

1. THIS PROJECT REPRESENTS THE REHABILITATION AND ADAPTIVE REUSE OF AN EXISTING HISTORIC OFFICE BUILDING. COMPLIANCE WITH THE NATIONAL PARK SERVICE SECRETARY OF THE INTERIOR'S STANDARDS FOR TREATMENT OF HISTORIC PROPERTIES SHALL BE ACCOMPLISHED TO INSURE THE PROJECT FULFILLS ALL REQUIREMENTS SET FORTH TO RECEIVE HISTORIC TAX CREDITS.

2. THE MECHANICAL AND MEP WORK IS A COMPLETE INSTALL WHICH IS CODE AND INSPECTOR COMPLIANT, CONCEALED FROM ROOF TO UNDER SLAB, NEAT AND ORDERLY ROUTING, AND COORDINATED W/ BUILDING SERVICE ENTRANCES. PROPOSED MEP DESIGNS OF ALL SYSTEMS SHALL COMPLY WITH THE EXISTING BUILDING CONDITIONS AND THE FINISHED ARCHITECTURAL DESIGN SHOWN IN THIS SET OF DRAWINGS. PROPOSED MEP DESIGNS SHALL BE COORDINATED WITH ALL SUB-CONTRACTOR TRADES.

3. FOLLOW AND COMPLY WITH ALL MFG. DIRECTIONS AND SPECIFICATIONS ON METHODS AND MATERIALS RELATING TO THE WORK.

4. FIRE NOTICE DEVICES SHALL BE PROVIDED AND INSTALLED PER CODE REQUIREMENTS.

5. ALL PRODUCTS AND MATERIALS ARE INTENDED AS GENERIC AND TO BE FINALIZED BY ARCHITECT'S SELECTION, U.N.O.

6. CONTRACTOR SHALL CONSTRUCT IN CONFORMANCE WITH ALL LOCAL CODES, ORDINANCES AND PROCEDURES.

7. DO NOT SCALE FROM DRAWINGS.

8. ALL DIMENSIONS ARE APPROXIMATE, ACTUAL FIELD-VERIFIED DIMENSIONS SHALL BE OBTAINED BY THE GENERAL CONTRACTOR AND SUB-CONTRACTORS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. FIELD CONDITIONS WHICH DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AT THE TIME OF THEIR FINDING AND PRIOR TO COMMENCEMENT OF SAID WORK.

9. EXISTING CONDITIONS ARE NOTED, BUT NOT ALL CONDITIONS ARE VISIBLE. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION AND COMMENCEMENT OF WORK. CONDITIONS WHICH DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF SAID WORK.

10. THE GENERAL CONTRACTOR SHALL APPROVE THE ARCHITECT FOR FINAL APPROVAL OF RESTORATION MATERIALS BEFORE COMMENCING WITH CONSTRUCTION. SUBMIT PRODUCT INFORMATION, SHOP DRAWINGS (IF NEEDED) AND SAMPLES FOR ALL RESTORATION WORK.

11. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH ALL BUILDING TRADES TO INSURE THAT THE DESIGNATED WORK IS PER PLAN AND COMPLETED ON SCHEDULE.

12. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REPAIR OR REPLACE ANY EXISTING CONSTRUCTION (WINDOWS, WALLS, DOORS, CEILINGS, FLOORS, ETC.) TO REMAIN OR ARE DAMAGED DURING CONSTRUCTION. NEW MATERIAL SHALL BE MATCHED IN COLOR, PATCH AND REPAIR EXISTING CONSTRUCTION (WALLS, DOORS, CEILINGS, FLOORS, ETC.) AS REQUIRED FROM DEMOLITION OR CONSTRUCTION TO ALLOW FOR NEW OR COMPLETION OF EXISTING FINISHES. REPAIRS OR REPLACEMENTS MUST MATCH THE EXISTING MATERIAL IN TEXTURE, PROFILE, DIMENSION, FINISH AND WHERE APPROPRIATE, SPECIES.

13. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL COORDINATE, AND SHALL INCLUDE IN THEIR BID, ALL REQUIRED CORE DRILLING THROUGH THE EXISTING INTERIOR AND EXTERIOR MASONRY WALLS AS REQUIRED FOR NEW WORK.

14. NOTIFY ALL WORK TO THE ARCHITECT PRIOR TO START OF DEMOLITION. NOTIFY ARCHITECT OF WORK NOT LISTED, OR ADDITIONS TO THE NECESSARY SCOPE OF WORK.

15. CONTRACTORS BASE SERVICES SHALL ADDITIONALLY PROVIDE FOR AND COMPLY WITH THE SPECIFICATIONS AND DRAWINGS DESIGN INTENT.

16. PROVIDE MODEL / MOCK-UP UNIT WITHIN 90 DAYS OF START OF CONSTRUCTION.

THE SCOPE OF WORK DOES NOT INCLUDE ANY ALTERATIONS TO THE BUILDING ENVELOPE ROOF.

VERTICAL PENETRATION, REPLACEMENT PENETRATION, OR SKYLIGHTS, TO MAINTAIN COMPLIANCE WITH SECRETARY OF INTERIOR'S STANDARDS FOR RESTORATION OF HISTORIC BUILDINGS PER 2021 IECC SECTION C503.1, THE UNALTERED PORTIONS OF THE EXISTING BUILDING

OR BUILDING SYSTEMS ARE NOT REQUIRED TO COMPLY WITH THIS CODE.

REFER TO MEP DRAWINGS FOR IECC COMPLIANCE AND ALTERATIONS TO THE MEP SCOPE OF WORK (HEATING AND COOLING SYSTEMS, ECONOMIZERS, SERVICE HOT WATER SYSTEMS, AND LIGHTING SYSTEMS)

2021 IECC C501.5 HISTORIC BUILDING EXEMPT

2021 IECC C505 CHANGE OF OCCUPANCY

2021 IEBC 907.1 EXISTING BUILDING
1. REFER TO EOA 01 & EOA 02 FOR

5. Special Inspections in accordance with § 1704 of the CBC

Yes No NA

1. All applicable types of work which require special inspection per KCBC § 18-22, CBC § 1704-1705, and Chapter 2 of the CDO Special Inspections Manual:

1.1 EIR's (if not drawn by the <u>CDO Special Inspections Manual</u>):	1.1.1 Placement of Reinforcing Steel	1.1.2 Modular Block Earth Retaining Structure
1.2 Temporary Shoring	1.2.1 Placement of Reinforced Concrete	1.2.2 Inspection of Metal Building Fabricator
1.3 Earth Retention Filling	1.3.1 Placement of Precast Concrete	1.3.2 Inspection of Metal Deck Fabricator
1.4 Verification of Slopes	1.4.1 Erection of Precast Concrete	1.4.2 Inspection of Structural Steel Fabricator
1.5 Drilled Piers or Piles	1.5.1 Prestressing Concrete	1.5.3 Mast and Intumescent Fire-Resistive Coatings
1.6 Earth Retention Walls	1.6.1 Placement of Precast Concrete	1.6.4 Mast and Intumescent Fire-Resistive Coatings
1.7 Seismic Resistance	1.7.1 Steel Frame Inspection	1.7.2 Smoke Control System (per §999)
1.8 Post-installed Anchors	1.8.1 High Strength Bolting	1.7.3 Fire Stopping (§17015.17)
1.9 Structural Masonry	1.9.1 Structural Welding	1.9.2 Other _____

2. Submit a letter from the Special Inspection Agency (if any) to the City of San Francisco accepting responsibility for all applicable items. This is to be submitted to SpecialInspections@cmo.org.

3. Let approved fabricators (if any) for specific types of work.

4. For smoke control systems, submit system documentation including the design requirements (BC 909.2), and analysis (BC 909.2.1), and construction procedures and methods (BC 909.2.1.1).

5. Where Quality Assurance for Seismic Resistance is required, submit the quality assurance plan and the contractor statement of responsibility (CBC 1703).

6. For all Special Inspections, submit the CDO Special Inspections Manual for complete information. A Preconstruction Meeting is required prior to the start of construction for all Special Inspections projects.

SAFETY GLAZING SHALL BE PRESENT IN THE FOLLOWING CONDITIONS AND IN ACCORDANCE TO IBC SECTION 2406.

1. GLAZING IN SWINGING DOORS EXCEPT JALOUSIES
2. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD CLOSET DOOR ASSEMBLIES.
3. GLAZING IN STORM DOORS.
4. GLAZING IN UNFRAMED SWINGING DOORS.
5. GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS AND SHOWERS
6. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A FINISHED SURFACE.
7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
8. GLAZING EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET AND EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR AND EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR AND ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.
9. GLAZING GUARDRAILS OR RAILINGS, INCLUDING FRUITFUL BALUSTERS AND NONSTRUCTURAL IN-FILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
10. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.
11. GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.
12. GLAZING IN FIRE RESISTANT ACCESS PANELS, FIRE DEPARTMENT GLASS ACCESS PANELS SHALL BE OF TEMPERED GLASS, FOR INSULATING GLASS UNITS, ALL PANE SHALL BE TEMPERED GLASS.

PROJECT ADDS RESIDENTIAL UNITS TO AN EXISTING VACANT BUILDING. OWNER ELECTS TO PAY FEE FOR NEW UNITS IN LIEU OF DEDICATED PARKLAND. FOR 2026 THE PRICE IS \$20,065.67 PER ACRE.

RESIDENT AMENITIES		
TYPE	COUNT	AREA
RESIDENT CLUB ROOM	1	1071 SF
RESIDENT GAME ROOM	1	950 SF
RESIDENT ROOFTOP	1	728 SF
RESIDENT SECURE MAILROOM	1	280 SF
TOTAL	4	3028 SF

The diagram illustrates various architectural symbols and their corresponding view names and scales. It includes symbols for Building Section Reference, Wall Section Reference, Detail Section Reference, Interior Elevation Reference, and Exterior Elevation Reference. Each symbol is accompanied by a view number (23) and a view name (VIEW NAME). The scale is given as 1/8" = 1'-0".

BUILDING SECTION REFERENCE

WALL SECTION REFERENCE

DETAIL SECTION REFERENCE

INTERIOR ELEVATION REFERENCE

EXTERIOR ELEVATION REFERENCE

VIEW NUMBER

VIEW NAME

VIEW SCALE

1/8" = 1'-0"

A01	GENERAL
A0.00	COVER SHEET
A0.01	CODE ANALYSIS AND LIFE SAFETY PLANS
A0.02	ACCESSIBILITY REQUIREMENTS
A0.03	INTERIOR PARTITION AND HORIZONTAL ASSEMBLY TYPES
A0.04	FIRE RATED ASSEMBLIES
A0.06	FIRE RATED ASSEMBLIES
A0.07	FIRE RATED ASSEMBLIES
A0.08	GENERAL REQUIREMENTS
A0.09	GENERAL REQUIREMENTS
A0.10	GENERAL REQUIREMENTS
A0.11	GENERAL REQUIREMENTS
A0.12	SITE SURVEY
A0.13	ARCHITECTURAL SITE PLAN

03 ARCH EXISTING & DEMOLITION

- | | |
|-------|----------------------------------|
| AD.00 | EXISTING & DEMOLITION FLOOR PLAN |
| AD.01 | EXISTING & DEMOLITION FLOOR PLAN |
| AD.02 | EXISTING & DEMOLITION FLOOR PLAN |
| AD.03 | EXISTING & DEMOLITION FLOOR PLAN |
| AD.04 | EXISTING & DEMOLITION FLOOR PLAN |
| AD.05 | EXISTING & DEMOLITION FLOOR PLAN |
| AD.06 | EXISTING & DEMOLITION FLOOR PLAN |
| AD.07 | EXISTING & DEMOLITION FLOOR PLAN |

04 ARCHITECTURAL

- | | |
|-------|---|
| A1.00 | FLOOR PLANS - LOWER & FIRST FLOOR |
| A1.01 | FLOOR PLANS - MEZZANINE & SECOND FLOOR |
| A1.02 | FLOOR PLANS - THIRD THRU TENTH FLOOR |
| A1.03 | FLOOR PLANS - ELEVENTH FLOOR |
| A1.04 | FLOOR PLANS - ROOF |
| A2.00 | REFLECTED CEILING PLANS - LOWER & FIRST FLOORS |
| A2.01 | REFLECTED CEILING PLAN - MEZZANINE & SECOND FLOOR |
| A2.02 | REFLECTED CEILING PLANS - THIRD THRU TENTH FLOOR |
| A2.03 | REFLECTED CEILING PLANS - ELEVENTH FLOOR |
| A3.00 | UNIT DESIGN - ONE BED |
| A3.01 | UNIT DESIGN - TWO BED |
| A3.02 | UNIT DESIGN - ADA |

- | | |
|-------|------------------------------------|
| A4.00 | EXTERIOR ELEVATIONS
(PRIMARY) |
| A4.01 | EXTERIOR ELEVATIONS
(SECONDARY) |

- | | |
|-------|-------------------------|
| A4.05 | PARKING GARAGE SCOPE |
| A4.06 | PARKING GARAGE SCOPE |
| A6.00 | PRODUCT INFORMATION AND |

- 07 ELECTRICAL
MEP 4.01 SITE PHOTOMETRIC PLAN

A.F.F.	ABOVE FINISHED FLOOR	LAV	LAVATORY
ARCH.	ARCHITECT	MECH.	MECHANICAL
B.M.	BEAM	MRF.	MANUFACTURER
B.O.	BOTTOM OF	MIN.	MINIMUM
C.B.	CABINET	MIR.	MIRROR
CLR.	CLEAR	MTL.	METAL
CMU	CONCRETE MASONRY UNIT	O/	OVER
COL.	COLUMN	O.C.F.	ON CENTER
CONC.	CONCRETE	PERF.	PERFORATED
CONT.	CONTINUOUS	PERIM.	PERIMETER
CONTR.	CONTRACTOR	PLYWD.	PLYWOOD
DIA.	DIAMETER	PTD.	PAINTED
DWGS.	DRAWINGS	QTY.	QUANTITY
ELEC.	ELECTRICAL	RE.	REFER
ELEV.	ELEVATION	REINF.	REINFORCED
EXT.	EXTERIOR	REQD.	REQUIRED
FD	FLOOR DRAIN	R.O.	ROUGH OPENING
F.G. BATT	FIBERGLASS BATT	S.F.	SQUARE FEET
FTG.	FOOTING	SIM.	SIMILAR
FLR.	FLOOR	SQ.	SQUARE
FLRG	FLOORING	STL.	STEEL
FT.	FOOT	STRUCT.	STRUCTURAL
GA	GAUGE	T&G	TONGUE AND GROOVE
GALV.	GALVANIZED	T.O.	TOP OF
GL.	GLASS	TEMP.	TEMPERED
GWB	GYPSUM WALL BOARD	TYP.	TYPICAL
HORIZ.	HORIZONTAL	T.P.O.	THERMOPLASTIC POLYOLEFIN
HT.	HEIGHT		MEMBRANE
HAVAC	HEATING, VENTILATION, & AIR	U.N.O.	UNLESS OTHERWISE NOTED
	CONDITIONING	VERT.	VERTICAL
INSUL.	INSULATION	W/	WITH
INT.	INTERIOR	WTD.	WOOD

LEGAL DESCRIPTION:
SMARTS PARTITION NO 2 LOTS 5 & 6 & ALL VAC ALLEY LY W OF &
ADJ ALSO ASHBURNS ADD S 8.33 FT OF E 3 FT LOT 9 & E 3 FT OF
LOTS 10 & 11 BLK 18



CALEB BULAND, ARCHITECT | MO 2009005509

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



NOT FOR CONSTRUCTION
GEORGE B. PECK DRY GOODS CO.

1044 MAIN ST
KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
ANNIE@EXACTARCHITECTS.COM
630-699-2329

[illegible]

COVER SHEET

A0.00

ADOPTED CODES + PROJECT REFERENCES			
Accessibility	2018 International Building Code		
	2018 International Existing Building Code		
	2021 International Energy Code		
	2018 International Mechanical Code		
	2018 International Fuel Gas Code		
	2018 International Fire Code		
	2018 Uniform Plumbing Code		
	2017 National Electrical Code		
	2018 IBC + IEBC, ICC ANSI A117.1 - 2009, Accessibility and Usability Code and Fair Housing Act		
BUILDING DATA			
General	Interior conversion of a historic 12-story plus 1-level basement commercial storage building with concrete column beam structure.		
Construction Type	1-B Non-Combustible Exterior		
Fully Sprinkled	Yes ; NFPA 13 shall be provided throughout		
Use / Change	Existing Business converted to New Commercial and Multi-Family Residential		
Zoning	DC-15		
Parking	Not Required (Historic Building) ; Parking Garage adjacent parcel		
Historical Data	Building listed on the National Register of Historic Places		
USE AND CLASSIFICATION		Chapter 3	
Basement	A-2 (Future Commercial)		
First Floor	A-2 (Future Commercial)		
Mezzanine Floor	B (Future Business)		
Second Floor	R-2 (Residential)		
Third Floor	R-2 (Residential)		
Fourth Floor	R-2 (Residential)		
Fifth Floor	R-2 (Residential)		
Sixth Floor	R-2 (Residential)		
Seventh Floor	R-2 (Residential)		
Eighth Floor	R-2 (Residential)		
Ninth Floor	R-2 (Residential)		
Tenth Floor	R-2 (Residential)		
Eleventh Floor	R-2 (Residential)		
Rooftop	R-2 (Residential)		
BUILDING HEIGHTS AND AREAS		Chapter 5	
Occupancy	R-2, 74 Dwelling Units A-2, 9,716 SF B, 3,416 SF		
Area (Existing)	Lower Floor 10,056 SF First Floor 8,408 SF Mezzanine 8,749 SF Second Floor 7,718 SF Third Floor 7,718 SF Fourth Floor 7,718 SF Fifth Floor 7,718 SF Sixth Floor 7,718 SF Seventh Floor 7,718 SF Eighth Floor 7,718 SF Ninth Floor 7,718 SF Tenth Floor 7,718 SF Eleventh Floor 7,718 SF Roof Top Amenity 728 SF Total: 96,372 SF		
Allowable Area	UL (Total)		
Height (Existing)	High-Rise 12-stories and Rooftop Amenity Max. = 180'-6" to top of occupied floor		
Allowable Height	12-stories 180'-0" (R-2 occupancy 1-B)		
Historic Exceptions	Every historic building that does not conform to the construction requirements specified in the IBC shall be provided with an approved automatic fire sprinkler system		
Incidental Occupancy Separation	Mechanical Rooms (over 15 psi and 10 horsepower): 1 hour or approved automatic fire extinguishing system		
Accessory Occupancy	Aggregate accessory occupancies shall not occupy more than 10% of the building area of the story in which they are located.		
	No separation is required between the accessory occupancy and main occupancy.		
Occupancy separation	1 hour separation between R and B or M occupancies		
Historic Exceptions	Handrail stairways shall be accepted without complying with historical requirements, provided they are not structurally dangerous.		
	Occupancy separations of 1 hour can be omitted with an approved automatic sprinkler systems		
TYPE OF CONSTRUCTION		Chapter 6	
Type	1-B ; Non-Combustible Exterior Walls		
Fire Resistance Ratings	Primary Structural Frame 2 hours Columns Supporting Floors 1 hours Bearing Walls - Exterior 2 hours Bearing Walls - Interior 2 hours Non-Bearing Walls - Exterior 1 hours Non-Bearing Walls - Interior 0 hours Floor Construction and 2 hours Secondary Members Roof Construction and 1 hours Secondary Members		
FIRE + SMOKE PROTECTION		Chapter 7	
Hazard Category	Means of Egress = Higher Hazard Heights and Area = Higher Hazard Exterior Wall Exposure = Higher Hazard		
Shaft Enclosures & Vertical Openings	Existing shaft and vertical opening enclosure is only required to be in a one hour enclosure		
Corridors	Group R: 0.5 hour required ; 1-hour provided		
Dwelling Separation	Group R: 1 hour required ; 1-hour provided		
Horizontal Assemblies	Group R: 1 hour required ; 1-hour (existing)		
Opening Protection	Interior: 90 min. within 2-hour fire wall 60 min. within 1-hour fire barriers (shaft, exit enclosures, exit passageways) 45 min. within 1-hour fire partitions (other than listed above) 20 min. within 0.5 and 1-hour fire partitions (corridors) 45 min. within 1-hour fire partitions (other than corridors) 20 min. within 0.5-hour fire partitions (other than corridors)		
Fireblocking	Provide in concealed spaces of stud walls and partitions, including curved spaces, and parallel runs of studs horizontally at intervals not exceeding 10 feet vertically.		
	Unface batt insulation tightly fit in demising wall cavities provided.		

01_FIRST FLOOR
1" = 20'-0"

02_SECOND FLOOR
1" = 20'-0"

11_ELEVENTH FLOOR
1" = 20'-0"

ROOF - CODE PLAN
1" = 20'-0"

EXIST. FIRE ESCAPE
UP CONTINUOUS SECOND LEVEL TO ROOF

EXIST. HISTORIC STAIR
SHAFT CONTINUOUS LOWER LEVEL TO ROOF

NEW STAIR
EGRESS FROM LOWER LEVEL TO FIRST FLOOR

Generator Room
Elevator Head House

R-2
728 SF
49 OCCUPANTS

R-2
950 SF
6 OCCUPANCY

R-2
1071 SF
6 OCCUPANCY

R-2
809 SF

R-2
778 SF

R-2
1411 SF

R-2
877 SF

R-2
700 SF

R-2
945 SF

R-2
596 SF

R-2
624 SF

R-2
632 SF

R-2
983 SF

R-2
280 SF
2 OCCUPANTS

A-2
443 SF
30 OCCUPANTS

A-2
5042 SF
340 OCCUPANTS

A-2
404 SF
24 OCCUPANTS

EGRESS FROM LOWER
LEVEL TO FIRST FLOOR

 1

00_LOWER LEVEL
1" = 20'-0"

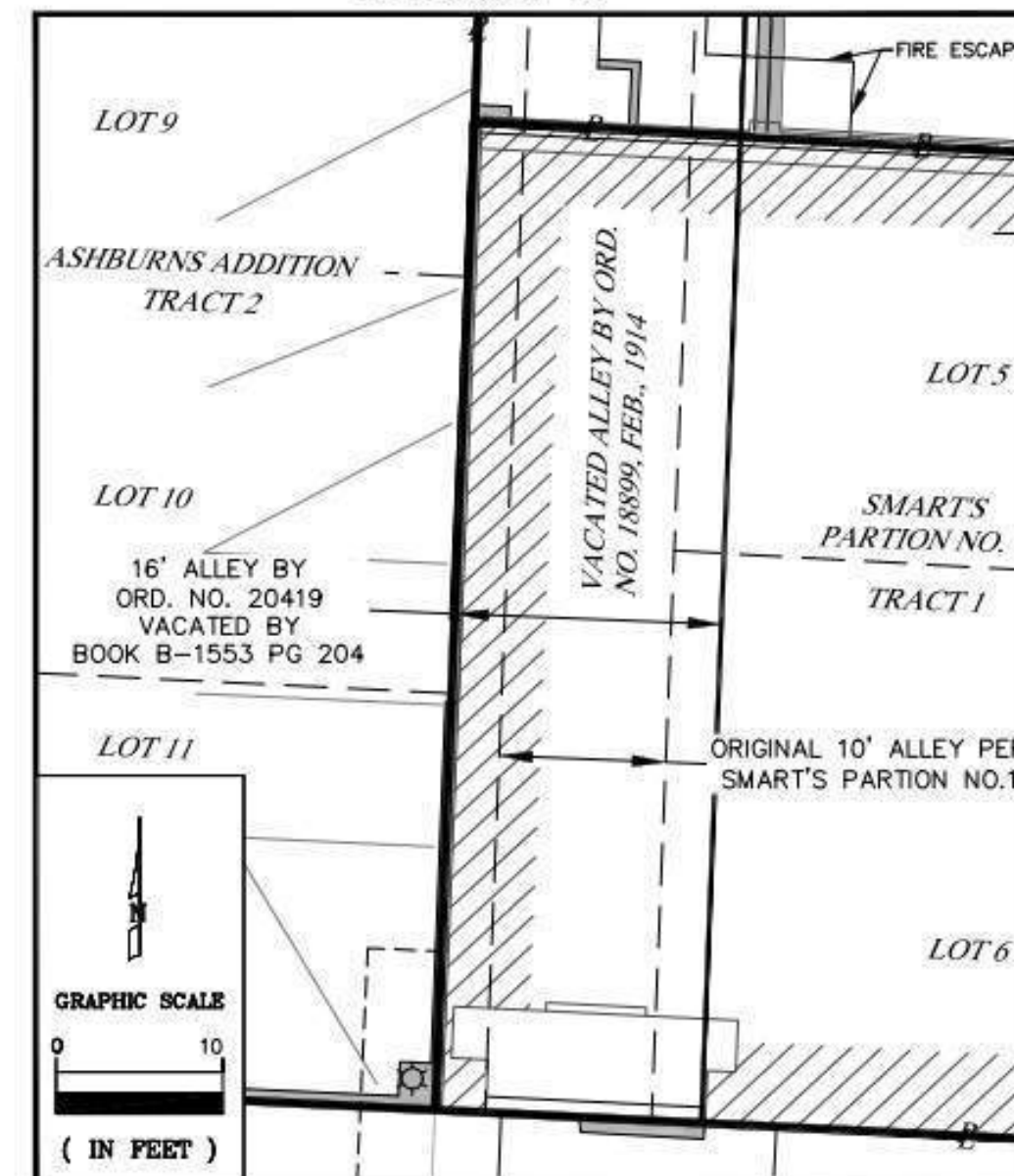
CODE ANALYSIS AND
LIFE SAFETY PLANS

A0.01



ALTA SURVEY
BOK FINANCIAL
KANSAS CITY, CLAY COUNTY, MISSOURI

DETAIL "B"



LAND DESCRIPTION

TRACT 1: (1044 Main Street)
Lots 5 and 6, SMART'S PARTITION NO. 2, a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof, in Plat Book B-1 at Page 35; the whole of the vacated alley, to the full width thereof, lying West of and adjoining said Lots 5 and 6 of SMART'S PARTITION NO. 2, as said alley was established in and delineated on the recorded plat of SMART'S PLACE SUBDIVISION in Plat Book A-1 at Page 16; and all that part of the East three feet of Lot 9 lying South of the Westward prolongation of the North line of Lot 5 of SMART'S PARTITION NO. 2 and the East three feet of Lots 10 and 11, Block 18, ASHBURN'S ADDITION, a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof in Plat Book B-1 at Page 57, EXCEPT that part in Main Street.

TRACT 2: (1031 Baltimore Ave.)
Lots 8, 9, 10 and 11, EXCEPT that part of the East 3 feet of said Lot 9 lying South of the Westward prolongation of the North line of Lot 5 of Smart's Partition No. 2, a subdivision, AND EXCEPT the East 3 feet of said Lots 10 and 11, Block 18, ASHBURN'S ADDITION, a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof.

TITLE NOTES

The following title exceptions are shown to provide general information as to easements, setbacks, right-of-way or other general land restrictions. The exceptions are provided to this surveyor by Chicago Title Insurance Company, in title commitment 192833, effective December 18, 2019, at 8:00 a.m., as shown on schedule B. The owner is advised to refer to the actual title commitment for the full list of requirements and exceptions. All documents shown on this drawing referenced by a book and page number are records filed with the Recorder of Deeds Office of Clay County, Missouri.

TITLE EXCEPTIONS

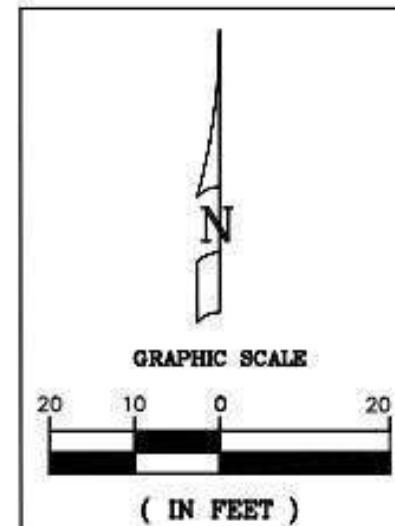
- KEY: SCH. B
NOTE: NUMBER: ITEM DESCRIPTION:
- #1: Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.
 - #2: Rights or claims of parties in possession not shown by the public records.
 - #3: Easements or claims of easements, not shown by the public records.
 - #4: Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
 - #5: Any lien or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
 - #6: Taxes or special assessments which are not shown as existing liens by the public records.
 - #7: The lien of general taxes for 2020 which are not now due and payable.
 - #8: Terms and provisions of the agreement relating to a party wall established by the instrument filed July 16, 1883, in Book B-85, Page 506.
 - #9: Terms and provisions of the agreement relating to a party wall established by the instrument dated January 24, 1914, filed as Document No. 987272, in Book B-1567, Page 407. This exception is not a survey matter. Refer to Document.
 - #10: Terms and provisions of the agreement relating to a party wall established by the instrument dated January 24, 1914, recorded April 19, 1915 as Document No. 1034489, in Book B-1622, Page 229. This exception is not a survey matter. Refer to Document.
 - #11: Terms and provisions of the agreement relating to a party wall established by the instrument dated October 14, 1948, recorded October 26, 1948 as Document No. A-936591, in Book B-4251, Page 638. This exception is not a survey matter. Refer to Document.
 - #12: Right to construct, operate and maintain sewers along and across the West 16 feet of the premises in question, formerly a public alley opened and established by Ordinance No. 20419, approved January 4, 1881, reserved to Kansas City in vacation Ordinance No. 18899, approved February 10, 1914, of record in Book B-1553, page 204, Document No. 966965. This exception affects the subject property and is plotted here on.
 - #13: Easements, if any, for public utilities, installed in, under or upon the vacated alley prior to the vacation thereof, and for which no notice appears in the Office of the Recorder/Registrar of Deeds.
 - #14: Terms and provisions of a lease dated July 31, 1984, between Peck's Plaza Associates, a Georgia limited partnership, Owner, and Missouri Bank and Trust Company of Kansas City, Tenant, disclosed by Amended and Restated Lease recorded May 28, 1985 as Document No. K-663470 in Book K-1424, at Page 447, amending and restating same. Assignment of said lease to the Land Clearance for Redevelopment Authority of Kansas City, Missouri by instrument recorded June 13, 1985 as Document No. K-665861, in Book K-1429, Page 1950. Indenture of Trust between the Land Clearance for Redevelopment Authority of Kansas City, Missouri, United Missouri Bank of Kansas City, N.A., as Trustee, in the amount of \$350,000.00, recorded June 13, 1985 as Document No. K-665864, in Book K-1429, Page 1994. This exception is not a survey matter. Refer to Document.
 - #15: Terms and provisions of an unrecorded lease dated May 1, 1986 between Peck's Plaza Associates, a Georgia limited partnership (Landlord) and Merrick, Baker, Fox & Huff, P.C. (Tenant) disclosed by the Subordination, Non-Disturbance and Attornment Agreement recorded February 29, 1988 as Document No. K-816748 in Book K-1774 at Page 2362. This exception is not a survey matter. Refer to Document.
 - #16: An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document Entitled: Memorandum of Lease Lessor: Missouri Bank & Trust Company Lessee: Alright Corp., Inc. Recording Date: September 26, 1997 Recording No. 97-K45620, in Book K-3076, Page 150. This exception is not a survey matter. Refer to Document.
 - #17: Terms and provisions of the Downtown Library Tax Increment Financing Plan, including but not limited to provisions regarding PILOTs, EATs, or other assessments and/or abatements, notice of which is given by Memorandum of Agreement recorded March 23, 2016 as Document No. 2016E008290, amended and restated by instrument recorded March 23, 2017 as Document No. 2017E0025479. This exception is not a survey matter. Refer to Document.
 - #18: Retroactive assessments, if any, in relation to tax abatement. Not a survey matter.
 - #19: Tenancy rights, either as month to month or by virtue of written leases, of persons now in possession of any part of the Land. Not a survey matter.
 - #20: State court judgments, state tax liens, and federal tax liens, if any, against the party(ies) to be insured as owner(s). Not a survey matter.

LEGEND OF EXISTING FEATURES

- W --- BURIED WATER LINE
- FO --- BURIED FIBER OPTIC
- E --- BURIED ELECTRIC
- T --- BURIED TELEPHONE
- G --- BURIED GAS LINE
- S --- BURIED STEAM LINE
- ★ STREET LIGHT
- ⊗ ELECTRIC METER
- ⊗ WATER MANHOLE
- ⊗ UTILITY POLE
- ⊗ TRANSFORMER
- ⊗ FIRE HYDRANT
- ⊗ WATER VALVE
- ⊗ SANITARY SEWER MH
- ⊗ SIGN
- EXISTING CONCRETE PAVEMENT
- BAR FOUND
- SET PROPERTY CORNER AS NOTED
- ⊕ TELEPHONE MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ TRAFFIC SIGNAL MANHOLE
- ⊕ GAS VALVE
- ⊕ TRAFFIC SIGNAL

CERTIFICATION

To: Chicago Title Company and Bank Of Oklahoma. This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2015 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 6b, 8, 9, 11, 13, 14, 16, 17, 18 and 19 of Table A thereof. The field work was completed on December 3rd, 2019.



Samuel J. DePriest, PLS 2013000041

Iss. Date: Notes/Comments: By:

ALTA/NSPS SURVEY
1044 MAIN ST. & 1031 BALTIMORE AVE
FOR BOK FINANCIAL



Drafted: AS
Reviewed: SQ/GS
Approved: SQ
Date: 01/15/2020
Proj#
SHEET 1 OF 1

City Plan Commission
Recommends Approval with Conditions

of Case No. **CD-CPC-2026-00013** on **3/18/2026**



Sara Gabriel
Sara Gabriel, Mayor
Secretary of the City Plan Commission

OWNER: BOLEY TWO LLC
E AND A SUBDIVISION
LOT 1

16' WIDE ALLEY ESTABLISHED BY
ORD. NO. 20419, JANUARY 4, 1881

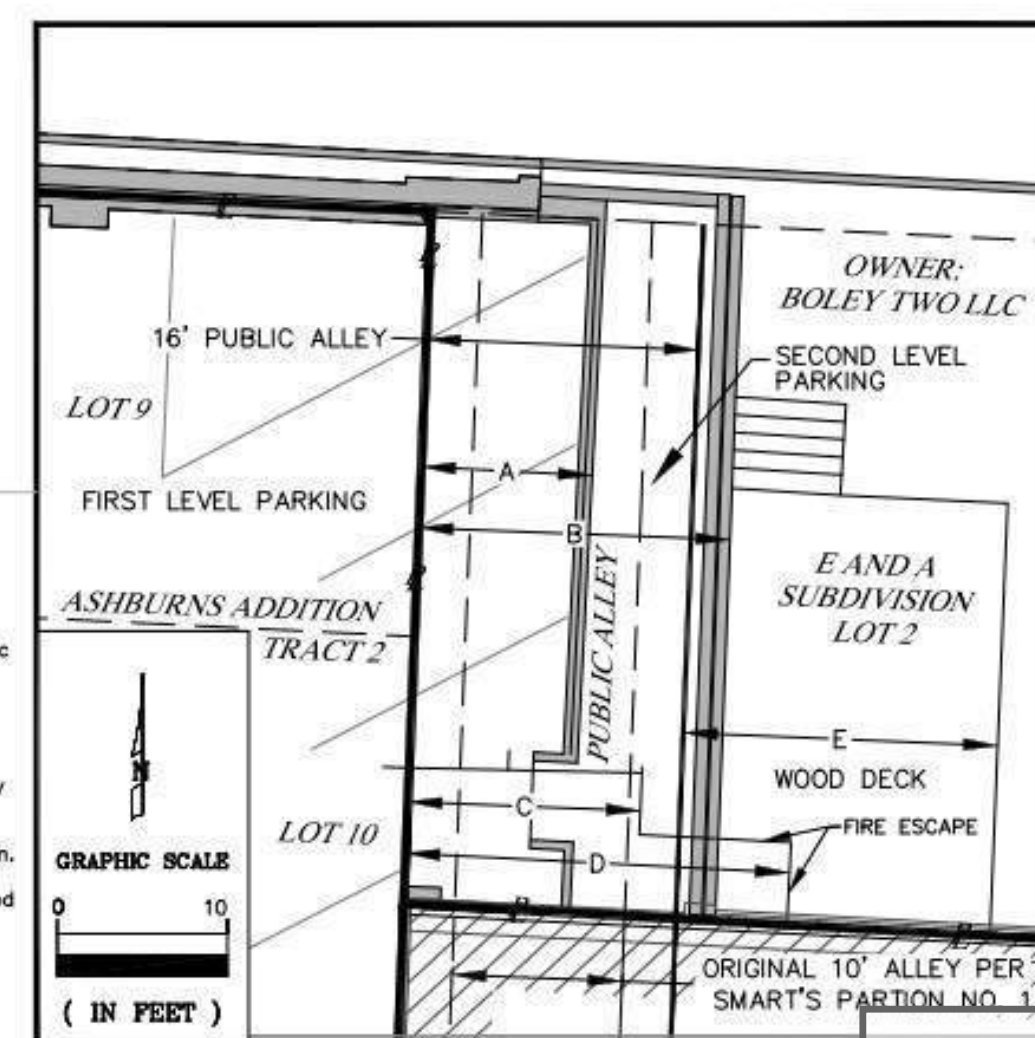
OWNER: BOLEY TWO LLC
E AND A SUBDIVISION
LOT 2

RIGHTS OF THE PUBLIC FOR THE
ALLEY APPROVED APRIL 16, 1903,
FILED APRIL 11, 1903 BY DOC. NO.
444418 IN BOOK 838 PAGE 435

11-STORY BRICK
BUILDING W/BASEMENT

DETAIL "A" NOTES
ENCROACHMENTS

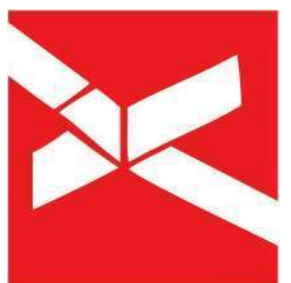
- A. First level parking extends 9.63 feet over the property line and extends into the public alley as shown.
- B. Second level parking extends 18.30 feet over the property line and extends into the public alley as shown.
- C. Fire Escape extends 13.67 feet over the property line and extends into the public alley as shown.
- D. Fire Escape also extends 22.57 feet into Lot 2 of shown E and A subdivision as shown.
- E. Wood deck extends 18.45 feet into Lot 2 of shown E and A subdivision as shown. Wood deck is being used by BOK financial.



SURVEYOR'S REPORT:

- The minimum relative distance accuracy for this type of boundary survey is 1 foot in 10,000 feet. The average error of closure for the traverse of the subject property is 1:503,000.
- The bearings on this survey are based on the subdivision plat of E & A subdivision.
- The subject property contains 19,735 square feet or 0.45 acres.
- Utility information shown on this survey was taken from utility maps provided to this surveyor by various utility companies, and locates provided by various utility locating companies. Every effort was made to have any and all active utilities located. This surveyor does not warrant or guarantee the location or size of any underground utility shown hereon. This surveyor does not warrant or guarantee that utility lines, cables, pipes, or wires (active or inactive) are shown on this survey.
- The tax property Id numbers are JA29220400500000000 and JA29220400600000000.
- Fee owner of the subject property is BOKF, National Association, successor by merger to Missouri Bank & Trust of Kansas City.
- There are 36 car parking spaces on the upper level of parking garage. There are 20 car parking spaces on the lower level of parking garage.
- All property corners were either found as noted, or set with a 1/2" x 24" rebar and cap CCEI 2013000041 on January 10th, 2020.
- The field survey for this project was completed 01/10/2020.
- The subject property lies within the limits of Zone X, Area of Minimal Flood Hazard, as shown on FEMA Flood Insurance Map 29095C0252G effective January 20th 2017.
- The names of the adjoining property owners were taken from the Kansas City, Missouri GIS website.
- No zoning information was provided to the surveyor. The property is zoned DC-15, Downtown Core, as shown on the Kansas City, Missouri GIS.
- There is an 11 story, 8,325 square foot brick building. The building has 1 tenant, as shown on survey.
- All substantial visual improvements have been shown on this survey.
- The address of the subject property is 1044 Main St. for Tract 1 and 1031 Baltimore Ave. for Tract 2, as shown on the Kansas City, Missouri GIS website.
- There is no current moving work on the subject property.
- This surveyor has no knowledge of proposed changes of street right of way lines.
- There are no offsite easements that affect the subject property.

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



NOT FOR CONSTRUCTION
GEORGE B. PECK DRY GOODS CO.

1044 MAIN ST
KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
ANNIE@EXACTARCHITECTS.COM
650-699-2329

ISSUE: DATE: NO
DD Review: 26-0130 1
Development Plan: 26-0206 2
Development Plan: 26-0226 3

SITE SURVEY

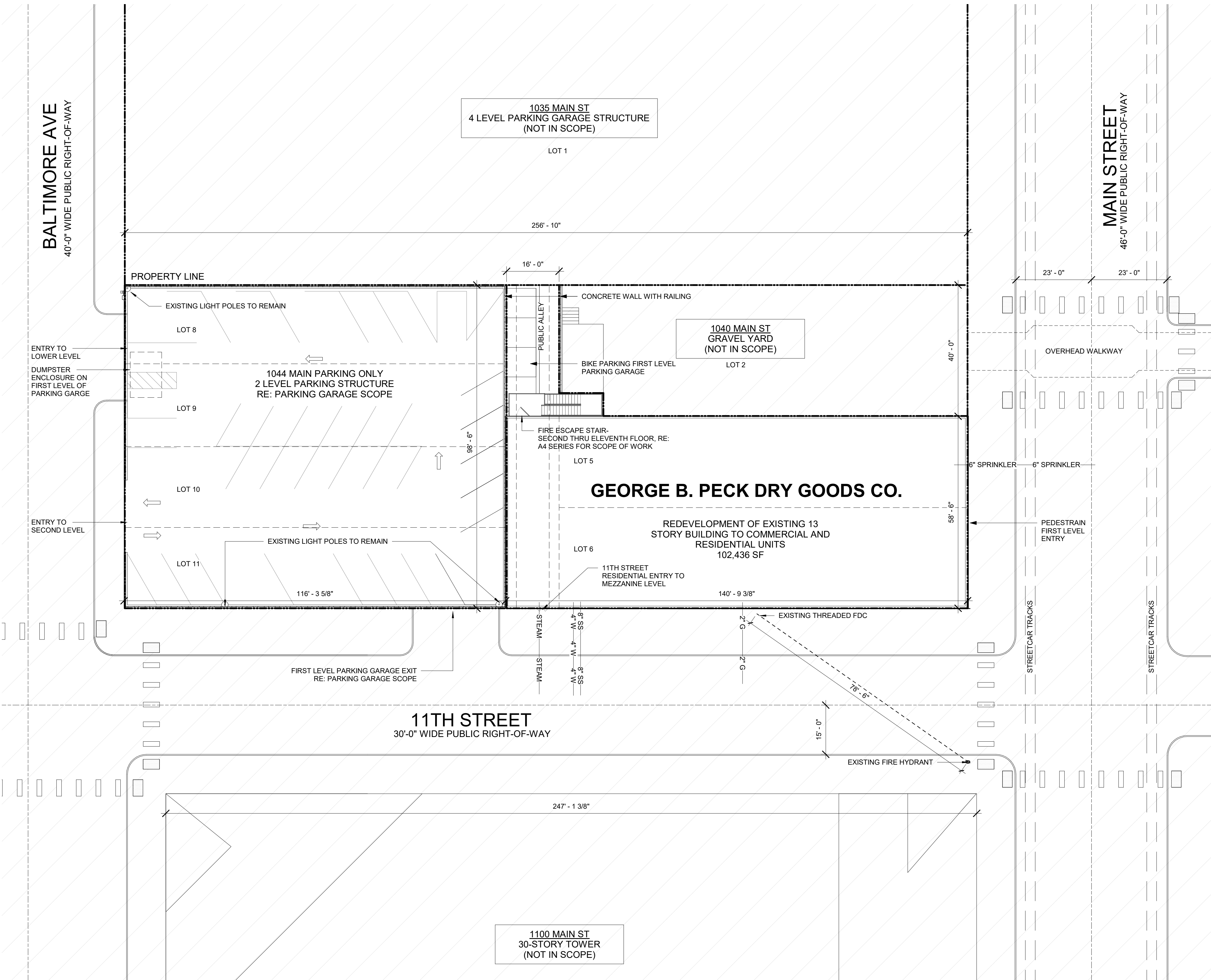
A0.12

1. REMOVE ALL BRUSH AND OVERGROWTH INCLUDING MISCELLANEOUS DEBRIS AND TRASH THROUGHOUT THE SITE.
2. COORDINATE ALL WORK WITH CIVIL DRAWINGS AND MEP SITE PLAN. NOTIFY ARCHITECT IF DISCREPANCIES OCCUR BETWEEN DRAWINGS.
3. INSURE CONDITION OF ALL CURBS, STRUCTURES, SURFACES, AND OTHER SITE ITEMS SCHEDULED TO REMAIN. NOTIFY ARCHITECT OF DISCREPANCIES, OR WHERE REPAIR OR REPLACEMENT IS REQUIRED.
4. EXISTING STORM INLETS AND ATTACHED CURBS SHALL REMAIN INTACT. PROTECT THROUGHOUT CONSTRUCTION.
5. SLOPE, NEW PARKING AND LANDSCAPING AWAY FROM FACE OF NEAREST BUILDING.
6. INSTALL STEEL EDGING STRIPS AT ALL LANDSCAPING TRANSITIONS AND AT ALL TRANSITIONS BETWEEN DISSIMILAR MATERIALS.
7. COORDINATE NEW PARKING STALL SIGNAGE AND PARKING BLOCKS WITH ARCHITECT.
8. SITE PAVING TO INCLUDE PAINTED HANDICAP, STALL STRIPING, ARROWS, AND COMPACT CAR MARKING.
9. REFER TO ELEVATIONS FOR ANY AND ALL WORK ASSOCIATED WITH THE BUILDING EXTERIOR.
10. PREPARE ALL AREAS OF NEW PLANTING OR SOFTSCAPE WITH TOP SOIL, IN CONDITION FOR CONTINUED AND HEALTHY PLANT GROWTH.
11. NEW CONCRETE CURBS OR SIDEWALKS SHALL MATCH PROFILE, HEIGHT, AND/OR DEPTH OF EXISTING SITE. NEW CURBS MUST MEET EXISTING CONCRETE SCHEDULE TO REMAIN.
12. ALL BUILDING BASE TO HARDCAPE TRANSITIONS SHALL HAVE NEW EXPANSION JOINT AND BACKER ROD INSTALLED BETWEEN MATERIALS. TYP. JOINT SHALL HAVE A MIN. OF 1/2" WIDE BITUMINOUS JOINT FILLER INSTALLED. WHERE EXISTING JOINT OR SEALANT OCCURS, REMOVE PRIOR TO NEW WORK.
13. ALL GRADED AREAS TO RECEIVE EROSION CONTROL FOR A FULL 4-WEEKS AFTER GRASS SEED GERMINATION.
14. PROTECT ALL STORM SEWERS WITH EROSION CONTROL.
15. EXISTING BRICK STEP AND DOCK AT BACK COURTYARD WILL REMAIN. PROTECT DURING CONSTRUCTION, AND SPOT REPAIR AS REQUIRED BY NEW STEEL STAIR INSTALLATION.
16. THE IFA CONTRACTOR SHALL VERIFY THAT ALL EXTERIOR CONSTRUCTION DETAILS: THE SCHEDULE PROVIDED REFLECTS THE BASIS OF DESIGN. THE CONTRACTOR SHALL VERIFY THAT ANY VALUE-ENGINEERED SUBSTITUTIONS COMPLY WITH IFA GUIDELINES.

1. WORK SHALL INCLUDE REPLACEMENT OF ANY SIDEWALK SQUARE CRACKED OR MISSING A PIECE 1/2" OR MORE WIDE, ADJOINING SQUARE DIFFERING VERTICALLY 1/2" OR MORE, WITH SURFACES NOT OF CONTIGUOUS CONCRETE, AND THE ADJOINING CURB OF THAT WALK OR SHARING THAT CRITERIA OR HAVING A GUTTER 4" BELOW STREET, OR IMPEDING THE FLOW OF WATER.
2. REPLACE, ANY CURB HAVING A MEASURED HEIGHT OF 2 1/2" OR LESS ABOVE THE STREET SURFACE, ANY CURB HAVING A GUTTER SECTION OF 4" OR MORE BELOW THE STREET SURFACE, ANY CURB THAT OBSTRUCTS THE INTENDED FLOW OF WATER, SHALL BE REPLACED TO THE ADJOINING JOINTS. THE NEW CURB SHALL BE TRANSITIONED TO THE NEW CURB TO THE EXISTING CURB SHALL NOT EXCEED A SLOPE OF 1/2" PER FOOT.

RESIDENTIAL UNITS PER FLOOR			
TYPE		COUNT	AREA
02. SECOND FLOOR			
1B: 1BA	4		2552 SF
2B: 2BA	3		2805 SF
03. THIRD FLOOR			
1B: 1BA	4		2564 SF
1B: 1BA ADA	1		630 SF
2B: 2BA	3		2800 SF
04. FOURTH FLOOR			
1B: 1BA	4		2566 SF
1B: 1BA ADA	1		624 SF
2B: 2BA	3		2800 SF
05. FIFTH FLOOR			
1B: 1BA	4		2566 SF
1B: 1BA ADA	1		624 SF
2B: 2BA	3		2800 SF
06. SIXTH FLOOR			
1B: 1BA	4		2566 SF
1B: 1BA ADA	1		624 SF
2B: 2BA	3		2678 SF
07. SEVENTH FLOOR			
1B: 1BA	4		2566 SF
1B: 1BA ADA	1		624 SF
2B: 2BA	3		2800 SF
08. EIGHTH FLOOR			
1B: 1BA	5		3190 SF
2B: 2BA	3		2800 SF
09. NINTH FLOOR			
1B: 1BA	5		3190 SF
2B: 2BA	3		2790 SF
10. TENTH FLOOR			
1B: 1BA	5		3190 SF
2B: 2BA	3		2800 SF
11. ELEVENTH FLOOR			
1B: 1BA	2		1586 SF
2B: 2BA	1		1411 SF
TOTAL	74		56146 SF

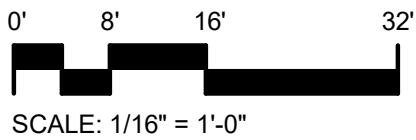
DEVELOPMENT TABULATION	
BUILDING DATA	
ZONING	DC - 15 (EXISTING TO REMAIN)
LAND AREA	8,660 SF (BUILDING FOOTPRINT) ; 11,535 SF (PARKING GARAGE)
PROPOSED USE	R-2 (RESIDENTIAL APARTMENTS) ; A-2 (COMMERCIAL LEASIBLE)
HEIGHT (EXISTING)	10-STORIES ABOVE GRADE ; 73'-10" TO ROOF DECK
GROSS FLOOR AREA (EXISTING)	REFER TO TABLE ABOVE
RESIDENTIAL UNITS	REFER TO TABLE ABOVE
NET LAND AREA	20,195 SF TOTAL ; 8,660 SF RESIDENTIAL USE
BUILDING COVERAGE	8,660 SF EXTERIOR / 20,195 SF LAND AREA = .42
FLOOR AREA RATIO	103,389 SF / 20,195 SF LAND AREA = 5.1
GROSS DENSITY	74 UNITS /20,195 SF LAND AREA = 1 UNIT PER 272 SF
NET DENSITY	74 UNITS / 8,660 SF RESIDENTIAL USE = 1 UNIT PER 117 SF
PARKING	NO PARKING REQUIRED PER 88-420-04-H LANDMARKS AND HISTORIC DISTRICTS; TWO STORY PARKING GARAGE ADJACENT TO BUILDING PROVIDING 50 PARKING SPOTS FOR BUILDINGS USE ONLY
BICYCLE PARKING (PER 88-420)	SHORT TERM: 8 REQUIRED / 8 PROVIDED RE: PARKING GARAGE SCOPE LONG TERM: 25 REQUIRED/ 72 PROVIDED RE: FLOOR PLANS
PHASING	SINGLE-PHASE CONSTRUCTION
SETBACKS	NO NEW SETBACKS; EXISTING BUILDING FOOTPRINT TO REMAIN



BUILDING AREA (GSF)	
LEVEL	AREA
00_LOWER LEVEL	10056 SF
01_FIRST FLOOR	8408 SF
01.5_MEZZANINE	5749 SF
02_SECOND FLOOR	7718 SF
03_THIRD FLOOR	7718 SF
04_FOURTH FLOOR	7718 SF
05_FIFTH FLOOR	7718 SF
06_SIXTH FLOOR	7718 SF
07_SEVENTH FLOOR	7718 SF
08_EIGHTH FLOOR	7718 SF
09_NINTH FLOOR	7718 SF
10_TENTH FLOOR	7718 SF
11_ELEVENTH FLOOR	7718 SF
MAIN BUILDING ROOF	1800 SF
TOTAL AREA	103189 SF

COMMERCIAL SPACE		
NUMBER	NAME	AREA
00_LOWER LEVEL		
001	COMMERCIAL LEASABLE	3827 SF
01_FIRST FLOOR		
103	COMMERCIAL LEASABLE	5042 SF
101	COMMERCIAL LEASABLE	443 SF
102	COMMERCIAL LEASABLE	404 SF
01_5_MEZZANINE		
114	COMMERCIAL LEASABLE	1710 SF
113	COMMERCIAL LEASABLE	1708 SF
TOTAL SPACES: 6		13134 SF

LEGAL DESCRIPTION:
SMARTS PARTITION NO 2 LOTS 5 & 6 & ALL VAC ALLEY LY W OF & ADJ ALSO
ASHBURNS ADD S 8.33 FT OF E 3 FT LOT 9 & E 3 FT OF LOTS 10 & 11 BLK 18



1

SITE PLAN
1/16" = 1'-0"



City Plan Commission Recommends Approval with Conditions

of Case No. CD-CPC-2026-00013 on 3/18/2026

Sara Copeland
Sara Copeland, Chair
Secretary of the City Plan Commission

CALEB BULAND, ARCHITECT | MO 2009005509

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A.O, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



NOT FOR CONSTRUCTION

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KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
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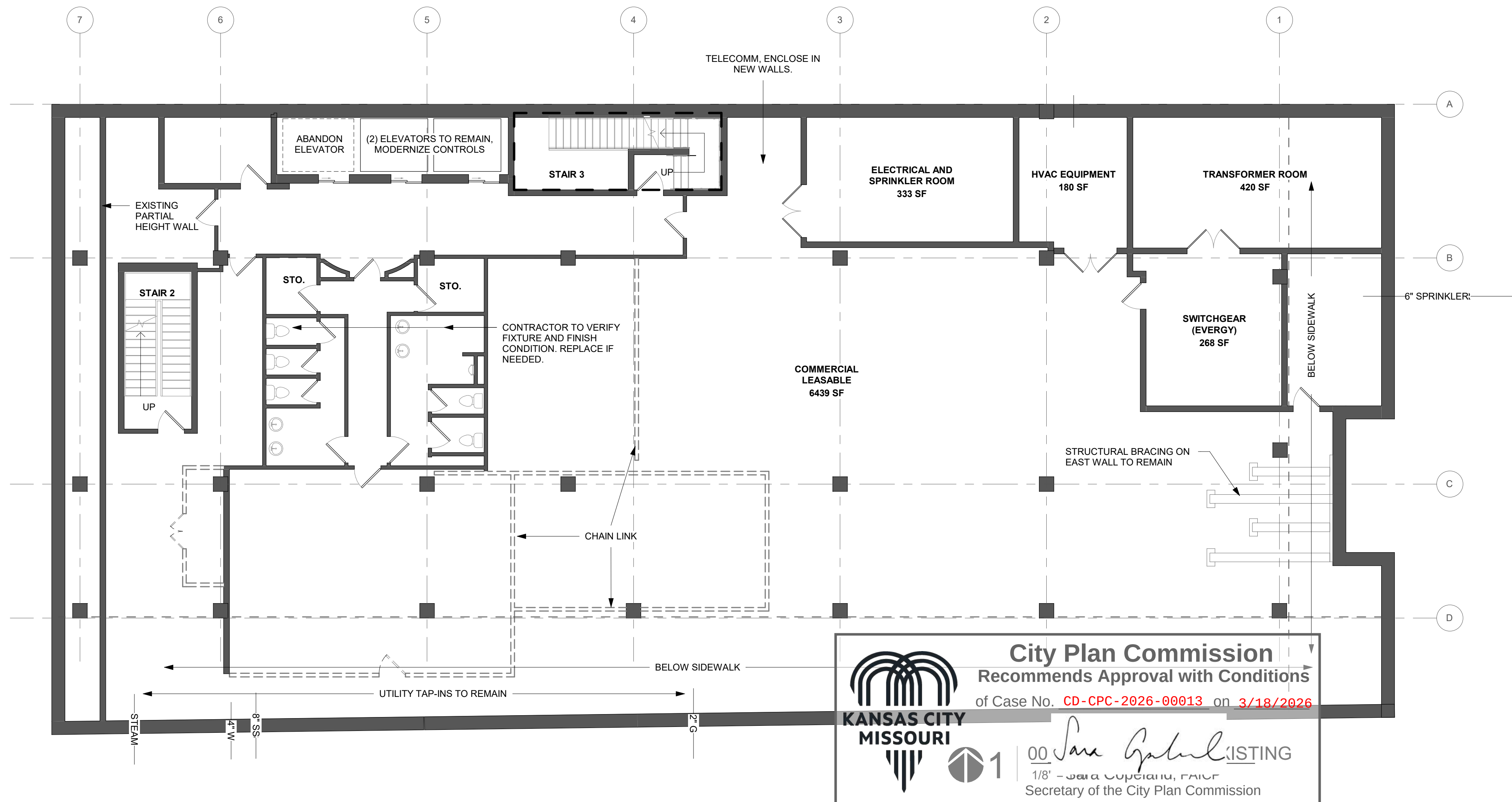
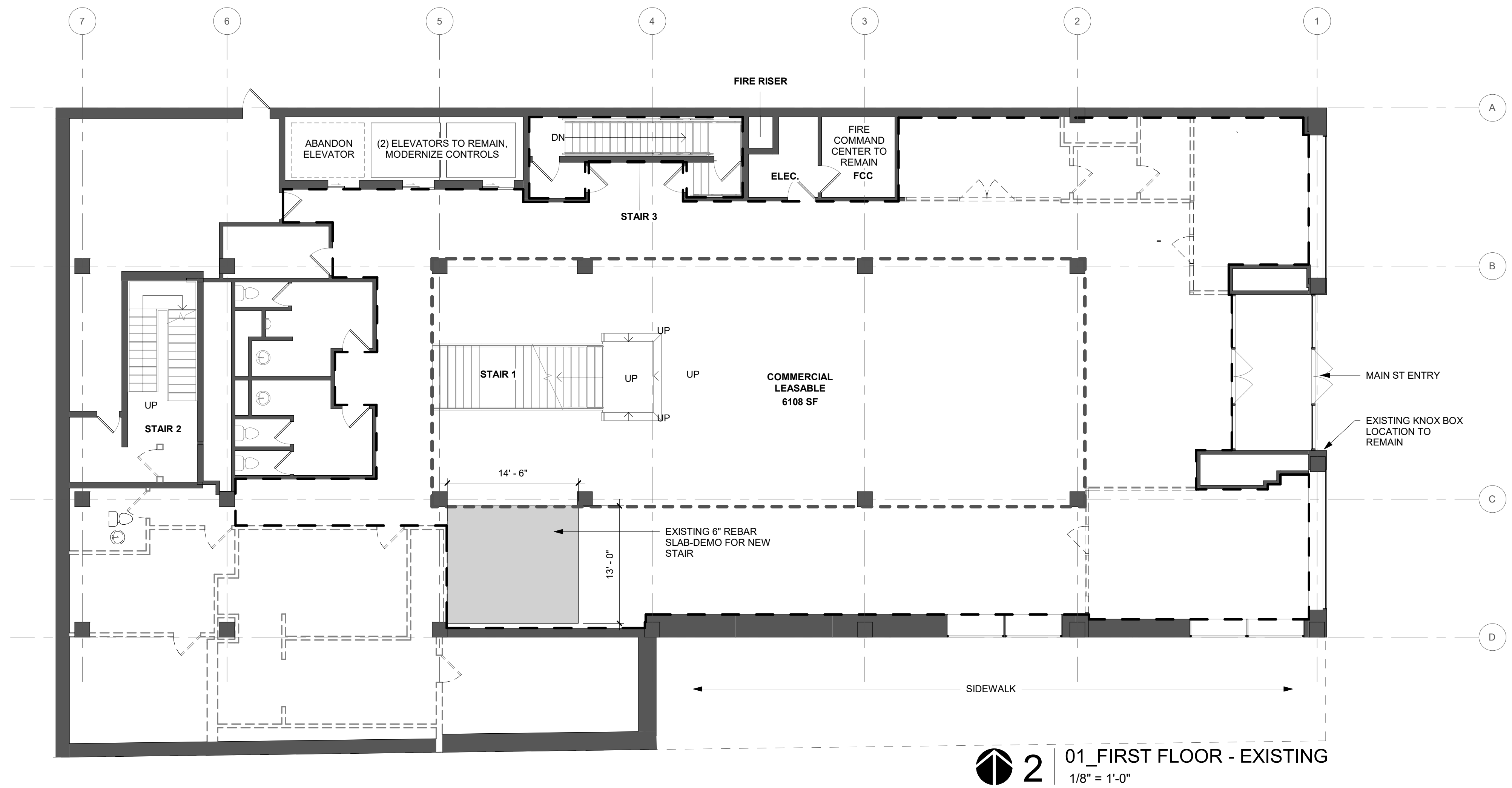
ARCHITECTURAL SITE PLAN

A0.13

- THE DESIGN INTENT FOR NEW PLAN PREPARATION IS TO PROVIDE A FULLY COORDINATED AND PREPARED SPACE READY FOR NEW WORK AND FINISHED AND FUNCTIONAL FOR TENANT USE. ALL DOOR, WINDOW, ETC. OPENINGS SCHEDULED TO BE REPLACED SHALL BE REMOVED AND PREPARED FOR NEW OPENING INSTALLATION. NON-HISTORIC WALLS, FINISHES, CEILINGS, ETC. SHALL BE REMOVED AND HISTORIC SURFACES BEYOND SHALL BE PREPARED FOR NEW WORK.
- ALL HISTORIC MATERIALS SHALL BE PROTECTED DURING CONSTRUCTION. TYPICAL. THE EXISTING LOCATIONS OF HISTORIC MATERIALS ARE NOT SHOWN EXCLUSIVELY ON THE DRAWINGS FOR THE PROJECT. THE CONTRACTORS RESPONSIBILITY TO UNDERSTAND THE BUILDINGS EXISTING CONDITIONS AND HISTORIC FABRIC PRIOR TO BIDDING, REMOVAL OF ITEMS WITHOUT PRIOR APPROVAL BY ARCHITECT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY FOR ANY REQUIRED WORK ASSOCIATED WITH HISTORIC ITEMS.
- DURING ALL DEMOLITION WORK, CARE SHALL BE TAKEN WITH ALL REMOVAL TO MAINTAIN AND PRESERVE THE HISTORIC MATERIALS TYPICAL. A CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ALL ITEMS TO THEIR BEFORE CONSTRUCTION CONDITION WHERE DAMAGED DURING CONSTRUCTION. TYPICAL.
- WHERE WALLS ARE DESIGNATED FOR REMOVAL, ADJACENT HISTORIC FINISHES SHALL REMAIN INTACT AND SHALL BE PATCHED AND REPAIRED. ALL HISTORIC WOOD MILLWORK, WHERE EXISTING, SHALL BE REMOVED AND SHALL BE REUSED FOR PATCHING, TYPICAL.
- ALL EXISTING PLASTER SURFACES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. TYPICAL.
- ALL DIMENSIONS SHOWN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
- WHERE POSSIBLE, ALL ORIGINAL HISTORIC FLOORING, WALL AND CEILING FINISHES SHALL REMAIN INTACT. DEMOLISH AREAS BEYOND REPAIR AND PREP FOR NEW SURFACE U.N.O. PER PLANS.
- EXISTING HISTORIC TRIM AND MOLDING SHALL BE KEPT IN PLACE, RESTORED AND LEFT EXPOSED IN THE NEW PLANS.
- ALL MISC. HISTORIC FABRIC SCHEDULED TO BE REMOVED (INCLUDING BUT NOT LIMITED TO DOORS, HOLLOWWARE, TRIM, WINDOWS, ETC.) SHALL BE SALVAGED, STORED AND REUSED IN HISTORIC LOCATIONS.
- REMOVE PLYWOOD, ALL METAL GRATES, AWNINGS, AND ANY OTHER NON-HISTORIC WINDOW COVERING OR ACCESSORY. REMOVE, REPAIR AND RESTORE WINDOWS, PER PLANS, AND ELEVATIONS.
- DEMOLISH ALL MECHANICAL SYSTEMS AND EQUIPMENT NOT REQUIRED FOR THE NEW WORK, IN THEIR ENTIRETY, BACK TO THE ORIGINAL SOURCE, TYPICAL.
- DEMOLISH ALL ELECTRICAL AND NON-HISTORIC LIGHTING SYSTEMS (U.N.O.), FIRE ALARM SYSTEMS, PANELS, EXIT SIGNAGE, EXPOSED CONDUIT, WIRING, DATA, TELEPHONE, ETC. NOT REQUIRED FOR THE NEW WORK, IN THEIR ENTIRETY, BACK TO THE ORIGINAL SOURCE, TYPICAL.
- DEMOLISH ALL PLUMBING FIXTURES, PIPING, VALVES, ETC. NOT REQUIRED FOR THE NEW WORK, IN THEIR ENTIRETY, BACK TO THE ORIGINAL SOURCE, TYPICAL.
- DEMOLITION WORK INCLUDES THE REMOVAL OF WALL AND CEILING FINISHES TO MAKE WAY FOR NEW CONCEALED MEP AND SPRINKLER ROUTING. FINISHED SURFACE DEMOLITION FOR ROUTING SHOULD BE MINIMAL AND IS EXPECTED TO BE AS NEEDED FOR ADEQUATE AND ORGANIZED ROUTING.
- PRE-BID FIELD WALK REQUIRED.
- REMOVE ALL NON-HISTORIC LAY-IN GRID CEILINGS. COORDINATE PLASTER CEILING REMOVAL LOCATIONS WITH NEW WORK/MEP DESIGN.

	EXISTING WALL TO REMAIN.
	EXISTING WALL TO BE DEMOLISHED.
	EXISTING DOORS TO REMAIN.
	EXISTING DOORS TO BE DEMOLISHED.

STAIR SCHEDULE			
NAME	LOWER LIMIT	UPPER LIMIT	COMMENTS
STAIR 1	01_FIRST FLOOR	01.5_MEZZANINE	ALL FINISHES TO REMAIN, REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR
STAIR 2	00_LOWER LEVEL	02_SECOND FLOOR	ALL FINISHES TO REMAIN, REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR
STAIR 4	02_SECOND FLOOR	ROOFTOP AMENITY	REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR



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EXISTING &
DEMOLITION FLOOR
PLAN

AD.00

GENERAL EXISTING PLAN NOTES:

1. THE DESIGN INTENT FOR NEW PLAN PREPARATION IS TO PROVIDE A FULLY COORDINATED AND PREPARED SPACE READY FOR NEW WORK AND FINISHED AND FUNCTIONAL FOR TENANT USE. ALL DOOR, WINDOW, ETC. OPENINGS SCHEDULED TO BE REPLACED SHALL BE REMOVED AND PREPARED FOR NEW OPENING INSTALLATION. NON-HISTORIC WALLS, FINISHES, CEILINGS, ETC. SHALL BE REMOVED AND HISTORIC SURFACES BEYOND SHALL BE PREPARED FOR NEW WORK.
2. ALL HISTORIC MATERIALS SHALL BE PROTECTED DURING CONSTRUCTION, TYPICAL. THE EXISTING LOCATIONS OF HISTORIC MATERIALS ARE NOT SHOWN EXCLUSIVELY ON THE DRAWINGS FOR CLARITY. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERSTAND THE BUILDINGS EXISTING CONDITIONS AND HISTORIC FABRIC PRIOR TO BIDDING. REMOVAL OF ITEMS WITHOUT PRIOR APPROVAL BY ARCHITECT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY FOR ANY REQUIRED WORK ASSOCIATED WITH HISTORIC ITEMS.
3. DURING ALL DEMOLITION WORK, CARE SHALL BE TAKEN WITH ALL REMOVAL TO MAINTAIN AND PRESERVE THE HISTORIC MATERIALS. TYPICAL. ALL CONTRACTORS SHALL BE RESPONSIBLE TO REPAIR ALL ITEMS TO THEIR BEFORE CONSTRUCTION CONDITION WHERE DAMAGED DURING CONSTRUCTION, TYPICAL.
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5. ALL DIMENSIONS SHOWN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
7. WHERE POSSIBLE, ALL ORIGINAL HISTORIC FLOORING, WALL AND CEILING FINISHES SHALL REMAIN INTACT. DEMOLISH AREAS BEYOND REPAIR AND PREP FOR NEW SURFACE U.N.O. PER PLANS.
8. EXISTING HISTORIC TRIM AND MOLDING SHALL BE KEPT IN PLACE, RESTORED AND LEFT EXPOSED IN THE NEW PLANS.
9. ALL MISC. HISTORIC FABRIC SCHEDULED TO BE REMOVED (INCLUDING BUT NOT LIMITED TO DOORS, HARDWARE, TRIM, WINDOWS, ETC.) SHALL BE SALVAGED, STORED AND REUSED IN HISTORIC LOCATIONS, TYPICAL.
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11. DEMOLISH ALL MECHANICAL SYSTEMS AND EQUIPMENT NOT REQUIRED FOR THE NEW WORK, IN THEIR ENTIRETY, BACK TO THE ORIGINAL SOURCE, TYPICAL.
12. DEMOLISH ALL ELECTRICAL AND NON-HISTORIC LIGHTING SYSTEMS (U.N.O.). FIRE ALARM SYSTEMS, PANELS, EXIT SIGNAGE, EXPOSED CONDUIT, WIRING, DATA, TELEPHONE, ETC. NOT REQUIRED FOR NEW WORK, IN THEIR ENTIRETY, BACK TO THE ORIGINAL SOURCE, TYPICAL.
13. DEMOLISH ALL PLUMBING FIXTURES, PIPING, VALVES, ETC. NOT REQUIRED FOR THE NEW WORK, IN THEIR ENTIRETY, BACK TO THE ORIGINAL SOURCE, TYPICAL.
14. DEMOLITION WORK INCLUDES THE REMOVAL OF WALL AND CEILING FINISHES TO MAKE WAY FOR NEW CONCEALED MEP AND SPRINKLER ROUTING. FINISHED SURFACE DEMOLITION FOR ROUTING SHOULD BE MINIMAL AND IS EXPECTED TO BE ONLY AS NEEDED FOR ADEQUATE AND ORGANIZED ROUTING.
15. PRE-BID FIELD WALK REQUIRED.
16. REMOVE ALL NON-HISTORIC LAY-IN GRID CEILINGS. COORDINATE PLASTER CEILING REMOVAL LOCATIONS WITH NEW WORKMEP DESIGN.

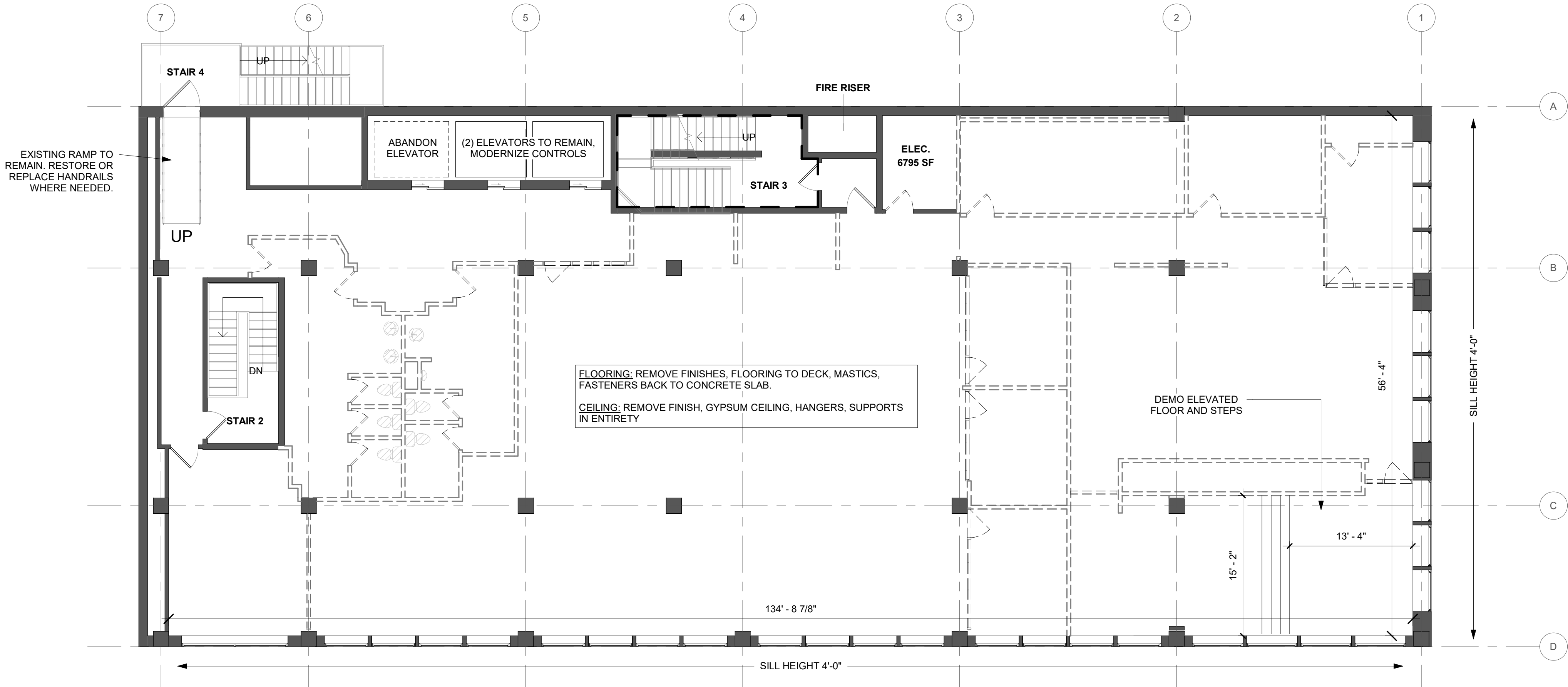
DEMOLITION PLAN LEGEND

NOTE: GRAPHICS ARE STANDARD, U.N.O.

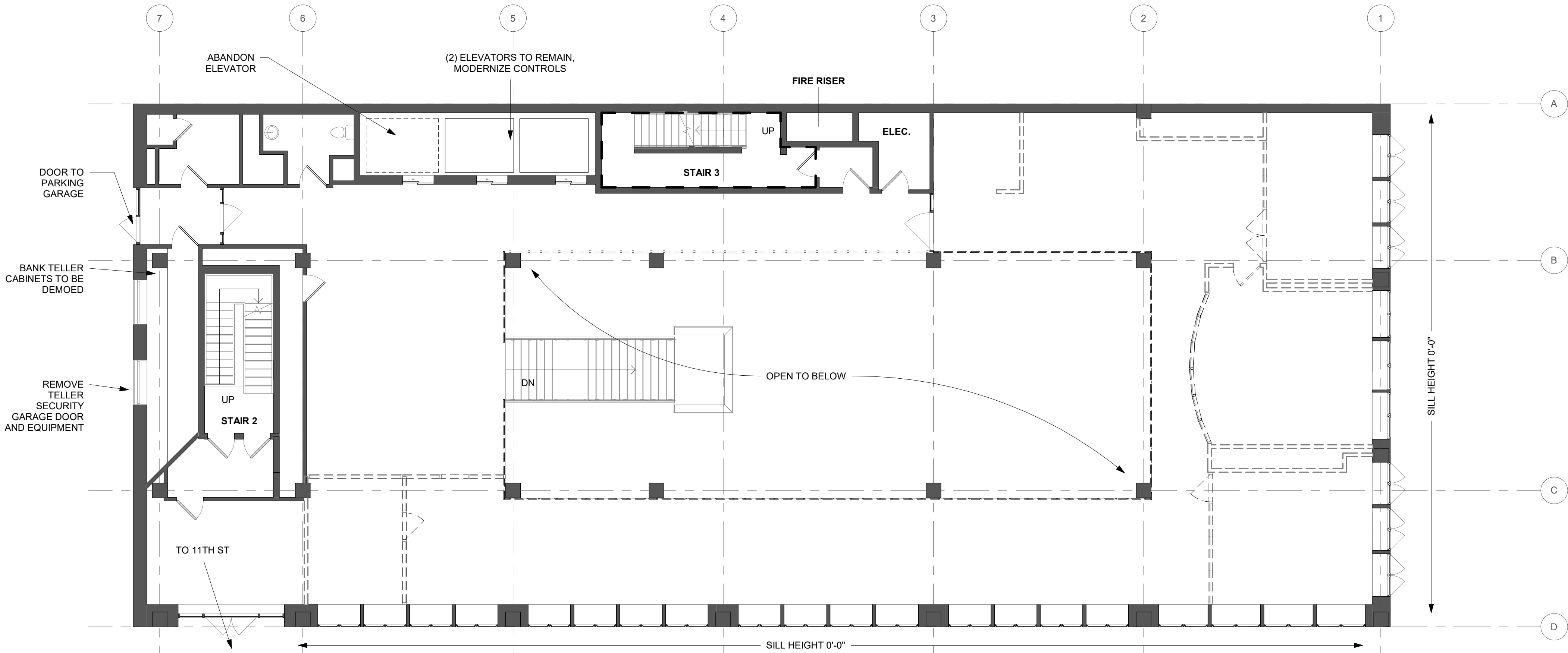
- EXISTING WALL TO REMAIN.
- EXISTING WALL TO BE DEMOLISHED.
- EXISTING DOORS TO REMAIN.
- EXISTING DOORS TO BE DEMOLISHED.

STAIR SCHEDULE

NAME	LOWER LIMIT	UPPER LIMIT	COMMENTS
STAIR 1	01_FIRST FLOOR	01.5_MEZZANINE	ALL FINISHES TO REMAIN, REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR
STAIR 2	00_LOWER LEVEL	02_SECOND FLOOR	ALL FINISHES TO REMAIN, REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR
STAIR 3			
STAIR 4	02_SECOND FLOOR	ROOFTOP AMENITY	REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR



9 | 02_SECOND FLOOR - EXISTING
1/8" = 1'-0"



8 | 01.5_MEZZANINE - EXISTING
1/8" = 1'-0"



City Plan Commission
Recommends Approval with Conditions
of Case No. **CD-CPC-2026-00013** on **3/18/2026**
Sara Gabriel
Sara Gabriel, Mayor
Secretary of the City Plan Commission

CALEB BULAND, ARCHITECT | MO 200905509

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



NOT FOR CONSTRUCTION
GEORGE B. PECK DRY GOODS CO.

1044 MAIN ST
KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
ANNIE@EXACTARCHITECTS.COM
630-699-2329

ISSUE	DATE	NO
DD Review	26-0130	1
Development Plan	26-0206	2
Development Plan	26-0226	3

EXISTING &
DEMOLITION FLOOR
PLAN

AD.01

2/25/2026 4:10:30 PM

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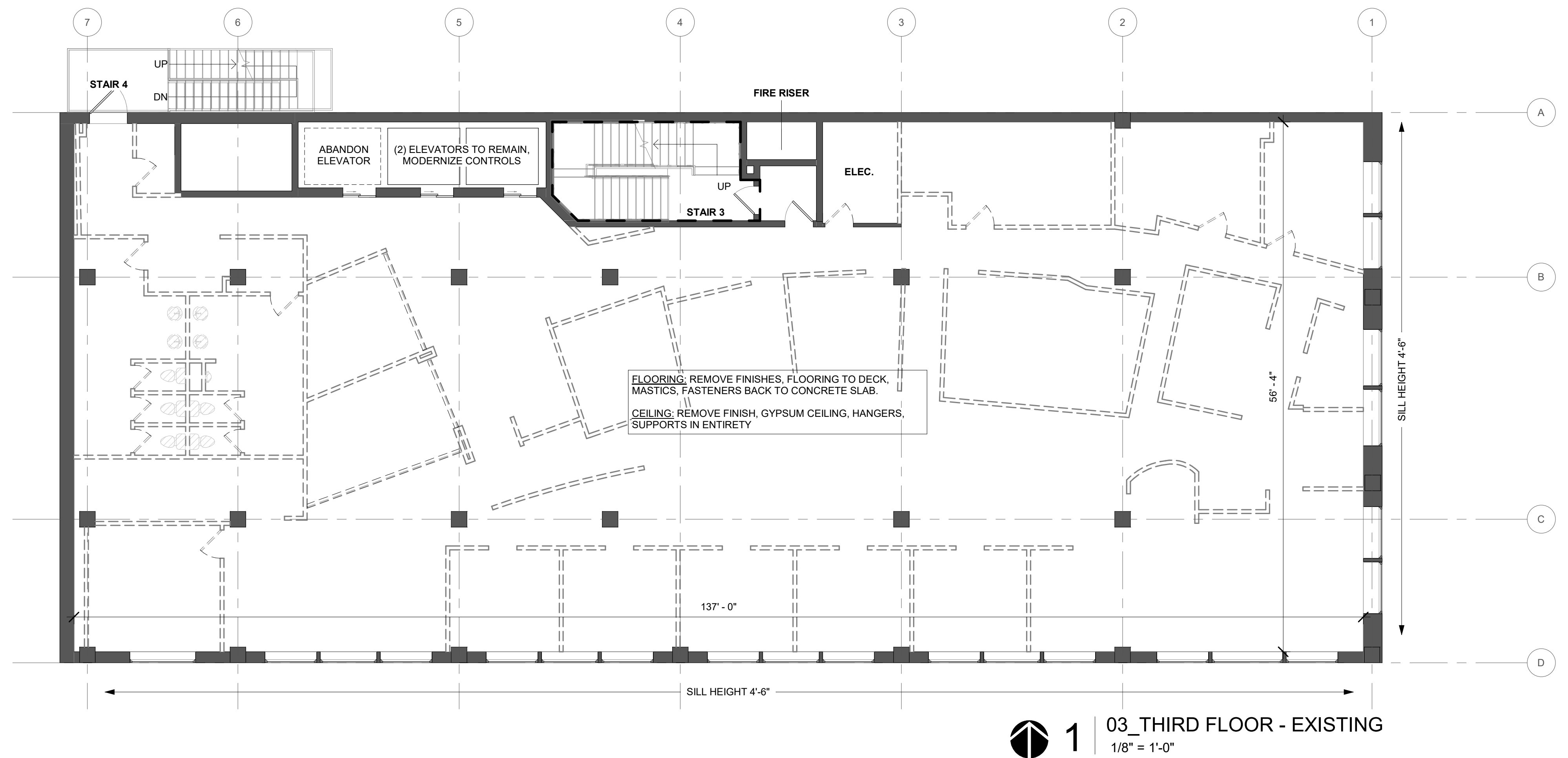
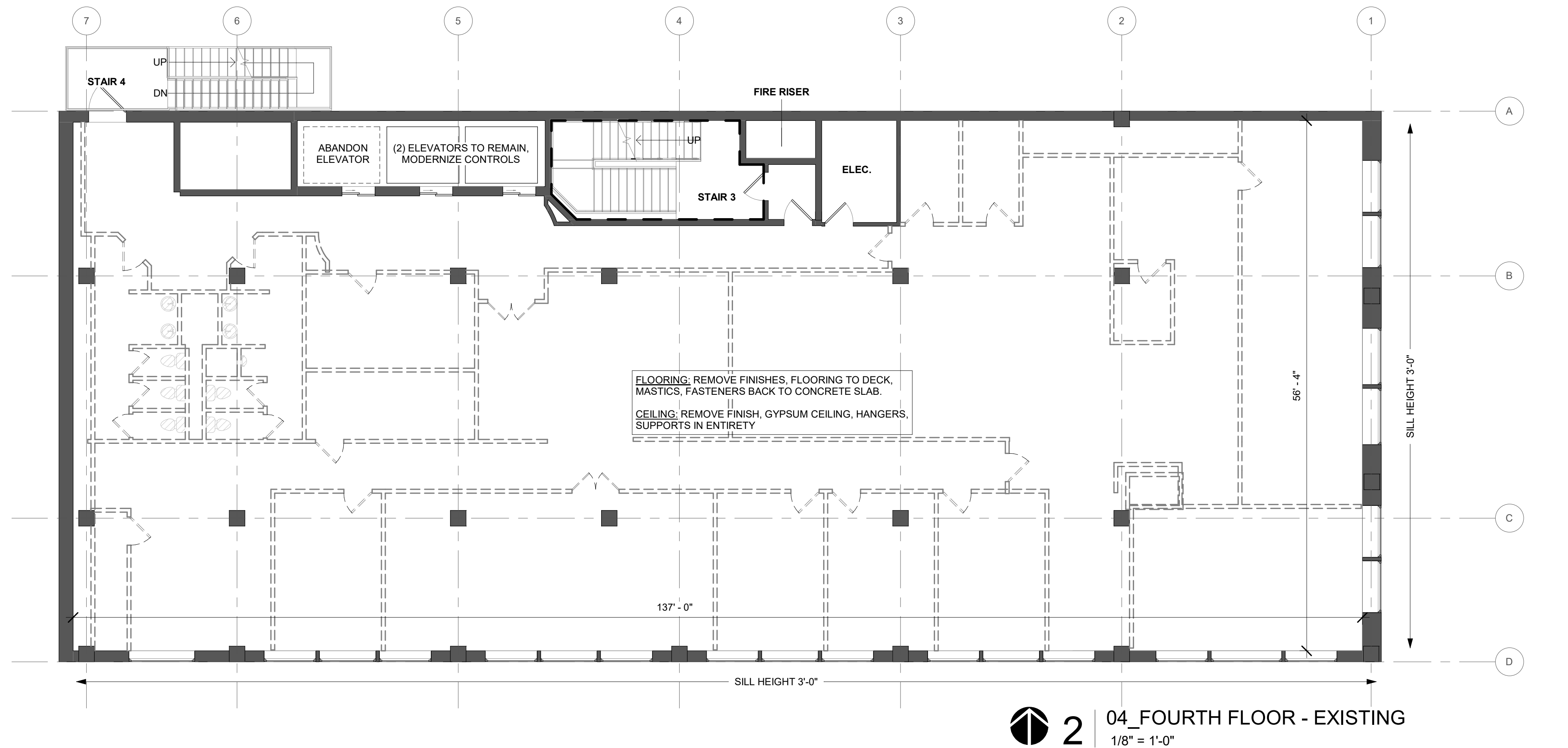
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of Case No. CD-CPC-2026-00013 on 3/18/2026

Sara Gabriel
SARA GABRIEL, FAICP
Secretary of the City Plan Commission



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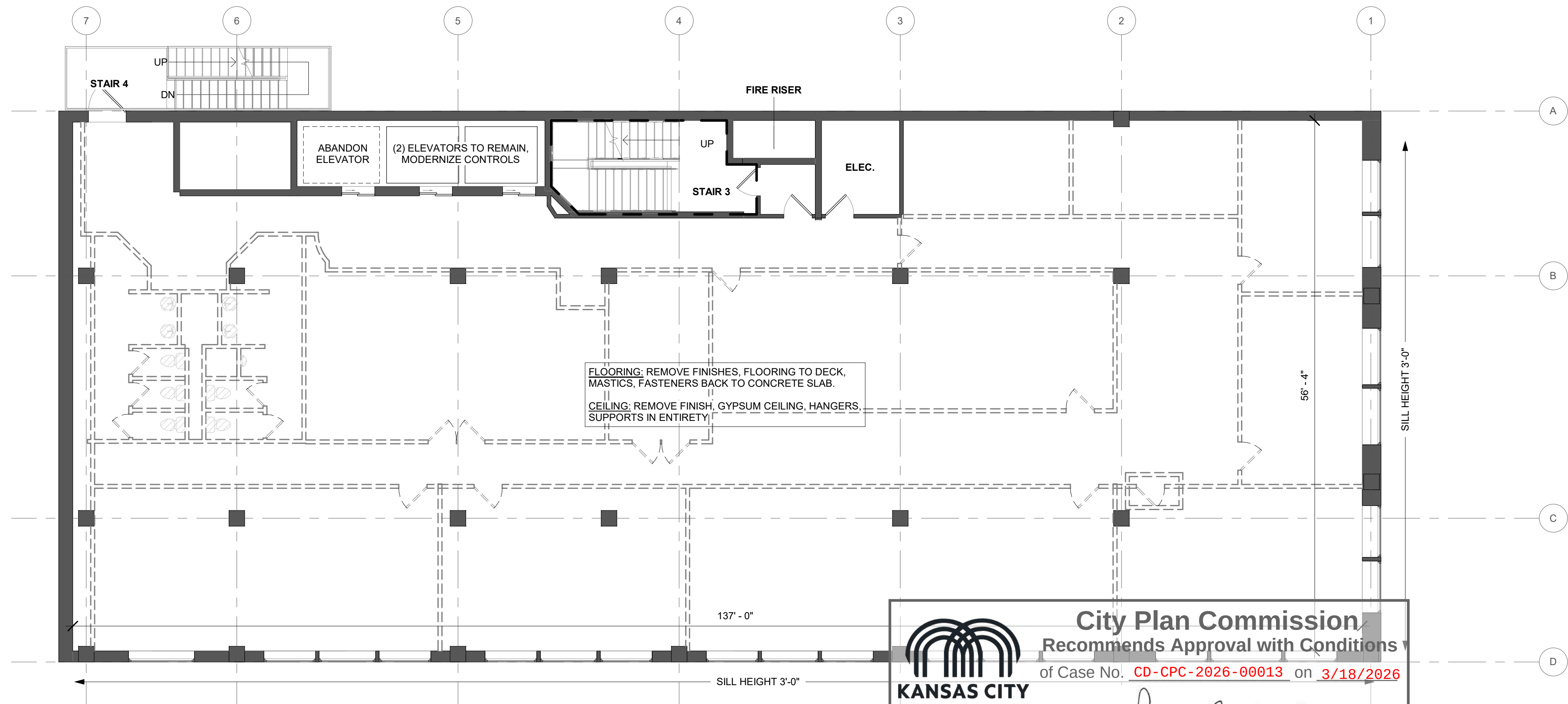
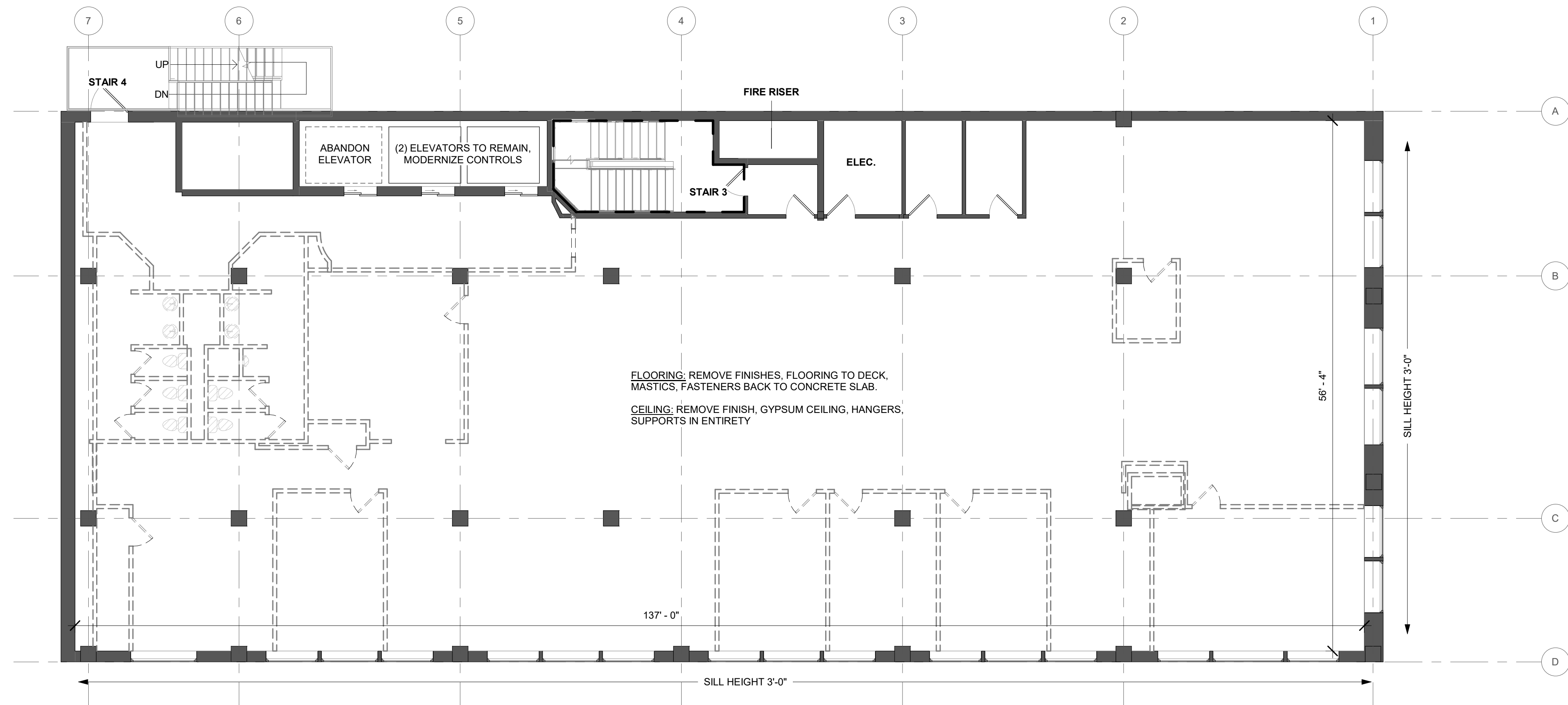
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AD.02

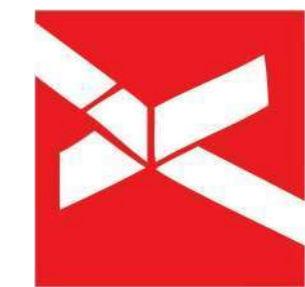
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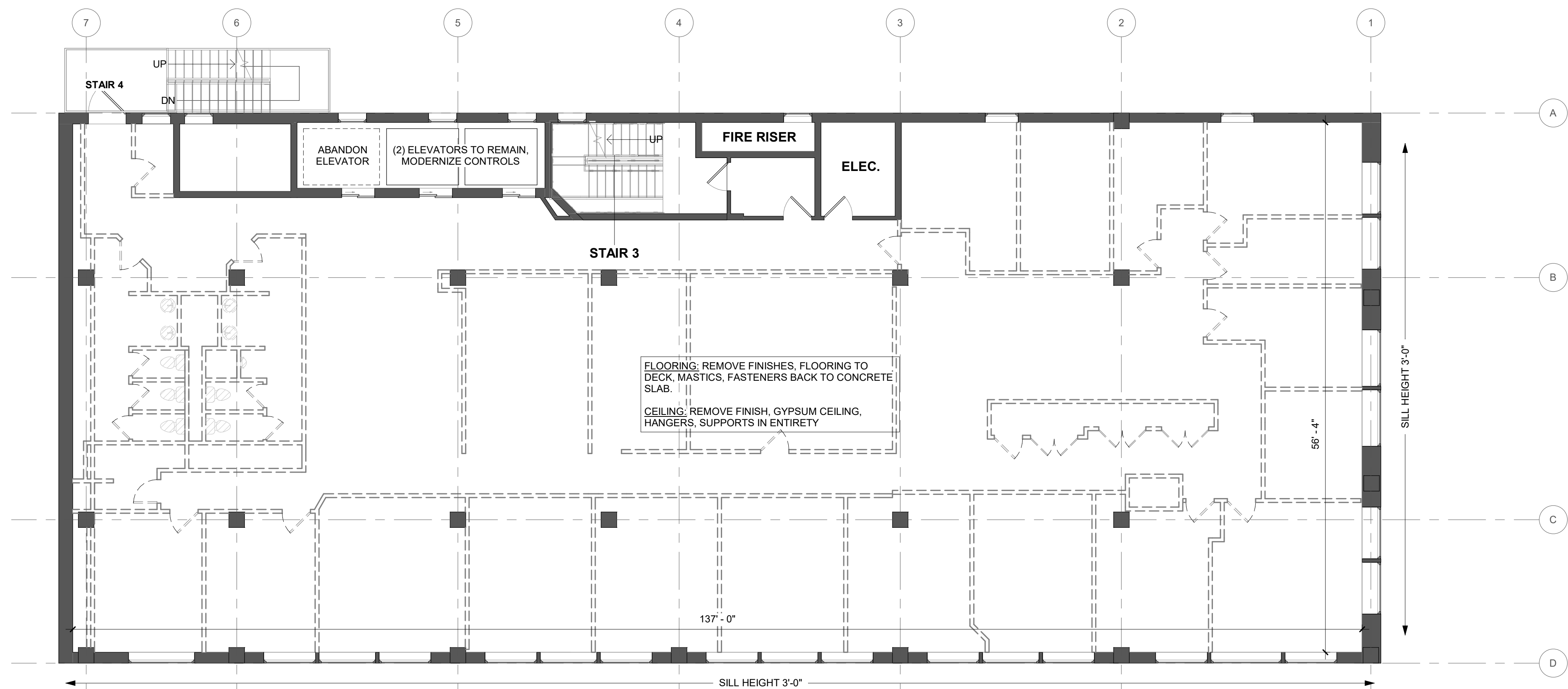
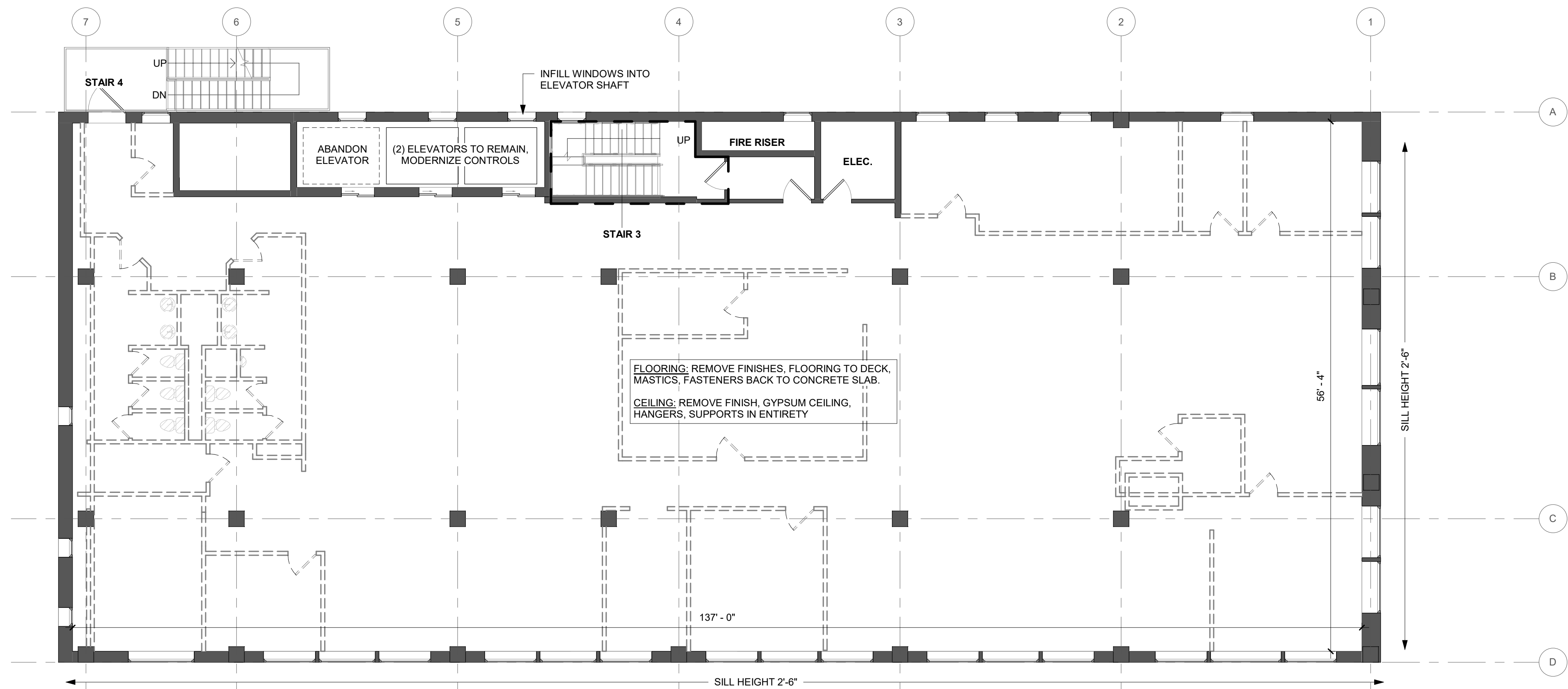
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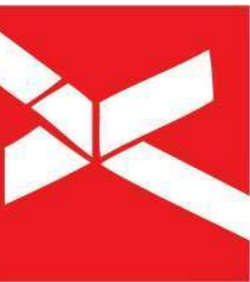
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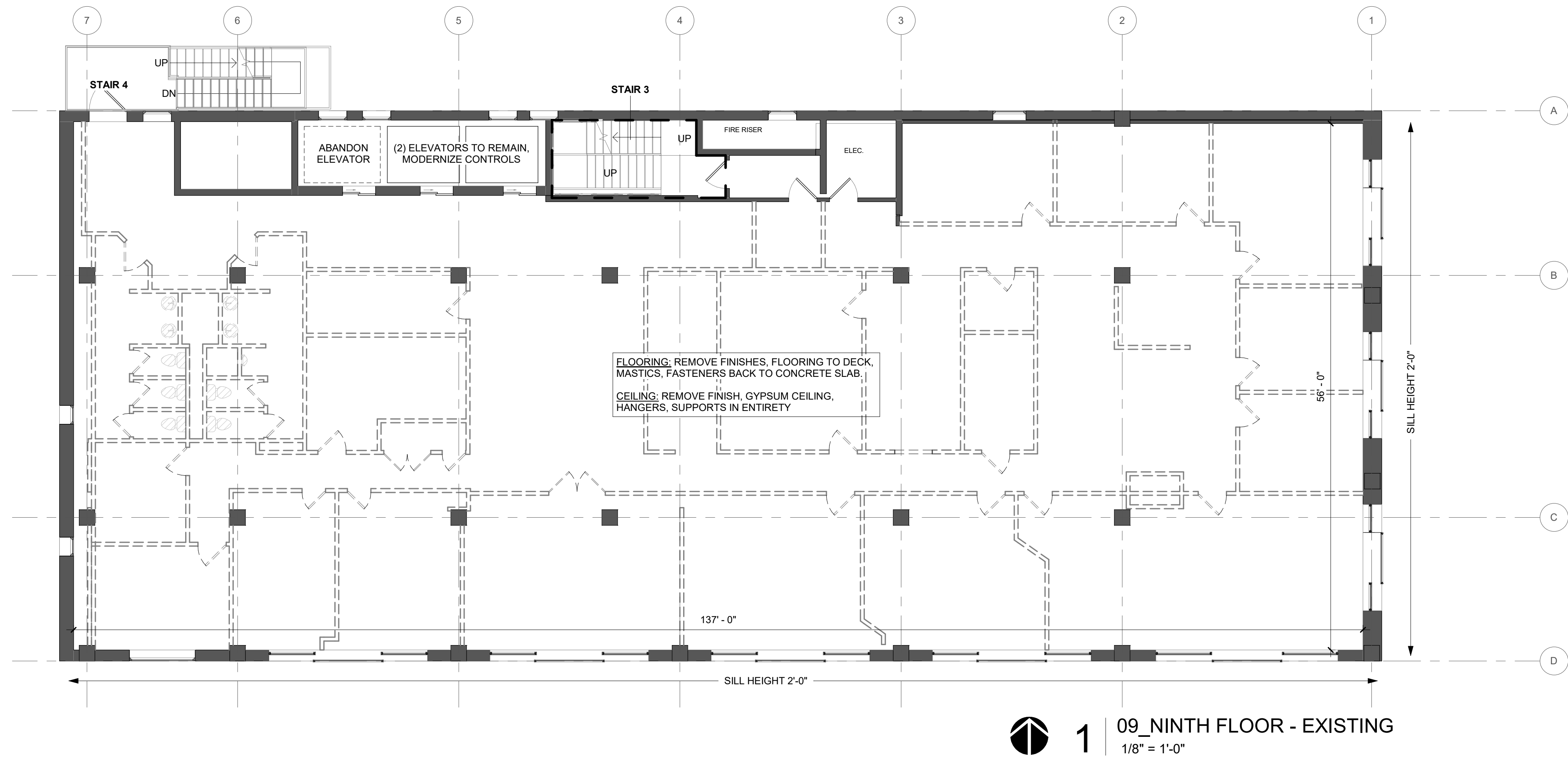
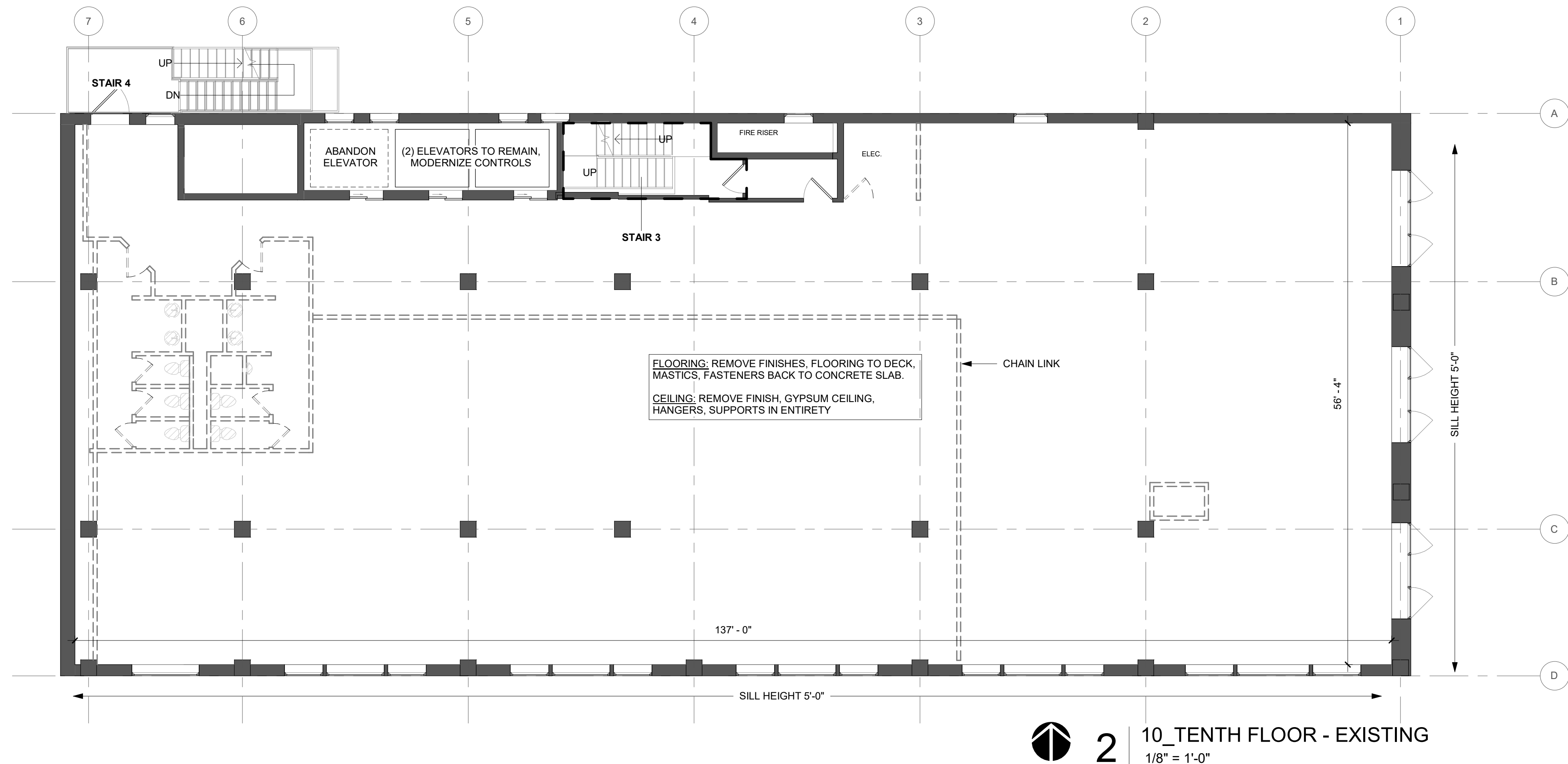
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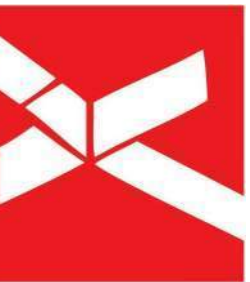
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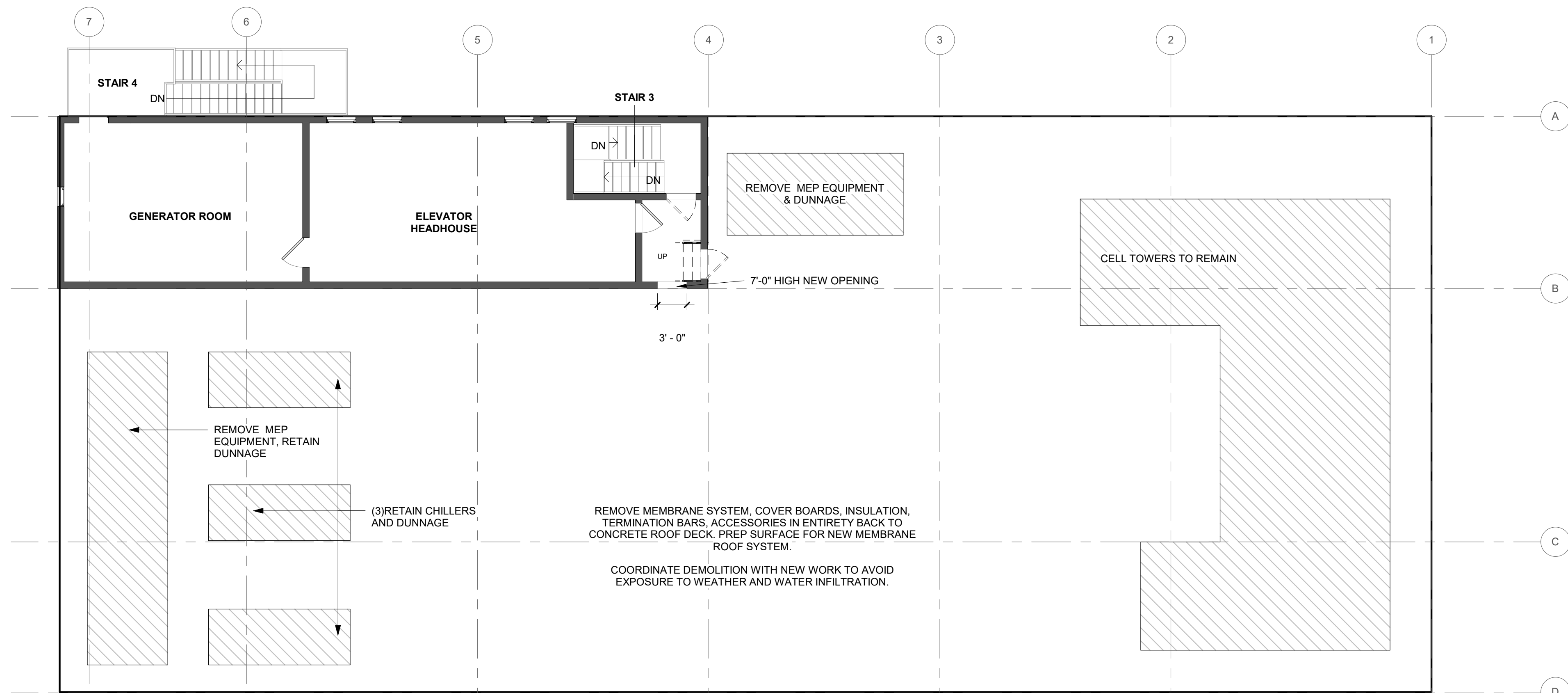
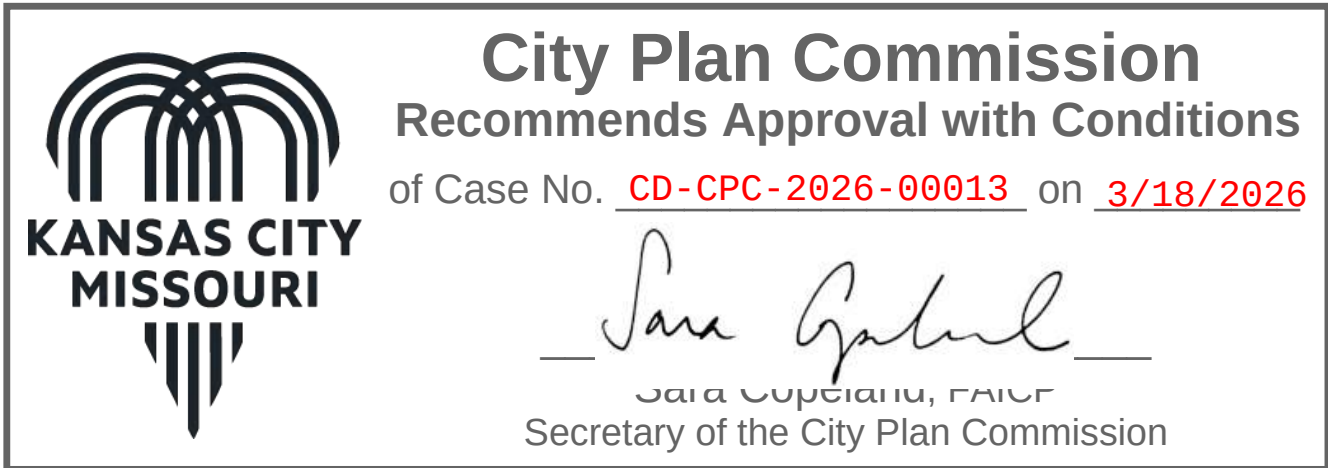
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- DEMOLISH ALL PLUMBING FIXTURES, PIPING, VALVES, ETC. NOT REQUIRED FOR THE NEW WORK, IN THEIR ENTIRETY, BACK TO THE ORIGINAL SOURCE, TYPICAL.
- DEMOLITION WORK INCLUDES THE REMOVAL OF WALL AND CEILING FINISHES TO MAKE WAY FOR NEW CONCEALED MEP AND SPRINKLER ROUTING. FINISHED SURFACE DEMOLITION FOR ROUTING SHOULD BE MINIMAL AND IS EXPECTED TO BE AS NEEDED FOR ADEQUATE AND ORGANIZED ROUTING.
- PRE-BID FIELD WALK REQUIRED.
- REMOVE ALL NON-HISTORIC LAY-IN GRID CEILINGS. COORDINATE PLASTER CEILING REMOVAL LOCATIONS WITH NEW WORK/MEP DESIGN.

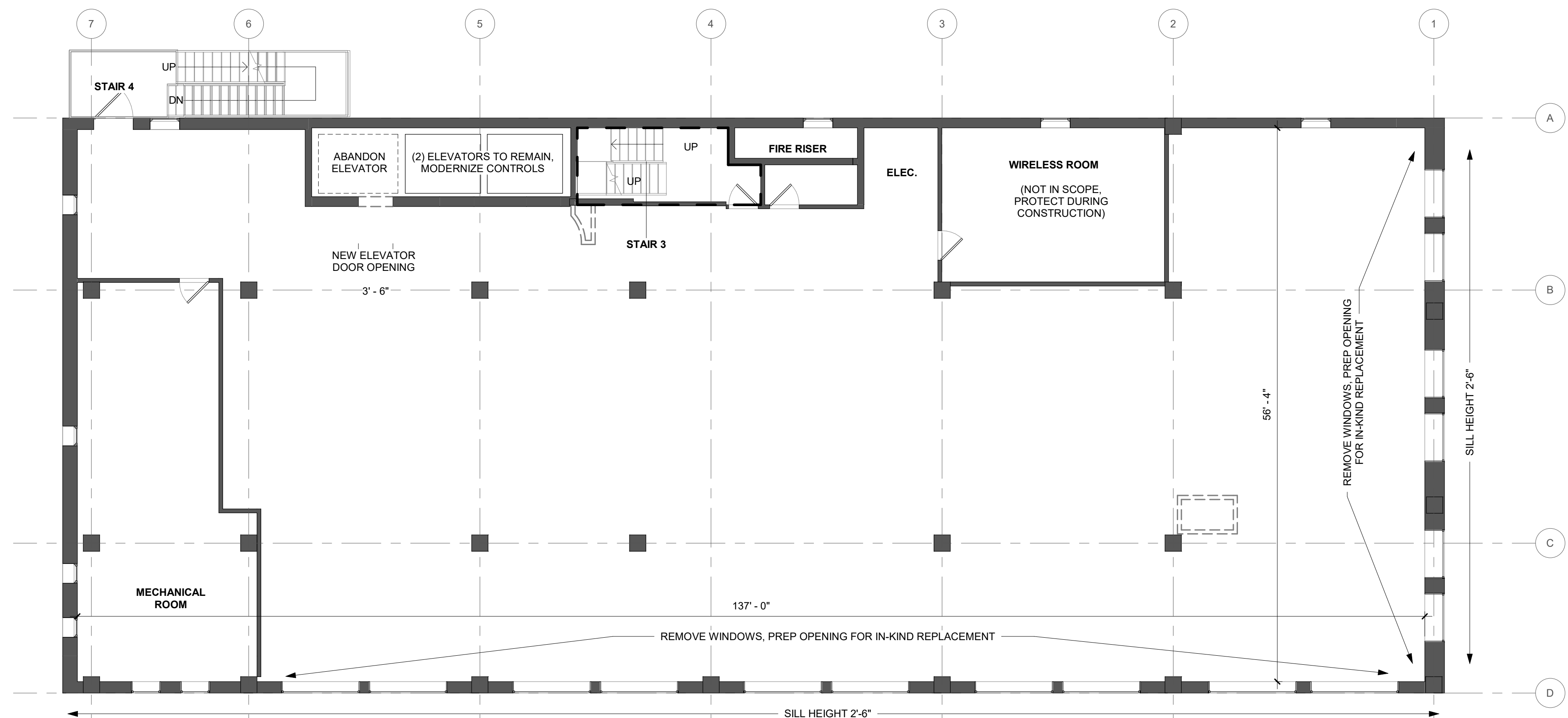
	EXISTING WALL TO REMAIN.
	EXISTING WALL TO BE DEMOLISHED.
	EXISTING DOORS TO REMAIN.
	EXISTING DOORS TO BE DEMOLISHED.

STAIR SCHEDULE			
NAME	LOWER LIMIT	UPPER LIMIT	COMMENTS
STAIR 1	01_FIRST FLOOR	01.5_MEZZANINE	ALL FINISHES TO REMAIN, REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR
STAIR 2	00_LOWER LEVEL	02_SECOND FLOOR	ALL FINISHES TO REMAIN, REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR
STAIR 4	02_SECOND FLOOR	ROOFTOP AMENITY	REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR



2

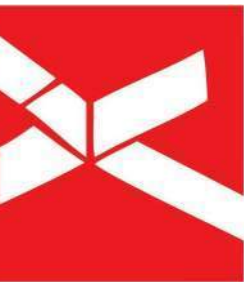
MAIN BUILDING ROOF
1/8" = 1'-0"



1

11_ELEVENTH FLOOR - EXISTING
1/8" = 1'-0"

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+O, LLC
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NOT FOR CONSTRUCTION

GEORGE B. PECK DRY GOODS CO.

KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
ANNIE@EXACTARCHITECTS.COM
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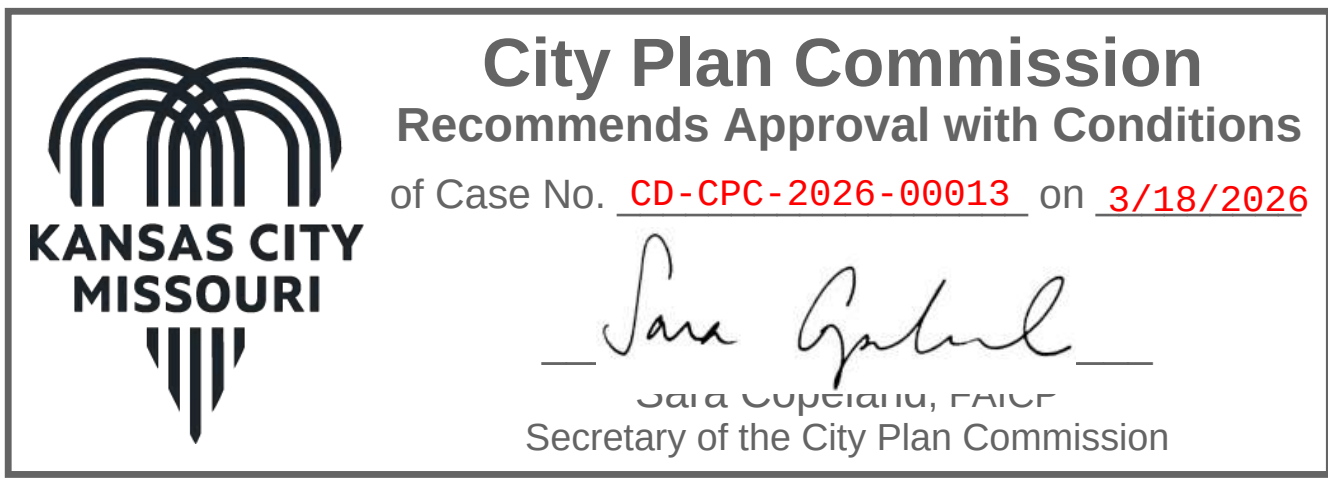
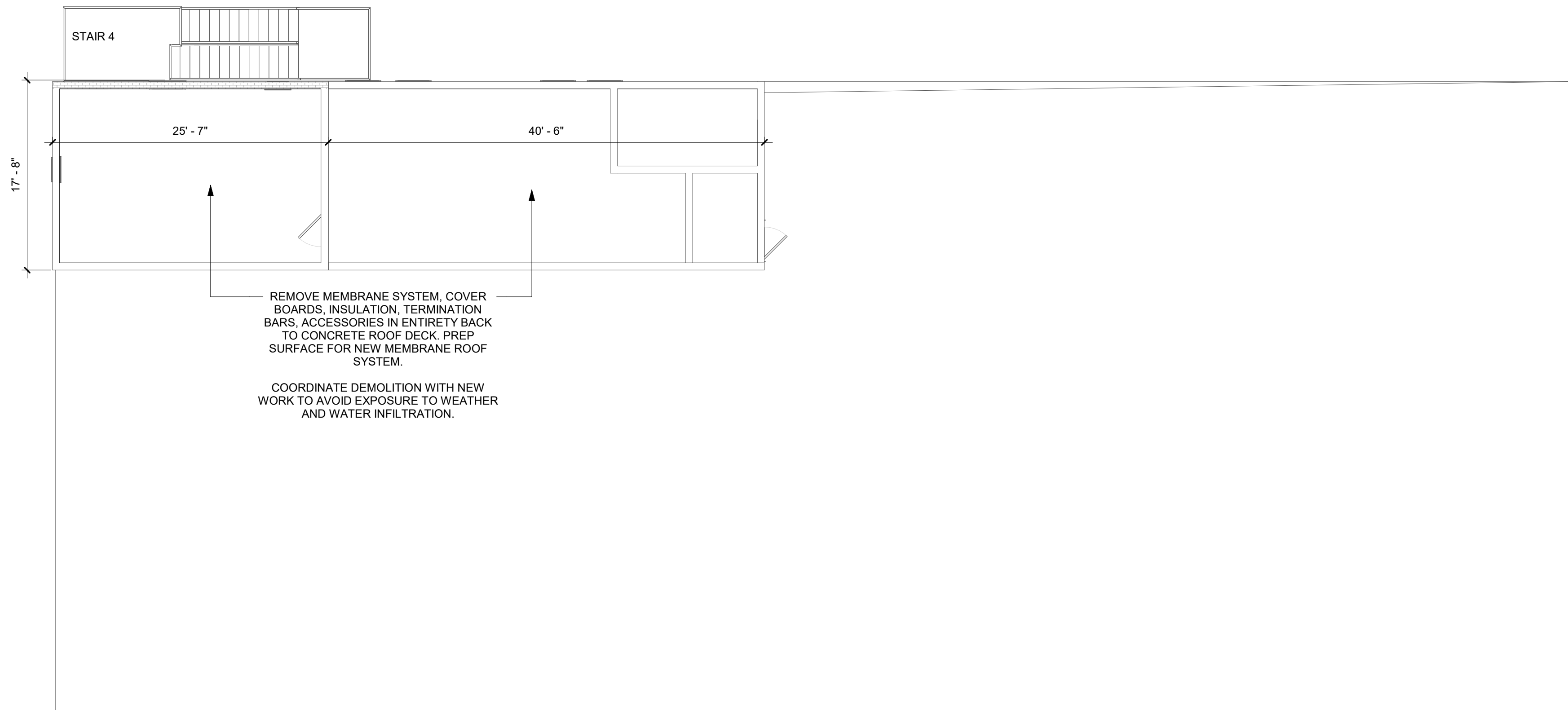
EXISTING &
DEMOLITION FLOOR
PLAN

AD.06

1. THE DESIGN INTENT FOR NEW PLAN PREPARATION IS TO PROVIDE A FULLY COORDINATED AND PREPARED SPACE READY FOR NEW WORK AND FINISHED AND FUNCTIONAL FOR TENANT USE. ALL CEILING, WINDOW, ETC. OPENINGS SCHEDULED TO BE REPLACED SHALL BE REMOVED AND THE OPENING PREPARED FOR NEW OPENING INSTALLATION. NON-HISTORIC WALLS, FINISHES, FLOORS, ETC. SHALL BE REMOVED AND HISTORIC SURFACES BEYOND SHALL BE PREPPED FOR NEW WORK.
2. ALL HISTORIC MATERIALS SHALL BE PROTECTED DURING CONSTRUCTION, TYPICAL. THE EXISTING LOCATIONS OF HISTORIC MATERIALS ARE NOT SHOWN EXCLUSIVELY ON THE DRAWINGS FOR THE CONTRACTORS RESPONSIBILITY TO UNDERSTAND AND THE BUILDINGS EXISTING CONDITIONS AND HISTORIC FABRIC PRIOR TO BIDDING. REMOVAL OF ITEMS WITHOUT PRIOR APPROVAL BY ARCHITECT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY FOR ANY REQUIRED WORK ASSOCIATED WITH HISTORIC ITEMS.
3. DURING ALL DEMOLITION WORK, CARE SHALL BE TAKEN WITH ALL REMOVAL TO MAINTAIN AND PRESERVE HISTORIC MATERIALS, TYPICAL. ALL CONTRACTORS SHALL BE RESPONSIBLE TO REPAIR ALL ITEMS TO THEIR BEFORE CONSTRUCTION CONDITION WHERE DAMAGED DURING CONSTRUCTION, TYPICAL.
4. WHERE WALLS ARE DESIGNATED FOR REMOVAL, ADJACENT HISTORIC FINISHES SHALL REMAIN INTACT AND SHALL BE PATCHED AND REPAIRED. ALL HISTORIC WOOD MILLWORK, WHERE EXISTING, SHALL BE REMOVED AND REPAIRED, TYPICAL. ALL CONTRACTORS SHALL, ALL EXISTING PLASTER SURFACES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION, TYPICAL.
6. ALL DIMENSIONS SHOWN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
7. WHERE POSSIBLE, ALL ORIGINAL HISTORIC FLOORING, WALL AND CEILING FINISHES SHALL REMAIN IN PLACE. DEMOLISH AREAS BEYOND REPAIR AND PREP FOR NEW SURFACE U.N.O. PER PLAN.
8. EXISTING HISTORIC TRIM AND MOLDING SHALL BE KEPT IN PLACE, RESTORED AND LEFT EXPOSED IN THE NEW PLANS.
11. ALL MISC. HISTORIC FABRIC SCHEDULED TO BE REMOVED (INCLUDING BUT NOT LIMITED TO DOORS, PARTITIONS, TRIM, WINDOWS, ETC.) SHALL BE SALVAGED, STORED AND REUSED IN HISTORIC LOCATIONS, TYPICAL.
12. REMOVE PLYWOOD, ALL METAL GRATES, AWNINGS, AND ANY OTHER NON-HISTORIC WINDOW COVERING OR ACCESSORY. REMOVE, REPAIR AND RESTORE WINDOWS, PER PLANS, AND ELEVATIONS.
13. DEMOLISH ALL MECHANICAL SYSTEMS AND EQUIPMENT NOT REQUIRED FOR THE NEW WORK, IN THEIR ENTIRETY, BACK TO THE ORIGINAL SOURCE, TYPICAL.
14. DEMOLISH ALL ELECTRICAL AND NON-HISTORIC LIGHTING SYSTEMS (U.N.O.), FIRE ALARM SYSTEMS, PANELS, EXIT SIGNAGE, EXPOSED CONDUIT, WIRING, DATA, TELEPHONE, ETC. NOT REQUIRED FOR NEW WORK, IN THEIR ENTIRETY, BACK TO THE ORIGINAL SOURCE, TYPICAL.
15. REMOVAL OF ALL MECHANICAL AND PIPING SYSTEMS, ETC. NOT REQUIRED FOR THE NEW WORK, IN THEIR ENTIRETY, BACK TO THE ORIGINAL SOURCE, TYPICAL.
16. DEMOLITION WORK INCLUDES THE REMOVAL OF WALL AND CEILING FINISHES TO MAKE WAY FOR NEW CONCEALED MEP AND SPRINKLER ROUTING. FINISHED SURFACE DEMOLITION FOR ROUTING SHOULD BE MINIMAL AND IS EXPECTED TO BE ONLY AS NEEDED FOR ADEQUATE ACCESS AND ORGANIZED ROUTING.
17. PRE-BID FIELD WORK REQUIRED.
18. REMOVE ALL NON-HISTORIC LAY-IN GRID CEILINGS. COORDINATE PLASTER CEILING REMOVAL LOCATIONS WITH NEW WORK/MEP DESIGN.

	EXISTING WALL TO REMAIN.
	EXISTING WALL TO BE DEMOLISHED.
	EXISTING DOORS TO REMAIN.
	EXISTING DOORS TO BE DEMOLISHED.

STAIR SCHEDULE			
NAME	LOWER LIMIT	UPPER LIMIT	COMMENTS
STAIR 1	01_FIRST FLOOR	01.5_MEZZANINE	ALL FINISHES TO REMAIN, REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR
STAIR 2	00_LOWER LEVEL	02_SECOND FLOOR	ALL FINISHES TO REMAIN, REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR
STAIR 3			
STAIR 4	02_SECOND FLOOR	ROOFTOP AMENITY	REPLACE-IN-KIND WHERE DAMAGED BEYOND REPAIR



NOT FOR CONSTRUCTION

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APPLICANT:
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ANNIE@EXACTARCHITECTS.COM
630-699-2329

[illegible]

SEE DEMOLITION FLOOR PLANS FOR EXISTING ITEMS TO REMOVE.

A. AFTER DEMOLITION, REPAIR ALL SURFACES THAT WILL REMAIN EXPOSED TO VIEW TO A SMOOTH & UNIFORM APPEARANCE. NEW FINISHES AND REPAIR WORK SHALL MATCH EXISTING FINISHES, COORDINATE AREA WITH ADJACENT AREAS OF THE PROJECT.

B. REPAIR ALL DAMAGED EXISTING STRUCTURAL ELEMENTS, FOUNDATION WALLS, BEARING WALLS, STRUCTURE (COLUMNS, BEAMS, JOISTS, FLOORS & ROOF DECKING), INFILL ALL VACATED FLOOR OPENINGS AND AREAS OF MISSING OR DAMAGED FINISH FLOORING. IN BASEMENT FILL ALL NEW & MISC FLOOR SLAB OPENINGS W/ MINIMUM 4" REINFORCED CONCRETE SLAB ON 6 MIL VAPOR BARRIER ON MINIMUM 4" COMPACTED GRAVEL.

D. REPAIR ALL DAMAGED MASONRY OR BLOCK INTERIOR WALLS AS REQUIRED. PATCH ALL INTERIOR HOLES SMALLER THAN A 1/2 BRICK IN SIZE W/ MORTAR. HOLES THE SIZE OF A 1/2 BRICK OR LARGER SHALL BE REPLACED W/ FULL SIZE MASONRY UNITS TO MATCH EXISTING. REPAIR ALL WALLS AS NEEDED. PATCH & REPAIR ALL MASONRY OR BLOCK WALL AREAS EXPOSED TO VIEW TO REFINISH TO MATCH ADJACENT AREAS.

E. CONSULT STRUCTURAL ENGINEER FOR ALL MASONRY & LINTEL WORK AS REQUIRED. LINTELS ARE LOCATED AT ALL FLAT HEAD MASONRY OPENINGS. REPLACE ALL DAMAGED & FAILED METAL LINTELS W/ NEW AS REQUIRED, HOT-DIPPED GALVANIZED FINISH AT EXTERIOR LOCATIONS. REPAIR ALL EXISTING LINTELS. FIRE BRUSH CLEAN & PAINT METALS EXPOSED TO VIEW. LINTEL COATS TO MATCH ADJACENT EXISTING LINTELS, PAINT ALL METALS, 1 PRIME COAT & 2 FINISH COATS, SEMI-GLOSS.

F. REFER TO EXTERIOR ELEVATIONS FOR WORK ASSOCIATED WITH THE BUILDING FACADE AND ASSOCIATED OPENINGS.

G. REFER TO DOOR SCHEDULE FOR DOOR & HARDWARE REQUIREMENTS. THE HINGE SIDE OF DOOR JAMBS SHALL BE 4" FROM THE ADJACENT WALL, U.N.O

H. ALL NEW INTERIOR WALLS BY TYPE I, U.N.O REFER TO WALL TYPE SHEET FOR TYPICAL CONSTRUCTION.

I. NOT USED

J. ALL FLOORCEILING, ROOF/CEILING & WALL PENETRATIONS ARE TO BE PROPERLY FIRECAULKED, FIRESTOPPED, SMOKE/FIRE DAMPERED, ETC AS REQUIRED TO MAINTAIN THE FIRE RESISTIVE RATING OF THE RESPECTIVE ASSEMBLIES, AS REQUIRED BY CODE. RE: LIFE SAFETY PLANS AND CODE ANALYSIS FOR REQUIRED LOCATIONS OF RATED WALLS.

K. ALL INTERIOR WALLS THAT ABUT NON-GYPSUM BOARD SURFACES OR STRUCTURAL MEMBER SHALL BE FITTED TOGETHER TO A NON-GYPSUM BOARD SURFACE. CONSULT ARCHITECT AS NEEDED DURING CONSTRUCTION.

L. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERLIGHT, AIRTIGHT, ETC PERFORMANCE. INSTALL ACOUSTICAL FIRE CAULK AT ALL PENETRATIONS OF FLOORS, WALLS & CEILINGS THAT SEPARATE APARTMENT UNITS FROM OTHER APARTMENT UNITS, STAIRWELL ENCLOSURES, ETC.

M. DUCTWORK EXPOSED TO VIEW TO BE SPIRAL TYPE GALVANIZED SHEETMETAL, SUPPORTED BY TENSION CABLE SYSTEM, W/ SHEETMETAL COLLARS AT WALL PENETRATIONS. ALL REFRIGERANT PIPING TO BE CONCEALED WITHIN CONSTRUCTION.

N. ALL DOMESTIC WATER PIPING TO BE CONCEALED WITHIN CONSTRUCTION. PLUMBING WASTE PIPING TO BE SHOWN IN CONSTRUCTION TO FULLEST EXTENT POSSIBLE, ALL EXPOSED PLUMBING WASTE PIPING TO BE CAST IRON. INSTALL INSULATION ON ALL PIPING PONE TO CONDENSATION (PAINTABLE COVERS AT EXPOSED INSULATION). FIRE SPRINKLER PIPING EXPOSED TO VIEW TO BE METAL PIPE. ELECTRICAL SYSTEMS TO BE CONCEALED WITHIN CONSTRUCTION TO THE FULLEST EXTENT POSSIBLE. ALL EXPOSED WIRING, SHALL BE ENCLOSED IN CONDUIT.

O. NOT USED

P. INSTALL NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT ENTIRE BUILDING, AS REQUIRED BY CODE, METALLIC PIPE TYPE WHERE EXPOSED. INCLUDE SPRINKLERING OF CONCEALED AREAS AND EQUIPMENT ROOMS BY CITY DEPARTMENT. SPRINKLER SYSTEM SHALL BE MONITORED BY A PROPRIETARY SUPERVISING STATION (ALARM COMPANY). DESIGN-BUILD SUBCONTRACTOR TO SUBMIT REQUIRED DRAWINGS TO CITY CODE DEPARTMENT AS A DEFERRED SUBMITTAL. INSTALL ESCUTCHEONS AT ALL PENETRATIONS. ALL TRIM & HEADS BRUSHED CHROME FINISH.

Q. ALL EXPOSED MEP, FIRE SPRINKLER, ETC ITEMS TO BE INSTALLED IN A NEAT AND ORDERLY MANNER WITH: CHANGES TO BE MADE TO THE CONTRACT DOCUMENTS TO UNDERSIDE OF STRUCTURE OR DECK ABOVE, AND WALLS. CONSULT ARCHITECT & MEP ENGINEER AS NEEDED.

R. ALL STORAGE CLOSETS SHALL HAVE AN INTERIOR DEPTH OF 2'-0" MIN. RE: WALL TYPE SHEET.

S. INSTALL IN-WALL BLOCKING AS REQUIRED TO SECURELY ANCHOR CABINETS, TOILET ACCESSORIES, SHELVING, HANGING, SHOWER ACCESSORIES, ETC. RE: SPEC SECTION 061000.

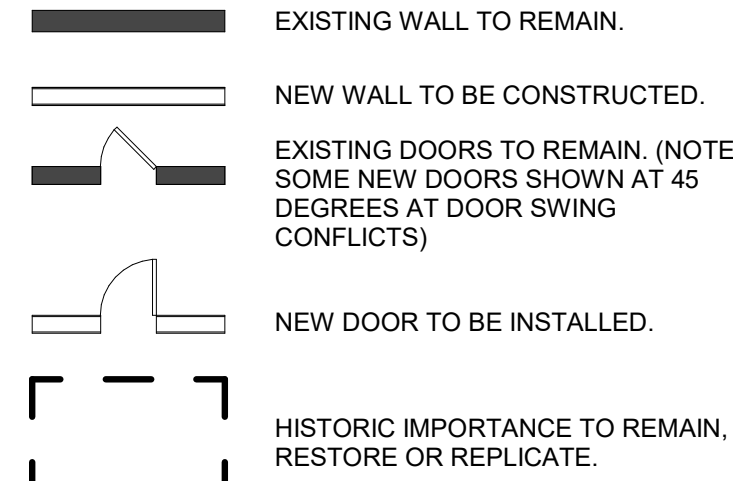
T. REPAIR OR REPLACE CRACKS, ELEVATOR SHAFT, ELEVATOR PIT, ELEVATOR SHAFT WALLS & EXIT PASSAGEWAYS EXCEPT FOR MEP REQUIRED FOR THE SHAFTS / PASSAGeways.

U. PREPARE EXISTING FLOORS FOR NEW FLOOR FINISHES PER MANUFACTURER'S REQUIREMENTS. THE DESIGNATED ACCESSIBLE APARTMENT UNITS SHALL BE CONSTRUCTED TO "TYPE A" ACCESSIBILITY REQUIREMENTS OF ICC A117.1 - 2009. REFER TO PLAN FOR UNIT LOCATIONS.

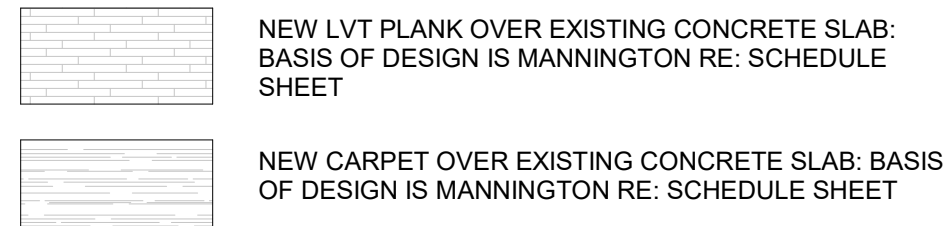
V. REFER TO FLOOR PLANS FOR VARIATION IN UNIT DIMENSIONS. ENLARGED PLANS ARE GUIDELINES FOR UNIT LAYOUTS.

NOTE: GRAPHICS ARE STANDARD, U.N.O

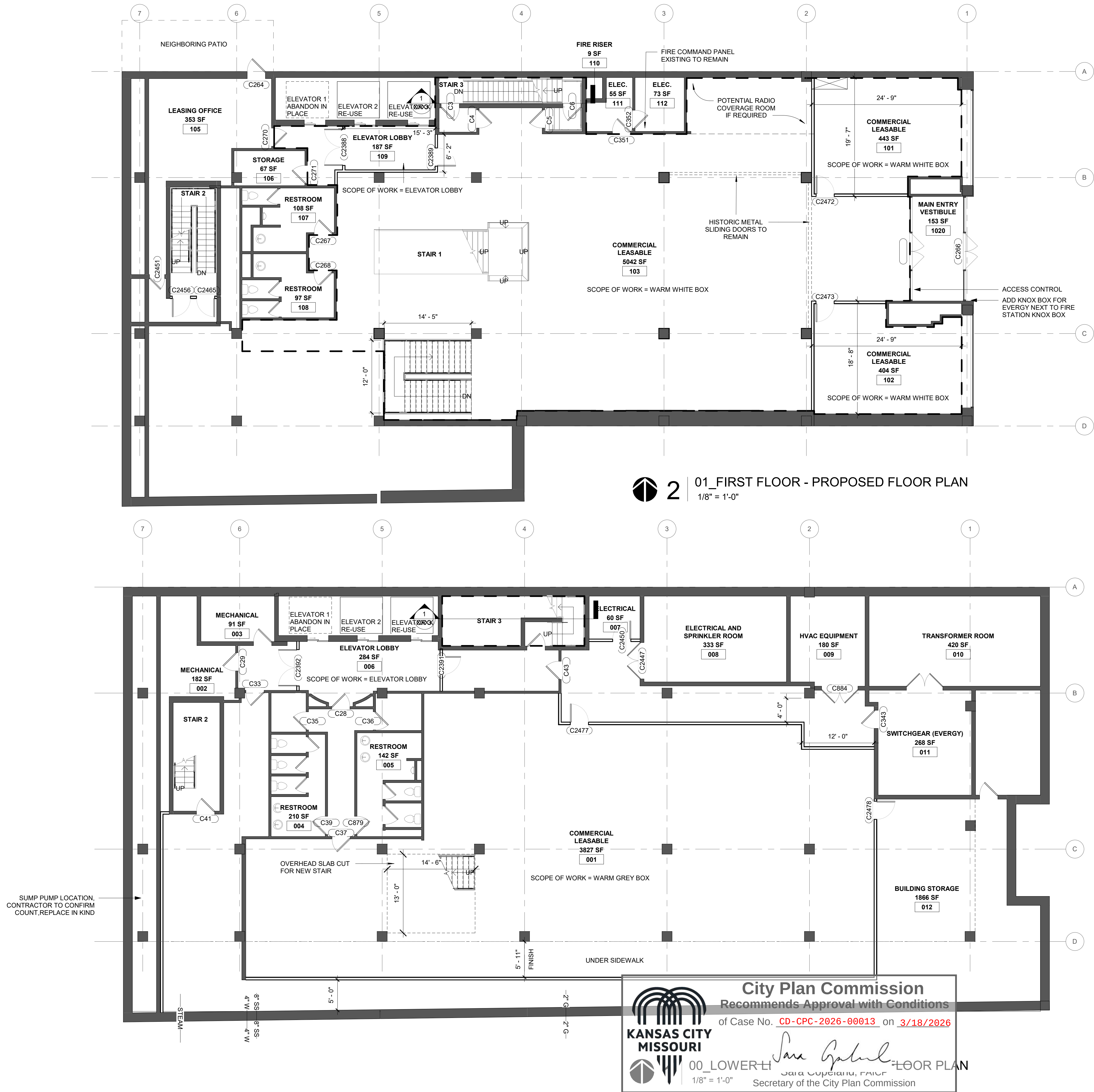
EXISTING WALL TO REMAIN



CONTRACTOR IS RESPONSIBLE FOR BIDDING A COMPLETE TAKE-OFF,
INCLUDING ALL UNITS. RE: SCHEDULE FOR ESTIMATE TAKE-OFF.
PRODUCTS ARE BASIS OF DESIGN, ALTERNATES MUST BE REVIEWED AND
APPROVED BY ARCHITECT.

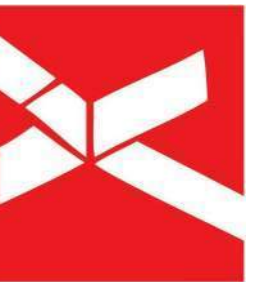


SCOPE OF WORK	
WARM GRAY BOX	
WALLS:	FUR-OUT ALL WALLS, PREPARE WALLS FOR FUTURE TENANT FINISHES.
FLOOR:	GRIND HIGH SPOTS, FILL LOW SPOTS THEN APPLY FLOOR LEVELING COMPOUND
WALL BASE:	TENANT TO INSTALL
CEILING:	OPEN STRUCTURE. PATCH AND REPAIR IN-KIND, READY FOR PAINT.
WARM WHITE BOX	
WALLS:	FUR-OUT ALL WALLS, PREPARE WALLS FOR FUTURE TENANT FINISHES.
FLOOR:	GRIND HIGH SPOTS, FILL LOW SPOTS THEN APPLY FLOOR LEVELING COMPOUND AND APPLY FLOORING PER FLOOR PLANS
WALL BASE:	4" RUBBER BASE RE: FINISH SCHEDULE
CEILING:	REPAIR GYPSUM CEILING AND INSTALL LIGHTS PER RCP'S
ELEVATOR LOBBY	
WALLS:	REFINISH ALL EXISTING GYPSUM BOARD WALLS AS REQUIRED. PATCH IMPERFECTIONS, SKIM COAT WHERE NECESSARY, AND SAND SMOOTH. PREPARE WALLS FOR PAINT.
FLOOR:	APPLY FLOOR LEVELING COMPOUND TO ENSURE SMOOTH AND EVEN SURFACE READY FOR LVT FLOORING. UNLESS HISTORIC TILE- FLOORING TO REMAIN.
WALL BASE:	REPAIR WOODEN TRIM AROUND PERIMETER AND STAIN TO MATCH HISTORIC.
CEILING:	PATCH AND REPAIR GYPSUM CEILING AFTER NEW LIGHT FIXTURE INSTALLATION. U.N.O



EB BULAND, ARCHITECT | MO 2009005509

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
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NOT FOR CONSTRUCTION
GEORGE B. PECK DRY GOODS CO.

KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
ANNIE@EXACTARCHITECTS.COM
630-699-2329

[illegible]

FLOOR PLANS -
LOWER & FIRST
FLOOR

A1.00

B. SEE DEMOLITION FLOOR PLANS FOR EXISTING ITEMS TO REMOVE.

C. AFTER DEMOLITION, REPAIR ALL SURFACES THAT WILL REMAIN EXPOSED TO VIEW TO A SMOOTH & UNIFORM APPEARANCE. NEW FINISHES AND REPAIR WORK SHALL MATCH EXISTING FINISHES, COORDINATE AREAS OF CONCERN WITH ARCHITECT.

D. REPAIR ALL DAMAGED INTERIOR STRUCTURAL ELEMENTS FOUNDATION WALLS, BEARING WALLS, STRUCTURE (COLUMNS, BEAMS, JOISTS, FLOOR & ROOF DECKING), INFILL ALL VACATED FLOOR OPENINGS AND AREAS OF MISSING OR DAMAGED FINISH FLOORING. IN BASEMENT FILL ALL NEW & MISC FLOOR SLAB OPENINGS W/ MINIMUM 4" REINFORCED CONCRETE SLAB ON 6 MIL. VAPOR BARRIER ON MINIMUM 4" COMPACTED GRAVEL.

E. REPAIR ALL DAMAGED MASONRY OR BLOCK INTERIOR WALLS AS REQUIRED. PATCH ALL INTERIOR HOLES SMALLER THAN A 1/2 BRICK IN SIZE W/ MORTAR. HOLES THE SIZE OF A 1/2 BRICK OR LARGER SHALL BE REPLACED W/ FULL SIZE MASONRY UNITS TO MATCH EXISTING. REPOINT ALL WALLS AS NEEDED. PATCH & REPAIR ALL MASONRY OR BLOCK WALL AREAS EXPOSED TO VIEW WITH REFINISHED MASONRY.

F. CONSULT STRUCTURAL ENGINEER FOR ALL MASONRY & LINTEL WORK AS REQUIRED. LINTELS ARE LOCATED AT ALL FLAT HEAD MASONRY OPENINGS. REPLACE ALL DAMAGED & FAILED METAL LINTELS W/ NEW AS REQUIRED. HOT-DIPPED GALVANIZED FINISH AT EXTERIOR LOCATIONS. REPAIR ALL EXISTING LINTELS. WIRE BRUSH CLEAN & PAINT METALS EXPOSED TO VIEW. LINTEL COLOR MATCH ADJACENT EXISTING LINTELS, PAINT ALL METALS, 1 PRIME COAT & 2 FINISH COATS. SEMI-GLOSS.

G. REFER TO EXTERIOR ELEVATIONS FOR WORK ASSOCIATED WITH THE BUILDING FACADE AND ASSOCIATED OPENINGS.

H. REPAIR DOOR THRESHOLD FOR DOOR & HARDWARE REQUIREMENTS. THE HINGE SIDE OF DOOR JAMBS SHALL BE 4" FROM THE ADJACENT WALL, U.N.O

I. ALL NEW EXTERIOR WALLS BY TYPE 1, U.N.O REFER TO WALL TYPE SHEET FOR TYPICAL CONSTRUCTION.

J. NOT USED

K. ALL FLOOR/CeILING, ROOF/CeILING & WALL PENETRATIONS ARE TO BE PROPERLY FIRECAULKED, FIRESTOPPED, SMOKE/FIRE DAMPERED, ETC AS REQUIRED TO MAINTAIN THE FIRE RESISTIVE RATING OF THE RESPECTIVE ASSEMBLIES, AS REQUIRED BY CODE. RE: LIFE SAFETY PLANS AND CODE ANALYSIS FOR REQUIRED LOCATIONS OF RATED WALLS.

L. ALL INTERIOR WALLS THAT ABUT NON-GYPSUM BOARD SURFACES OR STRUCTURAL MEMBER SHALL BE FITTED TIGHTLY TO THE ADJACENT NON-GYPSUM BOARD SURFACE. CONSULT ARCHITECT AS NEEDED DURING CONSTRUCTION.

M. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERIGHT, AIRTIGHT, ETC PERFORMANCE. INSTALL ACoustical FIRE CAULK AT ALL PENETRATIONS OF FLOORS, WALLS & Ceilings THAT SEPARATE APARTMENT UNITS FROM OTHER APARTMENT UNITS, PER DETAIL.

N. DUCTWORK EXPOSED TO VIEW TO BE SPIRAL TYPE GALVANIZED SHEETMETAL, SUPPORTED BY TENSION CABLE SYSTEM, W/ SHEETMETAL COLLARS AT WALL PENETRATIONS. ALL REFRIGERANT PIPING TO BE CONCEALED WITHIN CONSTRUCTION.

O. ALL DOMESTIC WATER SERVING TO BE CONCEALED WITHIN CONSTRUCTION. PLUMBING WASTE PIPING TO BE CONCEALED WITHIN CONSTRUCTION TO FULLEST EXTENT POSSIBLE, ALL EXPOSED PLUMBING WASTE PIPING TO BE CAST IRON. INSTALL INSULATION ON ALL PIPING PRONE TO CONDENSATION (PAINTABLE COVERS AT EXPOSED INSULATION). FIRE SPRINKLER PIPING EXPOSED TO VIEW TO BE METAL TYPE. ELECTRICAL SYSTEMS TO BE CONCEALED WITHIN CONSTRUCTION TO THE FULLEST EXTENT POSSIBLE. ALL EXPOSED WIRING SHALL BE ENCLOSED IN CONDUIT.

P. NOT USED

Q. INSTALL NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT ENTIRE BUILDING, AS REQUIRED BY CODE, METALLIC PIPE TYPE WHERE EXPOSED. INCLUDE SPRINKLERING OF CONCEALED AREAS OF CONCERN AS REQUIRED BY CITY DEPARTMENT AS SUPERVISED BY A PROPRIETARY SUPERVISING STATION (ALARM COMPANY). DESIGN-BUILD SUBCONTRACTOR TO SUBMIT REQUIRED DRAWINGS TO CITY CODE DEPARTMENT AS A DEFERRED SUBMITTAL. INSTALL ESCUTCHEONS AT ALL PENETRATIONS. ALL TRIM & HEADS BRUSHED CHROME FINISH.

R. ALL EXPOSED MEP, FIRE SPRINKLER, ETC ITEMS TO BE INSTALLED IN A NEAT AND ORDERLY MANNER WITH 3/8" SPACING BETWEEN WALLS TIGHT TO UNDERSIDE OF STRUCTURE OR DECK ABOVE, AND WALLS. CONSULT ARCHITECT & MEP ENGINEER AS NEEDED.

S. ALL STORAGE CLOSETS SHALL HAVE AN INTERIOR DEPTH OF 2'-0" MIN. RE:WALL TYPE SHEET.

T. INSTALL IN-WALL BLOCKING AS REQUIRED TO SECURELY ANCHOR CABINETS, TOILET ACCESSORIES, SHELVING, HANDRAILS, SHOWER ACCESSORIES, ETC. RE: SPEC SECTION 061000.

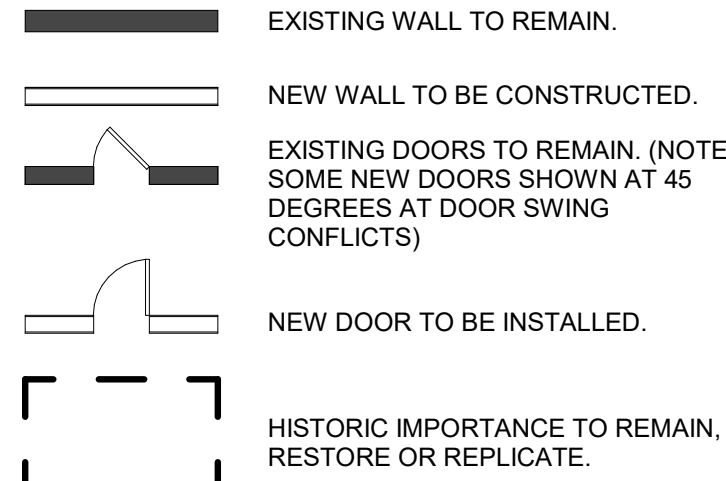
U. THERE SHALL BE NO ELEVATOR SHAFTS, ELEVATOR PIT, ELEVATOR MACHINE ROOMS, ETC. EXIT PASSAGeways EXCEPT FOR MEP REQUIRED FOR THE SHAFTS / PASSAGWAYS.

V. PREPARE EXISTING FLOORS FOR NEW FLOOR FINISHES PER MANUFACTURER'S REQUIREMENTS.

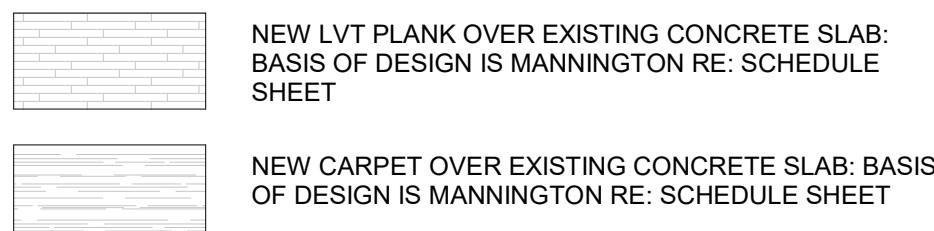
W. THE DESIGNATED ACCESSIBLE APARTMENT UNITS SHALL BE CONSTRUCTED TO "TYPE A" ACCESSED AS PER REQUIREMENTS OF ICC A117.1 - 2009. REFER TO PLAN FOR UNIT LOCATIONS. REFER TO FLOOR PLANS FOR VARIATION IN UNIT DIMENSIONS. ENLARGED PLANS ARE GUIDELINES FOR UNIT LAYOUTS.

NOTE: GRAPHICS ARE STANDARD, U.N.O

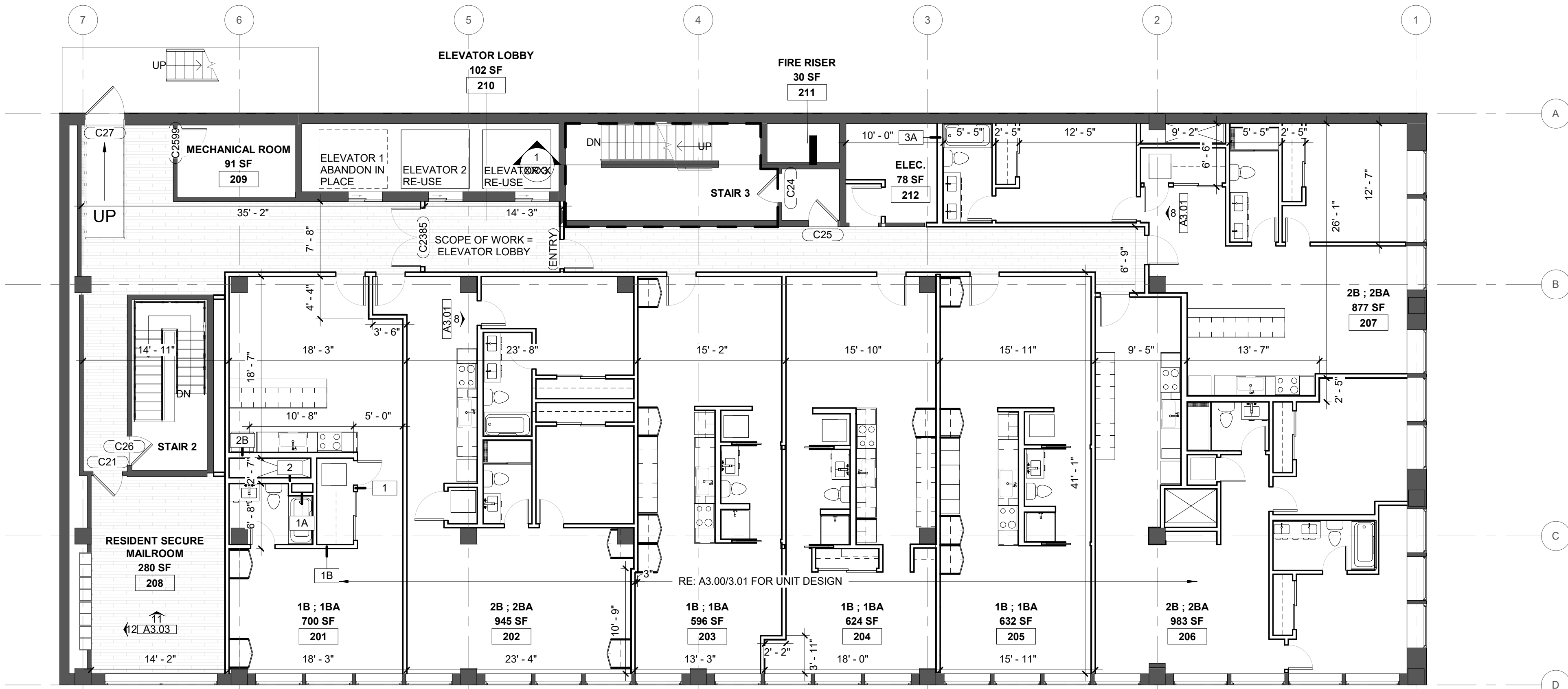
 EXISTING WALL TO REMAIN.



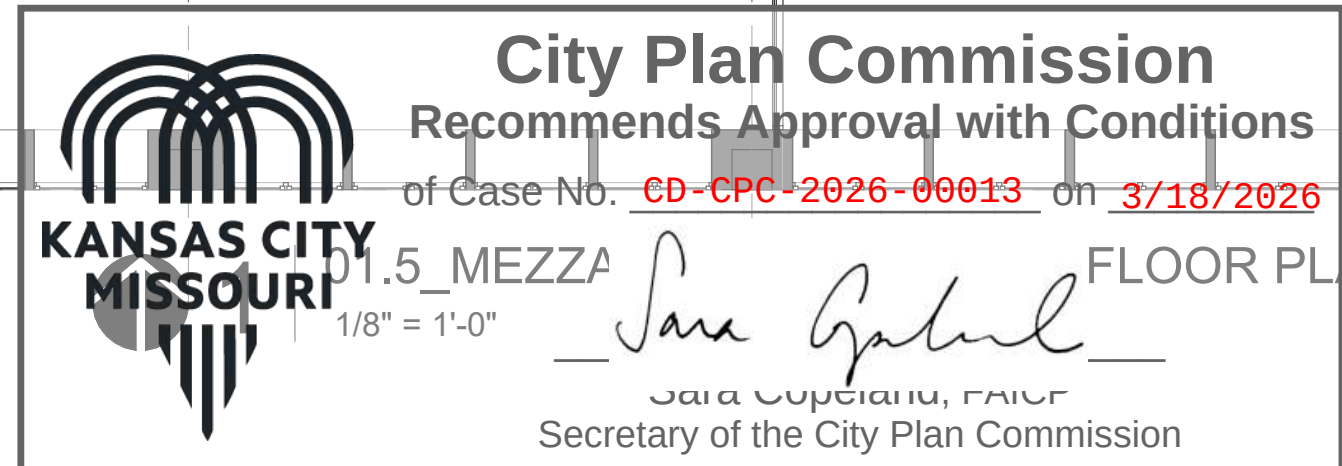
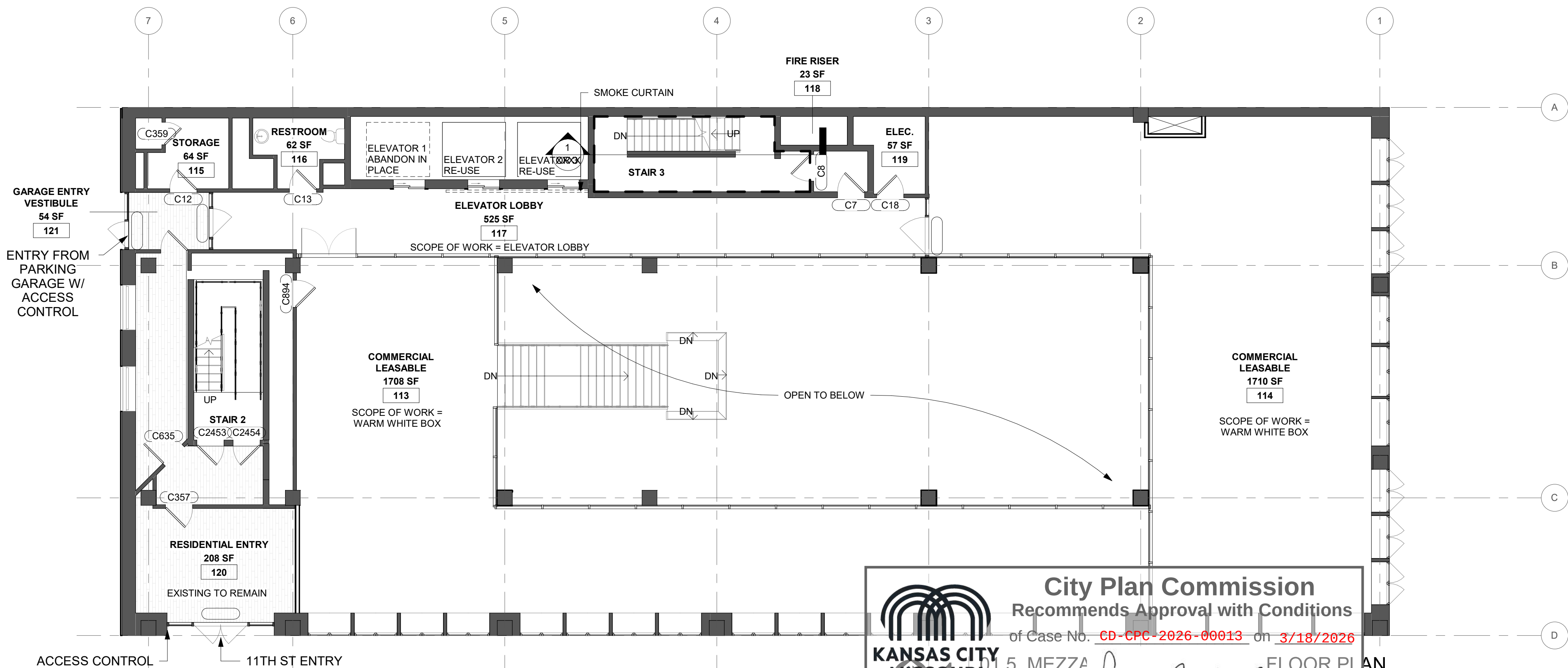
CONTRACTOR IS RESPONSIBLE FOR BIDDING A COMPLETE TAKE-OFF,
INCLUDING ALL UNITS. RE: SCHEDULE FOR ESTIMATE TAKE-OFF.
PRODUCTS ARE BASIS OF DESIGN, ALTERNATES MUST BE REVIEWED AND
APPROVED BY ARCHITECT.



SCOPE OF WORK	
WARM GRAY BOX	
WALLS:	FUR-OUT ALL WALLS, PREPARE WALLS FOR FUTURE TENANT FINISHES.
FLOOR:	GRIND HIGH SPOTS, FILL LOW SPOTS THEN APPLY FLOOR LEVELING COMPOUND
WALL BASE:	TENANT TO INSTALL
CEILING:	OPEN STRUCTURE. PATCH AND REPAIR IN-KIND, READY FOR PAINT.
WARM WHITE BOX	
WALLS:	FUR-OUT ALL WALLS, PREPARE WALLS FOR FUTURE TENANT FINISHES.
FLOOR:	GRIND HIGH SPOTS, FILL LOW SPOTS THEN APPLY FLOOR LEVELING COMPOUND AND APPLY FLOORING PER FLOOR PLANS
WALL BASE:	4" RUBBER BASE RE: FINISH SCHEDULE
CEILING:	REPAIR GYPSUM CEILING AND INSTALL LIGHTS PER RCP'S
ELEVATOR LOBBY	
WALLS:	REFINISH ALL EXISTING GYPSUM BOARD WALLS AS REQUIRED. PATCH IMPERFECTIONS, SKIM COAT WHERE NECESSARY, AND SAND SMOOTH. PREPARE WALLS FOR PAINT.
FLOOR:	APPLY FLOOR LEVELING COMPOUND TO ENSURE SMOOTH AND EVEN SURFACE READY FOR LVT FLOORING. UNLESS HISTORIC TILE- FLOORING TO REMAIN.
WALL BASE:	REPAIR WOODEN TRIM AROUND PERIMETER AND STAIN TO MATCH HISTORIC.
CEILING:	PATCH AND REPAIR GYPSUM CEILING AFTER NEW LIGHT FIXTURE INSTALLATION. U.N.O

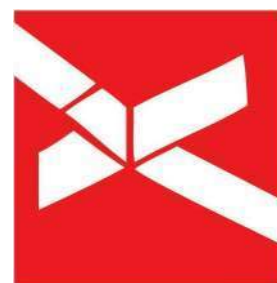


 2 | 02_SECOND FLOOR - PROPOSED FLOOR PLAN
1/8" = 1'-0"



CALEB BULAND, ARCHITECT | MO 2009005509

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE AND, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



NOT FOR CONSTRUCTION
GEORGE B. PECK DRY GOODS CO.

1044 MAIN ST
KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
ANNIE@EXACTARCHITECTS.COM
630-699-2329

ISSUE	DATE	NO
DD Review	26-0130	1
Development Plan	26-0206	2
Development Plan	26-0226	3

[illegible]

FLOOR PLANS -
MEZZANINE & SECOND
FLOOR

A1.01

GENERAL NEW PLAN NOTES:

- A. SEE DEMOLITION FLOOR PLANS FOR EXISTING ITEMS TO REMAIN.
- B. AFTER DEMOLITION, REPAIR ALL SURFACES THAT WILL REMAIN EXPOSED TO VIEW TO A SMOOTH & UNIFORM APPEARANCE. NEW FINISHES AND REPAIR WORK SHALL MATCH EXISTING FINISHES, COORDINATE ANY AREAS OF CONCERN WITH ARCHITECT.
- C. REPAIR ALL DAMAGED EXISTING STRUCTURAL ELEMENTS FOUNDATION WALLS, BEARING WALLS, STRUCTURE (COLUMNS, BEAMS, JOISTS, FLOOR & ROOF DECKING). INFILL ALL VACATED FLOOR OPENINGS AND AREAS OF MISSING OR DAMAGED FINISH FLOORING. IN BASEMENT FILL ALL NEW & MISC FLOOR SLAB OPENINGS W/ MINIMUM 4" REINFORCED CONCRETE SLAB ON 6 MIL. VAPOR BARRIER ON MINIMUM 4" COMPACTED GRAVEL.
- D. REPAIR ALL DAMAGED MASONRY OR BLOCK INTERIOR WALLS AS REQUIRED. PATCH ALL INTERIOR HOLES SMALLER THAN A 1/2 BRICK IN SIZE W/ MORTAR. HOLES THE SIZE OF A 1/2 BRICK OR LARGER SHALL BE REPLACED W/ FULL SIZE MASONRY UNITS TO MATCH EXISTING. REPOINT ALL WALLS AS NEEDED. PATCH & REPAIR ALL MASONRY OR BLOCK WALL AREAS EXPOSED TO VIEW. RE: REFINISH SCHEDULE.
- E. CONSULT STRUCTURAL ENGINEER FOR ALL MASONRY & LINTEL WORK AS REQUIRED. LINTELS ARE LOCATED AT ALL FLAT HEAD MASONRY OPENINGS. REPLACE ALL DAMAGED & FAILED METAL LINTELS W/ NEW AS REQUIRED, HOT-DIPPED GALVANIZED FINISH AT EXTERIOR LOCATIONS. REPAIR ALL EXISTING LINTELS. WIRE BRUSH CLEAN & PAINT METALS EXPOSED TO VIEW. LINTEL COLOR TO MATCH ADJACENT EXISTING LINTELS, PAINT ALL METALS, 1 PRIME COAT & 2 FINISH COATS, SEMI-GLOSS.
- F. REFER TO EXTERIOR ELEVATIONS FOR WORK ASSOCIATED WITH THE BUILDING FACADE AND ASSOCIATED OPENINGS.
- G. REFER TO DOOR SCHEDULE FOR DOOR & HARDWARE REQUIREMENTS. THE HINGE SIDE OF DOOR JAMBS SHALL BE 4" FROM THE ADJACENT WALL, U.N.O.
- H. ALL NEW INTERIOR WALLS TO BY TYPE 1, U.N.O REFER TO WALL TYPE SHEET FOR TYPICAL CONSTRUCTION.
- I. NOT USED
- J. ALL FLOOR/CEILING, ROOF/CEILING & WALL PENETRATIONS ARE TO BE PROPERLY FIRECAULKED, FIRESTOPPED, SMOKE/FIRE DAMPERED, ETC AS REQUIRED TO MAINTAIN THE FIRE RESISTIVE RATING OF THE RESPECTIVE ASSEMBLIES, AS REQUIRED BY CODE. RE: LIFE SAFETY PLANS AND CODE ANALYSIS FOR REQUIRED LOCATIONS OF RATED WALLS.
- K. ALL INTERIOR WALLS THAT ABUT NON-GYPSUM BOARD SURFACES OR STRUCTURAL MEMBER SHALL BE FITTED TIGHTLY TO THE NON-GYPSUM BOARD SURFACE. CONSULT ARCHITECT AS NEEDED DURING CONSTRUCTION.
- L. CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERTIGHT, AIRTIGHT, ETC PERFORMANCE. INSTALL ACOUSTICAL FIRE CAULK AT ALL PENETRATIONS OF FLOORS, WALLS & CEILINGS THAT SEPARATE APARTMENT UNITS FROM OTHER APARTMENT UNITS, CORRIDORS, ETC.
- M. DUCTWORK EXPOSED TO VIEW TO BE SPIRAL TYPE GALVANIZED SHEETMETAL, SUPPORTED BY TENSION CABLE SYSTEM, W/ SHEETMETAL COLLARS AT WALL PENETRATIONS. ALL REFRIGERANT PIPING TO BE CONCEALED WITHIN CONSTRUCTION.
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- O. NOT USED
- P. INSTALL NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT ENTIRE BUILDING, AS REQUIRED BY CODE, METALLIC PIPE TYPE WHERE EXPOSED. INCLUDE SPRINKLERING OF CONCEALED AREAS WHERE REQUIRED BY CODE. SPRINKLER SYSTEM SHALL BE MONITORED BY A PROPRIETARY SUPERVISING STATION (ALARM COMPANY). DESIGN-BUILD SUBCONTRACTOR TO SUBMIT REQUIRED DRAWINGS TO CITY CODE DEPARTMENT AS A DEFERRED SUBMITTAL. INSTALL ESCUTCHEONS AT ALL PENETRATIONS. ALL TRIM & HEADS BRUSHED CHROME FINISH.
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- R. ALL STORAGE CLOSETS SHALL HAVE AN INTERIOR DEPTH OF 2'-0" MIN. RE:WALL TYPE SHEET.
- S. INSTALL IN-WALL BLOCKING AS REQUIRED TO SECURELY ANCHOR CABINETS, TOILET ACCESSORIES, SHELVING, HANDRAILS, SHOWER ACCESSORIES, ETC. RE: SPEC SECTION 061000.
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- U. PREPARE EXISTING FLOORS FOR NEW FLOOR FINISHES PER MANUFACTURER'S REQUIREMENTS.
- V. THE DESIGNATED ACCESSIBLE APARTMENT UNITS SHALL BE CONSTRUCTED TO TYPE 'A' ACCESSIBILITY REQUIREMENTS OF ICC A117.1 - 2009. REFER TO PLAN FOR UNIT LOCATIONS.
- W. REFER TO FLOOR PLANS FOR VARIATION IN UNIT DIMENSIONS. ENLARGED PLANS ARE GUIDELINES FOR UNIT LAYOUTS.

NEW PLAN LEGEND

NOTE: GRAPHICS ARE STANDARD, U.N.O.

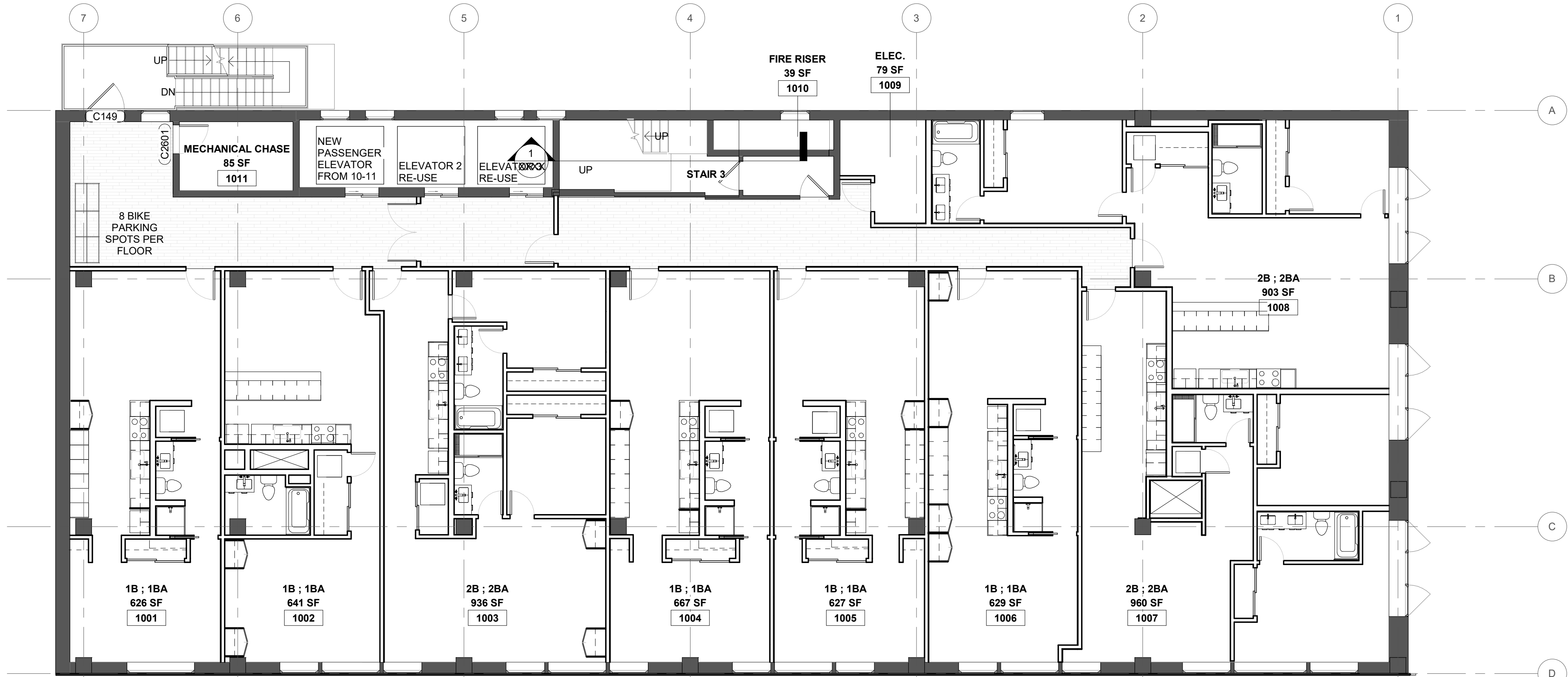
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- NEW WALL TO BE CONSTRUCTED.
- EXISTING DOORS TO REMAIN. (NOTE SOME NEW DOORS SHOWN AT 45 DEGREES AT DOOR SWING CONFLICTS)
- NEW DOOR TO BE INSTALLED.
- HISTORIC IMPORTANCE TO REMAIN, RESTORE OR REPLICATE.

FLOOR FINISH LEGEND:

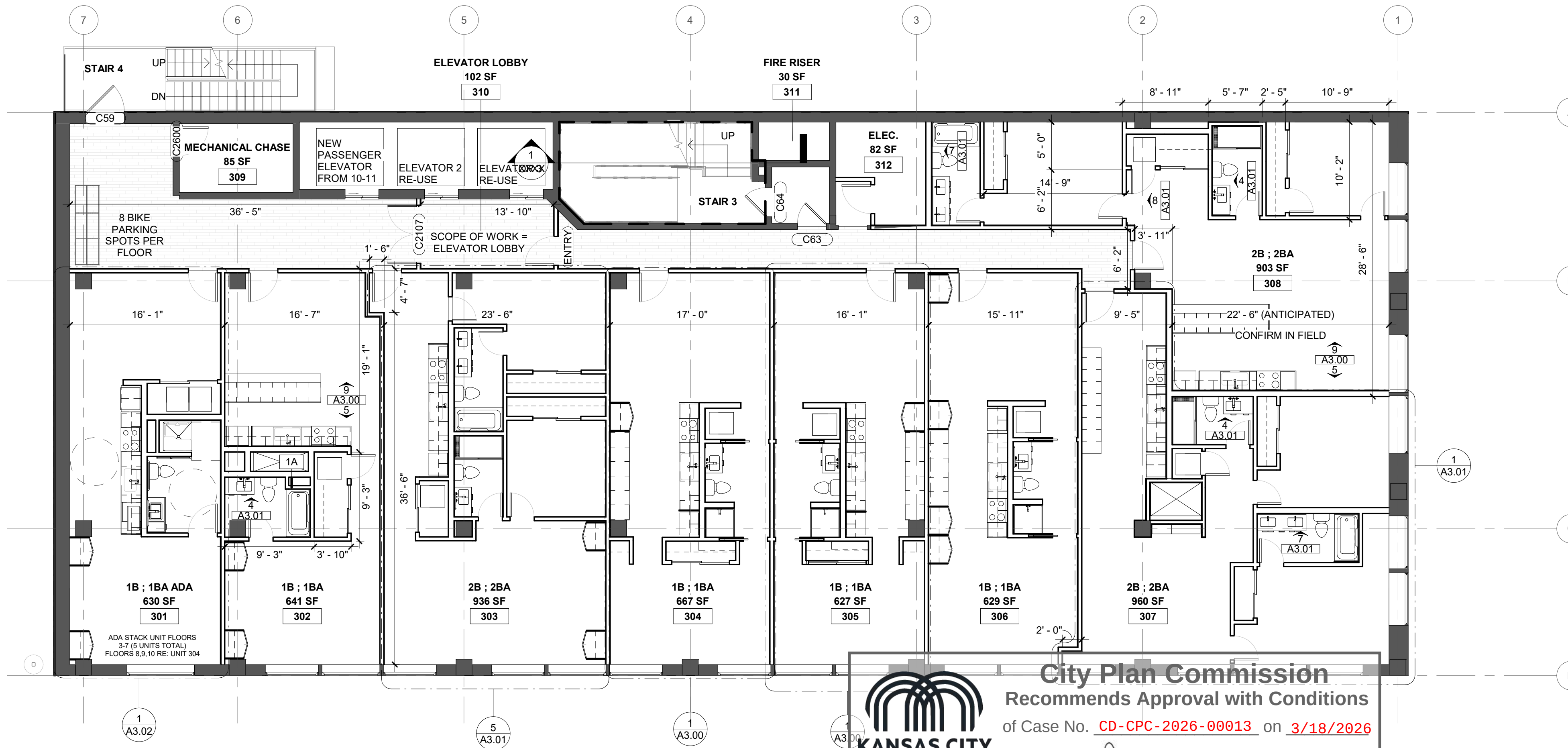
CONTRACTOR IS RESPONSIBLE FOR BIDDING A COMPLETE TAKE-OFF, INCLUDING ALL UNITS. RE: SCHEDULE FOR ESTIMATE TAKE-OFF. PRODUCTS ARE BASIS OF DESIGN, ALTERNATES MUST BE REVIEWED AND APPROVED BY ARCHITECT.

- NEW LVT PLANK OVER EXISTING CONCRETE SLAB: BASIS OF DESIGN IS MANNINGTON RE: SCHEDULE SHEET
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SCOPE OF WORK	
WARM GRAY BOX	
WALLS:	FUR-OUT ALL WALLS, PREPARE WALLS FOR FUTURE TENANT FINISHES.
FLOOR:	GRIND HIGH SPOTS, FILL LOW SPOTS THEN APPLY FLOOR LEVELING COMPOUND
WALL BASE:	TENANT TO INSTALL
CEILING:	OPEN STRUCTURE. PATCH AND REPAIR IN-KIND, READY FOR PAINT.
WARM WHITE BOX	
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WALL BASE:	4" RUBBER BASE RE: FINISH SCHEDULE
CEILING:	REPAIR GYPSUM CEILING AND INSTALL LIGHTS PER RCP'S
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2 | 10_TENTH FLOOR PROPOSED FLOOR PLAN
1/8" = 1'-0"



03-09
1/8" = 1'-0"

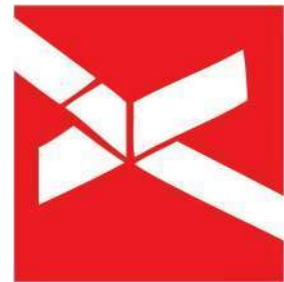
City Plan Commission
Recommends Approval with Conditions
of Case No. **CD-CPC-2026-00013** on **3/18/2026**

KANSAS CITY MISSOURI

Sara Gubel
Sara Gubel, Mayor
Secretary of the City Plan Commission

CALEB BULAND, ARCHITECT | MO 208905599

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DD	ISSUE	DATE	NO
Review	Development Plan	26-0130	1
Development Plan		26-0206	2
Development Plan		26-0226	3

FLOOR PLANS - THIRD
THRU TENTH FLOOR

A1.02

2/25/2026 4:00:02 PM

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NEW PLAN LEGEND

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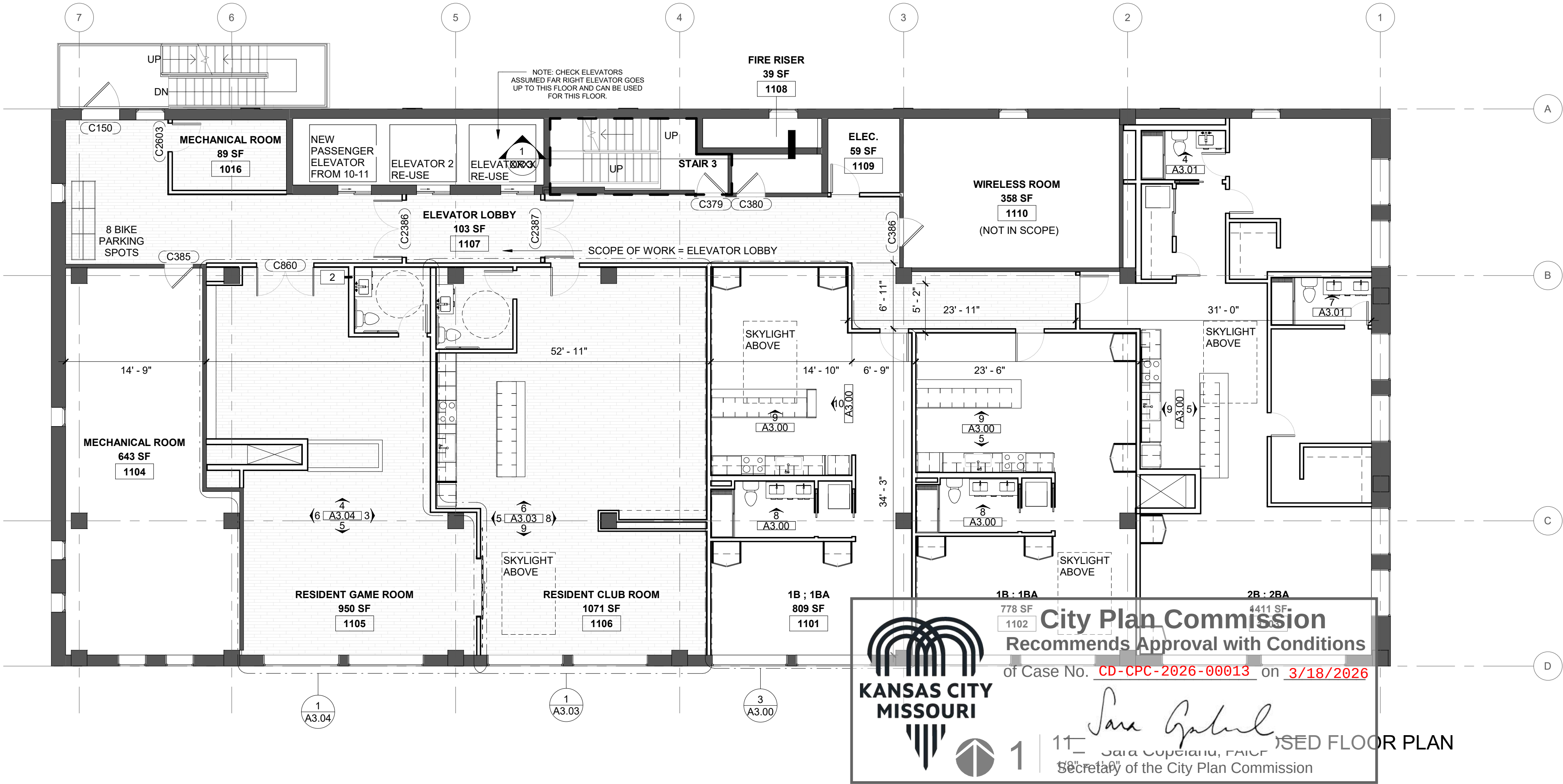
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FLOOR FINISH LEGEND:

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- NEW CARPET OVER EXISTING CONCRETE SLAB: BASIS OF DESIGN IS MANNINGTON RE: SCHEDULE SHEET

SCOPE OF WORK	
WARM GRAY BOX	
WALLS:	FUR-OUT ALL WALLS, PREPARE WALLS FOR FUTURE TENANT FINISHES.
FLOOR:	GRIND HIGH SPOTS, FILL LOW SPOTS THEN APPLY FLOOR LEVELING COMPOUND
WALL BASE:	TENANT TO INSTALL
CEILING:	OPEN STRUCTURE. PATCH AND REPAIR IN-KIND, READY FOR PAINT.
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WALLS:	FUR-OUT ALL WALLS, PREPARE WALLS FOR FUTURE TENANT FINISHES.
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CEILING:	PATCH AND REPAIR GYPSUM CEILING AFTER NEW LIGHT FIXTURE INSTALLATION. U.N.O



CALEB BULAND, ARCHITECT | MO 208905509

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ISSUE	DATE	NO
DD Review	26-0130	1
Development Plan	26-0206	2
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FLOOR PLANS -
ELEVENTH FLOOR

A1.03

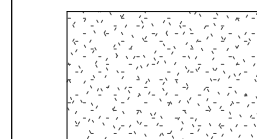
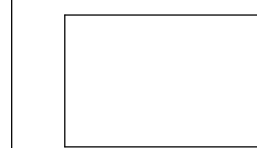
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GENERAL REFLECTED CEILING PLAN NOTES:

1. THE DESIGN INTENT IS TO CONCEAL ALL PIPE, CONDUIT, AND DUCT LINES ABOVE A FINISHED SOFFIT/CEILING OR WITHIN WALL/CHASES (U.N.O.) AT SPECIFIC LOCATIONS WHERE EXISTING CEILING STRUCTURE IS TO REMAIN EXPOSED OR WHERE CONCEALMENT IS INFEASIBLE DUE TO THE LOCATION OF HISTORIC FABRIC (WALLS TO REMAIN, ETC.). INSTALL ALL REQUIRED EXPOSED PIPING, CONDUIT AND DUCTWORK IN A NEAT, ORDERLY AND THOUGHTFUL MANNER. EXPOSED PIPE, CONDUIT, AND DUCTWORK SHALL BE A METALLIC FINISH. COORDINATE ANY AREAS OF CONCERN WITH ARCHITECT PRIOR TO ROUTING AND INSTALLATION.
2. THE EXPECTED OUTCOME OF MEP WORK IS A CODE COMPLIANT COMPLETE INSTALL WITH NEAT AND ORDERLY ROUTING. PROPOSED MEP DESIGNS OF ALL SYSTEMS SHALL COMPLY WITH THE EXISTING BUILDING CONDITIONS AND THE FINISHED ARCHITECTURAL DESIGN SHOWN IN THIS SET OF DRAWINGS. PROPOSED MEP DESIGNS SHALL BE COORDINATED WITH ALL SUBCONTRACTOR TRADES.
3. MECHANICAL: COORDINATE ALL CLEARANCE AND INSTALLATION REQUIREMENTS WITH THE MEP CONTRACTOR AND EQUIPMENT MANUFACTURER. ROUTE ALL LINE SETS WITHIN WALLS AND ABOVE CEILINGS / SOFFITS WHERE THEY OCCUR.
4. SPRINKLER SYSTEM: COORDINATE INSTALLATION WITH HISTORIC FINISHES AND CEILINGS SCHEDULED TO REMAIN. PATCH AND REPAIR SURFACES AND MATERIALS DISTURBED OR REMOVED TO MATCH ADJACENT TO REMAIN. PROVIDE SIDEWALL HEADS WITHIN SOFFITS AND RECESSED PENDANT SPRINKLER HEADS AT DROPPED CEILING LOCATIONS. WHITE FINISH. WHERE EXPOSED, PROVIDE NEAT AND ORDERLY SPRINKLER HEADS AND METALLIC PIPE ROUTING. FINISH EXPOSED FACE OF SOFFITS WITH GYPSUM BOARD AT ALL LOCATIONS.
5. REPAIR ALL PLASTER CEILINGS SCHEDULED TO REMAIN TO MATCH EXISTING; WHERE IMPRACTICAL, INSTALL GWB.
6. REFER TO EXISTING AND NEW FLOOR PLANS FOR AREAS OF CEILING DETERIORATION THAT SHALL BE PATCHED AND REPAIRED IN CONJUNCTION WITH NEW WORK. FIELD WALK IS REQUIRED PRIOR TO BIDDING TO BETTER QUANTIFY SCOPE OF WORK.
7. THE EXISTING STRUCTURE IS NOT SHOWN ON THE DRAWINGS FOR CLARITY. FIELD VERIFY AND INSTALL PER DESIGN INTENT. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO CONSTRUCTION.
8. ALL EXISTING HISTORIC CEILING STRUCTURES AND FINISHES SCHEDULED TO REMAIN EXPOSED SHALL BE PROTECTED / REFINISHED WHERE APPLICABLE. CEILING REFINISH WORK INCLUDES EXISTING SURFACE CLEANING, SEALING, PATCHING/REPLACING IN-KIND, SURFACE PREP FOR NEW PAINT FINISH, AND PROTECTION DURING CONSTRUCTION.

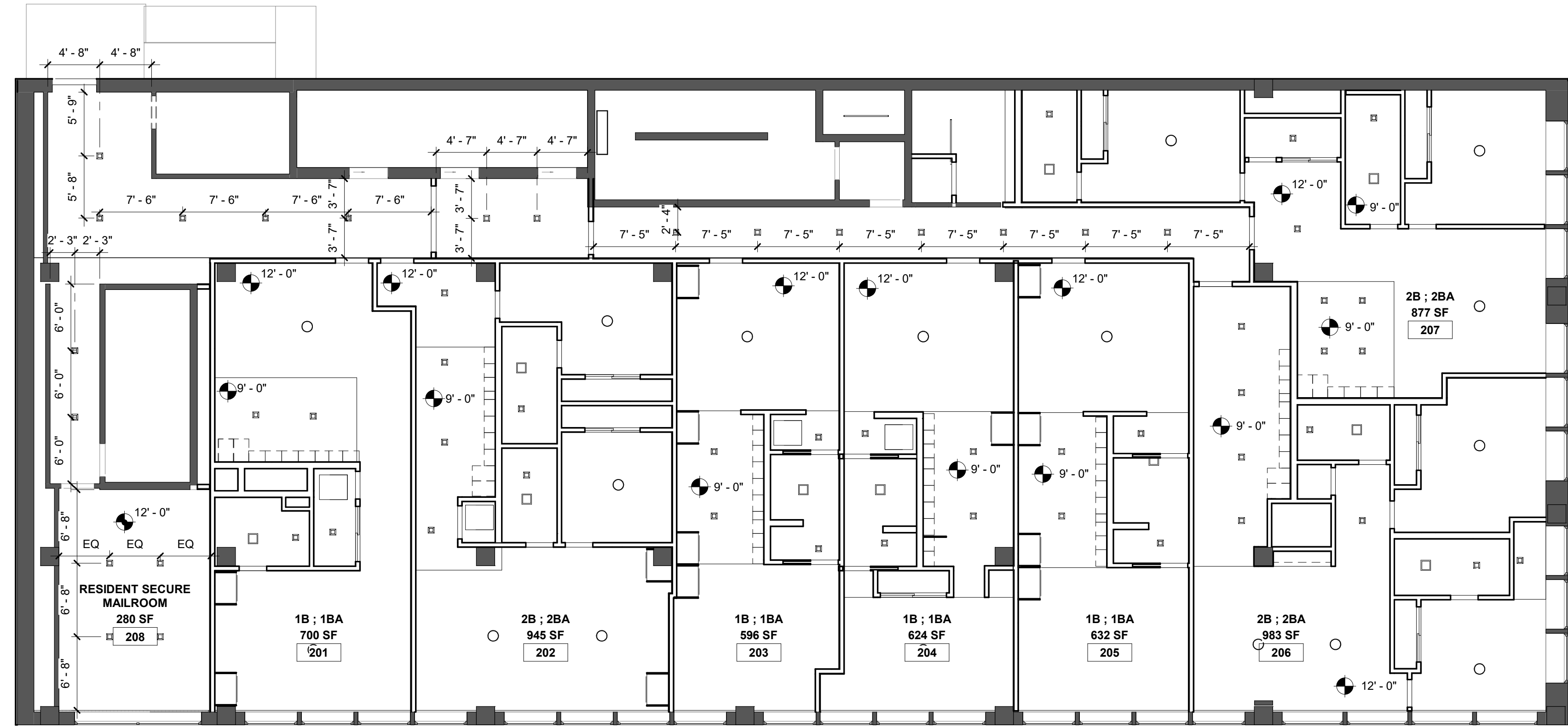
GENERAL REFLECTED CEILING PLAN LEGEND:

-  EXISTING CEILING TO REMAIN. REFER TO REFINISH SCHEDULE AND NOTES FOR SCOPE OF WORK.
-  NEW 5/8" GYPSUM BOARD OVER NEW FRAMING OR SUSPENSION SYSTEM. SMOOTH FINISH. PAINT; HEIGHT A.F.F. AS NOTED.
-  HISTORIC CEILING TO REMAIN, RESTORE OR REPLICATE.

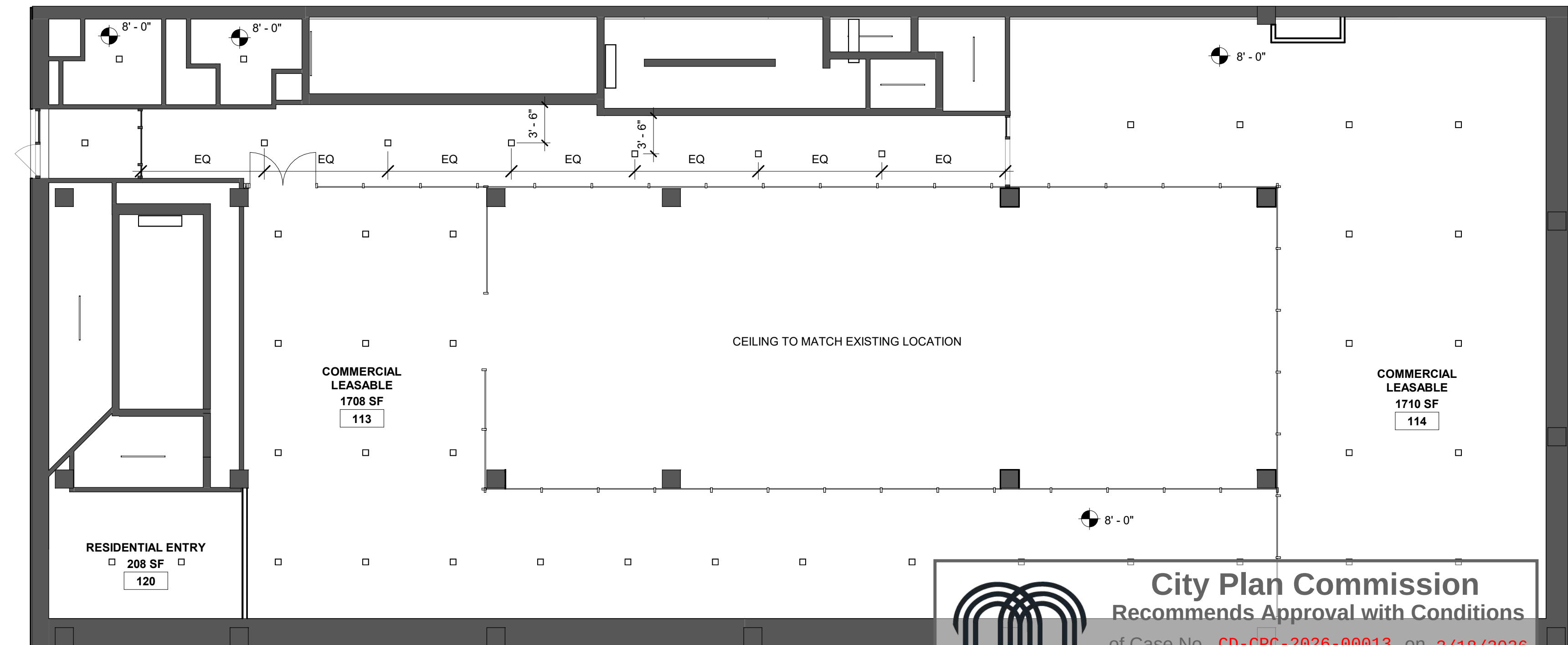
LIGHT FIXTURE LEGEND:

REFER TO ELECTRICAL DRAWINGS FOR BASIS OF DESIGN FIXTURES AND SWITCHING / POWER DIAGRAMS.

-  4" FLUSH MOUNT LOW-PROFILE LED FIXTURE.
-  EXHAUST FAN/LIGHT COMBO
-  12" LIGHTWISE LED FLUSHMOUNT
-  36" ROUND BACKLIT MIRROR
-  4'-0" RECESSED LED LINEAR LIGHT FIXTURE
-  4'-0" LED LINEAR LIGHT FIXTURE WALL MOUNT EXISTING TO REMAIN
-  4" PENDANT LIGHT CENTERED ABOVE ISLAND



2 | 02_SECOND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

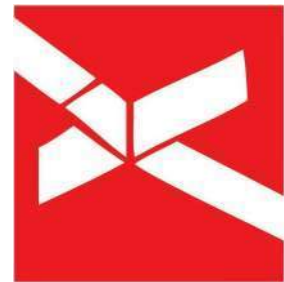




City Plan Commission
Recommends Approval with Conditions
of Case No. **CD-CPC-2026-00013** on **3/18/2026**
1.5_MEZZA
1/8" = 1'-0"
Jana Cupciani
Jana Cupciani, Mayor
Secretary of the City Plan Commission

CALEB BULAND, ARCHITECT | MO 200905509

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KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



NOT FOR CONSTRUCTION
GEORGE B. PECK DRY GOODS CO.
1044 MAIN ST
KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
ANNIE@EXACTARCHITECTS.COM
630-699-2329

ISSUE	DATE	NO
DD Review	26-0130	1
Development Plan	26-0206	2
Development Plan	26-0226	3

REFLECTED CEILING
PLAN - MEZZANINE &
SECOND FLOOR

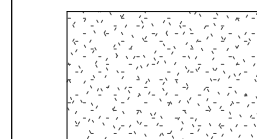
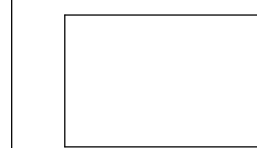
A2.01

2/25/2026 4:00:09 PM

GENERAL REFLECTED CEILING PLAN NOTES:

- THE DESIGN INTENT IS TO CONCEAL ALL PIPE, CONDUIT, AND DUCT LINES ABOVE A FINISHED SOFFIT/CEILING OR WITHIN WALL/CHASES (U.N.O.) AT SPECIFIC LOCATIONS WHERE EXISTING CEILING STRUCTURE IS TO REMAIN EXPOSED OR WHERE CONCEALMENT IS INFEASIBLE DUE TO THE LOCATION OF HISTORIC FABRIC (WALLS TO REMAIN, ETC.). INSTALL ALL REQUIRED EXPOSED PIPING, CONDUIT AND DUCTWORK IN A NEAT, ORDERLY AND THOUGHTFUL MANNER. EXPOSED PIPE, CONDUIT, AND DUCTWORK SHALL BE A METTALIC FINISH. COORDINATE ANY AREAS OF CONCERN WITH ARCHITECT PRIOR TO ROUTING AND INSTALLATION.
- THE EXPECTED OUTCOME OF MEP WORK IS A CODE COMPLIANT COMPLETE INSTALL WITH NEAT AND ORDERLY ROUTING. PROPOSED MEP DESIGNS OF ALL SYSTEMS SHALL COMPLY WITH THE EXISTING BUILDING CONDITIONS AND THE FINISHED ARCHITECTURAL DESIGN SHOWN IN THIS SET OF DRAWINGS. PROPOSED MEP DESIGNS SHALL BE COORDINATED WITH ALL SUB-CONTRACTOR TRADES.
- MECHANICAL: COORDINATE ALL CLEARANCE AND INSTALLATION REQUIREMENTS WITH THE MEP CONTRACTOR AND EQUIPMENT MANUFACTURER. ROUTE ALL LINE SETS WITHIN WALLS AND ABOVE CEILINGS / SOFFITS WHERE THEY OCCUR.
- SPRINKLER SYSTEM: COORDINATE INSTALLATION WITH HISTORIC FINISHES AND CEILINGS SCHEDULED TO REMAIN. PATCH AND REPAIR SURFACES AND MATERIALS DISTURBED OR REMOVED TO MATCH ADJACENT TO REMAIN. PROVIDE SIDEWALL HEADS WITHIN SOFFITS AND RECESSED PENDANT SPRINKLER HEADS AT DROPPED CEILING LOCATIONS, WHITE FINISH. WHERE EXPOSED, PROVIDE NEAT AND ORDERLY SPRINKLER HEADS AND METALLIC PIPE ROUTING. FINISH EXPOSED FACE OF SOFFITS WITH GYPSUM BOARD AT ALL LOCATIONS.
- REPAIR ALL PLASTER CEILINGS SCHEDULED TO REMAIN TO MATCH EXISTING; WHERE IMPRACTICAL, INSTALL GWB.
- REFER TO EXISTING AND NEW FLOOR PLANS FOR AREAS OF CEILING DETERIORATION THAT SHALL BE PATCHED AND REPAIRED IN CONJUNCTION WITH NEW WORK. FIELD WALK IS REQUIRED PRIOR TO BIDDING TO BETTER QUANTIFY SCOPE OF WORK.
- THE EXISTING STRUCTURE IS NOT SHOWN ON THE DRAWINGS FOR CLARITY. FIELD VERIFY AND INSTALL PER DESIGN INTENT. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL EXISTING HISTORIC CEILING STRUCTURES AND FINISHES SCHEDULED TO REMAIN EXPOSED SHALL BE PROTECTED / REFINISHED WHERE APPLICABLE. CEILING REFINISH WORK INCLUDES EXISTING SURFACE CLEANING, SEALING, PATCHING/REPLACING IN-KIND, SURFACE PREP FOR NEW PAINT FINISH, AND PROTECTION DURING CONSTRUCTION.

GENERAL REFLECTED CEILING PLAN LEGEND:

-  EXISTING CEILING TO REMAIN. REFER TO REFINISH SCHEDULE AND NOTES FOR SCOPE OF WORK.
-  NEW 5/8" GYPSUM BOARD OVER NEW FRAMING OR SUSPENSION SYSTEM. SMOOTH FINISH. PAINT; HEIGHT A.F.F. AS NOTED.
-  HISTORIC CEILING TO REMAIN, RESTORE OR REPLICATE.

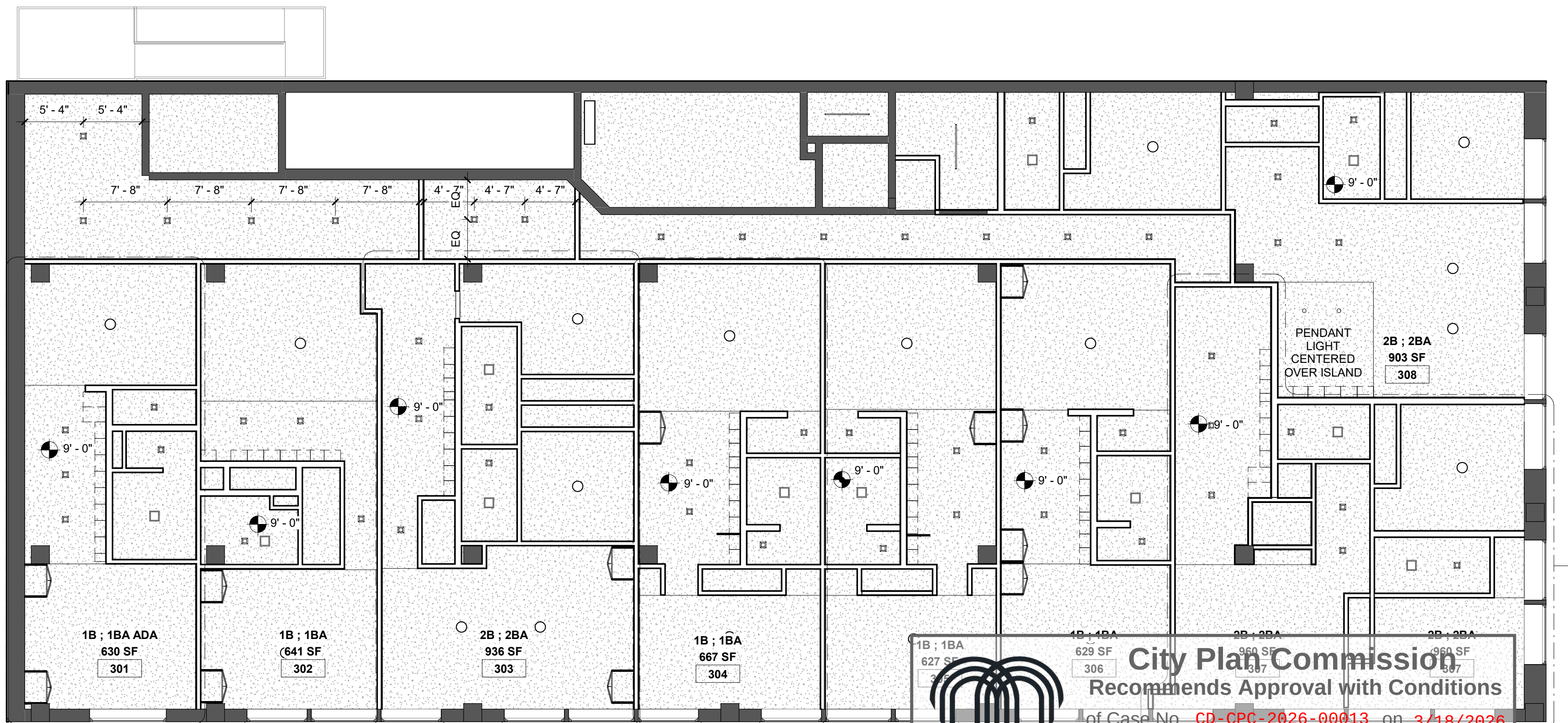
LIGHT FIXTURE LEGEND:

REFER TO ELECTRICAL DRAWINGS FOR BASIS OF DESIGN FIXTURES AND SWITCHING / POWER DIAGRAMS.

-  4" FLUSH MOUNT LOW-PROFILE LED FIXTURE.
-  EXHAUST FAN/LIGHT COMBO
-  12" LIGHTWISE LED FLUSHMOUNT
-  36" ROUND BACKLIT MIRROR
-  4'-0" RECESSED LED LINEAR LIGHT FIXTURE
-  4'-0" LED LINEAR LIGHT FIXTURE WALL MOUNT EXISTING TO REMAIN
-  4" PENDANT LIGHT CENTERED ABOVE ISLAND



2 | 10_TENTH FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



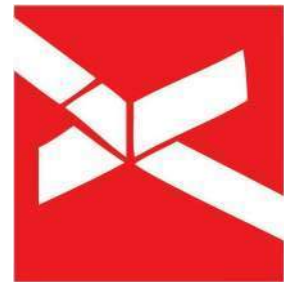
1 | 03-10_THIRD FLOOR THRU NINTH FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



City Plan Commission
Recommends Approval with Conditions
of Case No. **CD-CPC-2026-00013** on **3/18/2026**
Sara Caporale, Mayor
Secretary of the City Plan Commission

CALEB BULAND, ARCHITECT | MO 208905599

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC
KANSAS CITY, MISSOURI
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REFLECTED CEILING
PLANS - THIRD THRU
TENTH FLOOR

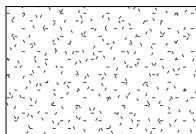
A2.02

GENERAL REFLECTED CEILING PLAN NOTES:

- THE DESIGN INTENT IS TO CONCEAL ALL PIPE, CONDUIT, AND DUCT LINES ABOVE A FINISHED SOFFIT/CEILING OR WITHIN WALL/CHASES (U.N.O). AT SPECIFIC LOCATIONS WHERE EXISTING CEILING STRUCTURE IS TO REMAIN EXPOSED OR WHERE CONCEALMENT IS INFEASIBLE DUE TO THE LOCATION OF HISTORIC FABRIC (WALLS TO REMAIN, ETC.), INSTALL ALL REQUIRED EXPOSED PIPING, CONDUIT AND DUCTWORK IN A NEAT, ORDERLY AND THOUGHFUL MANNER. EXPOSED PIPE, CONDUIT, AND DUCTWORK SHALL BE A METTALIC FINISH. COORDINATE ANY AREAS OF CONCERN WITH ARCHITECT PRIOR TO ROUTING AND INSTALLATION.
- THE EXPECTED OUTCOME OF MEP WORK IS A CODE COMPLIANT COMPLETE INSTALL WITH NEAT AND ORDERLY ROUTING. PROPOSED MEP DESIGNS OF ALL SYSTEMS SHALL COMPLY WITH THE EXISTING BUILDING CONDITIONS AND THE FINISHED ARCHITECTURAL DESIGN SHOWN IN THIS SET OF DRAWINGS. PROPOSED MEP DESIGNS SHALL BE COORDINATED WITH ALL SUBCONTRACTOR TRADES.
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- SPRINKLER SYSTEM: COORDINATE INSTALLATION WITH HISTORIC FINISHES AND CEILINGS SCHEDULED TO REMAIN. PATCH AND REPAIR SURFACES AND MATERIALS DISTURBED OR REMOVED TO MATCH ADJACENT TO REMAIN. PROVIDE SIDEWALL HEADS WITHIN SOFFITS AND RECESSED PENDANT SPRINKLER HEADS AT DROPPED CEILING LOCATIONS, WHITE FINISH. WHERE EXPOSED, PROVIDE NEAT AND ORDERLY SPRINKLER HEADS AND METALLIC PIPE ROUTING.
- FINISH EXPOSED FACE OF SOFFITS WITH GYPSUM BOARD AT ALL LOCATIONS.
- REPAIR ALL PLASTER CEILINGS SCHEDULED TO REMAIN TO MATCH EXISTING; WHERE IMPRACTICAL, INSTALL GWB.
- REFER TO EXISTING AND NEW FLOOR PLANS FOR AREAS OF CEILING DETERIORATION THAT SHALL BE PATCHED AND REPAIRED IN CONJUNCTION WITH NEW WORK. FIELD WALK IS REQUIRED PRIOR TO BIDDING TO BETTER QUANTIFY SCOPE OF WORK.
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GENERAL REFLECTED CEILING PLAN LEGEND:

- 

EXISTING CEILING TO REMAIN. REFER TO REFINISH SCHEDULE AND NOTES FOR SCOPE OF WORK.
- 

NEW 5/8" GYPSUM BOARD OVER NEW FRAMING OR SUSPENSION SYSTEM. SMOOTH FINISH. PAINT; HEIGHT A.F.F. AS NOTED.
- 

HISTORIC CEILING TO REMAIN, RESTORE OR REPLICATE.

LIGHT FIXTURE LEGEND:

REFER TO ELECTRICAL DRAWINGS FOR BASIS OF DESIGN
FIXTURES AND SWITCHING / POWER DIAGRAMS.

- 

4" FLUSH MOUNT LOW-PROFILE LED FIXTURE.
- 

EXHAUST FAN/LIGHT COMBO
- 

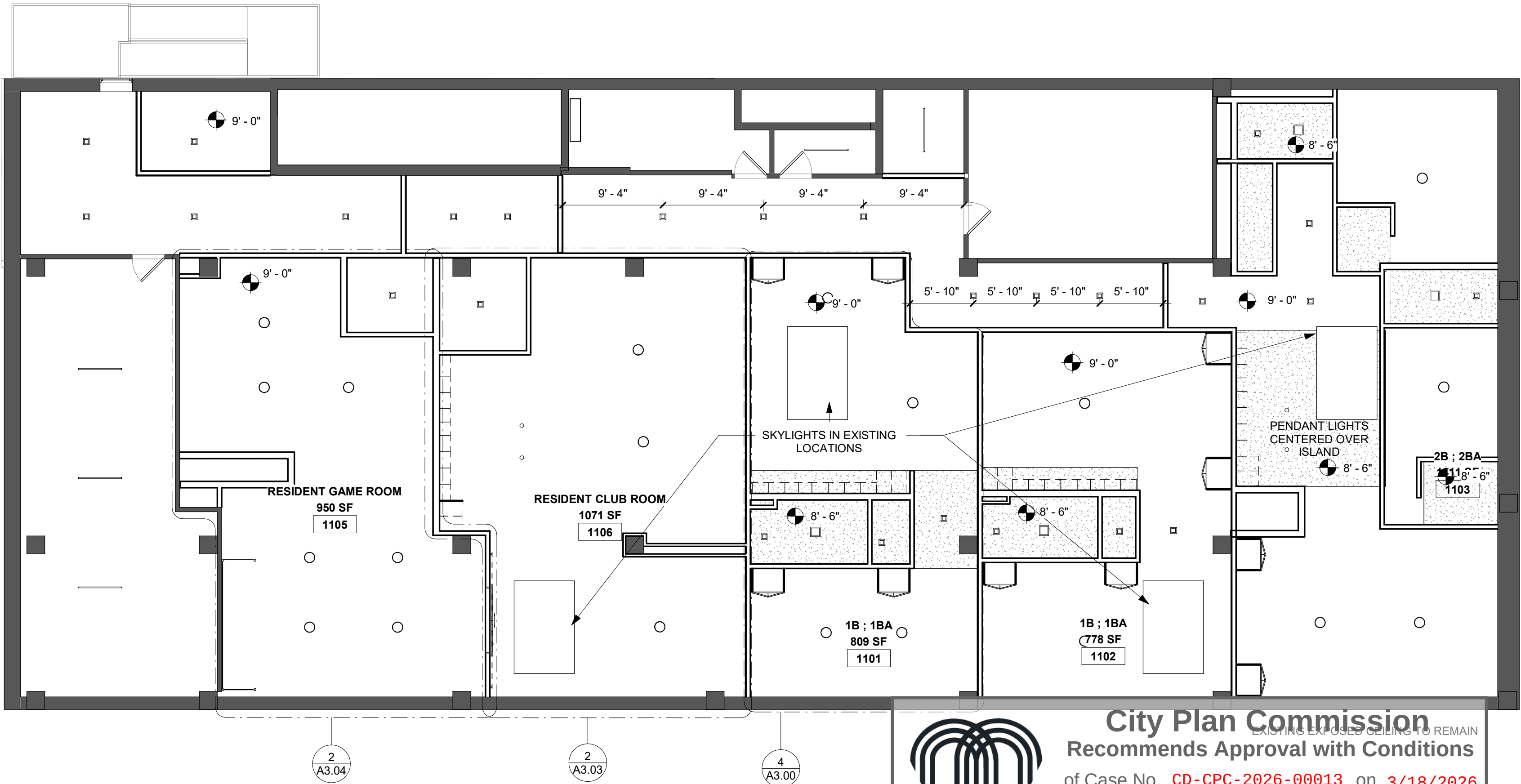
12" LIGHTWISE LED FLUSHMOUNT
- 

36" ROUND BACKLIT MIRROR
- 

4'-0" RECESSED LED LINEAR LIGHT FIXTURE
- 

4'-0" LED LINEAR LIGHT FIXTURE WALL MOUNT
EXISTING TO REMAIN
- 

4" PENDANT LIGHT CENTERED ABOVE ISLAND





City Plan Commission
Recommends Approval with Conditions

of Case No. **CD-CPC-2026-00013** on **3/18/2026**

Sara Capetianu
Sara Capetianu, Mayor
Secretary of the City Plan Commission

CALEB BULAND, ARCHITECT | MO 200905509

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DD Review	26-0130	1
Development Plan	26-0206	2
Development Plan	26-0226	3

REFLECTED CEILING
PLANS - ELEVENTH
FLOOR

A2.03

2/25/2026 4:00:11 PM

1. ALL MATERIALS AND PRODUCTS SHALL BE SUBMITTED AND APPROVED BY ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK.
2. VERIFY ALL REHABILITATION WORK WITH ARCHITECT PRIOR TO START OF DEMOLITION. NOTIFY ARCHITECT OF WORK NOT LISTED, OR ADDITIONS TO THE NECESSARY SCOPE OF WORK.
3. REFER TO ENLARGED PLANS FOR EXTENT OF FINISHES.
4. REPAIR AND RESTORE EXISTING FLOORS IN LOCATIONS TO REMAIN. WHERE NOTED ON ENLARGED AND NEW PLANS, PREPARE EXISTING FLOORS FOR NEW FLOOR FINISHES. UTILIZE FLOOR PATCHING COMPOUND TO PROVIDE A SMOOTH AND LEVEL SUBSURFACE FOR ALL FLOOR FINISH MATERIALS. PRE-PAVING WALK REQUIRED FOR EXTENT OF WORK. PLANS DO NOT SHOW EXTENT OF FLOOR PREP WORK.
5. PAINT ALL NEW EXPOSED GYPSUM BOARD AND WOOD DOOR TRIM, U.N.O. PAINT METAL SURFACES (HOLLOW METAL FRAMES, METAL DOORS, ETC.) U.N.O. UTILIZE PAINT TYPE PER MANUFACTURER'S RECOMMENDATION, DO NOT PAINT PRE-FINISHED METALS AND OTHER ITEMS NOTED TO REMAIN WITH A NEW FINISH.
6. PAINT SCOPE INCLUDE: SURFACE PREPARATION (EXISTING PAINT REMOVAL, SURFACE LEVELING / PATCHING, ETC.), PRIME AND PAINT.
7. ALL EXISTING PAINTED DOORS, FRAMES AND/OR PORTICOS SCHEDULED TO REMAIN SHALL BE SCRAPPED TO ORIGINAL SURFACE, PRIMED AND PAINTED.
8. FLOOR FINISH TRANSITIONS: SCHLUTER METAL STRIPS: EXISTING FLOOR TO CERAMIC TILE, EXISTING FLOOR TO VINYL, CERAMIC TILE TO VINYL, CARPET TO VINYL AND EXISTING FLOOR TO CARPET.
9. ALL EXISTING STAINED SURFACES, DOORS, TRIM, CASEWORK, ETC SHALL BE RESTORED TO ITS ORIGINAL CONDITION AND FINISH.
10. INSTALL ALL CARPET TILE OVER ADHERED PAD BACKING.
11. CEILING HEIGHTS AND FINISH VARY PER UNIT. RE: REFLECTED CEILING PLANS, NEW NOTES AND FINISH NOTES.
12. EXPOSED BRICK, CONCRETE AND CMU WALLS SHALL ALL REMAIN EXPOSED, U.N.O.
13. EXPOSED STEEL STRUCTURE, CONCRETE, METAL DECKING, PLASTER AND CLAY TILE SHALL ALL REMAIN EXPOSED, U.N.O. RE: REFLECTED CEILING PLANS.
14. WHERE EXISTING BRICK WALLS, CONCRETE SURFACES, EXPOSED STEEL STRUCTURE AND METAL DECKING THAT HAVE BEEN PAINTED OR FINISHED, THEY SHALL BE PREPARED AND REPAINTED, TYPICAL, WHERE THEY ARE A NATURAL BRICK, CONCRETE OR METAL FINISH. THEY SHALL REMAIN UNPAINTED, TYPICAL, U.N.O.

CONTRACTOR IS RESPONSIBLE FOR BIDDING A COMPLETE TAKE-OFF,
INCLUDING ALL UNITS. RE: SCHEDULE FOR ESTIMATE TAKE-OFF.
PRODUCTS ARE BASIS OF DESIGN, ALTERNATES MUST BE REVIEWED AND
APPROVED BY ARCHITECT.

NEW CARPET OVER EXISTING CONCRETE SLAB: BASIS
OF DESIGN IS MANNINGTON RE: SCHEDULE SHEET

REFER TO ELECTRICAL DRAWINGS FOR BASIS OF DESIGN
FIXTURES AND SWITCHING / POWER DIAGRAMS.

- | | |
|---|---|
|  | 4" FLUSH MOUNT LOW-PROFILE LED FIXTURE. |
|  | EXHAUST FAN/LIGHT COMBO |
|  | 12" LIGHTWISE LED FLUSHMOUNT |
|  | 36" ROUND BACKLIT MIRROR |
|  | 4'-0" RECESSED LED LINEAR LIGHT FIXTURE |
|  | 4'-0" LED LINEAR LIGHT FIXTURE WALL MOUNT
EXISTING TO REMAIN |
|  | 4" PENDANT LIGHT CENTERED ABOVE ISLAND |

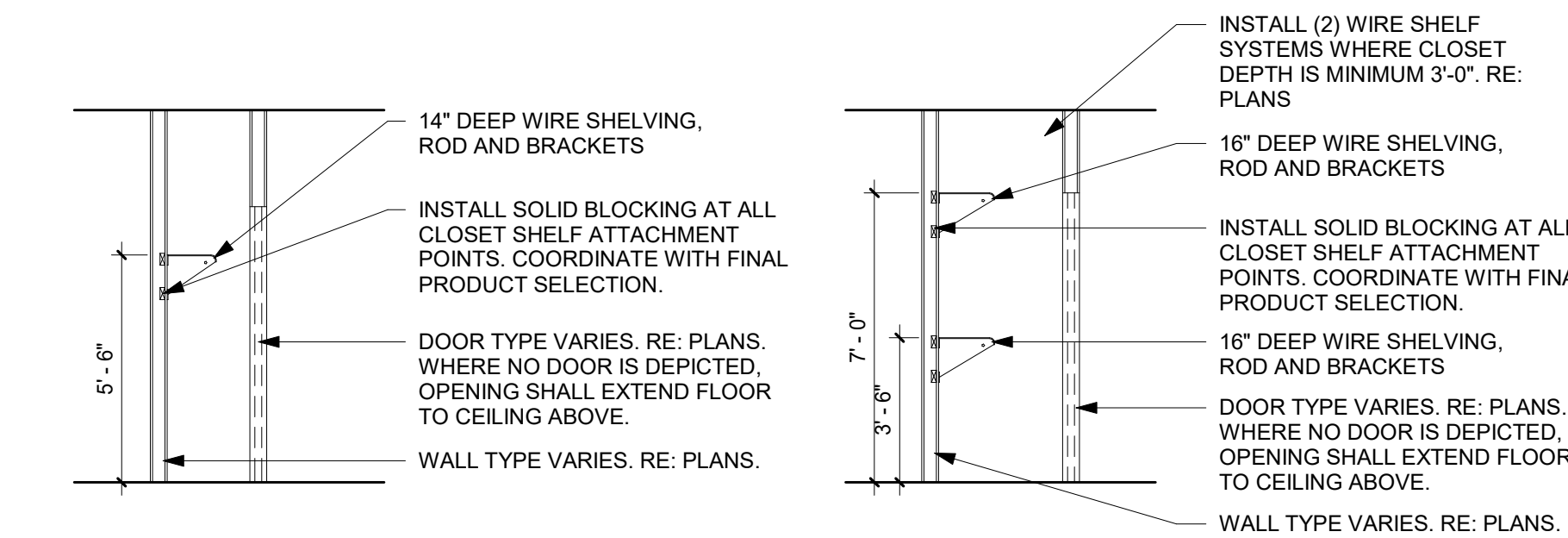


Diagram of a cabinet unit with dimensions 3'-0" by 3'-0". A note points to the unit: RE: SCHEDULE FOR CABINET SELECTION.

Diagram illustrating the layout of a 12' x 3' cabinet. The cabinet is divided into four 2' x 6' units and a 1' x 6' unit. The total width is 12' (4 units of 2' each) and the total height is 3'. The layout includes a CORNER SHELF CABINET on the right side.

1B ; 1BA
809 SF
1101

LOCATION VARIES BY UNIT, REFER TO RCPS

SKYLIGHT

9' - 0" 3' - 9" 7' - 2" 7' - 2" 6' - 6" 6' - 1" 6' - 0" 6' - 3" 8' - 6" 1' - 3" 2' - 7" 4' - 10" 8' - 6" 11' 2' - 7" 2' - 0" 2' - 9" 4' - 5" 3' - 1" 4' - 8" 7' - 0" 7' - 0" 7' - 0" 9' - 0"

1/2" GYP ON 1/2" HAT CHANNEL

8' - 4"

6' - 7"

6' - 11"

8' - 4"

4' - 1"

4' - 6"

4' - 8"

9' - 0"

1' - 6"

1' - 11"

9' - 0"

3' - 3"

1' - 6"

1' - 5"

8' - 4"

6' - 5"

8' - 4"

6' - 7"

1B ; 1BA
667 SF
304

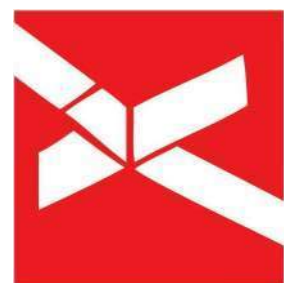
1/2" GYP ON 1/2" HAT CHANNEL

EXTEND TO DECK ABOVE

1B ; 1BA
667 SF
304

CALEB BULAND, ARCHITECT | MO 2009005509

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ISSUE	DATE	NO
DD Review	26-0130	1
Development Plan	26-0206	2
Development Plan	26-0226	3

UNIT DESIGN - ONE
BED

A3.00

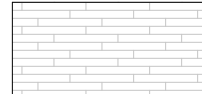
2/25/2026 4:15:49 PM

GENERAL FINISH NOTES:

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2. VERIFY ALL REHABILITATION WORK WITH ARCHITECT PRIOR TO START OF DEMOLITION. NOTIFY ARCHITECT OF WORK NOT LISTED, OR ADDITIONS TO THE NECESSARY SCOPE OF WORK.
3. REFER TO ENLARGED PLANS FOR EXTENT OF FINISHES.
4. REPAIR AND RESTORE EXISTING FLOORS IN LOCATIONS TO REMAIN. WHERE NOTED ON ENLARGED AND NEW PLANS, PREPARE EXISTING FLOORS FOR NEW FLOOR FINISHES. UTILIZE FLOOR PATCHING COMPOUND TO PROVIDE A SMOOTH AND LEVEL SUBSURFACE FOR ALL FLOOR FINISH MATERIALS. PRE-BID WALK REQUIRED FOR EXTENT OF WORK, PLANS DO NOT SHOW EXTENT OF FLOOR PREP WORK.
5. PAINT ALL NEW EXPOSED GYPSUM BOARD AND WOOD DOOR TRIM, U.N.O. PAINT METAL SURFACES (HOLLOW METAL FRAMES, METAL DOORS, ETC.) U.N.O. UTILIZE PAINT TYPE PER MANUFACTURER'S RECOMMENDATION. DO NOT PAINT PRE-FINISHED METALS AND OTHER ITEMS NOTED TO BE WITHOUT APPLIED FINISH.
6. PAINT SCOPE INCLUDES SURFACE PREPARATION (EXISTING PAINT REMOVAL, SURFACE LEVELING / PATCHING, ETC.), PRIME AND PAINT.
7. ALL EXISTING PAINTED DOORS, FRAMES AND/OR PORTICOS SCHEDULED TO REMAIN SHALL BE SCRAPPED TO ORIGINAL SURFACE, PRIMED AND PAINTED.
8. FLOOR FINISH TRANSTIONS: SCHLUTER METAL STRIPS: EXISTING FLOOR TO CERAMIC TILE, EXISTING FLOOR TO VINYL, CERAMIC TILE TO VINYL, CARPET TO VINYL AND EXISTING FLOOR TO CARPET.
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10. INSTALL ALL CARPET TILE OVER ADHERED PAD BACKING.
11. CEILING HEIGHTS AND FINISH VARY PER UNIT. RE: REFLECTED CEILING PLANS, NEW NOTES AND FINISH NOTES.
12. EXPOSED BRICK, CONCRETE AND CMU WALLS SHALL ALL REMAIN EXPOSED, U.N.O.
13. EXPOSED STEEL STRUCTURE, CONCRETE, METAL DECKING, PLASTER AND CLAY TILE SHALL ALL REMAIN EXPOSED, U.N.O. RE: REFLECTED CEILING PLANS.
14. WHERE EXISTING BRICK WALLS, CONCRETE SURFACES, EXPOSED STEEL STRUCTURE AND METAL DECKING, AND PLASTER SURFACES HAVE BEEN PAINTED, THEY SHALL BE PREPPED AND REPAINTED, TYPICAL. WHERE THEY ARE A NATURAL BRICK, CONCRETE OR METAL FINISH, THEY SHALL REMAIN UNPAINTED, TYPICAL, U.N.O.

FLOOR FINISH LEGEND:

CONTRACTOR IS RESPONSIBLE FOR BIDDING A COMPLETE TAKE-OFF, INCLUDING ALL UNITS. RE: SCHEDULE FOR ESTIMATE TAKE-OFF. PRODUCTS ARE BASIS OF DESIGN, ALTERNATES MUST BE REVIEWED AND APPROVED BY ARCHITECT.

-  NEW LVT PLANK OVER EXISTING CONCRETE SLAB: BASIS OF DESIGN IS MANNINGTON RE: SCHEDULE SHEET
-  NEW CARPET OVER EXISTING CONCRETE SLAB: BASIS OF DESIGN IS MANNINGTON RE: SCHEDULE SHEET

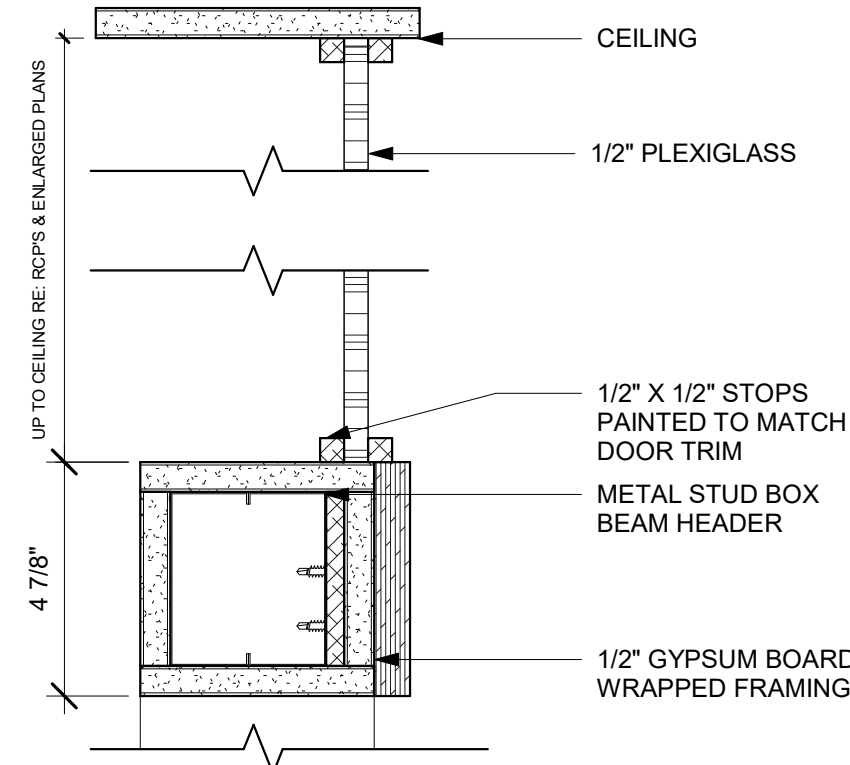
LIGHT FIXTURE LEGEND:

REFER TO ELECTRICAL DRAWINGS FOR BASIS OF DESIGN FIXTURES AND SWITCHING / POWER DIAGRAMS.

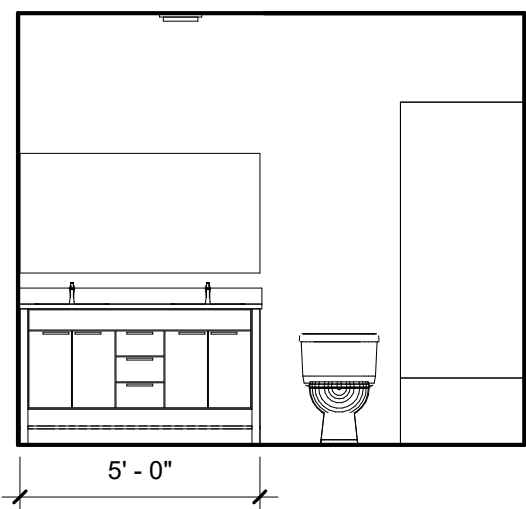
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-  4'-0" LED LINEAR LIGHT FIXTURE WALL MOUNT EXISTING TO REMAIN
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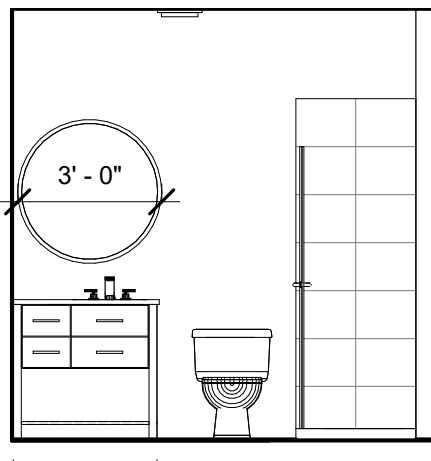
City Plan Commission
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Sara Copeland, FAICP
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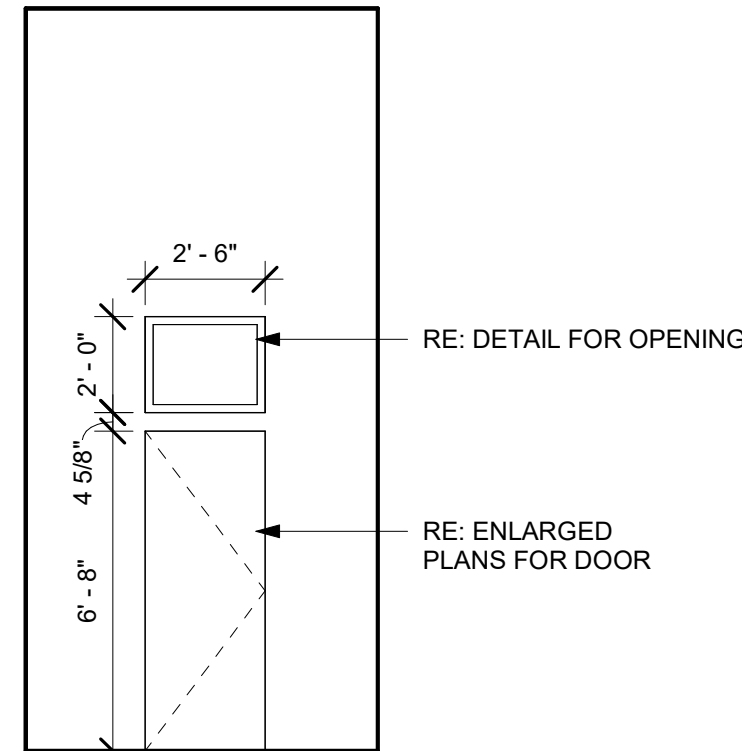
8 BORROWED LIGHT DETAIL
3" = 1'-0"



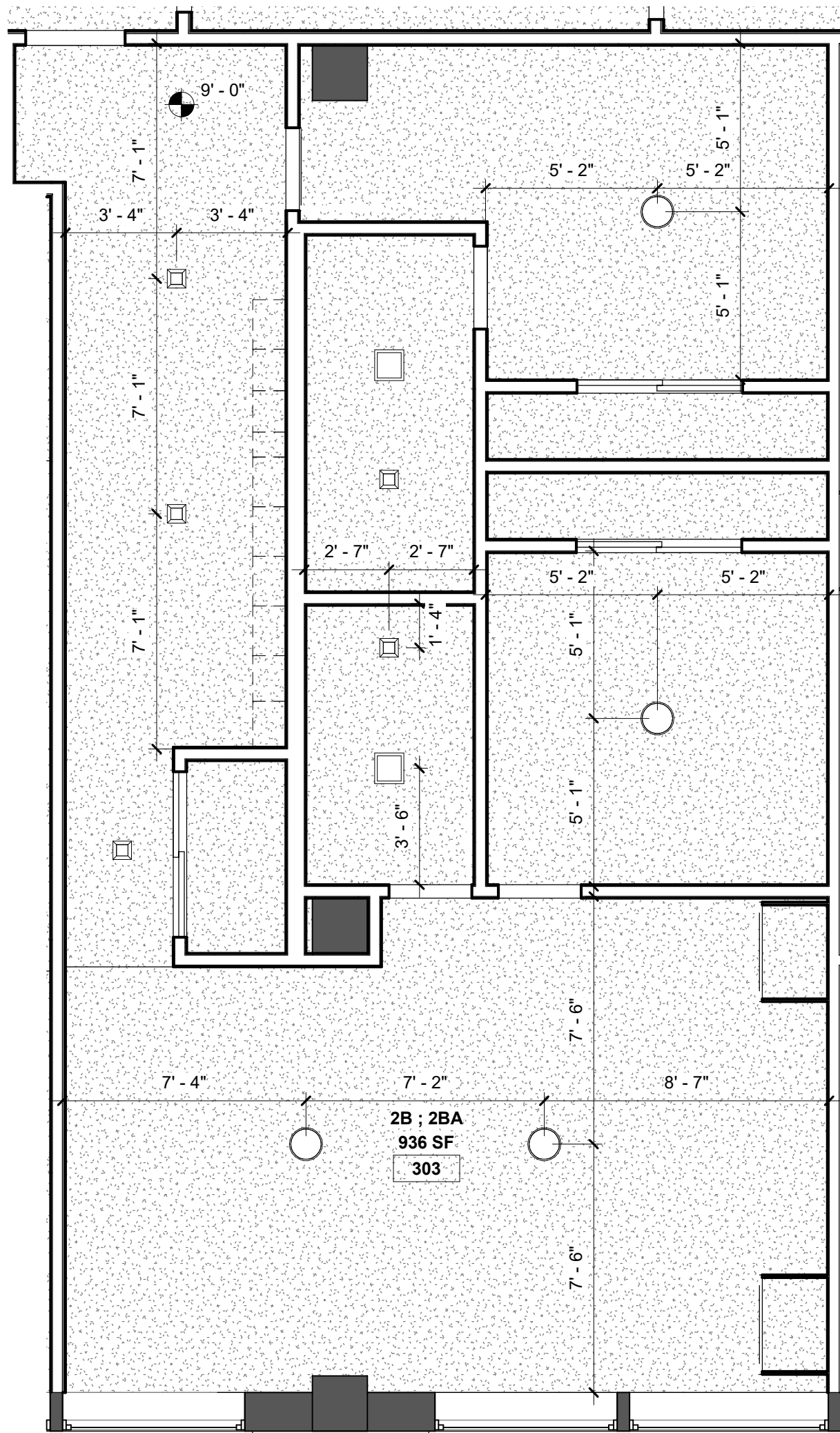
7 BATH 4
1/4" = 1'-0"



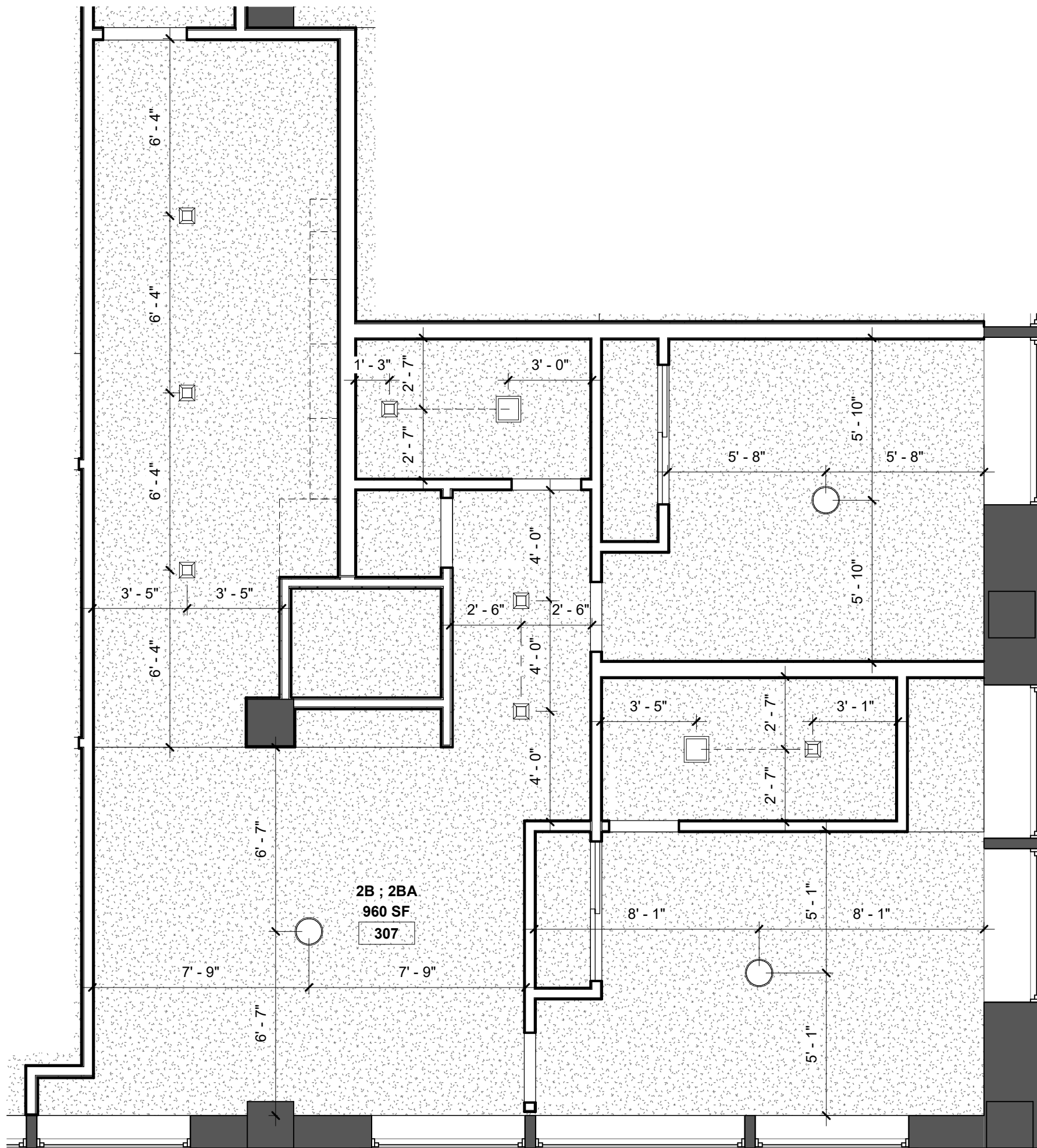
4 BATH 3
1/4" = 1'-0"



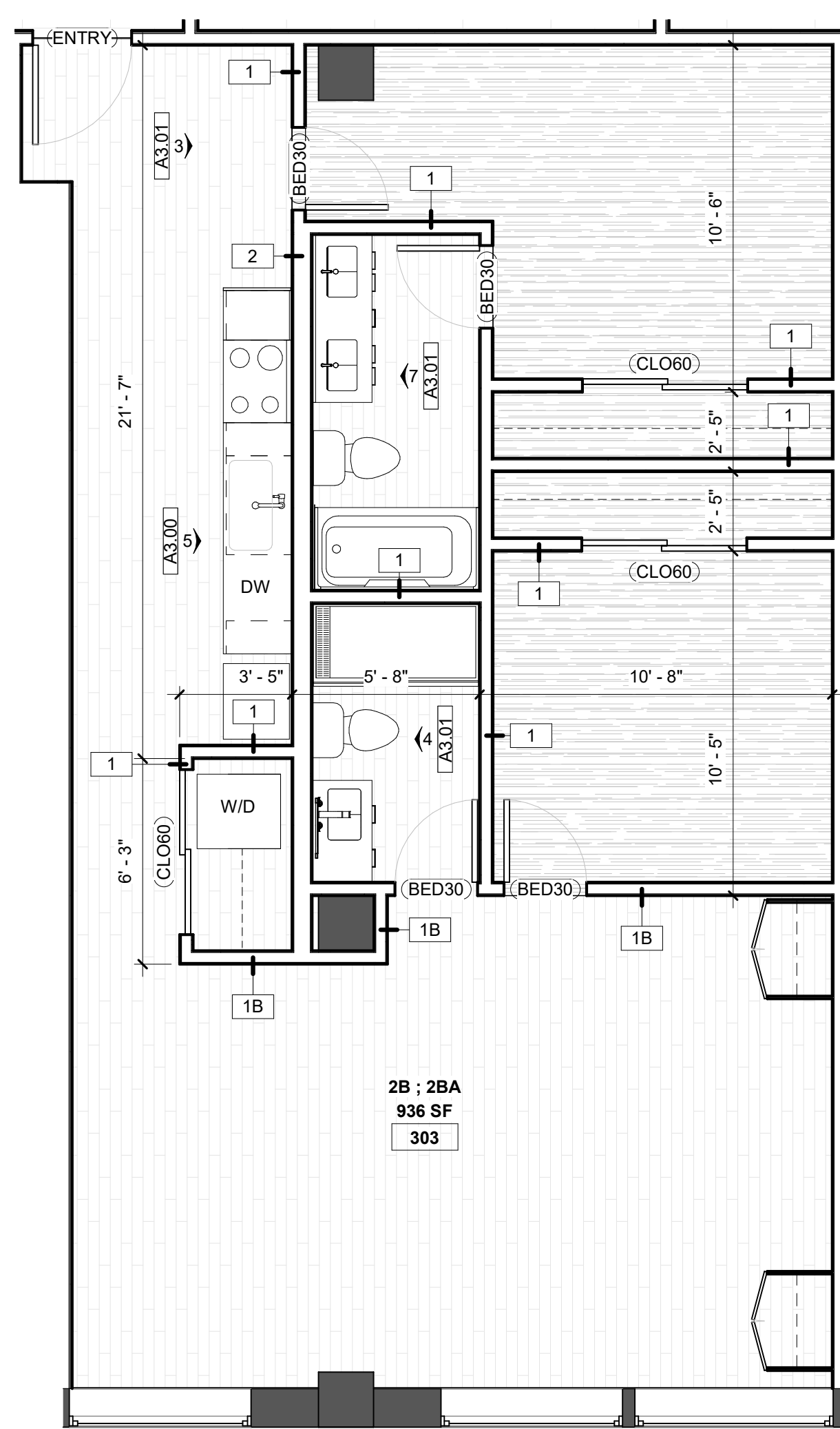
3 BORROWED LIGHT ELEVATION
1/4" = 1'-0"



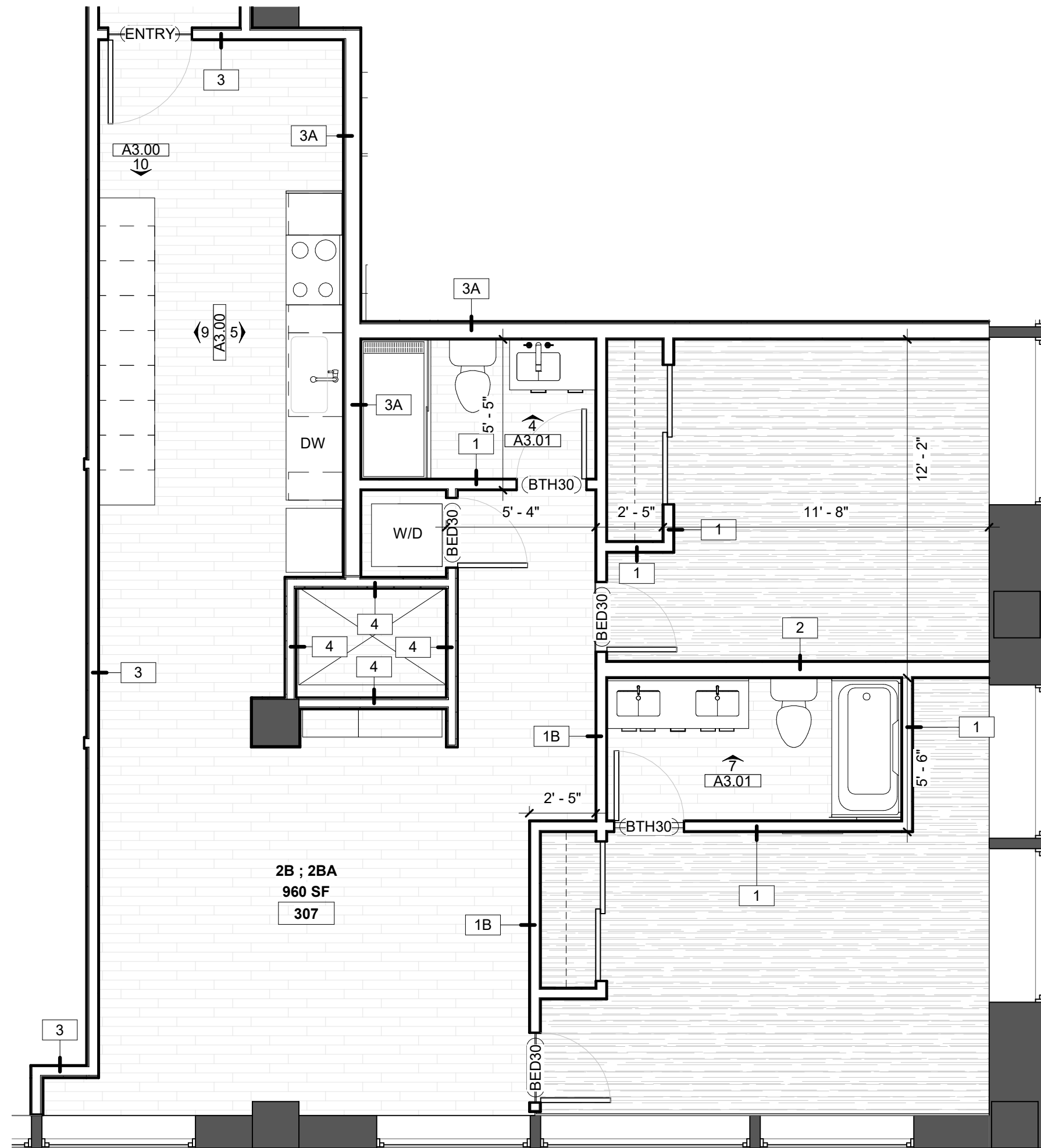
6 TWO BED - STYLE B RCP
1/4" = 1'-0"



2 TWO BED - STYLE A RCP
1/4" = 1'-0"



5 TWO BED - STYLE B
1/4" = 1'-0"



1 TWO BED - STYLE A
1/4" = 1'-0"

CALEB BULAND, ARCHITECT | MO 200905059



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ISSUE	DATE	NO
DD Review	26-0130	1
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UNIT DESIGN - TWO
BED

A3.01

2/25/2026 4:15:51 PM

GENERAL FINISH NOTES:

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3. REFER TO ENLARGED PLANS FOR EXTENT OF FINISHES.
4. REPAIR AND RESTORE EXISTING FLOORS IN LOCATIONS TO REMAIN. WHERE NOTED ON ENLARGED AND NEW PLANS, PREPARE EXISTING FLOORS FOR NEW FLOOR FINISHES. UTILIZE FLOOR PATCHING COMPOUND TO PROVIDE A SMOOTH AND LEVEL SUBSURFACE FOR ALL FLOOR FINISH MATERIALS. PRE-BID WALK REQUIRED FOR EXTENT OF WORK, PLANS DO NOT SHOW EXTENT OF FLOOR PREP WORK.
5. PAINT ALL NEW EXPOSED GYPSUM BOARD AND WOOD DOOR TRIM, U.N.O. PAINT METAL SURFACES (HOLLOW METAL FRAMES, METAL DOORS, ETC.) U.N.O. UTILIZE PAINT TYPE PER MANUFACTURER'S RECOMMENDATION, DO NOT PAINT PRE-FINISHED METALS AND OTHER ITEMS NOTED TO BE WITHOUT APPLIED FINISH.
6. PAINT SCOPE INCLUDES SURFACE PREPARATION (EXISTING PAINT REMOVAL, SURFACE LEVELING / PATCHING, ETC.), PRIME AND PAINT.
7. ALL EXISTING PAINTED DOORS, FRAMES AND/OR PORTICOS SCHEDULED TO REMAIN SHALL BE SCRAPPED TO ORIGINAL SURFACE, PRIMED AND PAINTED.
8. FLOOR FINISH TRANSITIONS: SCHLUTER METAL STRIPS: EXISTING FLOOR TO CERAMIC TILE, EXISTING FLOOR TO VINYL, CERAMIC TILE TO VINYL, CARPET TO VINYL AND EXISTING FLOOR TO CARPET.
9. ALL EXISTING STAINED SURFACES, DOORS, TRIM, CASEWORK, ETC SHALL BE RESTORED TO ITS ORIGINAL CONDITION AND FINISH.
10. INSTALL ALL CARPET TILE OVER ADHERED PAD BACKING.
11. CEILING HEIGHTS AND FINISH VARY PER UNIT. RE: REFLECTED CEILING PLANS, NEW NOTES AND FINISH NOTES.
12. EXPOSED BRICK, CONCRETE AND CMU WALLS SHALL ALL REMAIN EXPOSED, U.N.O.
13. EXPOSED STEEL STRUCTURE, CONCRETE, METAL DECKING, PLASTER AND CLAY TILE SHALL ALL REMAIN EXPOSED, U.N.O. RE: REFLECTED CEILING PLANS.
14. WHERE EXISTING BRICK WALLS, CONCRETE SURFACES, EXPOSED STEEL STRUCTURE AND METAL DECKING, AND PLASTER SURFACES HAVE BEEN PAINTED, THEY SHALL BE PREPPED AND REPAINTED, TYPICAL. WHERE THEY ARE A NATURAL BRICK, CONCRETE OR METAL FINISH, THEY SHALL REMAIN UNPAINTED, TYPICAL, U.N.O.

FLOOR FINISH LEGEND:

CONTRACTOR IS RESPONSIBLE FOR BIDDING A COMPLETE TAKE-OFF, INCLUDING ALL UNITS. RE: SCHEDULE FOR ESTIMATE TAKE-OFF. PRODUCTS ARE BASIS OF DESIGN, ALTERNATES MUST BE REVIEWED AND APPROVED BY ARCHITECT.

NEW LVT PLANK OVER EXISTING CONCRETE SLAB: BASIS OF DESIGN IS MANNINGTON RE: SCHEDULE SHEET

NEW CARPET OVER EXISTING CONCRETE SLAB: BASIS OF DESIGN IS MANNINGTON RE: SCHEDULE SHEET

LIGHT FIXTURE LEGEND:

REFER TO ELECTRICAL DRAWINGS FOR BASIS OF DESIGN FIXTURES AND SWITCHING / POWER DIAGRAMS.

- 4" FLUSH MOUNT LOW-PROFILE LED FIXTURE.
- EXHAUST FAN/LIGHT COMBO
- 12" LIGHTWISE LED FLUSHMOUNT
- 36" ROUND BACKLIT MIRROR
- 4'-0" RECESSED LED LINEAR LIGHT FIXTURE
- 4'-0" LED LINEAR LIGHT FIXTURE WALL MOUNT EXISTING TO REMAIN
- 4" PENDANT LIGHT CENTERED ABOVE ISLAND

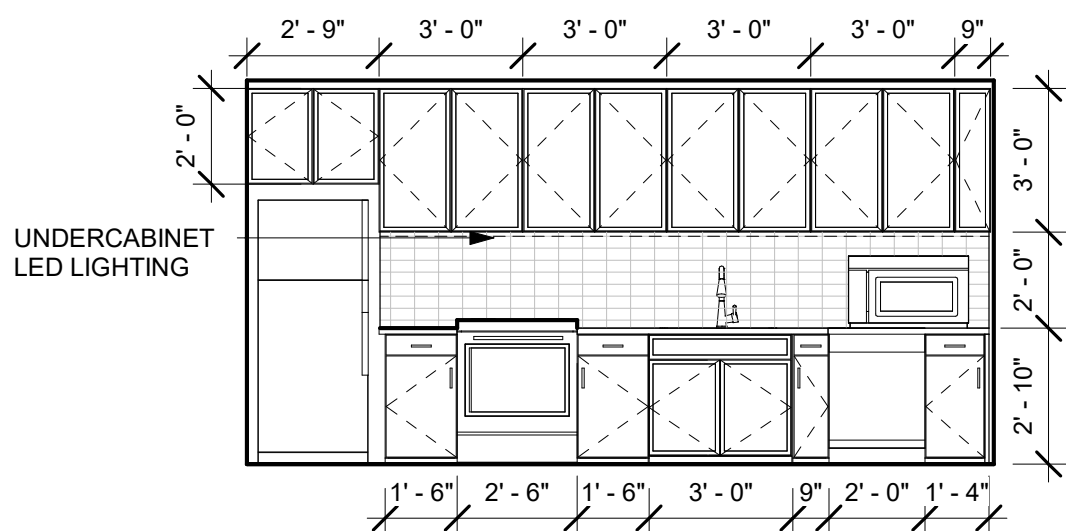


City Plan Commission

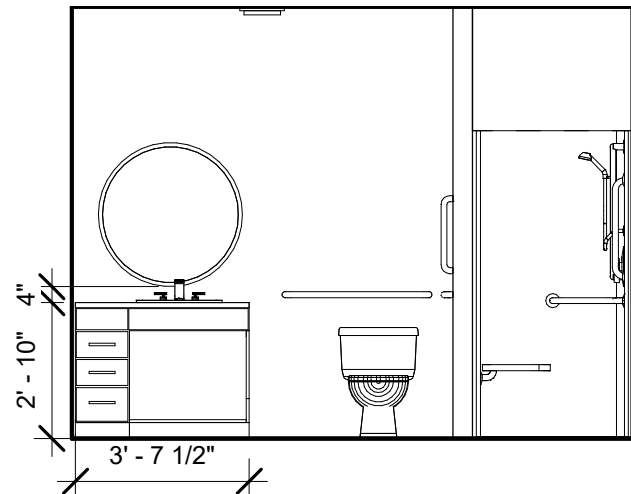
Recommends Approval with Conditions

of Case No. **CD-CPC-2026-00013** on **3/18/2026**

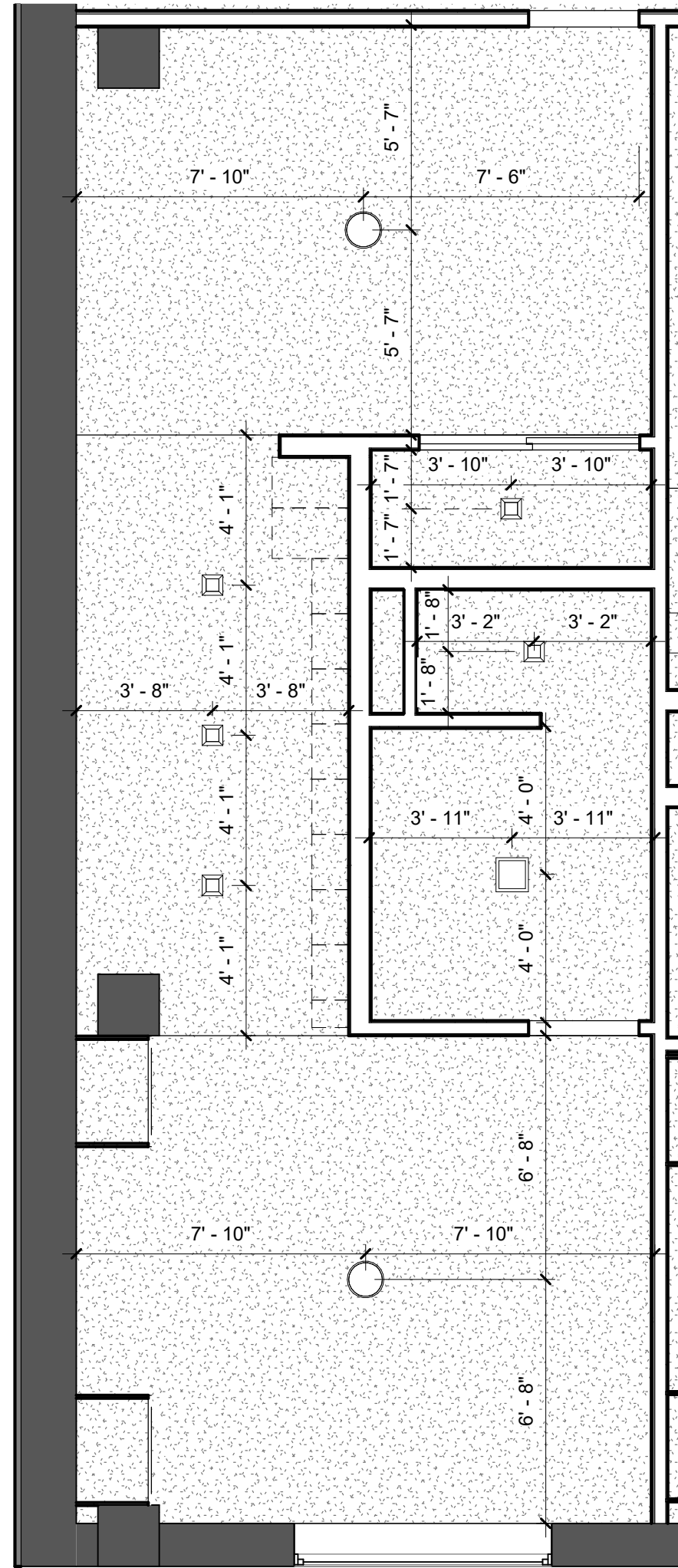

Sara Copeland, FAICP
Secretary of the City Plan Commission



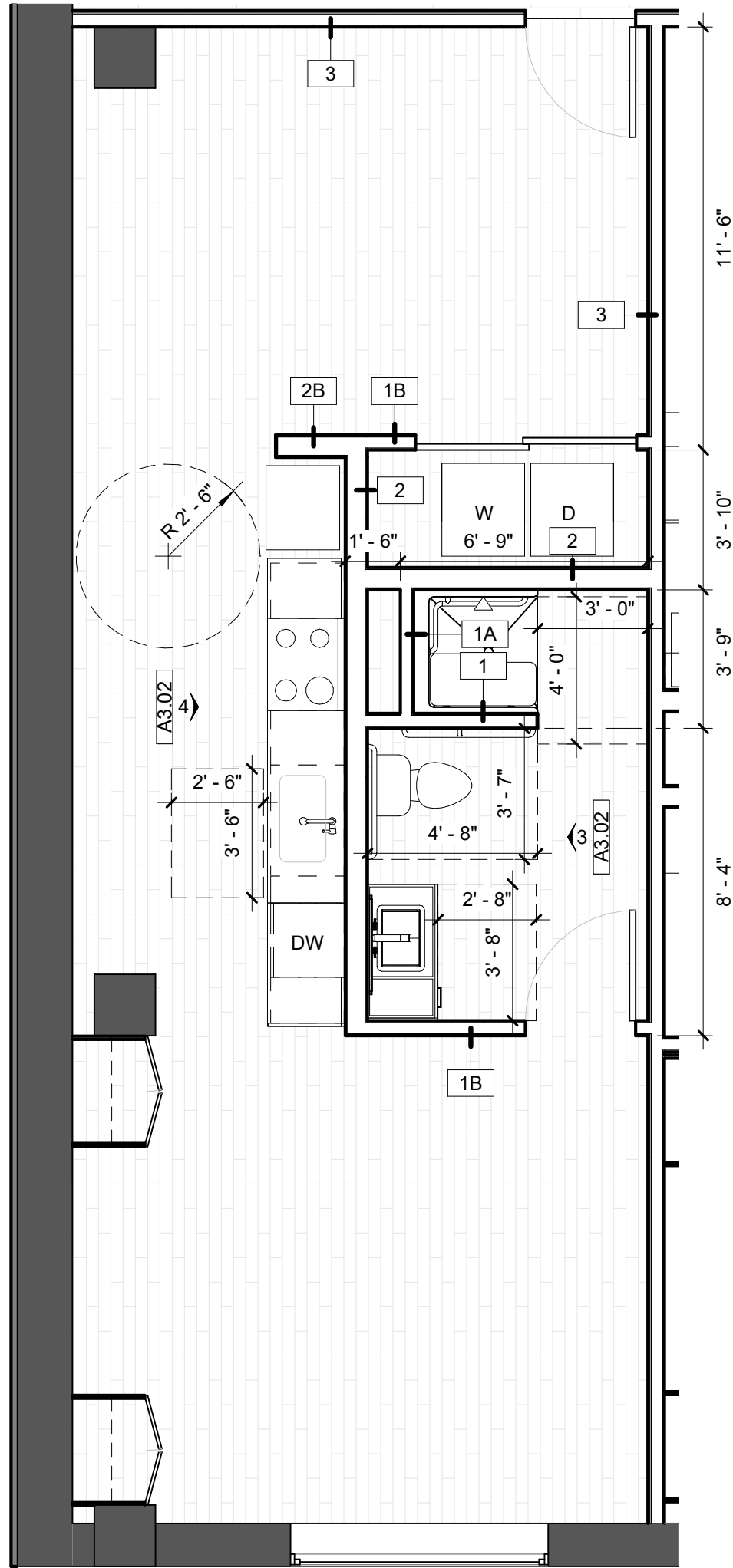
4 KITCHEN 2
1/4" = 1'-0"



3 BATHROOM ADA
1/4" = 1'-0"



2 ONE BED ADA RCP
1/4" = 1'-0"



1 ONE BED ADA
1/4" = 1'-0"

UNIT DESIGN - ADA

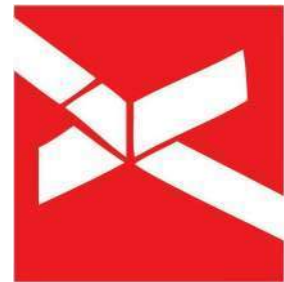
A3.02

NOT FOR CONSTRUCTION
GEORGE B. PECK DRY GOODS CO.

1044 MAIN ST
KANSAS CITY MISSOURI 64105

APPLICANT:			
ANNIE ROUSE			
ANNIE@EXACTARCHITECTS.COM			
630-699-2329			
ISSUE	DATE	NO	
DD Review	26-0130	1	
Development Plan	26-0206	2	
Development Plan	26-0226	3	

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



REMOVE FROM THE BUILDING ELEVATIONS ALL MEP SYSTEMS, ELEC. REMOVE FROM THE BUILDING ELEVATIONS ALL MEP SYSTEMS, ELEC. SERVICE, FIXTURES, CONDUIT, ETC. NOT SHOWN TO BE REUSED (ALL ITEMS NOT IDENTIFIED FOR CLARITY). REMOVE ALL NAILS, SCREWS, BOLTS, SCREWS, ETC. TO A DEPTH OF 3" MINIMUM. DISPOSE OF ALL ITEMS AS REQUIRED. PATCH & REPAIR ALL DAMAGED AREAS TO MATCH ADJACENT APPEARANCE. SEE DEMOLITION PLANS & MEP DRAWINGS FOR ADDITIONAL INFORMATION.

B. EXISTING WINDOW HEADS, JAMBS & SILL SHALL BE INSTALLED TO HISTORIC BUILDING STANDARDS OF THE DEPARTMENT OF THE INTERIOR. ALL GLAZING SHALL BE CLEAR, INSULATED MODERATE-SOLAR-GAIN LOW-E TYPE, W/ PERIMETER FLAT BLACK SPARKERS. WINDOWS SHALL BE THERMALLY BROKEN TO MATCH INTERIOR. INTERIOR GLAZING SHALL BE MATCH SHOP DRAWING PACKAGE W/ NEW WINDOW DETAILS ADJACENT TO EX WINDOW DETAILS (WHERE REPLICATING), INCLUDING EXTERIOR & INTERIOR TRIM. FOR ARCHITECT'S & STATE HISTORIC PRESERVATION OFFICER'S APPROVAL. ALL NEW GLAZING SHALL BE SAFETY GLAZING TYPE (WHERE REQUIRED BY CODE).

C. EX EXTERIOR WALLS ARE VENEER BRICK, CMU & STONE (SILLS HEADS, BANDING, PARAPET COPING, ORNAMENTATION, BRACKETS, ETC.). ALL FLAT HEAD MASONRY OPENINGS INCLUDE METAL LINETS. INCLUDE MASONRY WORK AT MISS. EXTERIOR WALL & INTERIOR WALL. PATCH & REPAIR ALL DAMAGED PARAPETS, SMALL PORTIONS (RECESSED ENTRIES, ETC) OF EXTERIOR ELEVATIONS NOT SHOWN, ETC.

D. CLEAN EX BRICK/GLASS BLOCK. REPLACE ALL DAMAGED, SPALLED & MISSING UNITS. REPLACE NON-MATCHING UNITS. PATCHING OF SILING, CAULK, MAX. COULING IS ACCEPTABLE. REPOINT ALL BRICK WALL & SILL JOINTS AS REQUIRED. ALL REPLACEMENT & INFILL BRICK SHALL BE TOOTHED-IN SOLID FULL DEPTH OF WALL, U.N.O.. TEXTURE, SIZE, FINISH, COLOR, DETAILING, STRENGTH, ETC. OF NEW BRICK, PATCHES & MORTAR TO MATCH TO MATCH EXISTING SAMPLES OF NEW UNITS. PATCHES & MORTAR FOR ARCHITECT'S APPROVAL. MULTIPLE BRICK & MORTAR COLORS SHALL BE ANTICIPATED.

E. CLEAN EX STONE. REPLACE ALL DAMAGED, SPALLED & MISSING STONE. CLEAN EX STONE. REPLACE ALL DAMAGED, SPALLED & MISSING STONE UNITS. PATCHING OF SMALL (1" DIA. MAX.) HOLES & CRACKS IS ACCEPTABLE. REPOINT ALL STONE JOINTS AS REQUIRED. REPOINT ALL SKYWARD FACING SILLS, BANDING, ORNAMENTATION, PARAPET COPING, ETC. JOINTS OF PACKING, CAULK, MAX. COULING IS ACCEPTABLE. IMPREGNATING JOINTS TO MATCH EX MORTAR JOINT. REPLACEMENT & INFILL STONE UNITS SHALL BE STONE OR CAST STONE. TEXTURE, SIZE, FINISH, COLOR, JOINT PATTERN, DETAILING, STRENGTH, ETC. OF NEW STONE, PATCHES & MORTAR TO MATCH TO MATCH EXISTING SAMPLES OF NEW UNITS. PATCHES & MORTAR FOR ARCHITECT'S APPROVAL. MULTIPLE STONE & MORTAR COLORS SHALL BE ANTICIPATED.

F. MASONRY CLEANING & REPOINTING: ALL MASONRY SURFACES SHALL BE CLEANED W/ VERY LOW-PRESSURE WATER SPRAY. MASONRY SHALL BE CLEANED TO REMOVE ALL SURFACE CONTAMINANTS, CHEMICALS, CLEANING STANDARD: CLEAN TO FULLEST EXTENT, UTILIZING PRODUCTS APPROVED BY NPS, WITHOUT DAMAGING MASONRY. MASONRY CLEANING SHALL BE COMPLETED PRIOR TO WINDOW & DOOR RELATED WORK. MASONRY CLEANING SHALL BE PERFORMED AS PER DEPARTMENT OF THE INTERIOR PRESERVATION BRIEF 1-"ASSESSING CLEANING & WATER-REPELLENT TREATMENTS FOR HISTORIC MASONRY BUILDINGS". ALL MORTAR REPOINTING SHALL BE PERFORMED AS PER DEPARTMENT OF THE INTERIOR PRESERVATION BRIEF 1-"REPOINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS".

G. EXISTING AREAS OF PAINTED BRICK TO BE PREPPED, AND REPAINTED.

H. ALL BRICK & STONE REPLACEMENT IS TO BE TOOTHED-IN TO MATCH ADJACENT APPEARANCE. ALL NEW BRICK & INFILL TO MATCH EX WALL THICKNESS, U.N.O. NEW BRICK & STONE TO MATCH EX COLOR, TEXTURE, SIZE, ETC.. PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL.

I. LINETS ARE LOCATED AT ALL FLAT HEAD MASONRY OPENINGS. REPLACE ALL DAMAGED, MISSING LINETS & REPLACEMENT UNITS TO BE MATCH SHOP DRAWING PACKAGE FINISH. WIRE BRUSH CLEAN ALL EX LINETS PRIOR TO REPLACING. PAINT ALL LINETS, 1 PRIME COAT & 2 FINISH COATS SEMI-GLOSS. PAINT COLORS TO MATCH ADJACENT MASONRY HEAD WINDOW.

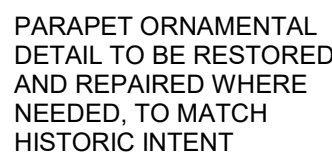
J. CAULK EX WINDOW, STOREFRONT & DOOR SILLS, JAMBS & HEADS AS REQUIRED FOR WATERPROOF PERFORMANCE. COLOR TO MATCH ADJACENT WINDOW, STOREFRONT OR DOOR FRAME SURFACE COLOR. CAULK ALL OTHER EXTERIOR WALL PENETRATIONS, COLOR TO MATCH ADJACENT MASONRY COLOR.

K. CAULK / RECAULK AT ALL EXTERIOR WALL / PAVING (CONCRETE, PAVING, ASPHALT, ETC.) JOINTS.

1. PROVIDE LOW-E FILM COATING AT ALL EXIST. EXTERIOR WINDOW AND DOOR GLAZING. PROVIDE SAMPLE OF INSTALLATION FOR NATIONAL PARK SERVICE REVIEW AND APPROVAL.
2. REPAIR DAMAGED SECTIONS OF PAINTED DECORATIVE METAL CORNICE AND BRACKETS. PREP, PRIME AND RE-PAINT.
3. EXIST. CLAY TILE PARAPET COPING. REPAIR/REPLACE DAMAGED UNITS. RESET AND REPOINT.



Sara Gabriel
Sara Gabriel, Mayor
Secretary of the City Plan Commission



FACADE STONE DETAILING
TO BE REPAIRED AND
RESTORED TO HISTORIC
INTENT

TOP OCCUPIED FLOOR —

HISTORIC WOODEN WINDOW
TO BE RESTORED TO
HISTORIC STANDARD

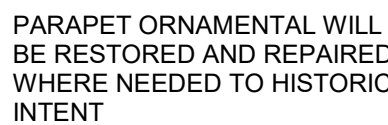
WOODEN TRIM DETAIL TO BE RESTORED AND PAINTED TO HISTORIC STANDARDS

HISTORIC STOREFRONT TO
BE RESTORED WITH
SIDELIGHTS AND TRANSOM
TO HISTORIC STANDARDS

2 | SOUTH ELEVATION
1/16" = 1'-0"



3 | HISTORIC SIGN LOCATION



FACADE STONE DETAIL TO BE
REPAIRED AND RESTORED TO
HISTORIC INTENT

FACADE STONE DETAIL TO BE
REPAIRED AND RESTORED TO
HISTORIC INTENT

FIRE ESCAPE TO BE REPAIRED
AND CLEANED

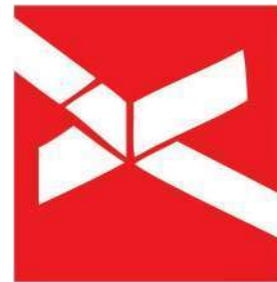
WOODEN DETAIL TRIM TO BE RESTORED AND PAINTED BACK TO HISTORIC INTENT

GEORGE B. PECK DRY GOODS
CO. ORIGINAL SIGN LOCATION

LOCATION OF ADDRESSING —

**HISTORIC STOREFRONT TO BE
RESTORED WITH SIDELIGHTS
AND TRANSOM TO HISTORIC
STANDARDS**

1 | EAST ELEVATION
1/16" = 1'-0"



NOT FOR CONSTRUCTION

GEORGE B. PECK DRY GOODS CO.

1044 MAIN ST
KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
ANNIE@EXACTARCHITECTS.COM
630-699-2329

[illegible]

EXTERIOR
ELEVATIONS
(PRIMARY)

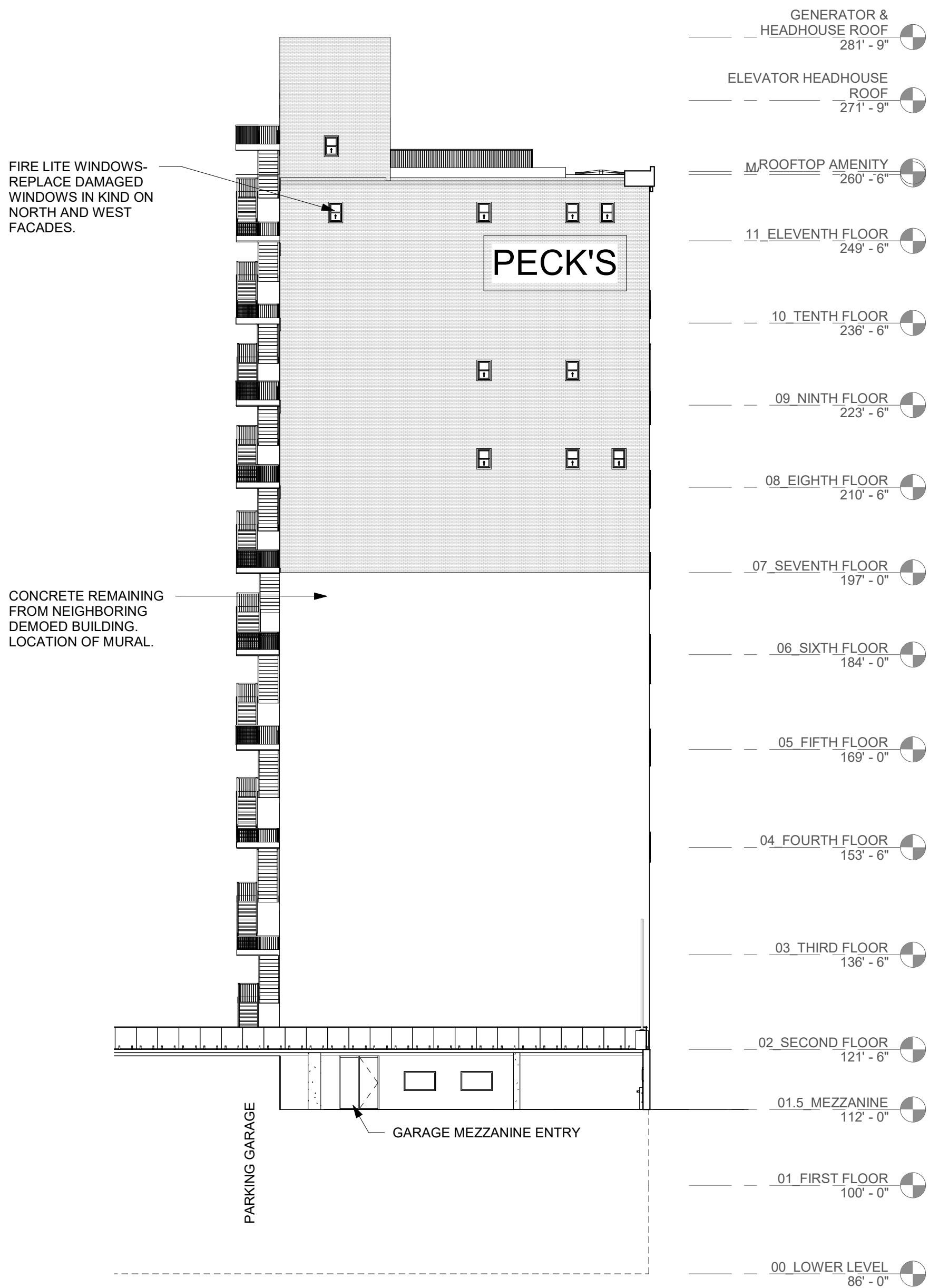
A4.00

GENERAL EXTERIOR ELEVATION NOTES:

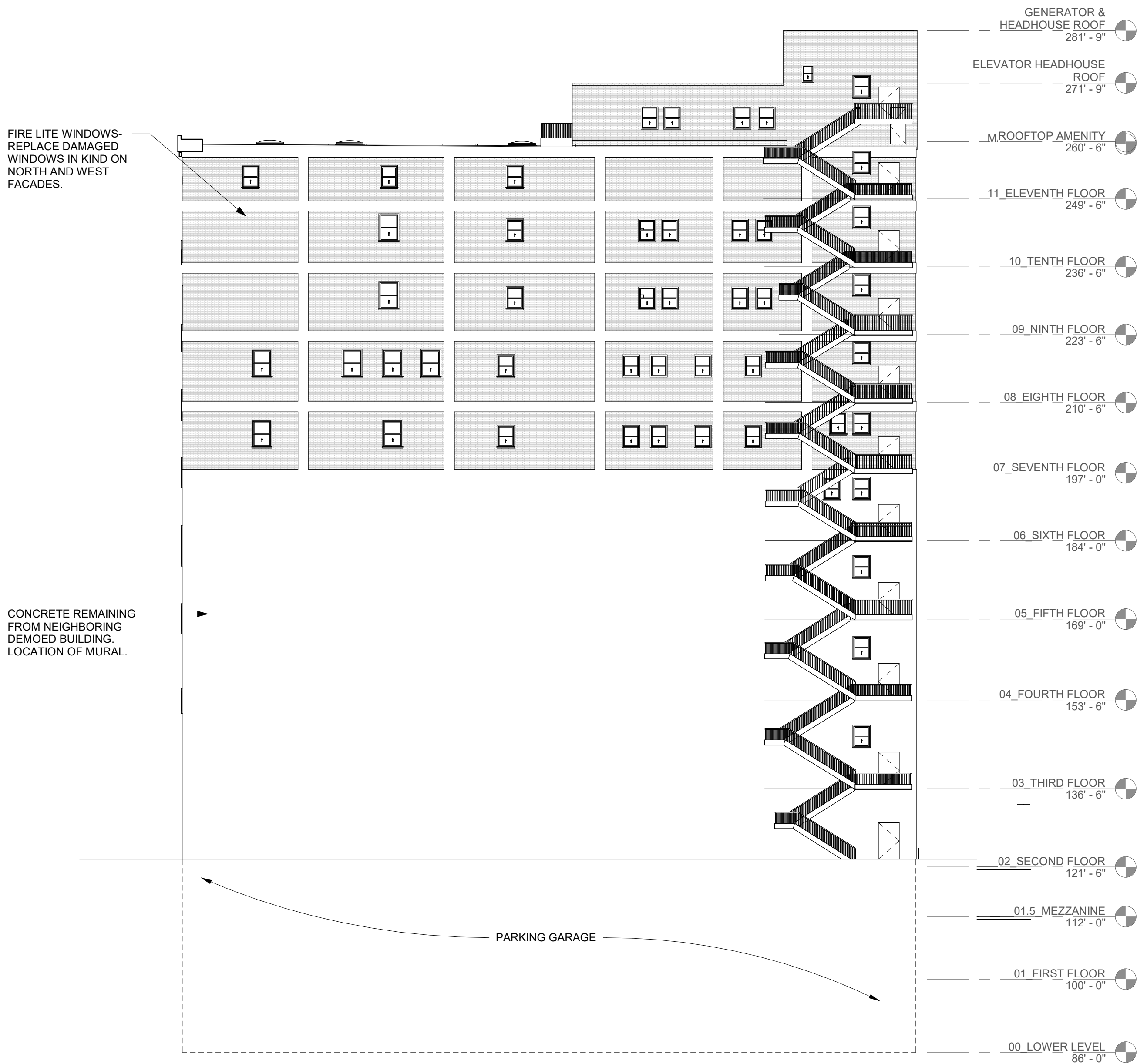
- A. REMOVE FROM THE BUILDING ELEVATIONS ALL MEP SYSTEMS, ELEC. REMOVE FROM THE BUILDING ELEVATIONS ALL MEP SYSTEMS, ELEC. SERVICE, FIXTURES, CONDUIT, ETC NOT SHOWN TO BE REUSED (ALL ITEMS NOT IDENTIFIED FOR CLARITY). REMOVE ALL VACATED HANGERS, RODS, BOLTS, SCREWS, ETC TO A DEPTH OF 3" MINIMUM. DISPOSE OF ALL ITEMS AS REQUIRED. PATCH & REPAIR ALL DAMAGED AREAS TO MATCH ADJACENT APPEARANCE. SEE DEMOLITION PLANS & MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- B. ALL NEW WINDOWS AND STOREFRONT SHALL BE INSTALLED TO HISTORIC BUILDING STANDARDS OF THE DEPARTMENT OF THE INTERIOR. ALL GLAZING SHALL BE CLEAR, INSULATED MODERATE-SOLAR-GAIN LOW-E TYPE, W/ PERIMETER FLAT BLACK SPACERS. WINDOWS SHALL BE THERMALLY BROKEN TYPE. AT INTERIOR PERIMETER OF EXISTING / ORIGINAL WINDOW OPENINGS (HEAD, JAMB & SILL) INSTALL WOOD TRIM TO MATCH EX SIZE, PROFILE, DETAILING, ETC., PAINT TO MATCH WINDOW. FABRICATE EACH WINDOW TO CUSTOM SIZE AS REQUIRE FOR EACH MASONRY OPENING. DO NOT STANDARDIZE WINDOW SIZES. PROVIDE COMPLETE SHOP DRAWING PACKAGE W/ NEW WINDOW DETAILS ADJACENT TO EX WINDOW DETAILS (WHERE REPLICATING), INCLUDING EXTERIOR & INTERIOR TRIM, FOR ARCHITECT'S & STATE HISTORIC PRESERVATION OFFICER'S APPROVAL. ALL NEW GLAZING SHALL BE SAFETY GLAZING TYPE WHERE REQUIRED BY CODE.
- C. EX EXTERIOR WALLS ARE VENEER BRICK, CMU & STONE (SILLS, HEADS, BANDING, PARAPET COPING, ORNAMENTATION BRACKETS, ETC.). ALL FLAT HEAD MASONRY OPENINGS INCLUDE METAL LINTELS. INCLUDE MASONRY WORK AT MISC. EXTERIOR WALL AREAS NOT SHOWN, I.E. BACK SIDE OF PARAPETS, SMALL PORTIONS (RECESSED ENTRIES, ETC) OF EXTERIOR ELEVATIONS NOT SHOWN, ETC.
- D. CLEAN EX BRICK/GLASS BLOCK. REPLACE ALL DAMAGED, SPALDED, & MISSING UNITS. REPLACE NON-MATCHING UNITS. PATCHING OF SMALL (1" DIA. MAX.) HOLES IS ACCEPTABLE. REPOINT ALL BRICK WALL & SILL JOINTS AS REQUIRED. ALL REPLACEMENT & INFILL BRICK SHALL BE TOOTHED-IN SOLID FULL DEPTH OF WALL, U.N.O.. TEXTURE, SIZE, FINISH, COLOR, DETAILING, STRENGTH, ETC. OF NEW BRICK, PATCHES & MORTAR TO MATCH EXISTING. SUBMIT SAMPLES OF REPLACEMENT BRICK, PATCHES & MORTAR FOR ARCHITECTS APPROVAL. MULTIPLE BRICK & MORTAR COLORS SHALL BE ANTICIPATED.
- E. CLEAN EX STONE. REPLACE ALL DAMAGED, SPALDED & MISSING STONE CLEAN EX STONE. REPLACE ALL DAMAGED, SPALDED & MISSING STONE UNITS. PATCHING OF SMALL (1" DIA. MAX.) HOLES & CRACKS IS ACCEPTABLE. REPOINT ALL STONE JOINTS AS REQUIRED. REPOINT ALL SKYWARD FACING SILLS, BANDING, ORNAMENTATION, PARAPET COPING, ETC JOINTS BY PACKING, CAULKING, TOOLING & SAND IMPREGNATING JOINTS TO MATCH EX MORTAR JOINT. REPLACEMENT & INFILL STONE UNITS SHALL BE STONE OR CAST STONE. TEXTURE, SIZE, FINISH, COLOR, JOINT PATTERN, DETAILING, STRENGTH, ETC. OF NEW STONE, PATCHES & MORTAR TO MATCH EXISTING. SUBMIT SAMPLES OF NEW UNITS, PATCHES & MORTAR FOR ARCHITECTS APPROVAL. MULTIPLE STONE & MORTAR COLORS SHALL BE ANTICIPATED. MASONRY CLEANING & REPOINTING: ALL MASONRY SURFACES SHALL BE CLEANED W/ VERY-LOW-PRESSURE WATER SPRAY. MASONRY SHALL BE CLEANED W/ DETERGENTS / MILD CHEMICALS. CLEANING STANDARD: CLEAN TO FULLEST EXTENT, UTILIZING PRODUCTS APPROVED BY NPS, WITHOUT DAMAGING MASONRY. MASONRY CLEANING SHALL BE COMPLETED PRIOR TO WINDOW & DOOR RELATED WORK. ALL MASONRY CLEANING UNDERTAKEN SHALL BE PERFORMED AS PER DEPARTMENT OF THE INTERIOR PRESERVATION BRIEF 1 - "ASSESSING CLEANING & WATER-REPELLENT TREATMENTS FOR HISTORIC MASONRY BUILDINGS". ALL MORTAR REPOINTING SHALL BE PERFORMED AS PER DEPARTMENT OF THE INTERIOR PRESERVATION BRIEF 2 - "REPOINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS".
- G. EXISTING AREAS OF PAINTED BRICK TO BE PREPPED, AND RE-PAINTED.
- H. ALL BRICK & STONE REPLACEMENT IS TO BE TOOTHED-IN TO MATCH ADJACENT WALL APPEARANCE. ALL MASONRY INFILL TO MATCH EX WALL THICKNESS, U.N.O.. ALL NEW BRICK & STONE TO MATCH EX COLOR, TEXTURE, SIZE, ETC.. PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL.
- I. LINTELS ARE LOCATED AT ALL FLAT HEAD MASONRY OPENINGS. REPLACE ALL DAMAGED / FAILING LINTELS. REPLACEMENT LINTELS TO BE HOT-DIPPED GALVANIZED FINISH. WIRE BRUSH CLEAN ALL EX LINTELS PRIOR TO PAINTING. PAINT ALL LINTELS 1 PRIME COAT & 2 FINISH COATS, SEMI-GLOSS. PAINT COLORS TO MATCH ADJACENT MASONRY HEAD COLOR.
- J. CAULK ALL WINDOW, STOREFRONT & DOOR SILLS, JAMBS & HEADS AS REQUIRED FOR WATERPROOF PERFORMANCE. COLOR TO MATCH ADJACENT WINDOW, STOREFRONT OR DOOR FRAME SURFACE COLOR. CAULK ALL OTHER EXTERIOR WALL PENETRATIONS, COLOR TO MATCH ADJACENT MASONRY COLOR.
- K. CAULK / RECAULK AT ALL EXTERIOR WALL / PAVING (CONCRETE, PAVING, ASPHALT, ETC.) JOINTS.

EXTERIOR ELEVATION SCOPE OF WORK NOTES:

1. PROVIDE LOW-E FILM COATING AT ALL EXIST. EXTERIOR WINDOW AND DOOR GLAZING. PROVIDE SAMPLE OF INSTALLATION FOR NATIONAL PARK SERVICE REVIEW AND APPROVAL.
2. REPAIR DAMAGED SECTIONS OF PAINTED DECORATIVE METAL CORNICE AND BRACKETS. PREP, PRIME AND RE-PAINT EXIST. CLAY TILE PARAPET COPING. REPAIR/REPLACE DAMAGED UNITS. RESET AND REPOINT.



2 WEST ELEVATION
1/16" = 1'-0"



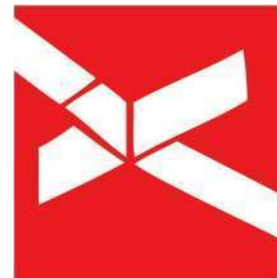
1 NORTH ELEVATION
1/16" = 1'-0"



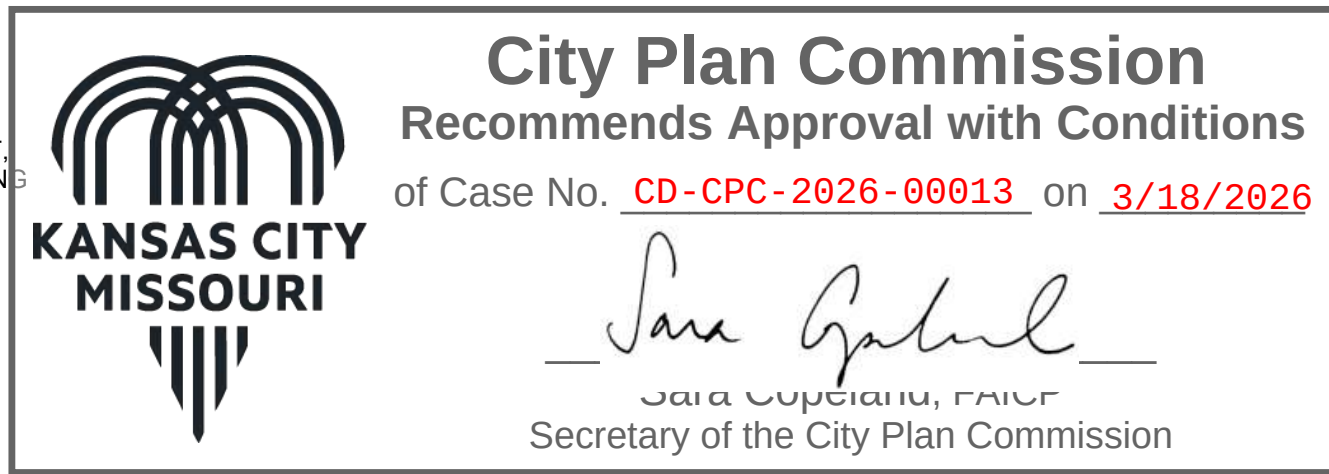
City Plan Commission
Recommends Approval with Conditions

of Case No. **CD-CPC-2026-00013** on **3/18/2026**

Sara Copeland
Sara Copeland, FAICP
Secretary of the City Plan Commission



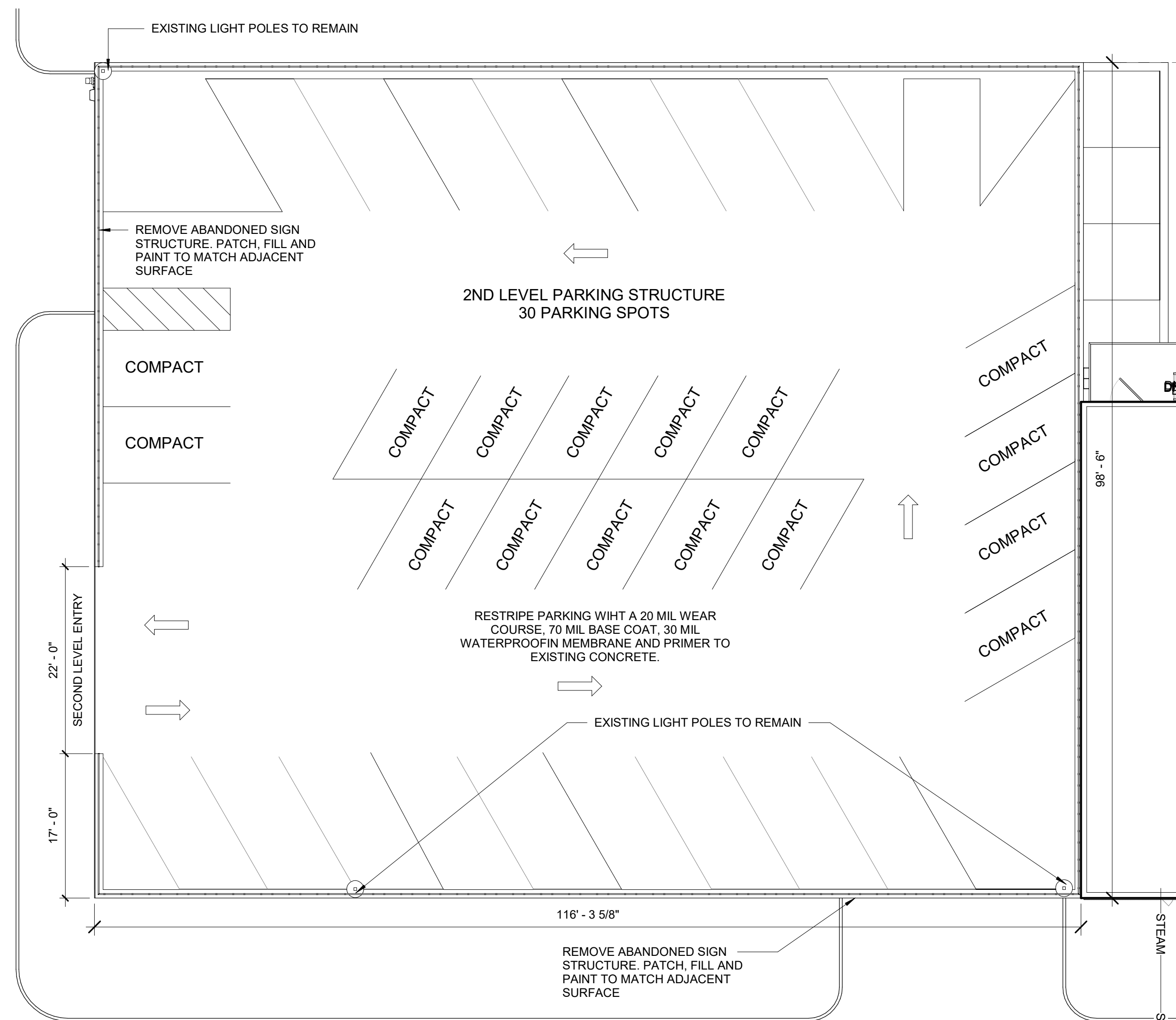
2. THIS PROJECT REPRESENTS THE REHABILITATION AND REPAIR OF AN EXISTING GARAGE.
3. THE DESIGN INTENT OF MEP WORK IS A COMPLETE INSTALL WHICH IS CODE AND INSPECTOR COMPLIANT, CONCEALED FROM ROOF TO UNDER SLAB, NEAT AND ORDERLY ROUTING, AND COORDINATED W/ BUILDING SERVICE ENTRANCES.
4. INSPECT CONDITION OF ALL CURBS, STRUCTURES, SURFACES, AND OTHER SITE ITEMS SCHEDULED TO REMAIN. NOTIFY ARCHITECT OF DISCREPANCIES, OR WHERE REPAIR OR REPLACEMENT IS REQUIRED.
5. COORDINATE ALL WORK WITH CIVIL DRAWINGS AND MEP PLANS. NOTIFY ARCHITECT IF DISCREPANCIES OCCUR BETWEEN DRAWINGS.
6. ALL PRODUCTS AND MATERIALS ARE INTENDED AS GENERIC AND TO BE FINALIZED BY ARCHITECT'S SECTION 01.10.
7. DO NOT SCALE FROM DRAWINGS.
8. ALL DIMENSIONS ARE APPROXIMATE. ACTUAL, FIELD-VERIFIED DIMENSIONS SHALL BE OBTAINED BY THE GENERAL CONTRACTOR AND SUB-CONTRACTORS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. FIELD CONDITIONS WHICH DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AT THE TIME OF THEIR FINDING AND PRIOR TO COMMENCEMENT OF SAID WORK.
9. EXISTING CONDITIONS ARE NOTED, BUT NOT ALL CONDITIONS ARE VISIBLE. THE GENERAL CONTRACTOR AND SUB-CONTRACTORSShall VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION AND COMMENCEMENT OF WORK. CONDITIONS WHICH DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF SAID WORK.
10. VERIFY ALL WORK WITH ARCHITECT PRIOR TO START OF DEMOLITION. NOTIFY ARCHITECT OF WORK NOT LISTED, OR ADDITIONS TO THE NECESSARY SCOPE OF WORK.
11. ALL SCOPES OF WORK SHALL COMPLY WITH 3-PART, LONG FORM SPECIFICATION STANDARDS. REFERENCED IN MASTERFORMAT BY CONSTRUCTION SPECIFICATIONS INSTITUTE (CSI).
12. CORD DRAWING TO INCLUDE HAND-PAINTED HANDICAPED STALL STRIPINGS, ARROWS, AND COMPACT CAR MARKINGS.
13. NEW CONCRETE CURBS OR SIDEWALKS SHALL MATCH PROFILE, HEIGHT, AND/OR DEPTH OF EXISTING SITE WORK, WHERE THEY MEET EXISTING CONCRETE SCHEDULED TO REMAIN.
14. PATCH AND REPAIR ALL EXISTING SITE WALLS, PREP FOR PAINT.



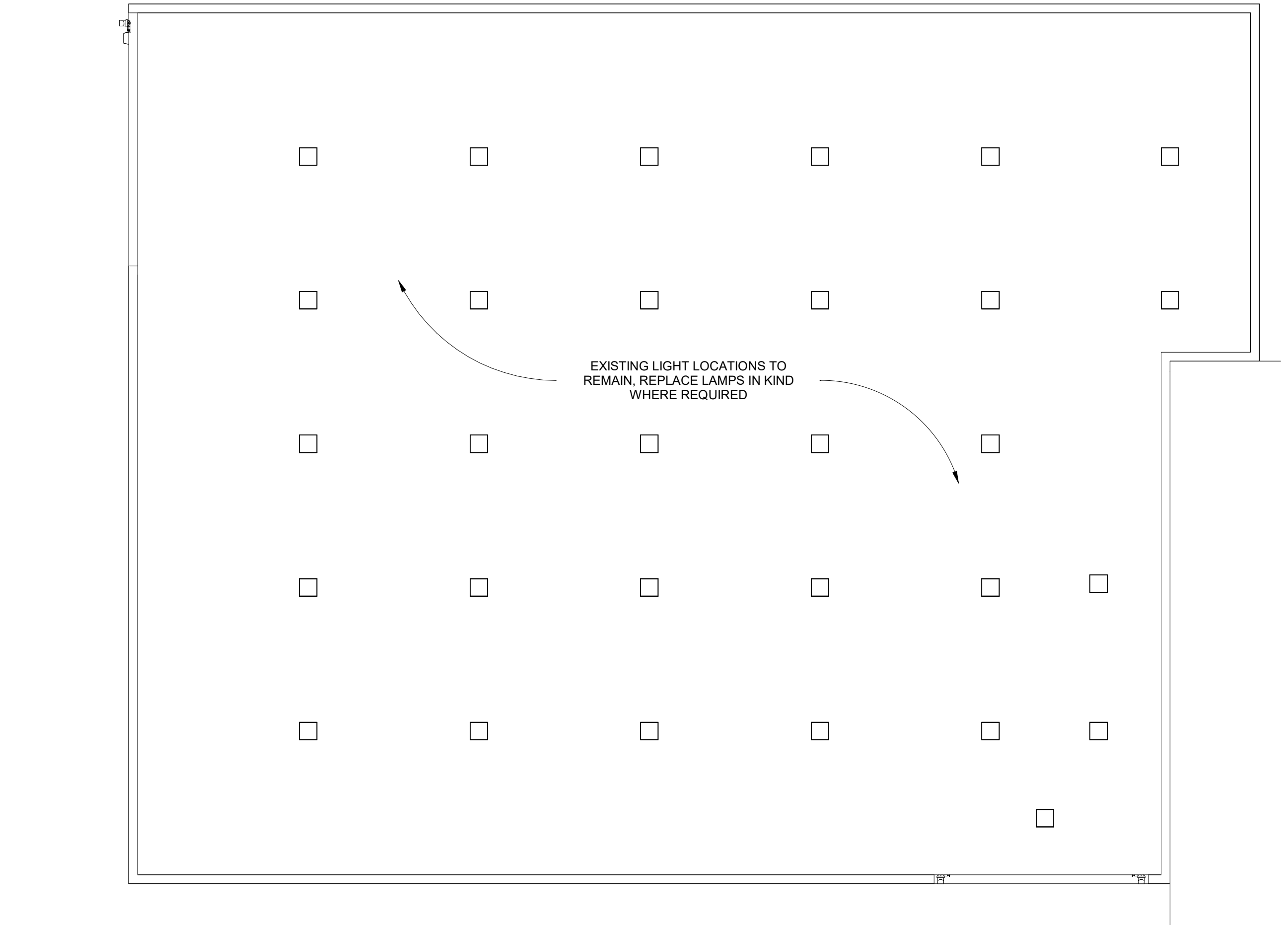
1. WORK SHALL INCLUDE REPLACEMENT OF ANY SIDEWALK SQUARE CRACKED OR MISSING A PIECE 1/2" OR MORE WIDE, ADJOINING SQUARE DIFFERING VERTICALLY 1/2" OR MORE, WITH SURFACES NOT OF CONTIGUOUS CONCRETE, AND THE ADJOINING CURBS OF THAT WALK OR SHARING THAT CRITERIA OR HAVING A GUTTER 4" BELOW STREET, OR IMPEDING THE FLOW OF WATER.
2. REPLACE: ANY CURB HAVING A MEASURED HEIGHT OF 2 1/2" OR LESS ABOVE THE STREET SURFACE, ANY CURB HAVING A GUTTER SECTION OF 4" OR MORE BELOW THE STREET SURFACE, ANY CURB THAT OBSTRUCTS THE INTENDED FLOW OF WATER. SHALL BE REPLACED TO THE NEAREST JOINTS. CURBS TO BE REPLACED SHALL BE SET 1/2" FROM THE NEW CURB TO THE EXISTING CURB. SHALL NOT EXCEED A SLOPE OF 1/2" PER FOOT.

BICYCLE PARKING
SHORT TERM: 8 PARKING SPOTS
LONG TERM: 72 PARKING SPOTS

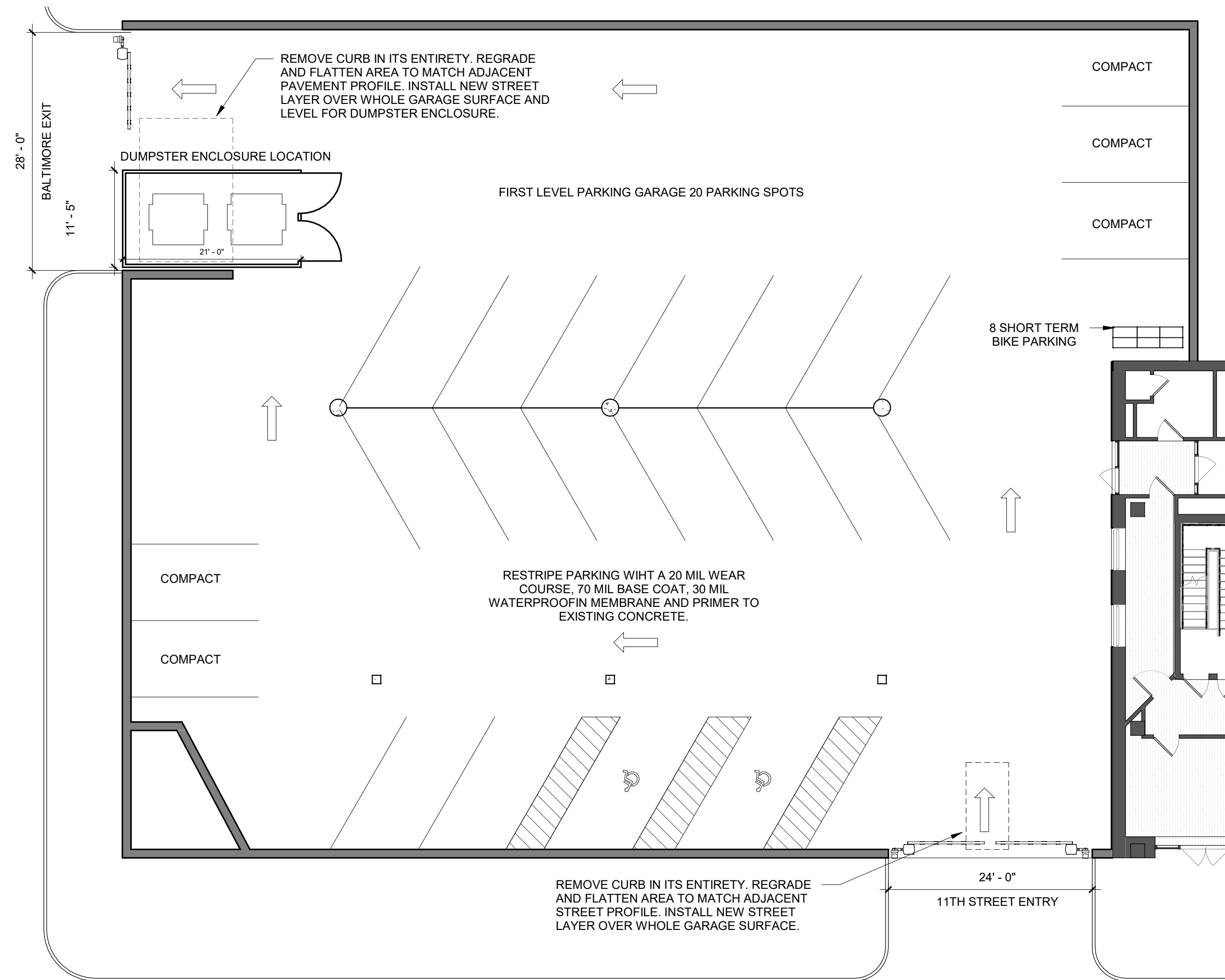
PARKING GARAGE WILL BE MONITORED BY SECURITY CAMERAS



2 SECOND LEVEL PARKING GARAGE @ SECOND FLOOR ENTRY
3/32" = 1'-0"



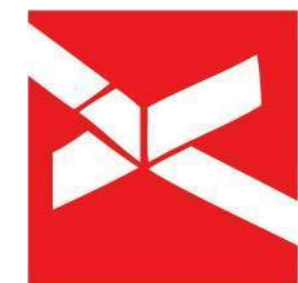
3 | PARKING GARAGE RCP



1 | FIRST LEVEL PARKING GARAGE @ MEZZANINE ENTRY
3/32" = 1'-0"

CALEB BULAND, ARCHITECT | MO 2009005509

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



NOT FOR CONSTRUCTION

GEORGE B. PECK DRY GOODS CO.

1044 MAIN ST
KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
ANNIE@EXACTARCHITECTS.COM
630-699-2329

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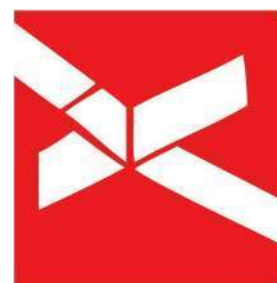
PARKING GARAGE SCOPE

A4.05

2. THIS PROJECT REPRESENTS THE REHABILITATION AND REPAIR OF AN EXISTING GARAGE.
3. THE DESIGN INTENT OF MEP WORK IS A COMPLETE INSTALL WHICH IS CODE AND INSPECTOR COMPLIANT,
4. CONCEALED FROM ROOF TO UNDER SLAB, NEAT AND ORDERLY ROUTING, AND COORDINATED W/ BUILDING
5. SERVICE ENTRANCES.
6. INSPECT CONDITION OF ALL CURBS, STRUCTURES, SURFACES, AND OTHER SITE ITEMS SCHEDULED TO
7. REMAIN. NOTIFY ARCHITECT OF DISCREPANCIES, OR WHERE REPAIR OR REPLACEMENT IS REQUIRED.
8. COORDINATE ALL WORK WITH CIVIL DRAWINGS AND MEP PLANS. NOTIFY ARCHITECT IF DISCREPANCIES
9. OCCUR BETWEEN DRAWINGS.
10. ALL PRODUCTS AND MATERIALS ARE INTENDED AS GENERIC AND TO BE FINALIZED BY ARCHITECT'S
11. SECTION, I.D.O.
12. DO NOT SCALE FROM DRAWINGS.
13. ALL DIMENSIONS ARE APPROXIMATE. ACTUAL, FIELD-VERIFIED DIMENSIONS SHALL BE OBTAINED BY THE
14. GENERAL CONTRACTOR AND SUB-CONTRACTORS PRIOR TO THE COMMENCEMENT OF ANY
15. CONSTRUCTION. FIELD CONDITIONS WHICH DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION
16. DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AT THE TIME OF THEIR FINDING
17. AND PRIOR TO COMMENCEMENT OF SAID WORK.
18. EXISTING CONDITIONS ARE NOTED, BUT NOT ALL CONDITIONS ARE VISIBLE. THE GENERAL CONTRACTOR
19. AND SUB-CONTRACTORSShall VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION AND
20. COMMENCEMENT OF WORK. CONDITIONS WHICH DIFFER FROM THOSE INDICATED ON THE CONSTRUCTION
21. DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF
22. SAID WORK.
23. VERIFY ALL WORK WITH ARCHITECT PRIOR TO START OF DEMOLITION. NOTIFY ARCHITECT OF WORK NOT
24. LISTED, OR ADDITIONS TO THE NECESSARY SCOPE OF WORK.
25. ALL SCOPES OF WORK SHALL COMPLY WITH 3-PART, LONG FORM SPECIFICATION STANDARDS.
26. REFERENCED IN MASTERFORMAT BY CONSTRUCTION SPECIFICATIONS INSTITUTE (CSI).
27. CIP PAVING TO INCLUDE REINFORCED HANDICAP, STALL STRIPING, ARROWS, AND COMPACT CAR MARKINGS.
28. NEW CONCRETE CURBS OR SIDEWALKS SHALL MATCH PROFILE, HEIGHT, AND/OR
29. DEPTH OF EXISTING SITE WORK, WHERE THEY MEET EXISTING CONCRETE SCHEDULED TO REMAIN.
30. PATCH AND REPAIR ALL EXISTING SITE WALLS, PREP FOR PAINT.



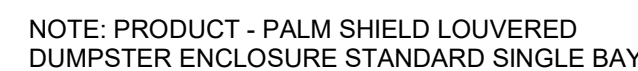
EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+D, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



1. WORK SHALL INCLUDE REPLACEMENT OF ANY SIDEWALK SQUARE CRACKED OR MISSING A PIECE 1/2" OR MORE WIDE, ADJOINING SQUARE DIFFERING VERTICALLY 1/2" OR MORE, WITH SURFACES NOT OF CONTIGUOUS CONCRETE, AND THE ADJOINING CURBS OF THAT WALK OR SHARING THAT CRITERIA OR HAVING A GUTTER 4" BELOW STREET, OR IMPEDING THE FLOW OF WATER.
2. REPLACE: ANY CURB HAVING A MEASURED HEIGHT OF 2 1/2" OR LESS ABOVE THE STREET SURFACE. ANY CURB HAVING A GUTTER SECTION OF 4" OR MORE BELOW THE STREET SURFACE. ANY CURB THAT OBSTRUCTS THE INTENDED FLOW OF WATER. SHALL BE REPLACED TO THE NEAREST JOINTS. CURBS TO BE REPLACED SHALL BE SET WITHIN 1/2" OF THE NEW CURB TO THE EXISTING CURB. SHALL NOT EXCEED A SLOPE OF 1/2" PER FOOT.

BICYCLE PARKING
SHORT TERM: 8 PARKING SPOTS
LONG TERM: 72 PARKING SPOTS

PARKING GARAGE WILL BE MONITORED BY SECURITY CAMERAS



2

A street-level view of a building entrance. A red bounding box highlights a dark, shadowed area under a concrete overpass or bridge structure. The surrounding area includes a sidewalk, a street, and various urban buildings in the background.

1

PARKING GARAGE SCOPE

A4.06

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A5 - UNIT FINISH/PRODUCT SELECTIONS						
DIVISION & SECTION		PRODUCT	MANUFACTURER	NAME, STYLE OR NUMBER	FINISH OR COLOR	NOTES
08 8300 MIRRORS		WALL-MOUNTED BATHROOM MIRROR	CHARMOR	FRAMELESS LED BATHROOM MIRROR	---	FULLY ADHERED
09 - FINISHES						
		BACKSPASH / WALL TILE	MSI	CITYLIGHTS INK 4"x12" GLOSSY CERAMIC SUBWAY TILE	GLOSSY	GROUT COLOR TBD
09 3000 TILING		TILE TRANSITION STRIP	SCHLUTER	SCHIENE OR TREP-E	STAINLESS STEEL	EDGES: INSTALL SCHIENE NOSING: INSTALL TREP-E
09 6519 RESILIENT BASE AND ACCESSORIES		4" RUBBER WALL BASE	MANNINGTON	BURKEBASE TYPE TP	ARCHITECT TO SELECT FROM FULL COLOR RANGE	---
09 0000 TRANSITIONS		TRANSITION STRIP	TBD	TRANSITION STRIP	WARM GREY TONE	CARPET TO LVT
09 9100 PAINTING		WALL AND CEILING FINISH	SHERWIN WILLIAMS	---	VARIES; COORDINATE DURING CONSTRUCTION	2 COATS PRIMER + FINISH
09 6500 RESILIENT FLOORING LVT		LVT FLOORING	MANNINGTON	STYLE TBD- HISTORIC REVIEW NEEDED, CUT SHEETS PROVIDED	---	---
10 - SPECIALITIES						
10 1400 SIGNAGE		DWELLING UNIT NUMBERS	LUXELLO	LED 3" HIGH UNIT NUMBER	BRASS WITH WHITE LED	RE-ELECTRICAL FOR PLACEMENT
10 2800 TOILET AND BATH ACCESSORIES		SINGLE ROBE HOOK	PAMEX	SOLANO COLLECTION; MODEL: BC12-21	MATTE BLACK	OPPOSITE VANITY WALL
		METAL TOWEL RING	PAMEX	SOLANO COLLECTION; MODEL: BC12-30	MATTE BLACK	ADJACENT TO VANITY
		ROUND TOWEL BAR	PAMEX	SOLANO COLLECTION; MODEL: BC12-158XX	MATTE BLACK	OPPOSITE TOILET WALL
		SURFACE PAPER HOLDER	PAMEX	SOLANO COLLECTION; MODEL: BC12-45	MATTE BLACK	ON SIDE OF VANITY
		CURVED SHOWER ROD (ADA)	PAMEX	MODEL: BSR-573, 673	MATTE BLACK	INSTALL 7'-0" AFF
10 5700 WARDROBE AND CLOSET SPECIALTIES		WIRE SHELVING SYSTEM	CLOSETMAID	12" and 16" DEEP TOTALSLIDE - FIXED MOUNT	WHITE	RE: WALL TYPE SHEET FOR INSTALLATION HEIGHTS & COUNTS
11 - EQUIPMENT		NOTE: PROVIDE COMPATIBLE ADA COMPLIANT APPLIANCES AT ALL ADA UNITS				
		REFRIGERATOR	MIDEA	MODEL: MRT18D2BST/MRT18D3BST	S.S.	INCLUDES ICE MAKER, ENERGY STAR COMPLIANT
		DISHWASHER	MIDEA	MODEL: MDF24P1BST	S.S.	BUILT-IN 24", ENERGY STAR COMPLIANT
		MICROWAVE	GE	MODEL: WMH31017 MODEL: WMC57022SZ (ADA)	S.S.	OVER THE RANGE W/ RECIRC VENT COUNTERTOP @ ADA, ENERGY STAR COMPLIANT
		RANGE	WHIRLPOOL	MODEL: WFE53SS0L MODEL: WEE515S0LZ (ADA)	S.S.	ENERGY STAR COMPLIANT
		RANGE HOOD (ADA UNIT ONLY)	WHIRLPOOL	MODEL: WVU17UC0JS	S.S.	ENERGY STAR COMPLIANT
		WASHER / DRYER	LG (TYPICAL UNIT)	MODEL: WKEX200H_A/ WKGX201H_A	WHITE	ENERGY STAR COMPLIANT
			LG ADA	MODEL: WM4000HBA/DLEX4000B	WHITE	ENERGY STAR COMPLIANT
12 - FURNISHINGS						
12 2413 ROLLER WINDOW SHADES		MANUAL ROLLER SHADES	WORLDWIDE WINDOWS	NORDIC SCREEN BW 1%	WHITE	--
12 3213 MANUFACTURED WOOD VENEER-FACE CASEWORK		KITCHEN/VANITY CABINETS	KOUNTRY CABINETS	FULL OVERLAY WITH SOFT CLOSE HINGES, HARDWOOD / PLYWOOD CONSTRUCTION W/ MODERN PULLS (MATTE BLACK)	ARCHITECT TO SELECT FROM FULL COLOR RANGE	REFER TO UNIT RENDERS/ INTERIOR ELEVATIONS
12 3640 STONE COUNTERTOPS		KITCHEN COUNTER AND VANITIES	---	KITCHEN: LARGE VOLUME 3CM QUARTZ VANITIES: LARGE VOLUME 2CM QUARTZ	ARCHITECT TO SELECT FROM FULL COLOR RANGE	---
22 - PLUMBING						
REFER TO PLUMBING DRAWINGS FOR BASIS OF DESIGN FIXTURE SELECTIONS						
		SHOWER PAN AND SURROUNDS	MPL	SURROUNDS: 3"x12" STACKED IN IVORY GLOSSY. TYPICAL FOR ALL SHOWERS PANS: 36X36 AND 30X60 TRENCH DRAIN FOR TYPICAL UNIT. ADA- ROLL IN PAN WITH RAMP AND SEAT, 36X36.	SHOWER HARDWARE MATTE BLACK FOR ADA	CONTRACTOR TO VERIFY - RE: PLANS FOR ADA UNITS AND TYP. UNITS
		SHOWER DOOR	MPL	60" SONOMA SHOWER DOOR BY-PASS 1/4", 60" OPENING, 36X72 MALIBU SWING DOOR	MATTE BLACK HARDWARE WITH 1/4" TEMPERED GLASS	CONTRACTOR TO VERIFY- RE: PLANS FOR 36X36 OR 30X60 SHOWERS
23 - HVAC						
26 - ELECTRICAL						
28 - ELECTRONIC SAFETY AND SECURITY						
28 1300 ACCESS CONTROL		---	DORMAKABA	ACCESS CONTROL AT BUILDING ENTRIES ONLY	---	---

REFINISH SCHEDULE			
TAG	MATERIAL	REFINISH SCOPE OF WORK	NOTES
FLOOR			
EX1	CONCRETE SLAB	CLEAN, SEAL, AND POLISH	RE: FLOOR REFINISH NOTES
BASE			
WD1	HISTORIC WOOD WALL BASE	CLEAN ; REFINISH	EAST STAIR ; PERIMETER/EXTERIOR WALLS
WALL			
EX7	COLUMNS	CLEAN	---
EX8	BRICK	CLEAN ; SEAL	---
EX9	PLASTER	REPAIR, REFINISH, PREP, PRIME, PAINT	
EX10	C.I.P. CONCRETE	PATCH AND CLEAN	---
CEILING			
EX10	PLASTER	AREAS TO REMAIN SHALL BE PATCHED / REPAIRED ; CLEAN, PRIME & PAINT	PAINT TO MATCH NEW GYP. CEILINGS.
EX11	CONCRETE DECK	PATCH DAMAGED AREAS ; CLEAN AND SEAL	---
STRUCTURE			
EX12	JOIST & FLOOR ASSEMBLY	CLEAN	---
EX13	CONCRETE	PREP TO SMOOTH SURFACE ; CLEAN, PRIME & PAINT	PAINT SELECTION BY ARCHITECT

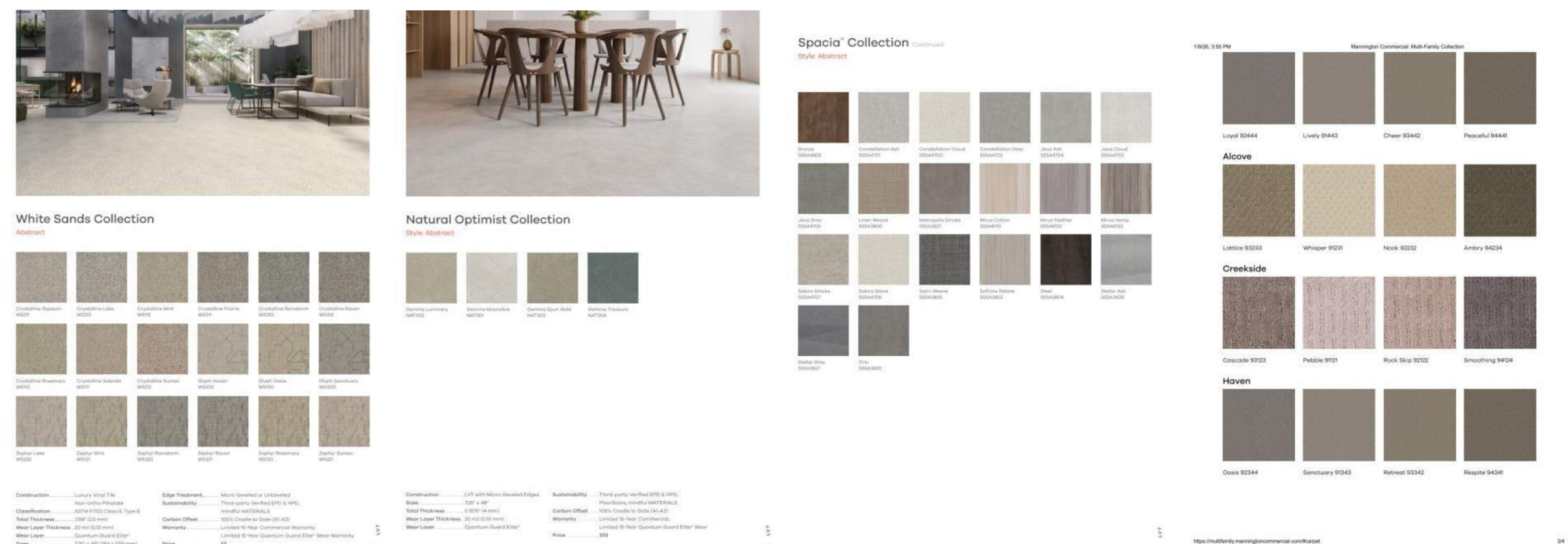
GENERAL FLOORING REFINISH NOTES:

1. ALL EXISTING FLOORING IS SCHEDULED TO REMAIN AND BE RESTORED. FLOOR FINISH IS NOT SHOWN ON THE PLANS FOR CLARITY. EXTENTS OF EXISTING FLOORING IS NOTED ON THE EXISTING AND NEW FLOOR PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. PROTECT THE FLOORING DURING DEMOLITION AND NEW CONSTRUCTION; DURING, BUT NOT LIMITED TO, ADJACENT WALL DEMOLITION, FLOOR CORNER, NEW WALL CONSTRUCTION, ETC. AREAS DAMAGED FROM DEMOLITION AND NEW CONSTRUCTION WORK IS THE RESPONSIBILITY OF EACH PARTY INVOLVED.
3. REPAIR AND RESTORE EXISTING FLOORING TO ORIGINAL CONDITION, INCLUDING REPAIR AND REFINISHING OF DAMAGED AREAS.
4. REPAIR AND RESTORE EXISTING FLOORS IN LOCATIONS TO REMAIN WHERE NON-HISTORIC FLOORING (VCT, CARPET, ETC.) HAS BEEN INSTALLED OVER ORIGINAL AND/OR WHERE HAZARDOUS MATERIALS COVER EXISTING FLOORS. PREP SURFACES ACCORDINGLY. RE: EXISTING AND NEW PLANS FOR FLOORING EXTENTS.

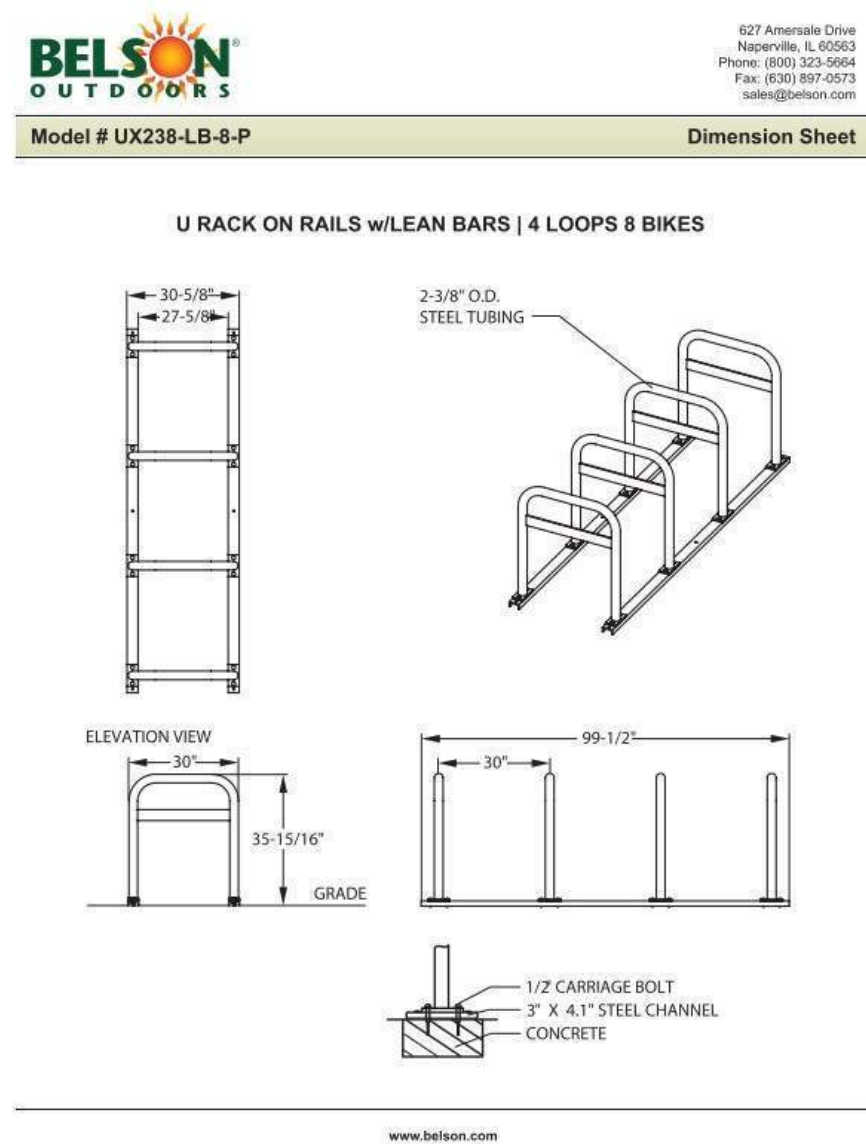
GENERAL FINISH NOTES

1. ALL MATERIALS AND PRODUCTS SHALL BE SUBMITTED AND APPROVED BY ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK.
2. VERIFY ALL REHABILITATION WORK WITH ARCHITECT PRIOR TO START OF DEMOLITION. NOTIFY ARCHITECT OF WORK NOT LISTED, OR ADDITIONS TO THE NECESSARY SCOPE OF WORK. REFER TO ENLARGED PLANS FOR EXTENT OF FINISHES.
3. REPAIR AND RESTORE EXISTING FLOORS IN LOCATIONS TO REMAIN. WHERE NOTED ON ENLARGED AND NEW PLANS, PREPARE EXISTING FLOORS FOR NEW FLOOR FINISHES. UTILIZE PATCHING COMPOUND TO PROVIDE A SMOOTH AND LEVEL SUBSURFACE FOR ALL FLOOR FINISH MATERIALS. PRE-BID WALK REQUIRED FOR EXTENT OF WORK. PLANS DO NOT SHOW EXTENT OF FLOOR PREP WORK.
5. PAINT ALL NEW EXPOSED GYPSUM BOARD AND WOOD DOOR TRIM, U.N.O. PAINT METAL SURFACES (HOLLOW METAL FRAMES, METAL DOORS, ETC.) U.N.O. UTILIZE PAINT TYPE PER MANUFACTURER'S RECOMMENDATION, DO NOT PAINT PRE-FINISHED METALS AND OTHER ITEMS NOTED TO BE WITHOUT APPLIED FINISH.
6. PAINT SCOPE INCLUDES SURFACE PREPARATION (EXISTING PAINT REMOVAL, SURFACE LEVELING / PATCHING, ETC.), PRIME AND PAINT.
7. ALL EXISTING PAINTED DOORS, FRAMES AND/OR PORTICOES SCHEDULED TO REMAIN SHALL BE SCRAPED TO ORIGINAL SURFACE, PRIME AND PAINTED.
8. FLOOR FINISH TRANSITIONS: SCLUTTER METAL STRIPS: EXISTING FLOOR TO CERAMIC TILE, EXISTING FLOOR TO VINYL, CERAMIC TILE TO VINYL, CARPET TO VINYL AND EXISTING FLOOR TO CARPET.
9. ALL EXISTING STAINED SURFACES, DOORS, TRIM, CASEWORK, ETC SHALL BE RESTORED TO ITS ORIGINAL CONDITION AND FINISH.
10. INSTALL ALL CARPET TILE OVER ADHERED PAD BACKING.
11. CEILING HEIGHTS AND FINISH VARY PER UNIT. RE: REFLECTED CEILING PLANS. NEW NOTES AND FINISH NOTES.
12. EXPOSED BRICK, CONCRETE AND CHIMNEYS SHALL ALL REMAIN EXPOSED, U.N.O.
13. EXPOSURE, CONCRETE, METAL DECKING, PLASTER AND GYPSUM SHALL ALL REMAIN EXPOSED, U.N.O. RE: REFLECTED CEILING PLANS.
14. WHERE EXISTING BRICK WALLS, CONCRETE SURFACES, EXPOSED STEEL STRUCTURE AND METAL DECKING, AND PLASTER SURFACES HAVE BEEN PAINTED, THEY SHALL BE PREPPED AND REPAINTED, TYPICAL. WHERE THEY ARE A NATURAL BRICK, CONCRETE OR METAL FINISH, THEY SHALL REMAIN UNPAINTED, TYPICAL, U.N.O.

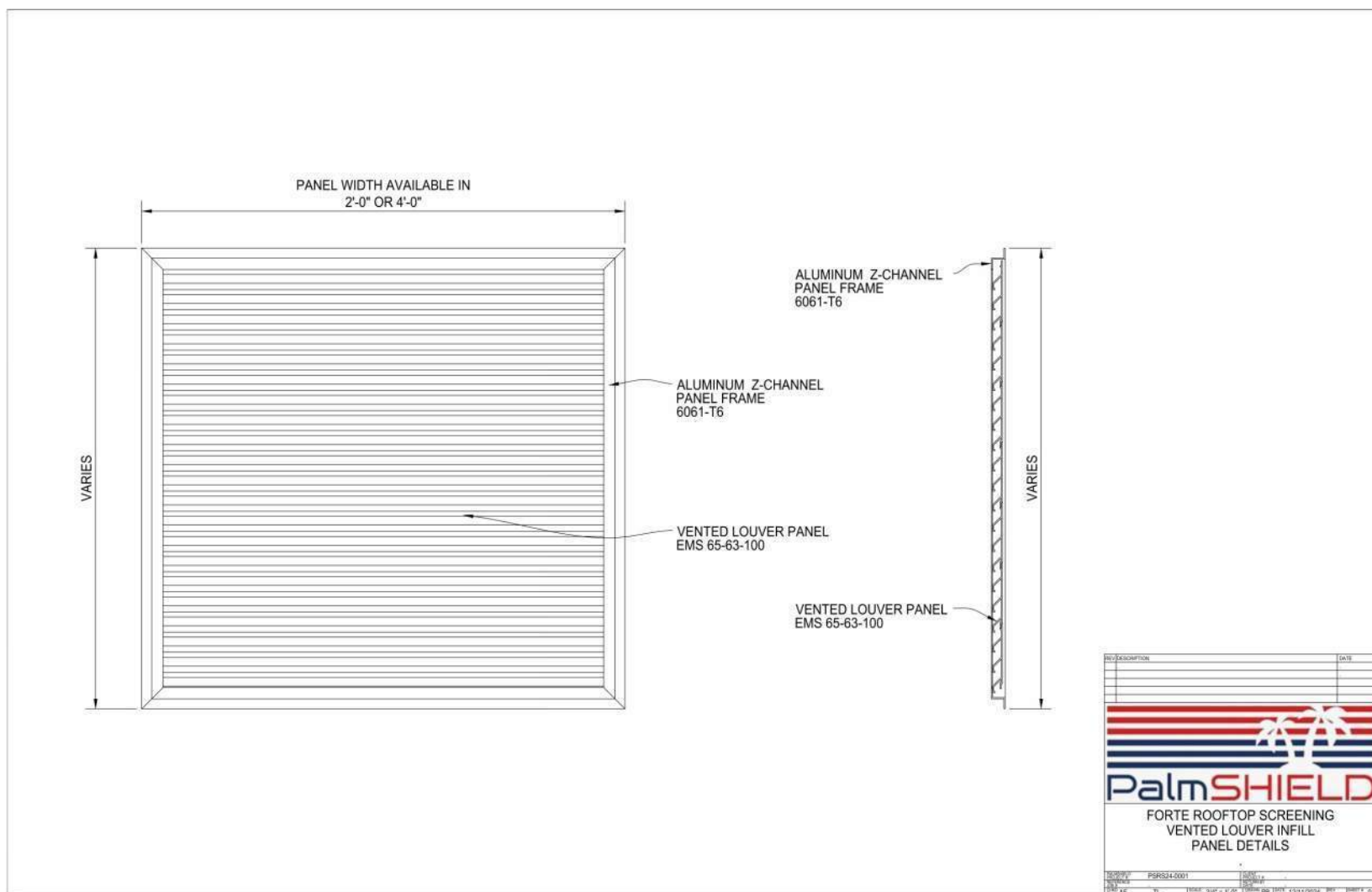
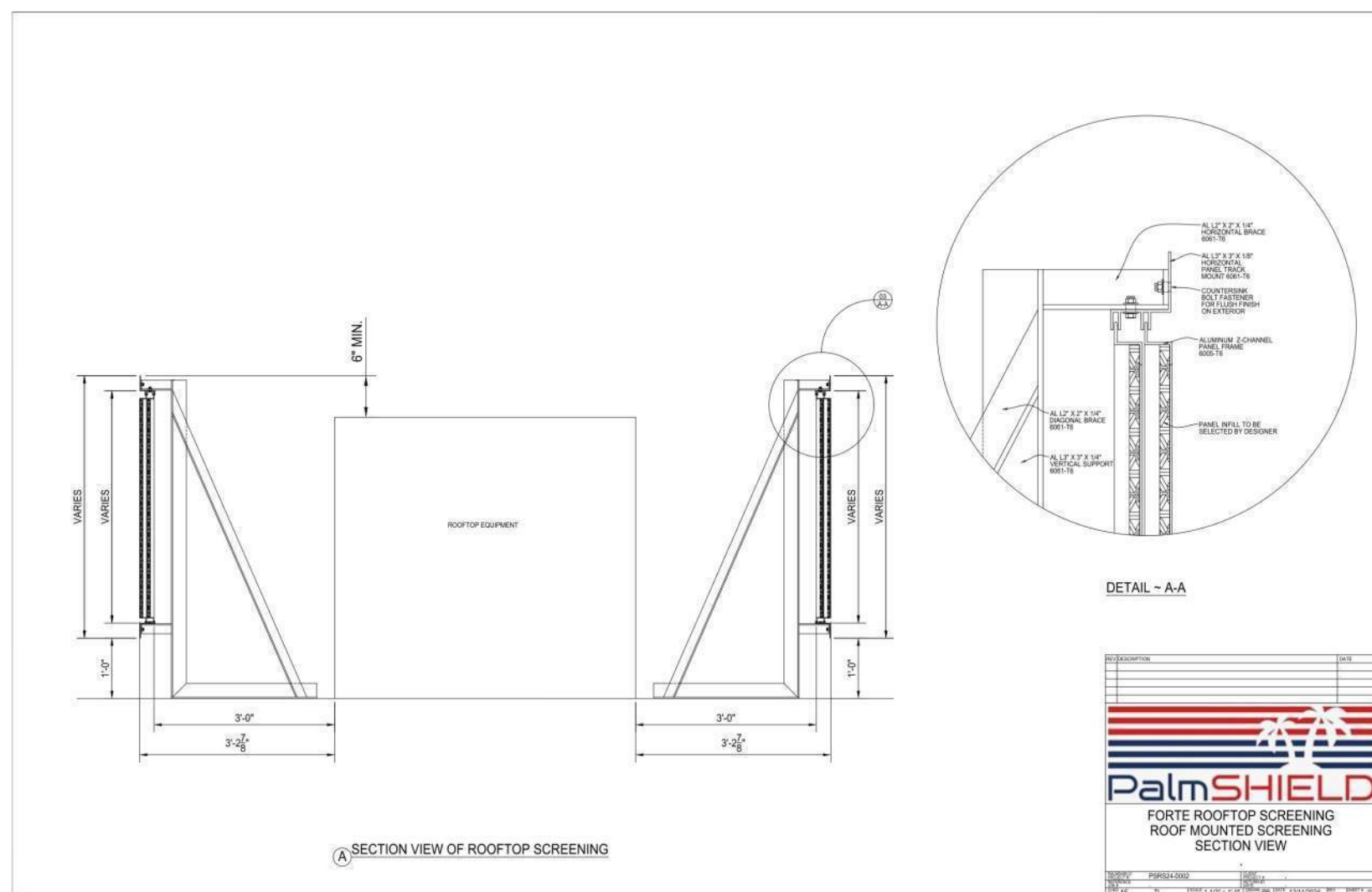
FLOORING CUT SHEETS



BIKE PARKING CUT SHEET



ROOFTOP MECHANICAL EQUIPMENT SCREENING



**KANSAS CITY
MISSOURI**

City Plan Commission
Recommends Approval with Conditions
of Case No. CD-CPC-2026-00013 on 3/18/2026

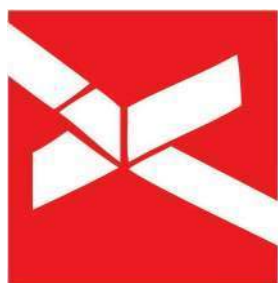


SARA COOPER, FAICP
Secretary of the City Plan Commission

PRODUCT INFORMATION AND FINISHES

A6.00

EXACT ARCHITECTS
REGISTERED TRADE NAME OF INTELLIGENT LINE A+O, LLC
KANSAS CITY, MISSOURI
(816) 785-2265
WWW.EXACTARCHITECTS.COM



NOT FOR CONSTRUCTION
GEORGE B. PECK DRY GOODS CO.

GEORGE B. PECK DRY GOODS CO.

1044 MAIN ST
KANSAS CITY MISSOURI 64105

KANSAS CITY MISSOURI 64105

APPLICANT:
ANNIE ROUSE
ANNIE@EXACTARCHITECTS.COM
630-699-2329

ISSUE	DATE	NO
DD Review	26-0130	1
Development Plan	26-0206	2
Development Plan	26-0226	3

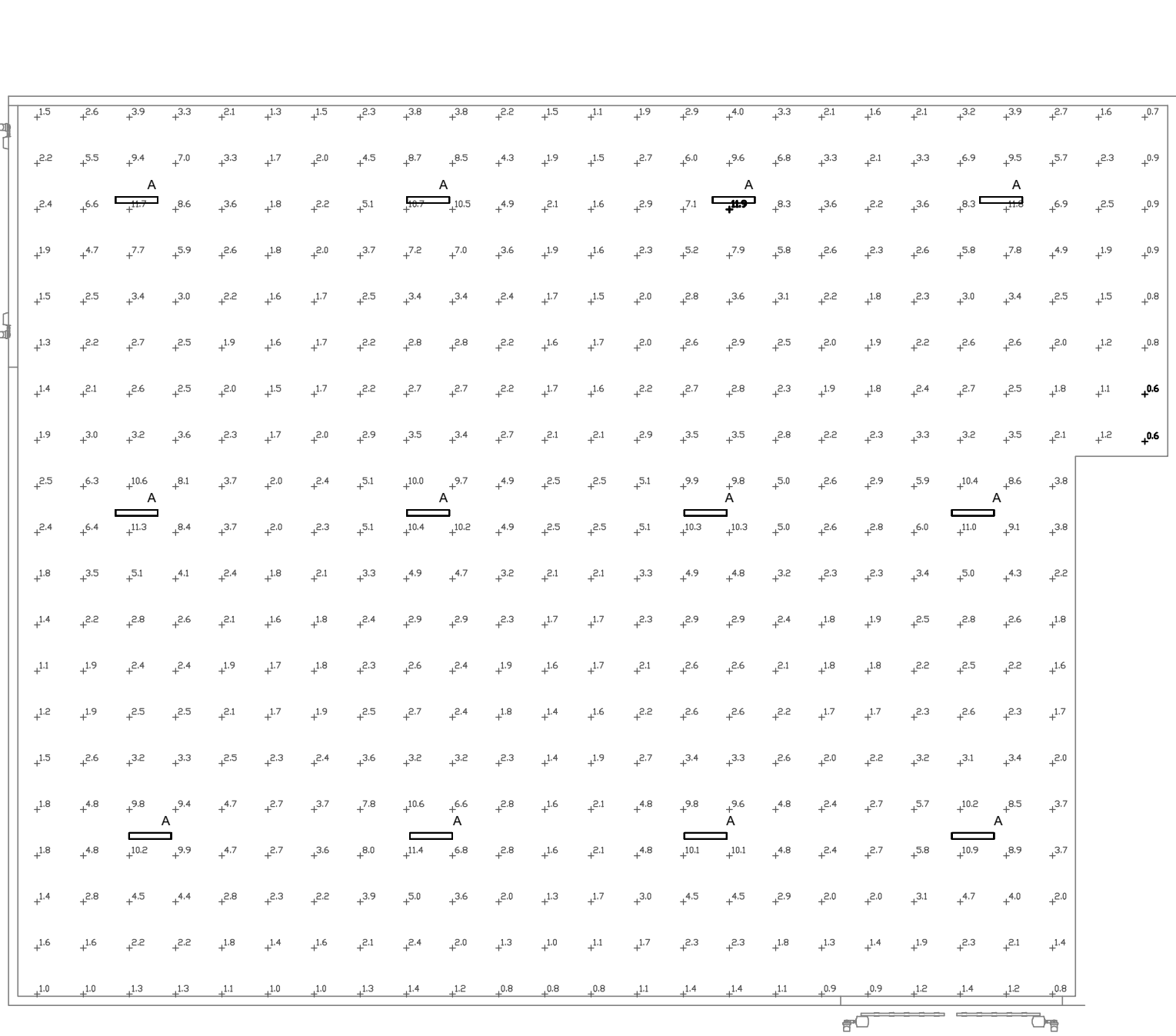
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LIGHT FIXTURE SCHEDULE - EXTERIOR/SITE												
MARK	MANUFACTURER	SERIES	DESCRIPTION	MOUNTING	FINISH	LED MODULE / DRIVER				VOLTS	VA	REMARKS
						LUMENS	CRI	CCT	DIMMING			
A	LITHONIA	CSV1 SERIES	4FT EXTERIOR RATED VAPORTIGHT LED FIXTURE, POLYCARBONATE LENSING, WIDE THROW OPTICS, INTEGRAL LED DRIVER.	EXISTING STRUCTURE	WHITE	4000	80	4000K	N/A	UNV	38	1
B	LITHONIA	DSX SERIES	WALL MOUNTED PERFORMANCE AREA LIGHT, RIGHT HAND 90 DEGREE OPTICS WITH SHARP CUTOFF AND BACKLIGHT CONTROL.	EXISTING WALL	BLACK	5500	80	4000K	N/A	UNV	50	1
SA	LITHONIA	DSX SERIES	POLE-MOUNTED PERFORMANCE AREA LIGHT, LOW-PROFILE, ONE-PIECE DIE-CAST ALUMINUM HOUSING, LIGHT SQUARE LED ARRAYS - REFER TO LAMP DESCRIPTION FOR QUANTITY, IES TYPE IV DISTRIBUTION, INTEGRAL NON-DIMMING LED DRIVER, DIE CAST ALUMINUM MOUNTING ARM, POLE IS EXISTING TO REMAIN AT 26'-0" TALL FROM SURFACE, 74M DISTRIBUTION - P7 PERFORMANCE PACKAGE - HOUSE SIDE SHIELD.	EXISTING POLE	BLACK	21000	80	4000K	N/A	UNV	185	1
SB	LITHONIA	DSX SERIES	POLE-MOUNTED PERFORMANCE AREA LIGHT, LOW-PROFILE, ONE-PIECE DIE-CAST ALUMINUM HOUSING, LIGHT SQUARE LED ARRAYS - REFER TO LAMP DESCRIPTION FOR QUANTITY, IES TYPE IV DISTRIBUTION, INTEGRAL NON-DIMMING LED DRIVER, DIE CAST ALUMINUM MOUNTING ARM, POLE IS EXISTING TO REMAIN AT 26'-0" TALL FROM SURFACE.	EXISTING POLE	BLACK	21000	80	4000K	N/A	UNV	124	1
EA	PEERLESS LIGHTING	OPMS_5 OR EQUAL	SURFACE MOUNTED UNEAR LED - WET LOCATION LISTED	SURFACE	BLACK	\$101M/FT	80	4000K	N/A	UNV	18/FT	1
EB	MARK ARCHITECTURAL LIGHTING	MGLS OR EQUAL	SURFACE MOUNTED CONVEX LED - WET LOCATION LISTED	SURFACE	BLACK	2000	80	4000K	N/A	UNV	27.4	1
REMARKS:												
1. FURNISH WITH AND INSTALL ALL NECESSARY HARDWARE AND MOUNTING BRACKETS.												
2. WHERE FIXTURE IS LABELED "EM", PROVIDE WITH IOTA IUB-CP10 (LOW CONSTANT POWER EMERGENCY BATTERY PACK) OR APPROVED EQUAL.												
GENERAL NOTES (APPLICABLE TO ALL FIXTURES):												
A) REFER TO ARCHITECTURAL DRAWINGS AND DETAILS FOR EXACT LOCATIONS, MOUNTING HEIGHTS AND ADDITIONAL MOUNTING INFORMATION.												
B) VERIFY QUANTITIES, MODEL NUMBERS AND DESCRIPTIONS WITH MANUFACTURER PRIOR TO PLACING ORDER.												
C) LUMENS LISTED FOR LED FIXTURES ARE GENERALLY DELIVERED LUMENS UNLESS NOTED OTHERWISE.												
D) EQUALS ARE ACCEPTABLE ON ALL LIGHT FIXTURES UNLESS SPECIFICALLY NOTED OTHERWISE. REFER TO SPECIFICATIONS FOR APPROVED EQUAL FIXTURE MANUFACTURERS.												
E) VERIFY CEILING CONDITIONS AND COORDINATE LIGHT FIXTURE MOUNTING HARDWARE AND TRIMS NEEDED TO SUIT CEILING CONDITIONS PRIOR TO ORDERING.												
F) ALL DRIVERS ARE INTEGRAL TO FIXTURE UNLESS NOTED OTHERWISE. REFER TO SPECIFICATIONS FOR ADDITIONAL FIXTURE/DRIVER/BALLAST REQUIREMENTS.												
G) ALL FIXTURES WITH PAINTED METAL PARTS SHALL BE PAINTED AFTER FABRICATION.												
H) ALL EXTERIOR LED FIXTURES ARE FULL CUTOFF UNLESS NOTED OTHERWISE.												
I) USE THIS TABLE IN CONJUNCTION WITH THE LIGHTING PLANS AND SPECIFICATIONS TO DETERMINE THE EXACT ORDERING NUMBERS FOR FIXTURES, LAMPS AND ACCESSORIES.												
J) ALL FIXTURES IN FOOD PREPARATION OR SERVING AREAS SHALL BE FURNISHED WITH SHATTER-RESISTANT LAMPS UNLESS SPECIFIED.												
K) ALL FIXTURES SHALL BE I-C RATED OR PROVIDED WITH INSULATION SHIELDS WHEN INSTALLED IN INSULATED AREAS OF THE TRUSS SPACE.												
L) FOR ALL FIXTURES INSTALLED IN RATED ASSEMBLIES, FURNISH AND INSTALL APPROVED FIRE BARRIER (E.Z. BARRIER OR TENMAT FF109 SERIES) OVER FIXTURE TO MAINTAIN 1 HOUR CEILING ASSEMBLY RATING.												

PHOTOMETRIC CALCULATIONS					
CALCULATION ZONE	AVG	MAX (FCI)	MIN (FCI)	MAX/MIN	AVG/MIN
Property Line	0.2	0.6	0	N/A	N/A
Lower Level	3.4	11.9	0.6	19.8:1	5.7:3
Site	1	2.6	0.5	5.2:1	2.0:1

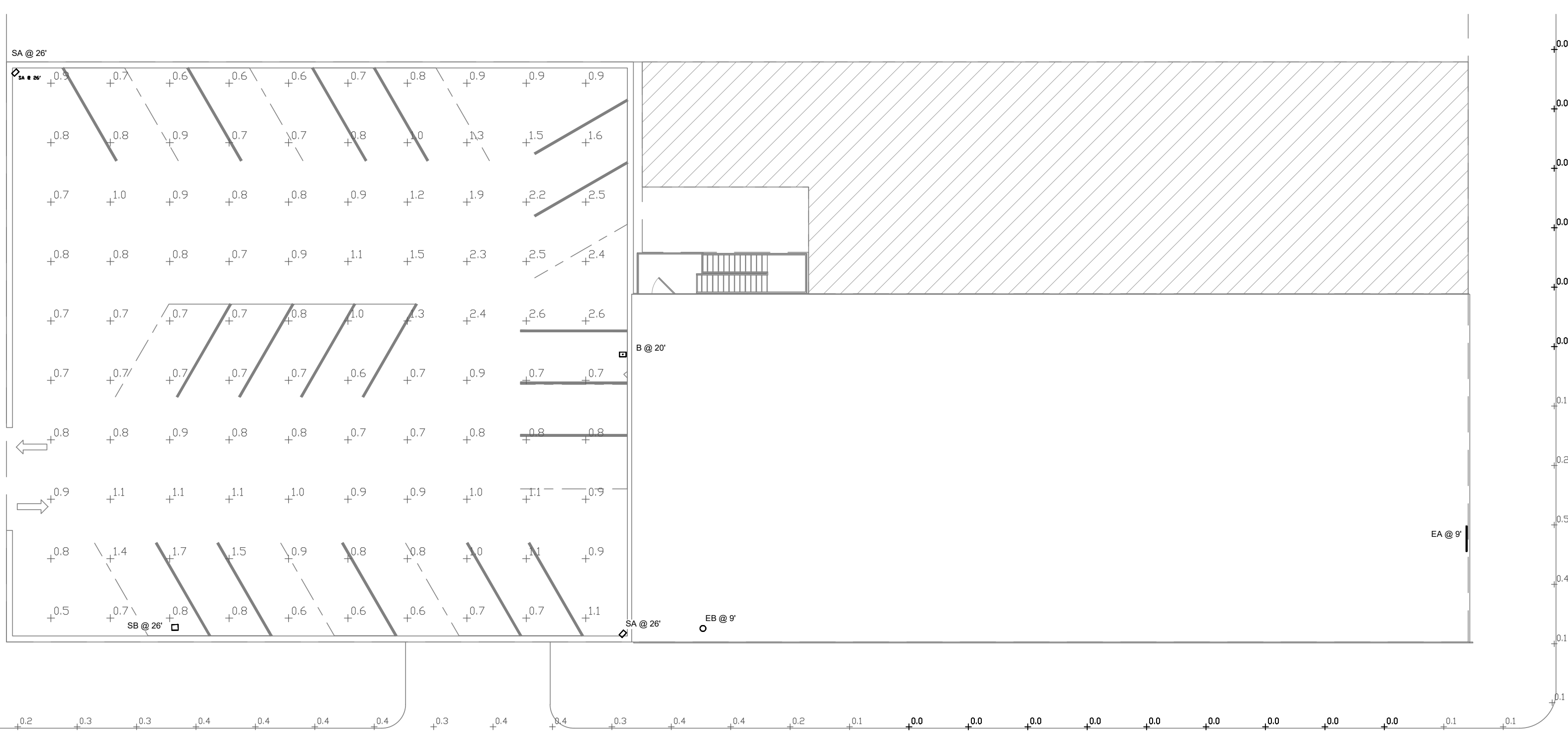
NOTE: CALCULATIONS PERFORMED UTILIZED VISUAL LIGHTING R2020



GENERAL NOTES

1. INSTALLATION TO COMPLY WITH CITY OF KANSAS CITY, MO MUNICIPAL CODE SECTION 88-430 - OUTDOOR LIGHTING. DESIGN HAS BEEN PROVIDED TO MEET THE CRITERIA OF THIS CODE.

BALTIMORE AVE



LOWER LEVEL PHOTOMETRIC PLAN

1/16" = 1'-0"



UPPER LEVEL PHOTOMETRIC PLAN

1/16" = 1'-0"



City Plan Commission

Recommends Approval with Conditions

of Case No. **CD-CPC-2026-00013** on **3/18/2026**

Sara Cooper
Sara Cooper, FAICP
Secretary of the City Plan Commission



IMPRINT
Design + Engineering
7817 Coenen Lake Rd, Shawnee, KS 66216
816-686-5539 • www.imprinteng.com
Job No. 25066

SITE PHOTOMETRIC
PLAN

MEP4.01



Contractor Select™ CSV1 Vapor Tight LED Strip Light

These fully gasketed, wet location, and code compliant vapor lights are IP65 and IP66 rated. They can be surface mounted on the ceiling or wall and are designed for continuous row mounting. The CSV1 vapor lights are ideal for outdoor venues, complexes and locker rooms.

- The fully gasketed, polycarbonate housing with polycarbonate optive lenses provides a water-tight seal and stands up to dust and dirt with its IP65 and IP66 ratings.
- Provides the performance you need with the UV-stabilized, high impact, frosted polycarbonate lens for uniform light output and high temperature resistance.
- Quick and simple to install with the snap-lock tool-less access.
- Available with Switchable technology.

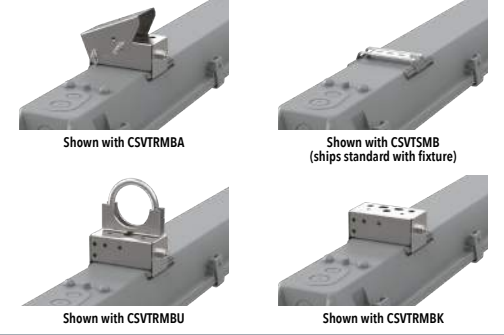
Catalog Number	UPC	Description	Lumens	Wattage	Voltage	Color Temperature	Color Rendering Index
CSV1-L48-S000LM-MVOLT-40K-80CR	0019495504608	4' MVOLT Vapor Tight LED Strip Light	4046	42	MVOLT (120-277)	4000K	80CR
CSV1-L48-ALUM-MVOLT-SWMO-80CR	0019495509507	4' MVOLT Switchable LED Vapor Tight Strip Light	3186-4046	27-42	MVOLT (120-277)	3500K/4000K	80CR
CSV1-L96-1000LM-MVOLT-40K-80CR	0019495528858	4' MVOLT LED Vapor Tight Strip Light	10000	67.5	MVOLT (120-277)	4000K	80CR
CSV1-L48-ALUM-MVOLT-SWMO-80CR	0019495509446	4' MVOLT LED Vapor Tight Strip Light	6495-10000	55.3-67.5	MVOLT (120-277)	3500K/4000K	80CR

More configurations are available. Click <http://cs-select.com> or visit www.exactarchitects.com and search for CSV1 LED.

- Accessories: Order as separate catalog number.
- CSV1-STYL-LATCH: Stainless steel latch kit (Set of 10).
- CSV1-TIMBA: Angle mount bracket (SET of 2) (1/4 stainless steel).
- CSV1-TIMBU: Right mount bracket (SET of 2) (1/4 stainless steel).
- CSV1-TIMBU: Right mount bracket (SET of 2) (1/4 stainless steel).
- CSV1-TIMBU: Replacement standard mounting brackets (SET of 2) (1/4 stainless steel).
- WARRANTY: 10' Limited warranty (SET of 2).

Option value	Restriction
CSV1-STYL-LATCH	Requires hole for Latch.

CONTRACTOR SELECT-CSV1



Page 1 of 2



D-Series Size 1 LED Wall Luminaire

d-series

Specifications

Luminaire

Width: 13.34"

Depth: 10"

Height: 6.38"

Weight: 12 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 5 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"

Weight: 10 lbs

Back Box (BBW, E20WC)

Width: 13.34"

Depth: 4"

Height: 6.38"