





City Plan Commission

Recommends Approval with Conditions

of Case No**CD-CPC-2024-00012** on **6/18/2024**



Diane Binkckley, AICP

Secretary of the City Plan Commission

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TABLE 1 - SITE DATA				
SITE DATA	EXISTING	PROPOSED	DEVIATION REQUESTED?	APPROVED
Zoning	M1-5	M1-5	No	
Gross Land Area				
in square feet	48,626	48,626	No	
in acres	1.12	1.12	No	
Right-of-way Dedication				
in square feet	N/A	N/A	N/A	
in acres	N/A	N/A	N/A	
Net Land Area				
in square feet	48,626	48,626	No	
in acres	1.12	1.12	No	
Building Area (sq. ft.)	13,537 (TO DEMO)	148,600	No	
Floor Area Ratio	0.278	3.05	No	
Residential Use Info				
Total Dwelling Units	4	0		
Detached House	0	0		
Zero Lot Line House	0	0		
Cottage House	0	4		
Semi-attached House	0	0		
Townhouse	0	0		
Two-unit House	0	0		
Multi-unit House	0	0		
Colonnade	0	0		
Multiplex	0	0		
Multi-unit Building	0	184	No	
Total Lots				
Residential	0	0		
Public/ Civic	0	0		
Commercial	0	1 (Mixed Use)	No	
Industrial	1	0		
Other	0	0		

TABLE 2 - BUILDING DATA				
BUILDING DATA	EXISTING	PROPOSED	DEVIATION REQUESTED?	APPROVED
Rear Setback	NONE	6" MIN (ALLEY)	No	
Front Setback	NONE	3'-4" TO 6" (HOLMES)	No	
Side Setback	NONE	2'-8" TO 4'-8" (16TH)	No	
Side Setback	NONE	9" TO 6" (TRUMAN)	No	
Height	NONE	78' (AT SOUTH END OF BUILDING ALONG 16TH ST) / 5 STORIES OVER 1 STORY POOLUM	No	

TABLE 3 - LANDSCAPE REQUIREMENTS				
88-425 LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED	ALTERNATE REQUESTED?	APPROVED
88-425-03 Street Trees	22	22	No	
Holmes St	14	14		
E 15th St	4	4		
E 16th St	4	4		
88-425-04 General	8	11		
88-425-05 Perimeter Vehicular Use Area	Not Applicable			
Adjacent to Streets	Not Applicable			
Adjacent to Residential Zones	Not Applicable			
88-425-06 Interior Vehicular Use Area	Not Applicable / Partially Covered by Building			
88-425-07 Parking Garage Screening	Provided by building facade screen walls and site fencing			
88-425-08 Mechanical/ Utility Equipment Screening				
88-425-08-A Dumpsters	Trash collection and storage will be done internally within the building. The primary trash collection / dumpster room will be located at the Southeast Corner adjacent to the alley / parking lot.			
88-425-08-D Roof-mounted Mechanical Equipment	Option 3 - An equipment setback from roof edges visible from the public right-of-way that is at least 3 feet in depth for each one foot of equipment height.			
88-425-09 Outdoor Use Screening	Not Applicable			

TABLE 3B - LANDSCAPE SCHEDULE	
88-425 LANDSCAPE REQUIREMENTS	SYMBOL
88-425-03 Street Trees	See L101 Landscape Plan
88-425-04 General	See L101 Landscape Plan
88-425-05 Perimeter Vehicular Use Area	Not Applicable
Buffer Width	
Trees	
Shrubs/ Wall/ Berm	
Adjacent to Residential Zones	
Buffer Width	
Shrubs/ Wall/ Berm	
88-425-06 Interior Vehicular Use Area	Not Applicable / Partially Covered by Building
Interior Area	
Trees	
Shrubs	
88-425-07 Parking Garage Screening	Provided by building facade screen walls and site fencing
88-425-08 Mechanical/ Utility Equipment Screening	
88-425-08-A Dumpsters	Trash collection and storage will be done internally within the building. The primary trash collection / dumpster room will be located at the Southeast Corner adjacent to the alley / parking lot.
88-425-08-D Roof-mounted Mechanical Equipment	Option 3 - An equipment setback from roof edges visible from the public right-of-way that is at least 3 feet in depth for each one foot of equipment height.
88-425-09 Outdoor Use Screening	Not Applicable

PER CONVERSATIONS DURING THE 8:30am, 03.13.2024 DRC HEARING, AS THE DESIGN PHASES PROGRESS, THE DEVELOPER IN CONJUNCTION WITH THE DESIGN TEAM WILL INTEGRATE COLOR AND/OR ARTWORK INTO THE EXTERIOR AND SITE DESIGN OF THIS PROJECT. ADDITIONAL INFORMATION REGARDING LOCATIONS AND ITEM WILL BE INCLUDED IN THE PERMIT SUBMITTAL DOCUMENTS

TABLE 5 - OTHER DEVELOPMENT STANDARDS	
88-408 OTHER DEVELOPMENT STANDARDS	METHOD OF COMPLIANCE
88-408 Parkland Dedication	In lieu of dedication, fee to be paid for by the Owner
88-409-A Parkland Dedication Calculations for 184 multifamily residential units:	
184 x 2 people per unit = 368	
43,560 s.f. (1 acre) x .006 = 261.36	
261.36 x 360 = 100,884.96 s.f. (2.319 acres) of land dedication	
88-415 Stream Buffers	Not applicable
88-430 Outdoor Lighting	Included
88-435 Outdoor Display/Storage and Work Areas	Not applicable
88-445 Signs	See sheets A200 & A900 for planned attached building signage locations
88-450 Pedestrian Standards	Public sidewalk access

TABLE 6 - BUILDING USE & SF BREAKDOWN		
USE	MIXED USE	# OF UNITS
First Floor	7,158 G.S.F. (Commercial / B.O.H.)	0
Mezzanine	3,198 G.S.F. (Commercial / B.O.H.)	0
Second Floor	23,806 G.S.F. (Residential / Amenity Space)	24 / 6,460 G.S.F. of Amenity Space
Third Floor	28,610 G.S.F. (Residential)	40
Fourth Floor	28,610 G.S.F. (Residential)	40
Fifth Floor	28,610 G.S.F. (Residential)	40
Sixth Floor	28,610 G.S.F. (Residential)	40
Future Roof Deck	4,500 G.S.F.	0
TOTAL	153,100 G.S.F. (Roof Deck Included)	184

UNIT MIX	
TYPE	COUNT
Studio	65
One Bedroom	89
Two Bedroom	10
TOTAL	164

TABLE 4 - PARKING				
VEHICLE SPACES	BIKE SPACES		ALTERNATIVE PROPOSED?	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED
Proposed Use(s)				
Residential	184 / 92**	118	Long - 56 Short - 10	Long - 56 Short - 14
Commercial	15*	15	Long - 0 Short - 4	Long - 0 Short - 7
Total	199 / 107**	133	70	77

- Proposed Parking Breakdown is as follows:
 - Covered & Screened Parking Lot = 29 Stalls (South Alley Access)
 - Uncovered Surface Parking Lot = 31 Stalls (South Alley Access)
 - Partially Covered Surface Parking Lot = 20 Stalls (North Alley Access)
 - Adjacent Long Term Lease Surface Parking Lot = 53 Stalls (South Alley Access)
- Commercial Parking Calc Used*, Personal Improvement Service of 2.5 per 1,000 s.f.
- Affordable Housing Exemption (See 88-420-04-M)**
- 20% of the units within the development will be affordable allowing for a 0.5 space per dwelling unit ratio
- 184 x 0.5 = 92 required

TABLE 4a - ALTERNATE COMPLIANCE PARKING	
88-420- ALTERNATE COMPLIANCE PARKING	APPROVED
Alternative Proposed (See 88-420-16-H)	
1. Transit Accessibility (See 88-420-16-N)	The open Northwest corner of the site will be dedicated to serving public transportation needs and fully integrating into the newly moved / planned bus stop near the corner of Holmes & Truman.
2. Car-Share Vehicle Spaces (See 88-420-16-P)	A total of 5 parking stalls (included in the 84 total proposed parking spaces rolled above in Table 4) will be dedicated to a Car-Share Service.
3. Off-Site Parking (See 88-420-16-J)	Add 15-20 parallel street parking stalls along East side of Holmes Street, adjacent to the development lot, that may service the Commercial use contained within the project building.

OWNER:
GRAYSON CAPITAL
1881 MAIN STREET #302
KANSAS CITY, MO 64108

ARCHITECT OF RECORD:
**DRAW ARCHITECTURE
+ URBAN DESIGN LLC**
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MEP ENGINEERS:
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15TH & HOLMES

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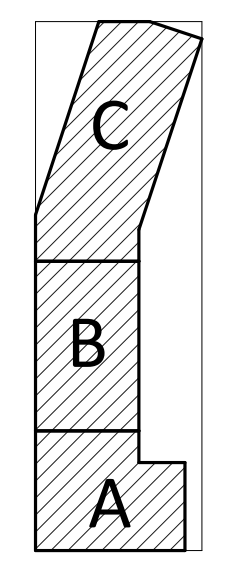
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KEY PLAN



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DOMINIQUE DAVISON	MO 8289981201
RELEASE SCHEDULE	
3 CITY DEVELOPMENT PLAN SUBMITTAL	2024.02.09
4 CITY DEV. COMMENT RESPONSES	2024.03.15
6 CITY DEVELOPMENT PLAN RESUBMITTAL	2024.05.31

COVER SHEET

G 000

CITY DEVELOPMENT PLAN SUBMITTAL

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City Plan Commission

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of Case No **CD-CPC-2024-00012** on **6/18/2024**



Diane Binkkley, AICP

Secretary of the City Plan Commission

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15TH & HOLMES

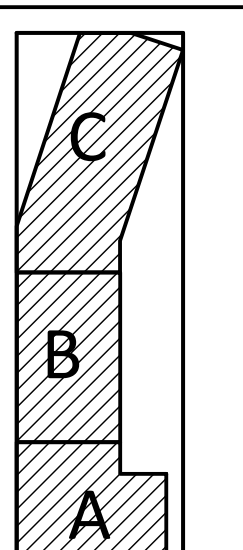
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DOMINIQUE DAVISON

MO 639061203

RELEASE SCHEDULE

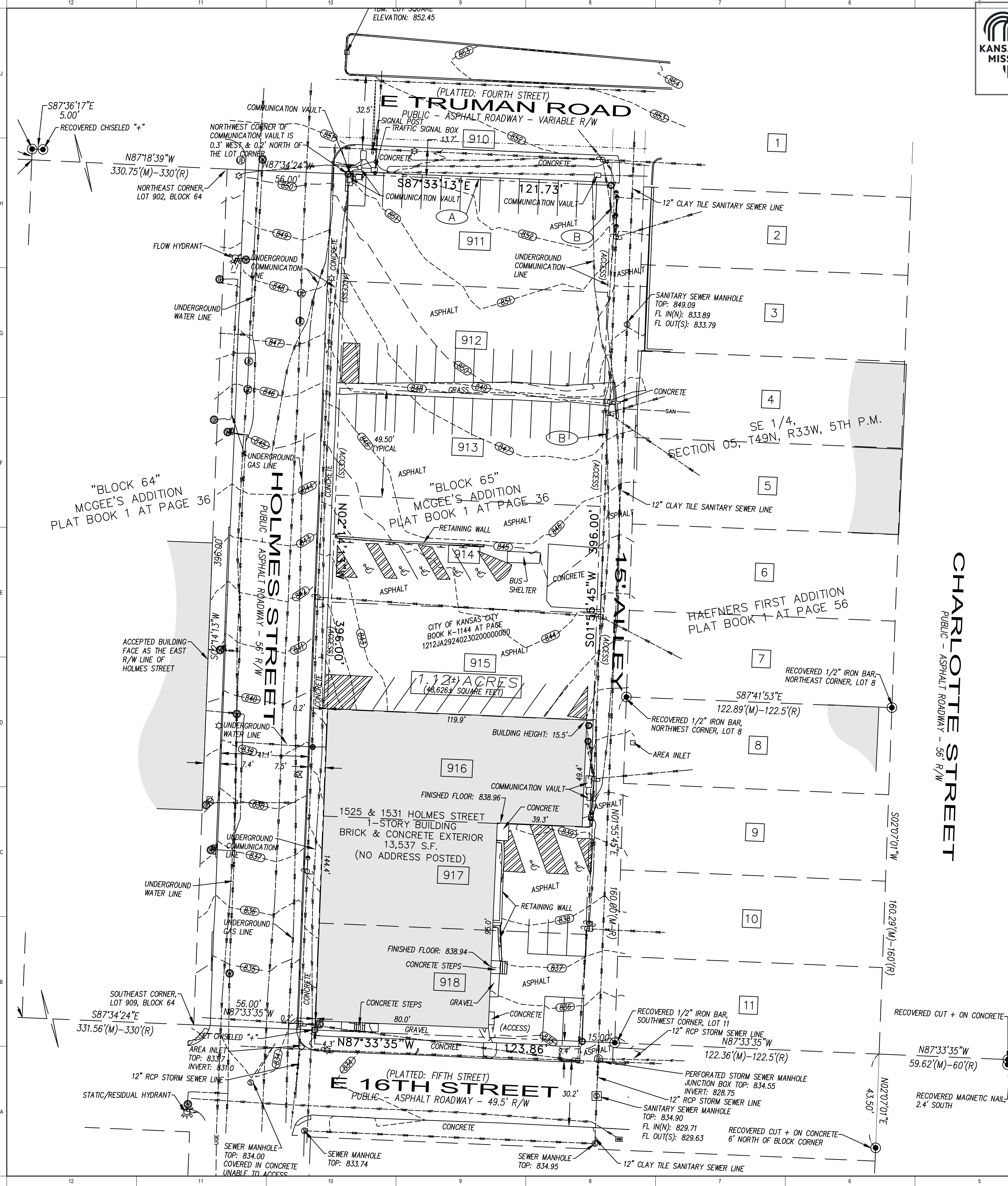
NO.	RELEASE	DATE
1	CITY DEV. COMMENT	2024.03.15
2	RESPONSES	
3	CITY DEVELOPMENT PLAN	2024.05.31
4	RESUBMITTAL	

TOPOGRAPHIC SURVEY

C100

CITY DEVELOPMENT PLAN SUBMITTAL

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LEGEND OF SYMBOLS:



RECOVERED SURVEY MONUMENT (AS NOTED)

SET 1/2" IRON BAR/CAP (LC 331)

FIRE HYDRANT

WATER METER

WATER VALVE

WATER MANHOLE

FIRE VALVE (PIV)

GAS SERVICE METER

ELECTRIC SERVICE METER

UNDERGROUND ELECTRIC VAULT

ELECTRIC BOX

LIGHT POLE STANDARD

OVERHEAD UTILITY POLE

GUY WIRE ANCHOR

TELEPHONE PEDESTAL

ELECTRICAL TRANSFORMER

SPRINKLER VALVE

FLAG POLE

LANDSCAPE LIGHT

SEWER MANHOLE

CLEAN-OUT COVER

AREA INLET

UNDERGROUND COMMUNICATION MANHOLE

GAS VALVE

UNDERGROUND FIBER OPTIC SIGN

GUARD BOLLARD

POLE/POST SIGN

ELECTRICAL BREAKER BOX

UTILITY MANHOLE

MAILBOX

UNDERGROUND ELECTRIC MANHOLE

COMMUNICATION VAULT

TRAFFIC SIGNAL MANHOLE

OVERHEAD ELECTRIC LINE

UNDERGROUND ELECTRIC LINE

UNDERGROUND GAS LINE

UNDERGROUND COMMUNICATION LINE

UNDERGROUND WATER LINE

UNDERGROUND SANITARY SEWER LINE

UNDERGROUND STORM SEWER LINE

MEASURED

RECORD PLAT



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Secretary of the City Plan Commission

GENERAL NOTES - SITE DEMOLITION:

- ALL DEMOLITION SHALL CONFORM TO KANSAS CITY, MISSOURI BUILDING CODE 9.1.4600. CODES ARE AVAILABLE AT THE PUBLIC WORKS DEPARTMENT, 19TH FLOOR, CITY HALL, KANSAS CITY, MO.
- THE DEMOLITION CONTRACTOR MUST BE LICENSED IN KANSAS CITY, MO.
- THE REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL REGULATIONS AND ORDINANCES OF KANSAS CITY, MO.
- ANY ITEMS (BUILDINGS, RETAINING WALLS, TREES, PAVEMENT, UTILITIES, ETC.) LOCATED WITHIN THE DEMOLITION LIMITS SHOWN ON THE DRAWINGS WHICH ARE NOT SPECIFICALLY NOTED TO REMAIN IN PLACE BUT ARE REQUIRED TO BE REMOVED TO CONSTRUCT THE PROJECT SHALL BE REMOVED BY THE CONTRACTOR. NO ADDITIONAL PAYMENT SHALL BE MADE FOR THE REMOVAL OF ANY ITEMS WITHIN THE DEMOLITION LIMITS WHICH ARE NOT SHOWN ON THE DRAWINGS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES, DRAINAGE STRUCTURES, PAVING AND VEGETATION ADJACENT TO PROJECT LIMITS. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- WHERE EXISTING ASPHALT OR CONCRETE SURFACE IS TO BE REMOVED AND ADJACENT ASPHALT OR CONCRETE SURFACE IS TO REMAIN, THE EXISTING SURFACE SHALL BE CUT ALONG NEAT LINES (FULL DEPTH SAWCUT).
- SIDEWALKS WHICH ARE REQUIRED TO BE REMOVED SHALL BE SAW CUT AT EXISTING JOINT LOCATIONS PRIOR TO REMOVAL.
- WHERE EXISTING STRUCTURES, PAVING, OR ROADWAY IS TO BE REMOVED WHICH IS ADJACENT TO WALLS OR STRUCTURES TO REMAIN, THE CONTRACTOR SHALL PROVIDE SHORING AS NEEDED TO PROTECT AND NOT DAMAGE STRUCTURES OR ROADWAY TO REMAIN.
- FOR CURB AND SIDEWALKS, SAW CUT TO NEAREST CONSTRUCTION OR EXPANSION JOINT. REMOVE CONCRETE CURB AND SIDEWALK FOR NEW CONSTRUCTION.
- DIMENSIONS GIVEN ARE APPROXIMATE AND MAY REQUIRE ADJUSTMENT TO ACCOMMODATE ACTUAL CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR REMOVING QUANTITIES REQUIRED TO ALLOW FOR NEW CONSTRUCTION.
- UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS FROM THE BEST AVAILABLE RECORDS. THE EXACT LOCATIONS AND ELEVATIONS OF THESE UTILITIES OR THE COMPLETENESS OF THE INFORMATION IS NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL SURFACE AND SUBSURFACE UTILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE UTILITY COMPANIES PRIOR TO COMMENCING REQUIRED WORK IN THE VICINITY OF SUCH UTILITIES.
- TREES INDICATED FOR REMOVAL SHALL BE REMOVED BY THE CONTRACTOR SAVE AND PROTECT ALL EXISTING TREES THAT ARE DESIGNATED TO REMAIN DURING ALL PHASES OF THE CONSTRUCTION. ALL TREES TO BE REMOVED FROM WORK LIMITS UNLESS APPROVED BY ENGINEER.
- THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND MAINTENANCE (MARKING, SIGNS & DEVICES FOR DETOURS & LOCAL TRAFFIC CONTROLS) IN ACCORDANCE WITH THE REGULATION OF THE TRAFFIC DEPARTMENT OF THE CITY OF KANSAS CITY, MISSOURI. THE CONTRACTOR SHALL OBTAIN A CITY APPROVED TRAFFIC CONTROL PLAN INCLUDING THE LOCATION OF CONSTRUCTION ENTRANCES PRIOR TO BEGINNING DEMOLITION.
- EXISTING OVERHEAD ELECTRICAL LINES, TELEPHONE LINE, CABLE TV LINES, ETC. AND APPURTENANCES TO BE REMOVED BY OTHERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY IMPROVEMENTS ON THE SITE REQUIRED FOR CONSTRUCTION OF THE NEW FACILITIES DESCRIBED HEREIN WHETHER OR NOT SPECIFICALLY CALLED OUT ON THE SITE DEMOLITION PLAN. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- SEPARATE STORMWATER POLLUTION PREVENTION PLANS (SWPPP) WILL BE PREPARED BY THE CONTRACTOR FOR THIS PROJECT. CONTRACTOR SHALL IMPLEMENT STORMWATER POLLUTION CONTROLS IN ACCORDANCE WITH THE SWPPP PLANS.
- THE DEMOLITION PLANS DO NOT INCLUDE ENVIRONMENTAL ASSESSMENT OR ENVIRONMENTAL EXPLORATIONS.
- PIPES TO BE ABANDONED IN PLACE SHALL BE FILLED WITH FLYASH SLURRY AND PLUGGED AT THE ENDS WITH CONCRETE.
- CONTRACTOR SHALL ADJUST AS NECESSARY TO PROPOSED GRADE. ALL MANHOLE LIDS, VALVE BOXES, ETC., TO REMAIN.

SITE DEMOLITION NOTES

- (A) EXISTING WALL TO BE REMOVED.
(B) EXISTING TORNADO SIREN TO BE REMOVED BY OTHERS.
(C) EXISTING POWER POLE TO REMAIN.
(D) EXISTING POWER POLE TO BE REMOVED BY OTHERS.
(E) EXISTING CONCRETE STAIRS TO BE REMOVED.
(F) EXISTING GAS METER TO BE REMOVED.
(G) EXISTING WATER METER AND SERVICE TO BE ABANDONED.

- (H) EXISTING POWER POLE WITH GUY WIRE TO REMAIN.
(I) EXISTING DRIVE APRON TO BE REMOVED.
(J) EXISTING CURB TO BE REMOVED.

PAVEMENT REMOVAL LEGEND

- CONCRETE PAVEMENT REMOVAL
BRICK PAVEMENT REMOVAL
ASPHALT PAVEMENT REMOVAL
DEMOLITION LIMITS



20 0 20 40
SCALE IN FEET
HORIZONTAL SCALE 1"=20'

OWNER:
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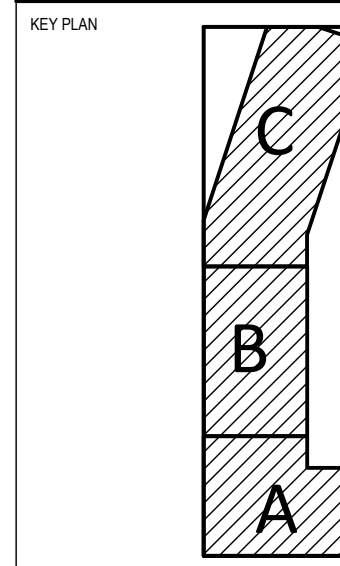
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DOMINIQUE DAVISON MO 639061203
RELEASE SCHEDULE
NO. 4 RELEASE
CITY DEV. COMMENT RESPONSES
6 CITY DEVELOPMENT PLAN RESUBMITTAL
DATE: 2024.03.15
2024.05.31

SITE DEMOLITION PLAN

C101

CITY DEVELOPMENT PLAN SUBMITTAL
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City Plan Commission

Recommends Approval with Conditions

of Case No **CD-CPC-2024-00012** on **6/18/2024**



Diane Binkckley, M.S.
Secretary of the City Plan Commission

LEGAL DESCRIPTION:

LOTS 911, 912, 913, 914, 915, 916, 917 AND 918,
EXCEPT THAT PART IN PUBLIC ALLEY, BLOCK 65,
MCGEE'S ADDITION, A SUBDIVISION IN KANSAS CITY,
JACKSON COUNTY, MISSOURI, ACCORDING TO
RECORDED PLAT THEREOF

PAVEMENT LEGEND

- 2" TYPE 3-01 ASPHALT SURFACE
3" TYPE 1-01 ASPHALT BASE
6" AB-3 AGGREGATE BASE
12" COMPACTED SUBGRADE
- 8" CONCRETE PAVEMENT
6" AB-3 AGGREGATE BASE
12" COMPACTED SUBGRADE
- 4" CONCRETE SIDEWALK OR
4" AB-3 AGGREGATE BASE
6" COMPACTED SUBGRADE
- KCMO STANDARD TYPE C-1
CONCRETE CURB

OWNER:
GRAYSON CAPITAL
1801 MAIN STREET #302
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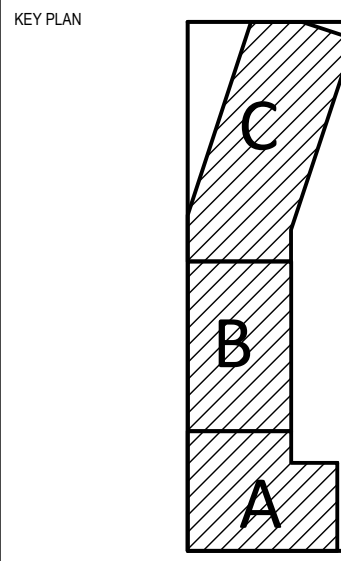
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15TH & HOLMES

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DOMINIQUE DAVISON			MO 6590061203
RELEASE SCHEDULE			
NO.	REVIEW	DATE	
4	CITY DEV. COMMENT	2024.03.15	
6	RESPONSES		
6	CITY DEVELOPMENT PLAN	2024.05.31	
	RESUBMITTAL		

LAYOUT SHEET

C102

CITY DEVELOPMENT PLAN SUBMITTAL

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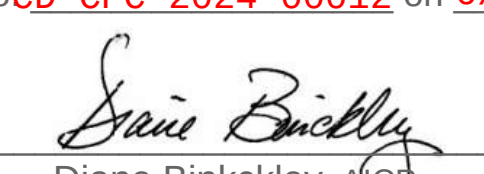




City Plan Commission

Recommends Approval with Conditions

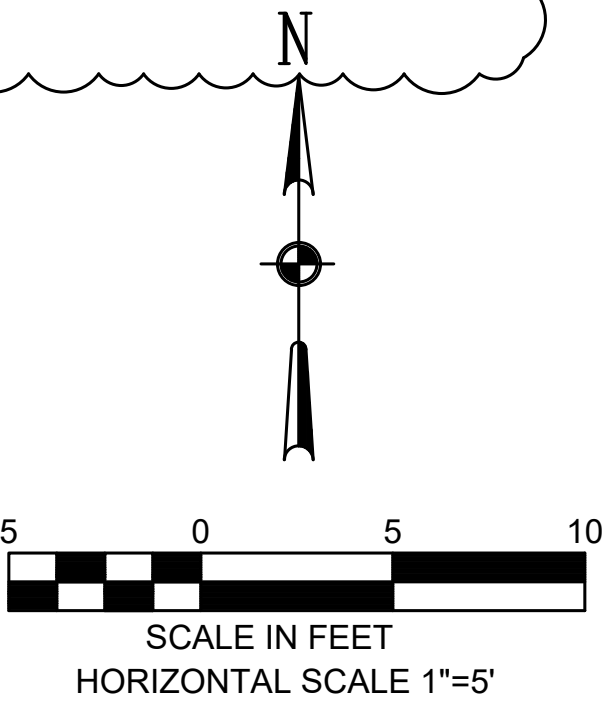
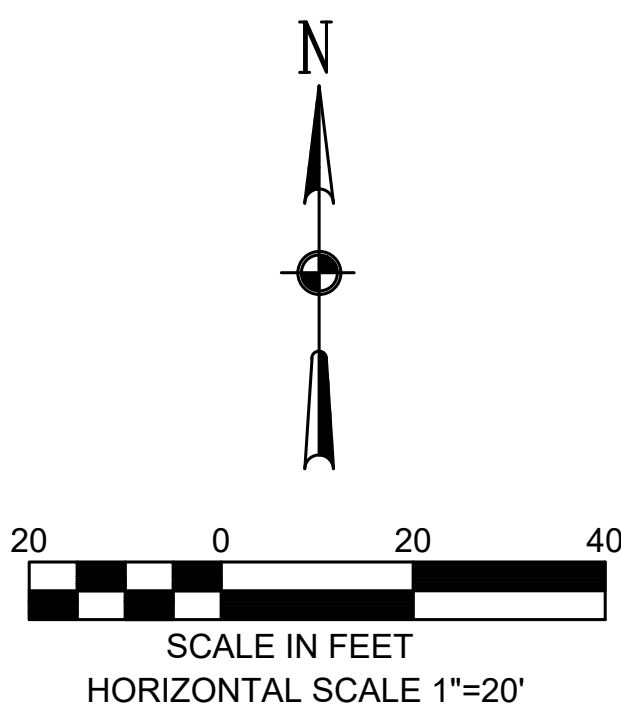
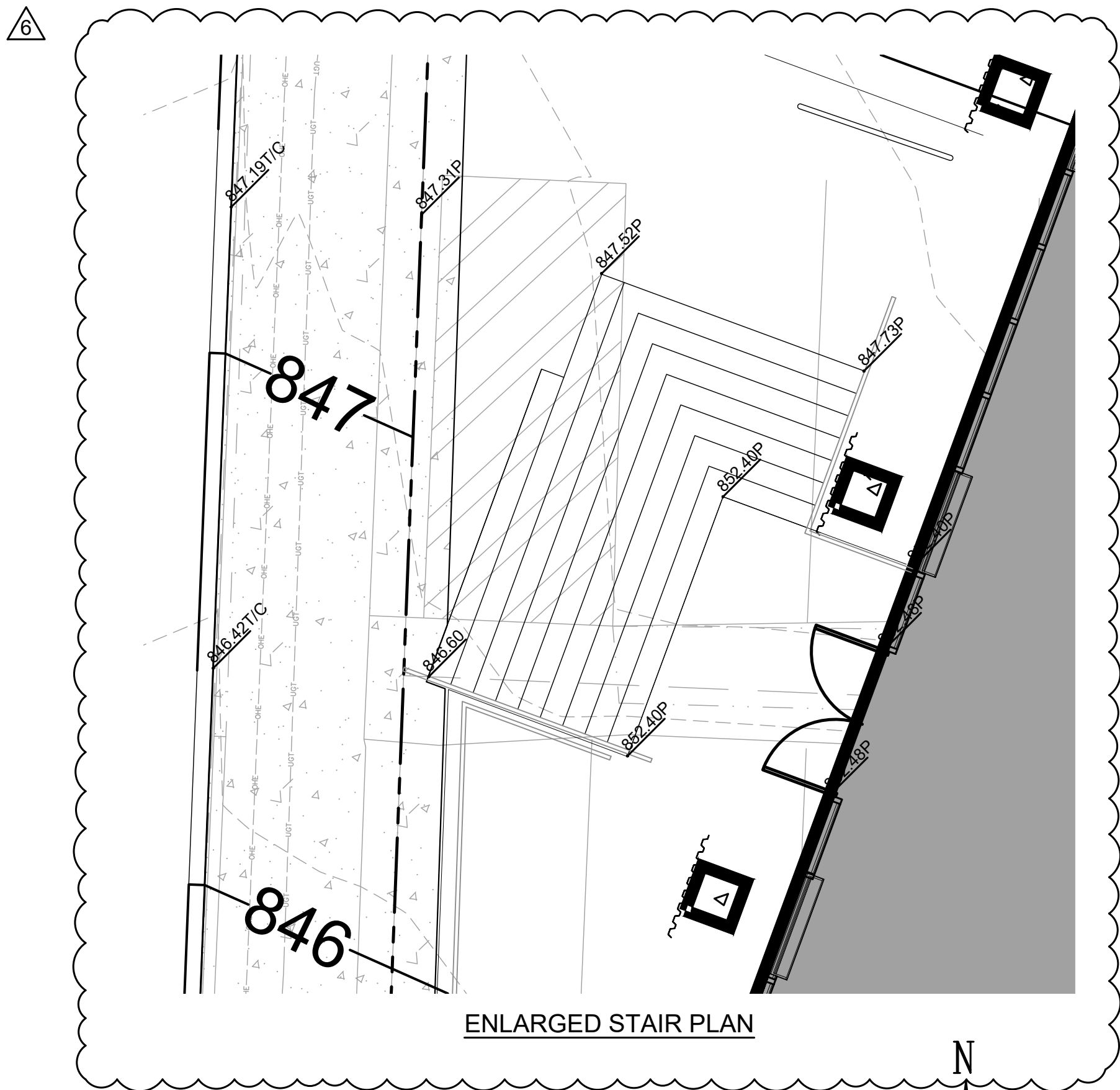
of Case No **CD-CPC-2024-00012** on **6/18/2024**



Diane Binkckley, M.S.
Secretary of the City Plan Commission

- GRADING NOTES:**
- THE SIZE, LOCATION AND NATURE OF EXISTING UTILITIES AS SHOWN ON THESE DRAWINGS HAS BEEN OBTAINED FROM INFORMATION PROVIDED BY THE UTILITY COMPANIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ACTIVITIES WITH THE APPLICABLE UTILITIES, AND FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES, INCLUDING UNFORESEEN AND UNKNOWN UTILITIES, PRIOR TO CONSTRUCTION. UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - UNLESS OTHERWISE INDICATED IN PLANS OR TECHNICAL SPECIFICATIONS, ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND GEOTECHNICAL REPORTS:
 - A. "STANDARD SPECIFICATIONS AND DESIGN CRITERIA" AS PREPARED BY THE AMERICAN PUBLIC WORKS ASSOCIATION AND AS ADOPTED BY THE CITY OF KANSAS CITY, MISSOURI.
 - B. "EROSION AND SEDIMENTATION CONTROL SPECIFICATIONS" AS ADOPTED BY CITY ORDINANCE, AND AS APPROVED BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES.
 - C. KANSAS CITY, MISSOURI PUBLIC WORKS DEPARTMENT STANDARD DRAWINGS AND SPECIFICATIONS.
 - D. "GEOTECHNICAL EXPLORATION AND SUBGRADE RECOMMENDATIONS GUADALUPE LOFTS" DATED FEBRUARY 20, 2023, PREPARED BY CFS ENGINEERS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL RESTRICT CONSTRUCTION ACCESS TO THE SITE TO ONE LOCATION, UNLESS OTHERWISE APPROVED IN WRITING BY THE ENGINEER.
 - THE CONTRACTOR SHALL PROMPTLY CLEAN PUBLIC ROADWAYS OF ALL MUD AND CONSTRUCTION DEBRIS RESULTING OF CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD STAKING.
 - BOLD CONTOUR LINES AND BOLD SPOT ELEVATIONS REPRESENT FINISHED GRADE AT PROJECT COMPLETION, (I.E. THE TOP OF FINISHED GRADE, TOP OF PAVEMENT OR TOP OF CURB).
 - ALL SPOT ELEVATIONS ARE PVMT. ELEVATIONS UNLESS NOTED OTHERWISE. SPOT ELEVATIONS FOLLOWED BY HP INDICATE HIGH POINTS. SPOT ELEVATIONS FOLLOWED BY TC INDICATES TOP OF CURB ELEVATION. SPOT ELEVATIONS NOTED TC + P INDICATE THAT TOP OF CURB ELEVATION EQUALS PAVEMENT ELEVATION.
 - SPOT ELEVATION CALL OUTS MAY BE TRUNCATED (i.e 55.50 MEANS 955.50).
 - ALL ELEVATIONS ARE ON NAVD 88 VERTICAL DATUM.
 - FOR BORING INFORMATION, SEE THE PROJECT GEOTECHNICAL REPORT.

- LEGEND**
- TC DENOTES TOP OF CURB ELEVATION
 - P DENOTES TOP OF PAVEMENT ELEVATION
 - TC+P DENOTES TOP OF CURB ELEVATION AND EQUALS TOP OF PAVEMENT ELEVATION
 - T.O.W. DENOTES TOP OF RETAINING WALL ELEVATION



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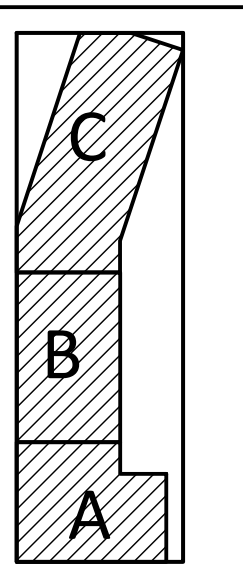
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KEY PLAN



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DOMINIQUE DAVISON
MO 6309061203

RELEASE SCHEDULE	DATE
1. PRELIMINARY	2024.03.15
2. CITY DEV. COMMENT RESPONSES	2024.03.31
3. CITY DEVELOPMENT PLAN RESUBMITTAL	

GRADING PLAN

C104

CITY DEVELOPMENT PLAN SUBMITTAL

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City Plan Commission
Recommends Approval with Conditions
of Case No **CD-CPC-2024-00012** on **6/18/2024**

Diane Binkkley, AICP
Secretary of the City Plan Commission

GENERAL NOTES

- THE STORM SEWER CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE CURRENT "CITY STANDARDS" AND SPECIFICATIONS OF THE PUBLIC WORKS DEPARTMENT, KANSAS CITY, MISSOURI, EXCEPT AS NOTED.
- ALL MANHOLES SHALL BE KANSAS CITY, MO STANDARD MH-PC PRECAST CONCRETE MANHOLES.
- ALL CURB INLETS ARE KANSAS CITY, MO STANDARD CH-1 (TYPE I).
- CONTRACTOR SHALL ESTABLISH ALL HORIZONTAL AND VERTICAL CONTROL IN CONFORMANCE WITH THE PLANS. VARIATIONS WILL REQUIRE ADVANCE APPROVAL IN WRITING FROM THE ARCHITECT OR ENGINEER.
- STREET, PARKING, SIDEWALK, CURBS AND DRIVEWAY CONSTRUCTION, INCLUDING RESTORATION AND SAW CUTTING, SHALL COMPLY WITH ALL KANSAS CITY, MISSOURI PUBLIC WORKS STANDARDS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND INSTALL ALL FITTINGS, SPECIFIED OR UNSPECIFIED, TO OBTAIN PROPER HORIZONTAL OR VERTICAL ALIGNMENT AND CONNECTION TO EXISTING SEWER SYSTEMS.
- THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE TAKEN FROM UTILITY COMPANY RECORDS OR FROM FIELD SURVEY OF SURFACE PROJECTIONS. THESE LOCATIONS ARE APPROXIMATE ONLY. THEY DO NOT CONSTITUTE ACTUAL FIELD LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- FOR UTILITY LOCATIONS, THE CONTRACTOR MAY UTILIZE THE FOLLOWING TOLL FREE PHONE NUMBER PROVIDED BY "MISSOURI ONE CALL SYSTEM, INC": 1-800-DIG-RITE.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL COMPANIES WHICH HAVE FACILITIES IN THE VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
- DISPOSAL OF ALL DEBRIS SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
- THE CONTRACTOR SHALL NOT DAMAGE ANY PRIVATE PROPERTY OUTSIDE THE SITE BOUNDARY. PUBLIC OR PRIVATE UTILITIES OR PUBLIC INFRASTRUCTURE, ANY DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING TO FINISHED GRADE, ANY MANHOLE TOPS, VALVE COVERS, METER COVERS AND ANY OTHER SURFACE PROJECTIONS TO REMAIN.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE VISUAL INSPECTION OF THE PROJECT AREA SO AS TO FAMILIARIZE HIMSELF WITH THE SCOPE OF THE WORK AND THE REQUIREMENTS FOR COMPLETING THE WORK.
- THE CONTRACTOR'S WORK SHALL NOT INTERFERE WITH EXISTING TRAFFIC FLOW, EXCEPT AS NOTED. ANY LANE CLOSING SHALL BE COORDINATED WITH AND PERMITTED BY THE TRAFFIC DEPARTMENT. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE CITY OF KANSAS CITY, MISSOURI FOR REVIEW AND APPROVAL. ALL TRAFFIC SIGNS AND PAVEMENT MARKING MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

GENERAL NOTES FOR WATER SERVICE LINE:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR WATER MAIN EXTENSIONS AND RELOCATIONS OF THE KANSAS CITY, MISSOURI WATER SERVICES DEPARTMENT.
- ALL WORKMANSHIP AND MATERIALS SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE WATER SERVICES DEPARTMENT OF THE CITY OF KANSAS CITY, MISSOURI.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL FITTINGS REQUIRED TO PROVIDE PROPER HORIZONTAL AND VERTICAL ALIGNMENTS FOR NEW WATER CONNECTIONS TO EXISTING WATER MAINS AND SERVICE LINES AT THE PROPER LOCATION AND ELEVATION. WHETHER OR NOT THE FITTINGS ARE CALLED OUT ON THESE PLANS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL, AT NO EXTRA COST, ALL TEMPORARY BLOW-OFF ASSEMBLIES AND ALL FITTINGS, TESTING, CHLORINATION, DECHLORINATION AND FLUSHING THE NEW WATER SERVICE LINES.
- ALL JOINTS SHALL BE OBSERVED UNDER LINE PRESSURE FOR PRESSURE TEST.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL ASBUILT FIELD NOTES AND PLANS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL VALVES AND FITTINGS NECESSARY FOR CONNECTIONS TO THE EXISTING WATER SUPPLY MAINS AT THE LOCATION SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATIONS, MATERIAL AND SIZE OF ALL EXISTING MAINS AND FACILITIES BEFORE ORDERING NEW MATERIAL. NO EXTRA PAYMENT SHALL BE MADE FOR ANY VARIATIONS IF FOUND.
- CONSTRUCTION STAKING FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE GRADING CONTRACTOR.
- ALL WATER SERVICE LINES THROUGHOUT THIS PROJECT SHALL HAVE MINIMUM COVER OF 4 FEET AND A MAXIMUM COVER OF 5 FEET.
- ALL FITTINGS FOR SERVICE CONNECTIONS FOR FIRE PROTECTION AND DOMESTIC WATER SHALL BE INSTALLED BY THE CONTRACTOR.

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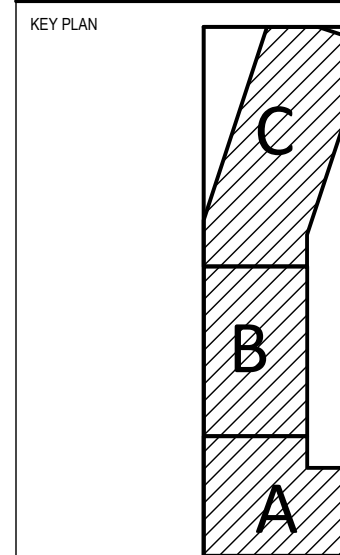
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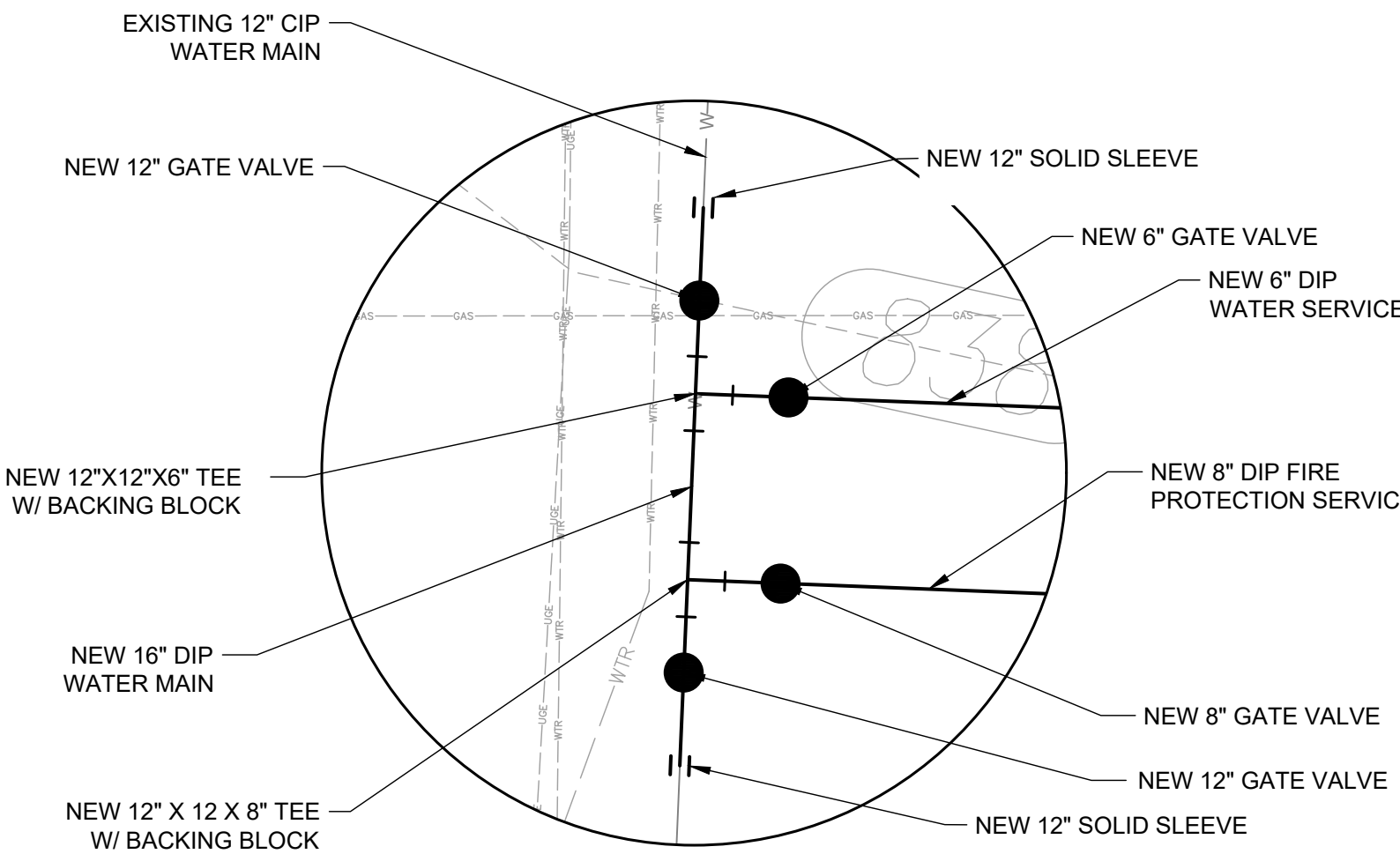
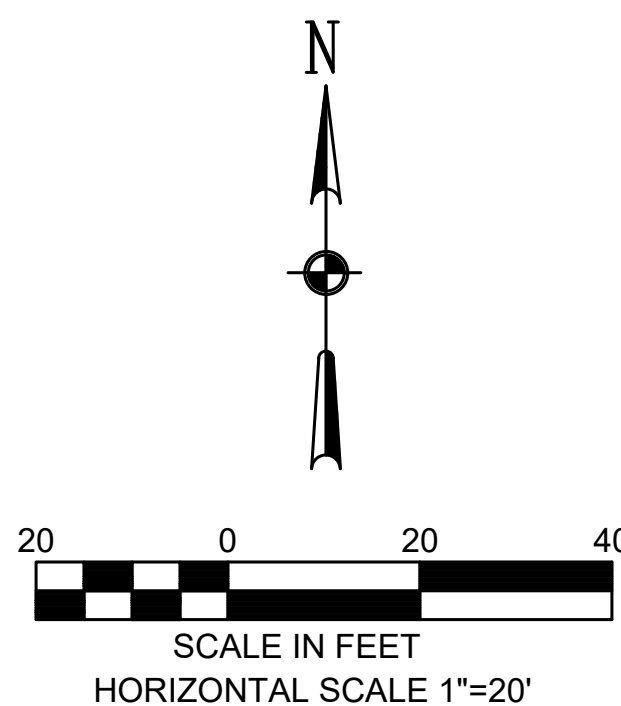
DOMINIQUE DAVISON MO 639061030
RELEASE SCHEDULE
NO. 1 RELEASE
CITY DEV. COMMENT
RESPONSES
CITY DEVELOPMENT PLAN
RESUBMITTAL
DATE
2024.03.15
2024.05.31

UTILITY PLAN

C105

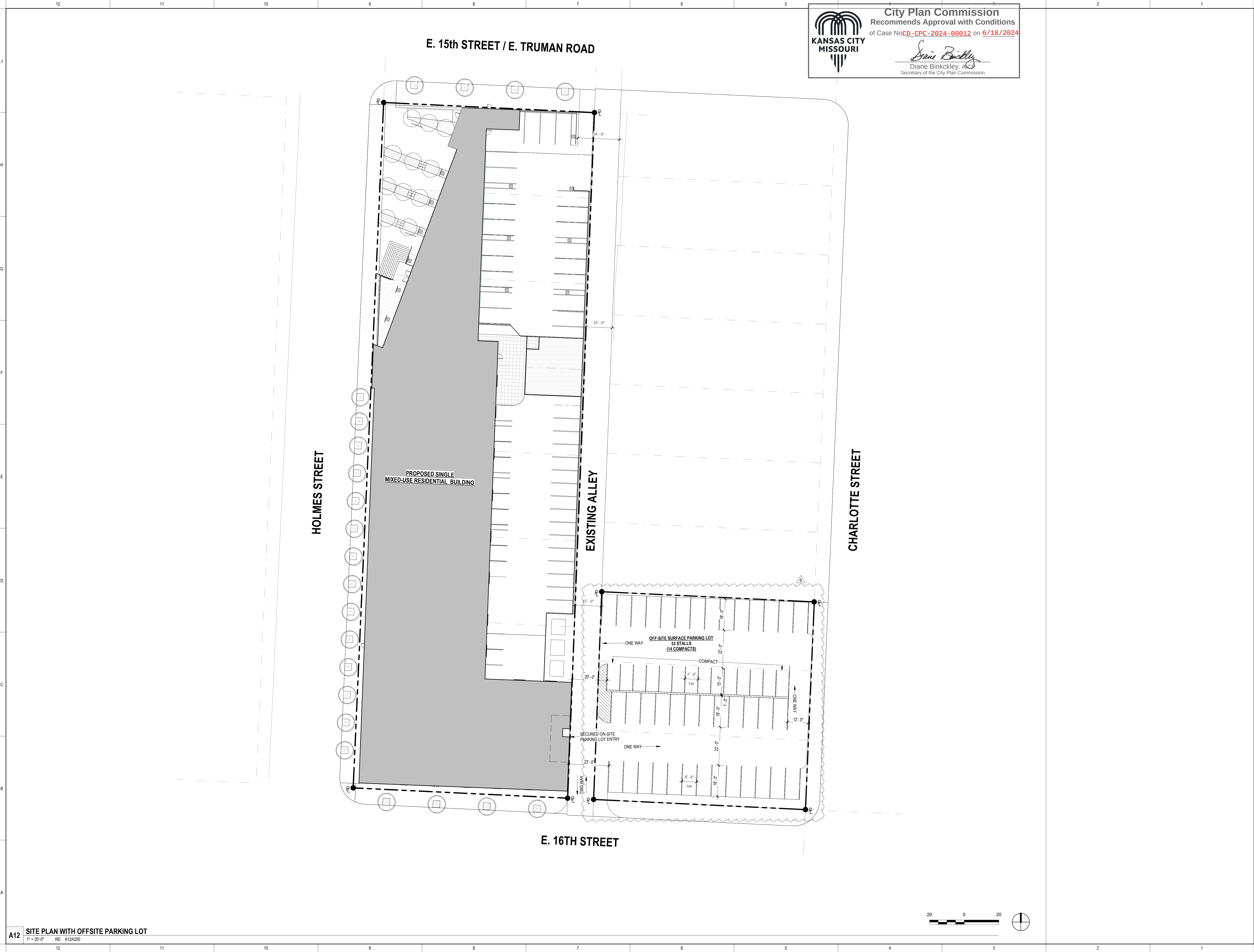
CITY DEVELOPMENT PLAN SUBMITTAL

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DETAIL 1 - WATER SERVICE CONNECTION

NOTE: ALL WATER SERVICE INSTALLATIONS INCLUDING
BACKFLOW DEVICES ARE SUBJECT TO FIELD VERIFICATION AND
APPROVAL BY THE WATER DEPARTMENT INSPECTOR.





City Plan Commission

Recommends Approval with Conditions

of Case No **CD-CPC-2024-00012** on **6/18/2024**



Diane Binkkley, M.D.
Secretary of the City Plan Commission

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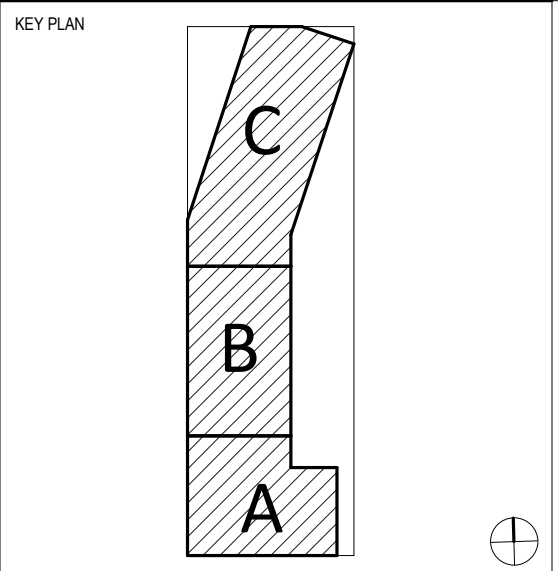
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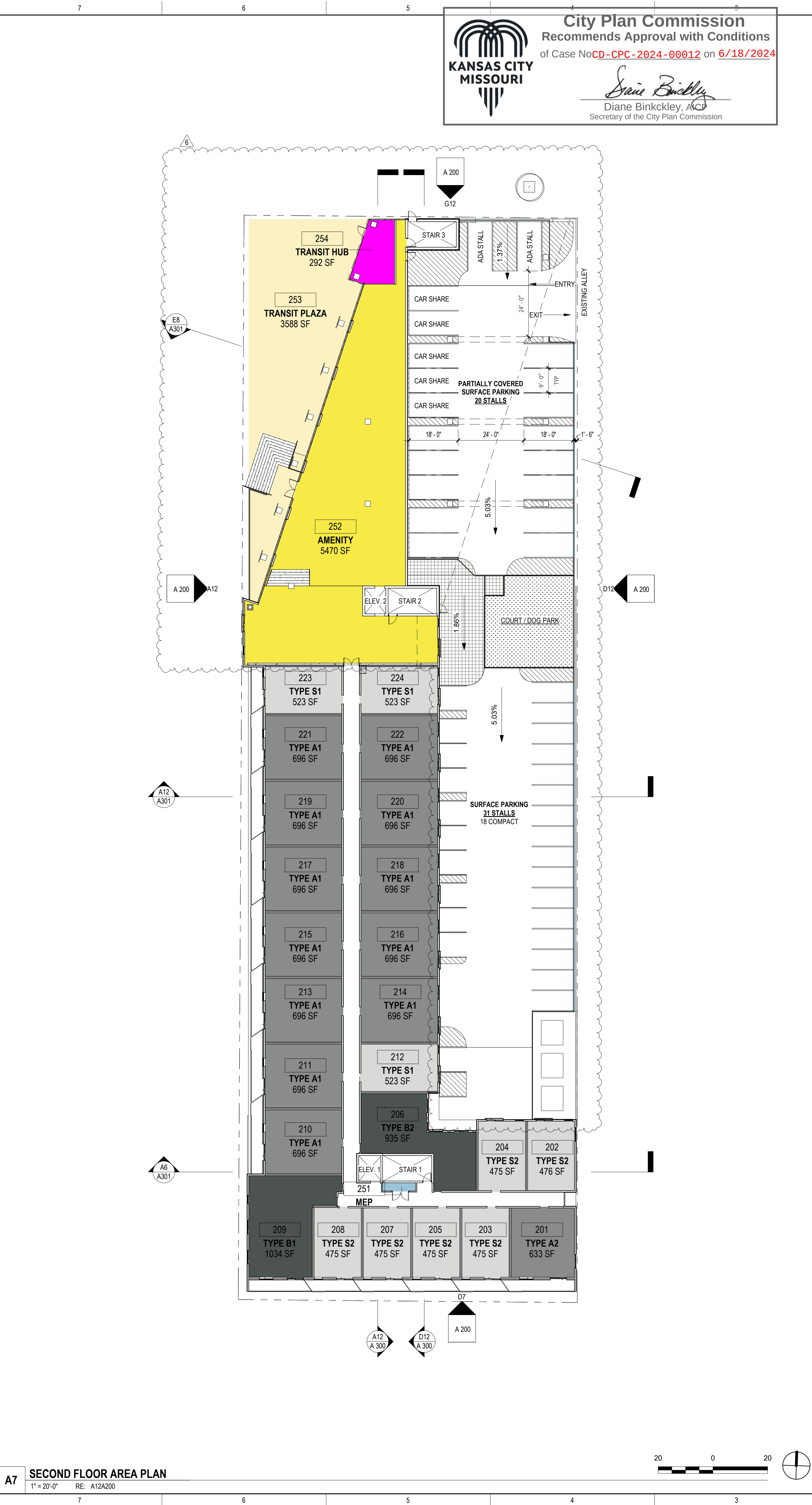
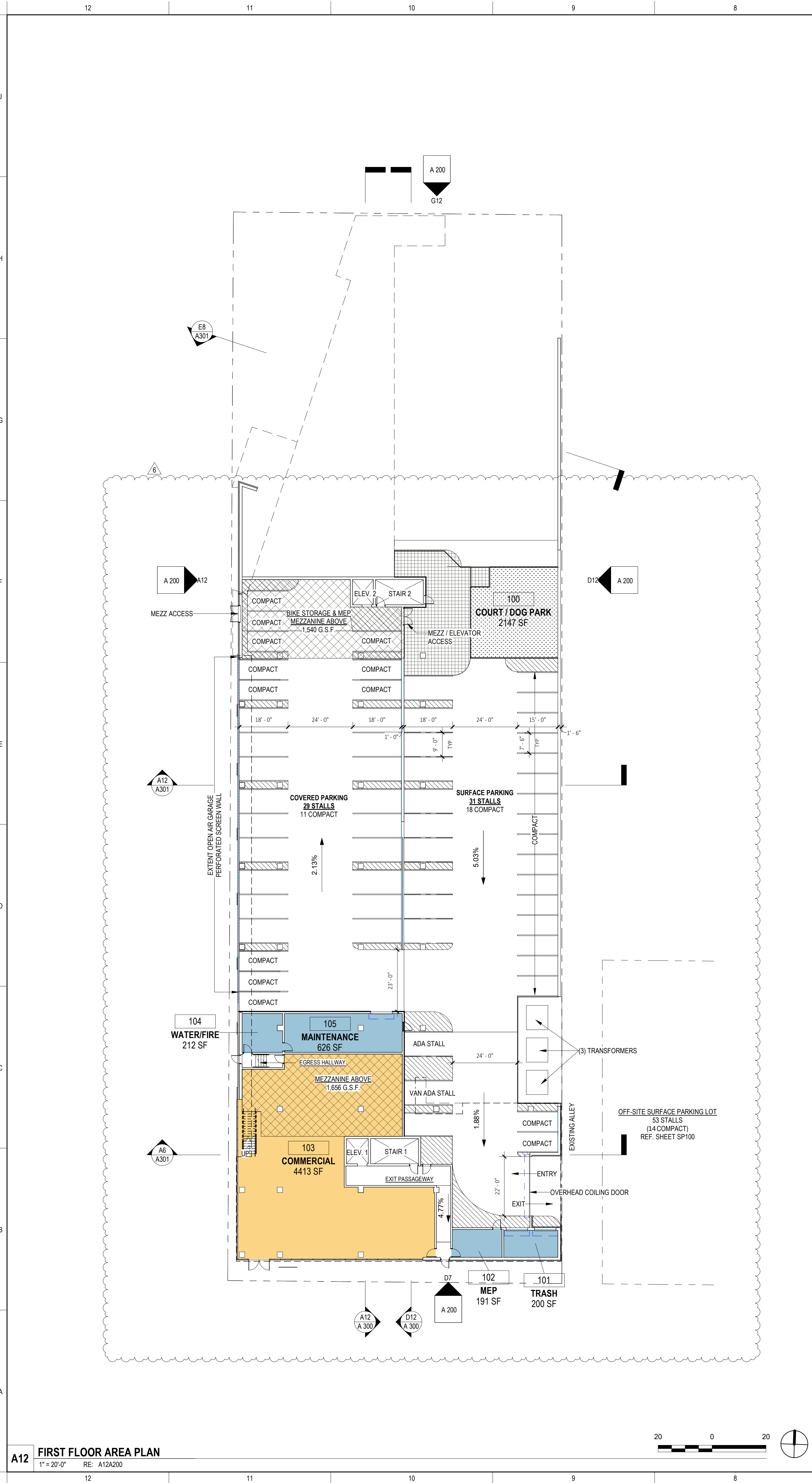
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DOMINIQUE DAVISON		MO 0205001201
RELEASE SCHEDULE		
NO.	RELEASE	DATE
5	ADDITIONAL DRC REQUEST	2024.03.19
6	CITY DEVELOPMENT PLAN RESUBMITTAL	2024.05.31

SITE PLAN WITH PROPOSED
OFF-SITE PARKING LOT LAYOUT

SP100

CITY DEVELOPMENT PLAN SUBMITTAL



ROOM SCHEDULE				
LEVEL	NUMBER	NAME	AREA	OCCUPANCY
FIRST FLOOR	100	COURT / DOG PARK	2147 SF	A-3 (ASSEMBLY)
FIRST FLOOR	101	TRASH	200 SF	S-2 (STORAGE)
FIRST FLOOR	102	MEP	191 SF	S-1 (STORAGE)
FIRST FLOOR	103	COMMERCIAL	4413 SF	B (BUSINESS)
FIRST FLOOR	104	WATER/FIRE	212 SF	S-1 (STORAGE)
FIRST FLOOR	105	MAINTENANCE	626 SF	S-2 (STORAGE)
MEZZANINE	209	MEP	217 SF	S-2 (STORAGE)
MEZZANINE	210	MEP	269 SF	S-2 (STORAGE)
MEZZANINE	211	LONG TERM BIKE	850 SF	S-2 (STORAGE)
SECOND FLOOR - 2.2	201	TYPE A2	633 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	202	TYPE S2	476 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	203	TYPE S2	475 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	204	TYPE S2	475 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	205	TYPE S2	475 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	206	TYPE B2	935 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	207	TYPE S2	475 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	208	TYPE S2	475 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	209	TYPE B1	1034 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	210	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	211	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	212	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	213	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	214	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	215	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	216	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	217	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	218	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	219	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	220	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	221	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	222	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	223	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	224	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SECOND FLOOR - 2.2	225	MEP	37 SF	S-1 (STORAGE)
SECOND FLOOR - 2.2	226	AMENITY	5470 SF	A-3 (ASSEMBLY) / B (BUSINESS)
SECOND FLOOR - 2.2	253	TRANSIT PLAZA	3588 SF	N/A
SECOND FLOOR - 2.2	254	TRANSIT HUB	292 SF	A-3 (ASSEMBLY)

AREA PLAN - UNIT TYPE LEGEND				
	STUDIO UNIT			
	1 BEDROOM UNIT			
	2 BEDROOM UNIT			

BUILDING AREA BREAKDOWN				
1ST FLOOR	7,158 G.S.F.	TYPE IA TOTAL AREA = 10,354 G.S.F.		
MEZZANINE	1,656 (TENANT) + 1,540 G.S.F. = 3,196 G.S.F.			
2ND FLOOR	6,460 + 17,346 G.S.F. = 23,806 G.S.F.			
3RD FLOOR	28,610 G.S.F.	TYPE IIB TOTAL AREA = 138,246 G.S.F.		
4TH FLOOR	28,610 G.S.F.			
5TH FLOOR	28,610 G.S.F.			
6TH FLOOR	28,610 G.S.F.			
FUTURE ROOF DECK	4,500 G.S.F.			
TOTAL	148,600 G.S.F. (NOT INCLUDING FUTURE ROOFTOP & COVERED / UNCOVERED PARKING LOTS)			

UNIT SCHEDULE - 184 UNITS				
UNITS	STUDIO	1 BED	2BED	TOTAL
1ST FLOOR	-	-	-	-
2ND FLOOR	9	13	2	24
3RD FLOOR	19	19	2	40
4TH FLOOR	19	19	2	40
5TH FLOOR	19	19	2	40
6TH FLOOR	19	19	2	40
TOTAL	85 (46%)	89 (49%)	10 (5%)	184

PARKING BREAKDOWN			
LEVEL	COUNT	TYPE	# OF COMPACT
1ST FLOOR	53	SOUTHEAST CORNER SURFACE PARKING	14
1ST FLOOR	29	COVERED & SCREENED PARKING	11
1ST FLOOR	31	UNCOVERED SURFACE PARKING	18
2ND FLOOR	20	PARTIALLY COVERED SURFACE PARKING	0
TOTAL	133	184 UNITS	43
		.72 UNIT TO PARKING RATIO	

OWNER:
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KEY PLAN

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DOMINIQUE DAVISON
NO 0209091201

RELEASE SCHEDULE
NO. 4
CITY DEV. COMMENT
RESPONSES
CITY DEVELOPMENT PLAN
RESUBMITTAL

DATE
2024.03.15
2024.05.31

AREA PLANS
A 100
CITY DEVELOPMENT PLAN SUBMITTAL

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BUILDING AREA BREAKDOWN				
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MEZZANINE	1,659 (TENANT)	1,540 G.S.F. ±	3,196 G.S.F.	
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TOTAL	146,600 G.S.F. (NOT INCLUDING FUTURE ROOFTOP & COVERED / UNCOVERED PARKING LOTS)			

7

UNIT SCHEDULE - 184 UNITS				
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8

6

PARKING BREAKDOWN				
LEVEL	COUNT	TYPE	# OF COMPANY	
1ST FLOOR	59	SOUTHEAST CORNER SURFACE PARKING	14	
1ST FLOOR	23	COVERED & SCREENED PARKING	11	
1ST FLOOR	31	UNCOVERED SURFACE PARKING	18	
2ND FLOOR	20	PARTIALLY COVERED SURFACE PARKING	0	
TOTAL	133	184 UNITS	43	

9

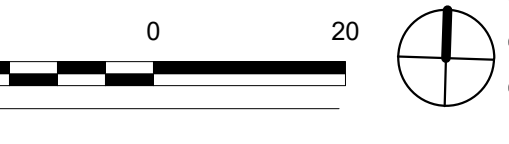
72 UNIT TO PARKING RATIO

DRAW

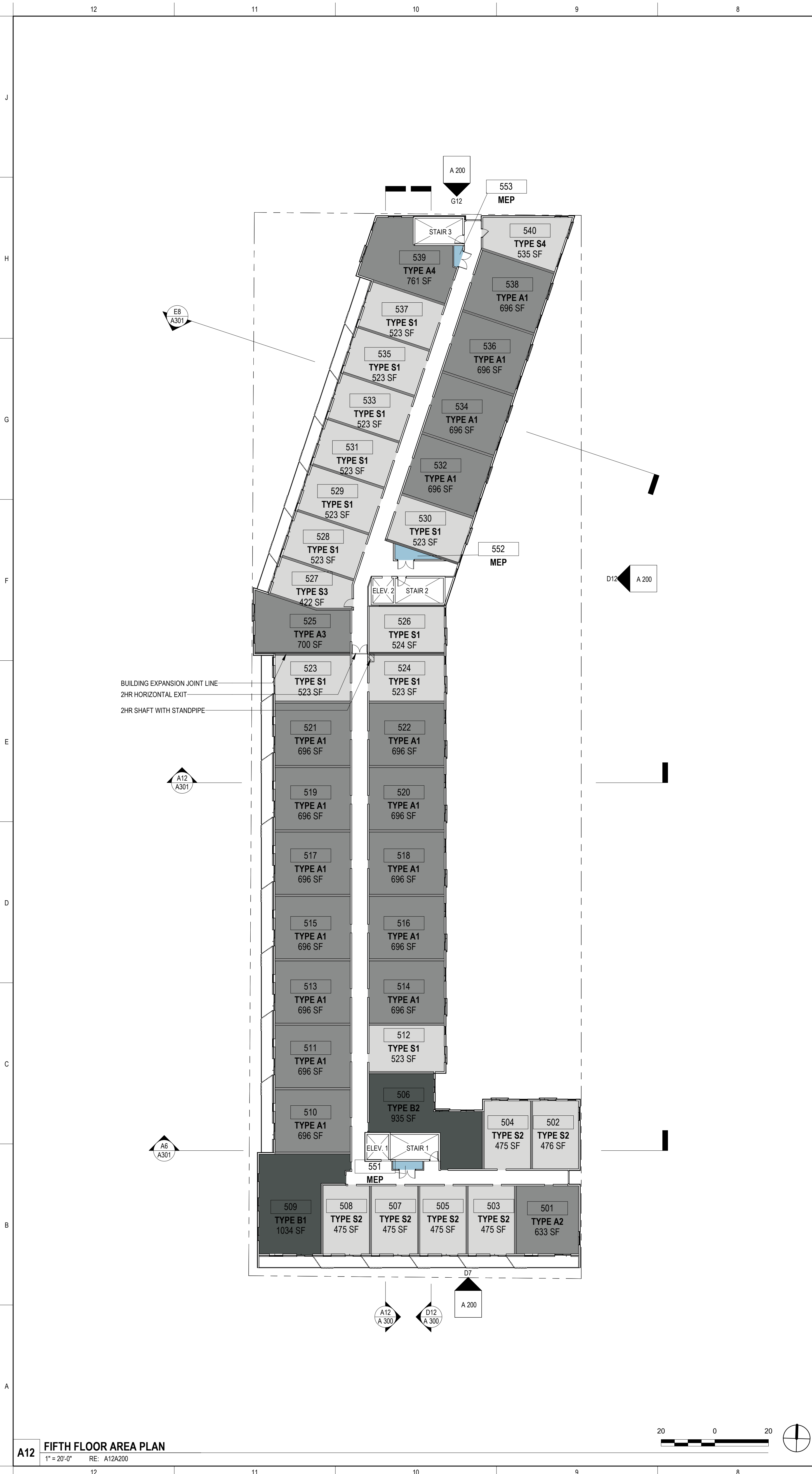
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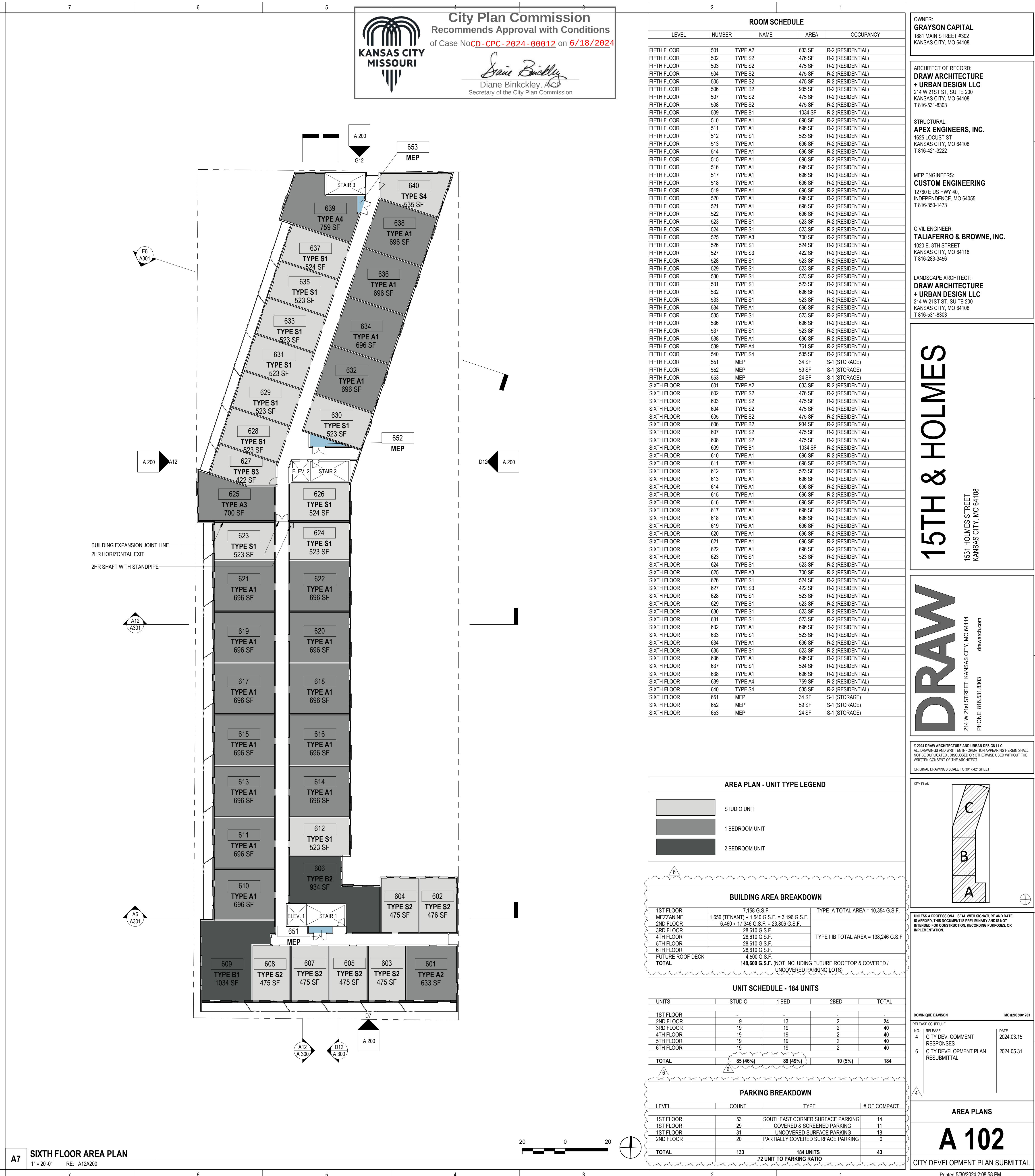
ORIGINAL DRAWINGS SCALE TO 30" X 42" SHEET



A 101



A12 FIFTH FLOOR AREA PLAN
1" = 20'-0"
RE: A12A200



A17 SIXTH FLOOR AREA PLAN
1" = 20'-0"
RE: A12A200

City Plan Commission
Recommends Approval with Conditions
of Case No **CD-CPC-2024-00012** on **6/18/2024**

Diane Binkley, AIC
Secretary of the City Plan Commission

ROOM SCHEDULE				
LEVEL	NUMBER	NAME	AREA	OCCUPANCY
FIFTH FLOOR	501	TYPE A2	633 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	502	TYPE S2	476 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	503	TYPE S2	475 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	504	TYPE S2	475 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	505	TYPE S2	475 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	506	TYPE B2	935 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	507	TYPE S2	475 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	508	TYPE S2	475 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	509	TYPE B1	1034 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	510	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	511	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	512	TYPE S1	523 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	513	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	514	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	515	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	516	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	517	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	518	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	519	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	520	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	521	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	522	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	523	TYPE S1	523 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	524	TYPE S1	523 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	525	TYPE A3	700 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	526	TYPE S1	524 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	527	TYPE S3	422 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	528	TYPE S1	523 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	529	TYPE S1	523 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	530	TYPE S1	523 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	531	TYPE S1	523 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	532	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	533	TYPE S1	523 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	534	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	535	TYPE S1	523 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	536	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	537	TYPE S1	523 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	538	TYPE A1	696 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	539	TYPE A4	761 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	540	TYPE S4	535 SF	R-2 (RESIDENTIAL)
FIFTH FLOOR	541	MEP	24 SF	S-1 (STORAGE)
FIFTH FLOOR	542	MEP	24 SF	S-1 (STORAGE)
FIFTH FLOOR	543	MEP	24 SF	S-1 (STORAGE)
SIXTH FLOOR	601	TYPE A2	633 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	602	TYPE S2	476 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	603	TYPE S2	475 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	604	TYPE S2	475 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	605	TYPE S2	475 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	606	TYPE B2	934 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	607	TYPE S2	475 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	608	TYPE S2	475 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	609	TYPE B1	1034 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	610	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	611	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	612	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	613	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	614	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	615	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	616	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	617	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	618	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	619	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	620	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	621	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	622	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	623	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	624	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	625	TYPE A3	700 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	626	TYPE S1	524 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	627	TYPE S3	422 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	628	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	629	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	630	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	631	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	632	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	633	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	634	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	635	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	636	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	637	TYPE S1	523 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	638	TYPE A1	696 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	639	TYPE A4	759 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	640	TYPE S4	535 SF	R-2 (RESIDENTIAL)
SIXTH FLOOR	641	MEP	24 SF	S-1 (STORAGE)
SIXTH FLOOR	642	MEP	24 SF	S-1 (STORAGE)
SIXTH FLOOR	643	MEP	24 SF	S-1 (STORAGE)

AREA PLAN - UNIT TYPE LEGEND

STUDIO UNIT
1 BEDROOM UNIT
2 BEDROOM UNIT

BUILDING AREA BREAKDOWN

1ST FLOOR	7,198 G.S.F.	TYPE IA TOTAL AREA = 10,354 G.S.F.
MEZZANINE	1,656 (TENANT) + 1,540 G.S.F. = 3,196 G.S.F.	
2ND FLOOR	6,490 + 17,348 G.S.F. = 23,838 G.S.F.	
3RD FLOOR	28,810 G.S.F.	TYPE IIB TOTAL AREA = 138,246 G.S.F.
4TH FLOOR	28,810 G.S.F.	
5TH FLOOR	28,810 G.S.F.	
6TH FLOOR	28,810 G.S.F.	
FUTURE ROOF DECK	4,500 G.S.F.	
TOTAL	148,600 G.S.F. (NOT INCLUDING FUTURE ROOFTOP & COVERED / UNCOVERED PARKING LOTS)	

UNIT SCHEDULE - 184 UNITS

UNITS	STUDIO	1 BED	2 BED	TOTAL
1ST FLOOR	-	-	-	-
2ND FLOOR	9	13	2	24
3RD FLOOR	19	19	2	40
4TH FLOOR	19	19	2	40
5TH FLOOR	19	19	2	40
6TH FLOOR	19	19	2	40
TOTAL	85 (46%)	89 (49%)	10 (5%)	184

PARKING BREAKDOWN

LEVEL	COUNT	TYPE	# OF COMPACT
1ST FLOOR	53	SOUTHEAST CORNER SURFACE PARKING	14
1ST FLOOR	29	COVERED & SCREENED PARKING	11
1ST FLOOR	31	UNCOVERED SURFACE PARKING	18
2ND FLOOR	20	PARTIALLY COVERED SURFACE PARKING	0
TOTAL	133	184 UNITS	43
		.72 UNIT TO PARKING RATIO	

OWNER:
GRAYSON CAPITAL
1881 MAIN STREET #302
KANSAS CITY, MO 64108

ARCHITECT OF RECORD:
DRAW ARCHITECTURE + URBAN DESIGN LLC
214 W 21ST ST, SUITE 200
KANSAS CITY, MO 64108
T 816-531-8303

STRUCTURAL:
APEX ENGINEERS, INC.
1625 LOCUST ST
KANSAS CITY, MO 64108
T 816-421-3222

MEP ENGINEERS:
CUSTOM ENGINEERING
12708 E US HWY 40,
INDEPENDENCE, MO 64055
T 816-350-1473

CIVIL ENGINEER:
TALIAFERRO & BROWNE, INC.
1020 E 8TH STREET
KANSAS CITY, MO 64118
T 816-285-3456

LANDSCAPE ARCHITECT:
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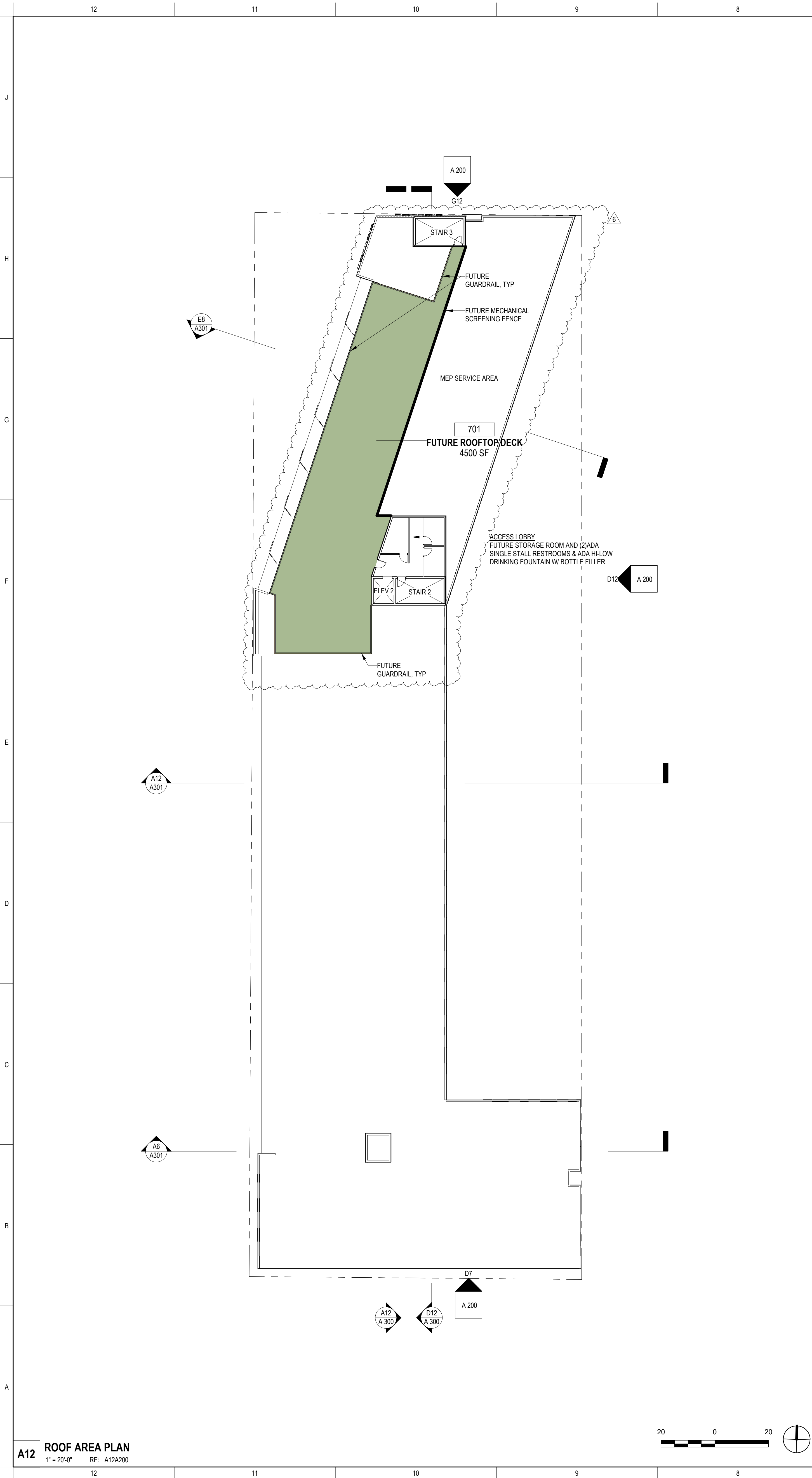
DOMINIQUE DAVISON NO 0000001001

RELEASE SCHEDULE
4 CITY DEV. COMMENT RESPONSES
6 CITY DEVELOPMENT PLAN RESUBMITTAL

DATE
2024.03.15
2024.05.31

AREA PLANS
A 102
CITY DEVELOPMENT PLAN SUBMITTAL

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City Plan Commission

Recommends Approval with Conditions

of Case No **CD-CPC-2024-00012** on **6/18/2024**



Diane Binkckley, AICP
Secretary of the City Plan Commission

ROOM SCHEDULE				
LEVEL	NUMBER	NAME	AREA	OCCUPANCY
ROOF	701	FUTURE ROOFTOP DECK	1494 SF	A-3 (ASSEMBLY)

OWNER:
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KANSAS CITY, MO 64108

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T 816-421-3222

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CUSTOM ENGINEERING
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INDEPENDENCE, MO 64055
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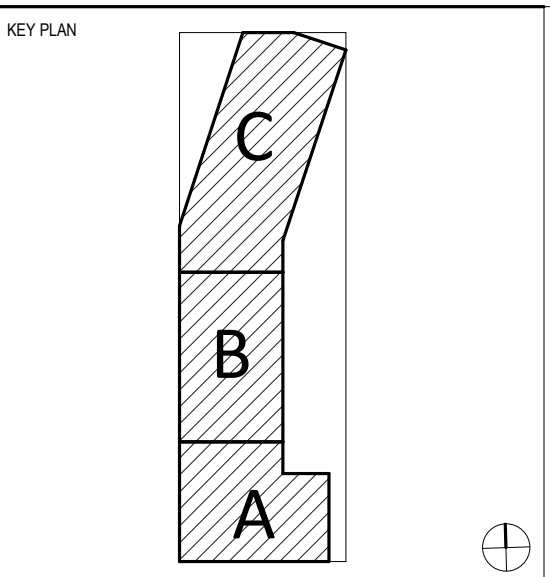
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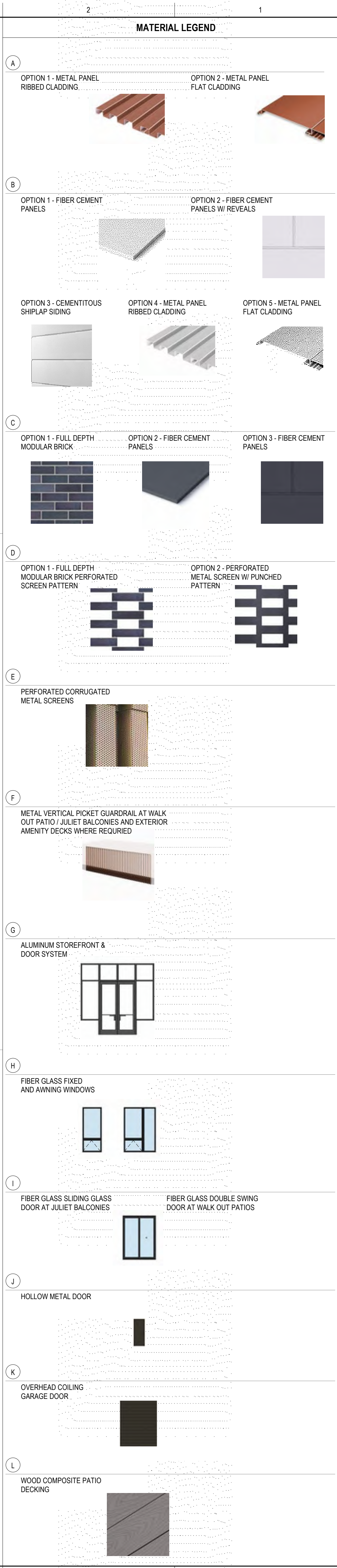
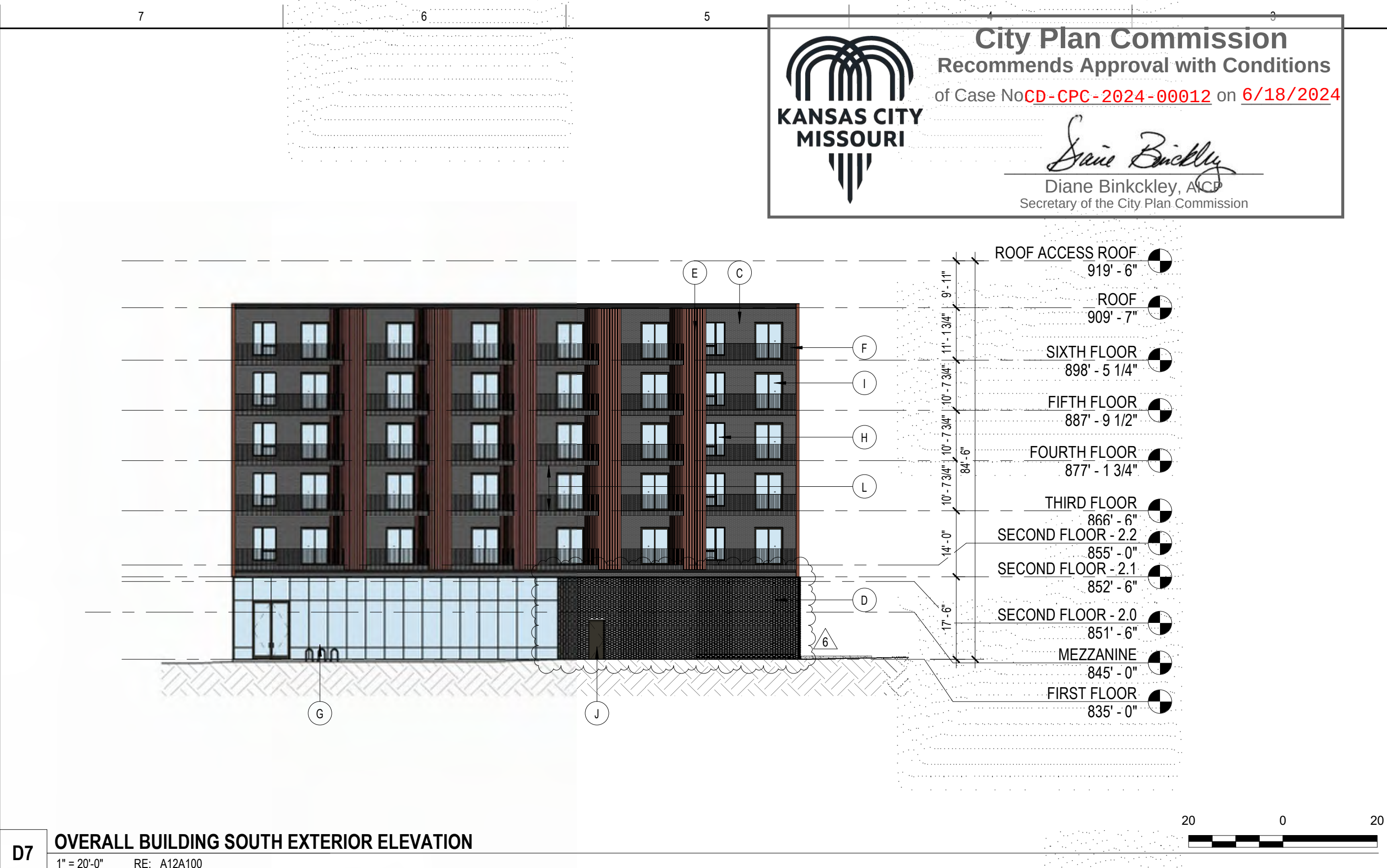
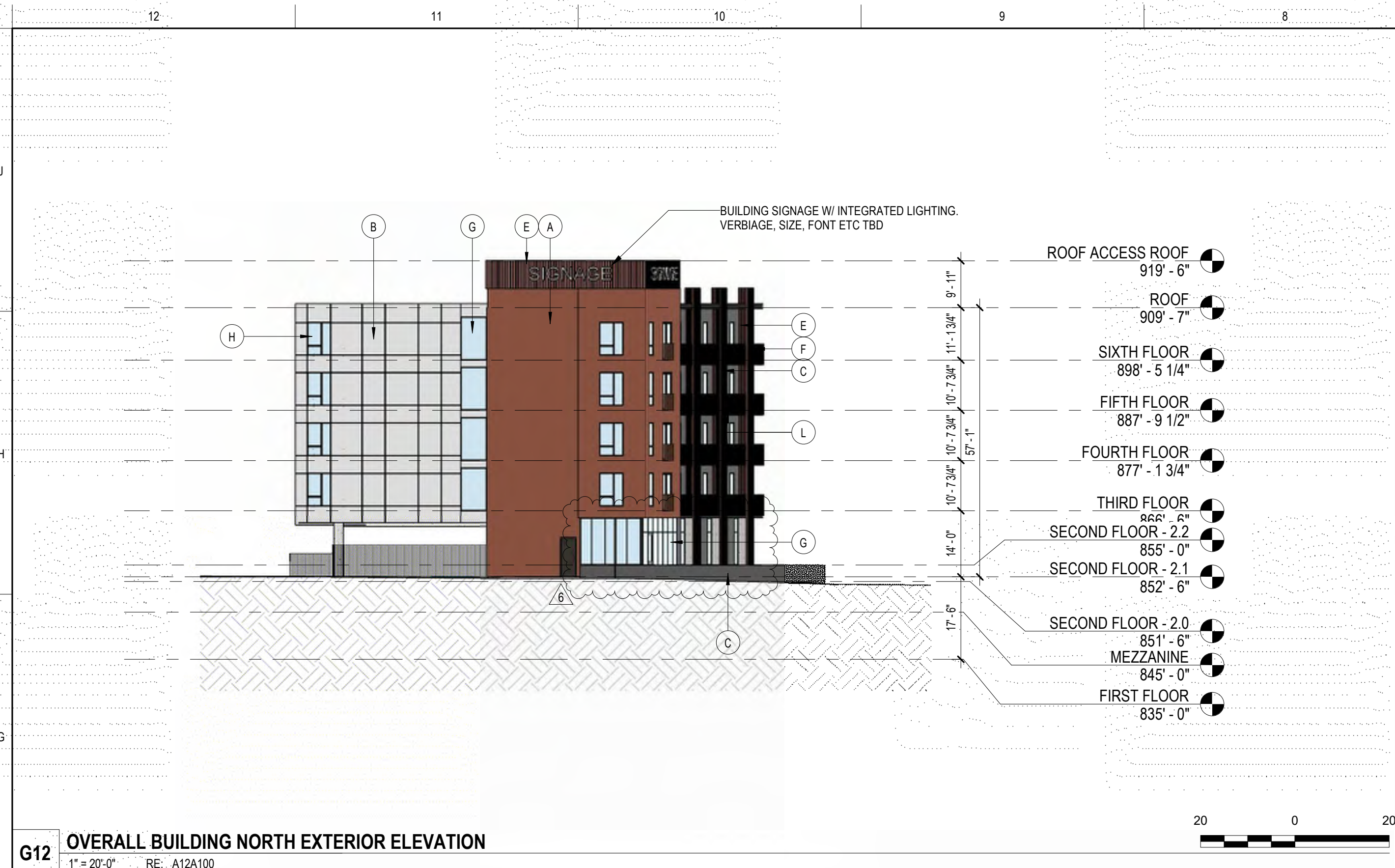
DOWNIQUE DAVISON		MO 8205001201
RELEASE SCHEDULE		
NO. 4	RELEASE	DATE 2024.03.15
6	CITY DEV. COMMENT RESPONSES	
	CITY DEVELOPMENT PLAN RESUBMITTAL	2024.05.31

AREA PLANS

A 103

CITY DEVELOPMENT PLAN SUBMITTAL

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12700 E US HWY 40,
INDEPENDENCE, MO 64055
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CIVIL ENGINEER:
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DONNIQUE DAVISON NO 82895991203

RELEASE SCHEDULE
NO. RELEASE DATE
3 CITY DEVELOPMENT PLAN SUBMITTAL 2024.02.09
6 CITY DEVELOPMENT PLAN RESUBMITTAL 2024.05.31

RENDERED EXTERIOR ELEVATIONS

A 200
CITY DEVELOPMENT PLAN SUBMITTAL

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City Plan Commission

Recommends Approval with Conditions

of Case No **CD-CPC-2024-00012** on **6/18/2024**



Diane Binkkley, AICP

Secretary of the City Plan Commission

OWNER:
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T 816-255-3456

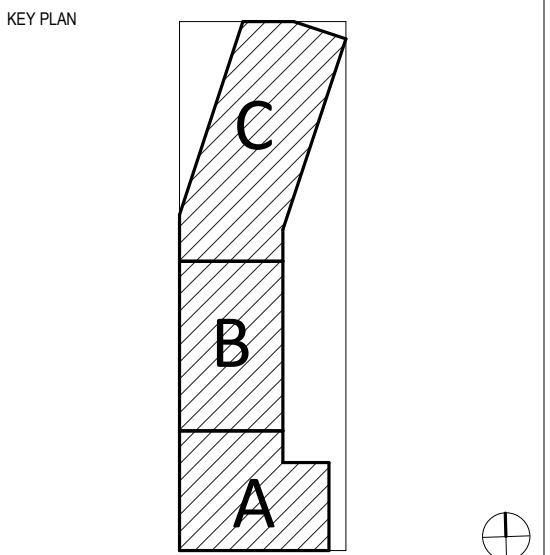
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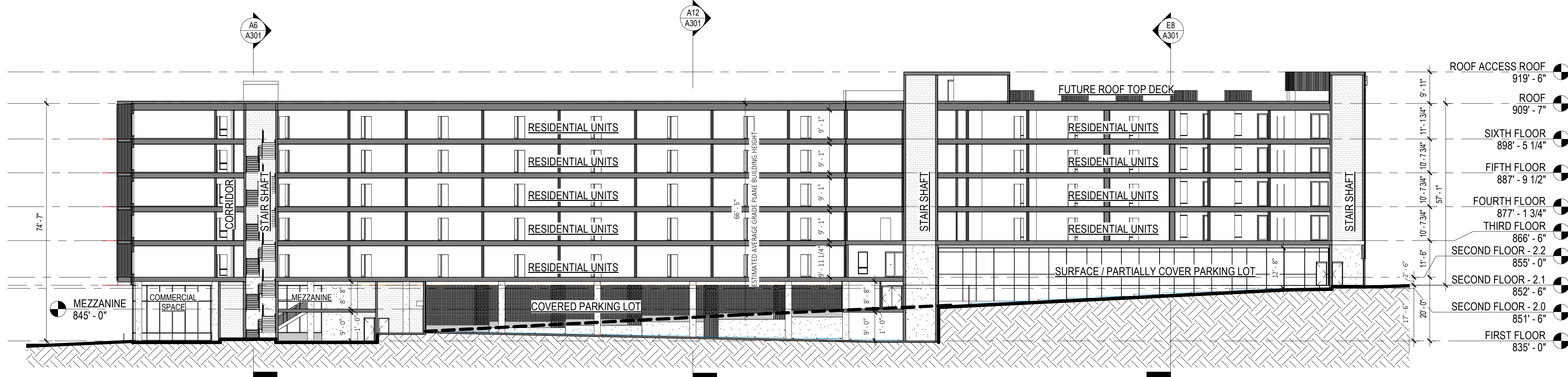
DONNIQUE DAVISON		NO 0205091201
RELEASE SCHEDULE	NO.	DATE
1. RELEASE	4	2024.03.15
2. CITY DEV. COMMENT		
3. RESPONSES		
4. CITY DEVELOPMENT PLAN		2024.05.31
5. RESUBMITTAL		

BUILDING SECTIONS

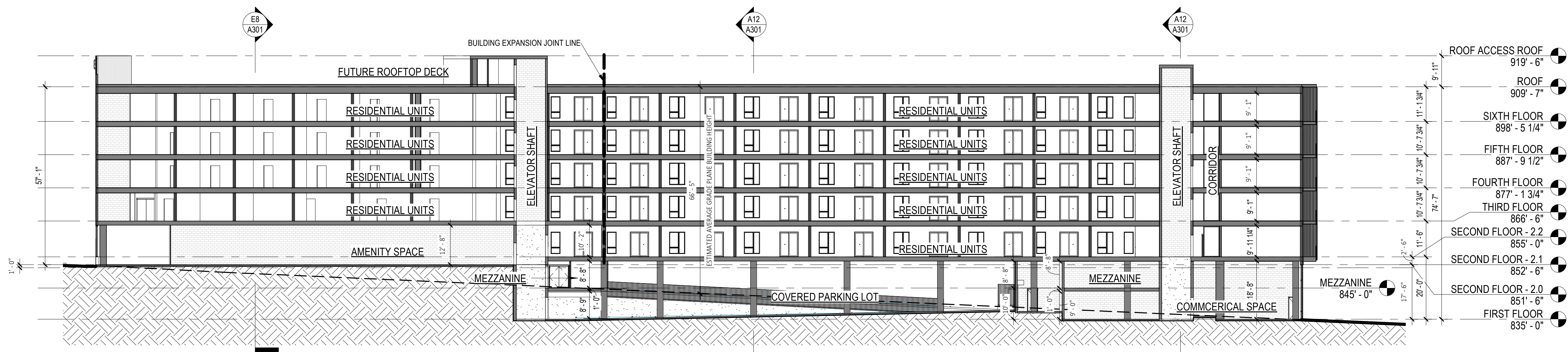
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CITY DEVELOPMENT PLAN SUBMITTAL

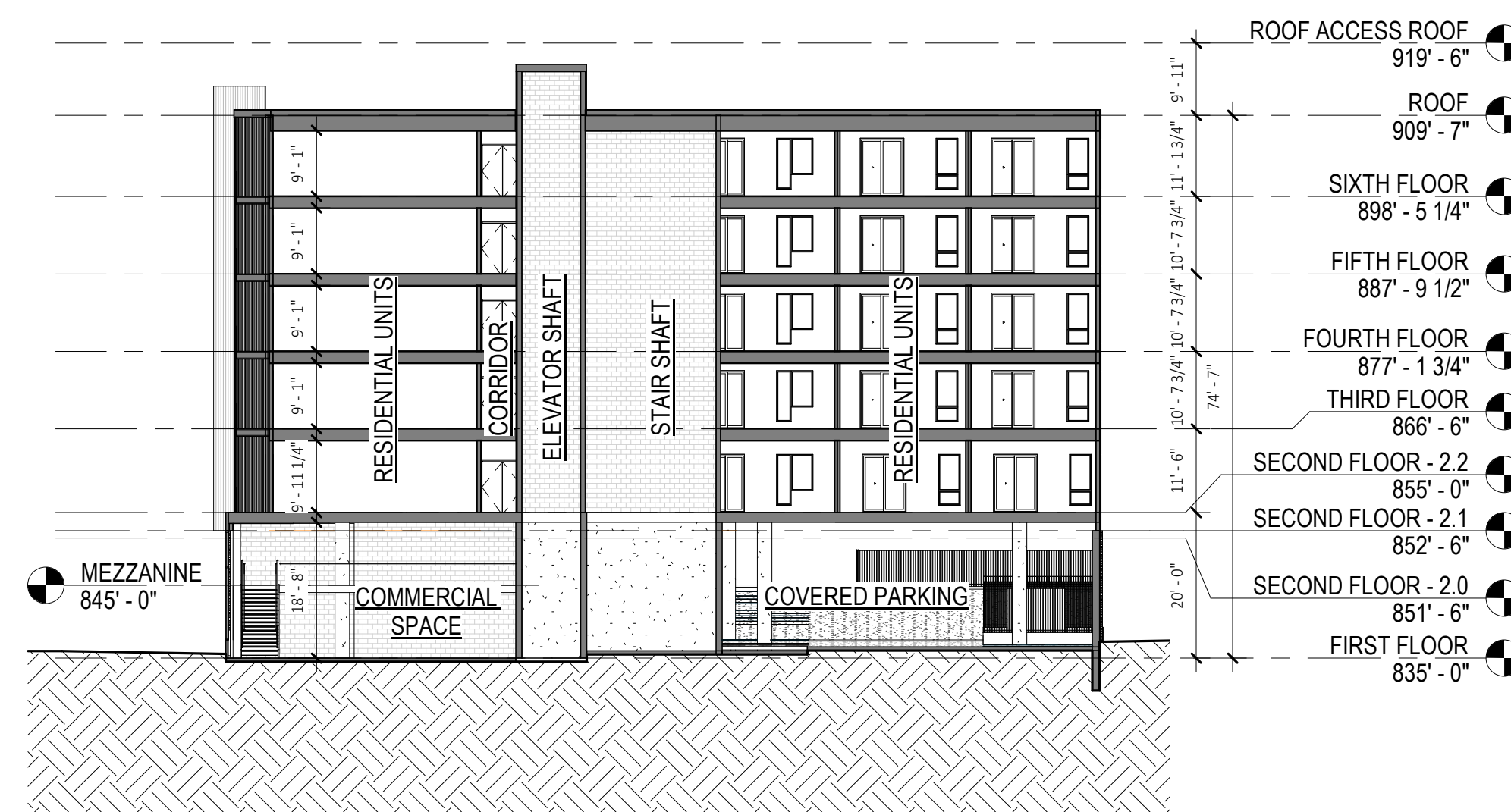
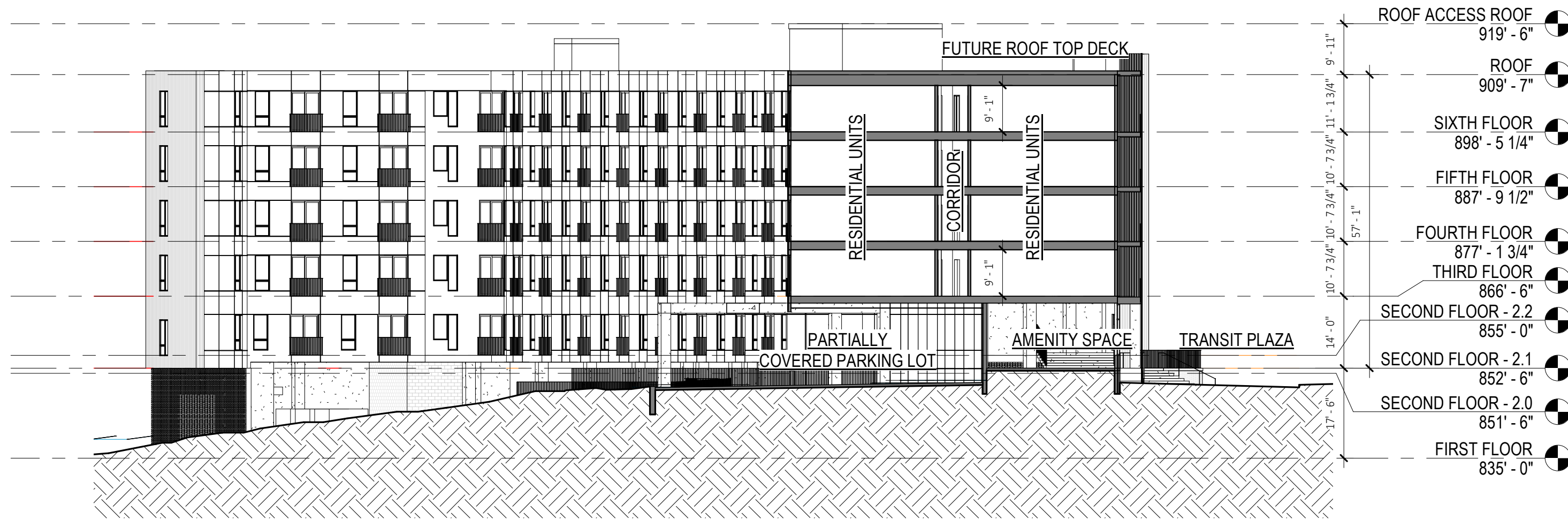
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D12 NORTH-SOUTH OVERALL BUILDING SECTION LOOKING WEST
1" = 20'-0" RE: A12A100



A12 NORTH-SOUTH OVERALL BUILDING SECTION LOOKING EAST
1" = 20'-0" RE: A12A100



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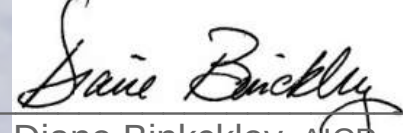




City Plan Commission

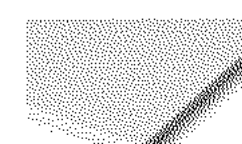
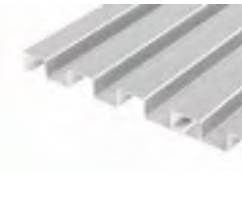
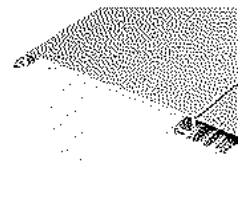
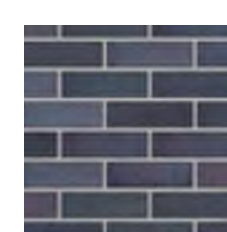
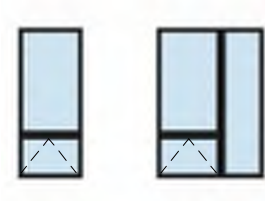
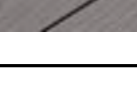
Recommends Approval with Conditions

of Case No **CD-CPC-2024-00012** on **6/18/2024**



Diane Binkckley, AICP

Secretary of the City Plan Commission

MATERIAL LEGEND	
2 1	
A OPTION 1 - METAL PANEL RIBBED CLADDING OPTION 2 - METAL PANEL FLAT CLADDING  	
B OPTION 1 - FIBER CEMENT PANELS OPTION 2 - FIBER CEMENT PANELS W/ REVEALS  	
OPTION 3 - CEMENTITIOUS SHIPLAP SIDING OPTION 4 - METAL PANEL RIBBED CLADDING OPTION 5 - METAL PANEL FLAT CLADDING   	
C OPTION 1 - FULL DEPTH MODULAR BRICK OPTION 2 - FIBER CEMENT PANELS OPTION 3 - FIBER CEMENT PANELS   	
D OPTION 1 - FULL DEPTH MODULAR BRICK PERFORATED SCREEN PATTERN OPTION 2 - PERFORATED METAL SCREEN W/ PUNCHED PATTERN  	
E PERFORATED CORRUGATED METAL SCREENS 	
F METAL VERTICAL PICKET GUARDRAIL AT WALK OUT PATIO / JULIET BALCONIES AND EXTERIOR AMENITY DECKS WHERE REQUIRED 	
G ALUMINUM STOREFRONT & DOOR SYSTEM 	
H FIBER GLASS FIXED AND AWNING WINDOWS 	
I FIBER GLASS SLIDING GLASS DOOR AT JULIET BALCONIES FIBER GLASS DOUBLE SWING DOOR AT WALK OUT PATIOS  	
J HOLLOW METAL DOOR 	
K OVERHEAD COILING GARAGE DOOR 	
L WOOD COMPOSITE PATIO DECKING	
2 1	

OWNER:
GRAYSON CAPITAL
1881 MAIN STREET #302
KANSAS CITY, MO 64108

ARCHITECT OF RECORD:
**DRAW ARCHITECTURE
+ URBAN DESIGN LLC**
214 W 21ST ST, SUITE 200
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STRUCTURAL:
APEX ENGINEERS, INC.
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MEP ENGINEERS:
CUSTOM ENGINEERING
12706 E US HWY 40,
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CIVIL ENGINEER:
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1020 E 8TH STREET
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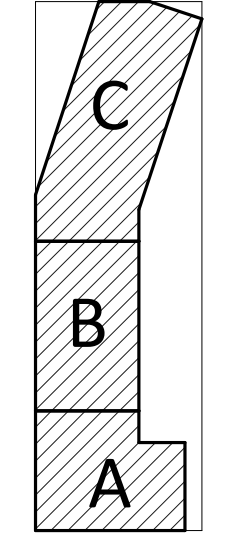
LANDSCAPE ARCHITECT:
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+ URBAN DESIGN LLC**
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15TH & HOLMES
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KEY PLAN



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DOWNIQUE DAVISON

NO 8289591201

RELEASE SCHEDULE

3 CITY DEVELOPMENT PLAN
SUBMITTAL

DATE 2024.02.09

6 CITY DEVELOPMENT PLAN
RESUBMITTAL

DATE 2024.05.31

EXTERIOR BUILDING
PERSPECTIVES

A 900

CITY DEVELOPMENT PLAN SUBMITTAL

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City Plan Commission

Recommends Approval with Conditions

of Case No **CD-CPC-2024-00012** on **6/18/2024**



Diane Binkckley, M.A.S.
Secretary of the City Plan Commission



MATERIAL LEGEND

A

OPTION 1 - METAL PANEL RIBBED CLADDING

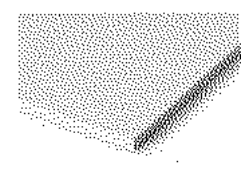


OPTION 2 - METAL PANEL FLAT CLADDING



B

OPTION 1 - FIBER CEMENT PANELS



OPTION 2 - FIBER CEMENT PANELS W/ REVEALS



OPTION 3 - CEMENTITIOUS SHIPLAP SIDING



OPTION 4 - METAL PANEL RIBBED CLADDING

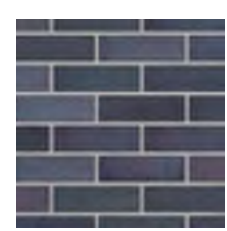


OPTION 5 - METAL PANEL FLAT CLADDING

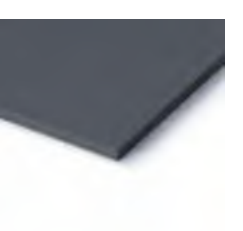


C

OPTION 1 - FULL DEPTH MODULAR BRICK



OPTION 2 - FIBER CEMENT PANELS



OPTION 3 - FIBER CEMENT PANELS



D

OPTION 1 - FULL DEPTH MODULAR BRICK PERFORATED SCREEN PATTERN



OPTION 2 - PERFORATED METAL SCREEN W/ PUNCHED PATTERN



E

PERFORATED CORRUGATED METAL SCREENS



F

METAL VERTICAL PICKET GUARDRAIL AT WALK OUT PATIO / JULIET BALCONIES AND EXTERIOR AMENITY DECKS WHERE REQUIRED



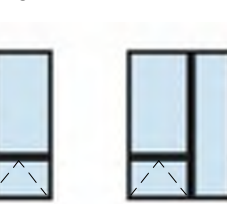
G

ALUMINUM STOREFRONT & DOOR SYSTEM



H

FIBER GLASS FIXED AND AWNING WINDOWS



I

FIBER GLASS SLIDING GLASS DOOR AT JULIET BALCONIES

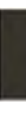


FIBER GLASS DOUBLE SWINGS DOOR AT WALK OUT PATIOS



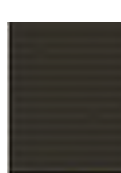
J

HOLLOW METAL DOOR



K

OVERHEAD COILING GARAGE DOOR



L

WOOD COMPOSITE PATIO DECKING



OWNER:
GRAYSON CAPITAL
1881 MAIN STREET #302
KANSAS CITY, MO 64108

ARCHITECT OF RECORD:
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15TH & HOLMES

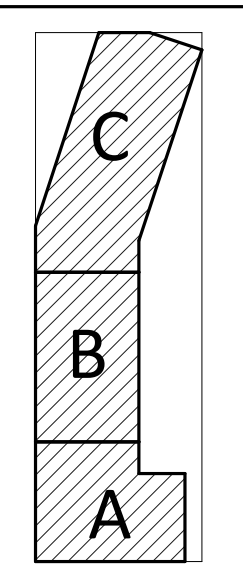
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DOMINIQUE DAVISON

NO 8289591201

RELEASE SCHEDULE

NO. 4

CITY DEV. COMMENT RESPONSES

CITY DEVELOPMENT PLAN RESUBMITTAL

DATE

2024.03.15

2024.05.31

EXTERIOR BUILDING PERSPECTIVES

A 901

CITY DEVELOPMENT PLAN SUBMITTAL

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OWNER:
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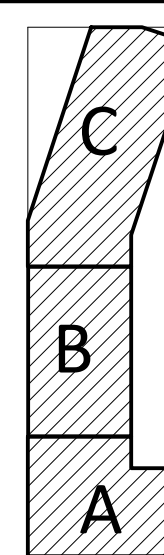
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KEY PLAN



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PE ENGINEER NAME

NO. 0000000000

RELEASE SCHEDULE

NO. 4

RELEASE

CITY DEV. COMMENT

RESPONSES

CITY DEVELOPMENT PLAN

RESUBMITTAL

DATE

2024.03.15

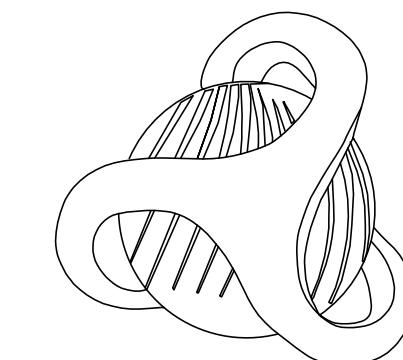
2024.05.31

PHOTOMETRIC LIGHTING PLAN

EL101

CITY DEVELOPMENT PLAN SUBMITTAL

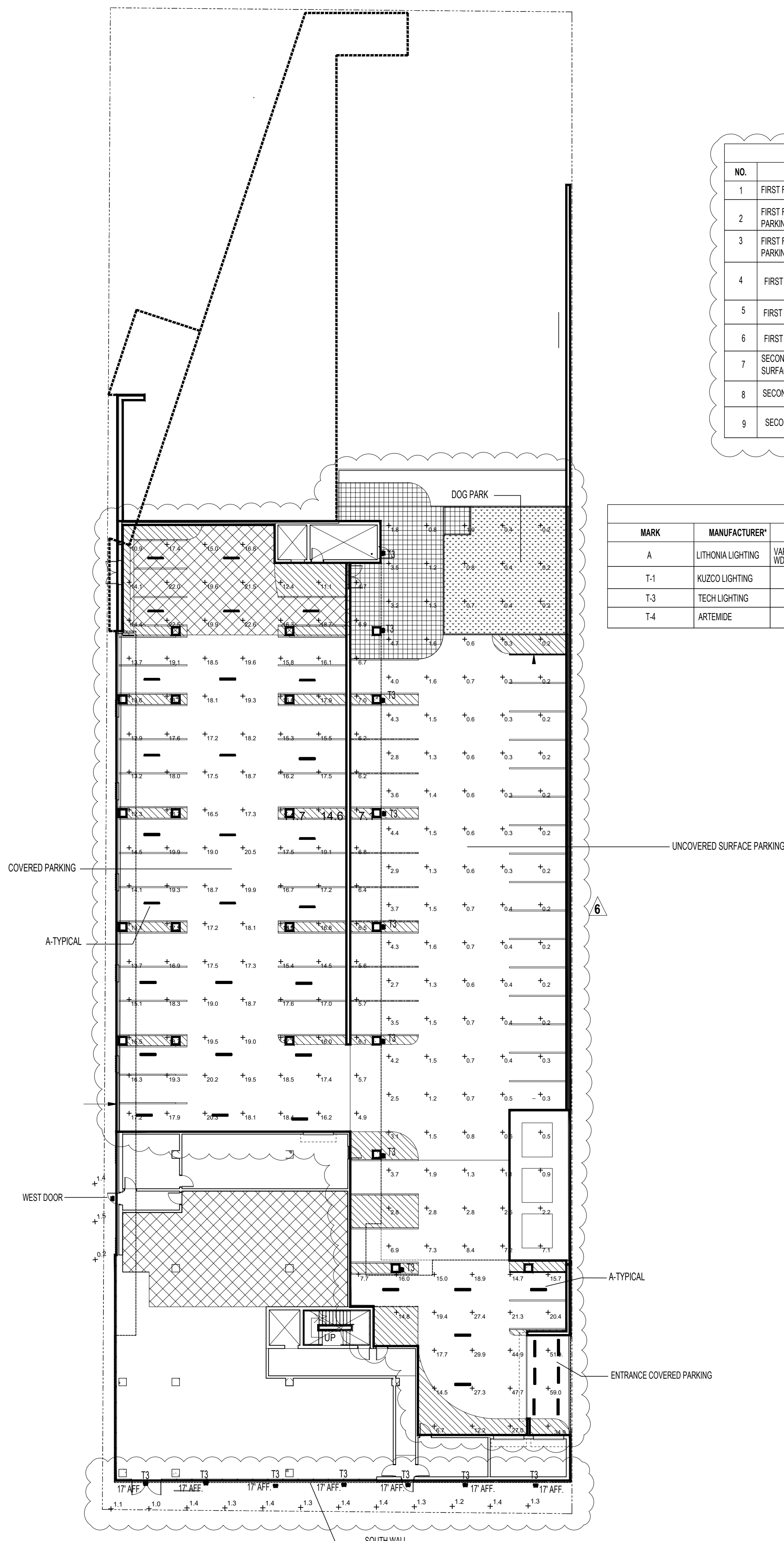
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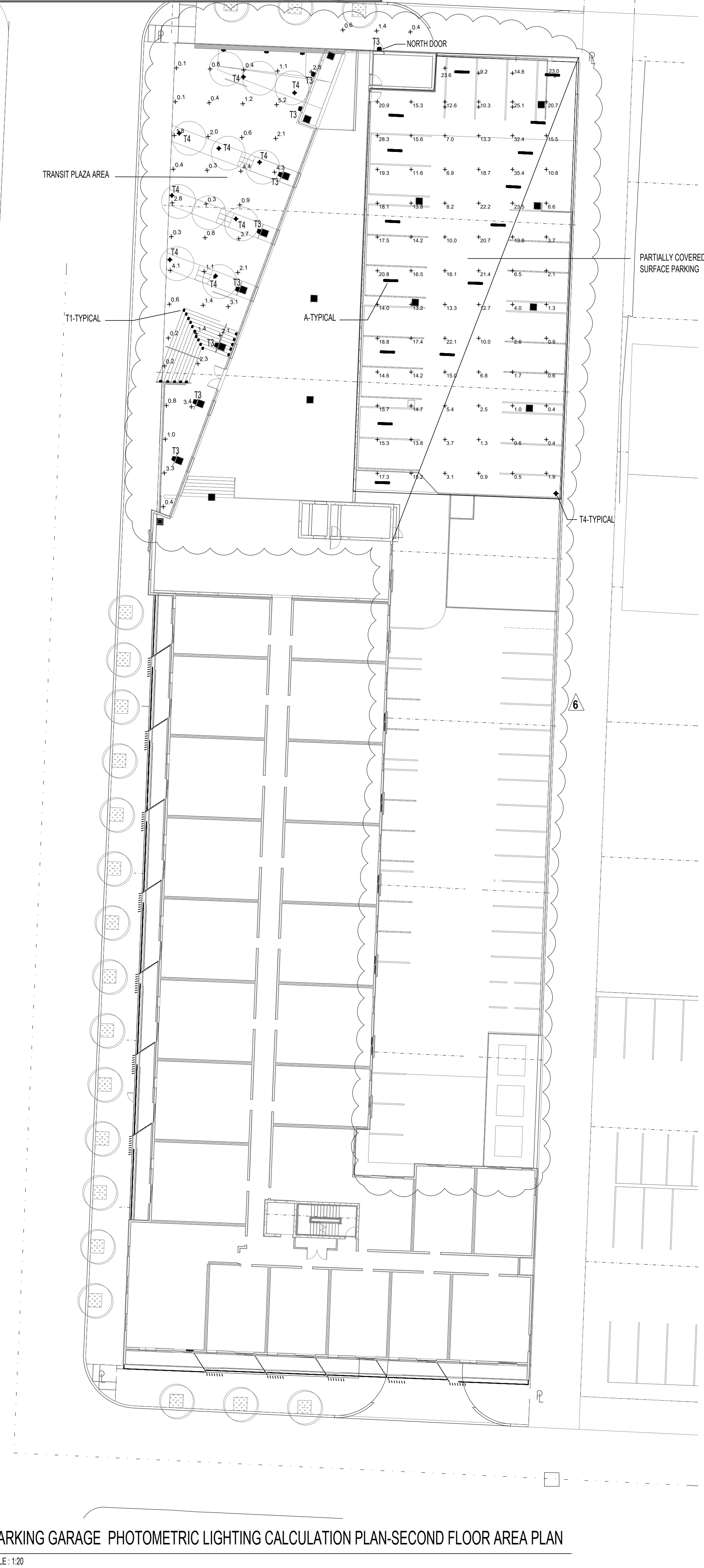
CUSTOM ENGINEERING
MECHANICAL & ELECTRICAL ENGINEERING
12760 EAST 40 HIGHWAY
INDEPENDENCE, MISSOURI 64055
816.350.1473
www.CUSTOMENR.COM
MISSOURI CERTIFICATE OF AUTHORITY #000239

PHOTOMETRIC SUMMARY				
NO.	AREA NAME	AVG	MAX	MIN
1	FIRST FLOOR COVERED PARKING	15.4	22.6	4.6
2	FIRST FLOOR UNCOVERED SURFACE PARKING	1.9	10.3	0.2
3	FIRST FLOOR ENTRANCE COVERED PARKING	48.6	99.0	34.9
4	FIRST FLOOR WEST DOOR	0.8	1.5	0.2
5	FIRST FLOOR SOUTH WALL	1.3	1.4	1.0
6	FIRST FLOOR DOG PARK	0.5	1.0	0.7
7	SECOND FLOOR PARTIALLY COVERED SURFACE PARKING	12.4	35.7	0.4
8	SECOND FLOOR TRANSIT PLAZA AREA	1.4	5.2	0.0
9	SECOND FLOOR NORTH DOOR	0.8	1.4	0.4

15TH AND HOLMES APARTMENTS FIXTURE SCHEDULE										
MARK	MANUFACTURER	MODEL NO.	TYPE	VOLTS	WATTS	LUMENS	CCT (°K)	CRI	LAMPS	MOUNTING
A	LITHONIA LIGHTING	VAP-1200LM-FST WD-XX-G210-40K	4' LED LIGHT FIXTURE	120	64	5822	4000k	80	LED	CEILING
T-1	KLECOO LIGHTING	EW11305-BK	STEP LIGHT, PLANTER LIGHT AND WALL LIGHT	120	11	800	3000k	80	LED	WALL
T-3	TECH LIGHTING	700WSPT-S-Z	WALL SCONCE- PITCH SINGLE IN 8Z	120	26.1	823	3000K	80	LED	WALL AT 10 FT
T-4	ARTEMIDE	T082110	BOLLARD - CHLOE FLOOR 90 RUST	220-240	8	350	3000k	80	LED	BOLLARD



PARKING GARAGE PHOTOMETRIC LIGHTING CALCULATION PLAN-FIRST FLOOR AREA PLAN
SCALE: 1/20



PARKING GARAGE PHOTOMETRIC LIGHTING CALCULATION PLAN-SECOND FLOOR AREA PLAN
SCALE: 1/20

