

DRAWING SYMBOLS

VIEW NAME
1/8" = 1'-0"

DRAWING SCALE
SCALE: 1/8" = 1'-0"

ABBREVIATIONS

| | | | |
|---|--|---|--|
| A.F.F. ARCH. BEAM | ABOVE FINISHED FLOOR ARCHITECT | LAV MECH. MIN. MIRROR | LAVATORY MECHANICAL MANUFACTURER |
| B.O. CAB. CL. CMU COL. CONC. CONT. CONTR. DIA. DWGS. ELEC. ELEV. EXT. FD. F.G. BATT FTG. FLR. FLRG FT. GA GALV. GL. GWB HORIZ. HT. HVAC INSUL. INT. | BOTTOM OF CABINET CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONTINUOUS CONTRACTOR DIAMETER DRAWINGS ELECTRICAL ELEVATION EXTERIOR FLOOR DRAIN FIBERGLASS BATT FOOTING FLOOR FLOORING FOOT GUAGE GALVANIZED GLASS GYPSUM WALL BOARD HORIZONTAL HEIGHT HEATING VENTILATION & AIR-CONDITION INSULATION INTERIOR | MIN. MIRROR METAL OVER ON CENTER PERFORATED PERIMETER PLYWOOD PTD. QTY. RE. REINF. REQ'D R.O. S.F. SIM. SQ. STL. STRUCT. T&G T.O. TEMP. TYP. T.P.O. U.N.O. VERT. W/ WD. | MINIMUM MIRROR METAL OVER ON CENTER PERFORATED PERIMETER PLYWOOD PAINTED QUANTITY REFER REINFORCED REQUIRED ROUGH OPENING SQUARE FEET SIMILAR SQUARE STEEL STRUCTURAL TONGUE AND GROOVE TOP OF TEMPERED TYPICAL THERMOPLASTIC POLYOLEFIN UNLESS OTHERWISE NOTED VERTICAL WITH WOOD |

CODE INFORMATION

ARCHITECT OF RECORD
CALEB BULAND, AIA
EXACT ARCHITECTS

GENERAL DATA
PROJECT NAME: 29 BELLE DEVELOPMENT
PROJECT ADDRESS: 913 W 29TH STREET
KANSAS CITY MO 64108

PROPOSED USE: SINGLE-FAMILY RESIDENTIAL
JURISDICTION: CITY OF KANSAS CITY MISSOURI
JACKSON COUNTY

ADOPTED CODES: 2018 INTERNATIONAL RESIDENTIAL CODE, INCLUDING CITY CODE OF ORDINANCES AND AMEND.

BUILDING DATA
OCCUPANCY TYPE: GROUP R (RESIDENTIAL)
ZONING TYPE: R-2.5, R-6 (EXISTING) / UR (PROPOSED)
SPRINKLER: NO ; OWNER DECLINED PER AMENDMENT SECTION R313
CONSTRUCTION TYPE: TYPE 5
BUILDING AREA: TOTAL: 10,753.73 SF BUILDING PAD (1 BUILDING) ; EACH: +/- 1,400 SF (2-STORY)
BUILDING HEIGHT: VARIES ; APPROX. 22'-9" AT HIGH POINT

CONSTRUCTION DATA
FIRE RATINGS:
EXTERIOR WALLS : N/A - ALL WALLS SET BACK MIN 5'-0" FROM PROPERTY LINE
UNIT TO UNIT DEMISING WALLS 2 HOURS
UNIT TO GARAGE SEPERATION WALLS 1 HOURS
BEARING WALLS (INTERIOR) 0 HOURS
NON-BEARING WALLS (INTERIOR) 0 HOURS
FLOOR + SECONDARY MEMBERS 0 HOURS
ROOF + SECONDARY MEMBERS 0 HOURS

FIREBLOCKING: CODE APPROVED MATERIALS INSTALLED PER IRC R302.11. DRAFTSTOPPING NOT REQUIRED.

EGRESS WINDOWS: INSTALLED IN ALL 2ND BEDROOMS.
OPERABLE WINDOWS TO INCLUDE AN OPENING CONTROL DEVICE PER IRC R312.2.2

ENERGY EFFICIENCY:
EXTERIOR WALLS R-20 (MIN.)
CONCRETE SLAB R-10 (MIN.)
FLOOR OVER UNCONDITIONED SPACE R-19 (MIN.)
CEILING R-38 (N1102.2.1)
WINDOWS U-0.21 (MAX)
SHGC 0.40 (MAX)
OPAQUE DOORS U-0.21 (MAX)
FULL-LITE DOORS U-0.32 (MAX)
SHGC 0.30 (MAX)

Case No. CD-CPC-2020-00186

CITY PLAN COMMISSION
RECOMMENDED
APPROVAL
SUBJECT TO CONDITIONS
Diane M. Binckley
ASSISTANT SECRETARY
DATE: **07-06-2021**

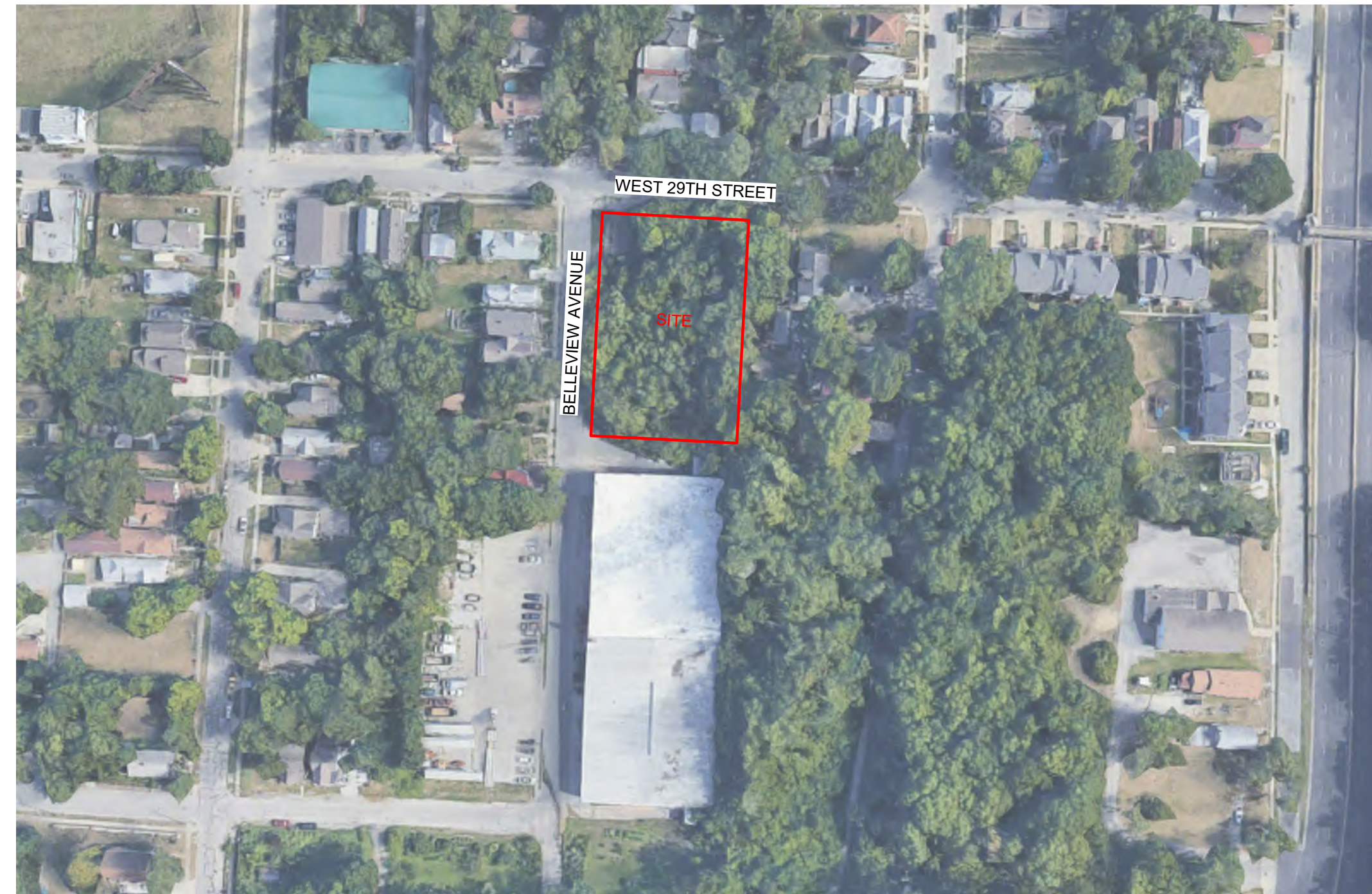
THIS PLAN
APPROVED
BY ORDINANCE
No. _____
DATE: _____

SHEET INDEX

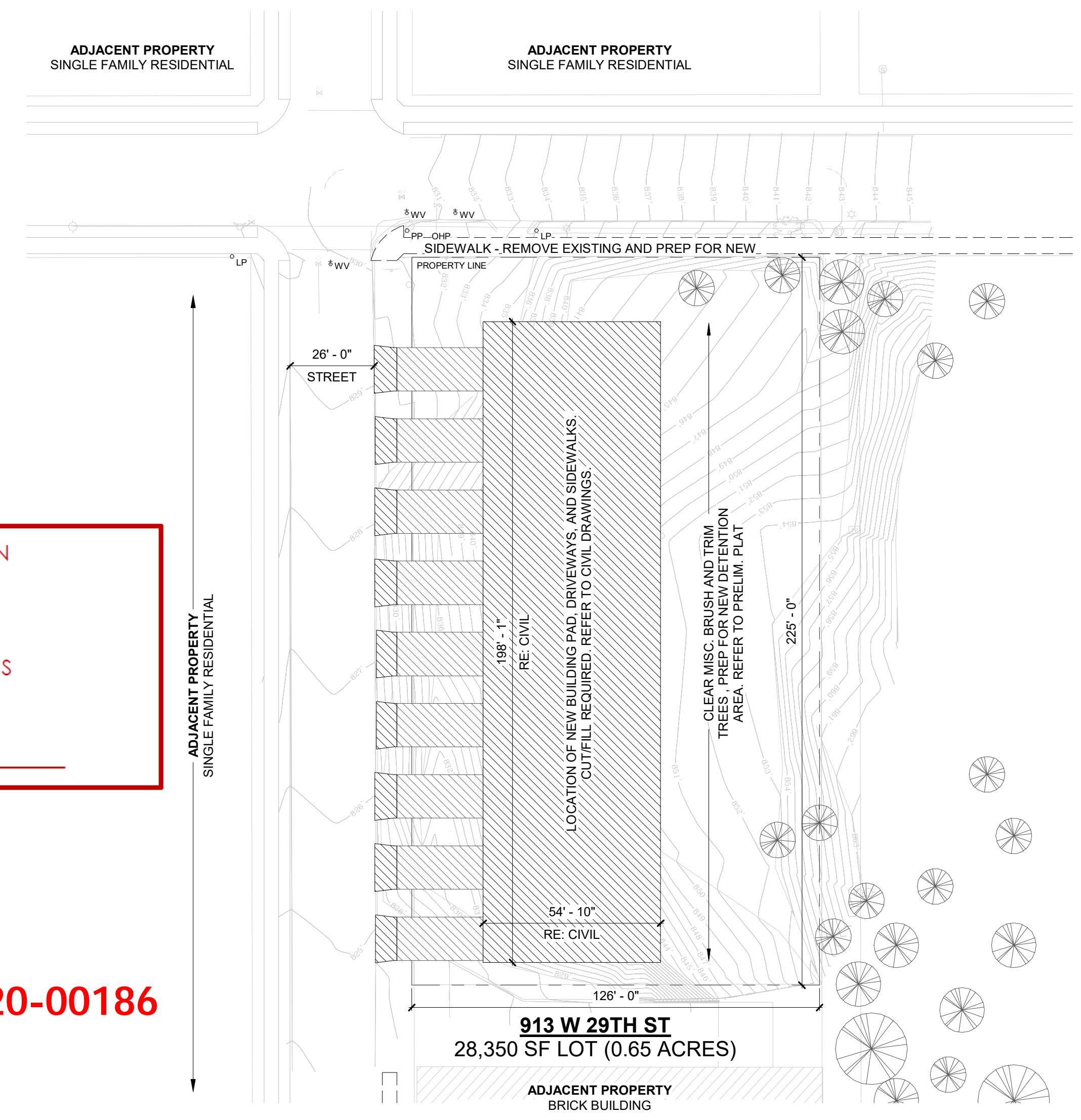
| | |
|-------------------------------------|--------------------------|
| 01-ARCHITECTURAL | 02-CIVIL |
| A0-00 COVER | C1 DIMENSIONED SITE PLAN |
| A1-00 EXISTING SITE SURVEY | C2 SITE GRADING PLAN |
| A1-01 PRELIMINARY PLAT | C3 UTILITY PLAN |
| A1-02 SITE PLAN - ARCHITECTURAL | C4 EROSION CONTROL |
| A1-03 LANDSCAPE PLAN | C5 APWA STANDARD DETAILS |
| A2-01 FLOOR PLAN, TYPICAL | 04-MPE |
| A3-01 EXTERIOR ELEVATIONS | MPE-02 MPE SITE PLAN |
| A3-02 EXTERIOR ELEVATIONS (COLORED) | |
| A3-03 EXTERIOR DESIGN RENDERING | |



EXISTING SITE PHOTO



VICINITY MAP



2 (EXISTING) SITE PLAN
1" = 30'-0"

LEGAL DESCRIPTIONS (BRIEF):
PARCEL #29-910-11-14-01-0-00-000
VAN DYKE PLACE--LOTS 1 THRU 9

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



29 BELLE UR DEVELOPMENT PLAN

913 W 29TH STREET
KANSAS CITY MISSOURI 64108

| ISSUE | DATE | NO |
|------------------|----------|----|
| DEVELOPMENT PLAN | 05.07.21 | 1 |
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COVER

A0-00

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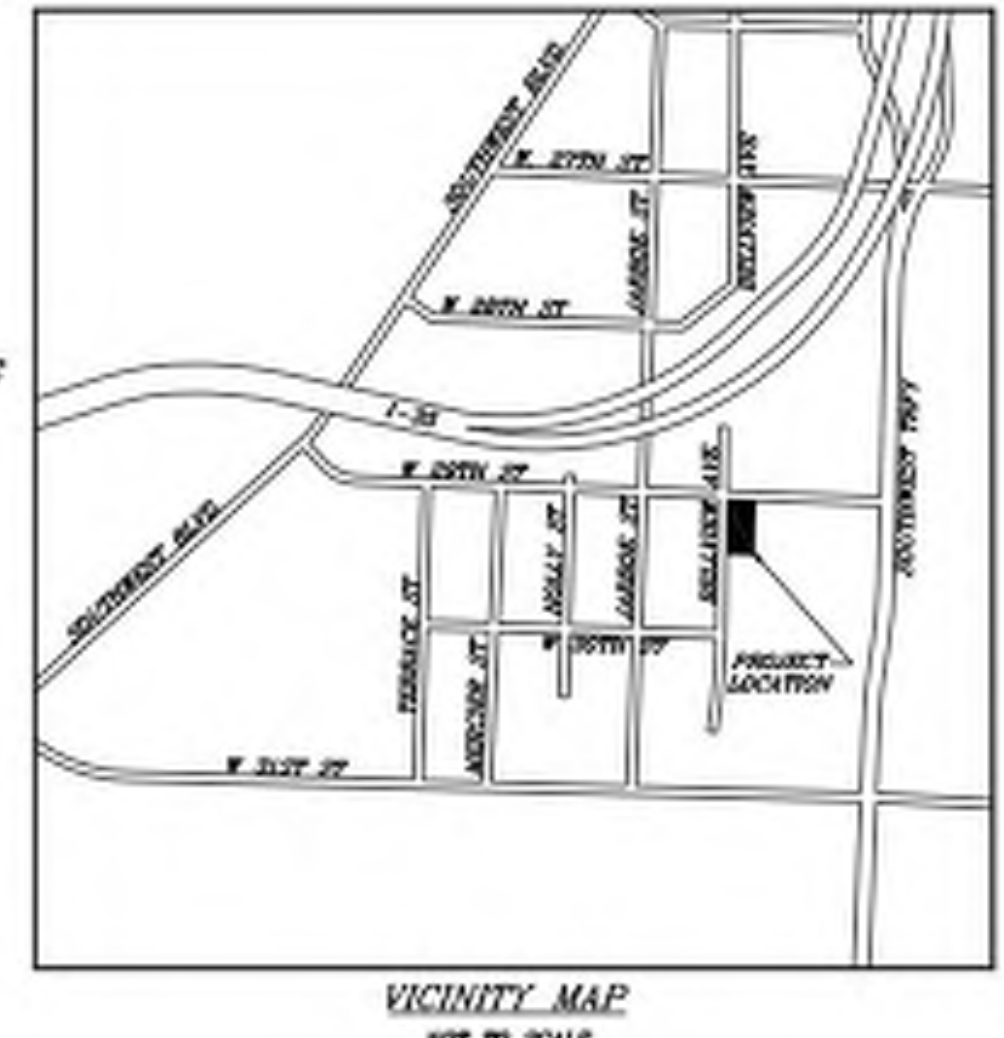
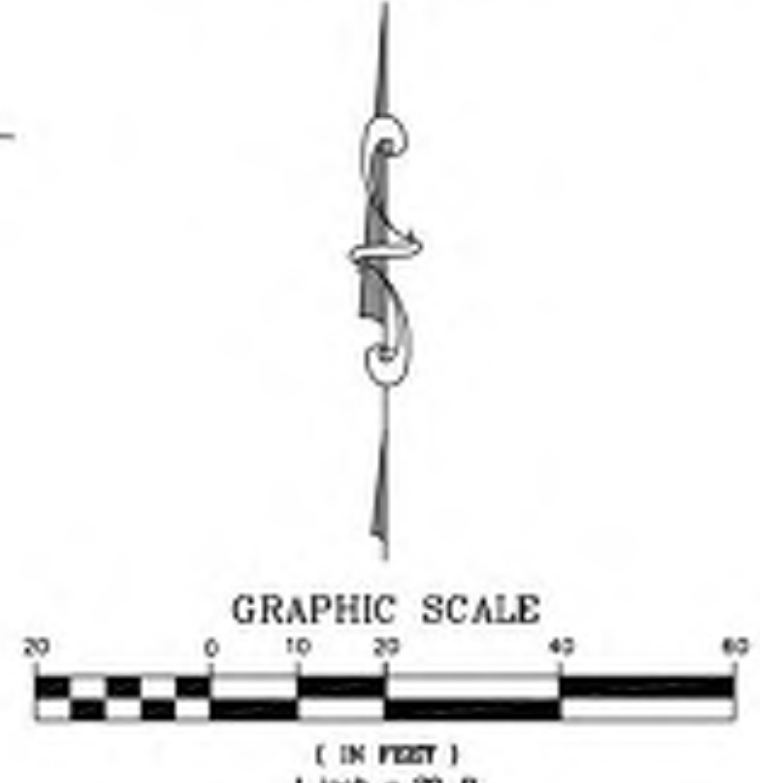


PROPERTY DESCRIPTION
 CONTAINING 28,350 SQUARE FEET OR 0.65 ACRES
 ALL OF LOTS 1-9, VAN DYKE PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

- BOUNDARY SURVEY NOTES:**
1. THE FOLLOWING STANDARD MONUMENTATION HAS BEEN SET AT THE NOTED LOCATION UNLESS INDICATED OTHERWISE ON THIS DRAWING:
 SEMI-PERMANENT MONUMENTATION:
 CHISELED CROSS AT ALL CORNERS MARKED " * * * * *"
 1/2" IRON BAR WITH PLASTIC CAP STAMPED "LS-2007000089" SET AT ALL CORNERS MARKED " * * *"
 PERMANENT MONUMENTATION:
 5/8" IRON BAR WITH ALUMINUM CAP STAMPED "LS-2007000089" SET AT ALL CORNERS MARKED " * ▲ *"
 2. THE POSITION OF EXISTING MONUMENTATION AS INDICATED BY AN " * * * * * " OR " * ▲ * " IF NOT THE TRUE CORNER, IS BY DIFFERENCES IN COORDINATES OR AT RIGHT ANGLES TO THE PROPERTY LINE AT THE NOTED DISTANCE FROM THE NEAREST BOUNDARY CORNER.
 3. THE DESCRIPTION USED FOR THIS SURVEY WAS TAKEN FROM A WARRANTY DEED RECORDED AS INSTRUMENT NUMBER 2016S0009901 AT THE JACKSON COUNTY RECORDER'S OFFICE.
 4. THE BEARINGS SHOWN HEREON ARE BASED UPON THE MISSOURI COORDINATE SYSTEM 1983, WESTERN ZONE, RECORDED AT A USCGS TRIANGULATION DISK KE1461, MARKED PENN. 1934 (2000 ADJUSTMENT).
 5. THIS SURVEY DOES NOT REFLECT ANY OF THE FOLLOWING WHICH WERE EITHER NOT REQUESTED OR FURNISHED BY THE CLIENT OR ARE NOT WITHIN THE SCOPE OF THE SERVICES PROVIDED BY A PROFESSIONAL SURVEYOR: THEREFORE, THIS SURVEYOR DOES NOT ACCEPT ANY LIABILITY SHOULD ANY OF THEM BE APPLICABLE TO THE SUBJECT REAL ESTATE: SUBSURFACE CONDITIONS; BUILDING SET BACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; AND ZONING OR OTHER LAND USE REGULATIONS.
 6. CERTAIN INFORMATION SHOWN HEREON WAS OBTAINED FROM A TITLE REPORT BY FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER NCS-1044896-A-KCTV, EFFECTIVE DATE OF DECEMBER 18, 2020, AT 8:00 AM.
 A TITLE REPORT ITEMS NUMBERS 1-10 CONTAIN NO INFORMATION THAT CAN BE PLOTTED HEREON.
 7. THIS SURVEY IS BASED UPON RECORD DOCUMENTS, LEGAL DESCRIPTIONS, AND OTHER INFORMATION FURNISHED BY THE CLIENT PLUS OTHER INFORMATION KNOWN TO THIS SURVEYOR. THIS SURVEYOR HAS NO KNOWLEDGE OF ANY OTHER RECORDED DOCUMENTS WHICH AFFECT THE SUBJECT REAL ESTATE.
 8. THE LOCATION OF EXISTING STRUCTURES SHOWN HEREON IS AT RIGHT ANGLES (90°) TO STRAIGHT PROPERTY LINES OR RADIAL TO CURVED PROPERTY LINES.
 9. THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS OF AN URBAN PROPERTY SURVEY AS DEFINED BY THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS".
 10. ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY-PANEL NUMBER 2906000650, EFFECTIVE DATE: JANUARY 20, 2017, THE SUBJECT PROPERTY IS IN ZONE X, AN AREA OF MINIMAL FLOOD HAZARD.

- TOPOGRAPHIC SURVEY NOTES**
1. CONTOUR INTERVAL IS 1.0 FEET.
 2. ELEVATIONS ARE BASED UPON MISSOURI DNR MONUMENT KE1461 ELEVATION.
 3. CONTROL BENCH MARK: SET 3/8" REBAR @ NORTH SIDE OF N 29TH STREET, ACROSS THE STREET FROM PROJECT ELEVATION 531.40 FEET
 4. UTILITIES SHOWN HEREON ARE FROM VISIBLE EVIDENCE ON THE GROUND OR FROM THE RESPECTIVE UTILITY COMPANY. WE DO NOT GUARANTEE THE EXACT LOCATION OF THE UNDERGROUND UTILITIES SHOWN NOR THE POSSIBLE EXISTENCE OF OTHER UNDERGROUND UTILITIES NOT SHOWN. ANYONE WHO USES THE INFORMATION SHOWN HEREON SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO COMMENCING ANY DESIGN OR CONSTRUCTION ACTIVITY.

- LEGEND:**
- POWER POLE
 - GUY WIRE
 - LIGHT POLE
 - TELEPHONE PEDSTAL
 - WATER VALVE
 - FIRE HYDRANT
 - SANITARY MANHOLE
 - STORM MANHOLE
 - ADA PARKING
 - SIGN
 - OVERHEAD POWER
 - WATER MAIN
 - SANITARY SEWER LINE
 - BURIED COMMUNICATIONS CABLE



R.L. Buford & Associates, LLC
 LAND SURVEYING - DEVELOPMENT CONSULTANTS
 R.L. BUFORD & ASSOCIATES, LLC
 MISSOURI PROFESSIONAL LICENSE NO. LS-201001877
 P.O. BOX 14034, PARKVILLE, MO 64112 (816) 741-8152
 SEC. - TRIP - 862, COUNTY - JACKSON, JOB NO. J-20214
 DATE - 3/14/2021, FIELD BOOK & PAGE - 10026 LEAF
 FOR EXACT ARCHITECTS, SHEET #F
 REPEAT



TO: CALED BULAND AND ANDREW BULAND
 FROM: EXACT ARCHITECTS
 THIS IS TO CERTIFY THAT THIS MAP OR PART AND THIS SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE STATUTES AND REGULATIONS OF THE STATE OF MISSOURI. THE SURVEYOR HAS PERSONALLY AND INDIVIDUALLY EXAMINED THE SOURCE OF INFORMATION AND ASSUMES RESPONSIBILITY THEREFOR. THE DATE OF FIELD WORK WAS COMPLETED ON DECEMBER 1, 2020. DATE OF PLAT OR MAP: 3/14/2021
 R.L. Buford
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF MISSOURI
 LICENSE NO. LS-201001877

EXACT ARCHITECTS
 REGISTERED TRADE NAME OF INTELLIGENT LINE A+O, LLC
 KANSAS CITY, MISSOURI
 (816) 785-2265
 WWW.EXACTARCHITECTS.COM



29 BELLE UR DEVELOPMENT PLAN
 913 W 29TH STREET
 KANSAS CITY MISSOURI 64108

| ISSUE | DATE | NO |
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EXISTING SITE SURVEY
A1-00

6/17/2021 12:54:36 PM

CONOVER & FOSTERS ADDITION, BLOCK 4

OWNER: LORENAE BARNABY
PART OF LOTS 25-28
2908 BELLEVUE
KANSAAS CITY, MO 64108
ZONED R-6

OWNER: ROBERTO MORALES
LOTS 27-28
818 W 29TH ST
KANSAAS CITY, MO 64108
ZONED R-6

SANITARY MANHOLE
TOP: 842.53
FL IN (C): 804.17'
FL OUT (C): 823.58'

LINCOLN PARK, BLOCK B

OWNER: JOSE LUIS BARRIOS
SALAZAR
PART OF LOTS
24-26
LINCOLN PARK
BLOCK B
804 W 29TH ST
ZONED R-6

OWNER: JOSE LUIS BARRIOS
SALAZAR
PART OF LOTS
24-26
LINCOLN PARK
BLOCK B
804 W 29TH ST
ZONED R-6

OWNER: LOLA ANITA GARCIA
(LAWSON)
PART OF LOTS
24-26
LINCOLN PARK
BLOCK B
804 W 29TH ST
ZONED R-6

PRELIMINARY PLAT
29 BELLE

A REPLAT OF LOTS 1-9, VAN DYKE PLACE
A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI

CALEB BULAND, ARCHITECT | MO 200000550

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENCE AND LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



29 BELLE UR DEVELOPMENT PLAN

913 W 29TH STREET
KANSAS CITY MISSOURI 64108

PROPERTY DESCRIPTION:

WARRANTY DEED DESCRIPTION:
ALL OF LOTS 1-9, VAN DYKE PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREBY.

PROPOSED DESCRIPTION:

CONTAINING 68,300 SQUARE FEET OR 0.65 ACRES
ALL OF LOTS 1-9, VAN DYKE PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 1, THENCE SOUTH 28°29'28"W ALONG THE EAST LINE OF SAID LOTS 1-9, A DISTANCE OF 225.00 FEET TO THE
SOUTHWEST CORNER OF SAID LOT 8; THENCE NORTH 28°29'28"W ALONG THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF 126.00 FEET TO THE SOUTHWEST CORNER
OF SAID LOT 9; THENCE NORTH 28°29'28"W ALONG THE WEST LINE OF SAID LOTS 1-9, A DISTANCE OF 225.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 1;
THENCE SOUTH 28°29'28"W ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 126.00 FEET TO THE POINT OF BEGINNING.

TOPOGRAPHIC SURVEY NOTES

- 1. CONTAIN INTERVAL IS 1.0 FEET.
2. ELEVATIONS ARE BASED UPON NAVD 83 AT METRO CONTROL MONUMENT PIERCE/161.
3. UTILITIES SHOWN HEREIN ARE FROM VISIBLE EVIDENCE OF THE GROUND OR FROM THE RESPECTIVE UTILITY COMPANY. WE DO NOT GUARANTEE THE EXACT LOCATION OF THE UNDERGROUND UTILITIES SHOWN NOR THE POSSIBLE EXISTENCE OF OTHER UNDISCOVERED UTILITIES NOT SHOWN. ANYONE WHO USES THE INFORMATION SHOWN HEREIN SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO COMMENCING ANY DESIGN OR CONSTRUCTION ACTIVITY.

BOUNDARY SURVEY NOTES:

- 1. THE FOLLOWING STANDARD MONUMENTATION HAS BEEN SET AT THE NOTED LOCATION UNLESS INDICATED OTHERWISE ON THIS DRAWING:
- 5/8" PERMANENT MONUMENTATION
- CONCRETE CORNER AT ALL CORNERS MARKED " * "
- 1/2" IRON BAR WITH PLASTIC CAP STAMPED "LS-2007000000" SET AT ALL CORNERS MARKED " * "
- PERMANENT MONUMENTATION
- 5/8" IRON BAR WITH ALUMINUM CAP STAMPED "LS-2007000000" SET AT ALL CORNERS MARKED " * "
2. THE POSITION OF EXISTING MONUMENTATION AS INDICATED BY AN " * " OR " O " OR " D " IS NOT THE TRUE CORNER, IS BY DIFFERENCES IN COORDINATES OR AT RIGHT ANGLES TO THE PROPERTY LINE AT THE NOTED DISTANCE FROM THE NEAREST BOUNDARY CORNER.
3. THE DESCRIPTION USED FOR THIS SURVEY WAS TAKEN FROM A WARRANTY DEED RECORDED AS INSTRUMENT NUMBER 00155009901 AT THE JACKSON COUNTY RECORDER'S OFFICE.
4. THE BEARINGS SHOWN HEREIN ARE BASED UPON THE MISSOURI COORDINATE SYSTEM 1983, NAD83, BOSTON ZONE, RECORDED AT A LOCAL TRIANGULATION BOOK 22440, MARKED FROM 1204 (2005 ADJUSTMENT).
5. THIS SURVEY DOES NOT REFLECT ANY OF THE FOLLOWING WHICH REQUIRE EITHER NOT REQUIRED OR FURNISHED BY THE CLIENT OR ARE NOT WITHIN THE SCOPE OF THE SERVICES PROVIDED BY A PROFESSIONAL SURVEYOR. THEREFORE, THIS SURVEYOR DOES NOT ACCEPT ANY LIABILITY SHOULD ANY OF THEM BE APPLICABLE TO THE SUBJECT REAL ESTATE:
- SURFACE CONDITIONS, INCLUDING SET BACK LINES, RESTRICTIONS, COVENANTS, EASEMENTS, EASEMENTS, AND EASEMENTS OR OTHER LAND USE REGULATIONS.
6. CERTAIN INFORMATION SHOWN HEREIN WAS OBTAINED FROM A TITLE REPORT BY FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER NC3-104995-A-FCY, EFFECTIVE DATE OF DECEMBER 23, 2020, AT 8:00 AM.
A. TITLE REPORT ITEMS NUMBERS 1-10 CONTAIN NO INFORMATION THAT CAN BE PLOTTED HEREIN.
7. THE LOCATION OF EXISTING STRUCTURES SHOWN HEREIN IS AT RIGHT ANGLES (90°) TO STRAIGHT PROPERTY LINES OR RADIAL TO CURVED PROPERTY LINES.

BUILDING & SITE INFORMATION:

- 1. ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY-PANEL NUMBER 200603030C, EFFECTIVE DATE: JANUARY 20, 2017, THE SUBJECT PROPERTY IS IN ZONE X, AN AREA OF MODERAL FLOOD HAZARD.
2. ALL PROPOSED LOTS ARE TO BE ON SEPARATE SANITARY AND WATER SERVICES.
3. PROPERTY TO BE SPLIT INTO INDIVIDUAL LOTS AFTER CONSTRUCTION OF LINES.
4. PLAT AREA 0.65 ACRES.
5. EXISTING ZONING R-2S AND R-6.

PHASING PLAN:

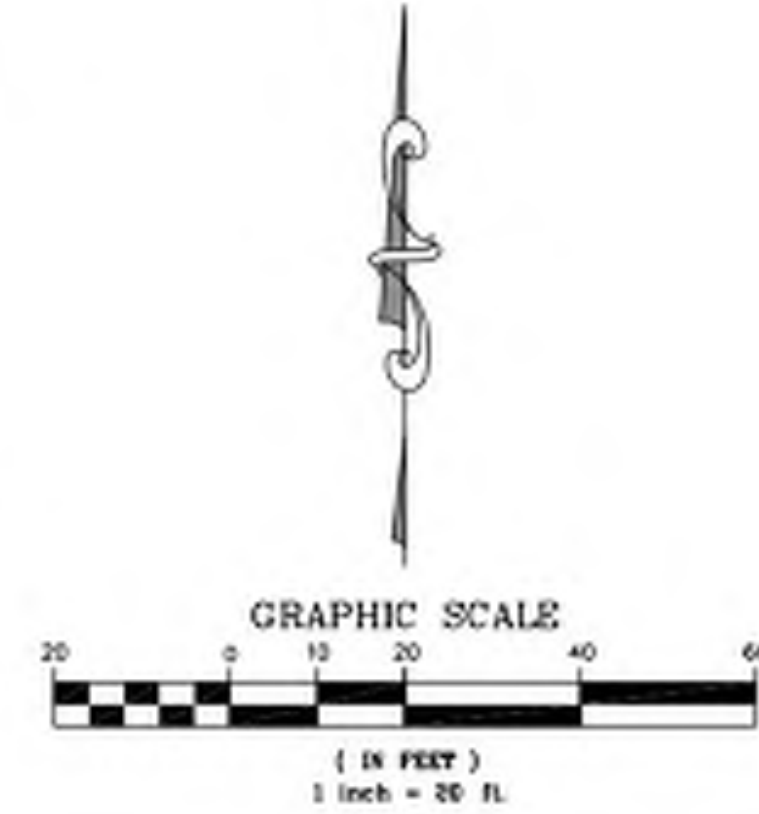
DEVELOPMENT WILL BE DONE IN ONE PHASE
DEVELOPMENT START DATE:
DEVELOPMENT END DATE:

LOT DESIGNATION:

SINGLE FAMILY LOTS: 1
NUMBER OF LOTS: 9
GROSS AREA: 68,300 SQUARE FEET / 0.65 ACRES

PAYMENT IN LIEU OF PARKLAND:

THIS DEVELOPER AGREES TO PAY THIS CITY OF KANSAS CITY, MISSOURI, A SUM OF \$ 10,000.00 IN LIEU OF RESERVED PARKLAND DESIGNATED FOR (9 LOTS) PURSUANT TO SECTION 88-409-C OF THE ZONING AND DEVELOPMENT CODE.



STATE OF MISSOURI
PROFESSIONAL ENGINEER
CALEB BULAND
No. 100000550
EXPIRES 12/31/2024

R.L. Buford & Associates, LLC
LAND SURVEYING - DEVELOPMENT CONSULTANTS
R.L. BUFORD & ASSOCIATES, LLC
4000 N. MISSOURI AVENUE, SUITE 100
KANSAS CITY, MISSOURI 64116
P.O. BOX 14598, PARKVILLE, MO 64112 (816) 741-4152
JOB NO. 21-0224
DATE 3/11/2021 FIELD BOOK & PLOTTING DATE 3/11/2021 LOGS CLEAR

Table with columns: ISSUE, DATE, NO. Row 1: DEVELOPMENT PLAN, 05/07/21, 1

PRELIMINARY PLAT

A1-01

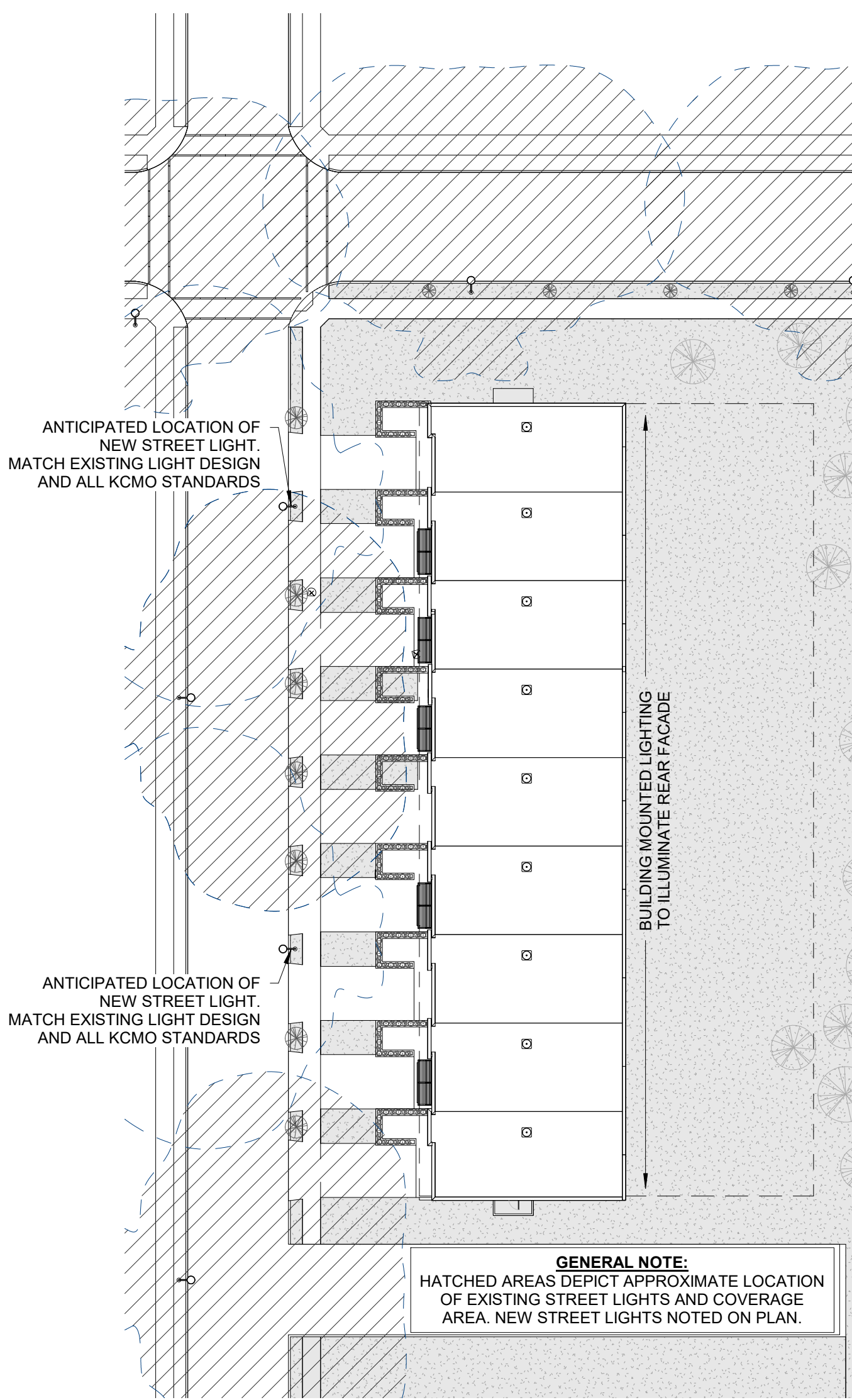
GENERAL SITE & LANDSCAPE NOTES:

- VERIFY ALL SITE PARAMETERS (PROPERTY BOUNDARIES, EASEMENTS AND SETBACKS) PRIOR TO STAKING TO DEMOLITION AND CONSTRUCTION.
- NEW WORK INCLUDES NEW CURBS ALONG BOTH FOREST AND 29TH STREET. COORDINATE WORK WITH NEW APPROACHES AND DEMOLITION OF EXISTING SIDEWALKS.
- INSPECT CONDITION OF ALL CURBS, STRUCTURES, SURFACES, AND OTHER SITE ITEMS SCHEDULED TO REMAIN. NOTIFY ARCHITECT OF DISCREPANCIES OR WHERE REPAIR OR REPLACEMENT IS REQUIRED.
- CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND TO ARRANGE PROPER DISCONTINUANCE AND/OR RELOCATION PRIOR TO DEMOLITION.
- REMOVE ALL BRUSH AND OVERGROWTH INCLUDING MISCELLANEOUS DEBRIS AND TRASH THROUGHOUT THE SITE. PROVIDE TREE AND SHRUB PROTECTION FOR EXISTING LANDSCAPING, ESPECIALLY FOR MATURE TREES MARKED TO BE SAVED.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER; 5% MINIMUM SLOPE FOR FIRST 10'. IT IS ESSENTIAL THAT SITE GRADING BE PROVIDED TO PREVENT INFILTRATION OF SURFACE WATER INTO THE SLAB AND FOUNDATION SYSTEM. REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
- MECHANICALLY COMPACT ALL FILL AROUND THE BUILDING, INCLUDING THE BACKFILL. IMPROPER BACKFILL COMPACTION CAN CAUSE SETTLEMENT OF EXTERIOR SLABS SUCH AS WALKS, PATIOS AND DRIVEWAYS.
- DISCHARGE ROOF DOWN SPOUTS AND ALL OTHER WATER COLLECTION SYSTEMS MINIMUM 5' BEYOND PERIMETER OF STRUCTURE. INCLUDE PRECAST CONCRETE SPLASH BLOCK AT ALL DOWNSPOUT TERMINATION POINTS. RE: CIVIL DRAWINGS FOR HARD-PIPED DRAINS.
- NO IRRIGATION WITHIN 5' OF THE FOUNDATION. AVOID HEAVY WATERING OF ANY FOUNDATION PLANTINGS.
- INSTALL PERIMETER STEEL EDGING STRIPS AT ALL LANDSCAPE BEDS INCLUDING ALL TRANSITIONS BETWEEN (MULCH TO CONCRETE AND MULCH TO GRASS).
- REFER TO PLANS AND ELEVATIONS FOR ANY AND ALL WORK ASSOCIATED WITH THE BUILDING EXTERIOR.
- PREPARE ALL AREAS OF NEW PLANTING OR SOFTSCAPE WITH TOP SOIL, IN CONDITION FOR CONTINUED AND HEALTHY PLANT GROWTH.
- NEW CONCRETE CURBS, SIDEWALKS, AND DRIVEWAYS SHALL MATCH PROFILE, HEIGHT, AND DEPTH OF EXISTING SITE WORK, WHERE THEY MEET EXISTING SURFACES SCHEDULED TO REMAIN.
- ALL BUILDING BASE TO DRIVEWAY OR PATIO TRANSITIONS SHALL BE DOWELED AND CONTAIN NEW EXPANSION JOINT AND BACKER ROD INSTALLED BETWEEN MATERIALS. TYPICAL JOINT SHALL HAVE A MINIMUM OF 1/2" WIDE BITUMINOUS JOINT FILLER. RE: CIVIL AND STRUCTURAL.
- ALL DASHED LINE ITEMS IE: SIDEWALKS, WALLS, AND TREES TO BE DEMOED

SIDEWALKS, CURBS, DRIVEWAYS (ALL NEW):

ALL EXISTING SIDEWALKS WILL BE REMOVED AND REPLACED WITH NEW. BELLEVIEW WILL REQUIRE NEW CURB + DRIVEWAYS + SIDEWALKS - NONE EXIST.

- FILED WALK REQUIRED TO UNDERSTAND FULL SCOPE OF WORK REGARDING NEW OR DEMOLITION WORK
- FINAL REVIEW PRIOR TO "CO" AND REPAIR WORK SHALL IDENTIFY AND REPAIR AND/OR REPLACE AS DEFINED BY PUBLIC WORKS DEPARTMENTS "OUT OF REPAIR CRITERIA FOR SIDEWALKS, DRIVEWAY AND CURB" REVISED 11/5/2013, AND BASED ON COMPILE WITH CHAPTERS 56 AND 64 OF THE CODE ORDINANCES.
- WORK SHALL INCLUDE REPLACEMENT OF ANY SIDEWALK SQUARE CRACKED OR MISSING A PIECE 1/2' OR MORE WIDE, ADJOINING SQUARE DIFFERING VERTICALLY 1/2' OR MORE, WITH SURFACES NOT OF CONTIGUOUS CONCRETE, AND THE ADJOINING CURB OF THAT WALK OR SHARING THAT CRITERIA OR HAVING A GUTTER 4" BELOW STREET, OR IMPEDING THE FLOW OF WATER. REPLACE ANY CURB HAVING A MEASURED HEIGHT OF 2 1/2" OR LESS ABOVE THE STREET SURFACE. ANY CURB HAVING A GUTTER SECTION OF 4" OR MORE BELOW THE STREET SURFACE. ANY CURB THAT OBSTRUCTS THE INTENDED FLOW OF WATER, SHALL BE REPLACED TO THE NEAREST JOINTS. THE VERTICAL TRANSITION FROM THE NEW CURB TO THE EXISTING CURB SHALL NOT EXCEED A SLOPE OF 1/2" PER FOOT.



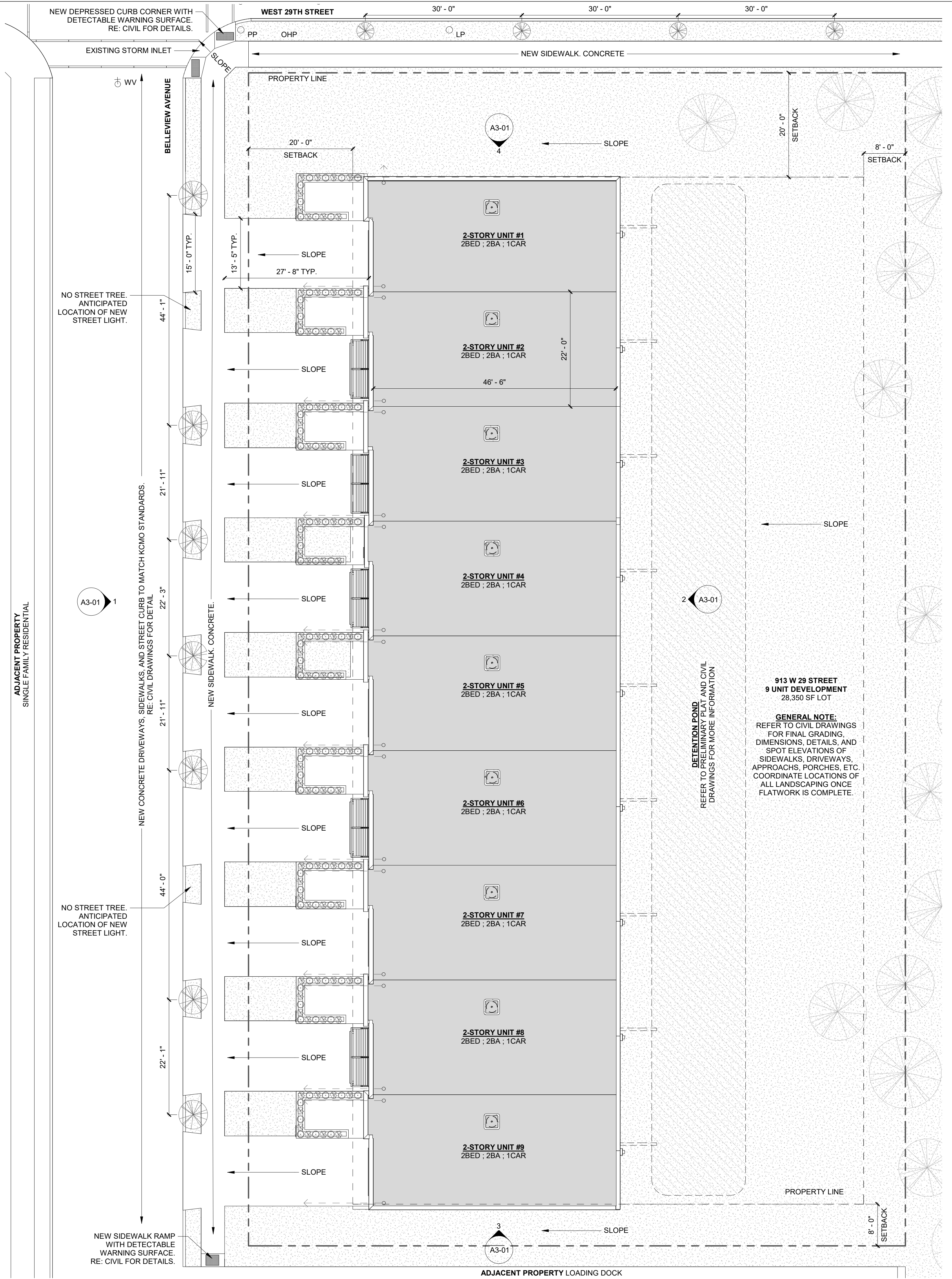
2 STREET LIGHTING DIAGRAM
1" = 30'-0"

Photometric Study required to verify exact fixture locations.
Electrical Engineer to provide as part of Permit Set

| DEVELOPMENT SUMMARY TABLE | |
|---------------------------|---|
| ZONING (EXISTING): | R-2.5 AND R-6 |
| ZONING (PROPOSED): | UR (URBAN REDEVELOPMENT) - LCRA APPROVED |
| TOTAL LAND AREA: | 28,350 SF / 0.65 ACRES |
| PROPOSED USE: | SINGLE-FAMILY RESIDENTIAL (TOWNHOUSES) |
| HEIGHT / STORIES: | 22' - 0" (WEST ELEVATION) / 2 STORIES |
| BUILDING AREA: | 1ST 4,825 SF (TOTAL OF ALL UNITS) 2ND 9,250 SF (TOTAL OF ALL UNITS) 14,075 SF TOTAL |
| UNIT COUNT: | 9-UNITS (TOWNHOUSES) |
| BUILDING COVERAGE: | 9,250 SF / 28,350 SF = 0.326 |
| FLOOR AREA RATIO: | 14,075 SF / 28,350 SF = 0.496 |
| GROSS DENSITY: | 28,350 SF / 9 UNITS = 3,150 SF / UNIT |
| NET DENSITY: | 13,962 SF (LOT 1 ONLY) / 9 UNITS = 1,551 SF / UNIT REFER TO PRELIMINARY PLAT FOR LOT 1 AREA VS TRACT A (PRIVATE OPEN SPACE). |
| PARKING: | 3 PER UNIT / 27 TOTAL OFF-STREET CAR STALLS EACH UNIT HAS 2-CAR LONG DRIVEWAY + 1-CAR GARAGE |
| BICYCLE STALLS: | GARAGE STORAGE ALLOWS FOR MIN. 3 BIKES PER UNIT - TENANT DISCRETION. |
| PHASING: | SINGLE PHASE CONSTRUCTION |

| SITE LEGEND | |
|---|------------------------|
| PROPERTY LINE | --- |
| TURF/LAWN AREA (NEW SOD OR SEED) | [Stippled Box] |
| 4" DEEP BROWN HARDWOOD MULCH OVER WEED BARRIER (NEW) | [Cross-hatched Box] |
| EXTERIOR 4" CONCRETE SLAB OVER 4" GRAVEL BASE. BROOM FINISH (NEW) | [White Box] |
| SITE LIGHTING: | |
| STREET LIGHT FIXTURE (NEW) COORDINATE WITH KCMO STANDARDS | [Light Fixture Symbol] |

1 SITE PLAN
3/32" = 1'-0"



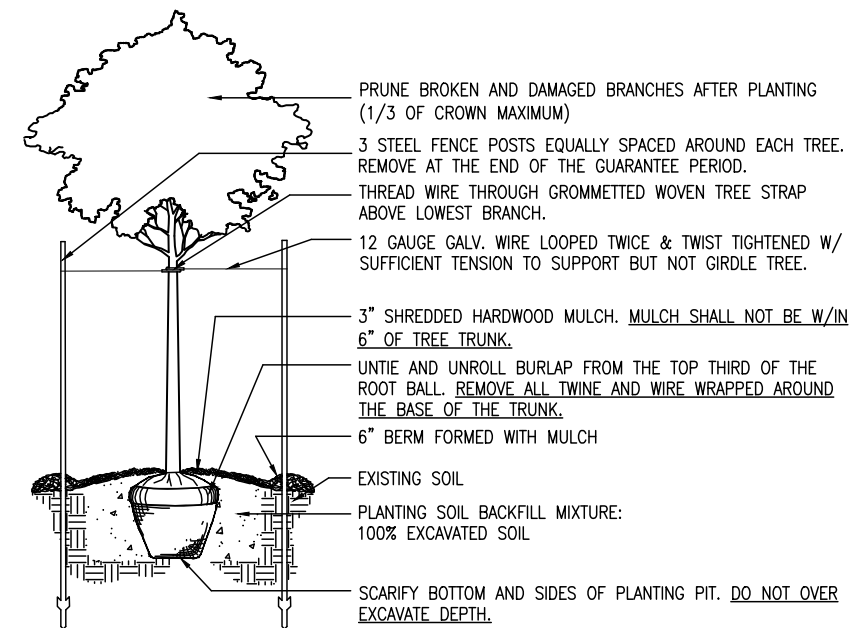
29 BELLE UR DEVELOPMENT PLAN

913 W 29TH STREET
KANSAS CITY MISSOURI 64108

| ISSUE | DATE | NO |
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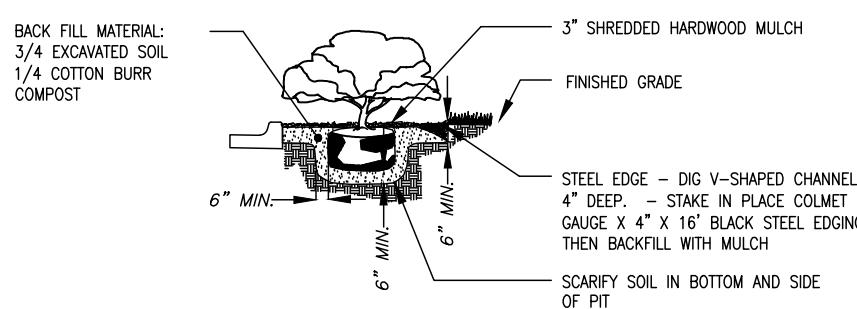
LANDSCAPE PLAN NOTES:

1. Existing underground (u/g), overhead (a/h) utilities and drainage structures have been plotted from available information and therefore, their locations must be considered approximate only. It is the responsibility of the contractors to verify existence and location of all utilities before starting any work.
2. No substitutions for variety or cultivars shall be accepted without first obtaining written approval from Owner's Representative.
3. All plant material shall be of excellent quality, free of disease and infestation, and true to type, variety, size specified, and form per American Nursery Association Standards (#601).
4. All plants shall receive 3" minimum of shredded hardwood mulch as detailed, unless otherwise noted. In landscape beds, mulch shall be a consistent 3" depth throughout. For trees planted in turf areas, a ring of mulch shall be formed into a saucer in a minimum ring twice the diameter of the rootball from the trunk. Elevation of top of mulch shall be 1/2" below any adjacent pavement.
5. Contractor shall thoroughly water in each plant immediately following installation.
6. Contractor shall be responsible for calculating all areas of sod and seed and the amounts of each needed for optimum coverage. Quantities on this plan are for reference only.
7. Contractor shall install seed in all areas disturbed during construction not otherwise designated as another material. Seeded areas greater than 4:1 slope shall have erosion control blanket installed over the seed and fastened with sod staples, per manufacturer's recommended spacing. Seed shall be Excalibur Turf-type Tall Fescue Blend (or approved equal) applied at recommended seeding rate for new lawns. Starter fertilizer shall also be applied at time of seeding that contains a moisture management agent in it.
8. Proposed trees shall not be placed over existing or proposed utility service lines. It is the contractor's responsibility to understand utility locations and have them marked during tree planting operations. If utility is damaged during planting, contractor is responsible for notifying the general contractor and owner of utility and paying for repair of the damaged utility.
9. A fully automated irrigation system will be supplied for this project by the Contractor. Design shall be provided by the contractor and approved by the landscape architect prior to ordering materials or installing any aspect of the irrigation system. Irrigation system shall consist of tap, backflow, smart controller, heads, pipe, valves, wire, flow sensing, weather station, and any other feature to give the most efficient and comprehensive system as deemed necessary by the owner and landscape architect. System shall cover all areas designated as turf or landscape beds. Turf, trees and shrubs shall all be on separate zones so that they can be watered at different rates. Submit all irrigation plans to the landscape architect for approval.
10. Plant materials which exhibit evidence of insect pests, disease and/or damage must be appropriately treated. Dead plants must be promptly removed and replaced.



- NOTES:**
1. ON EVERGREEN TREES, ATTACH GUYING COLLAR AT APPROX. 2/3 HEIGHT OF TREE ON TREES THAT ARE 6 FT. HEIGHT AND OVER.
 2. TOP OF ROOT FLARE SHALL BE APPROX. 3" ABOVE SURROUNDING FINISHED GRADE. OVERFLOW FROM NURSERY SHALL BE REMOVED USING ROOT COLLARS.
 3. DO NOT FERTILIZE THE FIRST GROWING SEASON.
 4. USE TREE STAKES ONLY IN OPEN AREAS, DO NOT USE IN PARKING LOT ISLANDS OR ADJACENT PEDESTRIAN WALKWAYS.

TYP. TREE PLANTING DETAIL
NTS



TYP. SHRUB BED & EDGING DETAIL
NTS

PLANTING LEGEND

| TREES | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER |
|--------|-----|-------------------------------|----------------------|--------|-----------|
| | 13 | Acer x freemanii 'Jeffersred' | Autumn Blaze Maple | 2" Cal | B&B |
| PLANTS | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER |
| | 81 | Carex flacca | Blue Zinger Sedge | 1 Gal | |
| | 81 | Nepeta x faasssenii | Walker's Low Catmint | 1 Gal | |

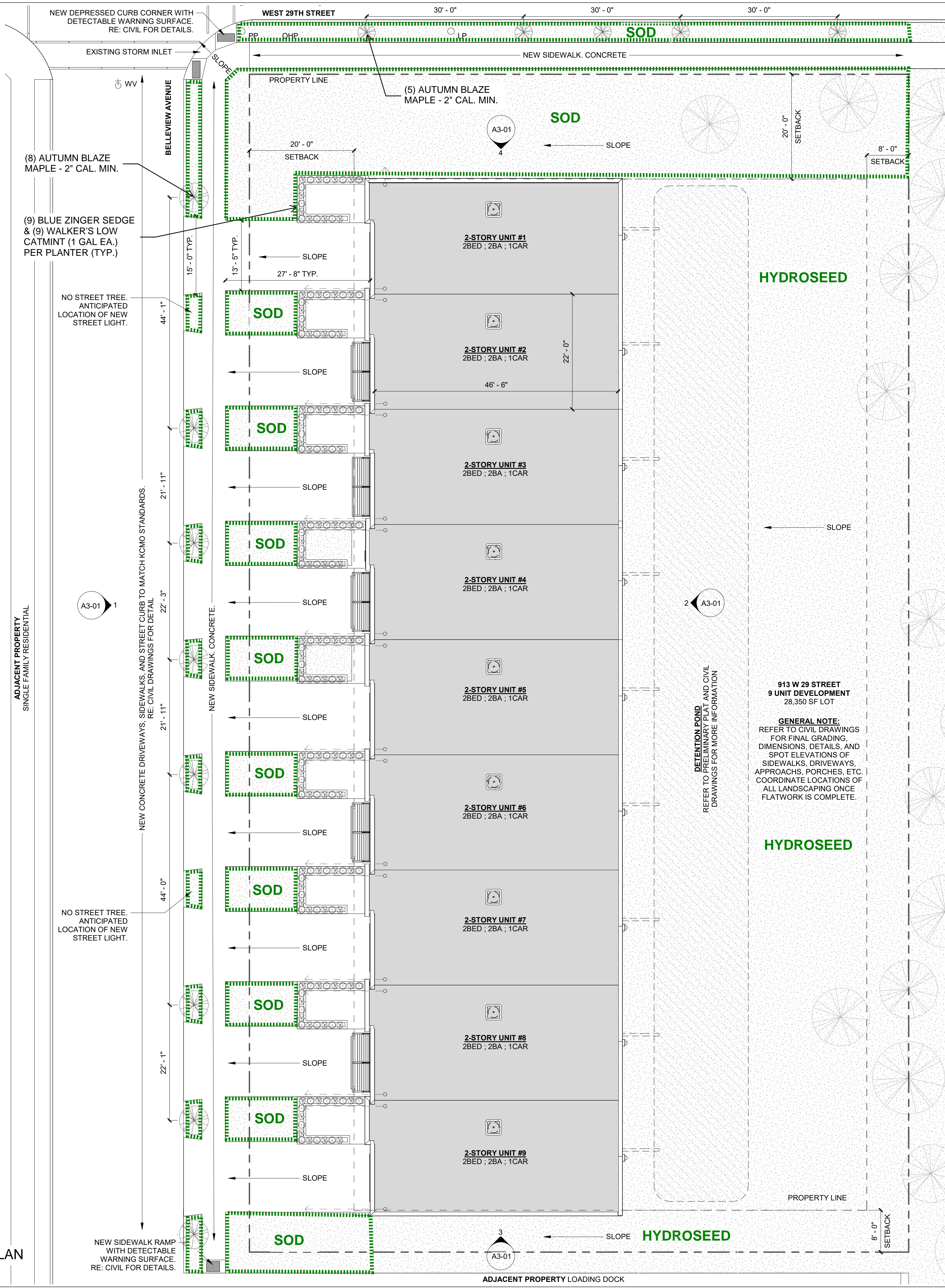
SITE LEGEND

- PROPERTY LINE**
- TURF/LAWN AREA (NEW SOD OR SEED)
- 4" DEEP BROWN HARDWOOD MULCH OVER WEED BARRIER (NEW)
- EXTERIOR 4" CONCRETE SLAB OVER 4" GRAVEL BASE, BROOM FINISH (NEW)
- SITE LIGHTING:**
- STREET LIGHT FIXTURE (NEW)
COORDINATE WITH KCMO STANDARDS

STREET TREE REQUIREMENTS

88.425.03 - STREET TREES

C.1 - 1 TREE PER 30 FEET OF FRONTAGE
BELLEVUE (WEST) - 225' / 30 = 7.5 TREES REQ'D - 8 PROVIDED
29TH ST (NORTH) - 126' / 30 = 4.2 TREES REQ'D - 5 PROVIDED



Chad D. Weinand, PLA, ASLA
Landscape Architecture

15173 W. 157th Terrace, Olathe, Kansas 66062
913.484.3738 - cweinand74@gmail.com
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1 LANDSCAPE PLAN
3/32" = 1'-0"

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
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29 BELLE UR DEVELOPMENT PLAN
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KANSAS CITY MISSOURI 64108

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LANDSCAPE PLAN
A1-03

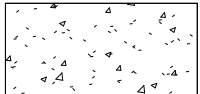
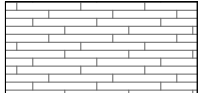

GENERAL FLOOR PLAN NOTES:

- A. ALL INTERIOR WALLS ARE TYPE 1 - 2x4 WOOD STUDS WITH 1/2" TYPE 'X' GYPSUM BOARD ON BOTH SIDES, UNO. REFER TO ASSEMBLY SHEET FOR ADDITIONAL WALL TYPES.
- B. INSTALL NON-EXPANDING SPRAY FOAM INSULATION AT ALL WINDOW & EXTERIOR DOOR FRAMES AND BLOCKING. SEAL ALL JOINTS, GAPS, HOLES, MEP PENETRATIONS, LIGHT FIXTURES, ETC. WITH EXPANDING FOAM AND CAULK TO MINIMIZE AIR LEAKAGE.
- C. GYPSUM BOARD WITHIN KITCHENS, BATHROOMS, LAUNDRY CLOSET, GARAGE, AND MECHANICAL ROOM SHALL BE TYPE 'XP' TO RESIST MOLD AND MILDEW.
- D. INSTALL WOOD BLOCKING AS REQUIRED BY CLOSET DETAILS AND AT ALL CABINETS, HANDRAILS, TOILET ACCESSORIES, ETC.
- E. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERPROOF, WATERPROOF, AND AIRTIGHT PERFORMANCE. COORDINATE CAULK COLORS WITH ARCHITECT.
- F. ALL WOOD STUDS IN CONTACT WITH CONCRETE FOUNDATION WALL SHALL BE TREATED TYPE.
- G. UTILIZE SAFETY GLAZING AT ALL LOCATIONS REQUIRED BY 2018 IRC.
- H. NOT USED
- I. ALL COLOR SELECTIONS TO BE COORDINATED WITH ARCHITECT VIA MANUFACTURERS FULL RANGE OF STANDARD OPTIONS.
- J. REFER TO DOOR SCHEDULE FOR ALL DOOR TYPES, INCLUDING TYPICAL DOOR STYLES, HARDWARE, AND FINISHES.
- K. SEAL ALL CONCRETE TO REMAIN EXPOSED, INCLUDING FLOORS AND WALLS IN ACCORDANCE WITH THE FINISH SCHEDULE.
- L. THE DESIGN INTENT OF EACH UNIT IS A COORDINATED, COMPLETE, AND FULLY FUNCTIONAL LIVING UNIT WITH CONCEALED AND ORDERLY MECHANICAL, ELECTRICAL AND PLUMBING ROUTING AND COORDINATED FIXTURE INSTALLATION WITH EACH DISCIPLINE.

FLOOR FINISH LEGEND:

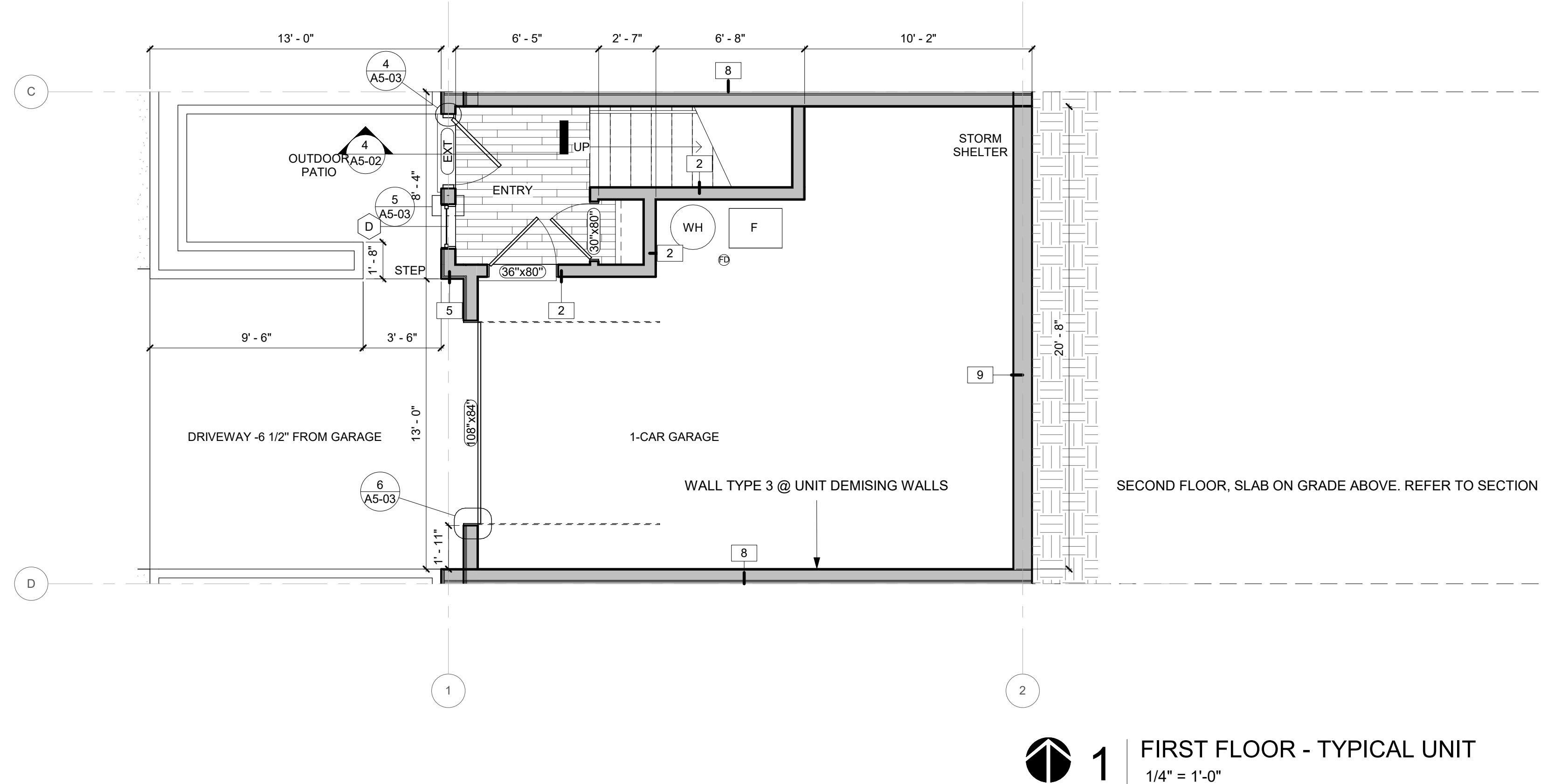
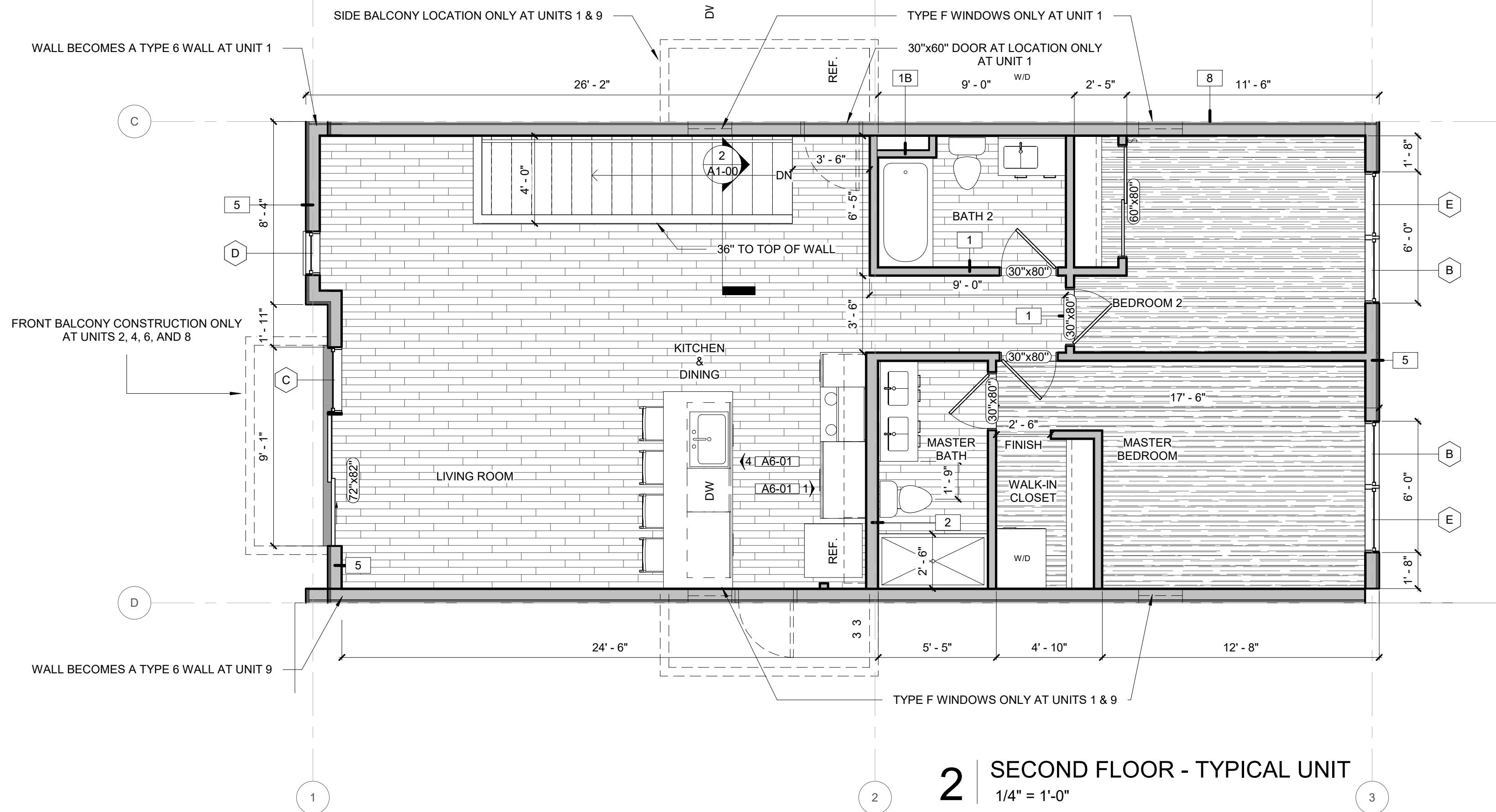
PRODUCTS ARE BASIS OF DESIGN, ALTERNATES MUST BE REVIEWED AND APPROVED BY ARCHITECT.

TRANSITION STRIP: INSTALL MANNINGTON | FUSION IN METALLIC GRAY BETWEEN ALL DISSIMILAR MATERIALS.

-  **CONCRETE, SEALED**
EAGLE GLOSS COAT, CLEAR
TWO COAT APPLICATION
-  **VINYL PLANK**
MANNINGTON - SPACIA FIRST 20
WHITE OAK | RANDOM STAGGER
-  **CARPET**
MANNINGTON - BROADLOOM
ENTWINED | MOSO SORREL

A1 - AREA SCHEDULE

| NAME | AREA |
|--------------|--------|
| FIRST FLOOR | |
| GARAGE | 407 SF |
| ENTRY | 82 SF |
| SECOND FLOOR | |
| FINISHED | 974 SF |
| PATIO | 31 SF |



29 BELLE UR DEVELOPMENT PLAN

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ENLARGED PLAN - UNIT, TYPICAL

A2-01

GENERAL ELEVATION NOTES:

- A. REFER TO FLOOR PLANS AND TYPICAL WALL SECTION FOR EXTERIOR WALL CONSTRUCTION AND DESIGN INTENT.
- B. INSTALL COMPLETE FINISH SYSTEM AND SHEATHING. INSTALL SHEATHING, FINISH, TRIM, COLOR MATCH CAULK/NAIL HEADS, AND FLASHING PER MANUFACTURER WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
- C. INCLUDE WEEP SCREEDS BASE OF ALL STUCCO SURFACES.
- D. INCLUDE WEEP HOLES AND FLASHING AT BASE OF ALL BRICK SURFACES.
- E. INSTALL FINISHES TO MEET MANUFACTURER'S STANDARD WARRANTY.
- F. ALL WINDOWS ARE DOUBLE-PANE, ENERGY STAR RATED WITH VINYL FRAMES. RE: WINDOW SCHEDULE FOR STYLES.
- G. CAULK ALL WINDOW AND DOOR FRAMES, SILLS, TRIM, EXTERIOR WALL PENETRATIONS, ETC. AS REQUIRED FOR WATERPROOF PERFORMANCE. COLOR TO MATCH ADJACENT TRIM OR WALL SURFACE. MOCK-UP REQUIRED. UTILIZE CAULK TYPE RECOMMENDED BY MANUFACTURER FOR SPECIFIC JOINT MATERIAL AND CONDITION.
- H. ALL FINAL COLOR SELECTIONS BY ARCHITECT FROM MANUFACTURER'S FULL RANGE BY SUBSTITUTION.

| MARK | WIDTH | HEIGHT | STYLE / MATERIAL |
|------|---------|---------|------------------|
| A | 2' - 0" | 4' - 0" | FIXED / VINYL |
| B | 3' - 0" | 4' - 0" | FIXED / VINYL |
| C | 3' - 0" | 6' - 8" | FIXED / VINYL |
| D | 2' - 0" | 6' - 8" | FIXED / VINYL |
| E | 3' - 0" | 4' - 0" | CASEMENT / VINYL |

CALEB BULAND, ARCHITECT | MO 209005599

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REGISTERED TRADE NAME OF INTELLIGENTLINE A40, LLC
 KANSAS CITY, MISSOURI
 (816) 785-2265
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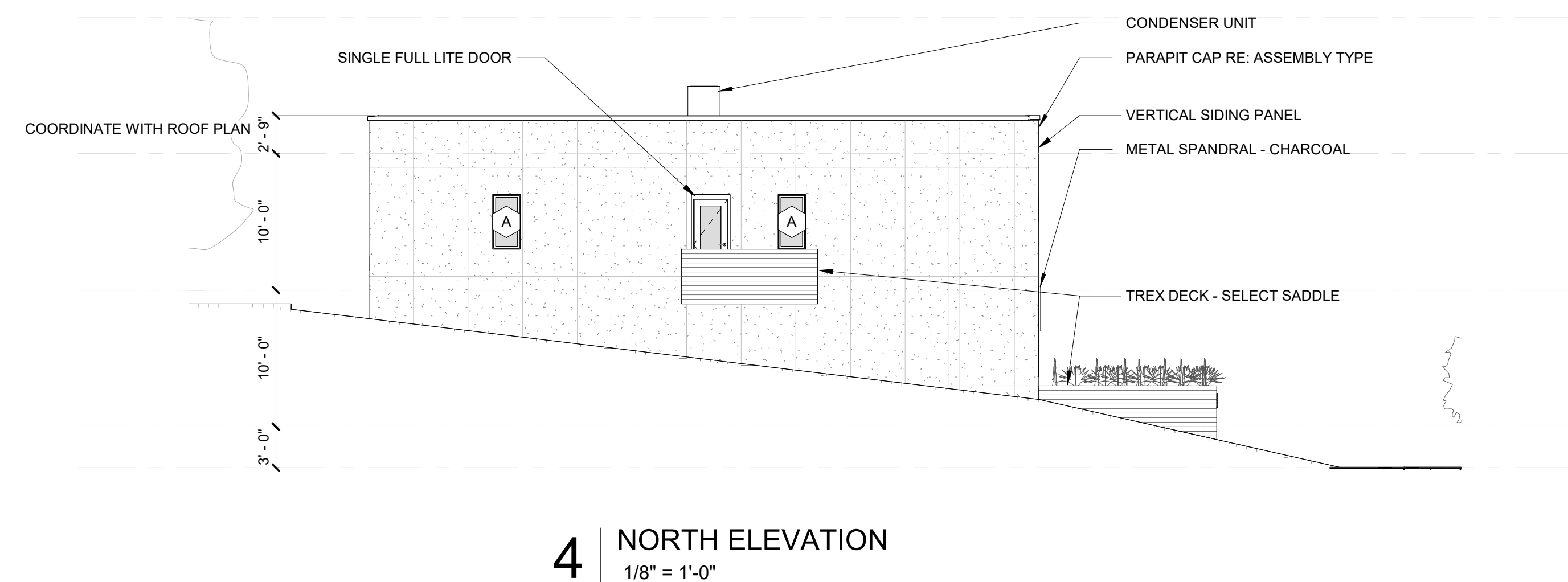
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913 W 29TH STREET
 KANSAS CITY MISSOURI 64108

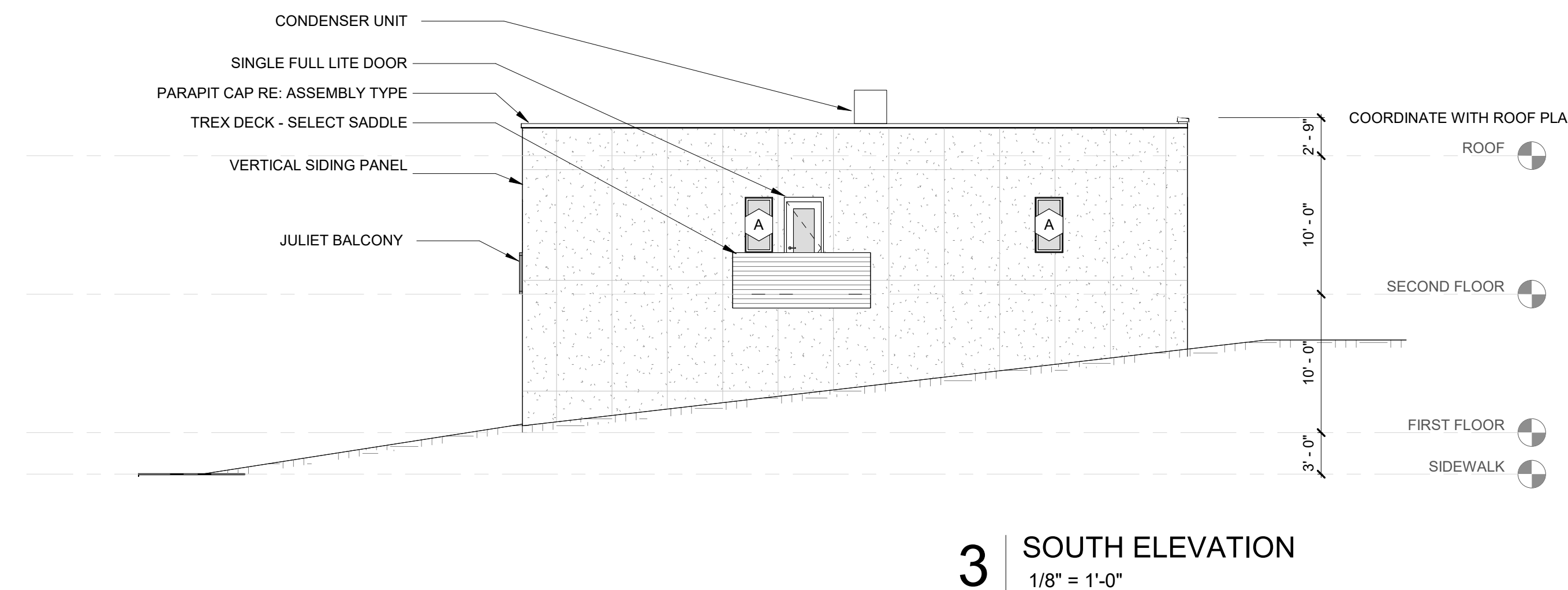
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EXTERIOR ELEVATIONS

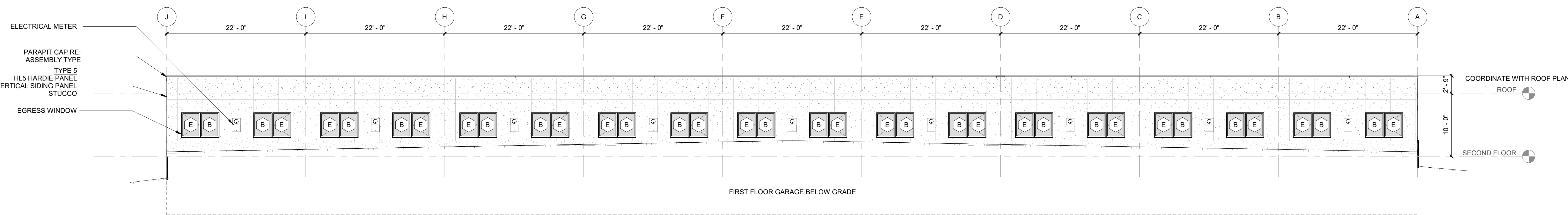
A3-01



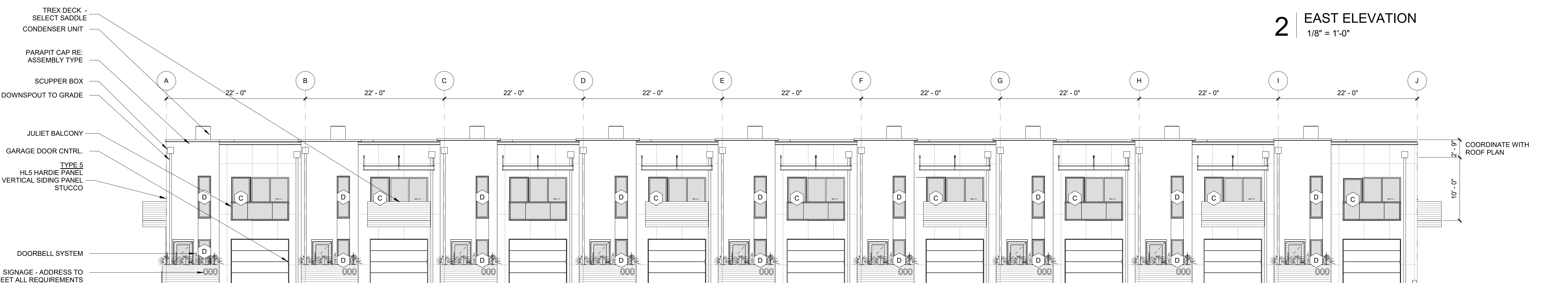
4 NORTH ELEVATION
 1/8" = 1'-0"



3 SOUTH ELEVATION
 1/8" = 1'-0"



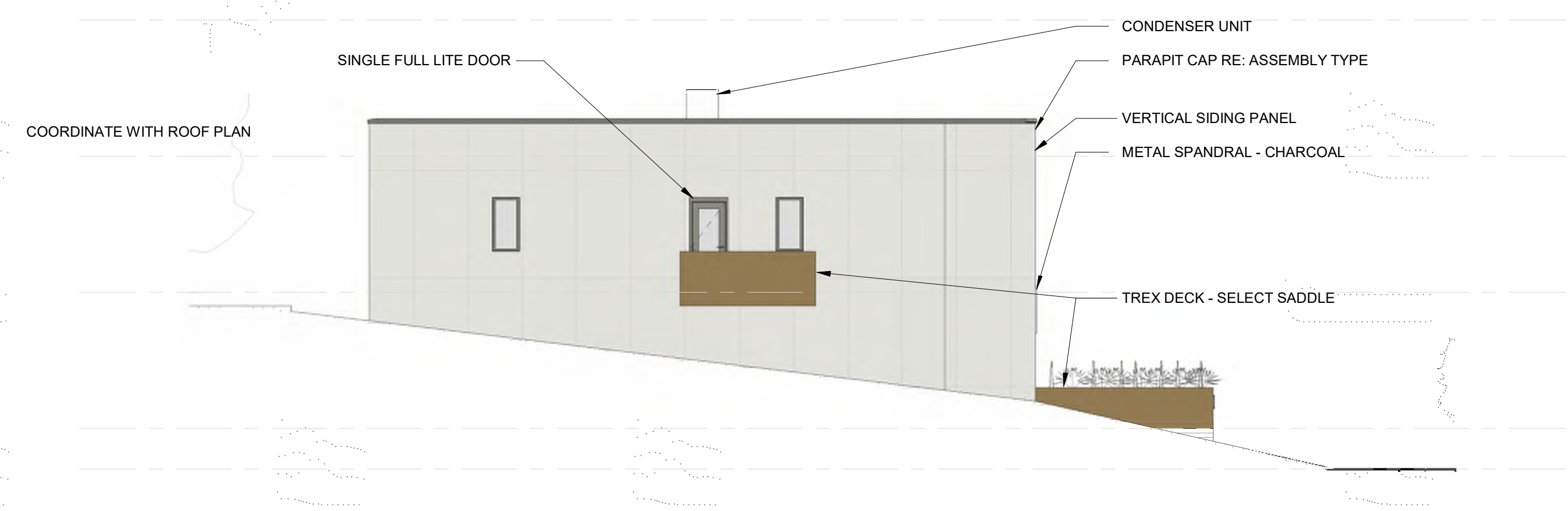
2 EAST ELEVATION
 1/8" = 1'-0"



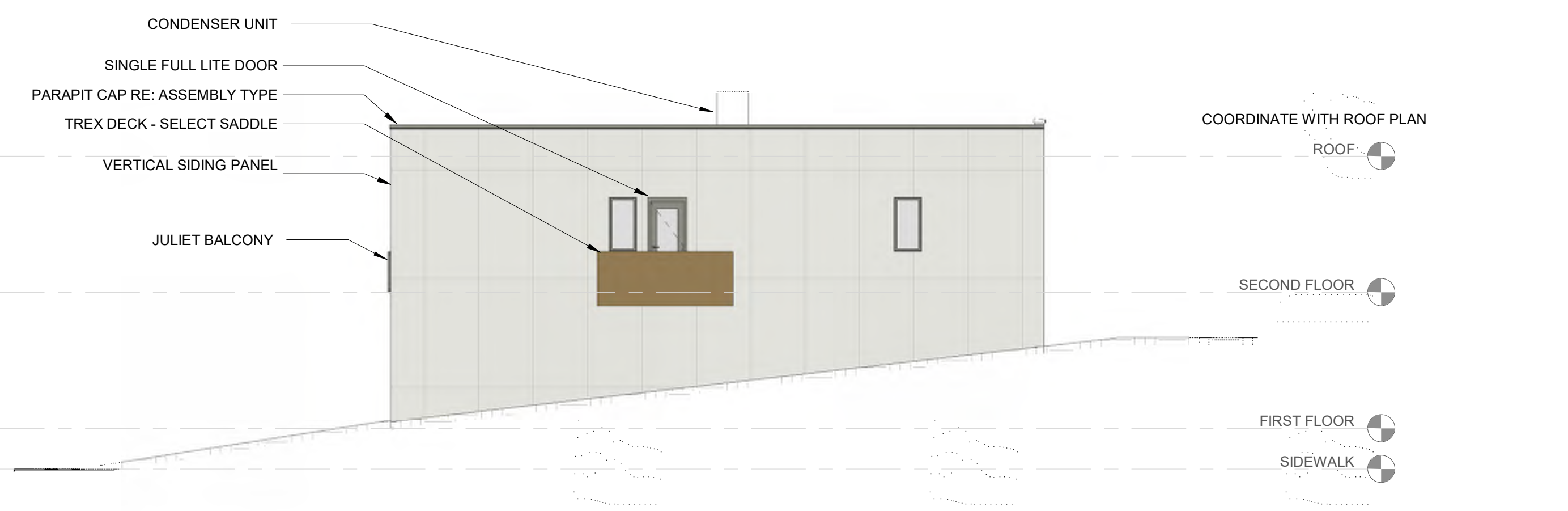
1 WEST ELEVATION
 1/8" = 1'-0"

5/11/2021 2:26:40 PM

29 BELLE UR DEVELOPMENT PLAN
 913 W 29TH STREET
 KANSAS CITY MISSOURI 64108



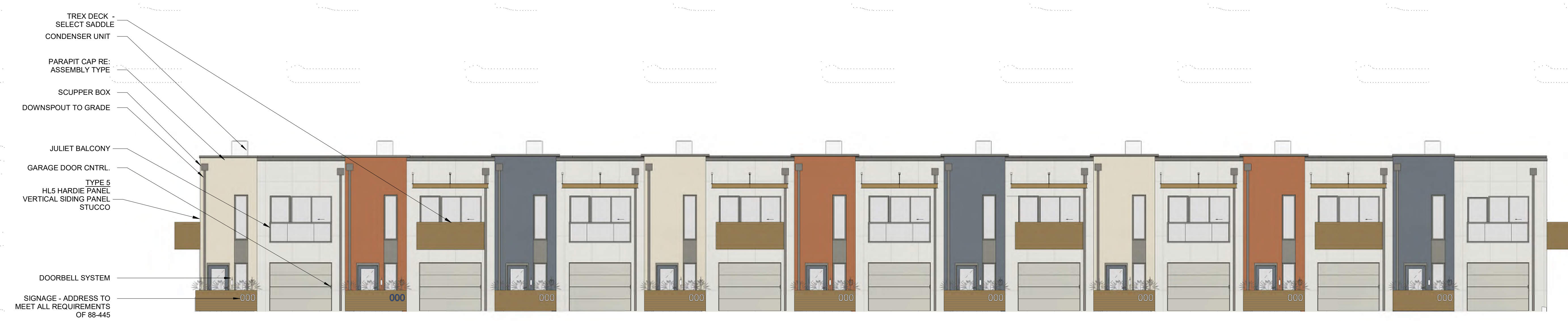
4 | NORTH ELEVATION - COLOR
 1/8" = 1'-0"



3 | SOUTH ELEVATION - COLOR
 1/8" = 1'-0"



2 | EAST ELEVATION - COLOR
 1/8" = 1'-0"



1 | WEST ELEVATION - COLOR
 1/8" = 1'-0"

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29 BELLE UR DEVELOPMENT PLAN

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KANSAS CITY MISSOURI 64108



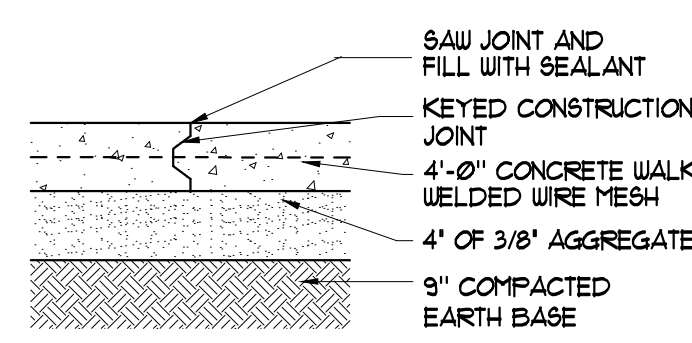
Bellevue Avenue
by **EXACT**



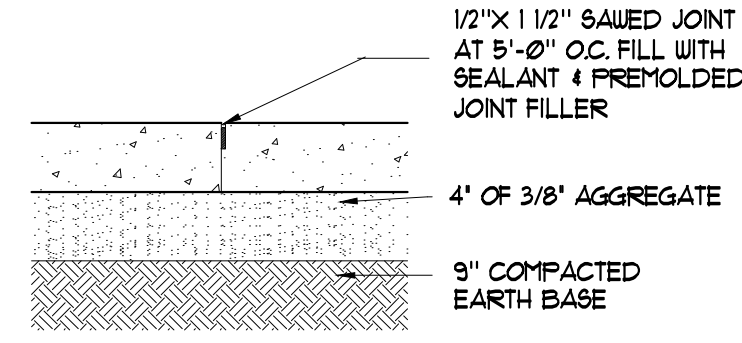
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EXTERIOR DESIGN
RENDERING

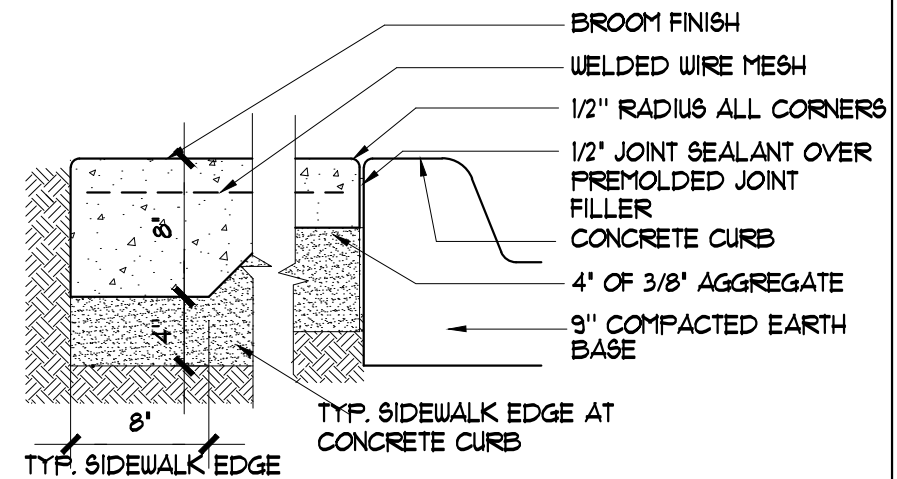
A3-03



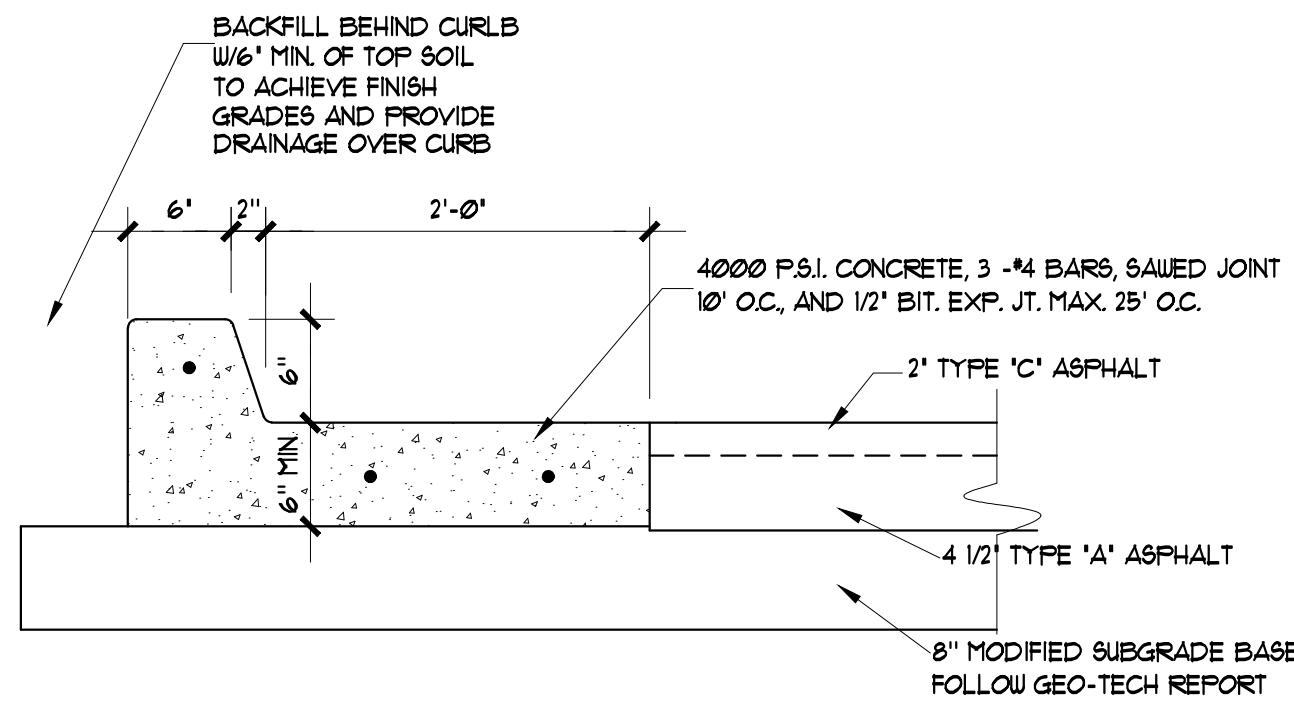
1 CONSTRUCTION JOINT
SCALE: 1" = 1'-0"



2 SAW CUT CONTROL JOINT
SCALE: 1" = 1'-0"



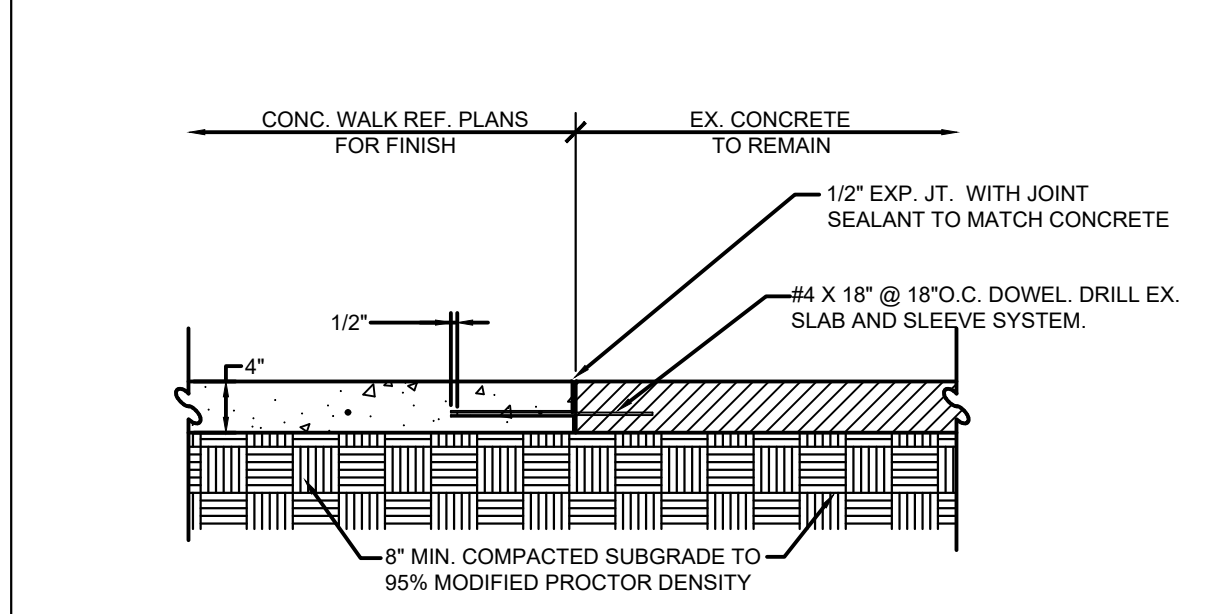
3 DETAIL AT SIDEWALK EDGE
SCALE: 1" = 1'-0"



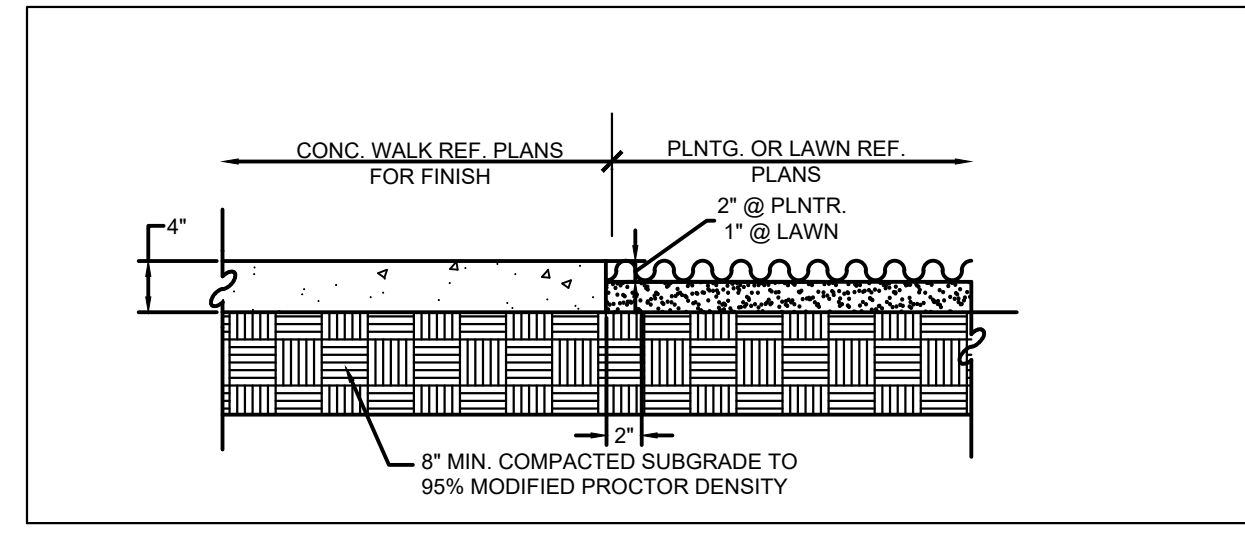
4 DETAIL AT PAVING/CURB
SCALE: 1" = 1'-0"

- SIDEWALK CONSTRUCTION NOTES:**
1. USE 1/2" X 4' PREFORMED EXPANSION JOINT MATERIAL AROUND ALL FOUR POLES OR OTHER STRUCTURES IN SIDEWALK.
 2. 1' EXPANSION JOINTS TO BE 100' MAX.
 3. SAW CUT JOINTS WITHIN 24 HOURS AFTER POURING.
 4. THERE SHALL BE A LONGITUDINAL CONSTRUCTION JOINT INSTALLED WHEN WALK IS 8' OR GREATER.
 5. WHEN TWO SIDEWALKS MERGE, THERE SHALL BE A 1' PREFORMED EXPANSION JOINT FILLER PLACED PARALLEL W/ THE LONGER RUN OF SIDEWALK.
 6. CONSTRUCTION JOINTS SHALL BE A MAX. OF 8' SPACING.
 7. WHERE THE SIDEWALKS ABUT CURBS AND GUTTER OR A BUILDING THERE SHALL BE A 1/2' PREFORMED EXPANSION JOINT FILLER PLACED BETWEEN THE SIDEWALK AND STRUCTURE.
 8. CONSTRUCTION JOINTS SHALL HAVE 1/8" WIDTH 1" DEEP W/ 1/8" RADII AT THE EDGES OF THE JOINT.
 9. EXPANSION JOINTS SHALL HAVE 1/8" RADII ON THE EDGES OF THE JOINT AND HAVE JOINT SEALANT AT LEAST 1/4" DEEP IN THE JOINT.
 10. SUBGRADE OF SIDEWALK SHALL BE 6" COMPACTED TO AT LEAST 95% MAX. DENSITY.
 11. USE FIBER MESH IN THE EXTERIOR CONC. IN LIEU OF STEEL REINFORCING.

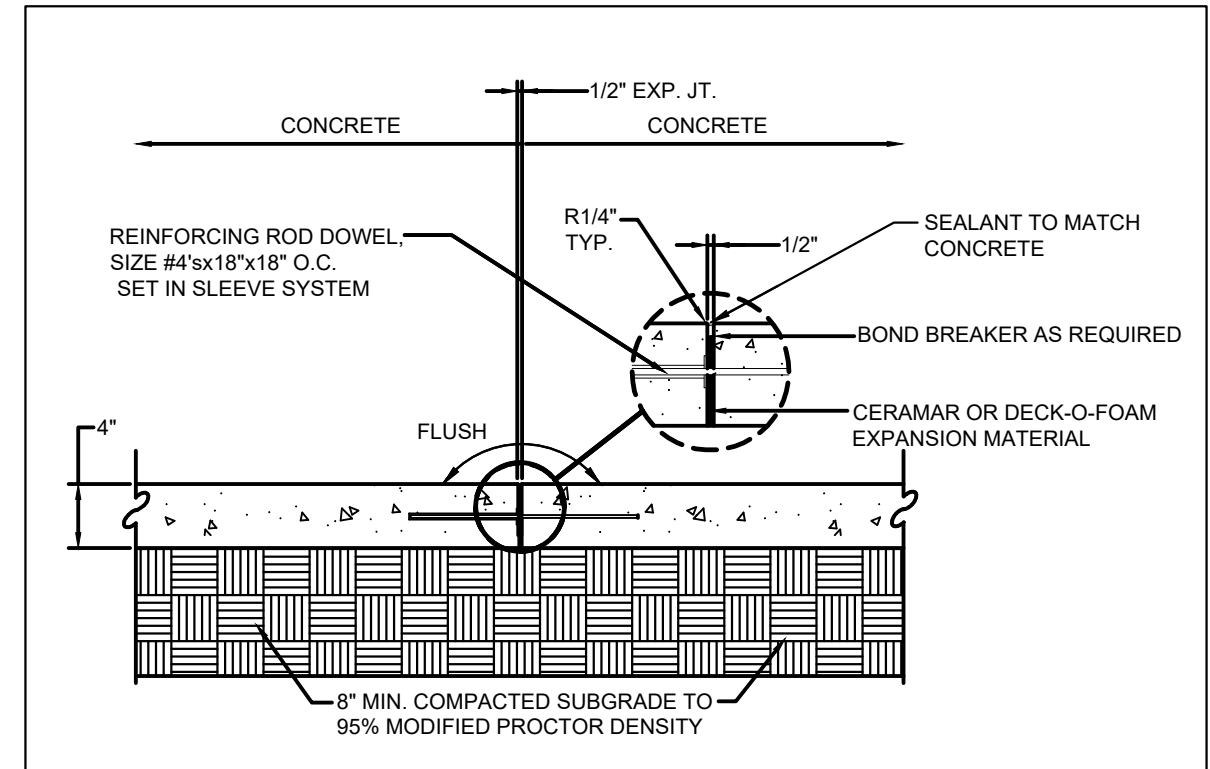
NOTE
ALL WORK SHALL BE PERFORMED PER APWA STANDARDS. SEE SHEET S5



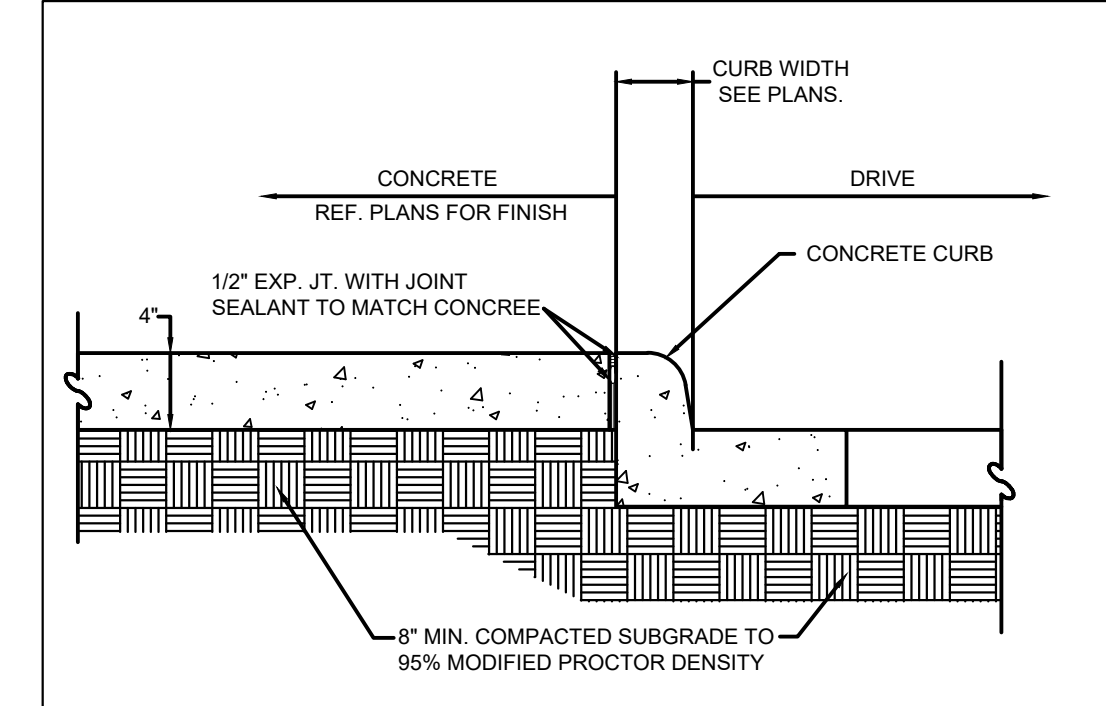
5 SIDE WALK AT EX. CONCRETE



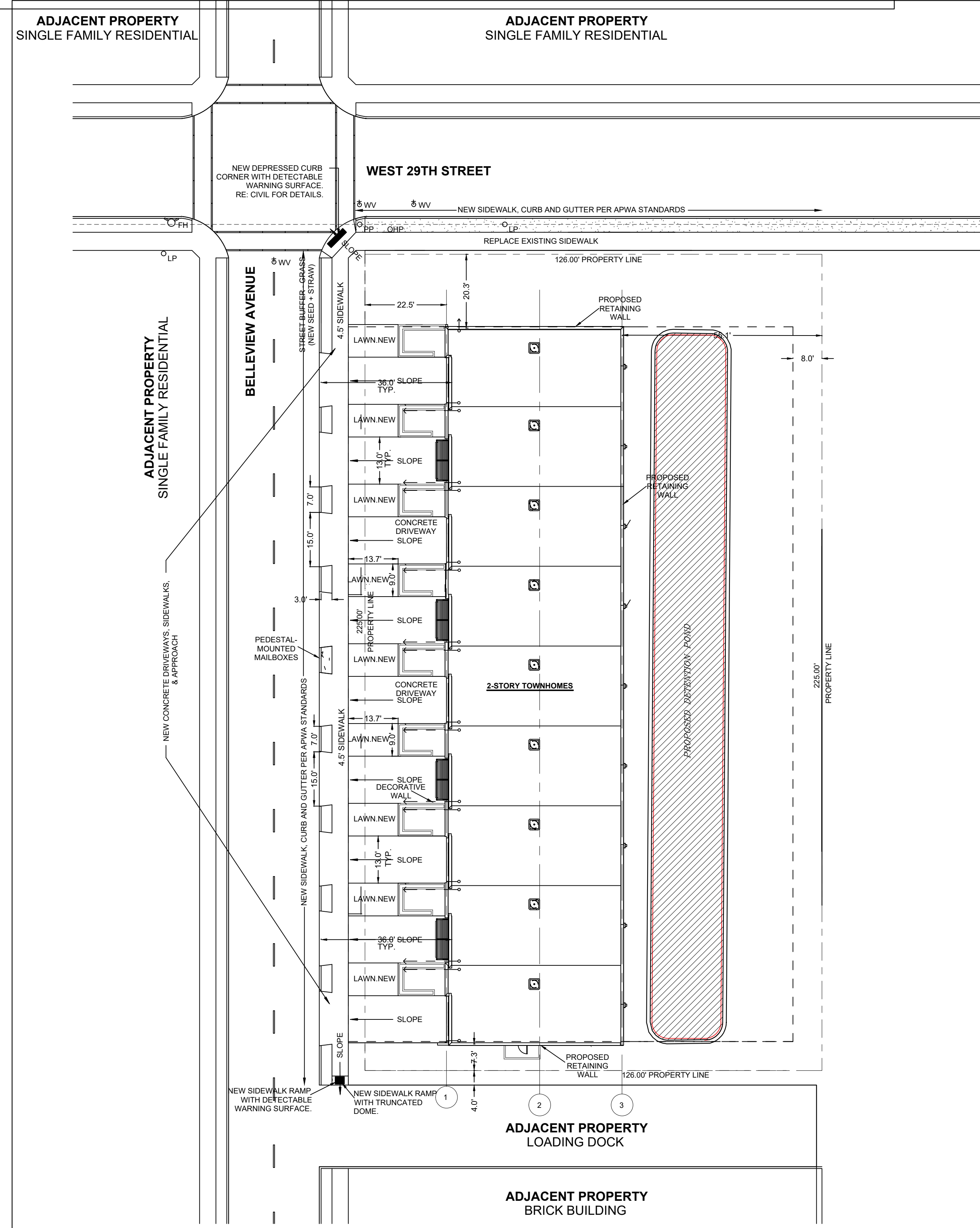
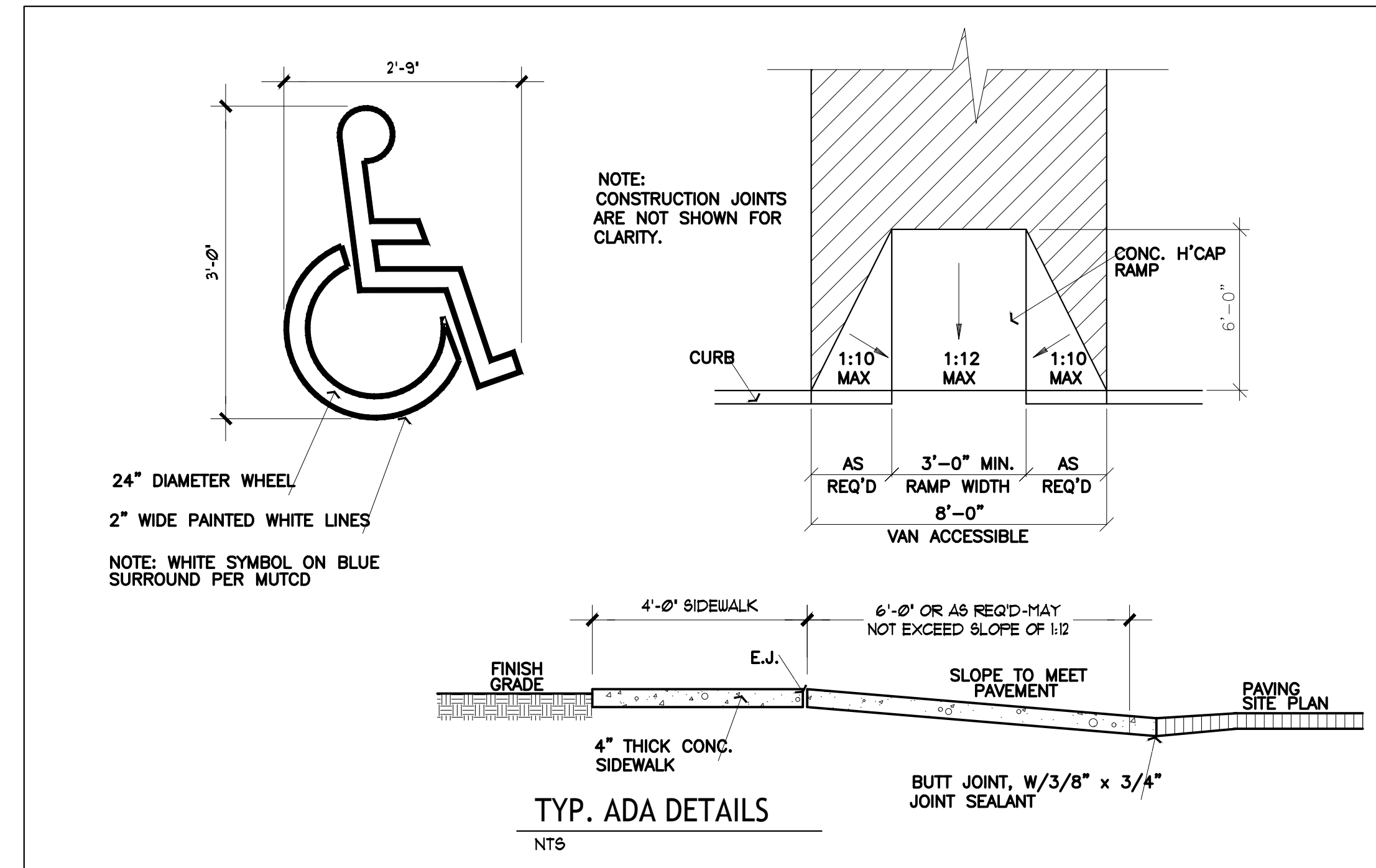
6 SIDE WALK AT PLANTING



7 SIDE WALK AT EXP. JOINT



8 SIDE WALK AT CURB

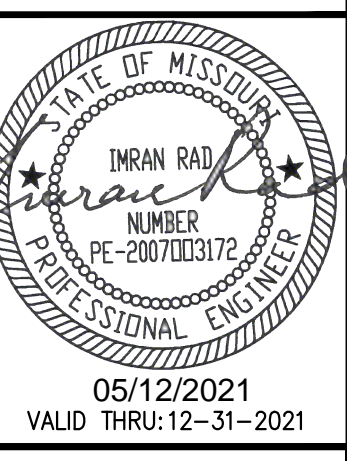


1 DIMENSIONED SITE PLAN
1" = 20'

| DRAWING ISSUE | |
|---------------|-----------------|
| NO | DESCRIPTION |
| 1 | FOR REVIEW |
| 2 | BID SET #1 |
| 3 | FOR CITY REVIEW |
| 4 | |
| 5 | |

29 BELLE UR DEVELOPMENT PLAN
913 WEST 29TH STREET
KANSAS CITY, MISSOURI 64108

IMRAN RAD, P.E.
3603 BELLA VISTA DRIVE
MIDWEST CITY, OKLAHOMA 73110
TEL. 816.616.5516, 405.255.2994
imranrad@gmail.com

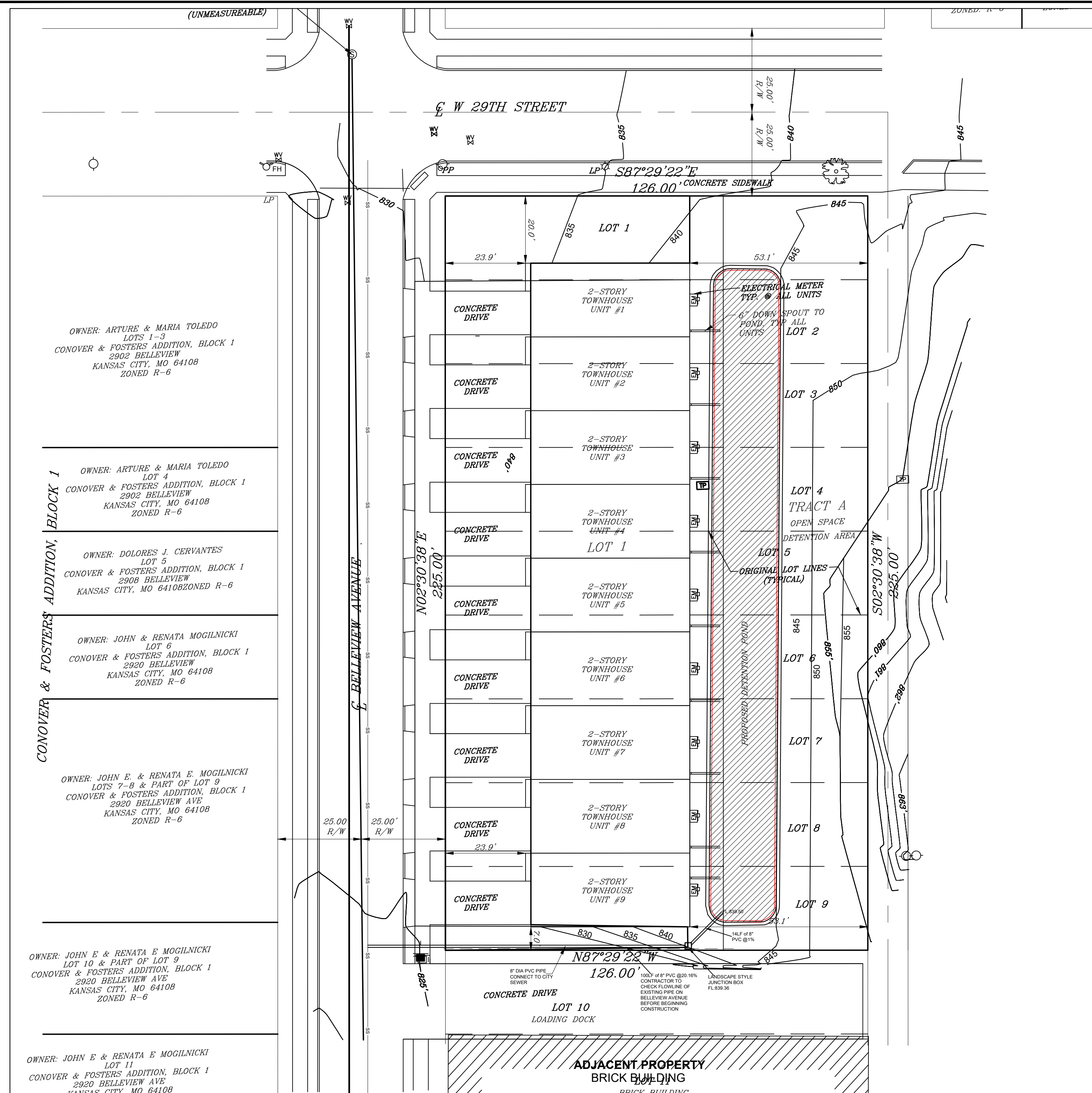


DIMENSIONED SITE PLAN

PROJECT NUMBER
2023

SHEET NUMBER

C1



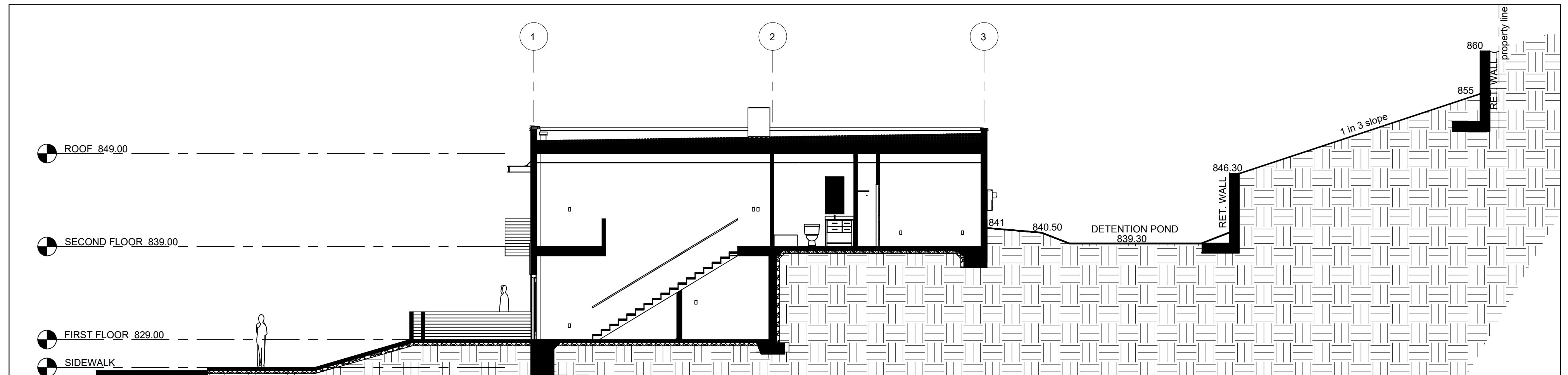
DRAINAGE DATA (PRELIMINARY CALCS.)

- TOTAL AREA 28350 SF = 0.65 ACRES.
- STORAGE REQUIRED AT 1.5' OVER THE ENTIRE SITE = 3544 CF.
- PRE-DEVELOPMENT DISCHARGE Q100 = 2.78 CFS.
- POST DEVELOPMENT BYPASS = 0.77 CFS
- ALLOWABLE DISCHARGE FROM POND = 2.78 - 0.77 = 2.01 CFS.
- STORAGE VOL. PROVIDED AT 1.2 FT AVERAGE DEPTH = 4680 CF.
- TOTAL POST DEVELOPMENT DISCHARGE = Qpond + Q bypass = 2.02 + 0.77 = 2.79 WHICH IS VERY CLOSE TO PREDEVELOPMENT DISCHARGE.

- GENERAL NOTES
- LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
 - CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
 - CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
 - CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
 - ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
 - EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
 - CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
 - ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL. IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER, A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
 - ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL. IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER, A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
 - AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
 - CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
 - CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM
 - CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY EPA PHASE II STORM WATER REGULATIONS AS ADMINISTERED BY THE MISSOURI DIVISION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE MISSOURI UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE MISSOURI ONE-CALL SYSTEM AT 800-344-7433 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
 - CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY.
 - TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
 - EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.

- GRADING PLAN NOTES
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THE PROJECT.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
 - IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
 - CONSTRUCTION REVIEW, INSPECTION, AND OBSERVATION OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED AS A REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
 - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THIS SITE. AS REQUIRED, PRIOR TO BEGINNING WORK.
 - BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN AND/OR PERMIT.
 - THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
 - TRAFFIC: MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING EARTH MOVING OPERATIONS.
 - DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION.
 - PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY OWNER OR AUTHORITIES HAVING JURISDICTION.
 - DO NOT CONDUCT WORK ON ADJOINING PROPERTY UNLESS DIRECTED BY ENGINEER.
 - DO NOT COMMENCE EARTH-MOVING OPERATIONS UNTIL TEMPORARY EROSION- AND SEDIMENTATION-CONTROL MEASURES ARE IN PLACE.
 - INSTALL DETECTABLE WARNING TAPE ABOVE CONSTRUCTED UTILITIES. DETECTABLE WARNING TAPE IS AS ACID- AND ALKALI-RESISTANT, POLYETHYLENE FILM WARNING TAPE MANUFACTURED FOR MARKING AND IDENTIFYING UNDERGROUND UTILITIES, A MINIMUM OF 6 INCHES WIDE AND 4 MILS THICK, CONTINUOUSLY INSCRIBED WITH A DESCRIPTION OF THE UTILITY, WITH METALLIC CORE ENCASED IN A PROTECTIVE JACKET FOR CORROSION PROTECTION. DETECTABLE BY METAL DETECTOR WHEN TAPE IS BURIED UP TO 30 INCHES DEEP. COLORED AS FOLLOWS:
 - RED: ELECTRIC
 - YELLOW: GAS, OIL, STEAM, AND DANGEROUS MATERIALS
 - ORANGE: TELEPHONE AND OTHER COMMUNICATIONS
 - BLUE: WATER SYSTEMS
 - GREEN: SEWER SYSTEMS
 - PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTH MOVING OPERATIONS.
 - PROTECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS DURING EARTH MOVING OPERATIONS.
 - PROTECT SUBGRADES AND FOUNDATION SOILS FROM FREEZING TEMPERATURES AND FROST. REMOVE TEMPORARY PROTECTION BEFORE PLACING SUBSEQUENT MATERIALS.
 - IF EXCAVATED MATERIALS INTENDED FOR FILL AND BACKFILL INCLUDE UNSATISFACTORY SOIL MATERIALS AND ROCK, REPLACE WITH SATISFACTORY SOIL MATERIALS.
 - EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
 - EXCAVATIONS FOR FOOTINGS AND FOUNDATIONS: DO NOT DISTURB BOTTOM OF EXCAVATION. EXCAVATE BY HAND TO FINAL GRADE JUST BEFORE PLACING CONCRETE REINFORCEMENT. TRIM BOTTOMS TO REQUIRED LINES AND GRADES TO LEAVE SOLID BASE TO RECEIVE OTHER WORK.
 - EXCAVATION FOR UNDERGROUND TANKS, BASINS, AND MECHANICAL OR ELECTRICAL UTILITY STRUCTURES: EXCAVATE TO ELEVATIONS AND DIMENSIONS INDICATED WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. DO NOT DISTURB BOTTOM OF EXCAVATIONS INTENDED AS BEARING SURFACES.
 - EXCAVATIONS AT EDGES OF TREE- AND PLANT-PROTECTION ZONES:
 - EXCAVATE BY HAND TO INDICATED LINES, CROSS SECTIONS, ELEVATIONS, AND SUBGRADES. USE NARROW-TINE SPADING FORKS TO COMB SOIL AND EXPOSE ROOTS. DO NOT BREAK, TEAR, OR CHOP EXPOSED ROOTS. DO NOT USE MECHANICAL EQUIPMENT THAT RIPS, TEARS, OR PULLS ROOTS.
 - GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTON REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
 - PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
 - CUT OUT SOFT SPOTS, FILL LOW SPOTS, AND TRIM HIGH SPOTS TO COMPLY WITH REQUIRED SURFACE TOLERANCES.
 - SITE ROUGH GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.

1 SITE GRADING PLAN
1" = 20'

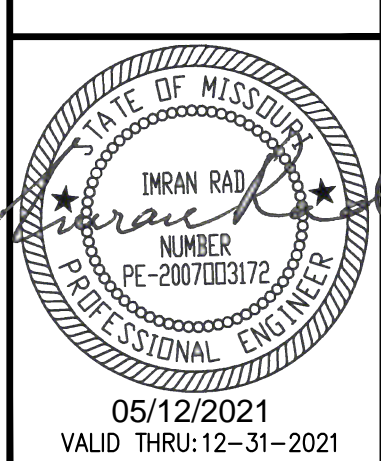


2 SITE SECTION

| DRAWING ISSUE | |
|---------------|-----------------|
| NO | DESCRIPTION |
| 1 | FOR REVIEW |
| 2 | BID SET #1 |
| 3 | FOR CITY REVIEW |
| 4 | |
| 5 | |

29 BELLE UR DEVELOPMENT PLAN
913 WEST 29TH STREET
KANSAS CITY, MISSOURI 64108

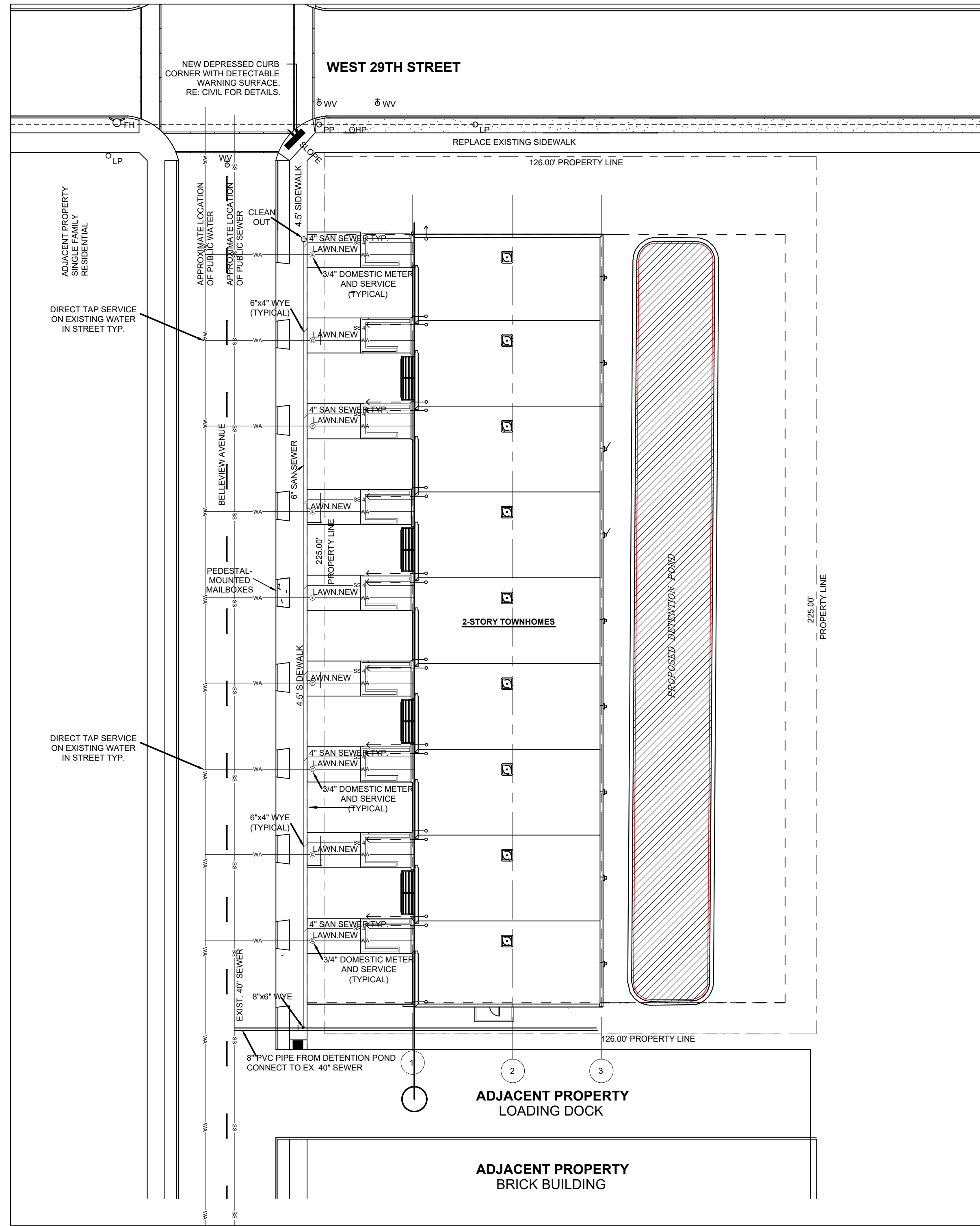
IMRAN RAD, P.E.
3608 BELLA VISTA DRIVE
MIDWEST CITY, OKLAHOMA 73110
TEL. 816.616.5916, 405.255.2994
imranrad@gmail.com



SITE GRADING PLAN

PROJECT NUMBER
2023

SHEET NUMBER
C2



1 SITE UTILITIES PLAN
1" = 20'

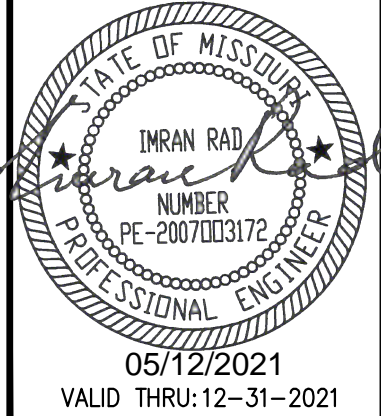
- GENERAL NOTES**
- LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
 - CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
 - CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
 - CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
 - ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
 - EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
 - CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
 - ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
 - ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
 - AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
 - CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
 - CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM.
 - CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE MISSOURI DIVISION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE MISSOURI UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE MISSOURI ONE-CALL SYSTEM AT 800-344-7483 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
 - CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY.
 - TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
 - EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.

- UTILITY PLAN NOTES**
- CONTRACTOR SHALL PROTECT EXISTING UTILITIES NOT DEEMED FOR REMOVAL FROM DAMAGE.
 - ALL UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, AND APPLICABLE REGULATORY AGENCIES.
 - SEE THE DETAILS SHEET AND CONTRACT SPECIFICATIONS FOR SPECIFIC UTILITY DETAILS AND UTILITY SERVICE DETAILS.
 - ALL UTILITIES SHALL TERMINATE 4' FROM THE BUILDING UNLESS OTHERWISE NOTED.
 - SEE THE MECHANICAL PLANS FOR WATER AND SANITARY CONNECTION 4' FROM THE BUILDING.
 - ALL UTILITY PIPE BEDDING SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF THE CITY.
 - ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. THE CITY DEPARTMENT OF ENGINEERING MUST BE NOTIFIED 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, OR WORK IMPACTING CITY UTILITIES.
 - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THE SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
 - ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY.
 - REFER TO THE GEOTECHNICAL REPORT FOR SUBSURFACE CONDITIONS.

| DRAWING ISSUE | | DATE |
|---------------|-----------------|----------|
| NO | DESCRIPTION | DATE |
| 1 | FOR REVIEW | 10/07/20 |
| 2 | BID SET #1 | 02/04/21 |
| 3 | FOR CITY REVIEW | 05/12/21 |
| 4 | | |
| 5 | | |

29 BELLE UR DEVELOPMENT PLAN
913 WEST 29TH STREET
KANSAS CITY, MISSOURI 64108

IMRAN RAD, P.E.
3603 BELLA VISTA DRIVE
MIDWEST CITY, OKLAHOMA 73110
TEL. 816.616.5516, 405.255.2994
imranrad@gmail.com

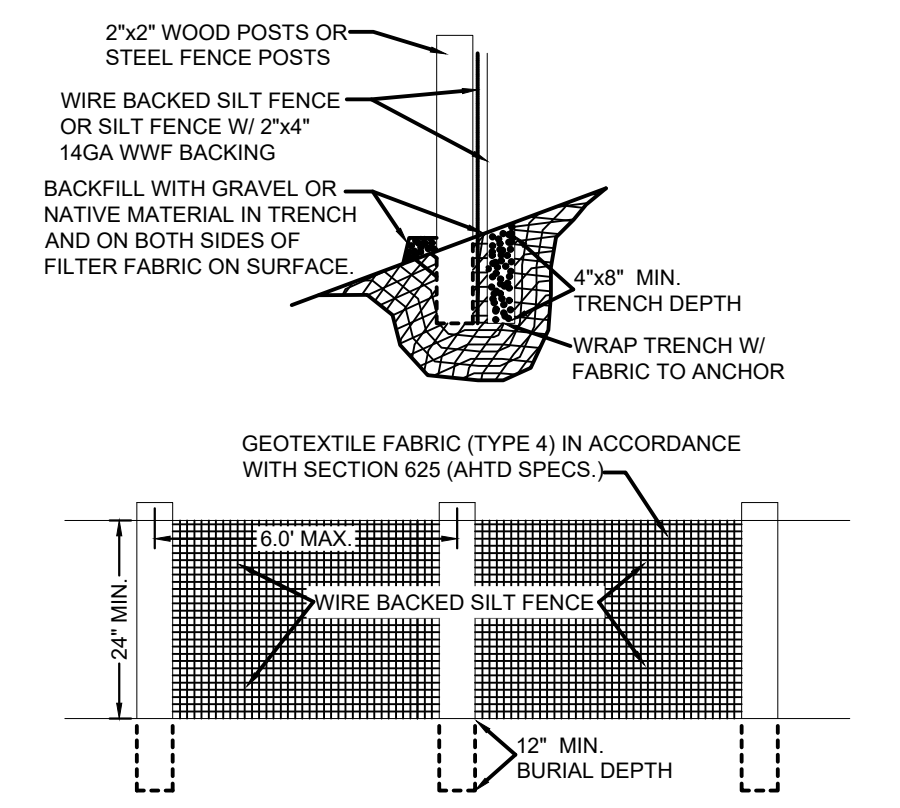


UTILITY PLAN

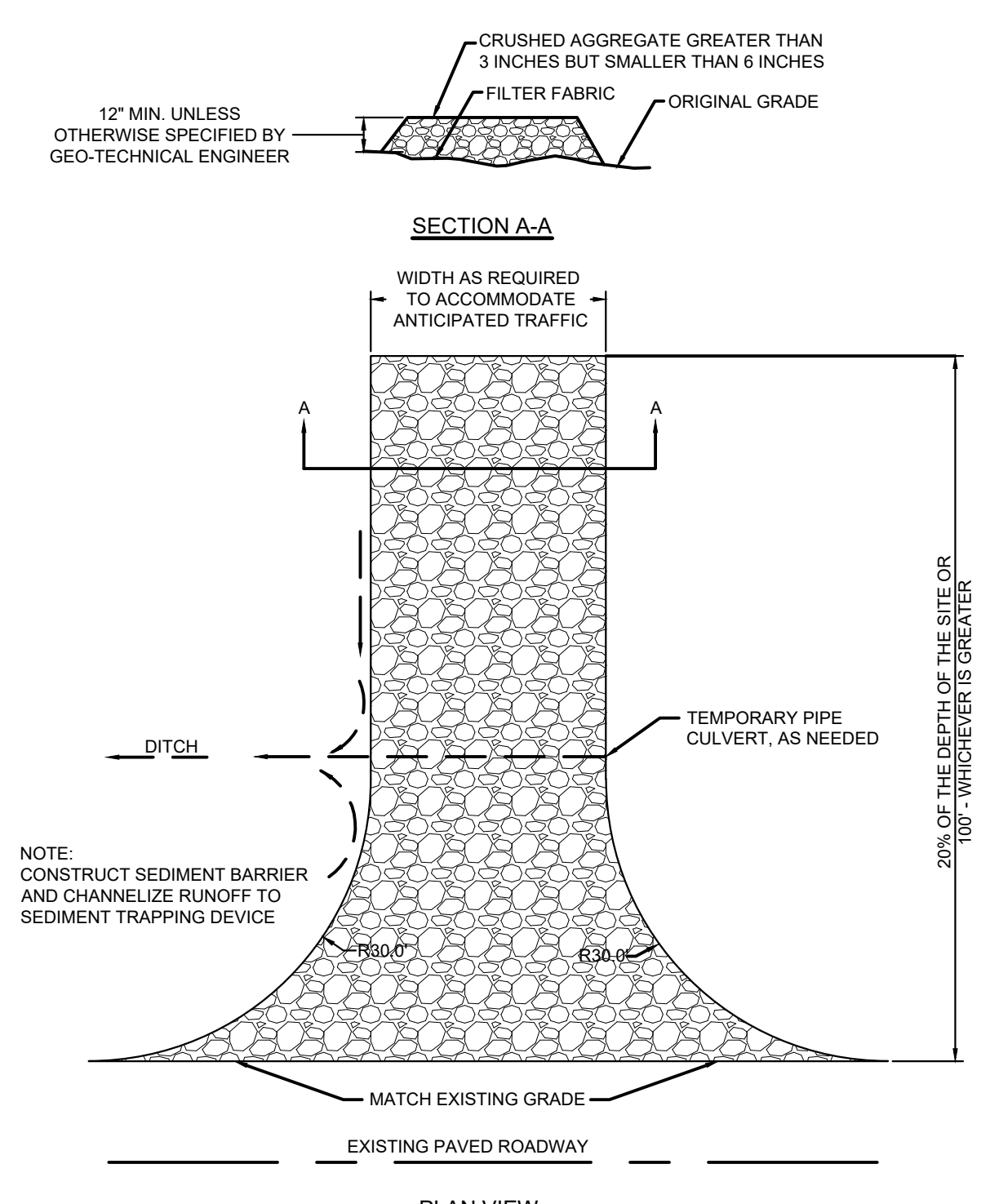
PROJECT NUMBER
2023
SHEET NUMBER
C3

- EROSION CONTROL NOTES**
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE A MINIMUM OF 4-INCHES OF TOPSOIL AND 2-INCHES OF COMPOST (FOR A TOTAL OF 6-INCHES) AND SOO OR SEED (AS INDICATED). THESE AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL THE SOO OR SEED IS GROWING IN A HEALTHY MANNER. SEE LANDSCAPE PLANS FOR MORE REQUIREMENTS.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THE PROJECT.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. THESE DEVICES AND THEIR PLACEMENT SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT.
 - IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
 - THE DUTY OF THE OWNER (OR OWNER'S REPRESENTATIVE) TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
 - BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL A TEMPORARY ROCK ENTRANCE PAD AT ALL POINTS OF VEHICLE EXIT FROM THE SITE. SAID ROCK ENTRANCE PADS SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
 - EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND THE PROJECT DETAILS.
 - EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON COMPLETION OF CLEARING AND GRUBBING.
 - THE INTENDED SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:
 - INSTALL SILT FENCE AROUND THE PERIMETER OF THE SITE, AND THE ROCK CONSTRUCTION ENTRANCE(S).
 - INSTALL SILT FENCE AND INLET PROTECTION AROUND, AND WITHIN, ALL STRUCTURES.
 - CLEAR AND GRUB.
 - SURFACE FEATURE REMOVALS.
 - STABILIZE DENuded AREAS AND STOCKPILES.
 - FINE GRADING OF THE SITE.
 - INSTALL TOPSOIL, COMPOST AND SEED.
 - REMOVE ACCUMULATED SEDIMENT FROM STRUCTURES.
 - WHEN ALL CONSTRUCTION ACTIVITIES ARE COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL WITHIN 30-DAYS OF FINAL STABILIZATION.
 - THE LOCATION OF THE AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
 - ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
 - SOLID WASTE MUST BE DISPOSED OF PROPERLY AND COMPLY WITH THE GOVERNING AGENCY'S DISPOSAL REQUIREMENTS.
 - EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. THE AREA MUST BE IN A CONTAINED LOCATION WITH A LINER WASHOUT TO BE REMOVE AND PROPERLY DISPOSED OF FOLLOWING ALL APPLICABLE REGULATIONS. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE ALLOWED TO WASH OFF FRESH CONCRETE IN THE STREET OR IN ANY AREA WHERE THE WASHOUT MATERIAL WILL ENTER A WETLAND OR DRAINAGEWAY. CONCRETE WASHOUT WATER SHALL NOT BE DISCHARGED INTO WATERSTORM SYSTEMS.
 - NO ENGINE DEGREASING IS ALLOWED ON SITE.
 - SILT FENCE REQUIRED MAINTENANCE SHALL BE AS FOLLOWS: WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE SILT FENCE FABRIC, THE SEDIMENT MUST BE REMOVED WITHIN 24-HOURS. REPAIR OR REPLACE DYSFUNCTIONAL SILT FENCE WITHIN 24-HOURS.
 - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THIS SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
 - AFTER CONSTRUCTION BEGINS, SOIL SURFACE STABILIZATION SHALL BE APPLIED WITHIN 7-DAYS TO ALL DISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN UNDISTURBED FOR PERIODS LONGER THAN AN ADDITIONAL 21 CALENDAR DAYS.
 - WITHIN 7-DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, PERMANENT OR TEMPORARY SOIL SURFACE STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS AND SOIL STOCKPILES.
 - ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS OR MORE MUST BE STABILIZED BY SEEDING, SODDING OR MULCHING. TYPE OF SLOPE DAYS TO STABILIZE STEEPER THAN 3:1 7 DAYS 10:1 TO 3:1 7 DAYS FLATTER THAN 10:1 7 DAYS
 - WHEN STABILIZATION MEASURES ARE STOPPED DUE TO SNOW COVER OR ARID CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE. SOIL STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO SURFACE ROUGHENING, TEMPORARY OR PERMANENT VEGETATION, MULCHING, SODDING, LANDSCAPING AND EROSION CONTROL BLANKETS.
 - STABILIZATION MEASURES TO BE USED SHALL BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS AND ESTIMATED DURATION OF USE.
 - EXISTING TURF OUTSIDE OF THE CONSTRUCTION LIMITS SHALL NOT BE DISTURBED. ANY TURF SHALL BE RE-ESTABLISHED.
 - ALL STREETS AND PARKING LOTS ADJACENT TO THE SITE SHALL BE CLEANED AND/OR SWEEPED AT THE END OF EACH WORKING DAY.
 - WHEN STABILIZATION MEASURES ARE STOPPED DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE RE-INITIATED AS SOON AS POSSIBLE. STABILIZATION MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO: TEMPORARY OR PERMANENT VEGETATION, MULCHING, SODDING, LANDSCAPING AND EROSION CONTROL BLANKETS.
 - TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING THE CONSTRUCTION PHASE AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
 - EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL PERMANENT VEGETATION IS ESTABLISHED.
 - CONTRACTOR TO LOCATE A CONCRETE WASHOUT AREA ON THE PROJECT SITE PRIOR TO BEGINNING WORK.

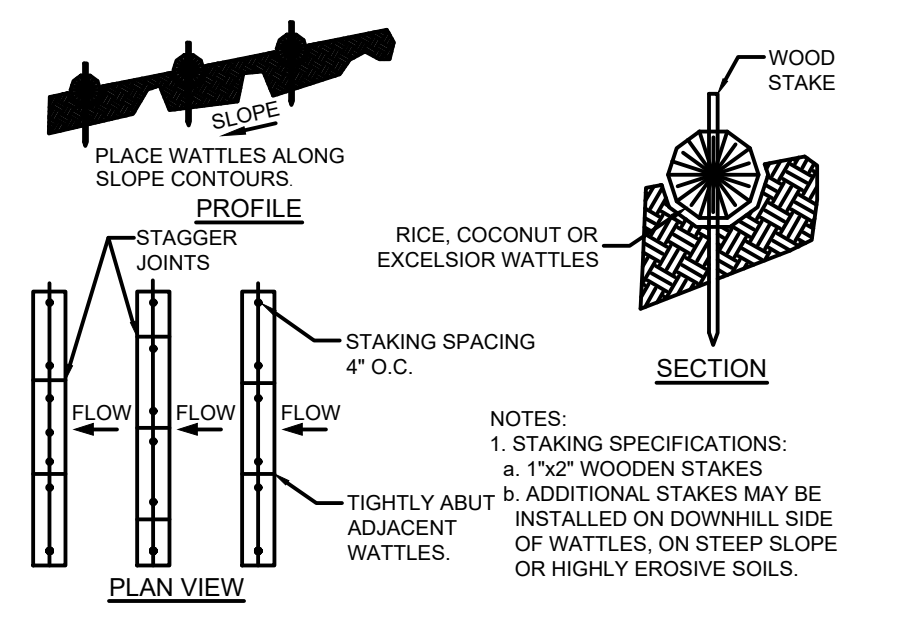
- GENERAL NOTES**
- LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
 - CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
 - CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
 - CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
 - ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
 - EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
 - CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
 - ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL. IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER, A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
 - ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL. IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER, A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
 - AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER DETAIL.
 - CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
 - CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM.
 - CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE MISSOURI DIVISION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE MISSOURI UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE MISSOURI ONE-CALL SYSTEM AT 800-344-7455 (811) AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
 - CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS. VERIFY.
 - TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
 - EXCESS EXPORTS SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.



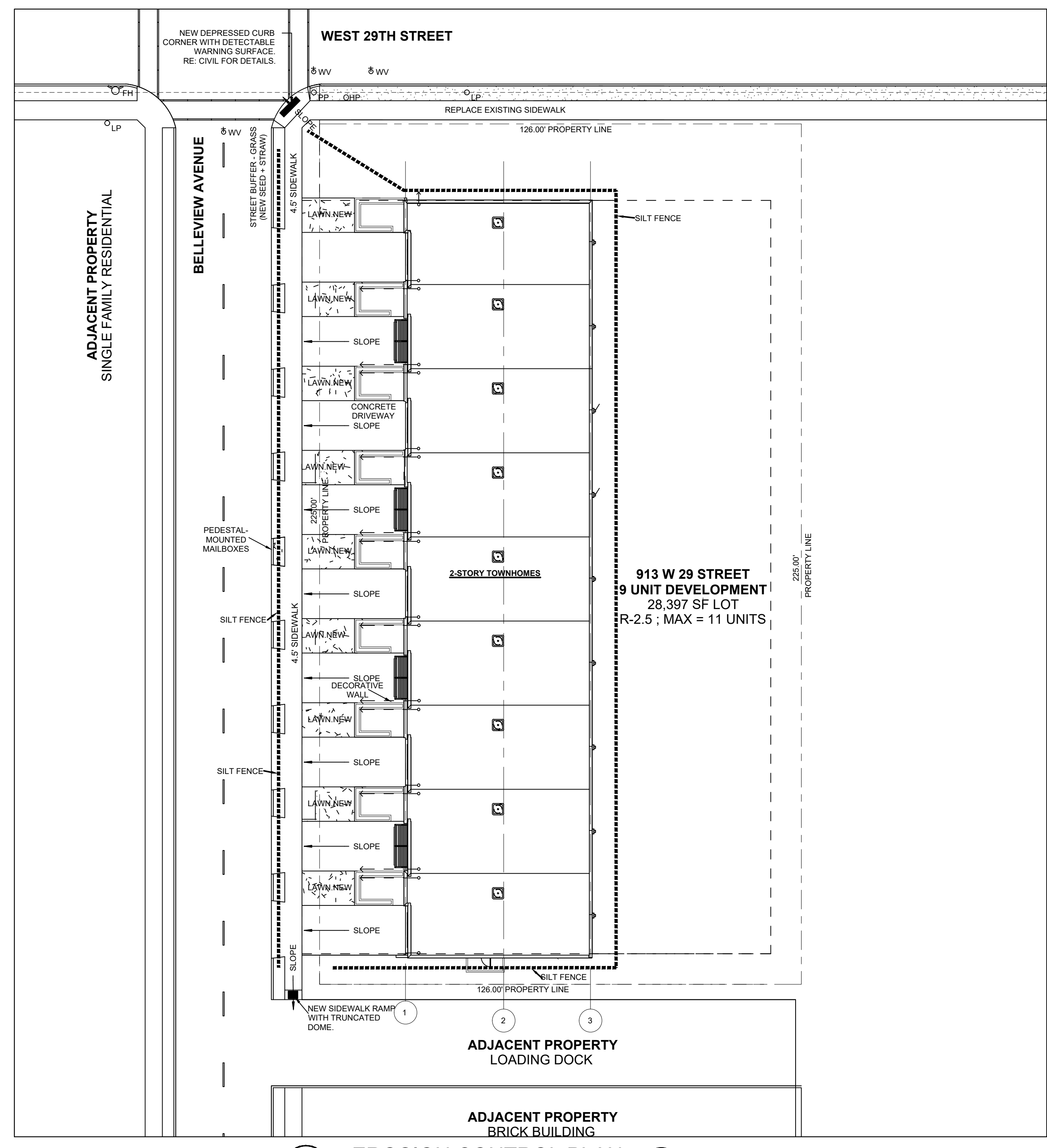
1 WIRE BACKED SILT FENCE
N.T.S.



2 CONSTRUCTION ACCESS
N.T.S.



3 STRAW WATTLE DETAILS
N.T.S. (MFRS. DETAIL)

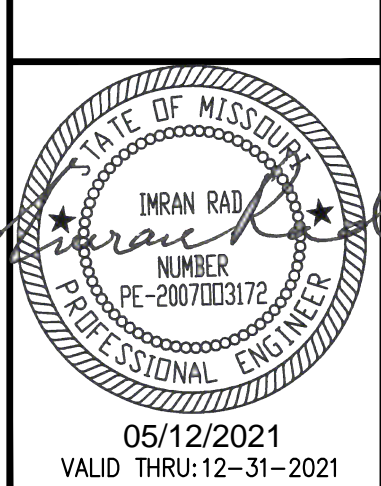


4 EROSION CONTROL PLAN
1" = 20'

| DRAWING ISSUE | |
|---------------|-----------------|
| NO | DESCRIPTION |
| 1 | FOR REVIEW |
| 2 | BID SET #1 |
| 3 | FOR CITY REVIEW |
| 4 | |
| 5 | |

29 BELLE UR DEVELOPMENT PLAN
913 WEST 29TH STREET
KANSAS CITY, MISSOURI 64108

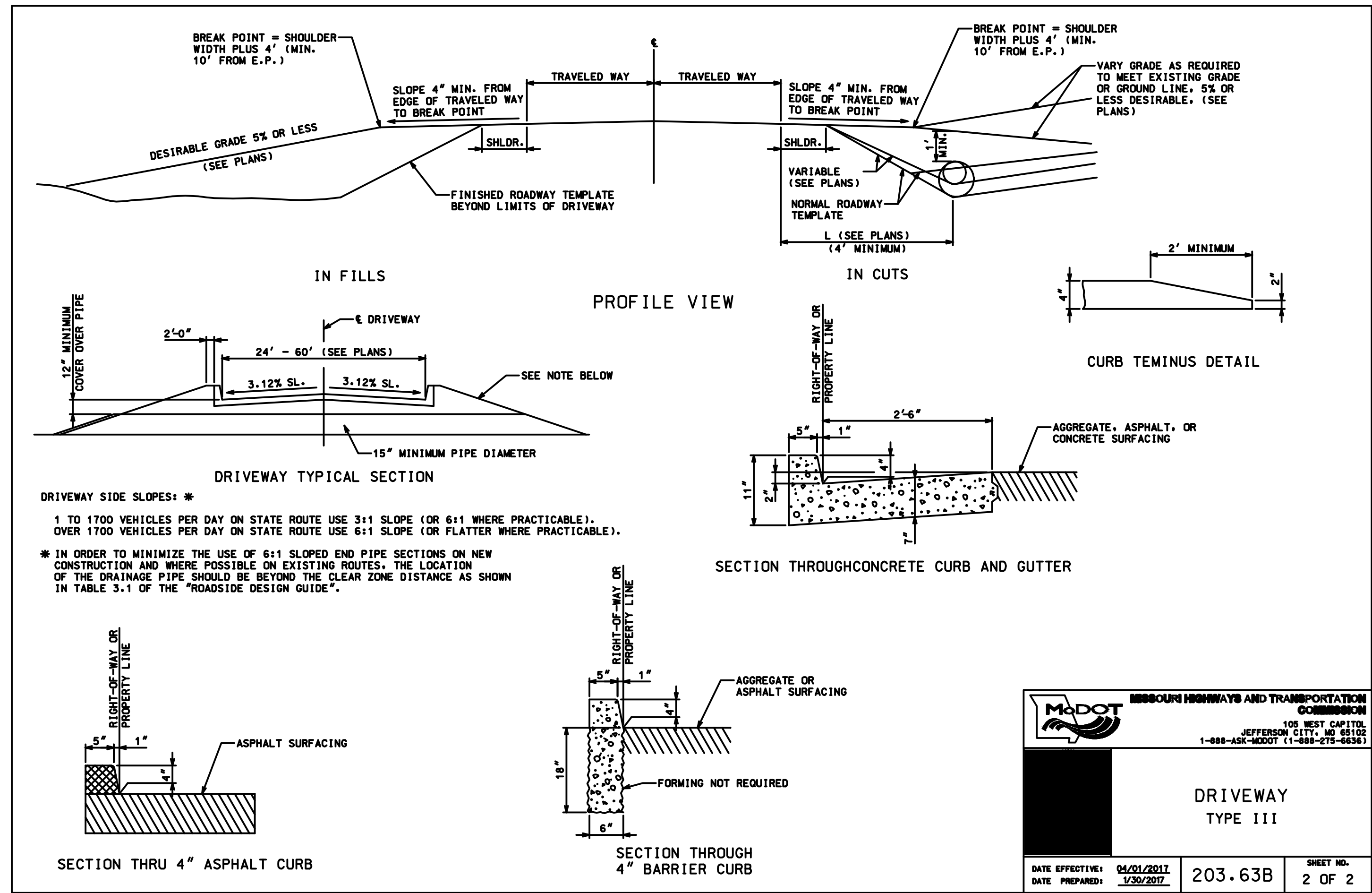
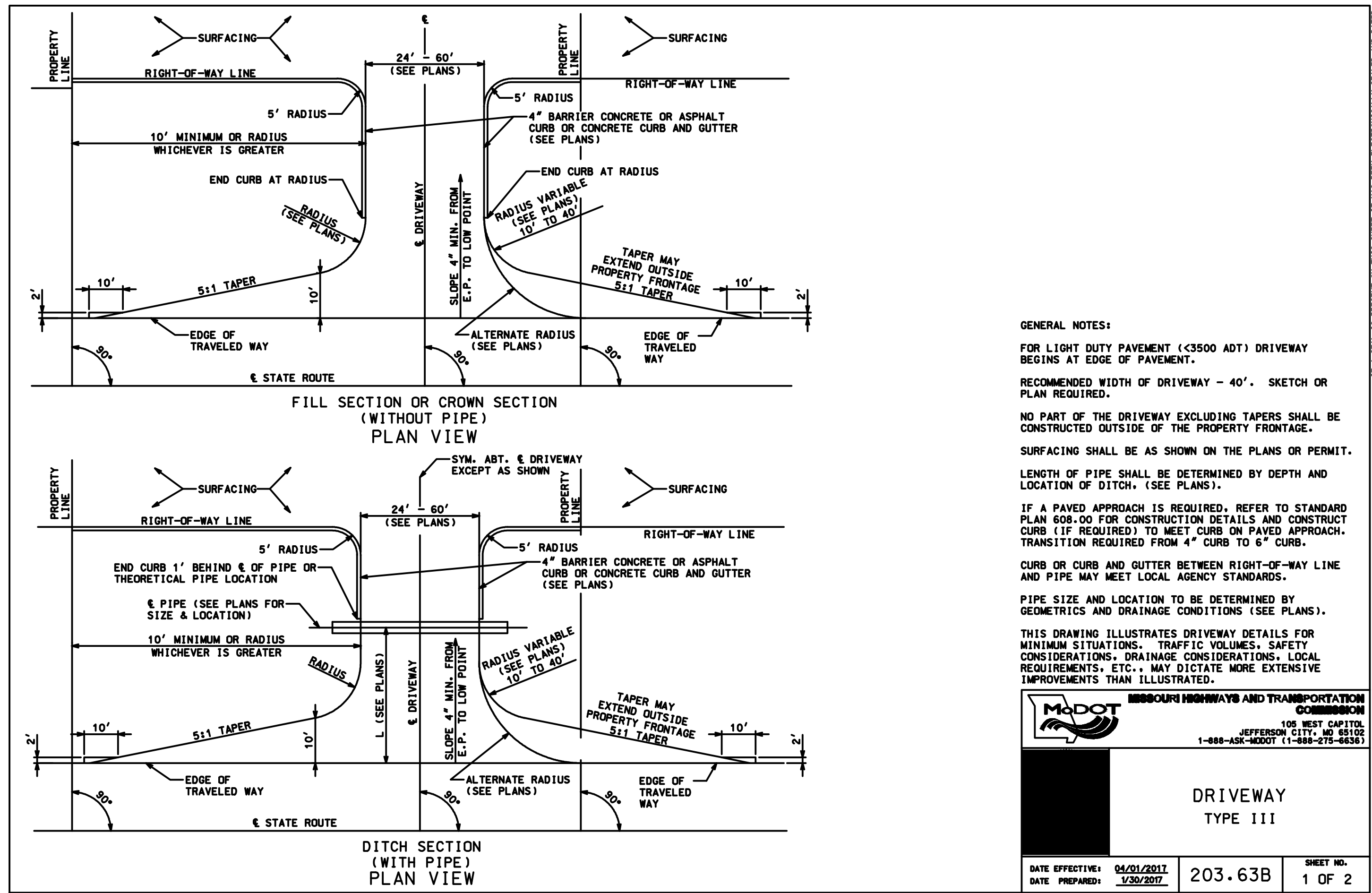
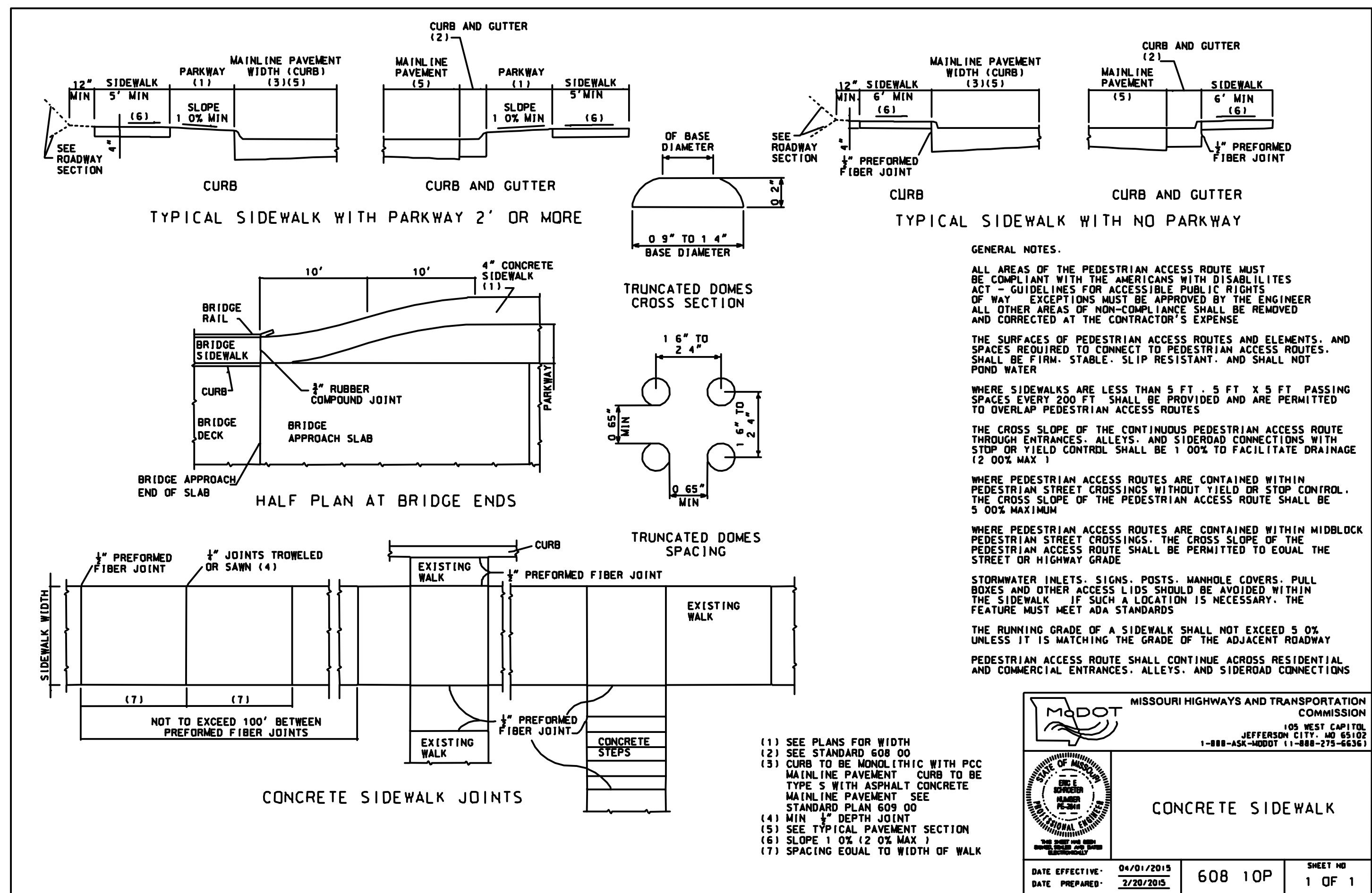
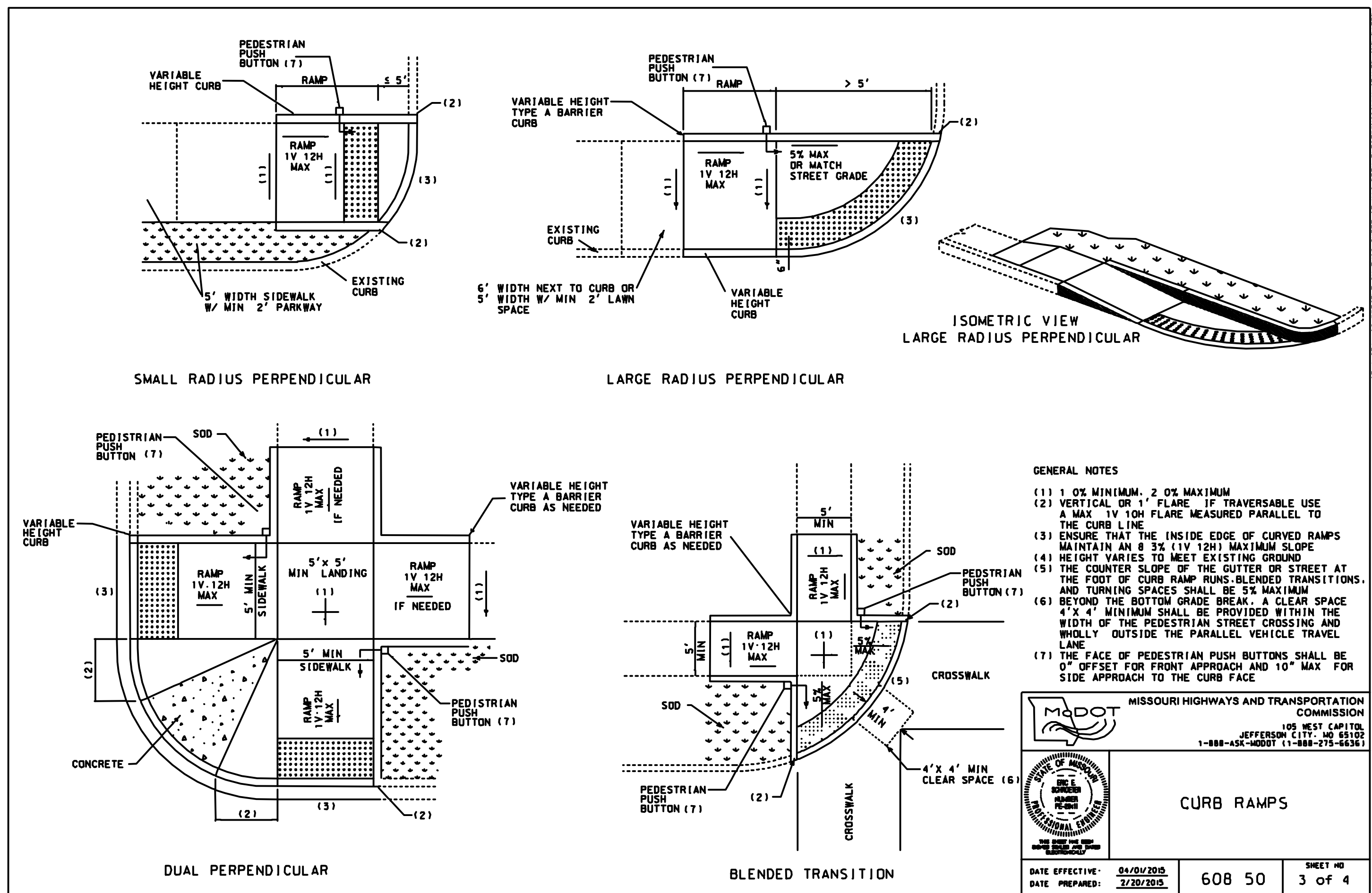
IMRAN RAD, P.E.
3608 BELLA VISTA DRIVE
MIDWEST CITY, OKLAHOMA 73110
TEL. 816.616.5516, 405.255.2994
imranrad@gmail.com



EROSION CONTROL PLAN

PROJECT NUMBER
2023

SHEET NUMBER
C4



| DRAWING ISSUE | |
|---------------|-----------------|
| NO | DESCRIPTION |
| 1 | FOR REVIEW |
| 2 | BID SET #1 |
| 3 | FOR CITY REVIEW |
| 4 | |
| 5 | |
| DATE | |
| 10/07/20 | |
| 02/04/21 | |
| 05/12/21 | |

29 BELLE UR DEVELOPMENT PLAN

913 WEST 29TH STREET
 KANSAS CITY, MISSOURI 64108

IMRAN RAD, P.E.
 3608 BELLA VISTA DRIVE
 MIDWEST CITY, OKLAHOMA 73110
 TEL. 816.616.5518, 405.255.2994
 imranrad@gmail.com

VALID THRU:12-31-2021

APWA STANDARD DETAILS

PROJECT NUMBER
 2023

SHEET NUMBER
 C5



MECHANICAL PLAN NOTES:

A. NOT USED.

PLUMBING PLAN NOTES:

1. 3/4" DOMESTIC WATER SERVICE LINE. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
2. 4" SANITARY DRAIN LINE. REFER TO CIVIL DRAWINGS FOR CONTINUATION.

ELECTRICAL PLAN NOTES:

1. PROPOSED ELECTRICAL UTILITY TRANSFORMER. PROVIDE TRANSFORMER PAD PER LOCAL UTILITY REQUIREMENTS. REFER TO ELECTRICAL RISER DIAGRAM FOR EACH RESPECTIVE BUILDING FOR MORE INFORMATION. IMMEDIATELY AFTER BEING AWARDED CONTRACT, NOTIFY ELECTRIC UTILITY OF WORK ON SITE TO BE PERFORMED BY ELECTRIC UTILITY. ROUTING OF ELECTRIC UTILITY WORK IS DIAGRAMMATIC AND FOR COORDINATION PURPOSES ONLY.
2. PROVIDE METER FOR ELECTRICAL SERVICE ON THE EXTERIOR OF THE TOWNHOUSE AT THIS LOCATION. REFER TO ELECTRICAL RISER DIAGRAM.
3. TOWNHOUSE CABLE TELEVISION CONNECTION BOX.
4. TOWNHOUSE TELEPHONE CONNECTION BOX.

GENERAL NOTES:

- A. THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF THE WORK. PROVIDE MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS COMPLETE AND PER APPLICABLE CODES INCLUDING ALL NECESSARY OFFSETS, FITTINGS AND SPECIAL RADII OR MITERED ELBOWS WHICH ARE REQUIRED DUE TO SPACE CONSTRAINTS OR OTHER CONDITIONS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL PULL BOXES, JUNCTION BOXES AND INCIDENTAL MATERIALS AND LABOR FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM.
- B. COORDINATE THE INSTALLATION OF THE DUCTWORK AND EQUIPMENT WITH THE WORK OF ALL OTHER TRADES. VERIFY ALL CLEARANCES PRIOR TO THE FABRICATION OF ANY SYSTEM COMPONENTS.
- C. DUCTWORK AND PIPING SHALL NOT BE LOCATED OVER ELECTRICAL EQUIPMENT OR PANELS. PROVIDE THE CODE REQUIRED WORKING CLEARANCE AROUND ALL ELECTRICAL EQUIPMENT AND PANELS.
- D. PROVIDE ALL MISCELLANEOUS SUPPORTING STEEL, ETC. FOR THE PROPER INSTALLATION OF ALL MECHANICAL SYSTEMS.
- E. COORDINATE FLOOR, WALL, ROOF PENETRATIONS, LOUVER SIZES, PAD LOCATIONS, ETC. WITH THE ARCHITECTURAL TRADES.
- F. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS AND WALL ELEVATIONS FOR EXACT LOCATION OF GRILLES, REGISTERS, AND DIFFUSERS.
- G. BRANCH DUCTWORK TO DIFFUSERS, REGISTERS OR GRILLES SHALL BE NECK SIZE UNLESS NOTED OTHERWISE.
- H. ALL RUNOUTS TO SUPPLY DIFFUSERS SHALL BE PROVIDED WITH BALANCING DAMPERS. PROVIDE CONCEALED DAMPER OPERATORS WHERE LOCATED ABOVE HARD CEILINGS.
- I. ALL DUCTWORK DIMENSIONS INDICATE THE INSIDE CLEAR DIMENSION.
- J. PROVIDE ACCESS DOORS IN HARD CEILING AREAS FOR ACCESS TO TERMINAL UNITS, BALANCING DAMPERS, TERMINAL UNIT HEATING COIL PIPING, ETC. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES. COORDINATE WITH THE ARCHITECTURAL TRADES.
- K. REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATIONS OF PLUMBING FIXTURES.
- L. COORDINATE THE INSTALLATION OF PLUMBING AND PIPING WITH THE WORK OF ALL OTHER TRADES.
- M. THE CONTRACTOR SHALL NOT LOCATE PIPING BELOW DUCT MOUNTED AIR TERMINAL UNITS, TERMINAL HEATING COILS, OR OTHER EQUIPMENT.
- N. PROVIDE SUPPLEMENTARY STEEL AS REQUIRED FOR THE PROPER SUPPORT OF ALL PLUMBING SYSTEMS.
- O. PLUMBING VENT PIPING THROUGH THE ROOF SHALL BE LOCATED A MINIMUM OF 10'-0" AWAY FROM ANY FRESH AIR INTAKE LOCATION AND A MINIMUM OF 18" CLEAR FROM THE INSIDE FACE OF THE PARAPET.
- P. PROVIDE THE CODE REQUIRED CLEARANCE FOR ALL CLEANOUTS INSTALLED IN SANITARY WASTE AND VENT PIPING.
- Q. MINIMUM UNDERGROUND PIPE SIZE SHALL BE 2".
- R. COORDINATE THE EXACT LIGHT FIXTURE LOCATIONS WITH THE ARCHITECTURAL DRAWINGS.
- S. PROVIDE SEPARATE NEUTRALS FOR DIMMING CIRCUITS.
- T. ALL ELECTRICAL BRANCH CIRCUITS SERVING OUTLETS AND LIGHTING IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
- U. PROVIDE FIRESTOPPING ON CONDUITS PASSING THROUGH FIRE RATED WALLS AND FLOORS. COORDINATE LOCATION AND RATINGS OF WALLS WITH ARCHITECTURAL DRAWINGS.
- V. MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND HAVE ONE COVER PLATE.
- W. ELECTRICAL CONTRACTOR SHALL DE-RATE CONDUCTORS AS REQUIRED BY THE N.E.C. WHEN GROUPED IN COMMON RACEWAYS.
- X. VERIFY REQUIREMENTS OF ALL MECHANICAL EQUIPMENT WITH CONTRACTOR PROVIDED SUBMITTALS. NOTIFY ENGINEER OF ANY CONFLICTS BETWEEN THE SUBMITTALS AND ELECTRICAL DRAWINGS.
- Y. CONTRACTOR SHALL OFFSET OUTLET BOXES ON OPPOSITE SIDES OF A COMMON WALL TO PREVENT SOUND TRANSMISSION BETWEEN ADJOINING ROOMS. BOXES SHALL BE A MINIMUM OF 12" APART, AND MUST BE INSTALLED IN SEPARATE STUD CAVITIES.
- Z. ALL LOW VOLTAGE WIRES NOT ROUTED IN CONDUIT SHALL BE PROVIDED AS PLENUM RATED CABLES.
- AA. PROVIDE JUNCTION BOXES AND 3/4" CONDUIT WITH PULL-STRINGS UP TO ACCESSIBLE LOCATION IN PLENUM AT ALL VOICE AND DATA OUTLET LOCATIONS.
- AB. WHERE BOXES ARE INSTALLED IN CONCRETE BLOCK WALLS, THE BOX MOUNTING HEIGHT SHALL BE AT THE BLOCK JOINT AND THE DEVICES SHALL BE PROVIDED WITH A JUMBO COVERPLATE.
- AC. ALL WIRES RUN BELOW GRADE, IN CONCRETE THAT IS IN DIRECT CONTACT WITH THE EARTH, OR MASONRY THAT IS IN DIRECT CONTACT WITH THE EARTH SHALL BE WET LOCATION LISTED.
- AD. FURNITURE LAYOUTS ARE FOR REFERENCE ONLY. COORDINATE THE FINAL LOCATION OF ELECTRICAL DEVICES AND OUTLETS WITH ARCHITECT, OWNER AND FINAL FURNITURE PLANS PRIOR TO INSTALLATION.
- AE. PROVIDE LOCKING CLIPS ON ALL CIRCUIT BREAKERS SERVING TELECOMMUNICATION EQUIPMENT AND FIRE ALARM CONTROL PANELS.
- AF. TO PROVIDE ROUGH-IN BOXES AND CONDUIT FOR THERMOSTATS AS INDICATED.
- AG. REFER TO TELECOMMUNICATION DRAWINGS FOR DATA REQUIREMENTS.
- AH. ONE WAY 120 VOLT CIRCUIT LENGTH CONDUCTOR SIZING UP TO AND INCLUDING 100 LINEAL FEET SHALL BE #12 AWG, FROM 100 LINEAL FEET TO 150 LINEAL FEET SHALL BE #10 AWG AND FROM 150 LINEAL FEET TO 200 LINEAL FEET SHALL BE #8 AWG.



EXACT ARCHITECTS
 REGISTERED TRADE NAME OF INTELLIGENT LINE, A, LLC
 KANSAS CITY, MISSOURI
 (816) 785-2265
 WWW.EXACTARCHITECTS.COM



DEVELOPMENT PLAN
29 BELLE BID SET
 913 WEST 29TH STREET
 KANSAS CITY MISSOURI 64108

1 SITE PLAN
 1/16" = 1'-0"

| ISSUE | DATE | NO. |
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H&B
 ENGINEERS
HOSS & BROWN
 15902 Midland Drive
 Shawnee, Kansas 66217
 913.362.9090 | mail@h-b.com
 H&B PROJECT NUMBER : 2010188
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 MO Certificate of Authority 01022

MPE SITE PLAN
MPE-02

CONOVER & FOSTERS ADDITION,
BLOCK 4

OWNER: LORRAINE ZAMARRIPA
PART OF LOTS 25-26
2945 BELLEVUE
KANSAS CITY, MO 64128
ZONED R-6

LINCOLN PARK, BLOCK 8

OWNER: ROBERTO HERNANDEZ
LOTS 27-28
916 W 29TH ST
KANSAS CITY, MO 64108
ZONED R-6

SANITARY MANHOLE
TOP: 843.53'
FL IN (S): 824.17'
FL OUT (N): 823.56'

OWNER: JOSE LUIS BATRES SALAZAR
PART OF LOTS 24-25
LINCOLN PARK,
BLOCK 8
908 W 29TH ST
ZONED: R-6

OWNER: JOSE LUIS BATRES SALAZAR
PART OF LOTS 24-25
LINCOLN PARK,
BLOCK 8
906 W 29TH ST
ZONED: R-6

OWNER: LOLA ANITA GARCIA (OLMOS)
PART OF LOTS 24-25
LINCOLN PARK,
BLOCK 8
904 W 29TH ST
ZONED: R-6

PRELIMINARY PLAT
29 BELLE

A REPLAT OF LOTS 1-9, VAN DYKE PLACE
A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI

PROPERTY DESCRIPTION:

WARRANTY DEED DESCRIPTION:

ALL OF LOTS 1-9, VAN DYKE PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

PROPOSED DESCRIPTION:

CONTAINING 28,350 SQUARE FEET OR 0.65 ACRES
ALL OF LOTS 1-9, VAN DYKE PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 1, THENCE S02°30'38"W ALONG THE EAST LINE OF SAID LOTS 1-9, A DISTANCE OF 225.00 FEET TO THE
SOUTHWEST CORNER OF SAID LOT 9; THENCE N87°29'22"W, ALONG THE SOUTH LINE OF SAID LOT 9, A DISTANCE OF 126.00 FEET TO THE SOUTHWEST CORNER
OF SAID LOT 9; THENCE N02°30'38"E ALONG THE WEST LINE OF SAID LOTS 1-9, A DISTANCE OF 225.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 1;
THENCE S87°29'22"E, ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 126.00' TO THE POINT OF BEGINNING

TOPOGRAPHIC SURVEY NOTES

- 1. CONTOUR INTERVAL IS 1.0 FEET.
- 2. ELEVATIONS ARE BASED UPON NAVD 83 AT METRO CONTROL MONUMENT PENN/KE1461.
- 3. UTILITIES SHOWN HEREON ARE FROM VISIBLE EVIDENCE ON THE GROUND OR FROM THE RESPECTIVE UTILITY COMPANY. WE DO NOT GUARANTEE THE EXACT LOCATION OF THE UNDERGROUND UTILITIES SHOWN NOR THE POSSIBLE EXISTENCE OF OTHER UNDERGROUND UTILITIES NOT SHOWN. ANYONE WHO USES THE INFORMATION SHOWN HEREON SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITY LOCATIONS WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO COMMENCING ANY DESIGN OR CONSTRUCTION ACTIVITY.

BOUNDARY SURVEY NOTES:

- 1. THE FOLLOWING STANDARD MONUMENTATION HAS BEEN SET AT THE NOTED LOCATION UNLESS INDICATED OTHERWISE ON THIS DRAWING:
SEMI-PERMANENT MONUMENTATION:
CHISELED CROSS AT ALL CORNERS MARKED " * " .
1/2" IRON BAR WITH PLASTIC CAP STAMPED "LS-2007000089" SET AT ALL CORNERS MARKED " * " .
PERMANENT MONUMENTATION:
5/8" IRON BAR WITH ALUMINUM CAP STAMPED "LS-2007000089" SET AT ALL CORNERS MARKED " * " .
- 2. THE POSITION OF EXISTING MONUMENTATION AS INDICATED BY AN " * " " o " OR " Δ " , IF NOT THE TRUE CORNER, IS BY DIFFERENCES IN COORDINATES OR AT RIGHT ANGLES TO THE PROPERTY LINE AT THE NOTED DISTANCE FROM THE NEAREST BOUNDARY CORNER.
- 3. THE DESCRIPTION USED FOR THIS SURVEY WAS TAKEN FROM A WARRANTY DEED RECORDED AS INSTRUMENT NUMBER 20150089901 AT THE JACKSON COUNTY RECORDER'S OFFICE.
- 4. THE BEARINGS SHOWN HEREON ARE BASED UPON THE MISSOURI COORDINATE SYSTEM 1983, WESTERN ZONE, RECORDED AT A USGS TRIANGULATION DISK KE1461, MARKED PENN. 1934 (2000 ADJUSTMENT).
- 5. THIS SURVEY DOES NOT REFLECT ANY OF THE FOLLOWING WHICH WERE EITHER NOT REQUESTED OR FURNISHED BY THE CLIENT OR ARE NOT WITHIN THE SCOPE OF THE SERVICES PROVIDED BY A PROFESSIONAL SURVEYOR. THEREFORE, THIS SURVEYOR DOES NOT ACCEPT ANY LIABILITY SHOULD ANY OF THEM BE APPLICABLE TO THE SUBJECT REAL ESTATE: SUBSURFACE CONDITIONS; BUILDING SET BACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; AND ZONING OR OTHER LAND USE REGULATIONS.
- 6. CERTAIN INFORMATION SHOWN HEREON WAS OBTAINED FROM A TITLE REPORT BY FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER NCS-1044895-A-KCTY, EFFECTIVE DATE OF DECEMBER 18, 2020, AT 8:00 AM.
A. TITLE REPORT ITEMS NUMBERS 1-10 CONTAIN NO INFORMATION THAT CAN BE PLOTTED HEREON.
- 8. THE LOCATION OF EXISTING STRUCTURES SHOWN HEREON IS AT RIGHT ANGLES (90°) TO STRAIGHT PROPERTY LINES OR RADIAL TO CURVED PROPERTY LINES.

BUILDING & SITE INFORMATION:

- 1. ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY-PANEL NUMBER 29095C0253C, EFFECTIVE DATE: JANUARY 20, 2017, THE SUBJECT PROPERTY IS IN ZONE X, AN AREA OF MINIMAL FLOOD HAZARD.
- 2. ALL PROPOSED LOTS ARE TO BE ON SEPARATE SANITARY AND WATER SERVICES.
- 3. PROPERTY TO BE SPLIT INTO INDIVIDUAL LOTS AFTER CONSTRUCTION OF UNITS.
- 4. PLAT AREA 0.65 ACRES
- 5. EXISTING ZONING R-2.5 AND R-6

PHASING PLAN:

DEVELOPMENT WILL BE DONE IN ONE PHASE

DEVELOPMENT START DATE: _____

DEVELOPMENT END DATE: _____

LOT DESIGNATION:

SINGLE FAMILY LOTS: 1

NUMBER OF UNITS: 9

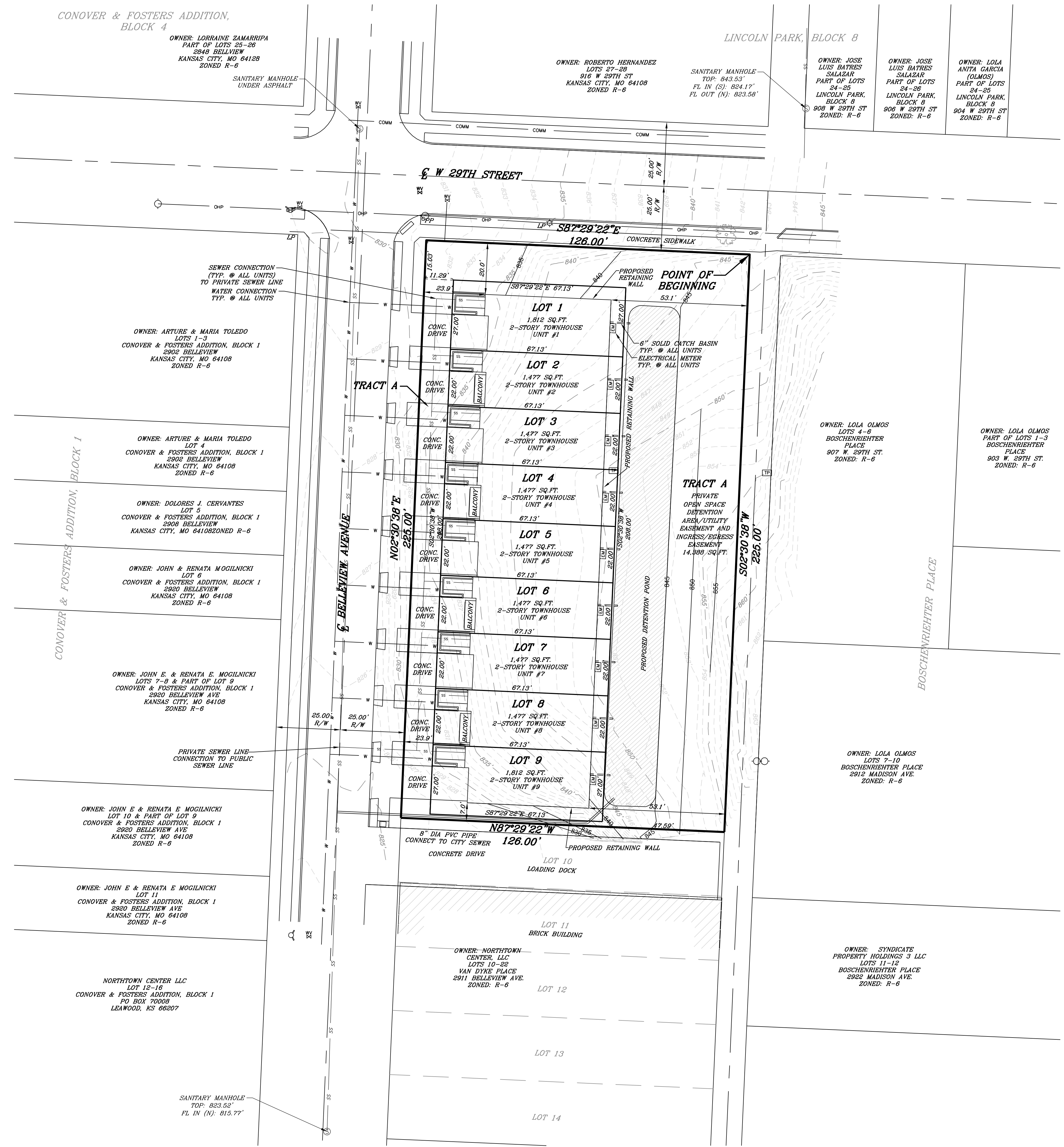
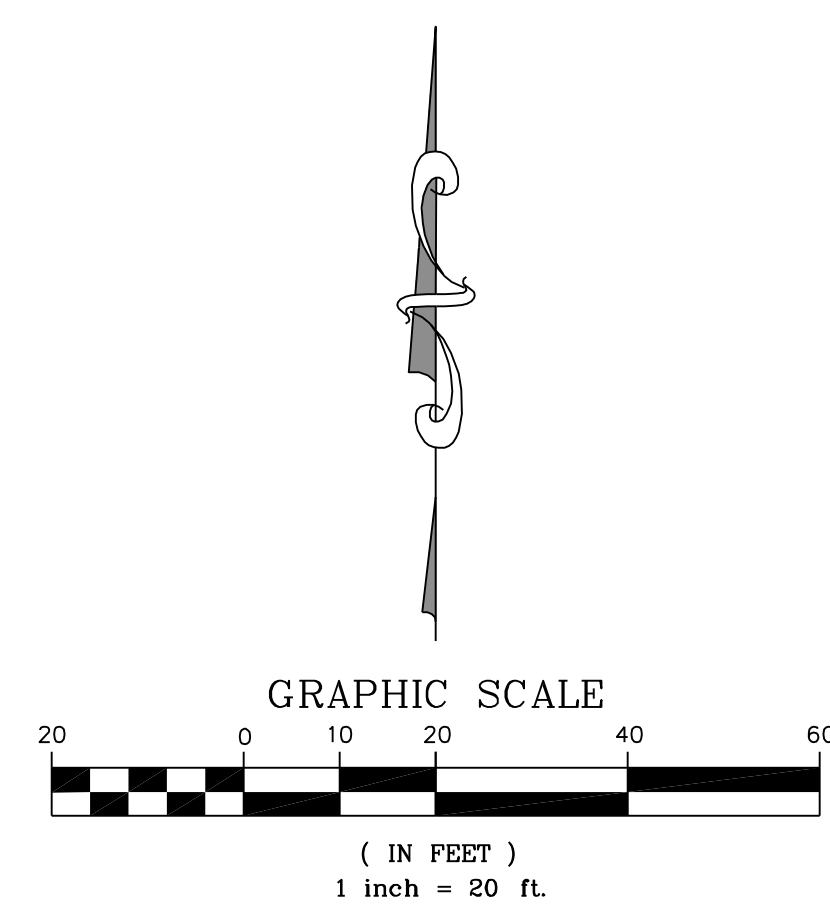
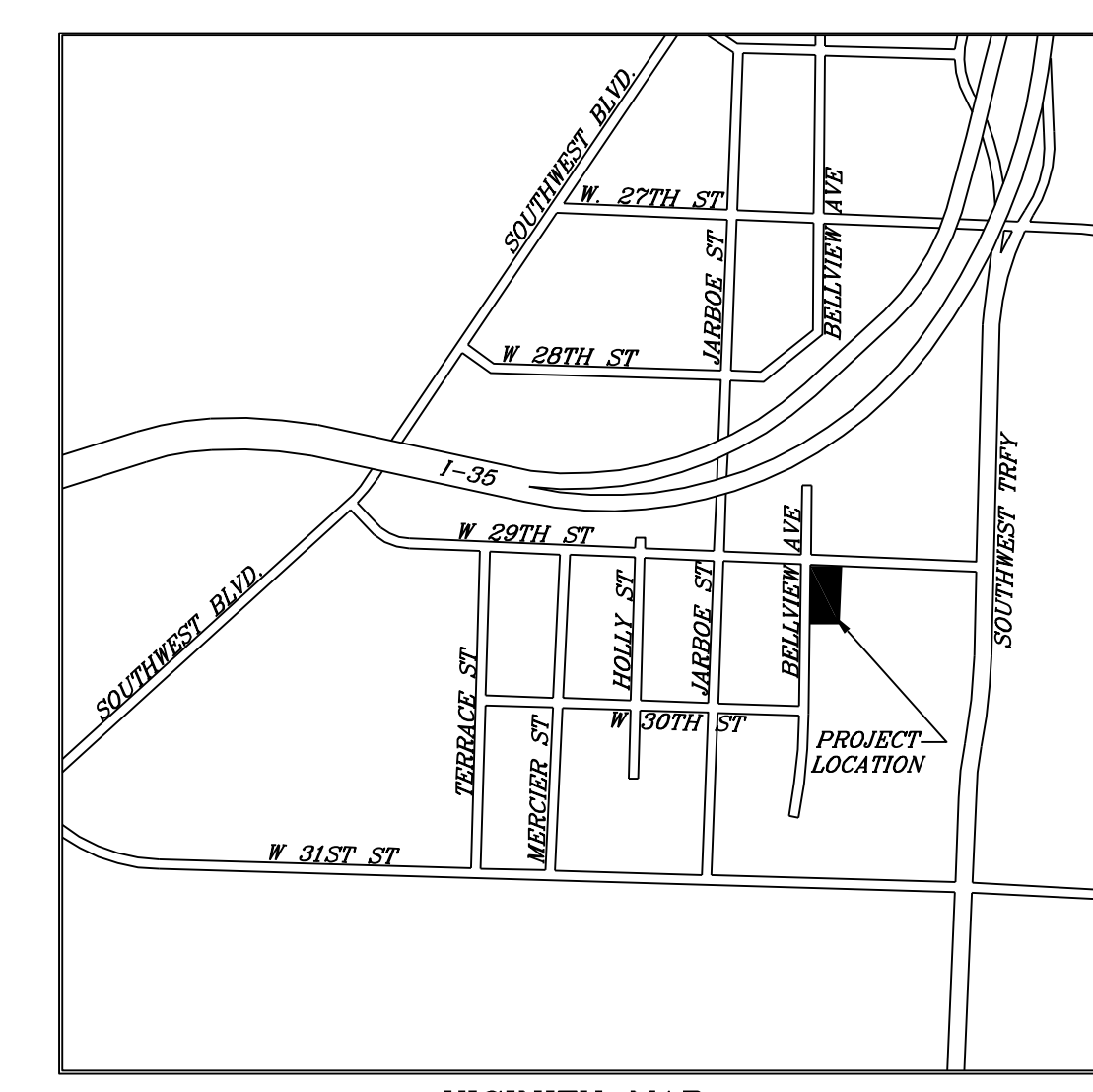
GROSS AREA: 28,350 SQUARE FEET / 0.65 ACRES

PAYMENT IN LIEU OF PARKLAND:

THE DEVELOPER ELECTS TO PAY THE CITY OF KANSAS CITY, MISSOURI, A SUM OF \$ _____ IN LIEU OF REQUIRED PARKLAND DEDICATING FOR (9 LOTS) PURSUANT TO SECTION 88-408-C OF THE ZONING AND DEVELOPMENT CODE.



SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THIS PRELIMINARY PLAT AND THE INFORMATION SHOWN
HEREON WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
ROBERT G. YOUNG, PLS-280700089
REV. 06/27/2021



FOR EXACT ARCHITECTS REPLAT

R.L. Buford & Associates, LLC
LAND SURVEYING - DEVELOPMENT CONSULTANTS
R.L. BUFORD & ASSOCIATES, LLC
MO CERT. OF AUTHORITY LICENSE NO. LS-2010031977
P.O. BOX 14069, PARKVILLE, MO. 64112 (816) 741-6152

SEC.-TWP.-RGE. COUNTY JOB NO.
33-49-18 JACKSON J-20254
DATE FIELD BOOK & PAGE
3/16/2021 LOOSE LEAF

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