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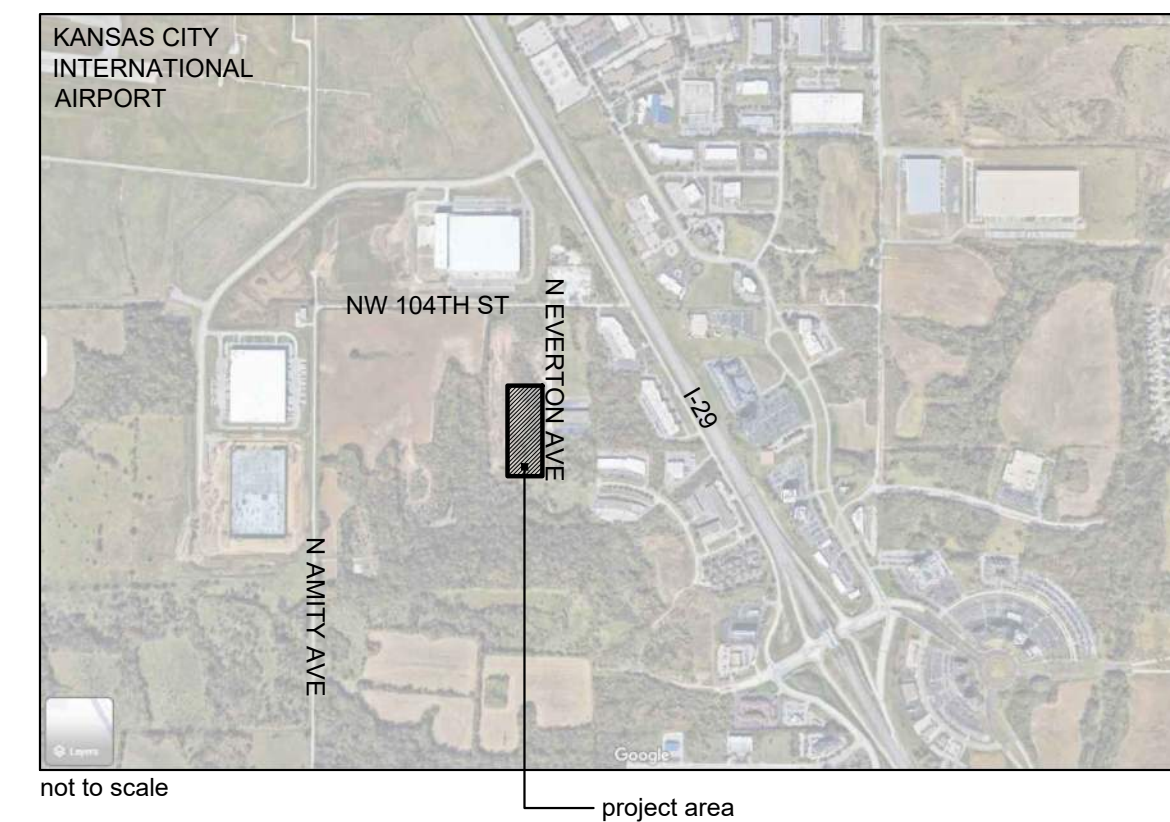
disclaimer:

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project description:

A new single story office/warehouse building.

vicinity map:



code review:

governing municipality: Kansas City, Missouri
governing code: 2018 International Building Code
2018 International Fire Code
2018 NFPA 101 Life Safety
2018 International Mechanical Code
2018 Uniform Plumbing Code
2017 National Electric Code
2018 International Fuel & Gas Code
2012 International Energy Conservation Code

zoning: KCIA
site area: 331,219 s.f. (7.604 acres +/-)
impervious area: 151,802 s.f. (46%)
green space: 179,417 s.f. (54%)

building area: 54,080 s.f.
floor area ratio: 0.163
of employees: 140

construction type: IIB
stories: one
height: 44'-0" +/- to of parapet
clear height: 32'
fire suppression: yes (NFPA 13)

parking spaces: 83 spaces
future parking: 43 spaces
dock positions: up to 23
drive-in doors: 2

short term bike: 10% of parking spaces @ 83 = 8 required
long term bike: 1 per 20 employees @ 140 = 7 required
(interior closet proposed)

sheet index:

A0.0 cover sheet

CIVIL
C1.1 civil site plan
C1.2 utility plan
C2.1 grading plan

LANDSCAPE
L1.1 landscape plan
L1.2 tree preservation and protection plan

ARCHITECTURAL
A1.1 site plan
A2.1 overall floor plan
A3.1 exterior elevations
A3.2 color elevations

PHOTOMETRIC
PAGE1 site lighting photometrics

client:

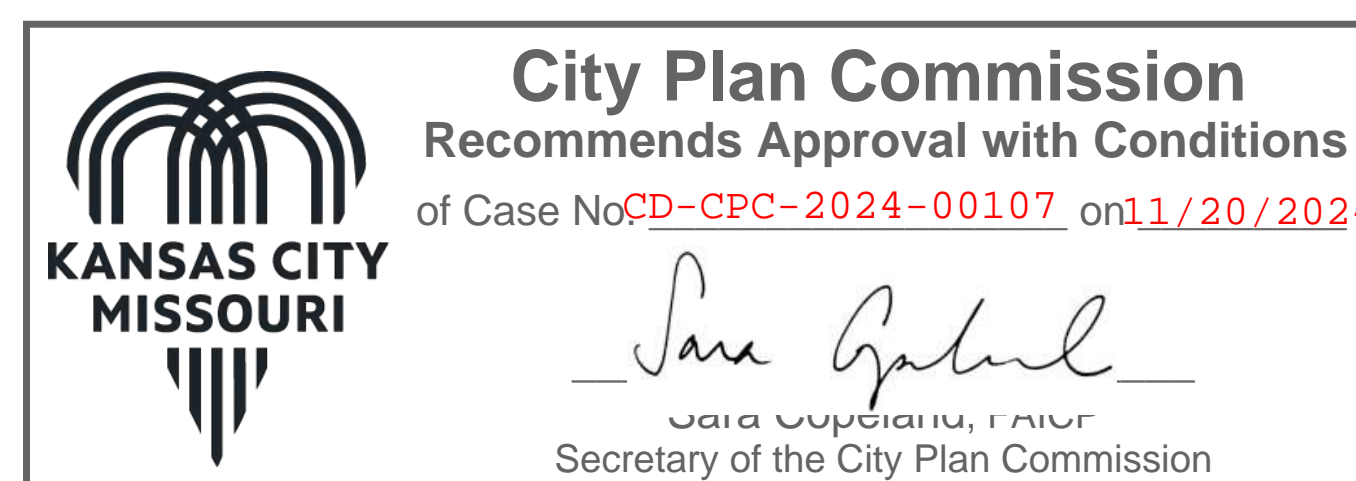
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5440 W 110th Street, Suite 300
Overland Park, Kansas 66211
p: 913.991.0623

architect:

Johnathon Phillips, AIA
Davidson Architecture & Engineering
4301 Indian Creek Parkway
Overland Park, Kansas 66207
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civil engineer:

Dominic LaRocca, PE
Davidson Architecture & Engineering
4301 Indian Creek Parkway
Overland Park, Kansas 66207
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a new development for
Project Maartin
10220 N Everton Avenue
Kansas City, Missouri 64153

Construction Legend

- concrete pavement
- standard asphalt
- heavy duty asphalt
- concrete sidewalk
- standard curb & gutter
- standard dry curb & gutter
- temporary asphalt curb retaining wall
- detention basin

Property Legend

- right of way
- property lines
- easements
- setbacks

Grading Legend

- existing minor contour
- existing major contour
- proposed minor contour
- proposed major contour

Utility Legend

- existing
- proposed

Linetypes

- sanitary main
- sanitary service
- storm sewer (existing)
- storm sewer (solid wall, proposed)
- storm sewer (solid wall, proposed)
- storm sewer (perforated, proposed)
- water main
- water service (fire)
- water service (domestic)
- water service (irrigation)
- natural gas main
- natural gas service schematic
- underground primary electric
- underground secondary electric
- overhead electric
- underground cable/phone/data
- underground cable/phone/data service
- fence-chainlink
- fence-wood
- fence-barbed wire
- treetline

Symbols

- sanitary manhole
- service cleanout
- force main release valve
- rectangular structure
- circular structure
- fire hydrant
- water valve
- water meter
- backflow preventer
- natural gas meter
- service transformer (pad mount)
- primary switch gear
- light pole
- cable/phone/data junction box
- street light
- pedestrian street light
- electric pole
- guy wire
- end section

Local Benchmarks: BM-#

BM-1: (Square cut on curb inlet)
Elevation: 1007.06'
N: 1133587.344
E: 2738394.742

Floodplain Note:

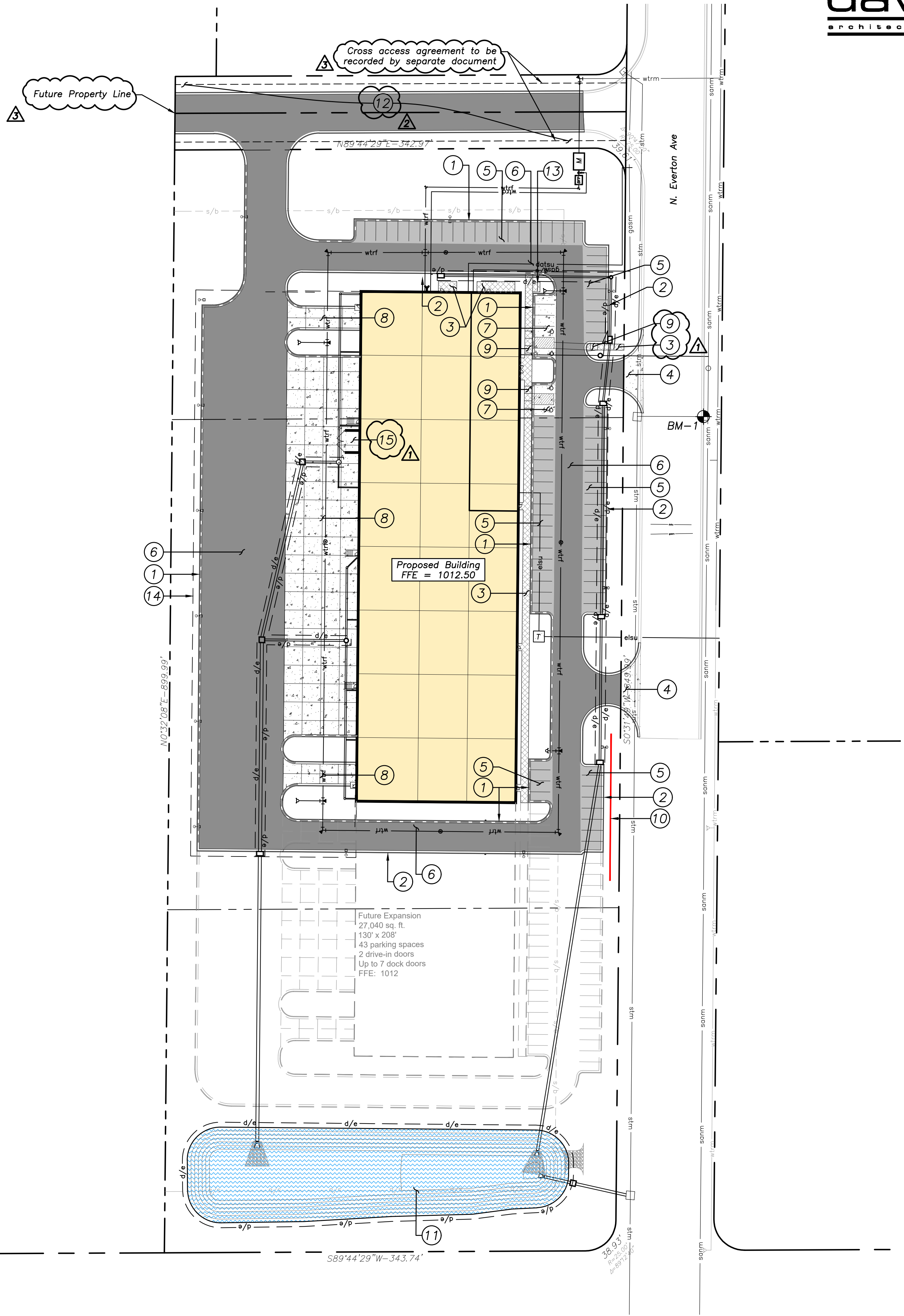
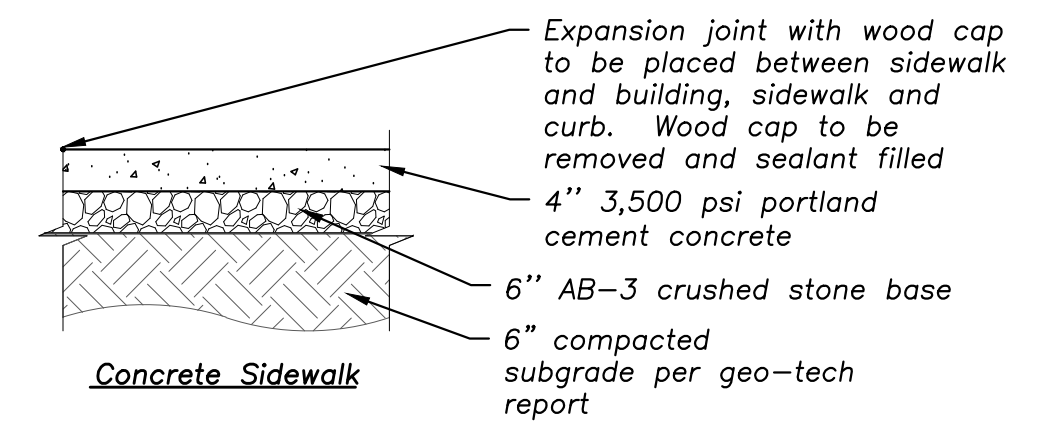
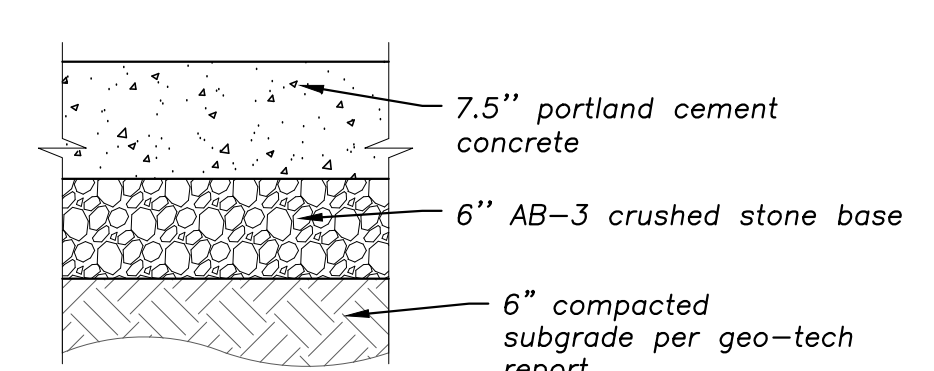
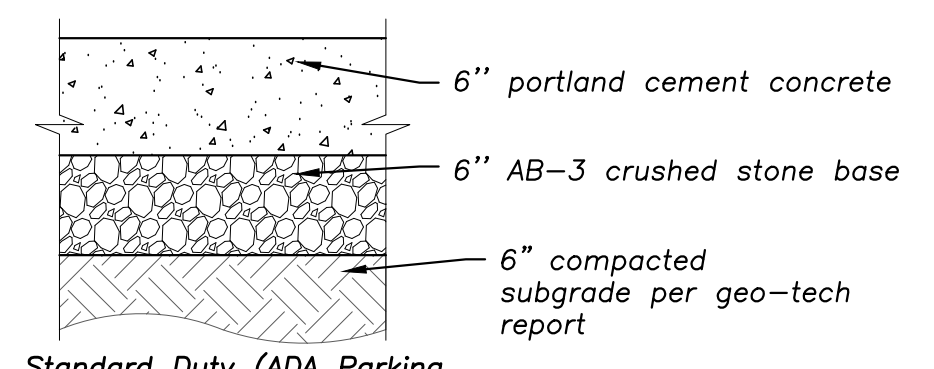
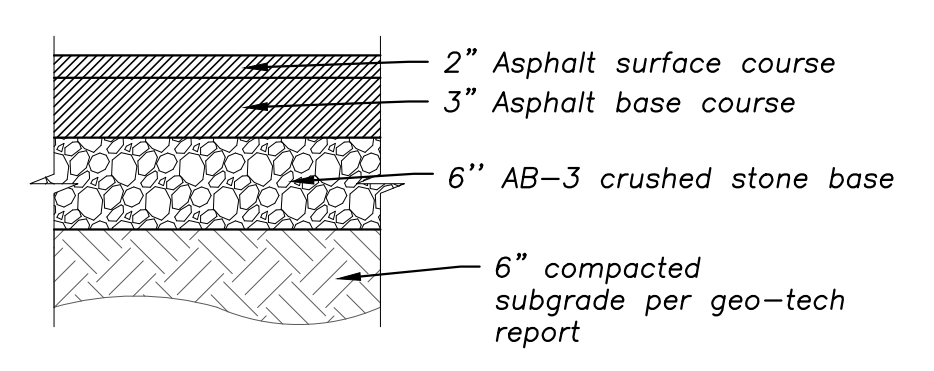
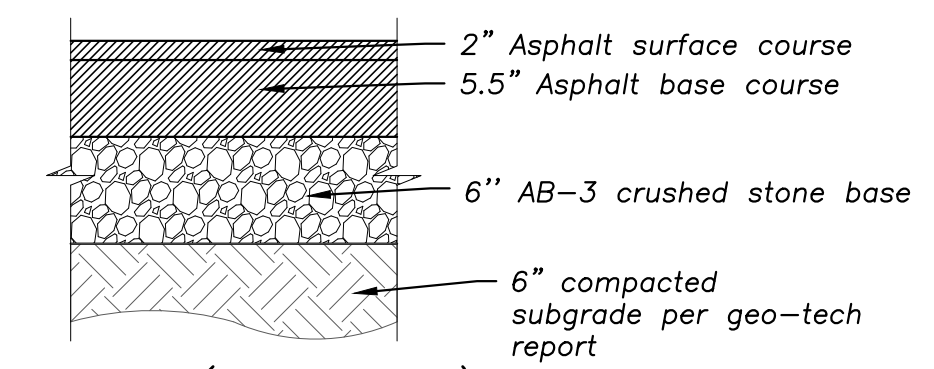
According to "Flood Insurance Rate Map" community Panel No. 29095C0043G, map revised January 20, 2017, as published by the Federal Emergency Management Agency, this property lies with flood zone "X" (areas of minimal flooding).

Site Plan Notes:

1. Construct type 'CG-1 dry' curb & gutter where indicated (see legend).
2. Construct type 'CG-1 wet' curb & gutter where indicated (see legend).
3. Construct concrete sidewalk per KCMO standard details.
4. Construct concrete commercial entrance per KCMO standard details.
5. Standard asphalt pavement.
6. Heavy duty asphalt pavement.
7. Standard concrete pavement.
8. Heavy duty concrete pavement.
9. Proposed ADA ramp.
10. Proposed modular block retaining wall, design by others.
11. Proposed dry detention basin.
12. 103rd St. ROW to be vacated by separate application.
13. Proposed bike rack. Re: A1.1.
14. Proposed fence. Re: A1.1.
15. Proposed trash enclosure. Re: A1.1.

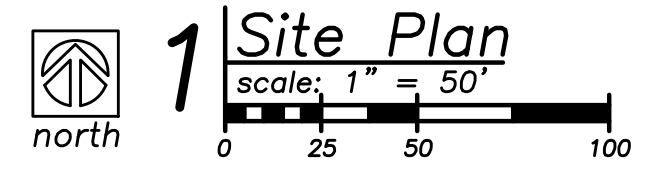
Pavement Sections*

*All Pavement Recommendations taken from "Geotechnical Engineering Report" by Rone Engineering, dated May 10, 2024.



City Plan Commission
Recommends Approval with Conditions
of Case No CD-CPC-2024-00107 on 11/20/2024

Sara Gabriel
Sara Gabriel, FAICP
Secretary of the City Plan Commission



a new development for
Project Maartin
10220 N Everton Avenue
Kansas City, Missouri 64153

date: 07.26.2024
drawn by: DJL
checked by: DAE
revisions:

09.16.2024	1
09.25.2024	2
11.07.2024	3

sheet number
C1.1
drawing type: permit
project number: 23239

Construction Legend

- retaining wall
- detention basin

Property Legend

- right of way
- property lines
- u/e easements
- s/b setbacks

Utility Legend

- existing sanitary main
- existing water main
- existing storm sewer
- existing gas main
- existing underground electric
- existing overhead electric
- existing underground data
- proposed sanitary main
- proposed sanitary service
- proposed water main
- proposed fire line
- proposed water service
- proposed storm sewer
- proposed gas main
- proposed gas service
- proposed underground primary electric
- proposed underground secondary electric
- proposed overhead electric
- proposed underground data

Symbols

- sanitary manhole
- service cleanout
- force main release valve
- rectangular structure
- circular structure
- fire hydrant
- water valve
- water meter
- backflow preventer
- natural gas meter
- service transformer (pad mount)
- primary switch gear
- light pole
- cable/phone/data junction box
- street light
- pedestrian street light
- electric pole
- guy wire
- end section

Local Benchmarks: BM-#

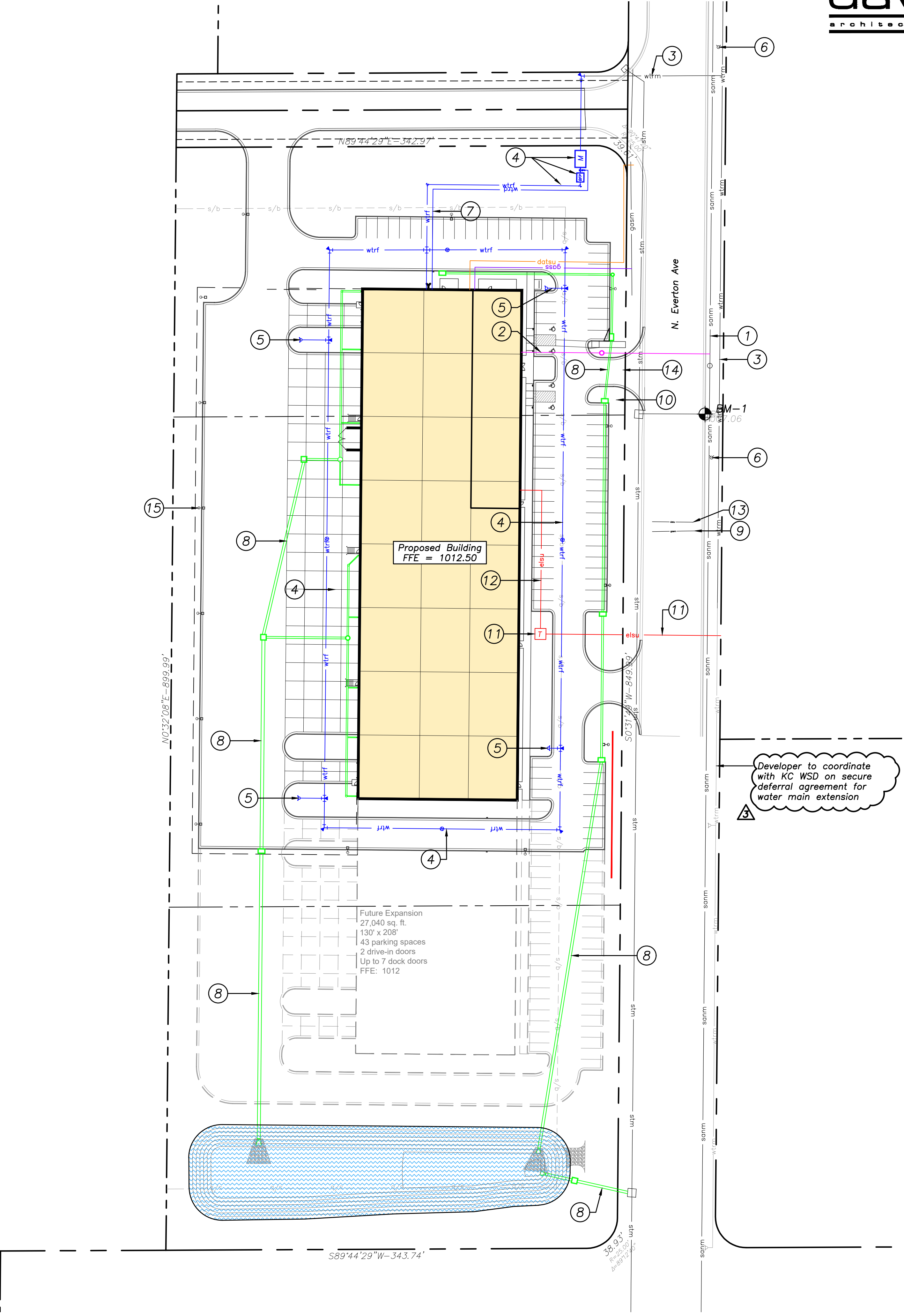
BM-1: (Square cut on curb inlet)
Elevation: 1007.06'
N: 1133587.344
E: 2738394.742

Floodplain Note:

According to "Flood Insurance Rate Map" community Panel No. 29095C0043G, map revised January 20, 2017, as published by the Federal Emergency Management Agency, this property lies with flood zone "X" (areas of minimal flooding).

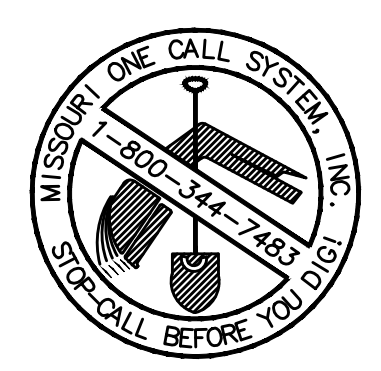
Utility Plan Notes:

1. Existing Sanitary sewer main.
2. Proposed Sanitary sewer service line and 4' KCMO sampling MH.
3. Existing Water main.
4. Proposed Fire service line & loop, Full flow fire meter, and BFP.
5. Proposed Private fire hydrant.
6. Existing Public fire hydrant.
7. Proposed Domestic service line. RPZ inside building.
8. Proposed Private storm sewer system.
9. Existing Gas main.
10. Proposed Gas Service. Final location to be coordinated with provider.
11. Primary underground electrical service and pad mounted transformer. Final location to be coordinated with Evergy.
12. Secondary underground electrical service.
13. Existing data line.
14. Proposed data service line. Final location to be coordinated with provider.
15. Site lighting. Re: Photometric Plan.



Developer to coordinate with KC WSD on secure deferral agreement for water main extension

Future Expansion
27,040 sq. ft.
130' x 208'
43 parking spaces
2 drive-in doors
Up to 7 dock doors
FFE: 1012



City Plan Commission
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Sara Cooper, FAICP
Secretary of the City Plan Commission

1 Utility Plan
scale: 1" = 50'
north

a new development for
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Kansas City, Missouri 64153

date 07.26.2024
drawn by DJL
checked by DAE
revisions

09.16.2024	1
09.25.2024	2
11.07.2024	3

sheet number
C1.2
drawing type permit
project number 23239

- Property Legend**
- right of way
 - - - property lines
 - u/e - easements
 - s/b - setbacks

- Grading Legend**
- - - existing minor contour
 - - - existing major contour
 - - - proposed minor contour
 - - - proposed major contour

- Utility Legend**
- - - existing
 - - - proposed

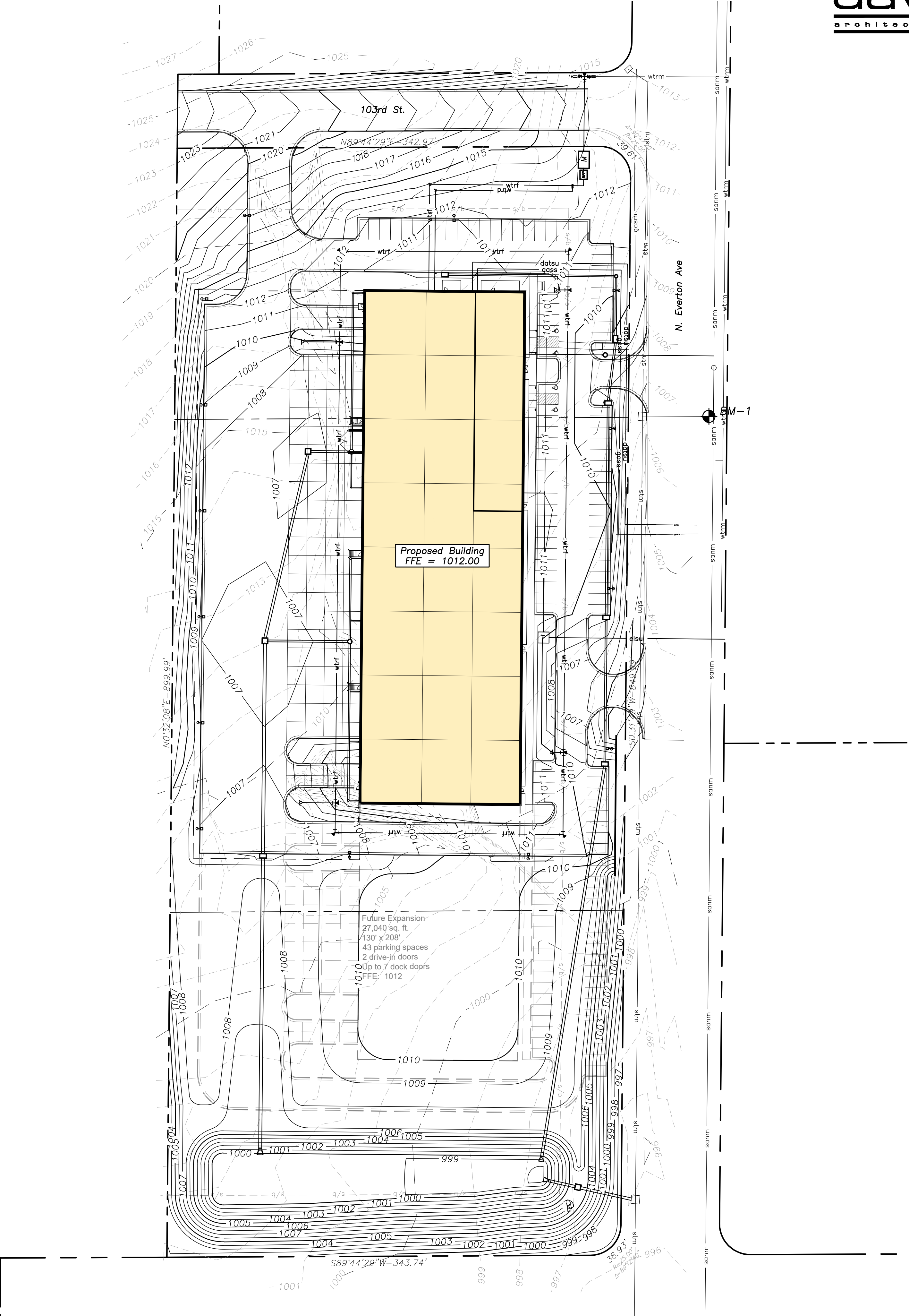
- Linetypes**
- sanm sanitary main
 - sans sanitary service
 - ssm storm sewer (existing)
 - ssms storm sewer (solid wall, proposed)
 - ssms storm sewer (solid wall, proposed)
 - ssms storm sewer (perforated, proposed)
 - wtrm water main
 - wtrf water service (fire)
 - wtrd water service (domestic)
 - wtri water service (irrigation)
 - gasm natural gas main
 - gass natural gas service schematic
 - elpu underground primary electric
 - elsu underground secondary electric
 - elpe overhead electric
 - datu underground cable/phone/data
 - datasu underground cable/phone/data service
 - fence-chainlink
 - fence-wood
 - fence-barbed wire
 - treeline

- Symbols**
- ⊙ sanitary manhole
 - ⊙ service cleanout
 - ⊙ fmv force main release valve
 - rectangular structure
 - circular structure
 - ⊕ fire hydrant
 - ⊙ wv water valve
 - ⊙ M water meter
 - ⊙ BFP backflow preventer
 - ⊙ natural gas meter
 - ⊙ T service transformer (pad mount)
 - ⊙ S primary switch gear
 - ⊙ LP light pole
 - ⊙ C cable/phone/data junction box
 - ⊙ street light
 - ⊙ pedestrian street light
 - ⊙ electric pole
 - ⊙ guy wire
 - ⊙ end section

Local Benchmarks: BM-#

BM-1: (Square cut on curb inlet)
Elevation: 1007.06'
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Floodplain Note:
According to "Flood Insurance Rate Map" community Panel No. 29095C0043G, map revised January 20, 2017, as published by the Federal Emergency Management Agency, this property lies with flood zone "X" (areas of minimal flooding).



City Plan Commission
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Sara Cooper
Sara Cooper, FAICP
Secretary of the City Plan Commission

a new development for
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Kansas City, Missouri 64153

date 07.26.2024
drawn by DJL
checked by DAE
revisions
09.16.2024 1

sheet number
C2.1
drawing type preliminary
project number 23239

1 Grading Plan
scale: 1" = 50'
0 25 50 100



PLANT SCHEDULE

Table with columns: KEY, QTY., BOTANICAL NAME, COMMON NAME, SIZE, SPACING. Lists plants like Ulmus americana, Acer saccharum, Ginkgo biloba, etc.

NOTE: ALL PLANTS TO COMPLY WITH ANSI Z60.1; AMERICAN STANDARD FOR NURSERY STOCK

LANDSCAPE CALCULATIONS:

PER SECTION 88-425 - LANDSCAPING AND SCREENING, THE FOLLOWING LANDSCAPE IS REQUIRED:

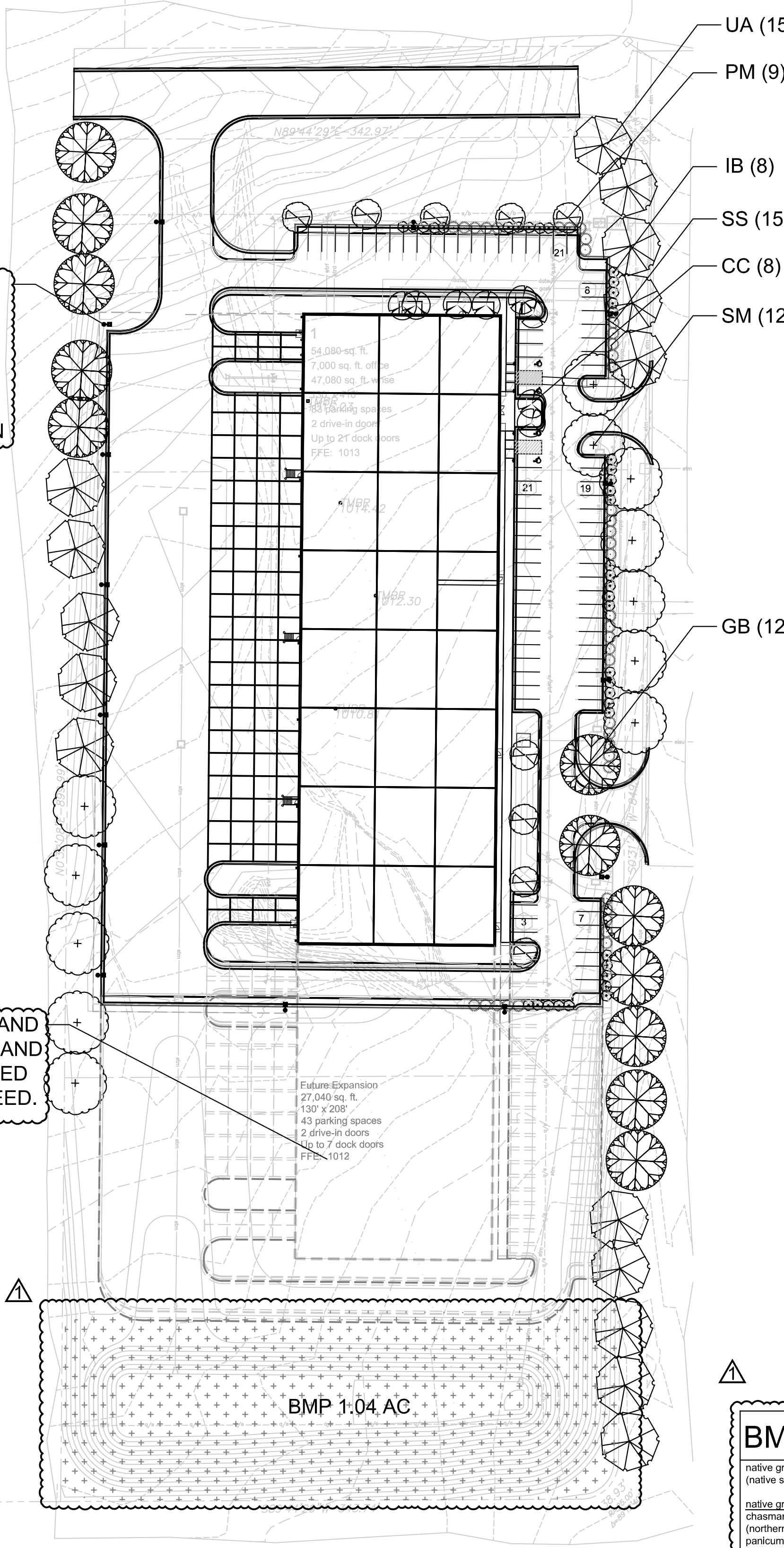
Table with columns: LANDSCAPE ITEM, CODE REQUIREMENT, AS IT APPLIES TO THIS SITE, PROVIDED ITEMS. Lists items like Street Trees, Interior landscape area, etc.

LANDSCAPE NOTES:

- 1. LANDSCAPE NOTES SHALL APPLY TO ALL LANDSCAPE DRAWINGS.
2. LOCATION OF ALL UTILITIES ARE APPROXIMATE...
3. LIMITS OF CONSTRUCTION ARE THE PROPERTY LINES...
... 36. LANDSCAPE ADJACENT TO THE FIRE DEPARTMENT CONNECTION AND FIRE HYDRANT SHALL ALLOW FOR UNOBSTRUCTED VISIBILITY AND ACCESS...

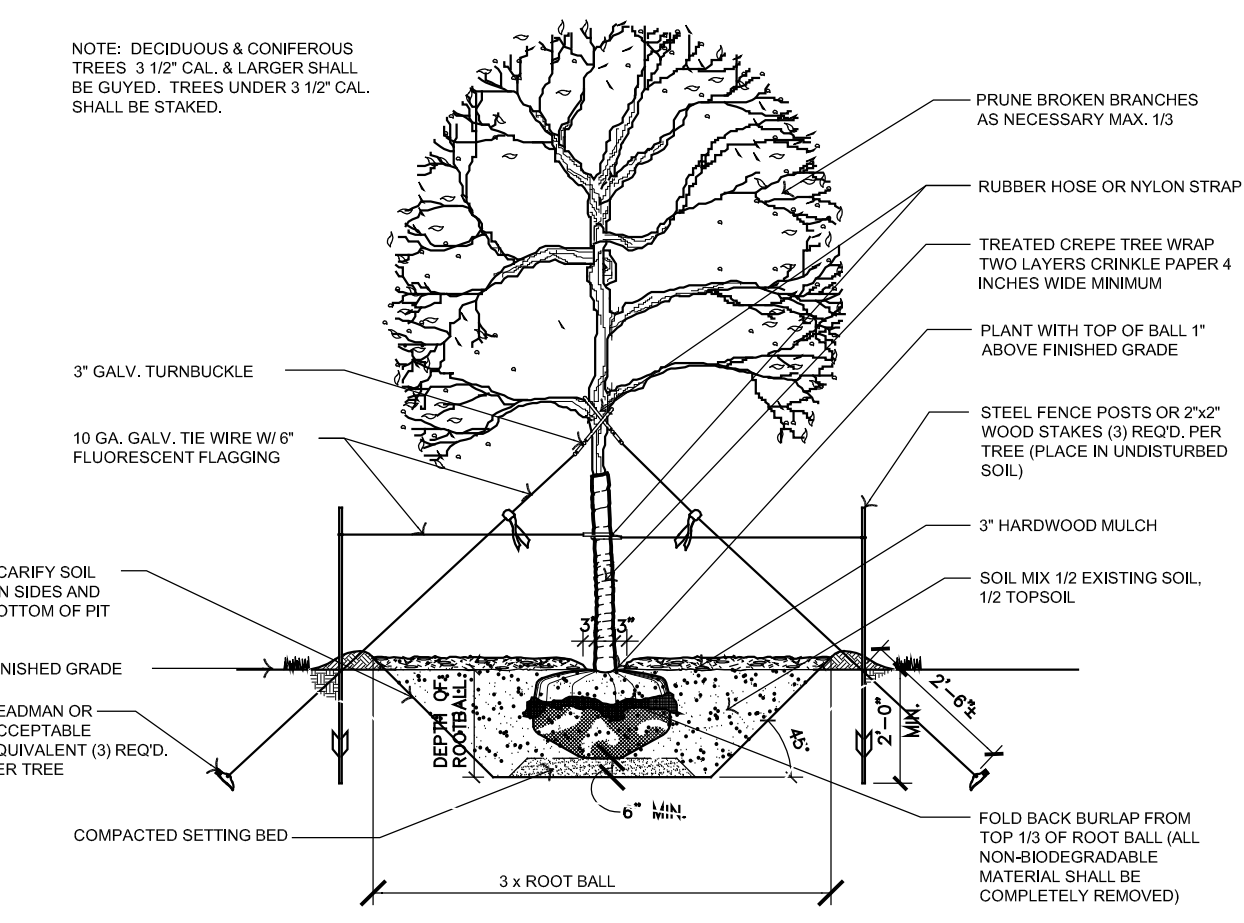
TREES SPACED APPROPRIATELY AS TO NOT IMPACT OR LESSEN THE FOOT-CANDLES APPROVED IN THE PHOTOMETRIC PLAN

ALL DISTURBED AND UNDEVELOPED LAND SHALL BE FINISHED WITH FESCUE SEED.

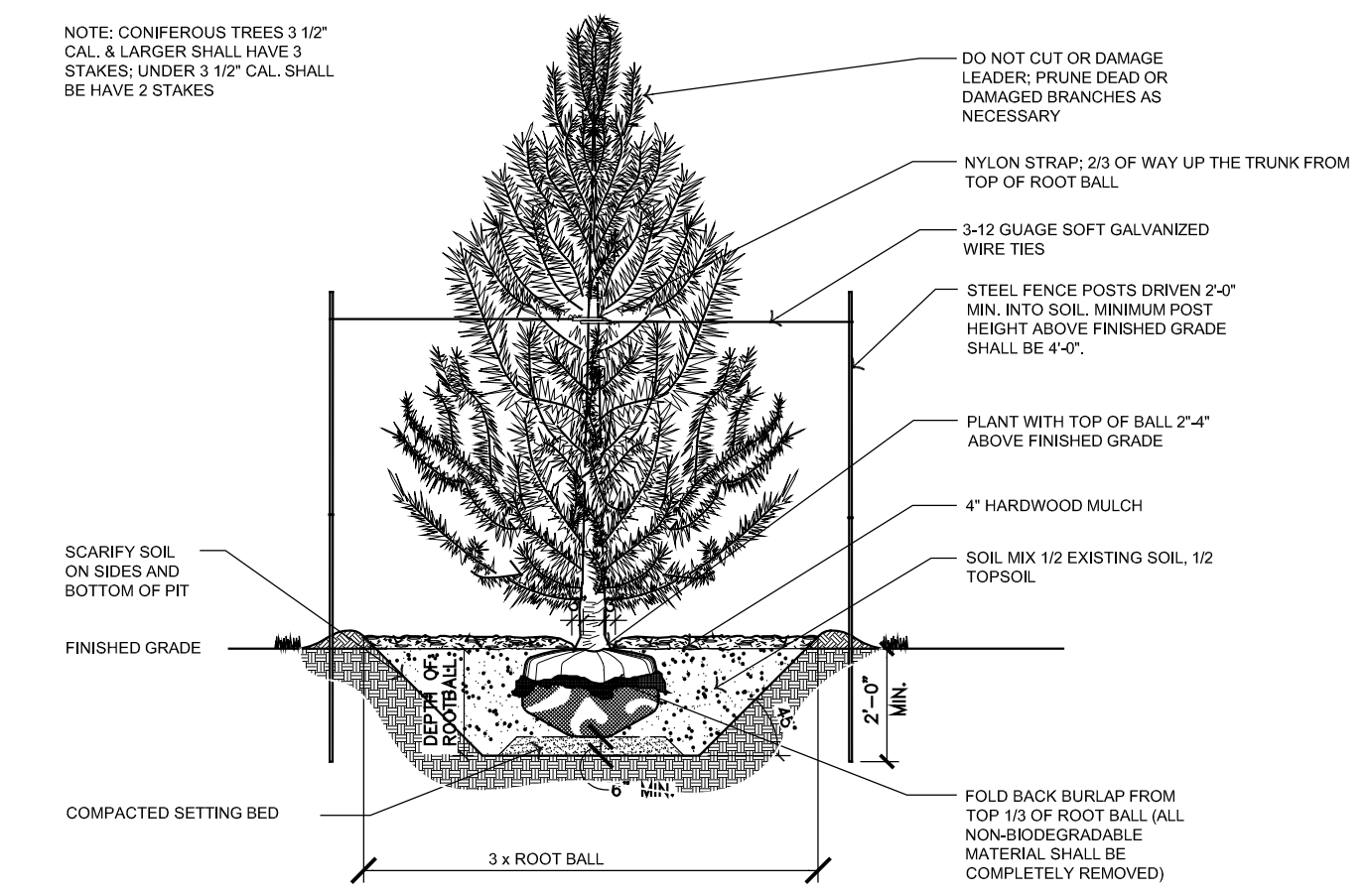


1 Landscape Plan scale: 1" = 60'-0"

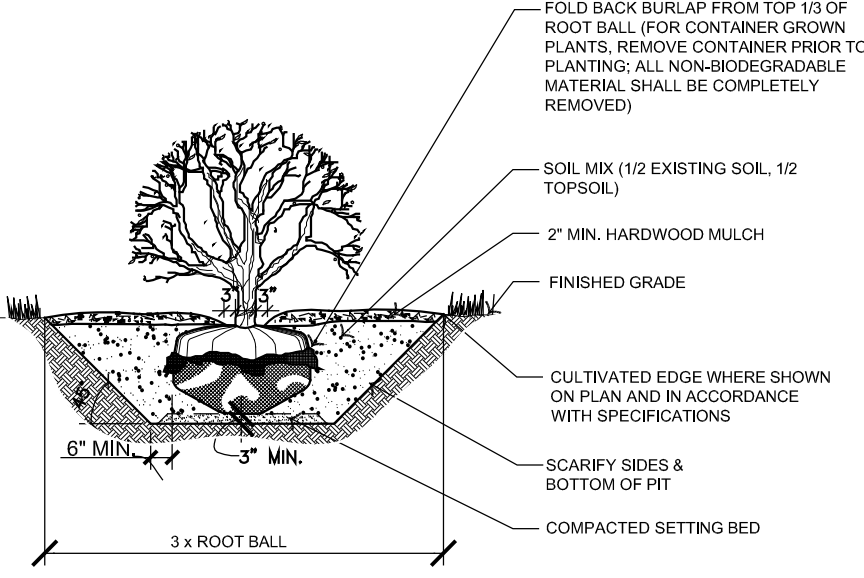
City Plan Commission Recommends Approval with Conditions of Case No. CPD-CPC-2024-00107 on 11/20/2024. Signed by Sara Gubiel, Secretary of the City Plan Commission.



4 Deciduous Tree Detail scale: 3/16" = 1'-0"



3 Evergreen Tree Detail scale: 3/16" = 1'-0"



2 Shrub Detail scale: 3/16" = 1'-0"

BMP SCHEDULE & MAINTENANCE

Table with columns: ACTIVITY, FREQUENCY. Lists maintenance tasks like water plants, weed control, remove litter, etc.

a new development for Project Maartin 10220 N Everton Avenue Kansas City, Missouri 64153

date 08.02.2024 drawn by KLV checked by VSM revisions 09.16.2024 1

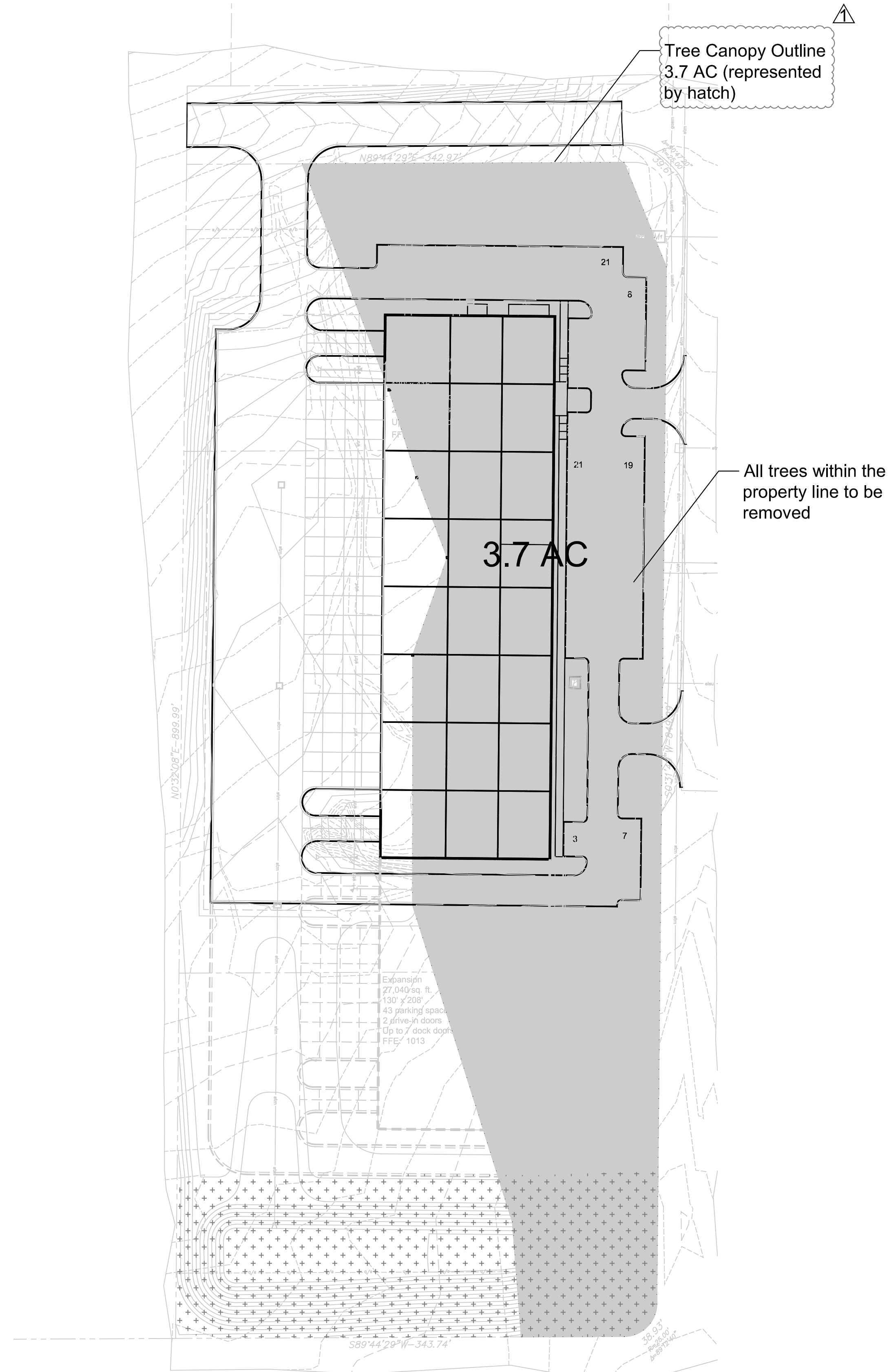
sheet number L1.1 drawing type planning project number 23239

*NOTE: ALL PLANTS TO COMPLY WITH ANSI Z60.1: AMERICAN STANDARD FOR NURSERY STOCK

TREE MITIGATION CALCULATIONS:
PER SECTION 88-424: TREE PRESERVATION AND PROTECTION, THE FOLLOWING LANDSCAPE IS REQUIRED:

LANDSCAPE ITEM			
88-424-07 Mitigation Rate	3.7 AC Tree Canopy	x 0.35	= 1.295
		x 150	= 194.25
		- proposed trees (56 x 2" = 112)	= 82.25

TOTAL: 56 Trees (112 caliper inches) proposed plantings to satisfy mitigation requirements per sheet L1.1
41 trees (82 caliper inches) x \$185 = \$15,170 payment in lieu of planting



KANSAS CITY MISSOURI

City Plan Commission
Recommends Approval with Conditions
of Case No **CD-CPC-2024-00107** on **11/20/2024**

Sara Cepelano
Sara Cepelano, FAICP
Secretary of the City Plan Commission

1 Tree Preservation and Protection Plan
scale: 1" = 60'-0"



a new development for
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10220 N Everton Avenue
Kansas City, Missouri 64153

date 08.02.2024
drawn by KLV
checked by VSM
revisions
09.16.2024

sheet number
L1.2
drawing type
planning
project number
23239

project synopsis:

governing municipality: Kansas City, Missouri
governing code: 2018 International Building Code

project manager/
responsible party: Johnathon R Phillips, AIA
Davidson Architecture & Engineering
4301 Indian Creek Parkway
Overland Park, Kansas 66207
p: 913.451.9390
e: johnathon@davidsonae.com

legal description: All of Lots 1, 2 & 3, KCI INDUSTRIAL PARK, a subdivision of land in the City of Kansas City, Platte County, Missouri.

zoning: KCIA
site area: 331,219 s.f. (7.604 acres +/-)
impervious area: 151,802 s.f. (46%)
green space: 179,417 s.f. (54%)

building area: 54,080 s.f.
floor area ratio: 0.163
proposed use: office/warehouse
construction type: IIB
fire suppression: yes (NFPA 13)
stories: one
height: 44'-0" +/- top of parapet
of employees: 140

parking spaces: 86 spaces provided
future parking: 43 spaces
dock positions: up to 23
drive-in doors: 2

short term bike: 10% of parking spaces @ 83 = 8 required & provided
long term bike: 1 per 20 employees @ 140 = 7 required (interior closet proposed)

setbacks: north 30' min. required, 118'-9" provided
east 30' min. required, 85' provided
south 30' min. required, 365'-3" provided
west 30' min. required, 153'-4" provided

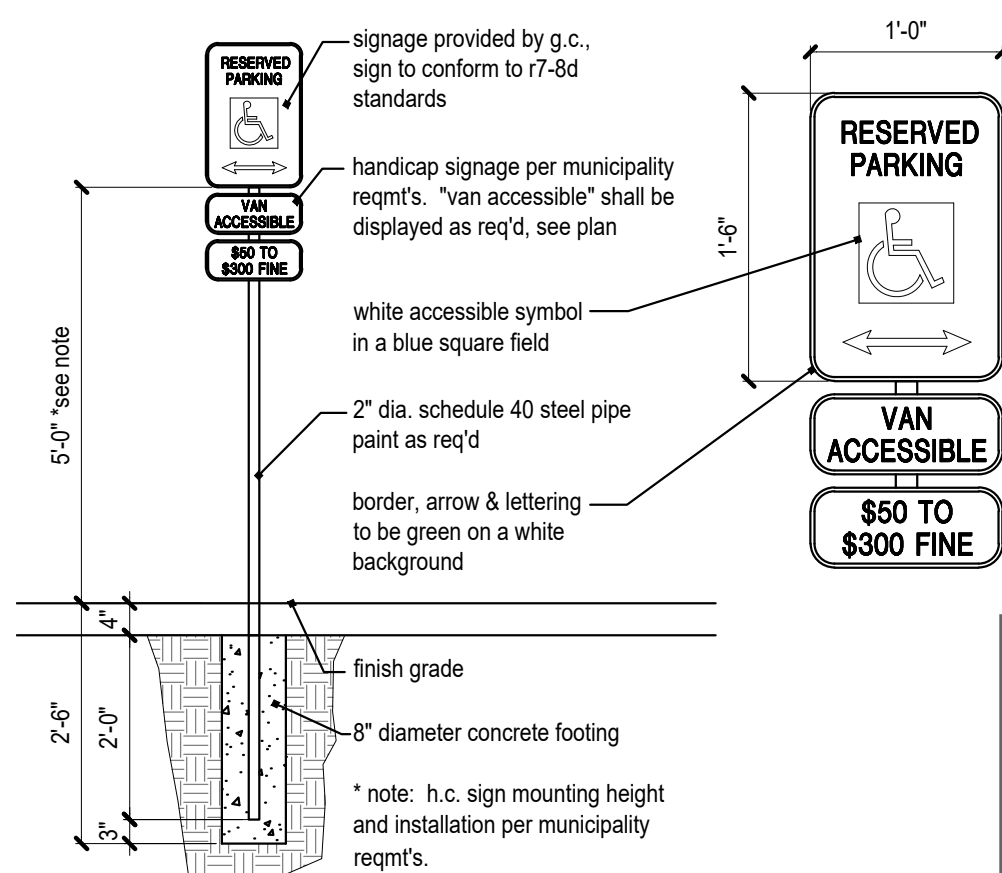
vacation: NW 103rd Street will be vacated under a separate application.

site general notes:

- All construction shall conform to the standards and specifications of the city of Kansas City, Missouri.
- The general contractor shall contact all utility companies prior to the start of construction and verify the location and depth of any utilities that may be encountered during construction.
- The contractor shall field verify existing surface & subsurface ground conditions prior to start of construction
- Slopes shall maintain a maximum 3:1 slope. Refer to Civil Engineering drawings for grading plans.
- The contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise complying with all applicable regulations governing the project.
- Place silt fence for erosion control per Civil Engineering drawings and as required.
- Provide a temporary gravel access drive to prevent mud from being deposited onto the adjacent road.
- Prior to installing any structure on a public storm sewer, the contractor shall submit shop drawings for the structure(s). Installation shall not occur until drawings have been approved by public works.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage to the storm system) contact the city for inspection of the work. contact must be made at least 48 hours prior to the start of work.
- Connections to the public storm sewer between structures will not be permitted.
- All above ground utility termination points shall be screened from view with appropriate landscaping and shall be painted to match the primary adjacent wall color. All roof equipment shall be screened from view.
- Prior to final inspection, the General Contractor shall meet with the Fire Department to designate fire lane and fire lane sign locations to be installed per Fire Department direction and requirements.
- A Knox Box shall be installed on the building and location shall be coordinated with the Fire Department.

site construction notes: #

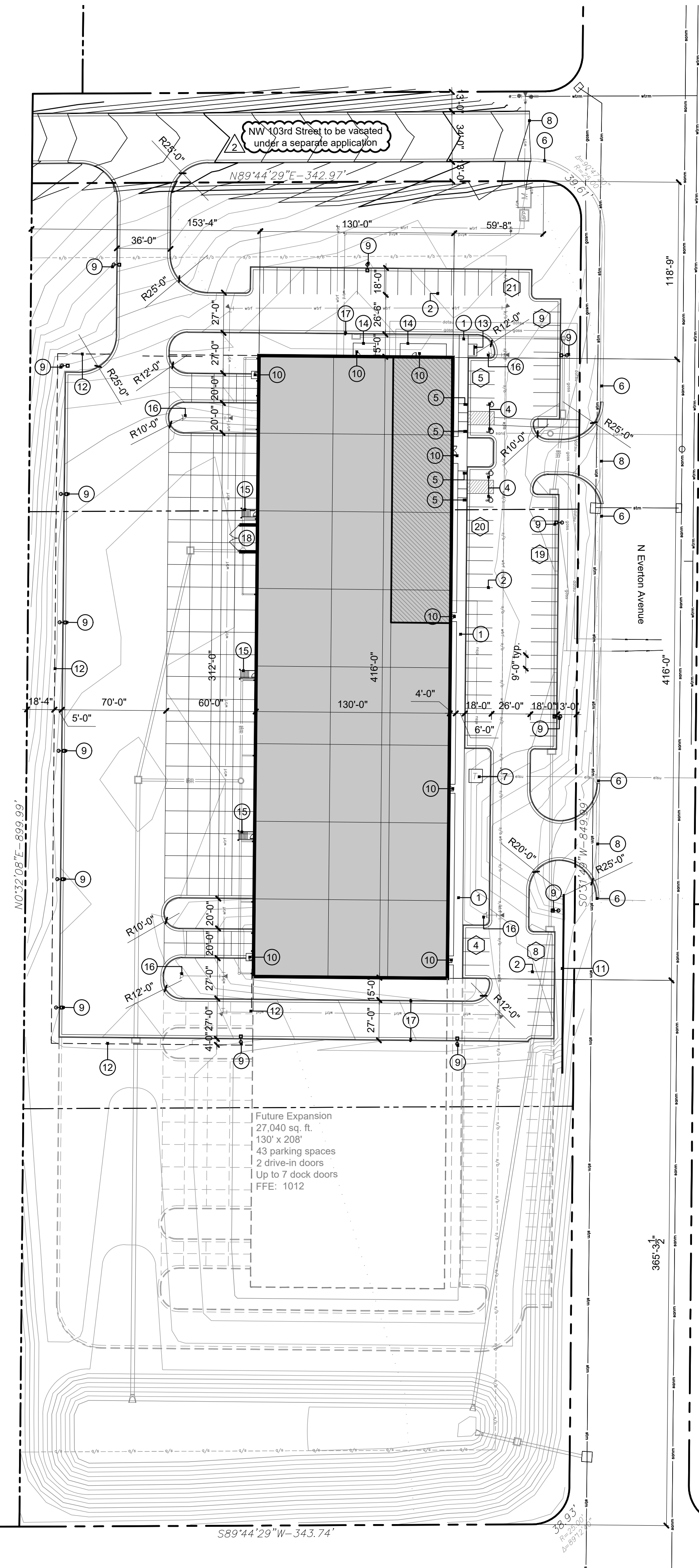
- Concrete sidewalk - 4" thick with 6x6 10/10 WWF steel mesh. Control joints at 6'-0" o.c. Broom finish for non-slip surface.
- Parking lot striping to be painted white with 4" stroke.
- Furnish and install ADA accessible ramp and sidewalk per Civil drawings.
- ADA parking space design per Civil drawings with universal symbol painted white with 4" stroke.
- ADA parking signage per detail. Mount sign at not more than 60" a.f.g. to bottom. Sign to contain the universal handicap symbol and "van accessible" as required per ADA and be installed within 5' of stall.
- Existing concrete curb to remain.
- Furnish and install concrete pad for pad-mounted transformer per Civil drawings.
- Coordinate access drive with existing paving conditions and match existing elevations per Civil drawings.
- Furnish and install exterior LED parking lot lighting, pole and base per Photometric drawing with full cut-off and non-adjustable fixture head. Lighting to meet City of Kansas City standards.
- Furnish and install concrete frost depth stoop per Structural Engineer.
- Furnish and install modular retaining wall. Maintain grade change per Civil drawings with 42" high painted galvanized guardrail (modular wall and guardrail design by supplier).
- Furnish and install 6'-0" high security chain link fence with auto-slide gates.
- Furnish and install inverted U bike racks to hold 8 bikes minimum - color red.
- Furnish and install concrete patio off break room. Slope patio maximum 2% to drain water away from building per Civil drawings.
- Furnish and install galvanized steel stair and railing, painted per elevations. With 6" galvanized steel bollards 4'-0" high each side, painted safety yellow.
- New fire hydrant (looped system) per Civil drawings.
- Furnish and install permanent sign stating NO PARKING - FIRE LANE per 2018 IFC D103.6. Verify final sign locations with Fire Marshal.
- Tilt-up trash enclosure with metal gates to hold minimum (2) 8-yard dumpsters. Paint to match building standards.



2 ADA sign detail
scale: 1" = 1'-0"

City Plan Commission
Recommends Approval with Conditions
of Case No. CD-CPC-2024-00107 on 11/20/2024

Sara Cooperland
Sara Cooperland, F.A.I.C.E.
Secretary of the City Plan Commission



1 site plan
scale: 1" = 50'-0"

a new development for
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10220 N Everton Avenue
Kansas City, Missouri 64153

date: 07.26.2024
drawn by: DAE
checked by: DAE
revisions:

09.16.2024	1
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sheet number
A1.1
drawing type: preliminary
project number: 23239

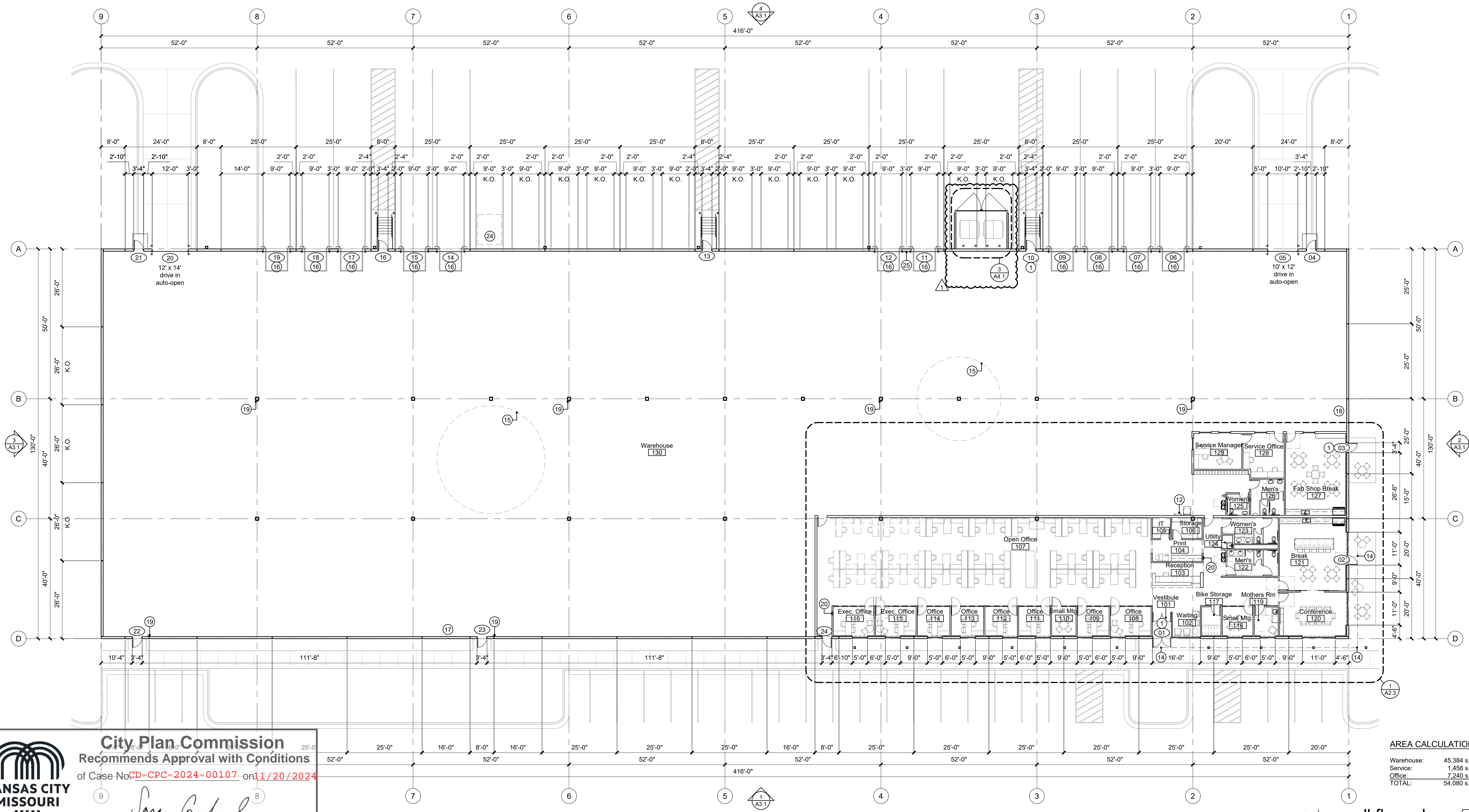


general notes:

- Double keyed locks are not permitted on any required or marked exit.
- Exit/emergency lighting are subject to an on site inspection.
- Furnish and install fire sprinkler protection per NFPA 13.
- Install address numbers on the front & rear of building per governing jurisdiction.
- Monitoring (with lockbox) of the fire sprinklers by an approved central station & audio/visual alarms in restrooms & general usage areas will be required if more than 100 heads are provided throughout building.
- Building construction must fully comply with all requirements of ADA accessibility guidelines.
- Provide 3-1/2" batt insulation between conditioned & unconditioned spaces.
- Exit doors shall be openable from the inside without the use of a key or any special knowledge or effort.
- Provide electrical outlets @ 15' a.f.f. to the lowest outlet per ADA.
- Areas with drive-in doors require ventilation of at least 1.5 CFM per gross square foot of floor area with an equal amount of make-up air.
- Egress illumination shall be provided at an intensity of not less than 1 foot candle at floor level & at the exterior of the building.
- Provide 44" min. clear in all exit passageways.
- All new exterior utility service equipment shall be painted to match the building standard color(s).
- Furnish and install horns and strobes as required. Fire alarm design to be non-proprietary system by design-build contractor. Contractor to submit fire alarm design/drawings to governing jurisdiction, for review/approval.
- All electrical outlets within 6' of any sink or water source to be GFCI protected.
- Construction materials exposed within plenums shall be noncombustible or shall have a flame spread rating of not more than 25 and a smoke developed rating of not more than 50.
- All low voltage wire and cable, optical fiber, pneumatic tubing, and all ducts and duct coverings, linings and connectors install within plenum areas must be rated for plenum use.
- Install approved Knox Box per Fire Department requirements.

construction notes: #

1. Furnish and install access control at exterior doors.
2. Furnish and install casework reception desk, transaction top at 42" a.f.f. and work surface / accessible top at 30" a.f.f.
3. Furnish and install lower 15" deep plastic laminate casework with plastic laminate top.
4. Furnish and install lower plastic laminate casework and plastic laminate top with 4" backsplash per details.
5. Furnish and install upper and lower plastic laminate casework with solid surface top, under mount sink, garbage disposal, dishwasher, refrigerator with ice maker, power and water for coffee maker, and power for 2 microwaves.
6. Furnish and install upper and lower plastic laminate casework and plastic laminate top with 4" backsplash per details, drop-in sink, garbage disposal, industrial refrigerator with ice maker, and power and water for coffee maker.
7. Furnish and install lower plastic laminate casework island with solid surface countertop. Include trash and recycling bins in casework cabinet.
8. Furnish and install plastic laminate counter with 4" backsplash and metal bracket supports at 48" o.c. max per details. Top of counter mounted at 34" o.c.
9. Furnish and install bike hooks on wall to accommodate 7 bikes.
10. Furnish and install ADA compliant restroom with 67" turning radius with 10" maximum overlap at knee and toe clearance per ADA. Install plastic laminate base cabinet with drop-in sinks, automatic faucets, automatic soap dispensers, 30" x 48" mirrors, HDPE toilet partitions, grab bars, toilet tissue dispensers, recessed paper towel dispensers, and sanitary napkin disposal in women's restroom.
11. Furnish and install ADA compliant restroom with 67" turning radius with 10" maximum overlap at knee and toe clearance per ADA. Install plastic laminate base cabinet, automatic soap dispensers, 30" x 48" mirrors, HDPE toilet partitions, grab bars, toilet tissue dispensers, recessed paper towel dispensers, and sanitary napkin disposal in women's restroom.
12. Furnish and install 30" x 36" roof hatch and ladder with cage and intermediate landing. Coordinate final location with roof joist layout. Provide fall arrest system to meet OSHA requirements.
13. Furnish and install in-floor data and electrical for open office work stations and conference room table. Coordinate final location with Owner prior to install.
14. Line of canopy above. Metal stud framing with DensGlass, STO Guard Gold Coat, and direct applied EIFS, slope top to drain water with TPO.
15. Furnish and install B.A. Fan, size: TBD, verify final location with supplier.
16. 9' x 10' power operated, insulated sectional overhead dock door with 45,000 lb. hydraulic leveler, dock restraint, dock scale and bumpers. Coordinate structural and electrical requirements for leveler size capacity, dimensions and depth.
17. Approximate location of electrical service entrance.
18. Approximate location of water service entrance and fire riser.
19. Furnish and install 10 lb. 4A-70BC rated F.E. (surface mounted) with approved mounting - verify quantity and location with Fire Marshal.
20. Furnish and install semi-recessed fire extinguisher cabinet with stainless steel finish and vision panel in door, with 3A-40BC (5 lb. min.) fire extinguisher, bottom at 36" a.f.f. Coordinate final location with Fire Marshal.
21. Exterior bollard lights per photometric drawing.
22. Furnish and install lower plastic laminate casework and plastic laminate countertop with 4" backsplash per details, drop-in sink, and under counter refrigerator in Mother Room.
23. Furnish and install pinned faced 2" rigid insulation (R-11 min.) from 10'-0" a.f.f. to deck on east and north walls adjacent to finished office space. Extend rigid insulation board to next sill panel joint.
24. Proposed generator location. Verify final location and size with Owner.
25. Furnish and install 18" deep plastic laminate shelving on KV standards to 8'-0" a.f.f. (minimum 5 shelves)
26. Install 3/4" 4'x7' fire rated / treated plywood on wall, painted. Verify final size and location with electrical, phone, data and IT equipment. Install ground bar and bond to building steel per electrical drawings.
27. Furnish and install hallow drinking fountain with bottle filter per MEP drawings and per ADA/ANSI.
28. Furnish and install (18) 12" X 18", single height metal lockers with 4" metal base and sloped metal top.
29. Furnish and install manual roller shade for each exterior window (SHDS-1). Openness factor 3%.
30. Furnish and install un-faced sound attenuation insulation in ceiling above rooms 108-116, 127, 128, & 129.
31. Furnish and install shatter proof film on all glazing in warehouse area.
32. Furnish and install emergency eyewash station including plumbing supply and waste lines.
33. Install floor drain per plumbing drawings.
34. Furnish and install epoxy flooring at forklift parking area.
35. Furniture shown for reference only, will be provided by Owner.
36. Furnish and install adequate power for Owner supplied printer/copy equipment.
37. Furnish and install janitor mop basin with hose extension, mop rack, and FRP to 8'-0" a.f.f. on all walls.



City Plan Commission
Recommends Approval with Conditions
of Case No. CD-CPC-2024-00107 on 11/20/2024

Sara Gabriel
Secretary of the City Plan Commission

AREA CALCULATIONS:

Warehouse:	45,384 s.f.
Service:	1,456 s.f.
Office:	7,240 s.f.
TOTAL:	54,080 s.f.

1 overall floor plan
scale: 1/16" = 1'-0"

a new development for
Project Maartin
10220 N Everton Avenue
Kansas City, Missouri 64153

date 07.26.2024
drawn by DAE
checked by DAE
revisions 1
09.16.2024

sheet number
A2.1
drawing type preliminary
project number 23239



City Plan Commission
 Recommends Approval with Conditions
 of Case No CD-CPC-2024-00107 on 11/20/2024

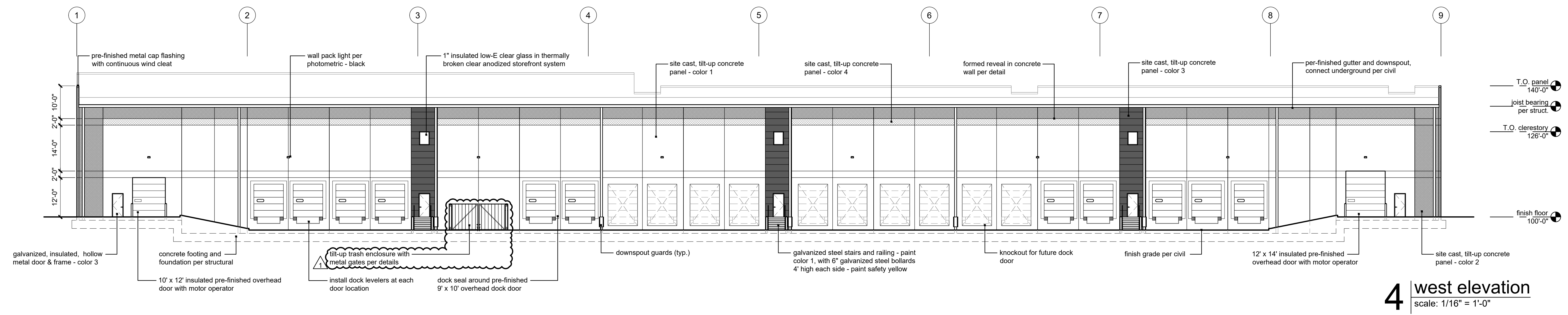
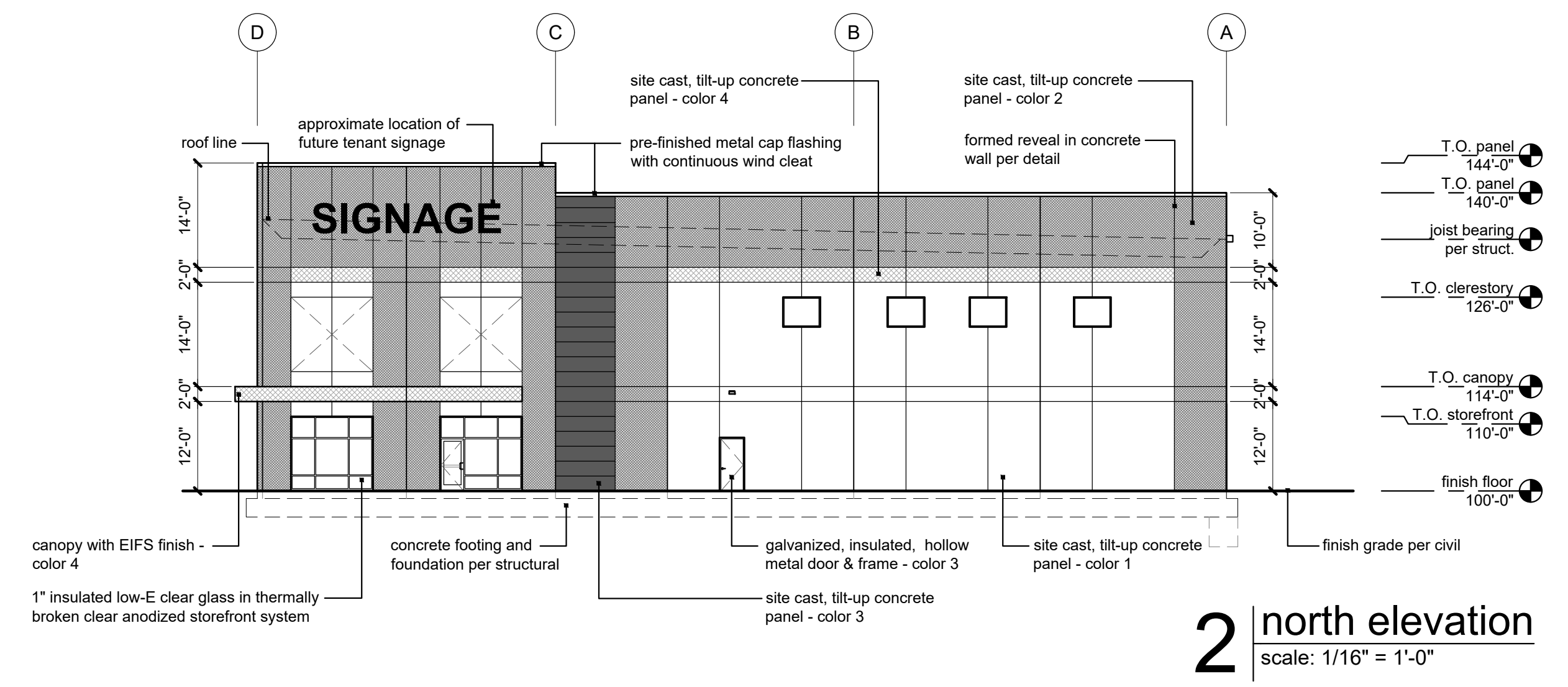
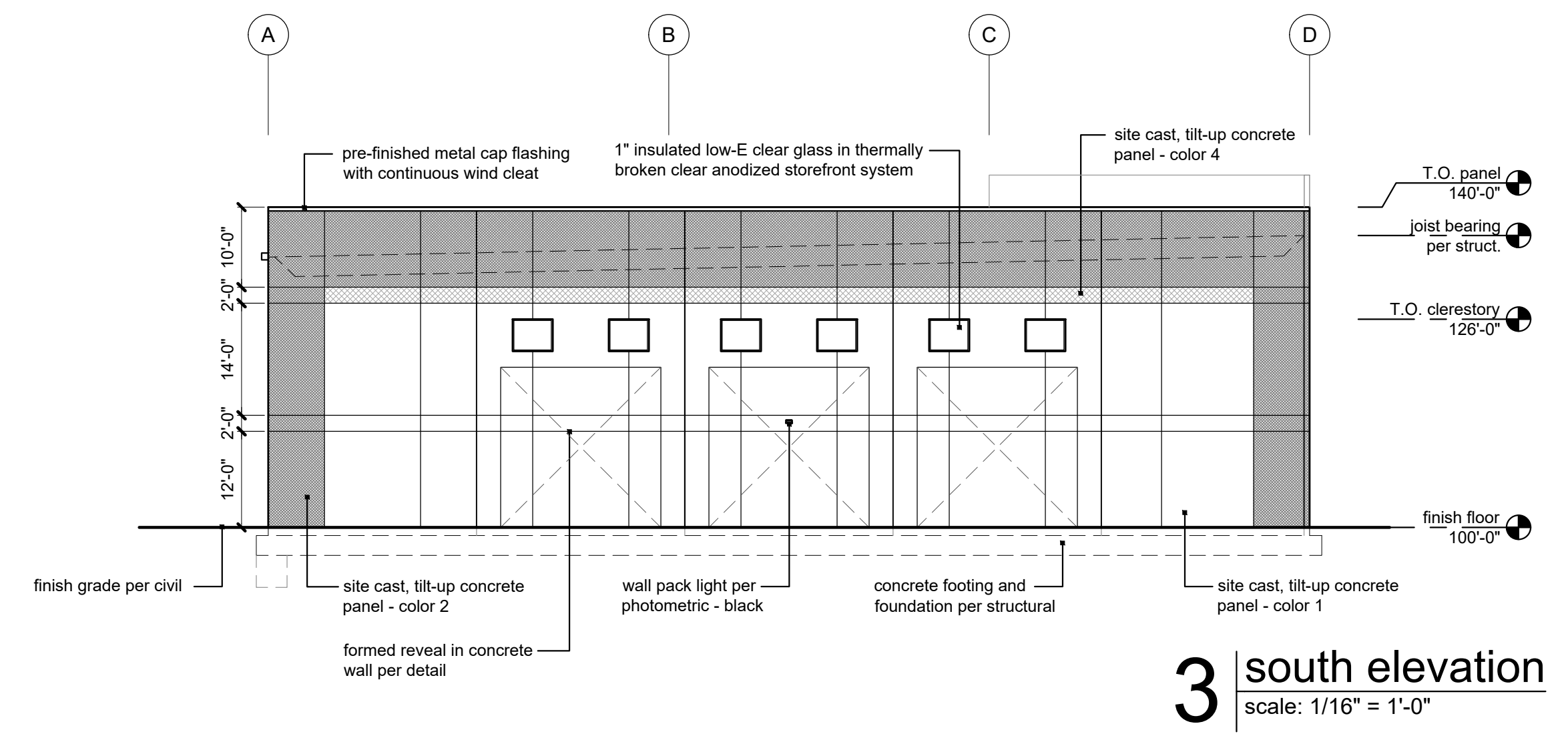
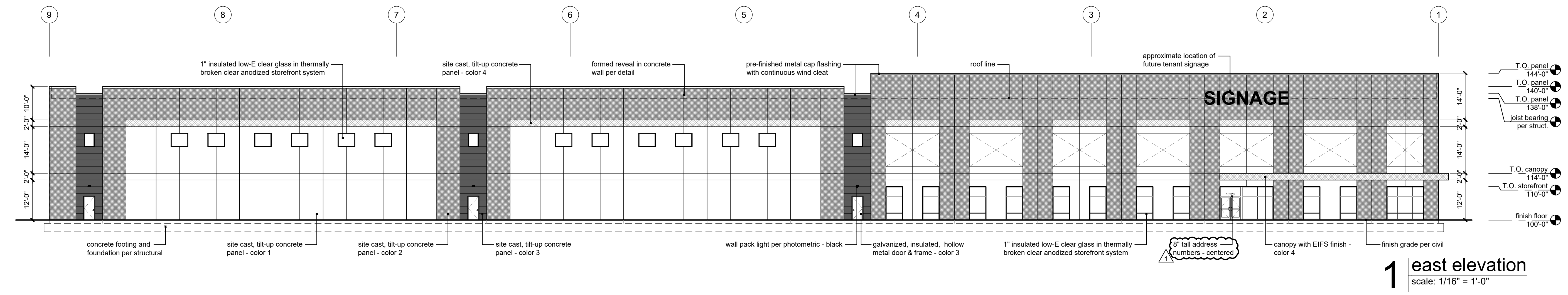
Sara Gabriel
 Sara Gabriel, FAICP
 Secretary of the City Plan Commission

exterior materials and finishes:

- concrete tilt up panels:**
- P1 - color: Sherwin Williams SW7063 "Nebulous White", Ultracrete Fine Texture, Low Sheen Egg-Shell, apply per manufacturer's recommendations
 - P2 - color: Sherwin Williams SW6255 "Morning Fog", Ultracrete Fine Texture, Low Sheen Egg-Shell, apply per manufacturer's recommendations
 - P3 - color: Sherwin Williams SW7076 "Cyberspace", Ultracrete Fine Texture, Low Sheen Egg-Shell, apply per manufacturer's recommendations
 - P4 - color: Sherwin Williams custom match to Owner's logo red, Ultracrete Fine Texture, Low Sheen Egg-Shell, apply per manufacturer's recommendations

- caulk:** caulking colors selected to match adjacent walls
- storefront:** anodized aluminum frame, color: clear
- EIFS canopies:** direct applied EIFS system, fine finish, color: to match P-4
- glass:** 1" insulated low-E glass with argon fill
 *use SOLARBAN 60 as basis (to meet U-value .29)
- pre-finished metal cap flashing, gutters, downspouts, and scuppers:** Holcim Elevate, color: "Cityscape"
- exterior hollow metal doors and frames:** Paint to match adjacent wall color
 Pro Industrial High Performance Epoxy, semi-gloss, (1 coat primer, 2 coats paint to cover)

- bollards:** galvanized, paint safety yellow
- overhead doors:** manufacturer's pre-finished color: white
- dock seals:** dark gray
- signage:** all signage shall conform to the City of Kansas City, Missouri Zoning & Development Code 88-445 and shall require a sign permit prior to installation - (permit by sign vendor)



a new development for
Project Maartin
 10220 N Everton Avenue
 Kansas City, Missouri 64153

date 08.28.2024
drawn by DAE
checked by DAE
revisions
 09.16.2024 1

sheet number
A3.1
drawing type preliminary
project number 23239



City Plan Commission
 Recommends Approval with Conditions
 of Case No. CD-CPC-2024-00107 on 11/20/2024

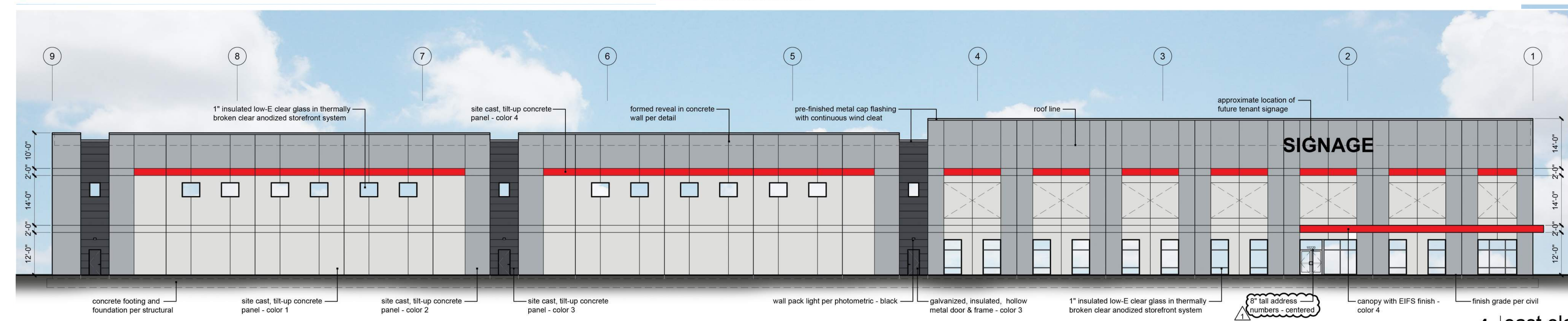
Sara Gabriel
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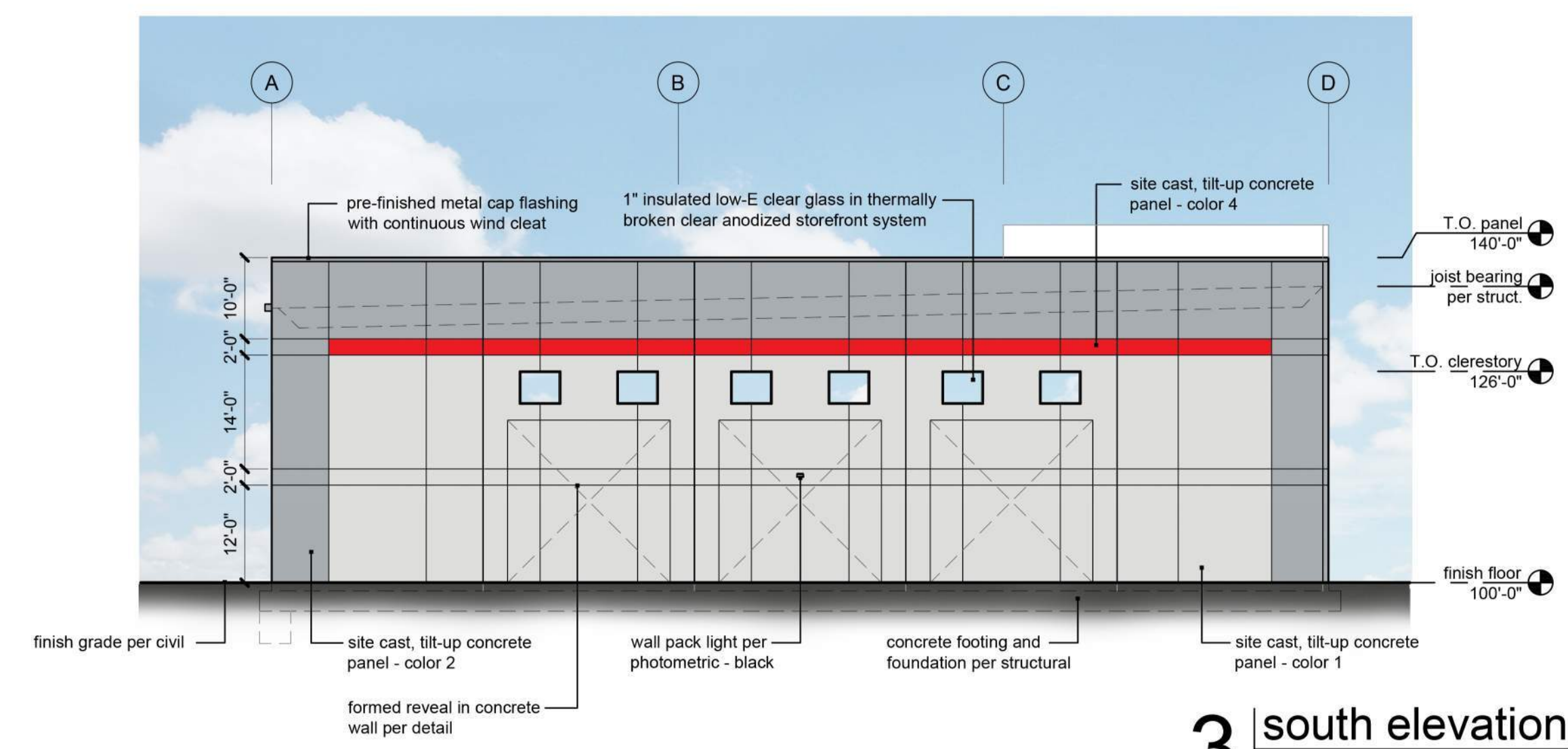
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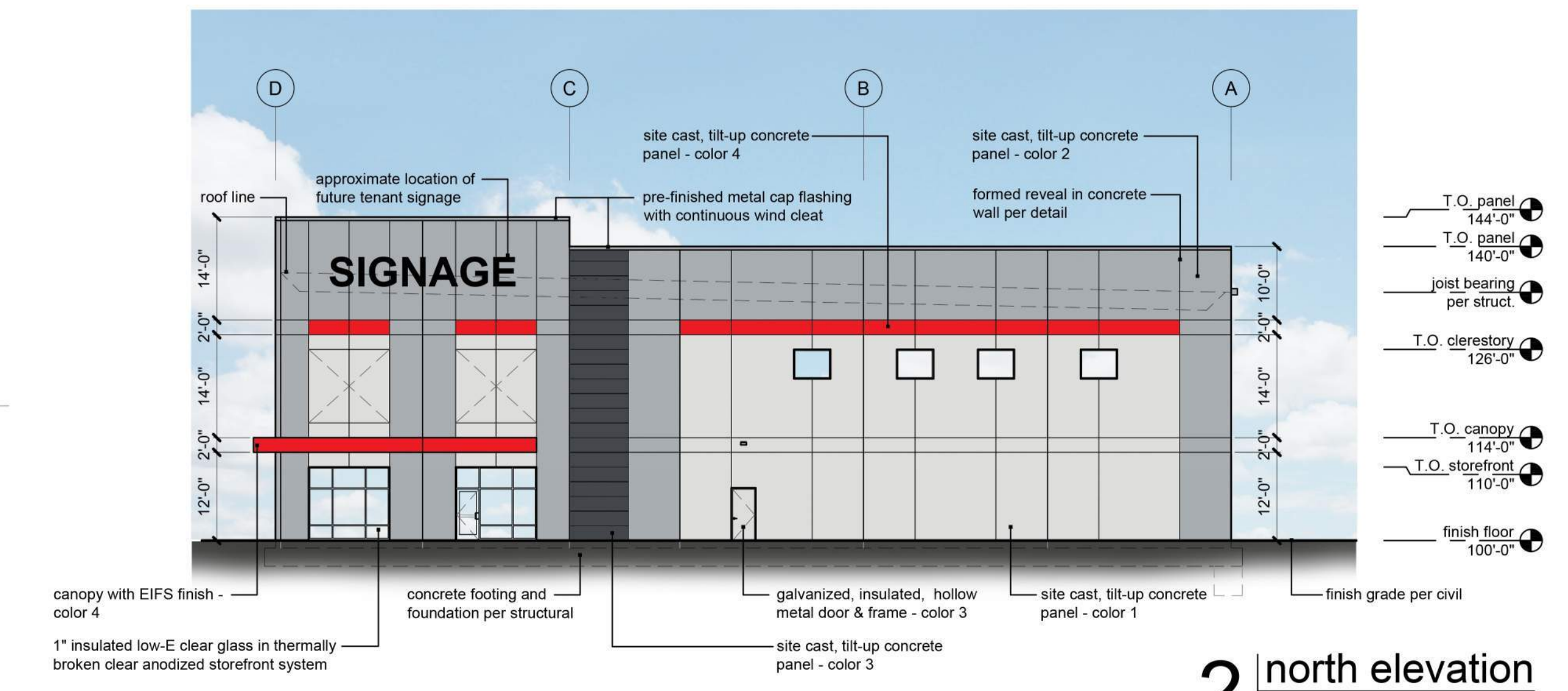


- T.O. panel 144'-0"
- T.O. panel 140'-0"
- T.O. panel 138'-0"
- joist bearing per struct.
- T.O. canopy 114'-0"
- T.O. storefront 110'-0"
- finish floor 100'-0"

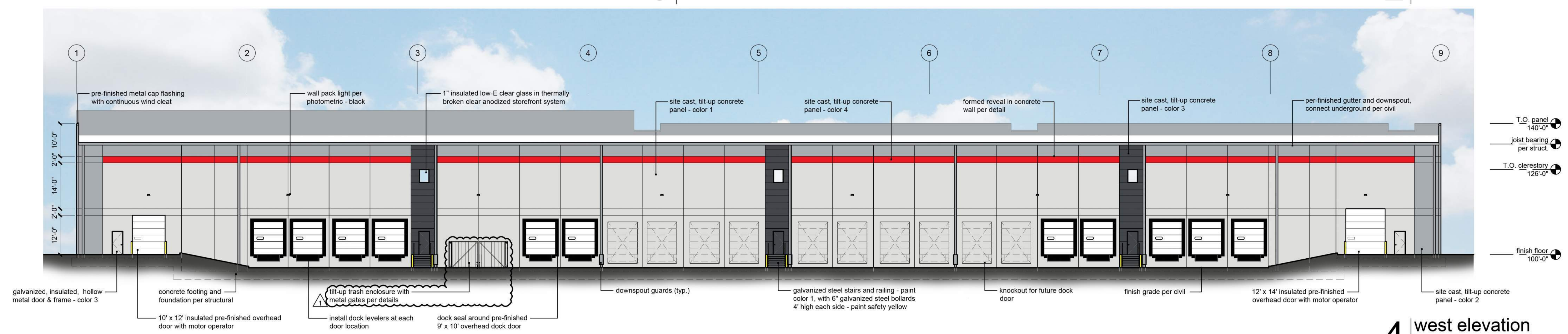
1 east elevation
 scale: 1/16" = 1'-0"



3 south elevation
 scale: 1/16" = 1'-0"



2 north elevation
 scale: 1/16" = 1'-0"



4 west elevation
 scale: 1/16" = 1'-0"

a new development for
Project Maartin
 10220 N Everton Avenue
 Kansas City, Missouri 64153

date 07.10.2024
 drawn by DAE
 checked by DAE
 revisions

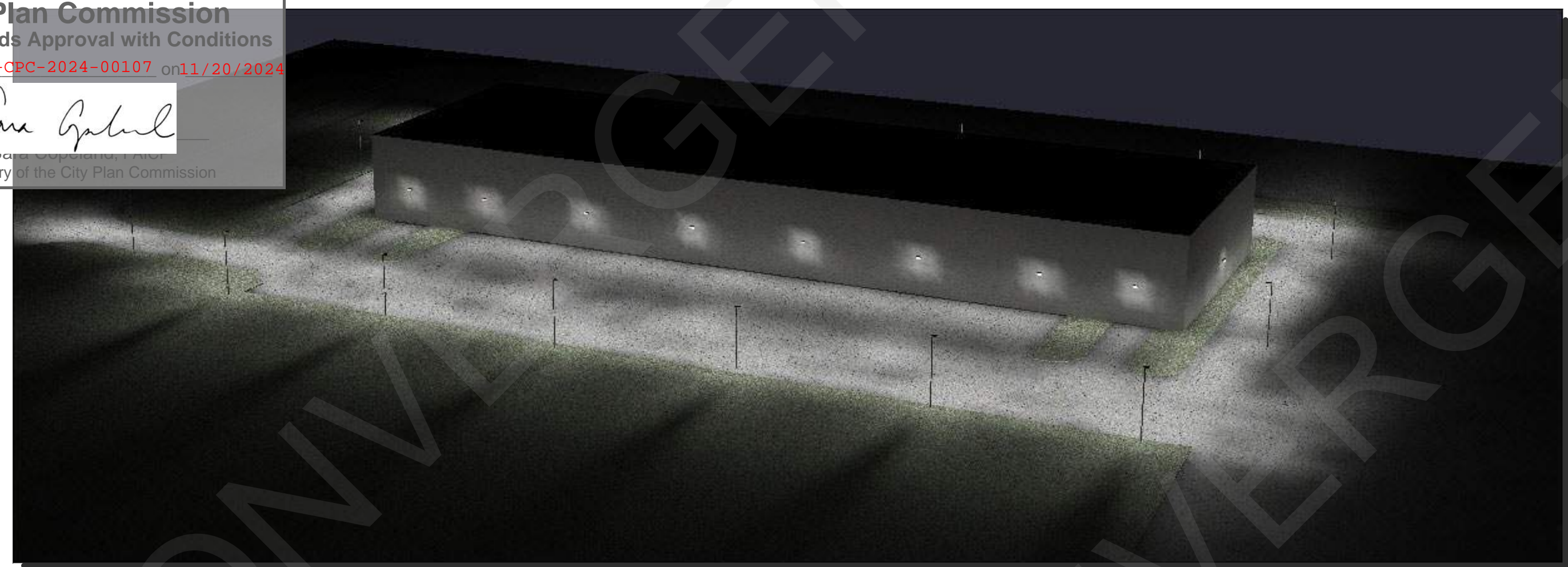
sheet number
A3.2
 drawing type
 planning
 project number
 23239

LIGHTING FIXTURE SCHEDULE

SYB.	TAG	QTY.	MODEL	DISCRIPTION	LLF	WATTS	LUMENS
	A-S2	4	(1) RAR2-480L-255-3K7-2-BC	BEACON-RATIO-3000°K-TYPE II-BC-SINGLE MT	0.900	257	20251
	B-S3	4	(1) RAR2-480L-295-3K7-3-BC	BEACON-RATIO-3000°K-TYPE III-BC-SINGLE MT	0.900	294	27338
	C-4F	6	(1) RAR2-480L-255-3K-4F-BC	BEACON-RATIO-3000°K-TYPE IV F-BC-SINGLE MT	0.900	255	29429
	D1	8	NU4-RD-SW-30K-LOPRO	ALPHABET-BRUCK-4 IN RD-3000°K-LOW PROFILE	0.900	26.72	2234
	L1	10	RBD-42L-23-3K7-270	BEACON RATIO BOLLARD-SQUARE-42 IN H-3000°K	0.900	27.5	2162
	WP1	8	RWL1-48L-45-3K7-3	BEACON -RATIO-WALL PK-3000°K-TYPE III DIST.	0.900	46.5	5561
	WP2	5	RWL1-48L-20-3K7-4W	BEACON RATIO WALL PK-TYPE IV DIST-3000°K	0.900	19.9	2569

City Plan Commission
 Recommends Approval with Conditions
 of Case No CD-CPC-2024-00107 on 11/20/2024

Sara Gabriel
 Secretary of the City Plan Commission



VIEW OF DOCK DOORS



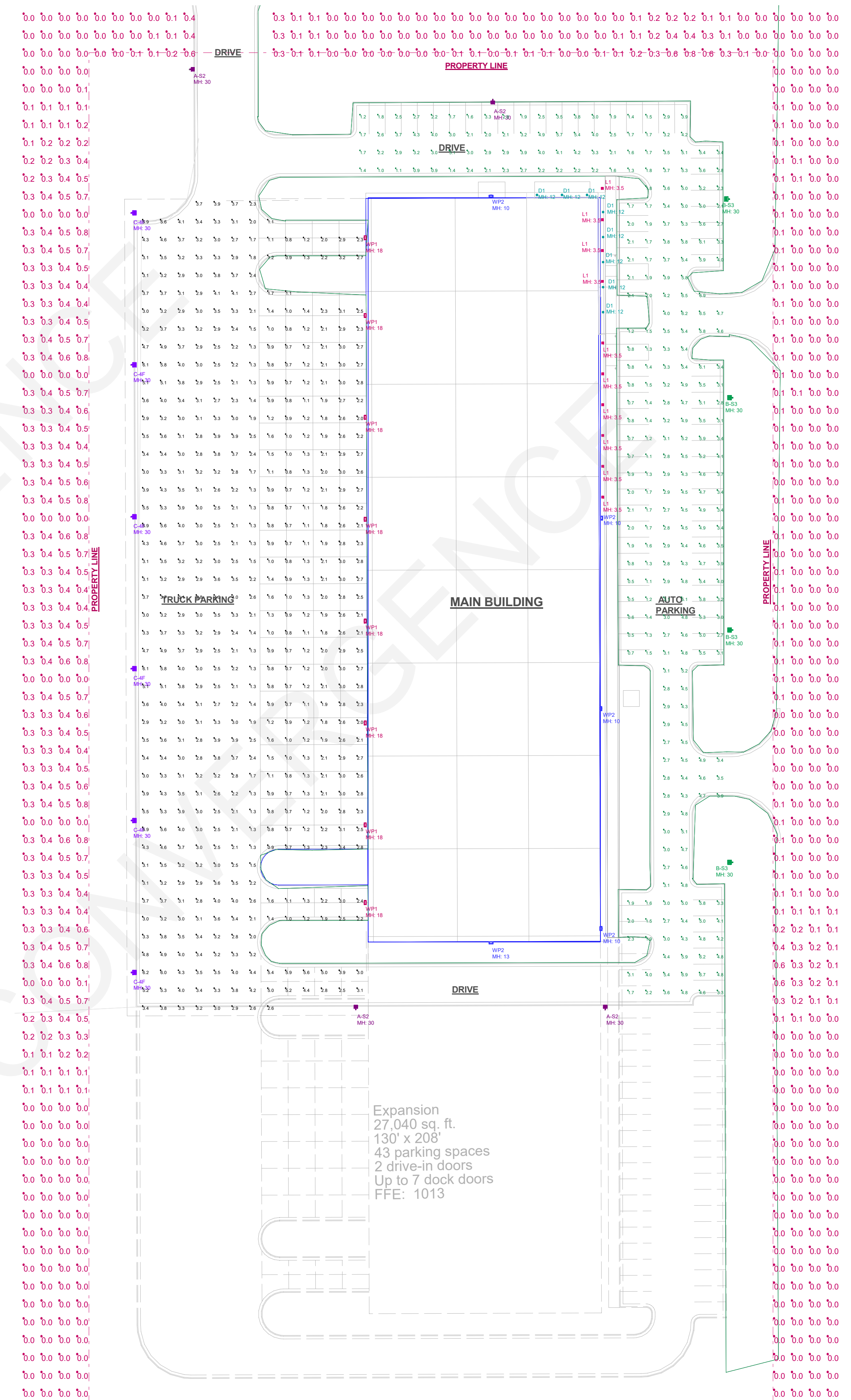
REVISED ENTRANCE

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CALCULATION SUMMARY IN FOOT-CANDLES

AREA	Avg	Max	Min	Max/Min
AUTO PARKING	3.3	6.9	0.5	13.8
PROP LINE-EASEMENT	0.1	0.8	0.0	N.A.
TRUCK PARKING	2.7	6.2	0.7	8.9

ASSUMPTIONS:
 Goal Illuminance:
 Parking: Avg. 2.5-3.5 FCs
 Min. FCs: 0.5 FCs
 Less than 15:1 Max to Min
 Fixtures Mounting Height:
 30'-0" Poles
 10 & 18'-0" Wall Mounted
 Building Height:
 Tallest Parapet: 44'*0"
 Reflectance's:
 Asphalt: 37%
 Stone/Stucco Bld: 50%
 Calculation Plane: @ 0'-0"



SITE LIGHTING PHOTOMETRICS
 Scale: 1 inch= 40 Ft. (printed on an ANSI D Paper Size)

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103 E 18th Avenue
 North Kansas City, MO 64116
 Phone: (816) 581-6300

Project Maartin
 10220 N Everton Avenue
 Kansas City, Missouri 64153

CALC-0195-MAARTIN EXTERIOR SITE LTG-KCMO-REV-02

DESIGNED BY: DJT

REVISIONS

REV-01: PER ARCH REDLINES
 REV-02: Add Prop Ln

DATE: 8/30/2024

PROPERTY LINE