9	4.94	11.67
Main Entrance Canopy	Footcandle	FC	19.05	11.8	8.5	1.18	1.39
Parking Lot	Footcandle	FC	2.17	4.3	0.0	N.A.	N.A.
PROPERTY LINE	Footcandle	FC	0.17	0.5	0.0	N.A.	N.A.
Sidewalk East	Footcandle	FC	1.33	5.5	0.4	3.33	13.75
Sidewalk South	Footcandle	FC	1.29	2.4	0.2	6.45	12.00
Sidewalk West	Footcandle	FC	1.56	3.4	0.4	3.90	8.50



**PROJECT INFO.**  
FACILITY NAME: EMERGENCY CARE  
PROJECT DESCRIPTION: Emergency Care Unit  
HCA PROJECT NUMBER: 097270030  
AHJ PROJECT NUMBERS:  
CON NUMBER:  
ARCHITECT PROJECT NUMBER: 24208.00

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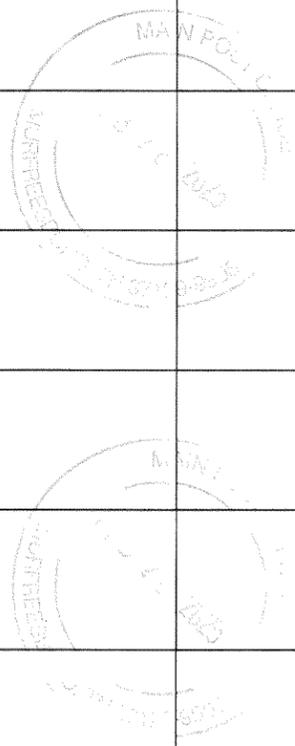
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	Postmaster, per (name of receiving employee)   Eden Cyrus					
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift	
1.	University Academy Supporting Foundation, 4520 Main # 1050, Kansas City, MO 64111 Phillips Charles Edward John, 915 E 68th St, Kansas City, MO 64131 St Anthony's LLC, 5200 W 94th Ter Ste 204 Overland Park, KS 66207 South Park Partners LP, 904 E 68th St 301, Kansas City, MO 64131					
2.	Las Encinas Hospital, PO Box 80610, Indianapolis, IN 46280 Allen Lauren Elizabeth, 6808 Holmes Rd, Kansas City, MO 64131 Turnbull Marianne, 6804 Holmes, Kansas City, MO 64131 Coleman Rachel & Gilland Rhiannon, 6746 Kenwood Ave, Kansas City, MO 64131					
3.	Hair Jennifer E & Shawn P, 6742 Kenwood Ave, Kansas City, MO 64131 Breshears Susan & Donn, 6738 Kenwood, Kansas City, MO 64131 Owens Jami, 6701 Rockhill Rd, Kansas City, MO 64131 Nichol Holly Taylor, 6706 Holmes Rd, Kansas City, MO 64131					
4.	Robbe Luke, 6708 Holmes Rd, Kansas City, MO 64131 Kaleba David & Conklin Lucille, 6712 Holmes Rd, Kansas City, MO 64131 King Richard E, 6716 Holmes Rd, Kansas City, MO 64131 Ferguson Gregory H & Rose M, 6720 Holmes, Kansas City, MO 64131					
5.	Wagner Franklin, 6424 Holmes Rd, Kansas City, MO 64131 Gottberg Amy, 6728 Holmes Rd, Kansas City, MO 64131 Lawrence Patrick & Elizabeth R, 6732 Holmes, Kansas City, KS 64131 Barry Sean P & Amy L, 6736 Holmes, Kansas City, MO 64131					
6.	Reynolds Beverly A, 6740 Holmes St, Kansas City, MO 64131 Mulloy Colin, 6744 Holmes Rd, Kansas City, MO 64131 Sadich Ryan William, 6748 Holmes, Kansas City, MO 64131 Hunter Robert P, 6737 Kenwood Ave, Kansas City, MO 64131					



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	Postmaster, per (name of receiving employee)  					
USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airlift
1.	Humphrey Ryan W, 6733 Kenwood Ave, Kansas City, MO 64131					
	Sperry Sue Ann-Trustee, 6729 Kenwood Ave, Kansas City, MO 64131					
	Fuller Nick, 6725 Kenwood Ave, Kansas City, MO 64131					
	Johnson Lawrence N Jr, 6801 Locust St, Kansas City, MO 64131					
2.	Kitchens Timothy L, 6717 Kenwood Ave, Kansas City, MO 64131					
	Fricke Michele M J Trustee, 6713 Kenwood Ave, Kansas City, MO 64131					
	Londy Alan D & Jane B, 6709 Kenwood Ave, Kansas City, MO 64131					
3.	Malicouk Michael Peter, 6737 Rockhill Rd, Kansas City, MO 64131					
	Mulloy Ryan M, 6733 Rockhill Rd, Kansas City, MO 64131					
	Solomon Rochelle N-Trustee, 6729 Rockhill Rd, Kansas City, MO 64131					
4.	Health Midwest Office, PO Box 80610, Indianapolis, IN 46280					
	University Academy Supporting Foundation, 4520 Main St Ste 1050, Kansas City, MO 64111					
	Las Encinas Hospital, PO Box 80610, Indianapolis, IN 46280					
5.	RGSR Partnership LP, 5871 S Teters Ct, Springfield, MO 65804					
	Atlanta Healthcare Management LP, PO Box 80610, Indianapolis, IN 46280					
6.						



# Public Meeting Notice

Please join Catalyst Design Group

for a meeting about Brookside Emergency Care Hospital

case number CD-CPC-2025-00016

proposed for the following address: 6735 Holmes Road

Kansas City, MO 64131

**Meeting Date:** March 11, 2025

**Meeting Time:** 6:00 pm (CST)

**Meeting Location:** Virtual - Microsoft Teams (Link, QR Code, or Call In Phone Number below)

[https://teams.microsoft.com/join/19%3ameeting\\_ODA3NzBjZjYtMmQwNy00NWQ4LWFIZDgtOWIzZWQ0MzAwYzEx%40thread.v2/0?context=%7b%22Tid%22%3a%221309fdc9-34ed-47f6-891f-f985a91390d4%22%2c%22Oid%22%3a%2241eabea8-1f78-4cc1-97a8-77644589c6de%22%7d](https://teams.microsoft.com/join/19%3ameeting_ODA3NzBjZjYtMmQwNy00NWQ4LWFIZDgtOWIzZWQ0MzAwYzEx%40thread.v2/0?context=%7b%22Tid%22%3a%221309fdc9-34ed-47f6-891f-f985a91390d4%22%2c%22Oid%22%3a%2241eabea8-1f78-4cc1-97a8-77644589c6de%22%7d)

Meeting ID: 276 413 287 799  
Passcode: gV3zY72d

Project Description:

The project consists of redeveloping a portion of the existing parking lot into an Emergency Care Hospital.

If you have any questions, please contact:

Name: Wesley Blissard / Catalyst Design Group

Phone: 615-622-7200

Email: [wblissard@catalyst-dg.com](mailto:wblissard@catalyst-dg.com)



Meeting QR Code

Dial by Phone: 1-323-553-0774  
Phone Conference ID: 315 535 160#

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at [kcmo.gov/publicengagement](http://kcmo.gov/publicengagement)



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at [Compasskc.kcmo.org](http://Compasskc.kcmo.org). You may search by project type and address/case number to find project details.

Sincerely,



Wesley Blissard

University Academy Supporting Foundation  
4520 Main # 1050  
Kansas City, MO 64111

Breshears Susan & Donn  
6738 Kenwood  
Kansas City, MO 64131

Barry Sean P & Amy L  
6736 Holmes  
Kansas City, MO 64131

Phillips Charles Edward John  
915 E 68th St  
Kansas City, MO 64131

Owens Jami  
6701 Rockhill Rd  
Kansas City, MO 64131

Reynolds Beverly A  
6740 Holmes St  
Kansas City, MO 64131

St Anthony's LLC  
5200 W 94th Ter Ste 204  
Overland Park, KS 66207

Nichol Holly Taylor  
6706 Holmes Rd  
Kansas City, MO 64131

Mulloy Colin  
6744 Holmes Rd  
Kansas City, MO 64131

South Park Partners LP  
904 E 68th St 301  
Kansas City, MO 64131

Robbe Luke  
6708 Holmes Rd  
Kansas City, MO 64131

Sadich Ryan William  
6748 Holmes  
Kansas City, MO 64131

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Indianapolis, IN 46280

Kaleba David & Conklin Lucille  
6712 Holmes Rd  
Kansas City, MO 64131

Hunter Robert P  
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King Richard E  
6716 Holmes Rd  
Kansas City, MO 64131

Humphrey Ryan W  
6733 Kenwood Ave  
Kansas City, MO 64131

Allen Lauren Elizabeth  
6808 Holmes Rd  
Kansas City, MO 64131

Ferguson Gregory H & Rose M  
6720 Holmes  
Kansas City, MO 64131

Sperry Sue Ann-Trustee  
6729 Kenwood Ave  
Kansas City, MO 64131

Turnbull Marianne  
6804 Holmes  
Kansas City, MO 64131

Wagner Franklin  
6424 Holmes Rd  
Kansas City, MO 64131

Fuller Nick  
6725 Kenwood Ave  
Kansas City, MO 64131

Coleman Rachel & Gilland Rhiannon  
6746 Kenwood Ave  
Kansas City, MO 64131

Gottberg Amy  
6728 Holmes Rd  
Kansas City, MO 64131

Johnson Lawrence N Jr  
6801 Locust St  
Kansas City, MO 64131

Hair Jennifer E & Shawn P  
6742 Kenwood Ave  
Kansas City, MO 64131

Lawrence Patrick & Elizabeth R  
6732 Holmes  
Kansas City, KS 64131

Kitchens Timothy L  
6717 Kenwood Ave  
Kansas City, MO 64131

Fricke Michele M J Trustee  
6713 Kenwood Ave  
Kansas City, MO 64131

Atlanta Healthcare Management LP  
PO Box 80610  
Indianapolis, IN 46280

Londy Alan D & Jane B  
6709 Kenwood Ave  
Kansas City, MO 64131

Mallouk Michael Peter  
6737 Rockhill Rd  
Kansas City, MO 64131

Mulloy Ryan M  
6733 Rockhill Rd  
Kansas City, MO 64131

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RGSR Partnership LP  
5871 S Teters Ct  
Springfield, MO 65804







## CITY PLANNING & DEVELOPMENT

### Public Meeting Summary Form

Project Case # CD-CPC-2025-00016 - HCA Brookside Emergency Care Hospital

Meeting Date: 3/11/2025

Meeting Location: Virtual (Microsoft Teams)

Meeting Time (include start and end time): 6:00 - 6:30

#### Additional Comments (optional):

The members of the development and design team were present for the virtual public engagement meeting beginning at 5:50. A presentation was prepared (attached); however, by 6:30 no citizens had shown up and the meeting was adjourned.