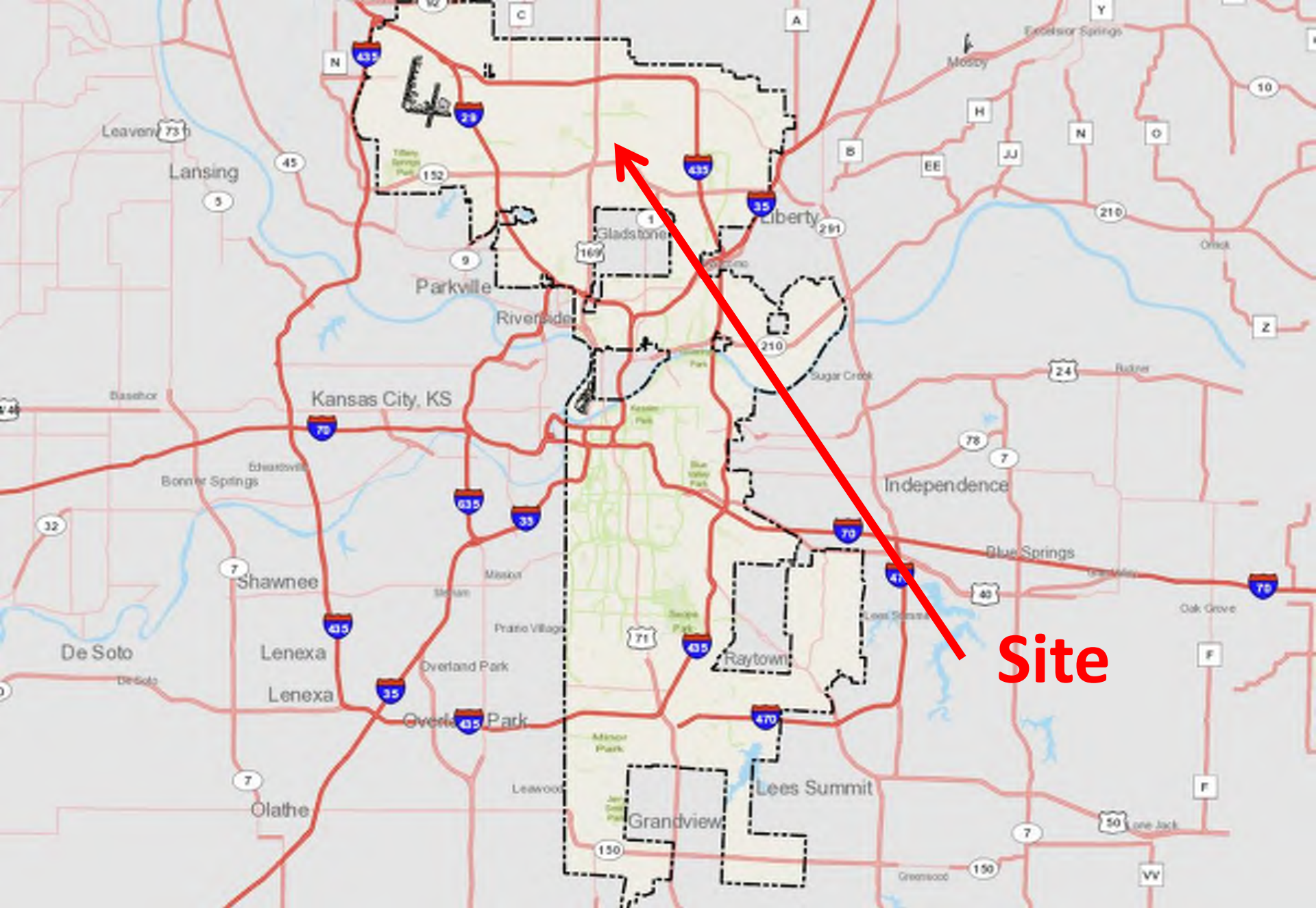


Docket #4

Case No. CD-CPC-2020-00191

Mazuma Credit Union – Rezoning to MPD



Site



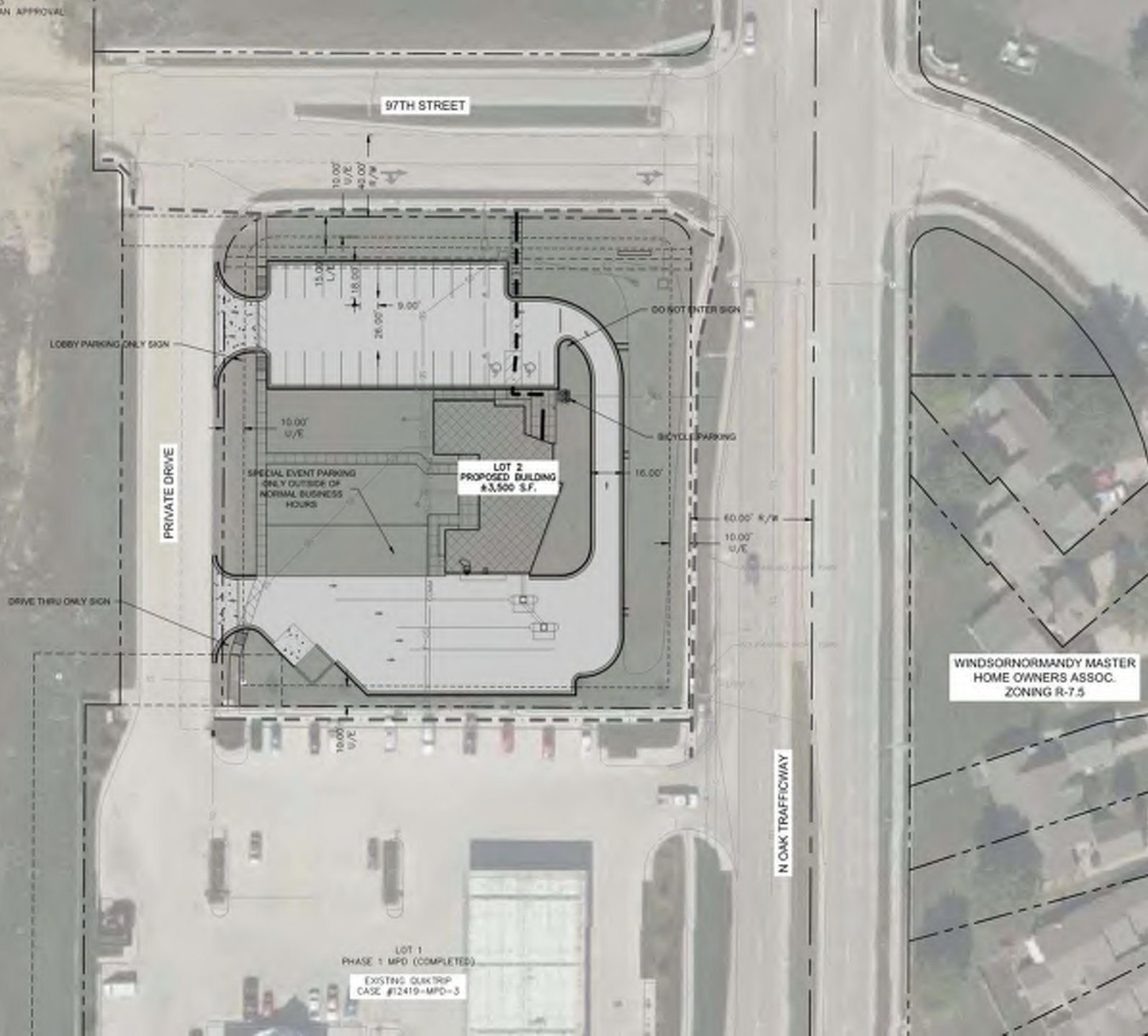
View looking north from N. Oak Trfy.

 **Case No. CD-CPC-2020-00191**



View looking south from N. Oak Trfy.

 **Case No. CD-CPC-2020-00191**



97TH STREET

PRIVATE DRIVE

N OAK TRAFFICWAY

LOT 2
PROPOSED BUILDING
±3,500 S.F.

SPECIAL EVENT PARKING
ONLY OUTSIDE OF
NORMAL BUSINESS
HOURS

LOBBY PARKING ONLY SIGN

DRIVE THRU ONLY SIGN

DO NOT ENTER SIGN

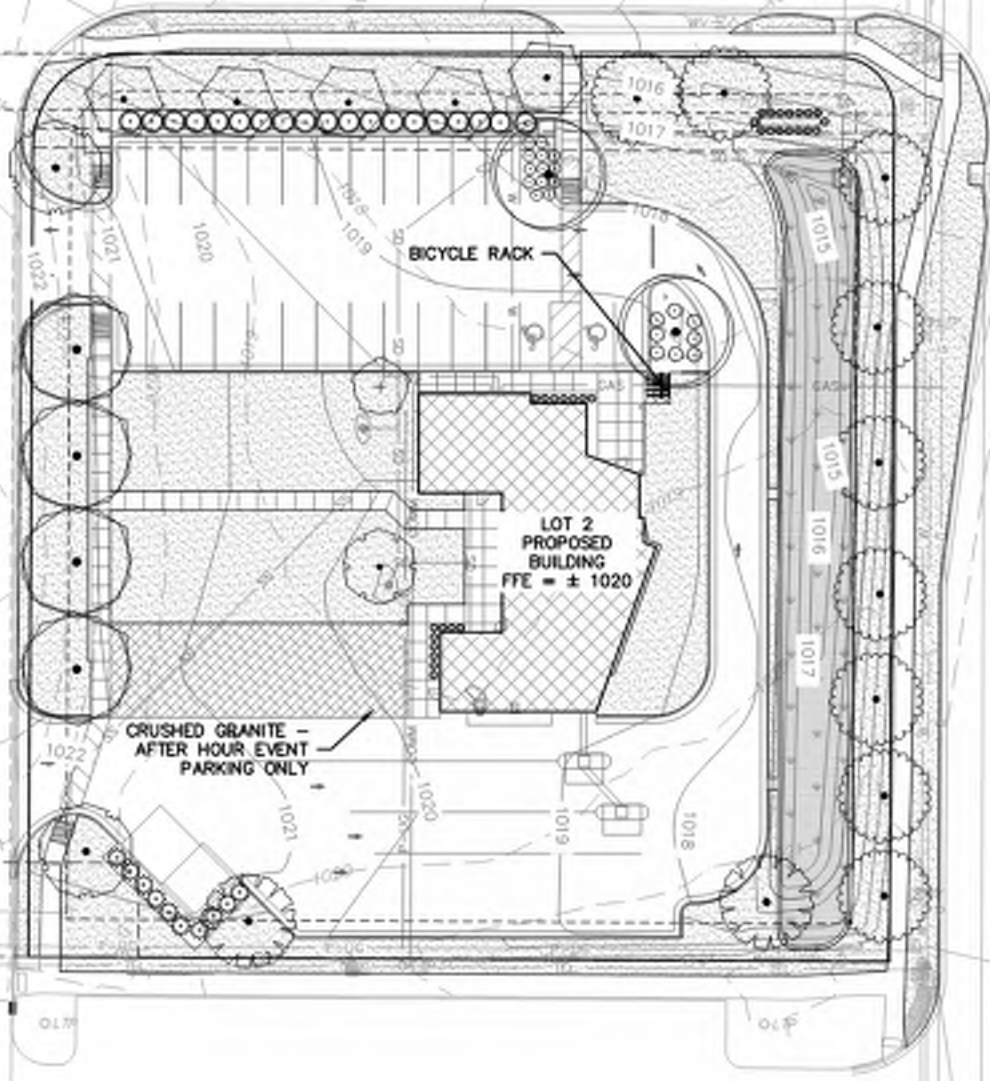
BICYCLE PARKING

WINDSOR NORMANDY MASTER
HOME OWNERS ASSOC.
ZONING R-7.5

LOT 1
PHASE 1 MPD (COMPLETED)

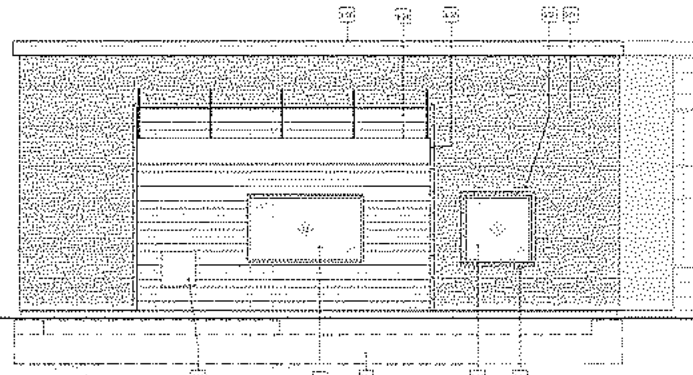
EXISTING QUARTZ
CASE #12419-MPD-3

PRIVATE DRIVE

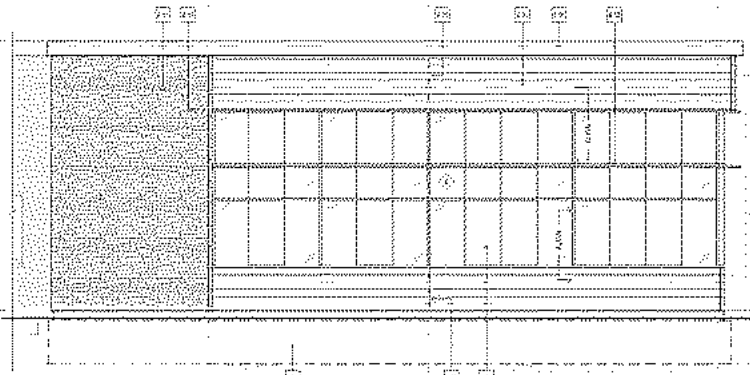


N OAK TRAFFICWAY



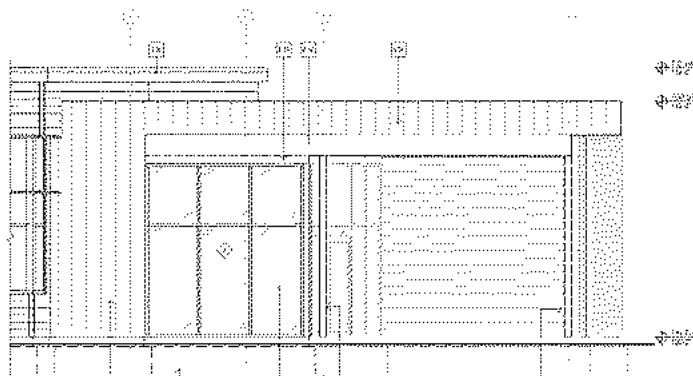


SOUTH ELEVATION
SOUTH SIDE - 11' x 12'

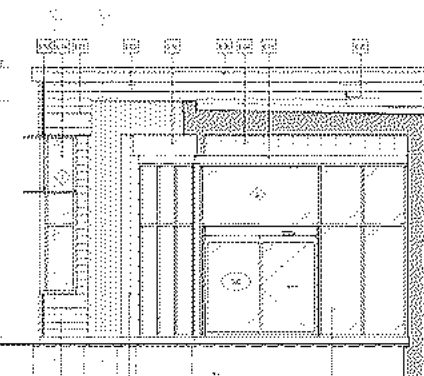


SOUTHEAST ELEVATION
SOUTHEAST SIDE - 11' x 12'

- NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.



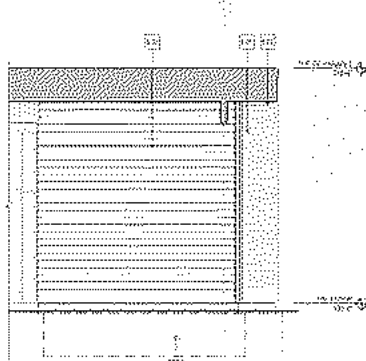
EAST ELEVATION
EAST SIDE - 11' x 12'



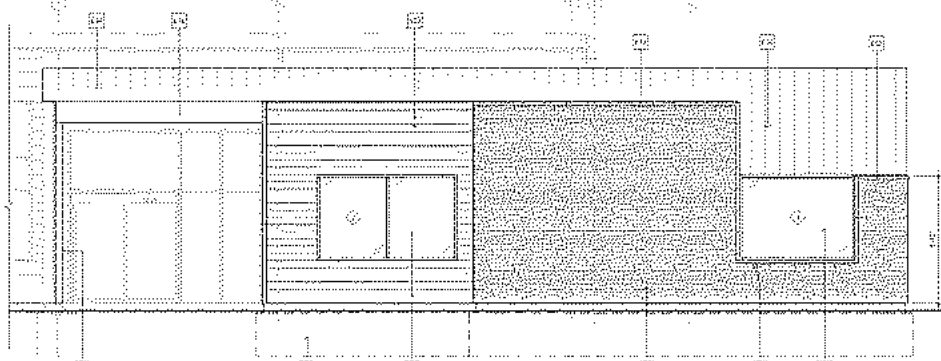
NORTHEAST ELEVATION
NORTHEAST SIDE - 11' x 12'

DETAIL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
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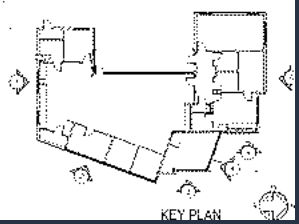


EAST ELEVATION



NORTH ELEVATION

SYMBOL	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
[Symbol]	CONCRETE	1000	CU YD	120.00	120,000.00
[Symbol]	STEEL	500	TON	100.00	50,000.00
[Symbol]	BRICK	10000	SQ YD	1.00	10,000.00
[Symbol]	GLASS	100	SQ FT	100.00	10,000.00
[Symbol]	WOOD	1000	CU YD	100.00	100,000.00
[Symbol]	PAINT	1000	GA	1.00	1,000.00
[Symbol]	ROOFING	1000	SQ YD	1.00	1,000.00
[Symbol]	MECHANICAL	1000	HR	1.00	1,000.00
[Symbol]	ELECTRICAL	1000	HR	1.00	1,000.00
[Symbol]	PLUMBING	1000	HR	1.00	1,000.00
[Symbol]	LANDSCAPE	1000	HR	1.00	1,000.00
[Symbol]	CONCRETE	1000	CU YD	120.00	120,000.00
[Symbol]	STEEL	500	TON	100.00	50,000.00
[Symbol]	BRICK	10000	SQ YD	1.00	10,000.00
[Symbol]	GLASS	100	SQ FT	100.00	10,000.00
[Symbol]	WOOD	1000	CU YD	100.00	100,000.00
[Symbol]	PAINT	1000	GA	1.00	1,000.00
[Symbol]	ROOFING	1000	SQ YD	1.00	1,000.00
[Symbol]	MECHANICAL	1000	HR	1.00	1,000.00
[Symbol]	ELECTRICAL	1000	HR	1.00	1,000.00
[Symbol]	PLUMBING	1000	HR	1.00	1,000.00
[Symbol]	LANDSCAPE	1000	HR	1.00	1,000.00



KEY PLAN

CLOSEUP VIEW FROM NORTHEAST
LOOKING AT MAIN ENTRY



VIEW FROM NORTHEAST

Staff Recommendations:

CD-CPC-2020-00191 Approval with
conditions # 1-18

Docket #5

Case No. CD-CPC-2021-00008

One Nine Vine – Rezoning to UR



Case No. CD-CPC-2021-00008



Case No. CD-CPC-2021-00008



View looking west from Vine Street



Case No. CD-CPC-2021-00008

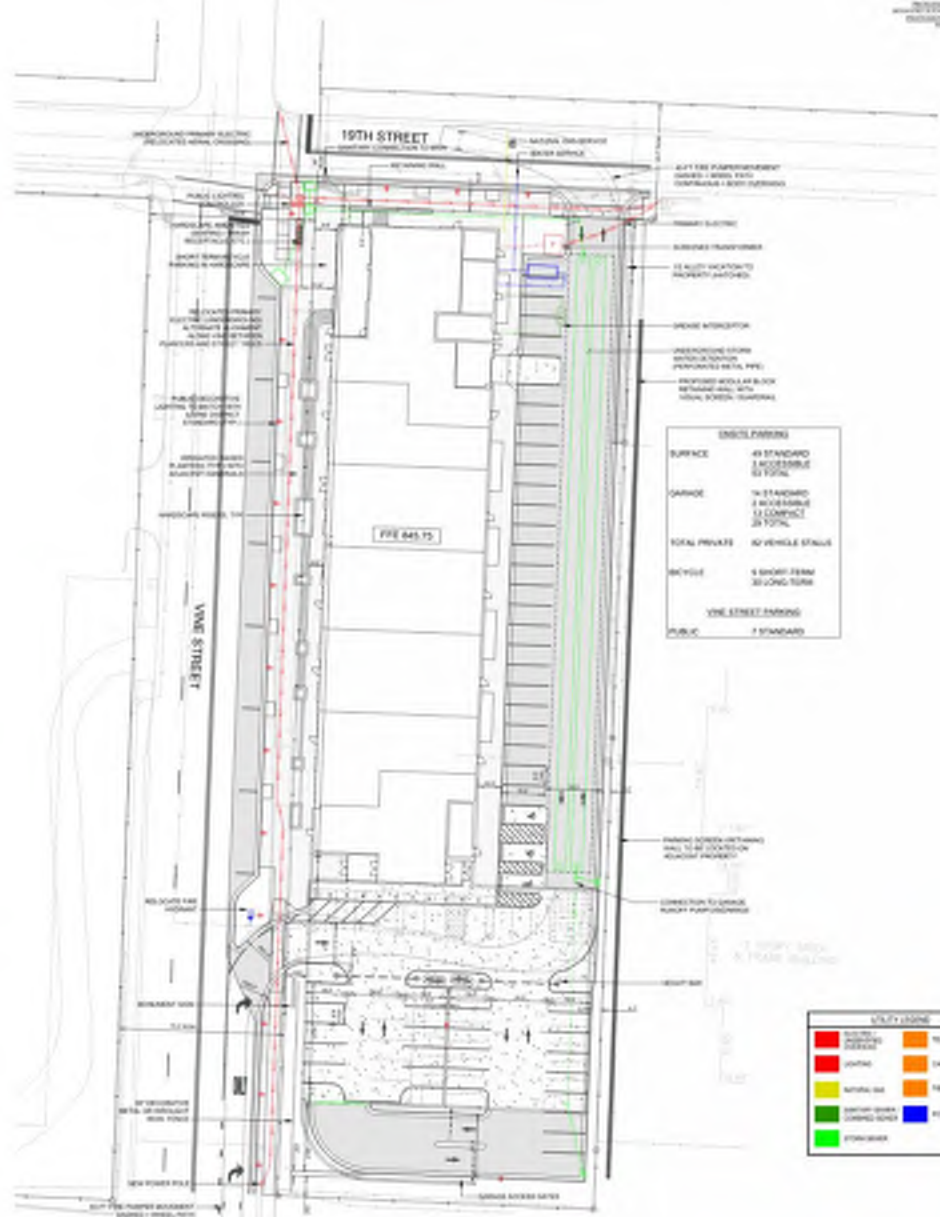


View looking west from Vine Street

 **Case No. CD-CPC-2021-00008**



SUBLEVEL PARKING & UTILITY SITE PLAN



SURFACE & UTILITY SITE PLAN



ENGINEERING

SURFACE	49 STANDARD 2 ACCESSIBLE 51 TOTAL
GARAGE	74 STANDARD 2 ACCESSIBLE 76 TOTAL
TOTAL PRIVATE	125 VEHICLE SPACES
BIKE	5 SHORT TERM 30 LONG TERM
VINE STREET PARKING	7 STANDARD

UTILITY LEGEND

SEWER	TELEPHONE
WATER	CABLE TV
NATURAL GAS	FIBER
STORM SEWER	STREET LIGHT
STORM SEWER	



ORANGE BRICK

SMOKE WHITE HARDBOARD PLANK

GRIZZLE GRAY HARDBOARD PLANK

HAVEN HARDBOARD PLANK

PERFORATED METAL GUARD RAIL

ACCENT BRICK



SOUTH ELEVATION 4

GRIZZLE GRAY HARDBOARD PLANK

SMOKE WHITE HARDBOARD PLANK

SMOKE WHITE HARDBOARD FINE

ORANGE BRICK

HAVEN HARDBOARD PLANK

TRANSFORMER SCREEN

ACCENT BRICK



NORTH ELEVATION 3

SMOKE WHITE HARDBOARD FINE

HAVEN HARDBOARD PLANK

PERFORATED METAL GUARD RAIL

GRIZZLE GRAY HARDBOARD PLANK

ORANGE BRICK



EAST ELEVATION 2

GRIZZLE GRAY HARDBOARD PLANK

SMOKE WHITE HARDBOARD FINE

HAVEN HARDBOARD PLANK

ORANGE BRICK

PERFORATED METAL GUARD RAIL

ACCENT BRICK



WEST ELEVATION 1

SMOKE WHITE CONCRETE PLANKER

BLAZE STORAGE FWP

Grizzle Gray SW 706

Simple White SW 702

Haven SW 6437

Hardie Board Plank

Accent Brick

Orange Brick

GUARD RAIL

Staff Recommendations:

CD-CPC-2021-00008 Approval with
conditions # 1-18

Docket #6.1, 6.2

Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001

The Tracks Apartments – Rezoning to UR, Final Plat



Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001





View looking south from W. 22nd Street



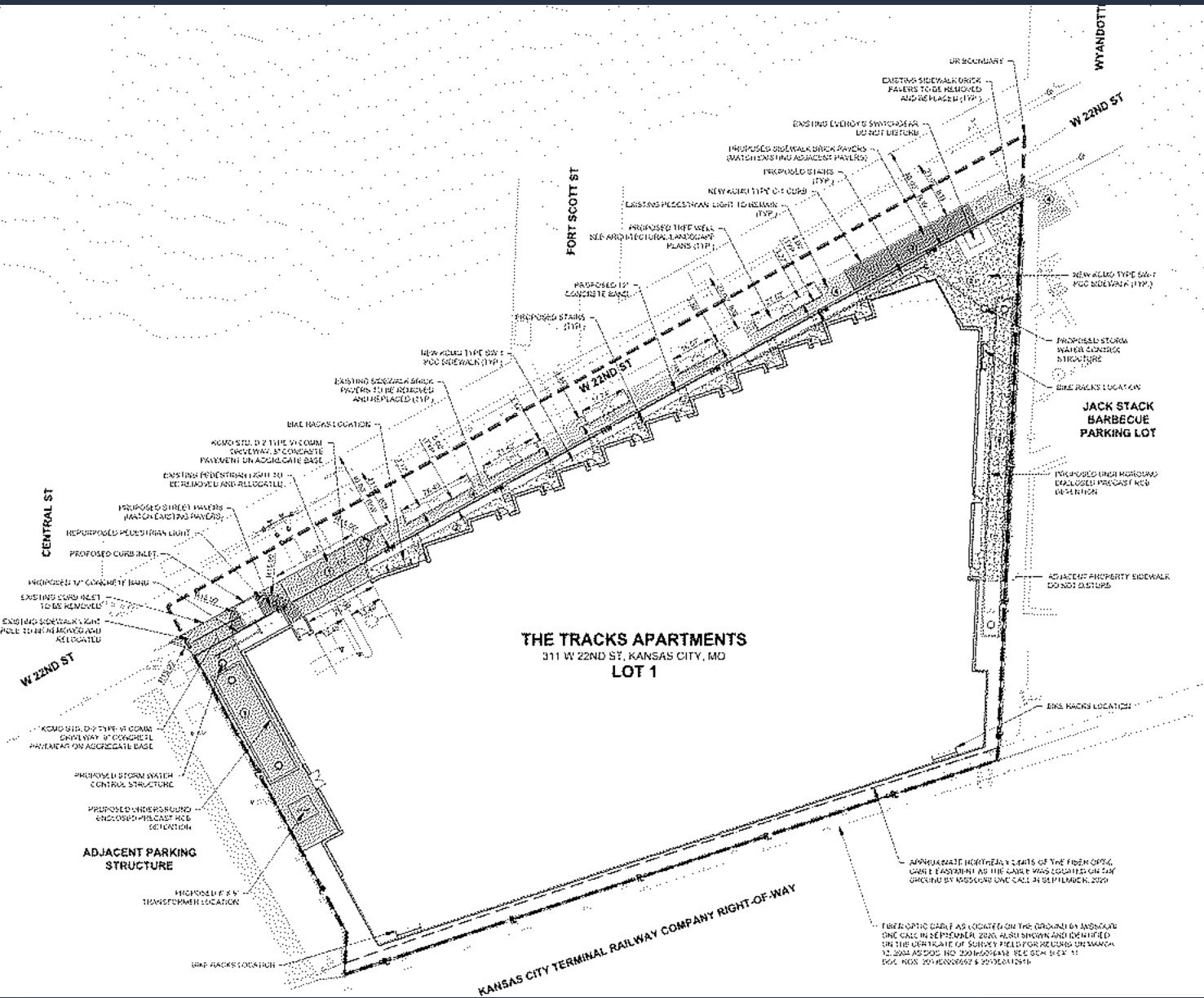
Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001



View looking north from W. 22nd Street



Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001



THE TRACKS APARTMENTS
 311 W 22ND ST, KANSAS CITY, MO
 LOT 1

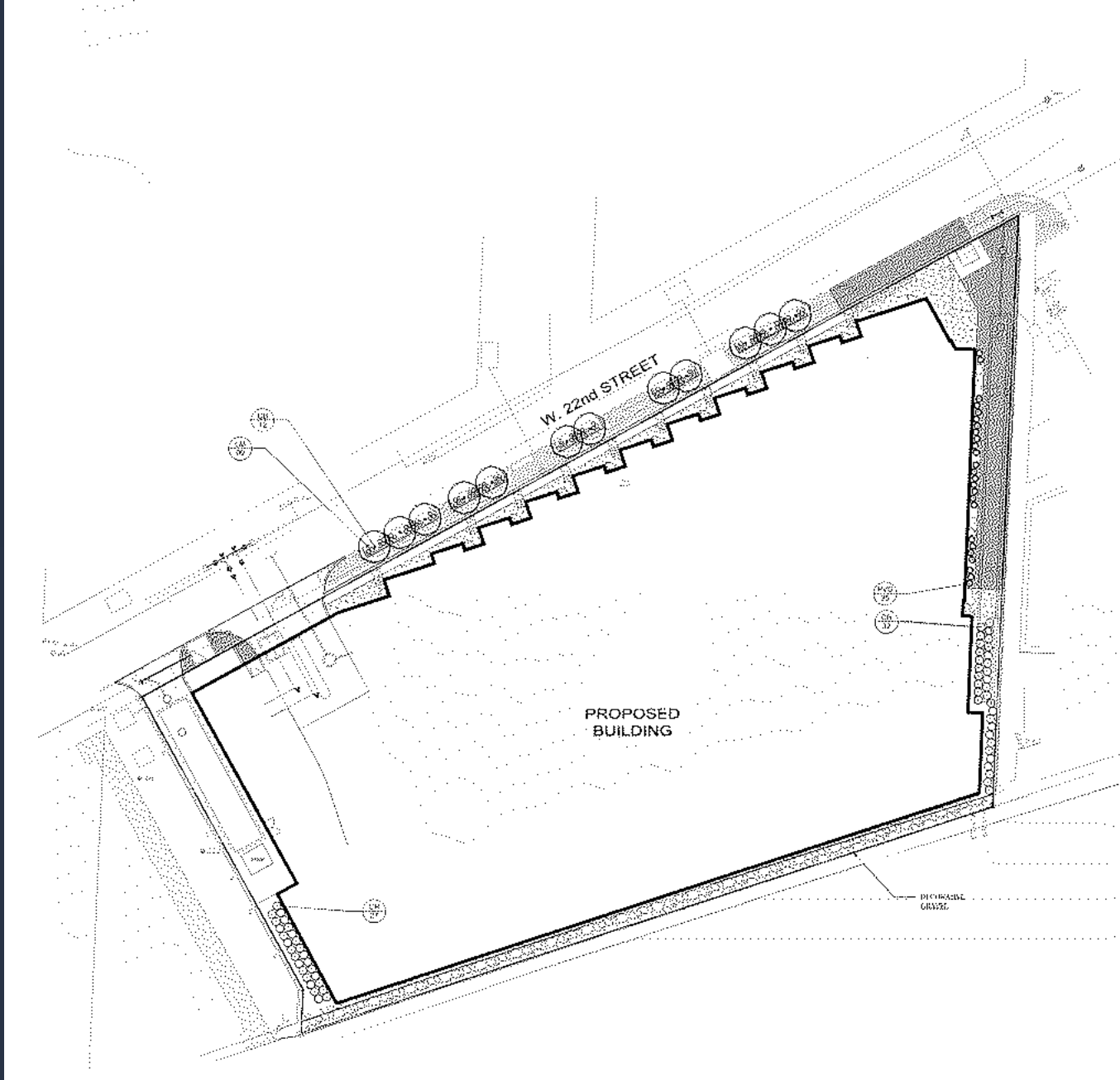
SITE LEGEND:

- UT BOUNDARY
- ① CONCRETE PAVEMENT
- ② CONCRETE SIDEWALK
- ③ SIDEWALK BRICK PAVERS
- ④ HARDWOOD SIDEWALK BRICK PAVERS

APPROXIMATE HORIZONTAL SEATS OF THE FIBER OPTIC CABLE EXPOSED AS THE CABLE WAS LOCATED BY THE GROUND BY KANSAS CITY ONE CALL AT 8/18/2020.

FIBER OPTIC CABLE AS LOCATED ON THE GROUND BY KANSAS CITY ONE CALL IN SEPTEMBER 2020 ALSO SHOWN AND IDENTIFIED ON THE CERTIFICATE OF SURVEY REFERENCE TO PARAGRAPH 12.2002 AS DDC NO. 20016020418. SEE GCN 15X 11 DDC NOS. 2014020002 & 201902112516.







helix.



Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001



Fiber Cement Siding, Typ

Metal Panel Trim Frame



Metal Panel Type 1, Typ

Horizontal Trim to Match Metal Panel



Brick Type 1, Typ

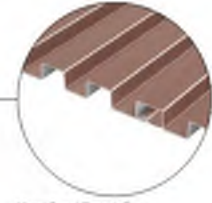


North Facade Perspective





Fiber Cement Siding, Typ



Metal Panel Type 1, Typ



South Elevation

1/16" = 1'-0"



Metal Panel Type 1, Typ

Horizontal Trim to Match Metal Panel



Fiber Cement Siding, Typ



Metal Panel Trim Frame

Cast-in-Place Concrete



Brick Type 1, Typ

East Facade Perspective





Fiber Cement Siding, Typ

Metal Panel Trim Frame



Metal Panel Type 1, Typ

Horizontal Trim to Match Metal Panel

Cast-in-Place Concrete

CMU, Painted



Brick Type 1, Typ



West Facade Perspective



Landscape and Screening Standards (88-425)	Yes	Yes	
Outdoor Lighting Standards (88-430)	Yes	Yes	
Sign Standards (88-445)	N/A	N/A	A sign package was not submitted, but the signs are expected to comply with 88-445 and be permitted separately.
Pedestrian Standards (88-450)	Yes	Yes	

ANALYSIS

193 per revised UR & FDP

The plan, as proposed, is in general conformance with the zoning code requirements. The proposed use including 203 residential units with amenities and a front lobby at the northeast corner of the site. Due to the separation of the parcels on the site, a final plat is filed to combine the parcels into one single lot.

The applicant proposes one vehicular access with both ingress and egress from W. 22nd Street to the garage behind the residential units. A total of 261 parking spaces are provided (111 for unit parking and 150 for shared public and unit parking) and 86 bike parking is provided on site.

78 per revised UR & FDP

The proposed 7-story residential apartments will have 0-foot setback from all property boundaries and fronting W. 22nd Street with diagonal units on the ground and 2nd floors to provide more pedestrian-oriented experience

Condition(s) by Fire Department. Contact Michael Schroeder at 816-513-4611 / michael.schroeder@kcms.org with questions.

19. Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5) (3/10/2021)
20. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed (3/10/2021)
21. • Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105) (3/10/2021)
22. • The turning radius for fire department access roads is 30 feet inside and 50 feet outside radius. (IFC-2018: § 505.2.4) (3/10/2021)
23. • Buildings exceeding three (3) stories or 30 feet in height shall have at least two means of fire apparatus access. (IFC-2018: § D104.1) (3/10/2021)
24. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) (3/10/2021)
25. • The Fire Department Connection (FDC) shall not be located that obstructs access/egress to the building when in use (IFC-2018 § 912.2). (3/10/2021)
26. • The expectation is the project will meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1) (3/10/2021)
27. • Multi-family residential developments greater than 200 dwelling units shall have at least two separate and approved fire apparatus access roads (IFC-2018 § D106.2) (3/10/2021)



Staff Recommendations:

CD-CPC-2021-00011 Approval with
conditions # 1-31

Remove #19, 20, 21, 22, 23, 27

CLD-FnPlat-2021-00001 Approval with
conditions # 1-14

CD-CPC-2021-00011 conditions # 18:

**The developer shall continue working with staff to add more brick or masonry accent materials for the north façade. Such accents can be added to the roof parapet or trims between floors similar to the surrounding buildings.
(3/17/2021)**



Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001



 Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001



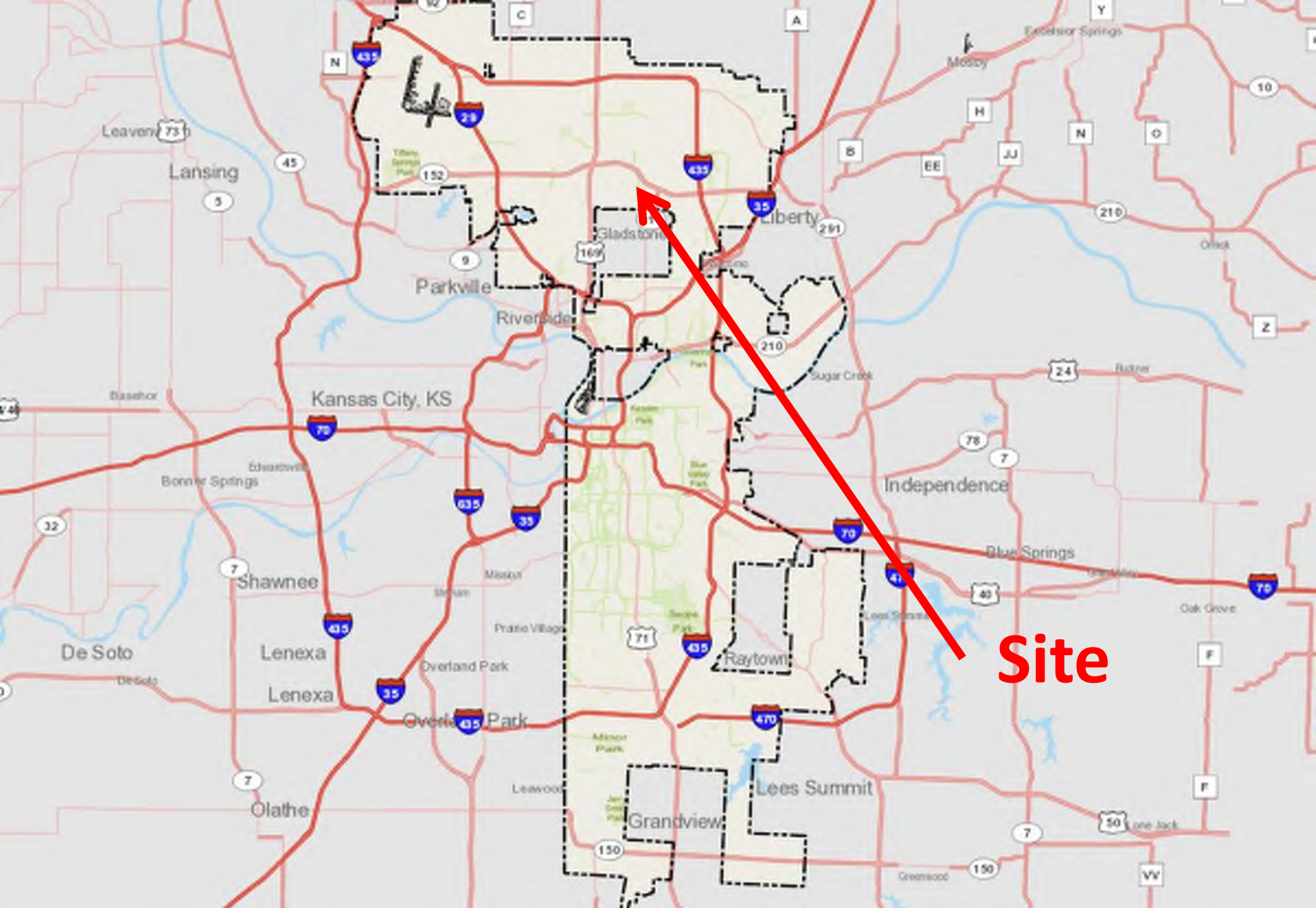
 Case No. CD-CPC-2021-00011, CLD-FnPlat-2021-00001

Docket #7.1, 7.2, 7.3

Case No. CD-CPC-2021-00029, CD-CPC-2021-00038, CLD-FnPlat-2021-00005

Northland Human Service Center – Rezoning without Plan, Preliminary Plat, Final Plat





Site





View looking south from N. Agnes Ave.

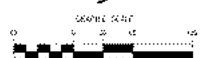
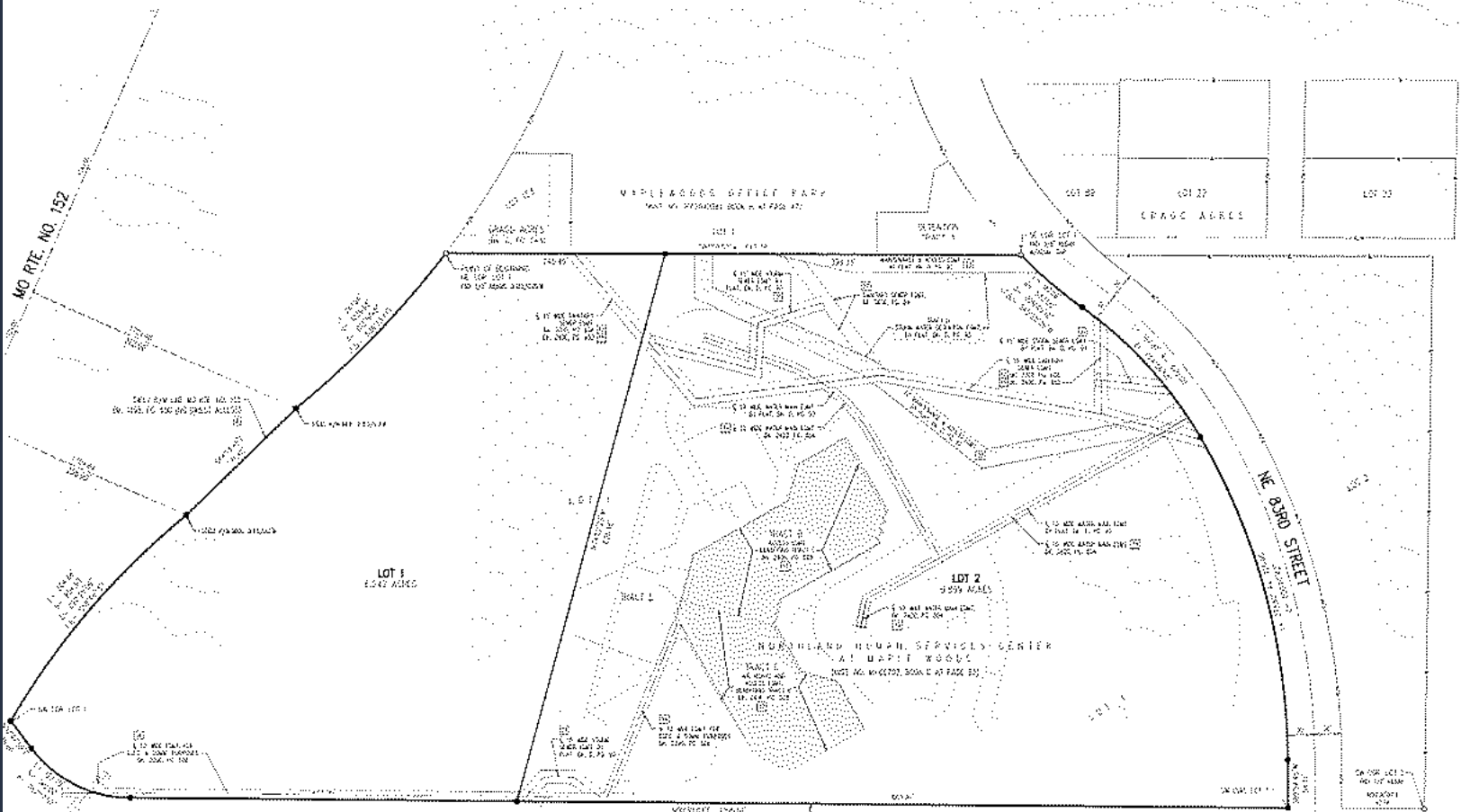




View looking east from N. Agnes Ave.



PRELIMINARY PLAT OF
METROPOLITAN COMMUNITY COLLEGE MAPLE WOODS EAST
 A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI
 SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 51, RANGE 32



MAPLE WOODS COMMUNITY
 COLLEGE, EXHIBIT 1013
 MAP NO. 200223465, BOOK 1 AT PAGE 1061

PART OF METROPOLITAN COMMUNITY COLLEGE MAPLE WOODS EAST SUBDIVISION IS SHOWN ON AN ACTION THAT MUST BE TAKEN BY THE CITY OF KANSAS CITY AND THE COUNTY OF JACKSON COUNTY, MISSOURI TO COMPLETE THE PROJECT. THE CITY OF KANSAS CITY AND THE COUNTY OF JACKSON COUNTY, MISSOURI ARE ADVISED THAT THE METROPOLITAN COMMUNITY COLLEGE MAPLE WOODS EAST SUBDIVISION IS SUBJECT TO THE CITY OF KANSAS CITY AND THE COUNTY OF JACKSON COUNTY, MISSOURI'S ZONING ORDINANCES AND THE CITY OF KANSAS CITY AND THE COUNTY OF JACKSON COUNTY, MISSOURI'S SUBDIVISION ACT.

FOR REVIEW



TALLAFERRO & BROWNE, INC.
 CONSULTING ENGINEERS-SURVEYORS
 1020 E. 94th STREET, KANSAS CITY, MO., 64116
 816-253-2150 FAX 816-253-0610

Staff Recommendations:

CD-CPC-2021-00029 Approval without condition

CD-CPC-2021-00038 Approval with conditions # 1-14

CLD-FnPlat-2021-00005 Approval with conditions # 1-15

