




**NOT FOR
CONSTRUCTION**

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021

435 & STATE LINE REDEVELOPMENT

Preliminary Development Plan Resubmission // 7.1.2021

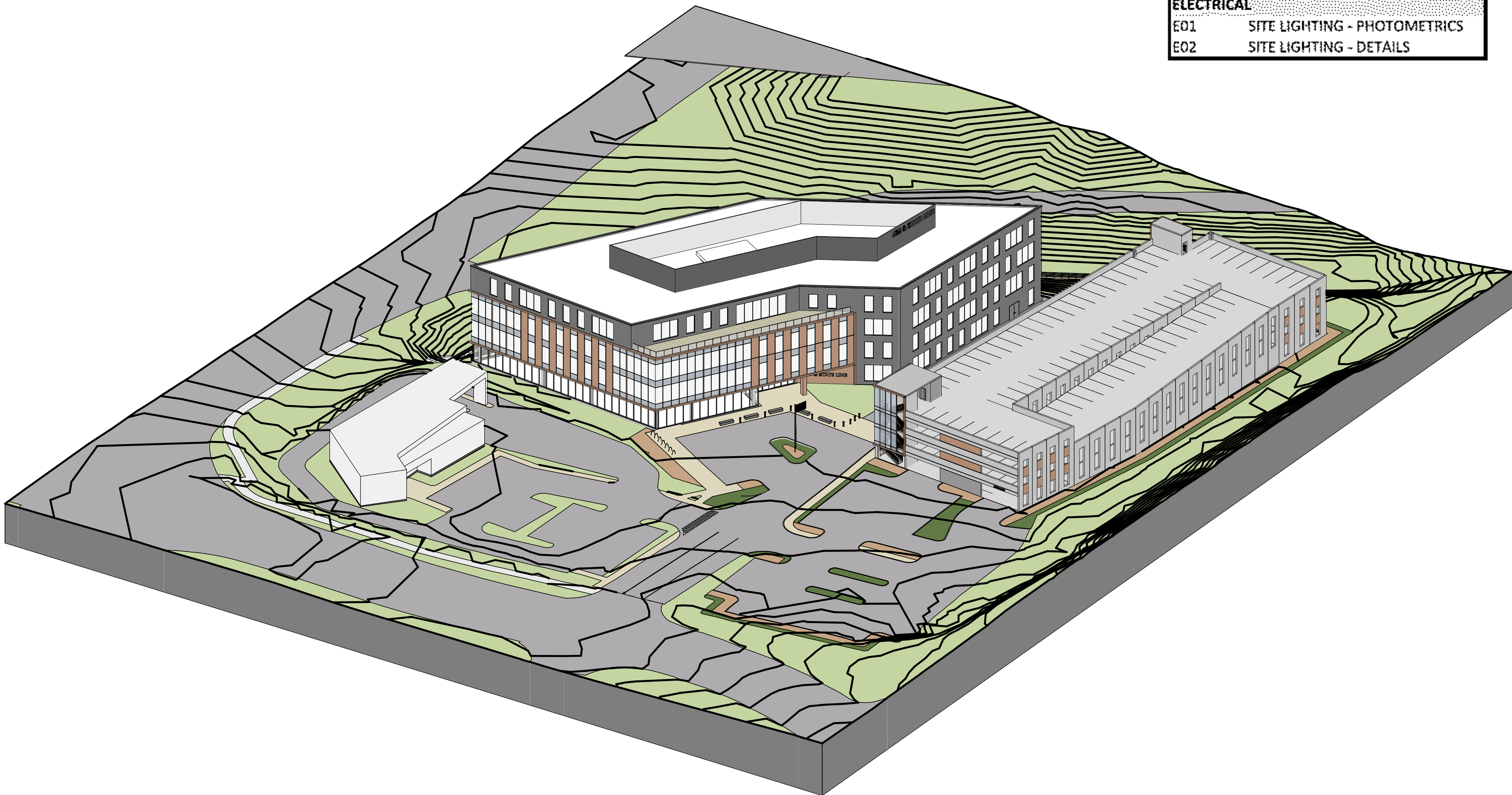


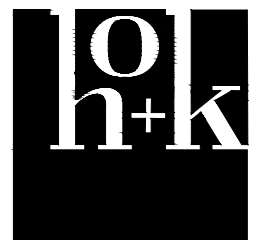
City Planning Commission
Approved Subject to Conditions

Case No: CD-CPC-00097

Hearing Date: 8/17/21

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3	PDP RE-SUBMISSION	7.29.2021

**OVERALL SITE
PLAN**

LEGAL DESCRIPTION:

LOT THREE (3), CARONDELET THREE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, EXCEPT THEREFROM THAT PART DEEDED TO THE CITY OF KANSAS CITY, A MUNICIPAL CORPORATION, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT THREE; THENCE NORTH 0 DEGREES, 14 MINUTES 00 SECONDS WEST, ALONG THE WEST LINE OF SAID LOT THREE, A DISTANCE OF 35.78 FEET; THENCE SOUTH 58 DEGREES 08 MINUTES 01 SECONDS EAST, A DISTANCE OF 67.34 FEET, TO A POINT ON THE SOUTH LINE OF SAID LOT THREE; THENCE SOUTH 89 DEGREES 46 MINUTES 00 SECONDS WEST, ALONG THE SOUTH LINE OF SAID LOT THREE, A DISTANCE OF 57.05 FEET TO THE POINT OF BEGINNING.

AREA = 4.3230 ACRES / ±188,310 SQ.FT.

OWNER:

UNITED MISSOURI BANK OF KANSAS CITY
C/O CORPORATE TAX DEPARTMENT
1010 GRAND BLVD 4TH FLOOR
KANSAS CITY, MISSOURI

SCHEDULE:

Commencement of Construction Date: 10-01-21
Completion of Construction Date: 02-01-24

BUILDING & LOT DATA

Site Area	188,310 S.F./4.32 Ac.
Zoning	Existing B2-2, R-0.5 Proposed B2-4
Phase 1	
Lot 1 Area	0.94 Ac.
UMB Bank	
Building S.F.	4,500 S.F.
# of Stories	1 Story
Building Height	25'-0" (Building)
	40'-0" (Tower/Clerestory)
Floor Area Ratio (FAR)	0.1099
Building Coverage	4,500 SF (0.1099)
Phase 2	
Lot 2 Area	3.38 Ac.
Office Building	
Building S.F.	105,289 S.F.
# of Stories	4 Stories
Building Height	58'-0"
Floor Area Ratio (FAR)	0.7151
Building Coverage	26,800 SF (0.1820)
Parking Garage	
Building S.F.	108,000 S.F.
# of Stories	4 Stories
Building Height	43'-6"
Floor Area Ratio (FAR)	0.7335
Building Coverage	27,000 SF (0.1834)
Lot 2 Total	
Building S.F.	213,289 S.F.
Floor Area Ratio (FAR)	1.4487
Building Coverage	53,800 SF (0.3654)
Overall	
Lot 1 and Lot 2 Area	4.32 Ac.
Total Building S.F.	217,789 S.F.
Total Floor Area Ratio (FAR)	1.1573
Total Building Coverage	58,300 SF (0.1663)

PARKING SUMMARY

Phase 1 - Lot 1		
Parking Required:		
Financial Services (all other) 2.5 Spaces for Every 1,000 S.F.	11 Spaces	
Parking Provided:		
Exterior Parking Spaces	22 Spaces	
Required Accessible Parking Spaces (1-25)	1 Spaces	
Phase 2 - Lot 2		
Parking Required:		
Office (general) 1 Space For Every 1,000 S.F.	105 Spaces	
Parking Provided:		
Parking Garage Parking Spaces	300 Spaces	
Exterior Parking Spaces	58 Spaces	
Total Parking Provided	358 Spaces	
Required Accessible Parking Spaces (301-400)	8 Spaces	

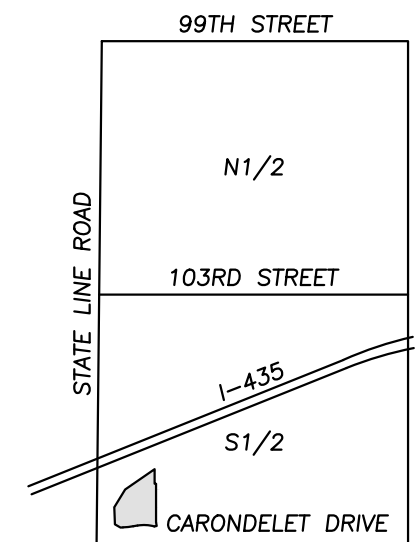
LEGEND

— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
—	2' CURB & GUTTER
■	ASPHALT PAVEMENT
■	PERVIOUS PAVEMENT
■	PROPOSED BUILDING
■	CONCRETE PAVEMENT
■	CONCRETE SIDEWALK

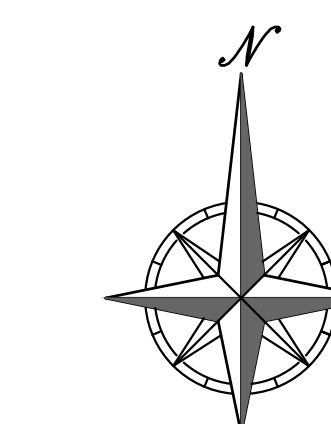
UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



Know what's below.
Call before you dig.

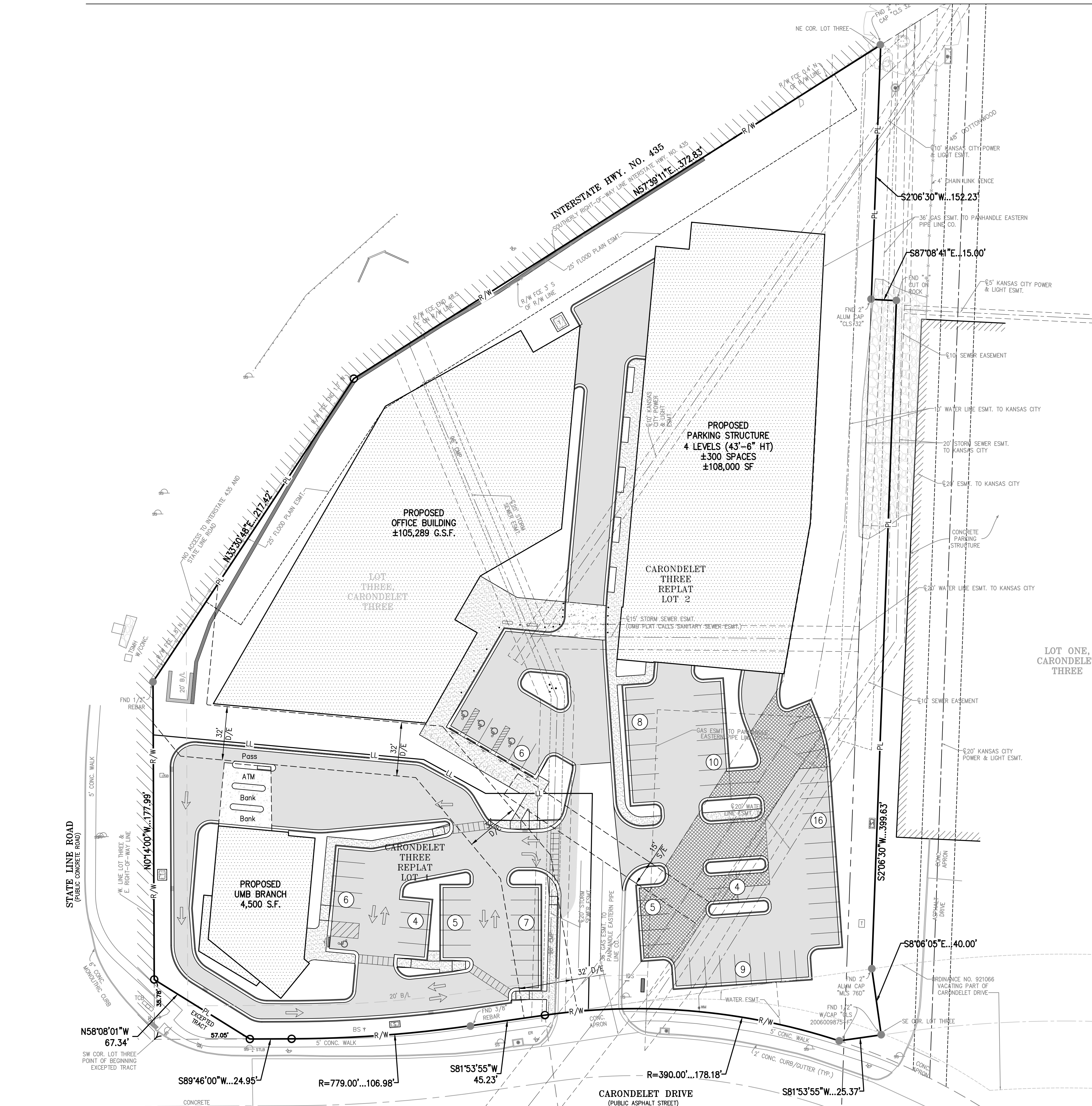


VICINITY MAP
FRAC. SEC. 31-48-33



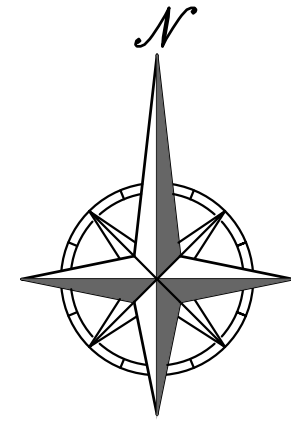
SCALE: 1"=30'
0' 30' 60'

PEI #210040



PRELIMINARY PLAT OF CARONDELET THREE REPLAT

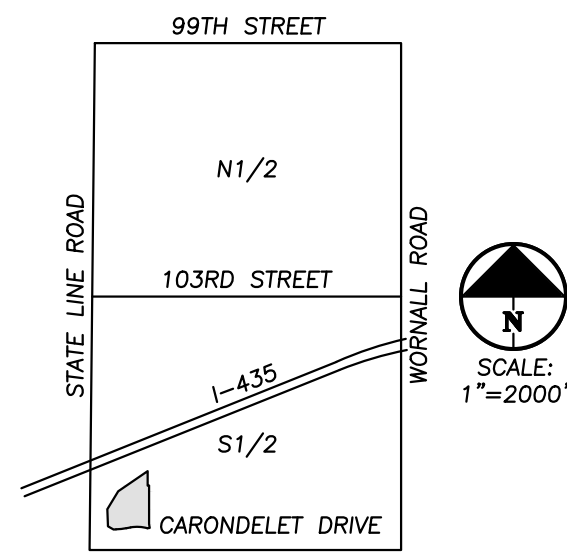
A REPLAT OF LOT 3, CARONDELETE THREE, A PLATTED SUBDIVISION IN THE SOUTH HALF OF FRACTIONAL SECTION 31,
TOWNSHIP 48 NORTH, RANGE 33 WEST, IN THE CITY OF KANSAS CITY, JACKSON COUNTY, MISSOURI



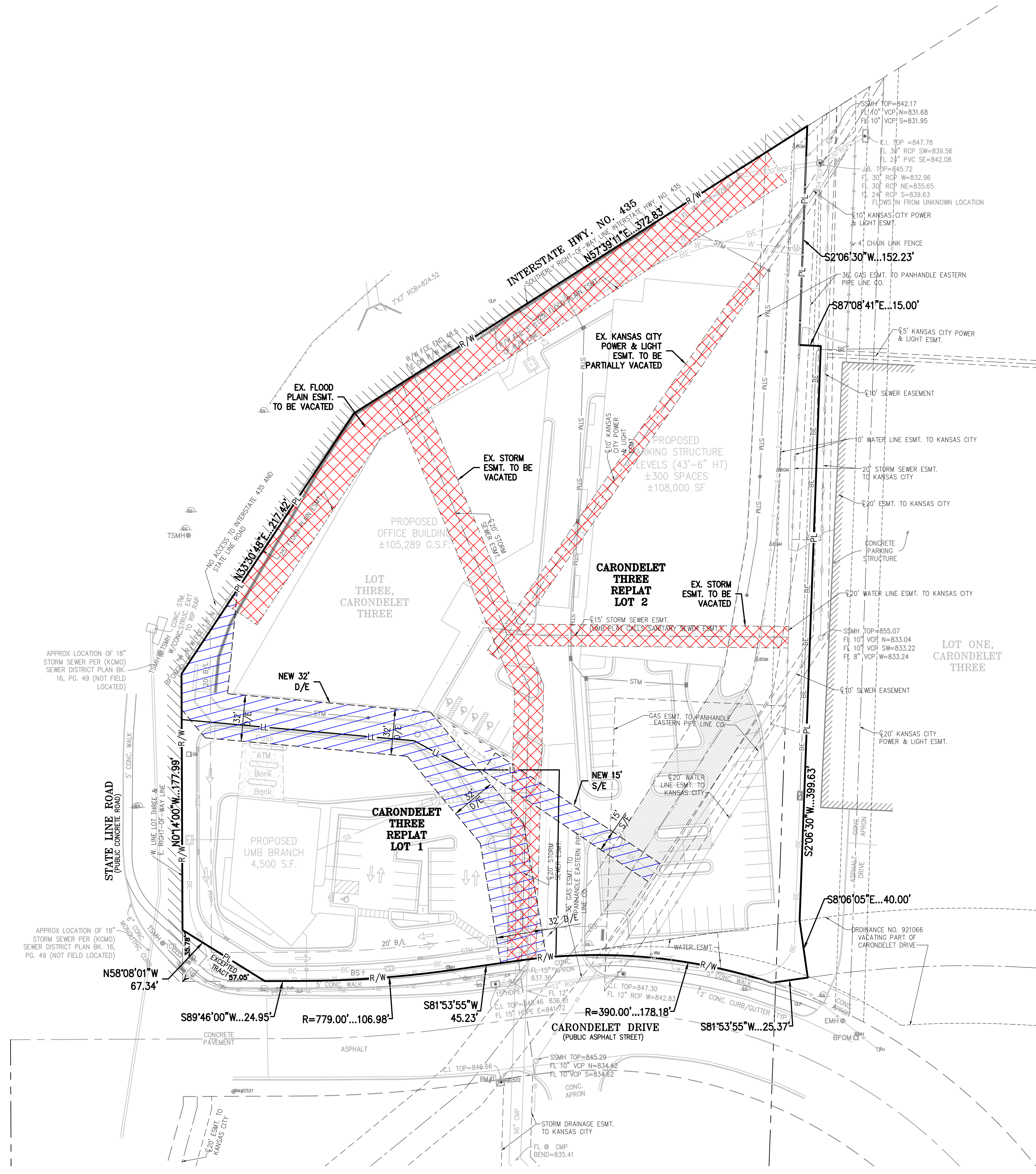
SCALE: 1"=40'
0' 40' 80'

LOT AREAS		
PARCEL	AREA (S.F.)	AREA (AC.)
LOT 1	40907.00	0.9391
LOT 2	147403.26	3.3839
PLAT	188310.27	4.3230

- B.L. DENOTES BUILDING LINE
- U/E DENOTES UTILITY EASEMENT
- L/E DENOTES LANDSCAPE EASEMENT
- T.P.E. DENOTES TREE PRESERVATION EASEMENT
- DENOTES PROPOSED SIDEWALK
- DENOTES EXISTING SIDEWALK
- DENOTES EXISTING FENCE
- SS DENOTES SANITARY SEWER
- DENOTES STORM SEWER



VICINITY MAP
FRAC. SEC. 31-48-33



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FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF KANSAS CITY, COMMUNITY NO. 290173, JACKSON COUNTY, MISSOURI, MAP NO. 29095C03866, AND DATED JANUARY 20, 2017.

PHASING TABLE/TIMELINE:

Commencement of Construction Date: 10-01-21
Completion of Construction Date: 02-01-24

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C/O CORPORATE TAX DEPARTMENT
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KANSAS CITY, MISSOURI

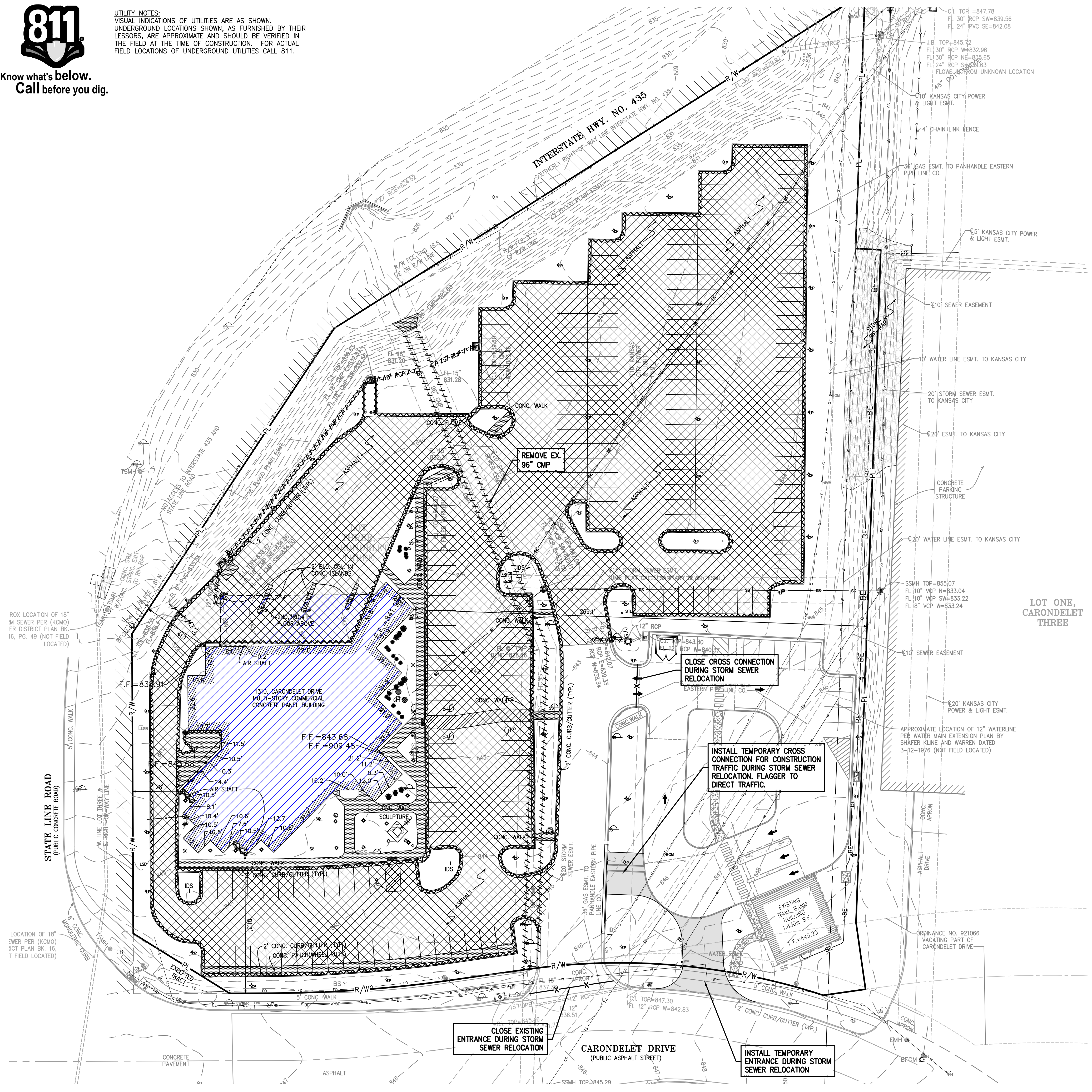
ENGINEER/APPLICANT:

PHELPS ENGINEERING, INC.
1270 N. WINCHESTER
OLATHE, KS. 66061
(913) 393-1155
(913) 393-1166 FAX



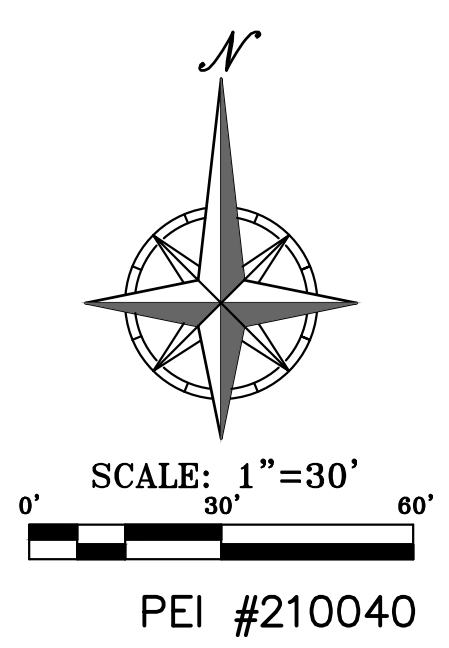
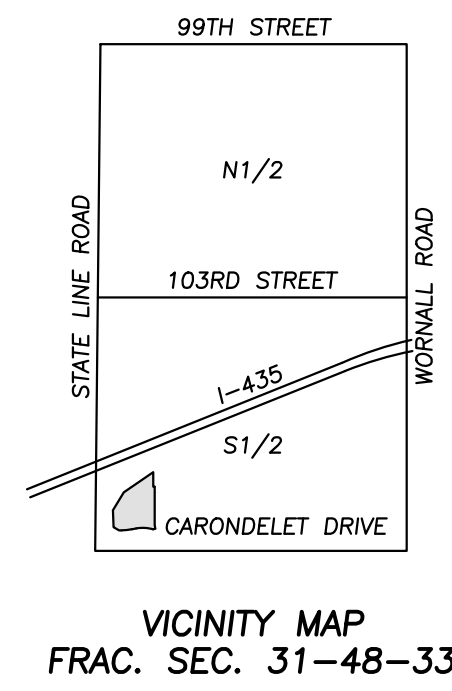
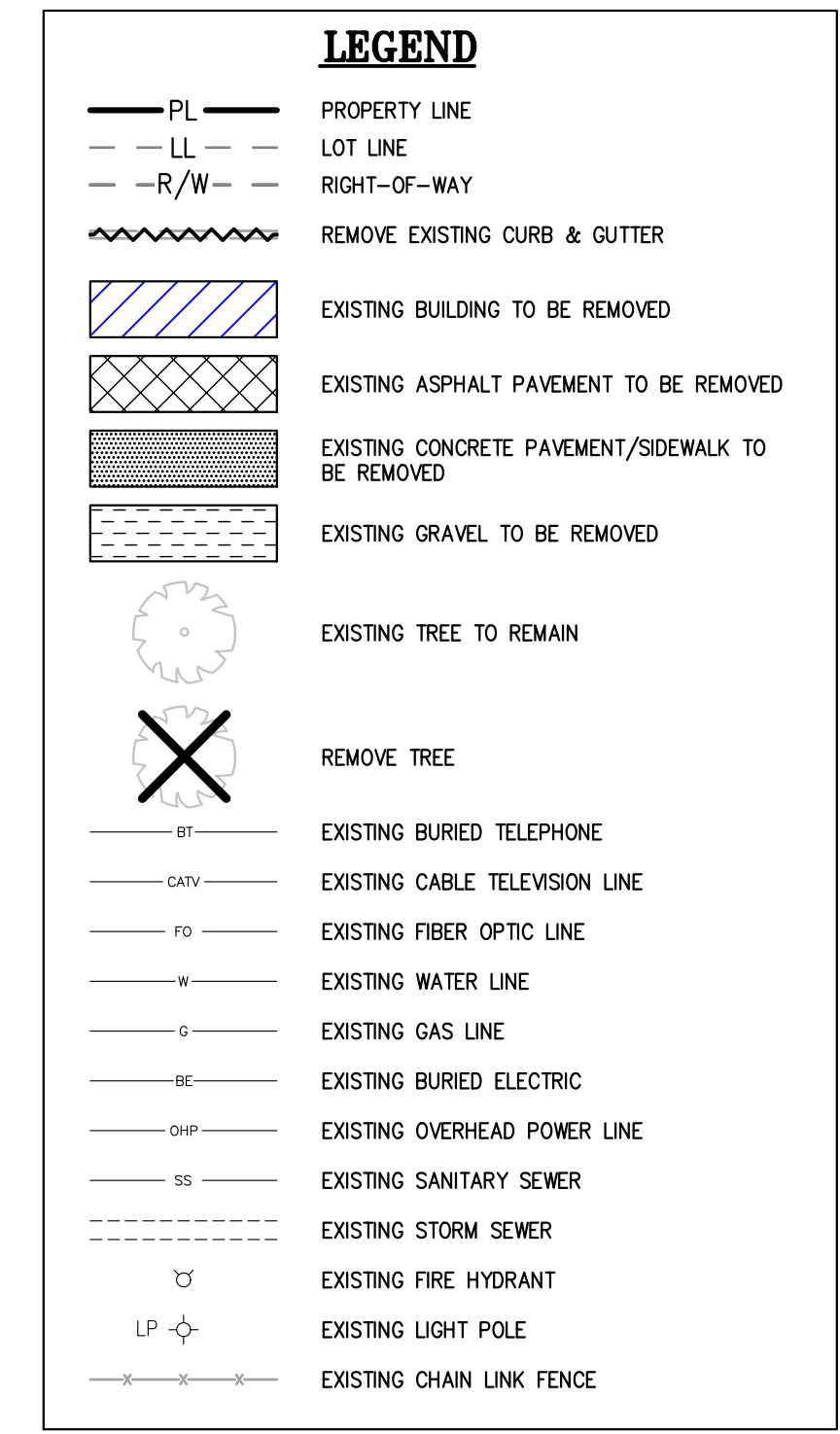
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THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL
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DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
5. REFER TO THE BUILDING PLANS FOR SITE LIGHTING ELECTRICAL MODIFICATIONS (IF ANY) TO THE EXISTING SYSTEM.



Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
4900 Main St. Ste 400, Kansas City, MO 64112
and

UMB Financial Corporation
1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
300 West 22nd Street
Kansas City, MO 64108 USA
t+1 816 472 3360 f+1 816 472 2100

GastingerWalker
UMB Retail Bank Architect
817 Wyandotte St, Kansas City, MO 64105
t+1 816 421 8200 f+1 816 421 1262

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Civil Engineering
1270 N Winchester St #5878, Olathe, KS 66061

Oppermann LandDesign LLC
Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

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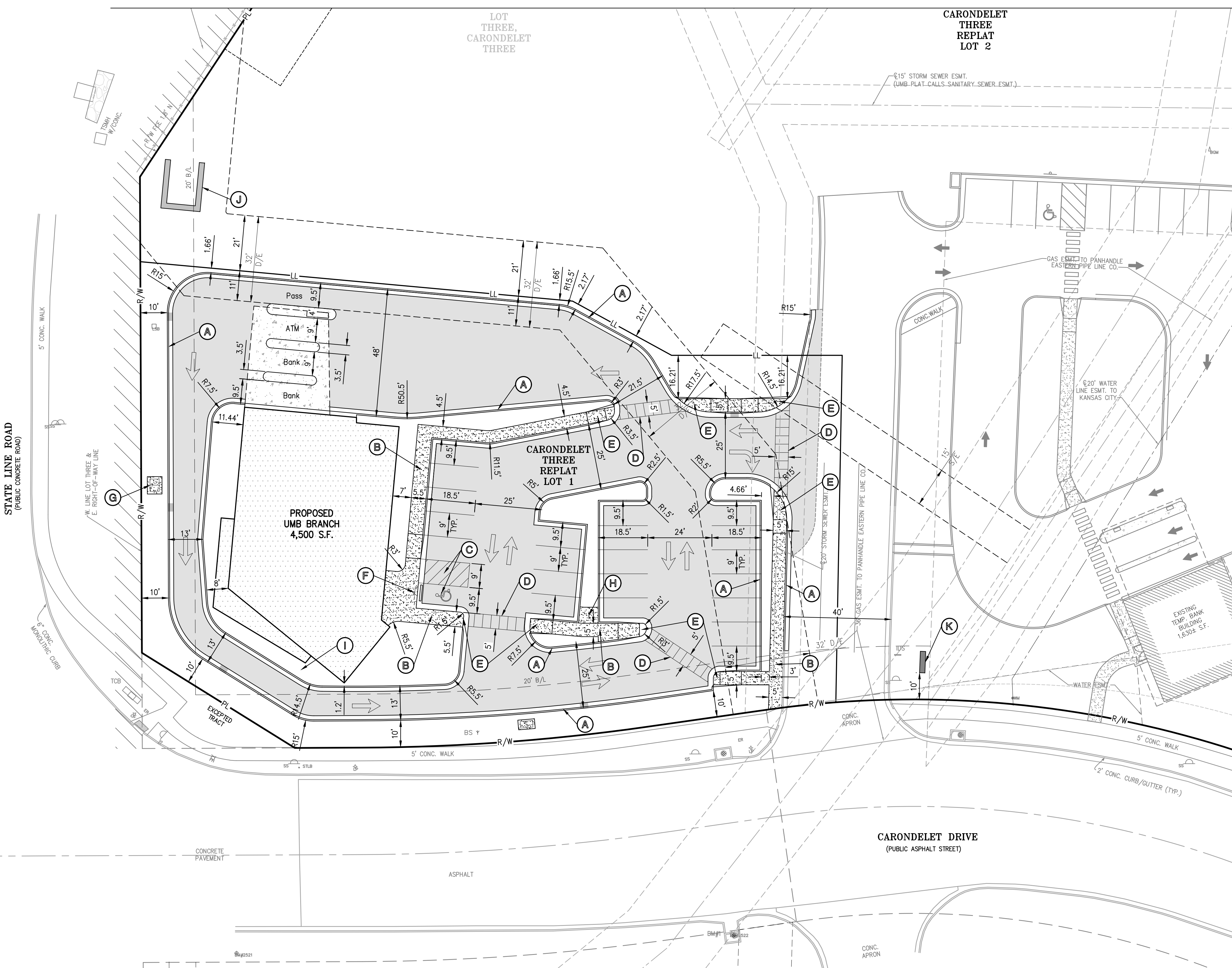
Project No: 20.70060.00
Sheet Title:

**DEMOLITION
PLAN - PHASE 1**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

C1

\\PHELPS-SERVER\Projects\210040\Map\Development\Plans\Site PH.dwg Layout1 Jul 29, 2021 4:47pm Dattil Fri



SITE PLAN NOTES:

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference.
 - A) City ordinances & O.S.H.A. Regulations.
 - B) The City of Kansas City, Missouri Technical Specifications and Municipal Code.
 - C) A.P.W.A. Standard Specifications and Design Criteria, latest edition.
 - D) Project Specific Specifications.
- The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications of the job site at all times.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
- The demolition and removal (or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
- Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
- All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor shall be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
- The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
- SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.
- WARRANTY/DISCLAIMER:** The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. However, neither the Engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the Engineer observes the physical construction on a continual basis at the site.
- No work is to be allowed within the public right-of-way or easements without a right of way work permit.
- All paving construction and earthwork grading/compaction shall conform to the requirements of the geotechnical engineering report prepared for this project.
- Within forty-eight hours prior to any asphalt or concrete paving, the subgrade shall be proof rolled with a fully loaded tandem wheeled dump truck and observed by the on-site geotechnical engineer. Areas of the subgrade with excessive rutting and/or pumping shall be re-worked or removed in accordance with the project specifications. Flyash or granular material may be added by the contractor to stabilize the subgrade. See project specifications.
- All curb shall be sloped for positive drainage. Contractor shall use "dry curb and gutter" as needed in localized paved areas that drain away from the curb and gutter. See paving details.
- The Contractor is responsible for the protection all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, etc. Damaged improvements shall be repaired in conformance with the latest city standards and to the City's satisfaction.
- The contractor is responsible for providing berms, all fences, straw bales, or other means to prevent eroded materials from reaching the public right-of-way and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt or mud and restore the right-of-way or adjacent property to original or better condition.
- All disturbed areas are to receive topsoil, sod and water until a healthy stand of grass is established. See the landscaping plans for requirements. Re-seeding shall be required (see project specifications).
- The contractor shall sod all disturbed areas within the public street right-of-way.
- Contractor shall refer to the architectural building plans for exact locations and dimensions of vestibules, slope paving, sidewalks, exit porches, truck docks, precise building dimensions and exact building utility entrance locations. All dimensions are to outside wall of building(s).
- Refer to building plans for site lighting electrical plan.
- Contractor to remove existing trees and vegetation, as necessary, for site construction unless specifically noted to remain.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

SITE DIMENSION NOTES:

- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

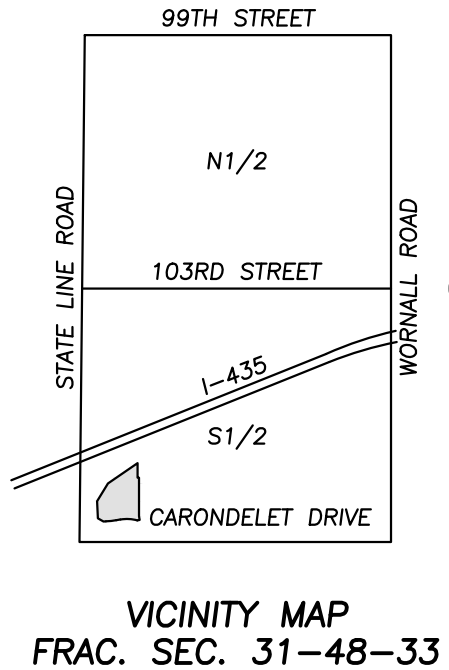
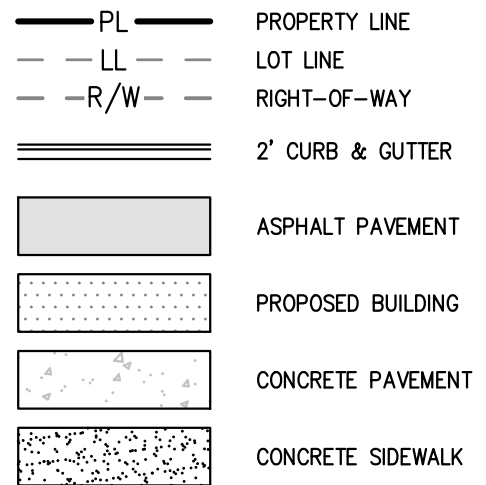
PAVEMENT MARKING AND SIGNAGE NOTES:

- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
- TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-2912 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

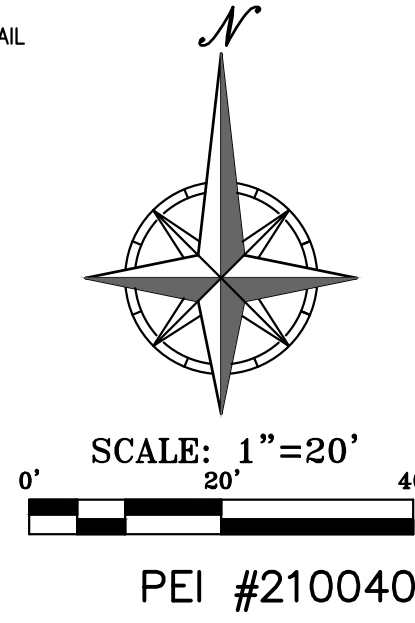
SITE KEY NOTES:

- (A) CONSTRUCT 2' CURB & GUTTER (TYPICAL).
- (B) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- (C) CONSTRUCT ADA STALL W/ PAVEMENT MARKINGS, SIGNAGE AND BUMPER.
- (D) INSTALL PAINTED CROSSWALK.
- (E) INSTALL PRIVATE SIDEWALK RAMPS (OMIT DETECTABLE WARNING).
- (F) INSTALL VAN ACCESSIBLE PARKING SIGN.
- (G) CONSTRUCT CONCRETE TRANSFORMER PAD (RE: SHEET C1.3)
- (H) SHORT TERM BICYCLE PARKING.
- (I) INSTALL LONG TERM BICYCLE PARKING (DETAILS TO BE INCLUDED WITH BUILDING PERMIT PLANS).
- (J) PROPOSED CONCRETE HEADWALL AND MINCALLS (WITH HANDRAIL AT ANY LOCATION WALL HEIGHT EXCEEDS 30").
- (K) PROPOSED MONUMENT SIGN.

LEGEND



VICINITY MAP
FRAC. SEC. 31-48-33



SCALE: 1"=20'
PEI #210040



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Project No: 20.70060.00
Sheet Title:

**SITE PLAN -
PHASE 1**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

C1.1



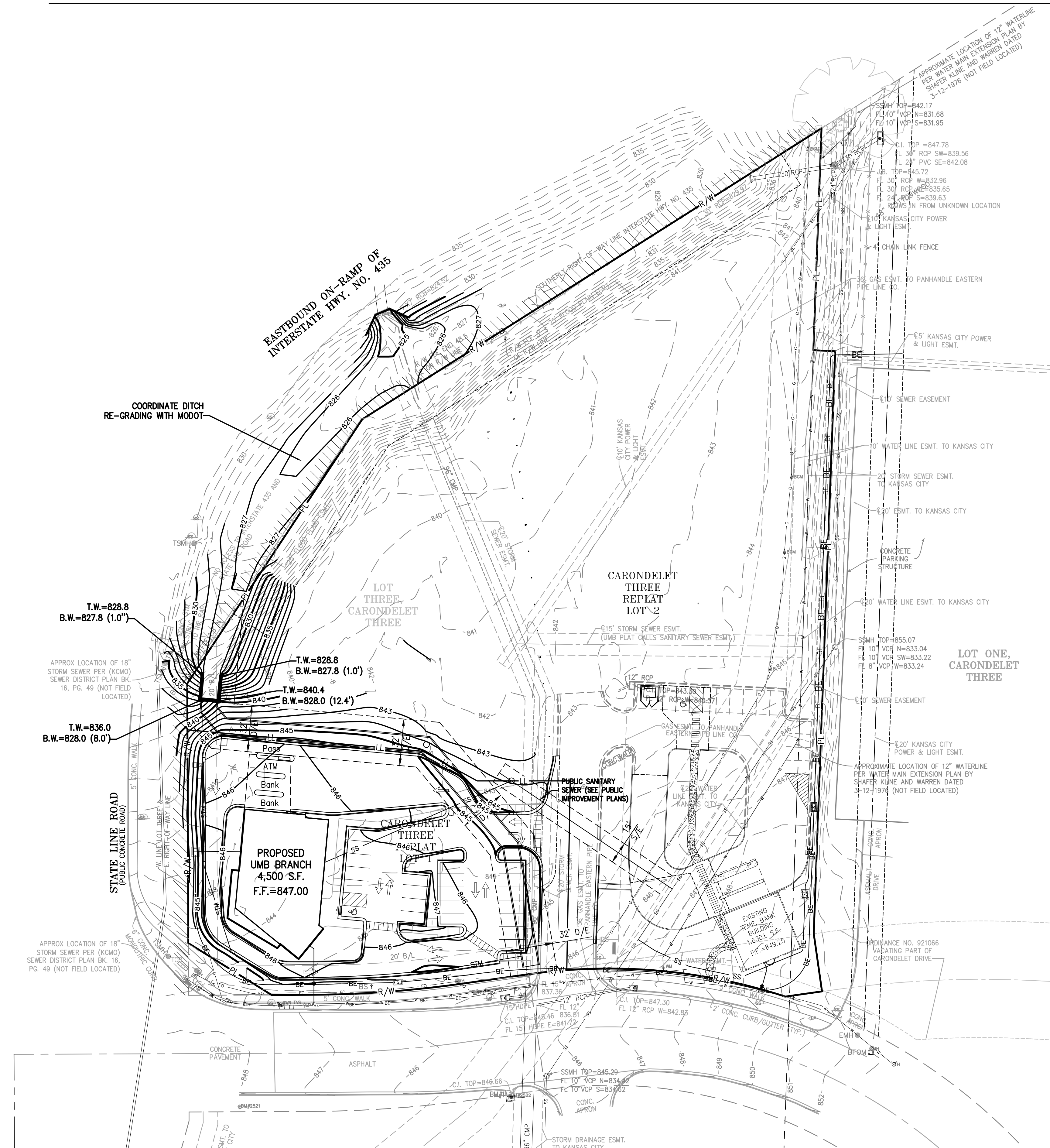
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PHASE 1**

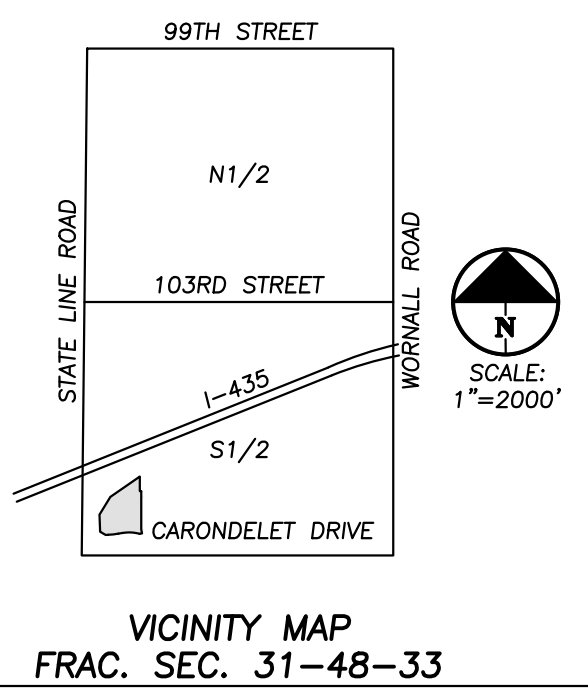
SITE GRADING NOTES:

- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.
- If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.
- TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and ILL.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
- PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.
- EARTHWORK:
 - GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
 - SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five feet building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
 - BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper 24 inches of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.
 - EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
- TESTING AND INSPECTION: Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
- CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
- RESTORATION: All disturbed areas not in building or pavements shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
- UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.F.P. requirements.



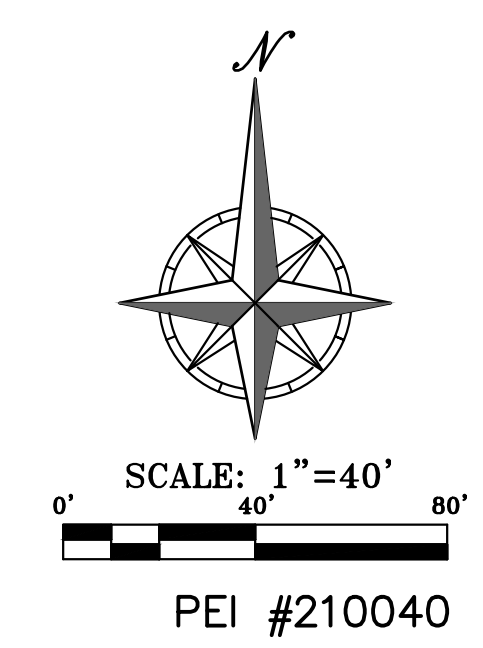
FLOOD NOTE:
THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF KANSAS CITY, COMMUNITY NO. 290173, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0386G, AND DATED JANUARY 20, 2017.

BENCHMARK:
VERTICAL DATUM = NAVD83 BASED ON GPS OBSERVATION USING (MODOT VRS)
1. SET "1" CUT IN CENTER FRONT FACE OF CURB INLET AT APPROXIMATE MIDPOINT OF SOUTH PROPERTY LINE LOT 3, CORONDELET THREE ON THE SOUTH SIDE OF CORONDELET DRIVE AT THE WEST RETURN OF THE NORTH ENTRANCE TO GAS STATION
ELEVATION = 845.67
2. SET PLUS CUT IN CONCRETE SIDEWALK IN THE SOUTHEAST QUADRANT OF CORONDELET DRIVE AND STATE LINE ROAD JUST EAST OF AN ELECTRIC MANHOLE LID
ELEVATION = 848.97



LEGEND

— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
— 2' —	CURB & GUTTER
— 920 —	EXISTING CONTOURS
— 918 —	PROPOSED CONTOURS
— SS —	EXISTING STORM SEWER
— SP —	PROPOSED STORM PIPE
— WC —	PROPOSED WET CURB & GUTTER
— DC —	PROPOSED DRY CURB & GUTTER
— RW —	PROPOSED RETAINING WALL



811
Know what's below.
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UTILITY NOTES:
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**PDP SUBMITTAL
NOT FOR
CONSTRUCTION**

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

UTILITY NOTES:

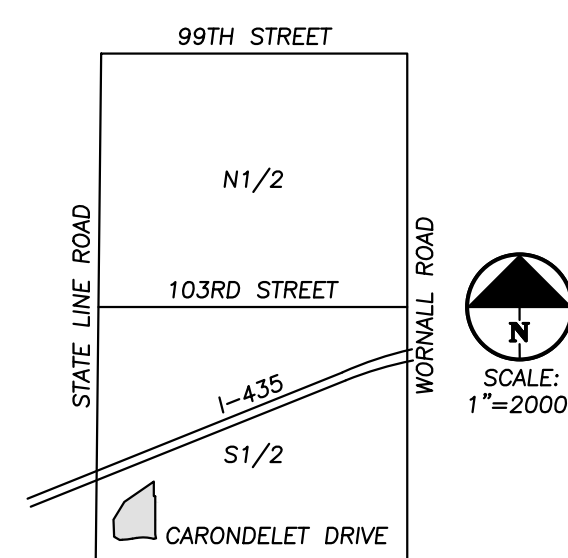
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate &/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
- The construction of storm sewers on this project shall conform to the requirements of the City's Technical Specifications and Design Criteria.
- The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
- It will be the contractor's responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
- Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other incidentals required for a complete operate fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of City.
- The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- The Contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
- Water lines shall be as follows (unless otherwise shown on plans):
 - Pipe sizes less than 3-inches that are installed below grade and outside building shall comply with the following:
 - Seamless Copper Tubing: Type "K" soft copper, ASTM B88.
 - Fittings: Wrought copper (95.5 Tin Antimony solder joint), ASME B 16.22.
- Minimum trench width shall be 2 feet.
- Contractor shall maintain a minimum of 42" cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to City's specifications for commercial services.
- All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, a 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
- Sanitary conflicts will be resolved prior to permit issuance.
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.
- When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such site utility terminations.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

UTILITY COMPANIES:

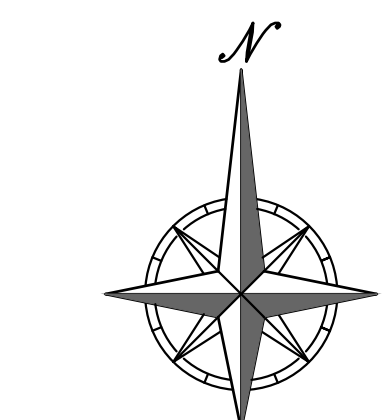
SPIRE ENERGY BEVERLY PASSANTINO 7500 E. 35TH TERRACE KANSAS CITY, MO. 64129 EMAIL: beverly.passantino@spireenergy.com	(816) 472-3434	CITY OF KANSAS CITY PUBLIC WORKS DEPARTMENT 414 E. 12TH STREET KANSAS CITY, MO. 64106	(816) 513-2627
EVERGY MELISSA FELTES 8325 N. PLATTE PURCHASE DRIVE KANSAS CITY, MO. 64118 E-MAIL: Melissa.Feltes@kcpl.com	(816) 420-4721	CITY OF KANSAS CITY (GENERAL NUMBER) CARLA HASKINS (WATER) EMAIL: carla.haskins@kcmo.org AMY BUNNELL (LAND DEVELOPMENT DIVISION) EMAIL: amy.bunnell@kcmo.org 4800 E. 63RD STREET KANSAS CITY, MO. 64130	(816) 513-1313 (816) 513-2133 (816) 513-2552
AT&T JILL SCHROEDER 9556 N. MCGEE COURT KANSAS CITY, MO 64155 EMAIL: j0311@att.com	(816) 734-8700	TIME WARNER CABLE 15 NW BARRY ROAD KANSAS CITY, MO. 64155	(816) 358-8833

LEGEND

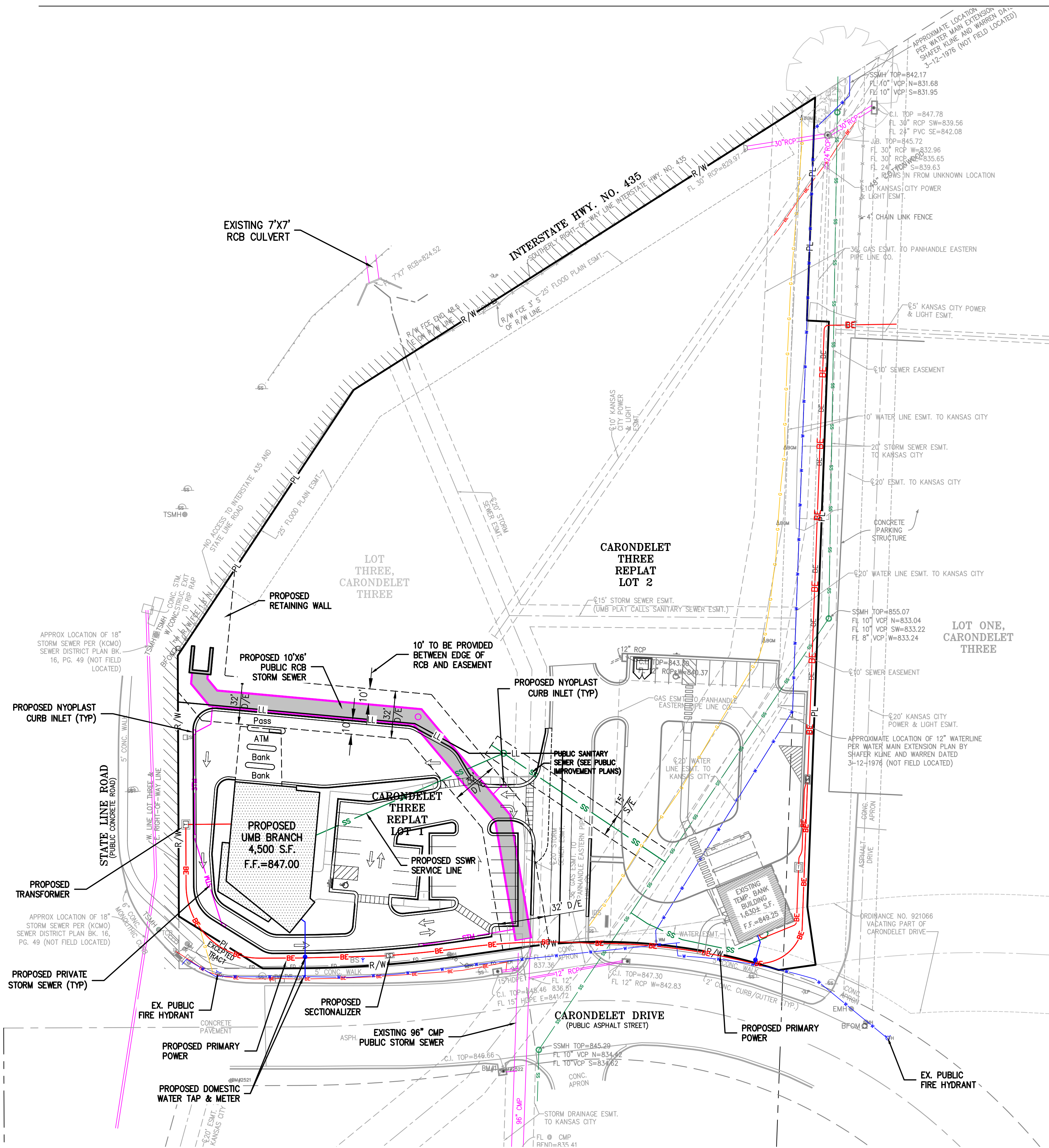
- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- CTV — EXISTING CABLE TELEVISION LINE
- FO — EXISTING FIBER OPTIC LINE
- G — EXISTING GAS LINE
- BE — EXISTING BURIED ELECTRIC LINE
- OHP — EXISTING OVERHEAD POWER LINE
- OHT — EXISTING OVERHEAD TELEPHONE LINE
- SS — EXISTING SANITARY SEWER LINE
- HDPE — EXISTING STORM SEWER LINE (& SIZE)
- BT — EXISTING BURIED TELEPHONE LINE
- W — EXISTING WATER LINE (& SIZE)
- BE — PROPOSED BURIED ELECTRIC LINE
- SS — PROPOSED SANITARY SEWER LINE
- HDPE — PROPOSED STORM SEWER LINE (& SIZE)
- W — PROPOSED WATER LINE (& SIZE)



VICINITY MAP
FRAC. SEC. 31-48-33



SCALE: 1" = 40'
SCALE: 1" = 40'
PEI #210040



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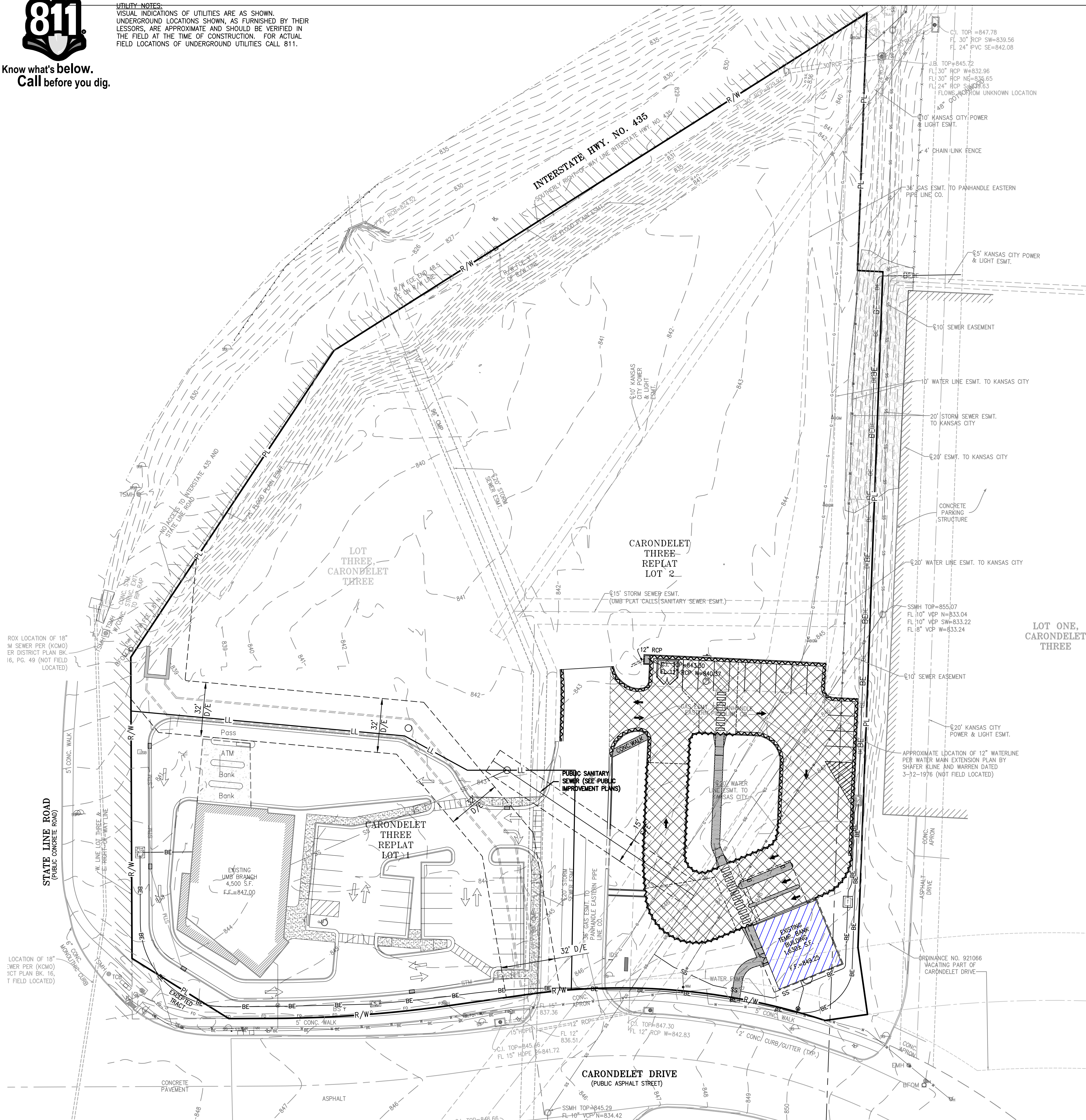


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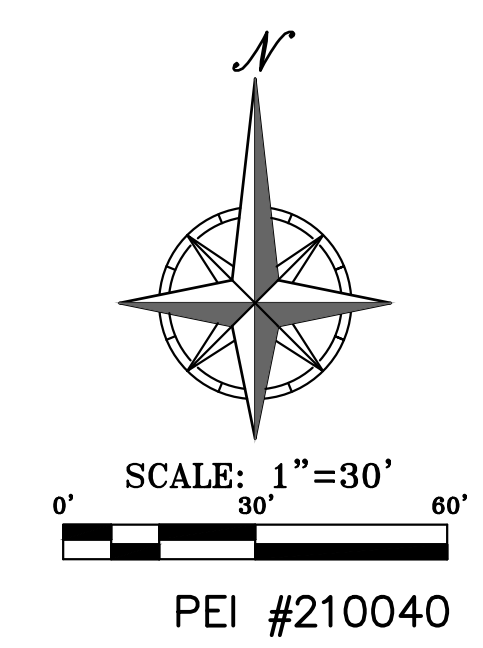
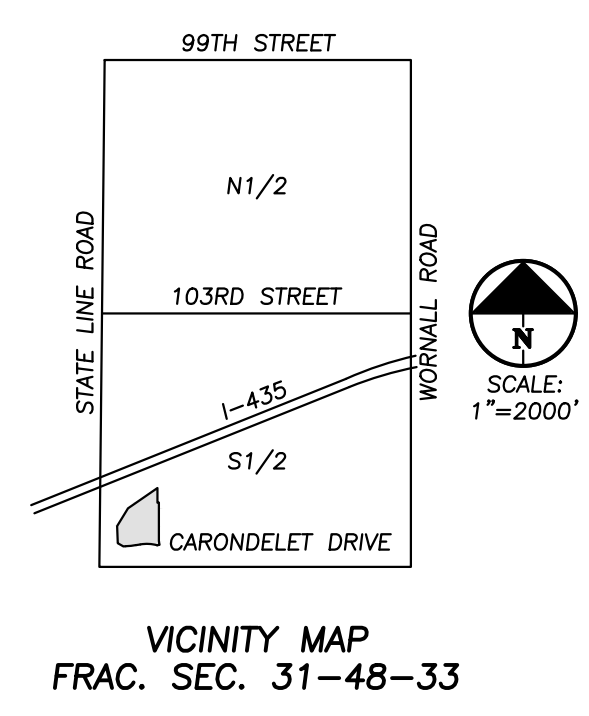
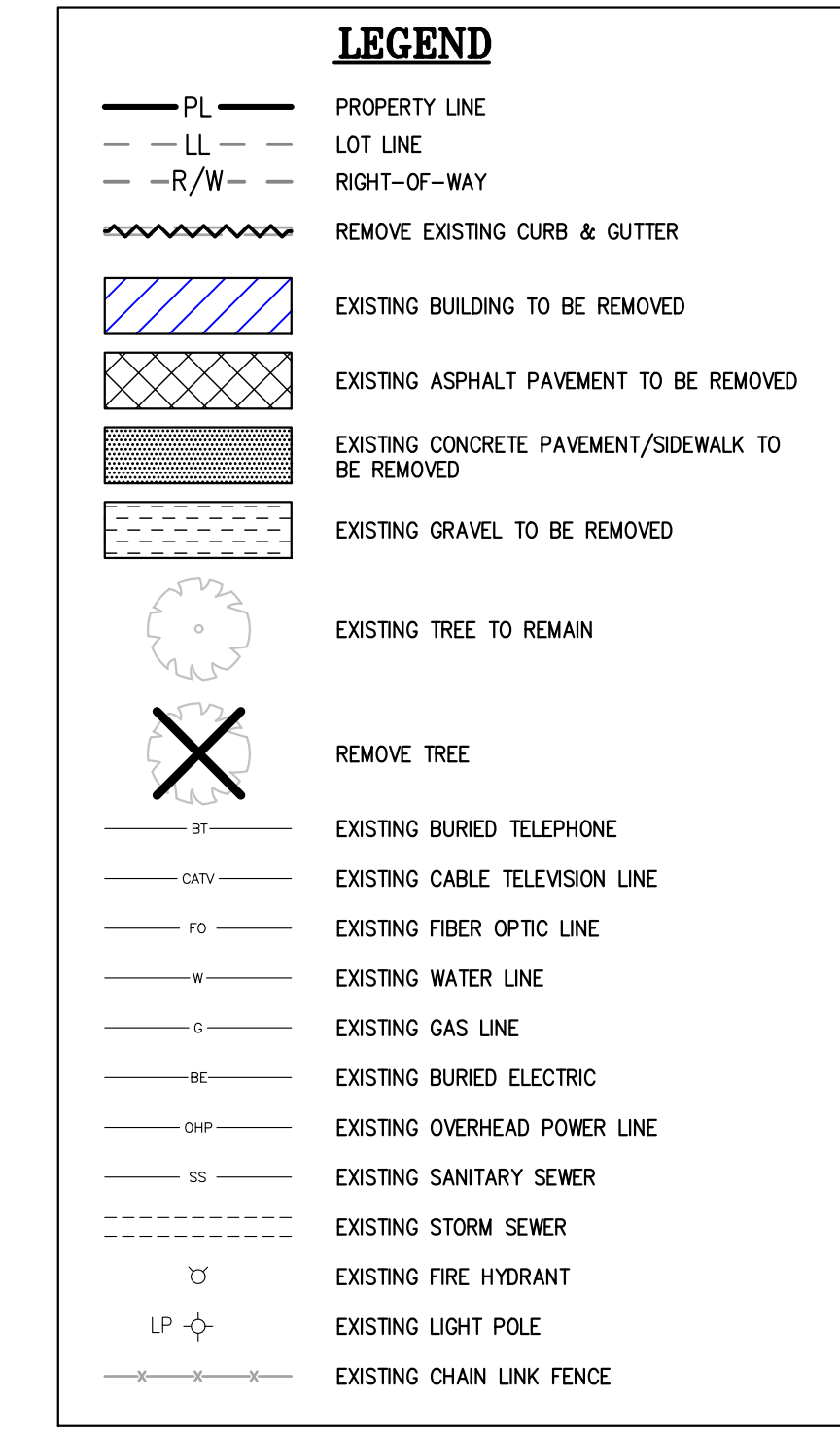
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DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
5. REFER TO THE BUILDING PLANS FOR SITE LIGHTING ELECTRICAL MODIFICATIONS (IF ANY) TO THE EXISTING SYSTEM.



Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
4900 Main St. Ste 400, Kansas City, MO 64112
and

UMB Financial Corporation
1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
300 West 22nd Street
Kansas City, MO 64108 USA
t+1 816 472 3360 f+1 816 472 2100

GastingerWalker
UMB Retail Bank Architect
817 Wyandotte St, Kansas City, MO 64105
t+1 816 421 8200 f+1 816 421 1262

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In Association with

Phelps Engineering Inc
Civil Engineering
1270 N Winchester St #5878, Olathe, KS 66061

Oppermann LandDesign LLC
Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

Professional Seals

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1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

Project No: 20.70060.00
Sheet Title:

DEMOLITION
PLAN - PHASE 2

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

C2

\\PHELPS-SERVER\Projects\210040\Org\Preliminary Development\Plans\DEM0 PH2.dwg Layout:2 Jul 29, 2021 - 4:47pm Daniel Finn



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OVERALL SITE
PLAN - PHASE 2

SITE PLAN NOTES:

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference.
 - City ordinances & O.S.H.A. Regulations.
 - The City of Kansas City, Missouri Technical Specifications and Municipal Code.
 - APWA Standard Specifications and Design Criteria, latest edition.
 - Project Specific Specifications.
- The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications of the job site at all times.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
- The demolition and removal (or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
- Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc., as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
- All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
- The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
- SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.
- WARRANTY/DISCLAIMER:** The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. However, neither the Engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the Engineer observes the physical construction on a continual basis at the site.
- No work is to be allowed within the public right-of-way or easements without a right of way work permit.
- All paving construction and earthwork grading/compaction shall conform to the requirements of the geotechnical engineering report prepared for this project.
- Within forty-eight hours prior to any asphalt or concrete paving, the subgrade shall be proof rolled with a fully loaded tandem wheeled dump truck and observed by the on-site geotechnical engineer. Areas of the subgrade with excessive rutting and/or pumping shall be re-worked or removed in accordance with the project specifications. Flyash or granular material may be added by the contractor to stabilize the subgrade. See project specifications.
- All curb shall be sloped for positive drainage. Contractor shall use "dry curb and gutter" as needed in localized paved areas that drain away from the curb and gutter. See paving details.
- The Contractor is responsible for the protection all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, etc. Damaged improvements shall be repaired in conformance with the latest city standards and to the City's satisfaction.
- The contractor is responsible for providing berms, all fences, straw bales, or other means to prevent eroded materials from reaching the public right-of-way and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt or mud and restore the right-of-way or adjacent property to original or better condition.
- All disturbed areas are to receive topsoil, sod and water until a healthy stand of grass is established. See the landscaping plans for requirements. Re-seeding shall be required (see project specifications).
- The contractor shall sod all disturbed areas within the public street right-of-way.
- Contractor shall refer to the architectural building plans for exact locations and dimensions of vestibules, slope paving, sidewalks, exit porches, truck docks, precise building dimensions and exact building entrance locations. All dimensions are to outside wall of building(s).
- Refer to building plans for site lighting electrical plan.
- Contractor to remove existing trees and vegetation, as necessary, for site construction unless specifically noted to remain.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

SITE DIMENSION NOTES:

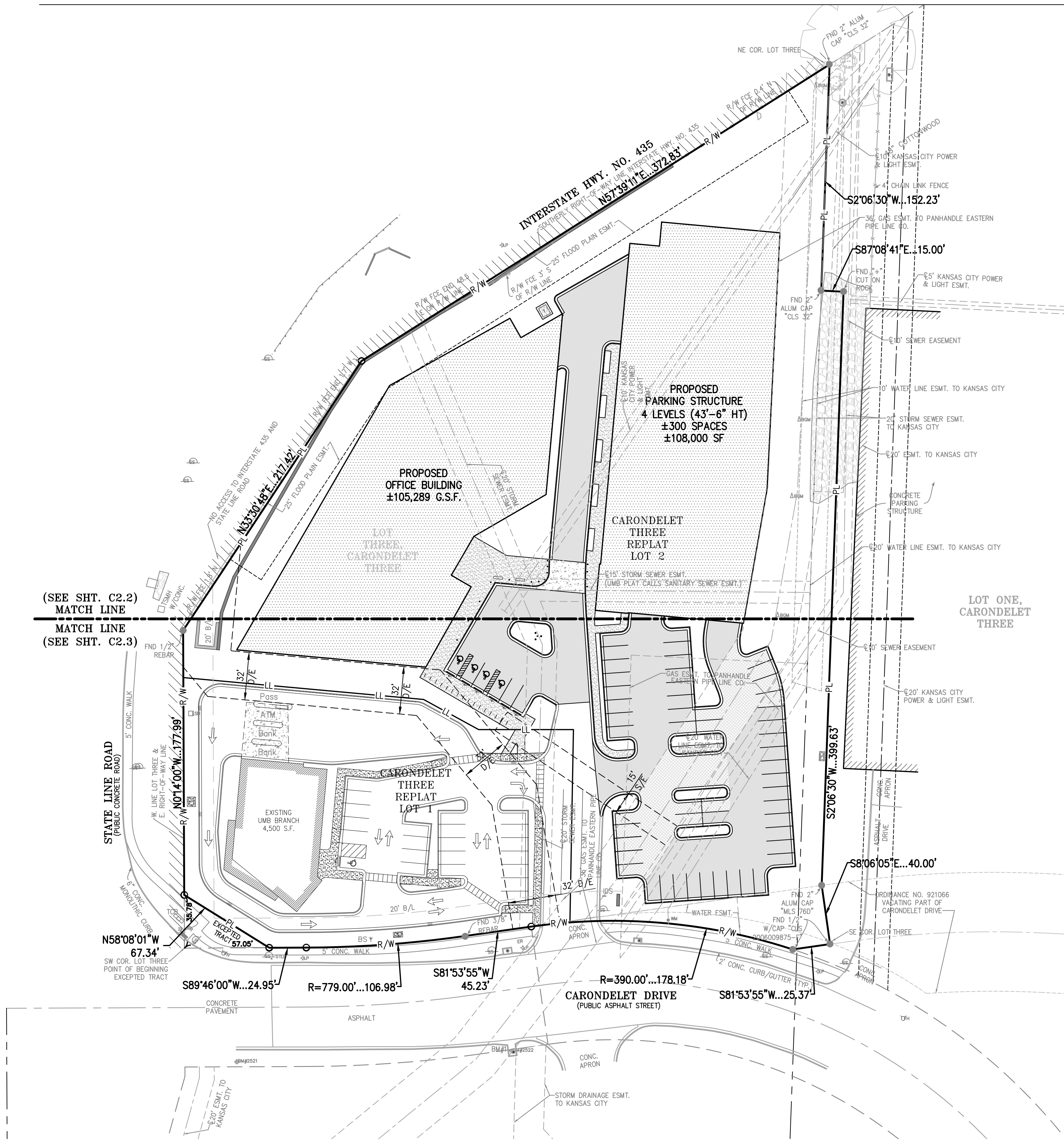
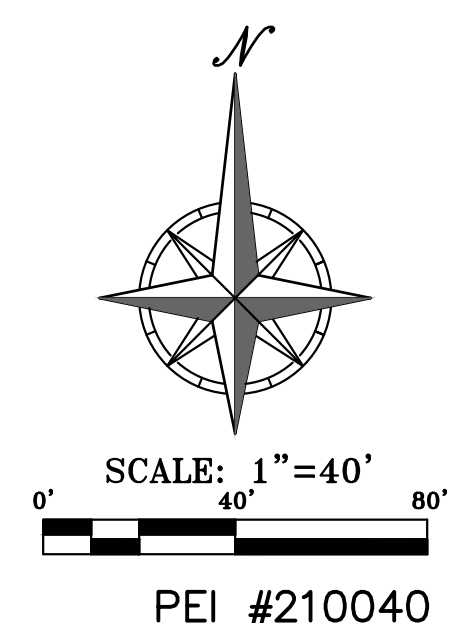
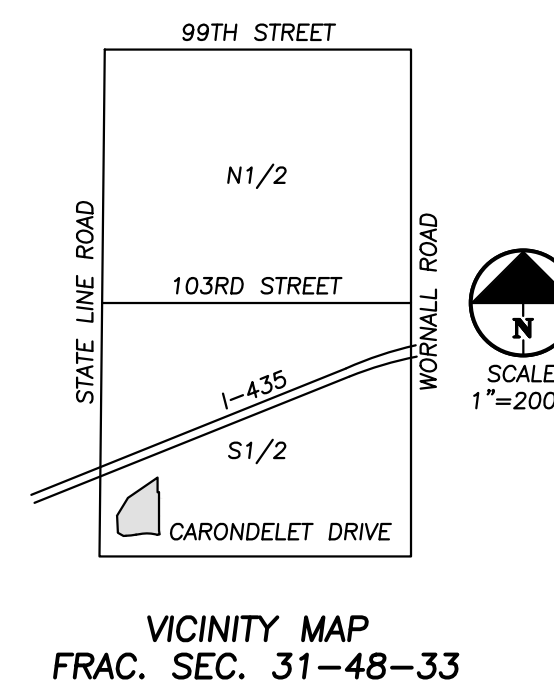
- BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
- HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
- TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-2912 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

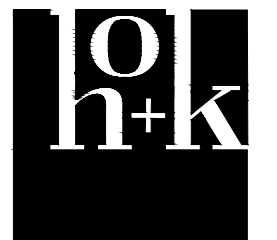
LEGEND

- PL — PROPERTY LINE
- - - LL - - LOT LINE
- - - R/W - - RIGHT-OF-WAY
- 2' CURB & GUTTER
- ASPHALT PAVEMENT
- PERVIOUS PAVEMENT
- PROPOSED BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK



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No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

SITE PLAN NOTES:

- All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference.
 - City ordinances & O.S.M.A. Regulations.
 - The City of Kansas City, Missouri Technical Specifications and Municipal Code.
 - APWA Standard Specifications and Design Criteria, latest edition.
 - Project Specific Specifications.
- The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications of the job site at all times.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Kansas City, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
- The demolition and removal (or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
- Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc., as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
- All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor shall be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
- The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
- SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.
- WARRANTY/DISCLAIMER:** The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. However, neither the Engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the Engineer observes the physical construction on a continual basis at the site.
- No work is to be allowed within the public right-of-way or easements without a right of way work permit.
- All paving construction and earthwork grading/compaction shall conform to the requirements of the geotechnical engineering report prepared for this project.
- Within forty-eight hours prior to any asphalt or concrete paving, the subgrade shall be proof rolled with a fully loaded tandem wheeled dump truck and observed by the on-site geotechnical engineer. Areas of the subgrade with excessive rutting and/or pumping shall be re-worked or removed in accordance with the project specifications. Flyash or granular material may be added by the contractor to stabilize the subgrade. See project specifications.
- All curbs shall be sloped for positive drainage. Contractor shall use "dry curb and gutter" as needed in localized paved areas that drain away from the curb and gutter. See paving details.
- The Contractor is responsible for the protection all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, etc. Damaged improvements shall be repaired in conformance with the latest city standards and to the City's satisfaction.
- The contractor is responsible for providing berms, all fences, straw bales, or other means to prevent eroded materials from reaching the public right-of-way and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt or mud and restore the right-of-way or adjacent property to original or better condition.
- All disturbed areas are to receive topsoil, sod and water until a healthy stand of grass is established. See the landscaping plans for requirements. Re-seeding shall be required (see project specifications).
- The contractor shall sod all disturbed areas within the public street right-of-way.
- Contractor shall refer to the architectural building plans for exact locations and dimensions of vestibules, slope paving, sidewalks, exit porches, truck docks, precise building dimensions and exact building utility entrance locations. All dimensions are to outside wall of building(s).
- Refer to building plans for site lighting electrical plan.
- Contractor to remove existing trees and vegetation, as necessary, for site construction unless specifically noted to remain.
- State to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

SITE DIMENSION NOTES:

- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
- ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

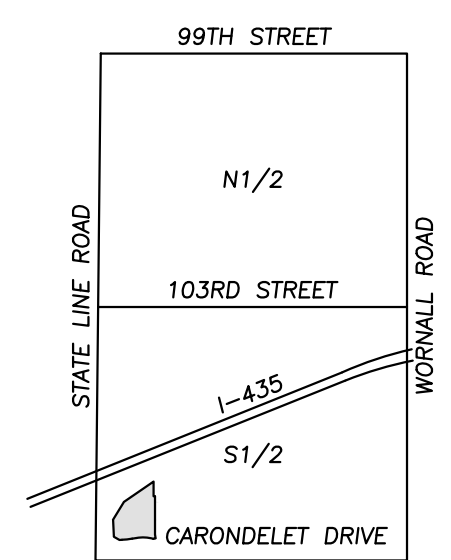
- PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
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SITE KEY NOTES:

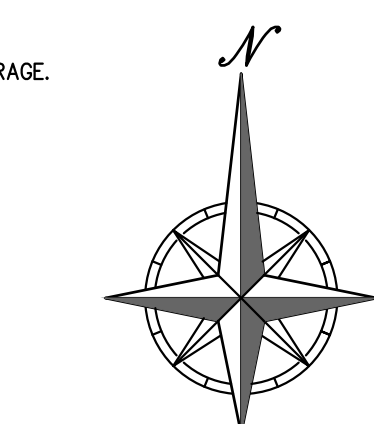
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- (C) CONSTRUCT ADA STALL W/ PAVEMENT MARKINGS AND SIGNAGE.
- (D) INSTALL BUMPER BLOCK.
- (E) INSTALL BICYCLE PARKING (RE: ARCHITECT PLAN).
- (F) INSTALL FLAG POLE (RE: ARCH PLANS).
- (G) CONSTRUCT CONCRETE TRANSFORMER PAD.
- (H) INSTALL BOLLARD (TYPICAL).
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- (L) INSTALL VAN ACCESSIBLE PARKING SIGN.

LEGEND

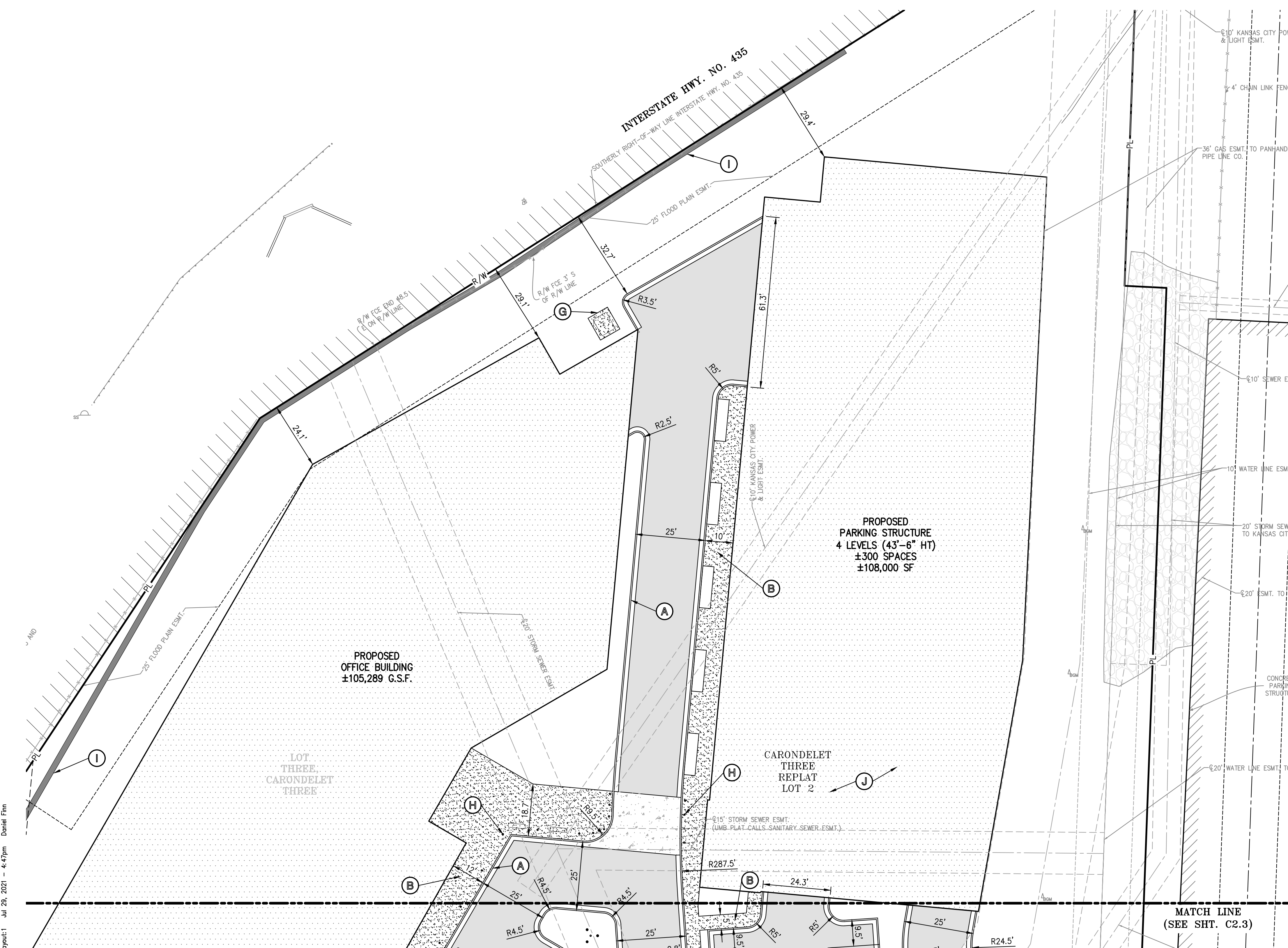
- PL — PROPERTY LINE
- - - LL - - LOT LINE
- - - R/W - - RIGHT-OF-WAY
- ===== 2' CURB & GUTTER
- ▒ ASPHALT PAVEMENT
- ▒ PERVIOUS PAVEMENT
- ▒ PROPOSED BUILDING
- ▒ CONCRETE PAVEMENT
- ▒ CONCRETE SIDEWALK



VICINITY MAP
FRAC. SEC. 31-48-33



SCALE: 1"=20'
PEI #210040



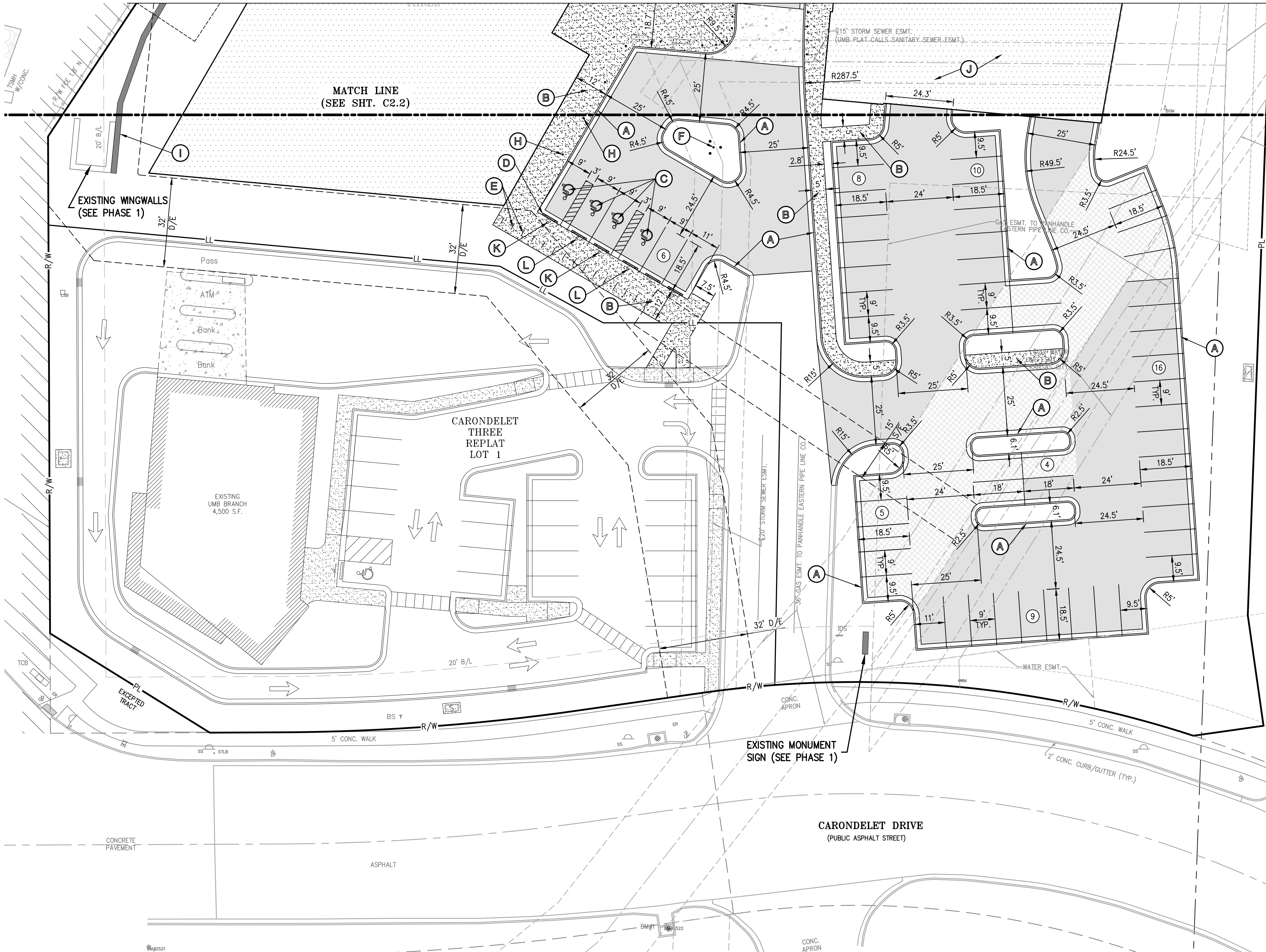
\\PHELPS-SERVER\Projects\210040\Eng\Preliminary Development\Plans\SITE PH2.dwg Layout1 Jul 29, 2021 4:47pm Donita Finn



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\\PHELPS-SERVER\Projects\210040\Map\Development\Plans\Site\PH2.dwg Layout:2 Jul 29, 2021 4:48pm Daniel Fin



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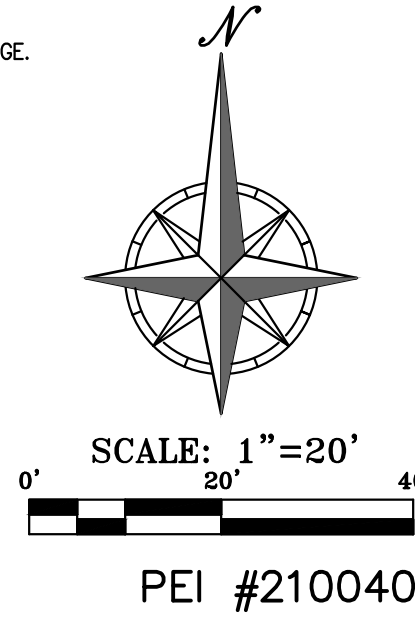
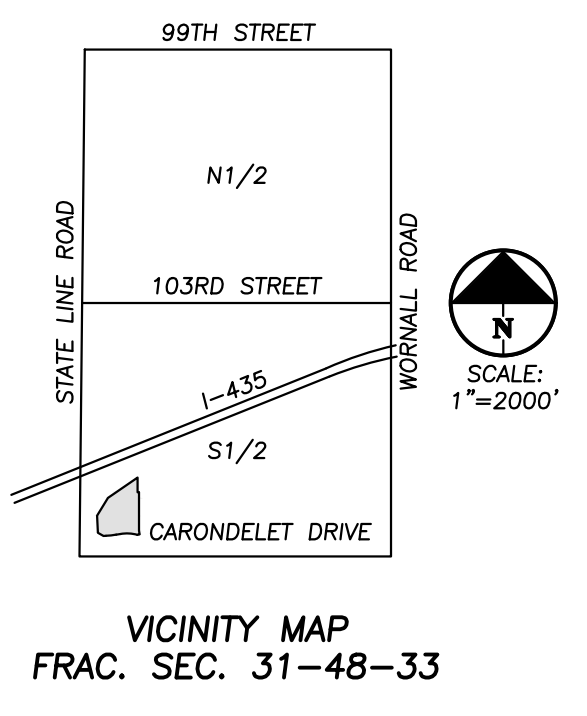
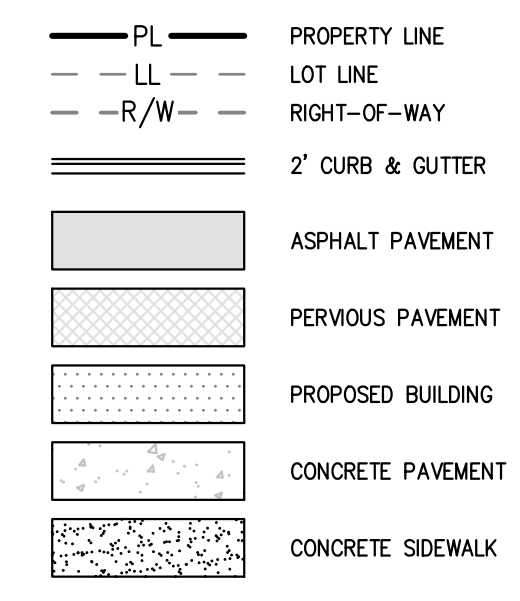
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SITE KEY NOTES:

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- (B) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
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- (D) INSTALL BUMPER BLOCK.
- (E) INSTALL SHORT BICYCLE PARKING.
- (F) INSTALL FLAG POLE (RE: ARCH PLANS).
- (G) CONSTRUCT CONCRETE TRANSFORMER PAD (RE: SHEET C2.5)
- (H) INSTALL BOLLARD (TYPICAL).
- (I) CONSTRUCT SEGMENTAL BLOCK RETAINING WALL (WITH HANDRAIL AT ANY LOCATION WALL HEIGHT EXCEEDS 30").
- (J) LONG TERM BICYCLE PARKING LOCATED WITHIN PARKING GARAGE.
- (K) INSTALL ACCESSIBLE PARKING SIGNS.
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LEGEND



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Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
4900 Main St. Ste 400, Kansas City, MO 64112
and

UMB Financial Corporation
1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
300 West 22nd Street
Kansas City, MO 64108 USA
t+1 816 472 3360 f+1 816 472 2100

GastingerWalker
UMB Retail Bank Architect
817 Wyandotte St, Kansas City, MO 64105
t+1 816 421 8200 f+1 816 421 1262

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Civil Engineering
1270 N Winchester St #5878, Olathe, KS 66061

Oppermann LandDesign LLC
Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

Professional Seals

**PDP SUBMITTAL
NOT FOR
CONSTRUCTION**

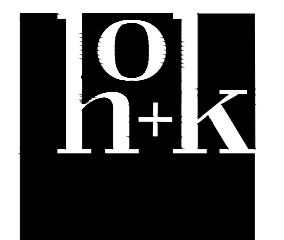
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Project No: 20.70060.00
Sheet Title:

**ENLARGED SITE
PLAN - PHASE 2**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

C2.3



Hellmuth, Obata & Kassabaum, Inc.
300 West 22nd Street
Kansas City, MO 64108 USA
t+1 816 472 3360 f+1 816 472 2100

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3	PDP RE-SUBMISSION	7.29.2021

Project No: 20.70060.00
Sheet Title:

OVERALL
GRADING PLAN -
PHASE 2

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

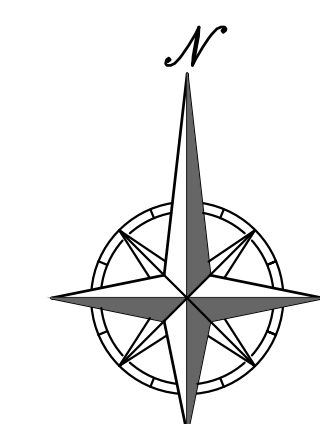
C2.4

SITE GRADING NOTES:

- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted, proposed contours and elevations shown represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.
- If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.
- TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and I.T.L.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
- PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.
- EARTHWORK:
 - GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
 - SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five feet, building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
 - BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper 24 inches of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.
 - EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
- TESTING AND INSPECTION: Owner's independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
- CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
- RESTORATION: All disturbed areas not in building or pavements shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
- UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P.P. requirements.

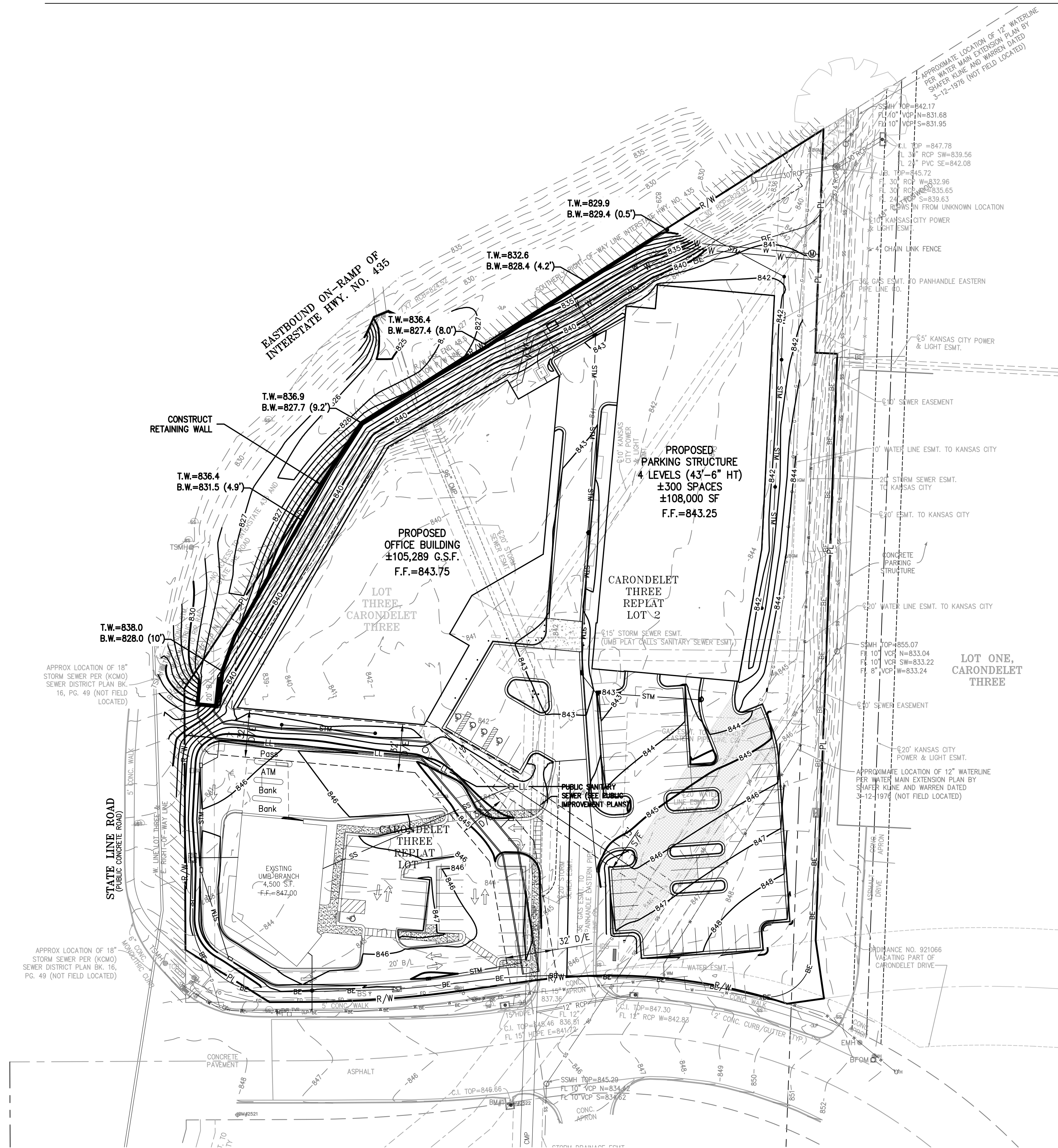
LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2" CURB & GUTTER
- 920 — EXISTING CONTOURS
- 910 — EXISTING CONTOURS
- 918 — PROPOSED CONTOURS
- EXISTING STORM SEWER
- PROPOSED STORM PIPE
- PROPOSED WET CURB & GUTTER
- PROPOSED DRY CURB & GUTTER
- PROPOSED RETAINING WALL



SCALE: 1" = 40'
0' 40' 80'

PEI #210040



FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF KANSAS CITY, COMMUNITY NO. 290173, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0386G, AND DATED JANUARY 20, 2017.

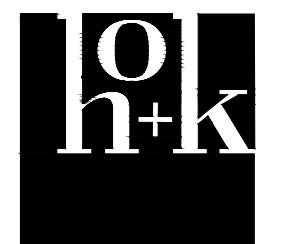
BENCHMARK:

- VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING (MODOT VRS)
- SET "1" CUT IN CENTER FRONT FACE OF CURB INLET AT APPROXIMATE MIDPOINT OF SOUTH PROPERTY LINE LOT 3, CORONDELET THREE ON THE SOUTH SIDE OF CORONDELET DRIVE AT THE WEST RETURN OF THE NORTH ENTRANCE TO GAS STATION
ELEVATION = 845.67
 - SET PLUS CUT IN CONCRETE SIDEWALK IN THE SOUTHEAST QUADRANT OF CORONDELET DRIVE AND STATE LINE ROAD JUST EAST OF AN ELECTRIC MANHOLE LID
ELEVATION = 848.97

UTILITY NOTES:
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Know what's below.
Call before you dig.



**PDP SUBMITTAL
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CONSTRUCTION**

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021
3	PDP RE-SUBMISSION	7.29.2021

**UTILITY PLAN -
PHASE 2**

UTILITY NOTES:

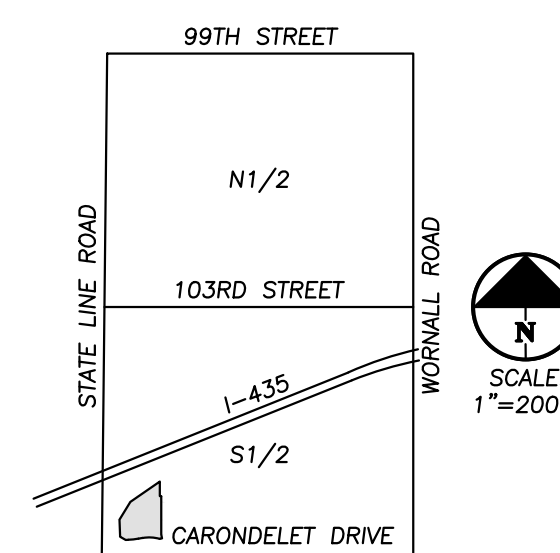
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate &/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
- The construction of storm sewers on this project shall conform to the requirements of the City's Technical Specifications and Design Criteria.
- The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
- It will be the contractor's responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
- Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other incidentals required for a complete operable fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of City.
- The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- The contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact in-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
- Water lines shall be as follows (unless otherwise shown on plans):
- Pipe sizes less than 3-inches that are installed below grade and outside building shall comply with the following:
1. Seamless Copper Tubing: Type "K" soft copper, ASTM B88.
2. Fittings: Wrought copper (95.5 Tin Antimony solder joint), ASME B 16.22.
- Minimum trench width shall be 2 feet.
- Contractor shall maintain a minimum of 42" cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to City's specifications for commercial services.
- All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, on 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
- Sanitary conflicts will be resolved prior to permit issuance.
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.
- When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such site utility terminations.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

UTILITY COMPANIES:

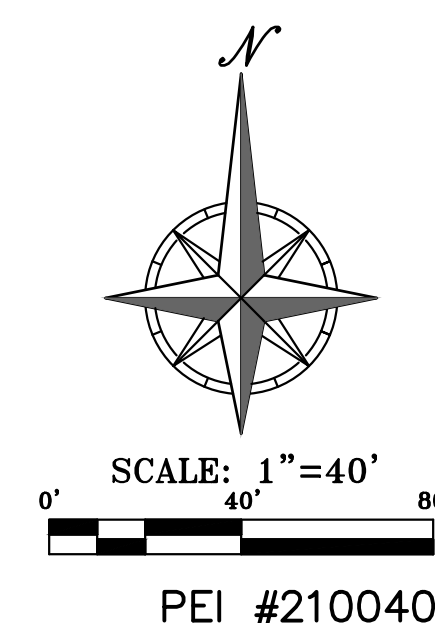
SPIRE ENERGY BEVERLY PASSANTINO 7500 E. 35TH TERRACE KANSAS CITY, MO. 64129 EMAIL: beverly.passantino@spireenergy.com	(816) 472-3434	CITY OF KANSAS CITY PUBLIC WORKS DEPARTMENT 414 E. 12TH STREET KANSAS CITY, MO. 64106	(816) 513-2627
EVERGY MELISSA FELTES 8325 N. PLATTE PURCHASE DRIVE KANSAS CITY, MO. 64118 E-MAIL: Melissa.Feltes@kcpl.com	(816) 420-4721	CITY OF KANSAS CITY (GENERAL NUMBER) CARLA HASKINS (WATER) EMAIL: carla.haskins@kcmo.org AMY BUNNELL (LAND DEVELOPMENT DIVISION) EMAIL: amy.bunnell@kcmo.org 4800 E. 63RD STREET KANSAS CITY, MO. 64130	(816) 513-1313 (816) 513-2133 (816) 513-2552
AT&T JILL SCHROEDER 9556 N. MCGEE COURT KANSAS CITY, MO 64155 EMAIL: j0311@att.com	(816) 734-8700	TIME WARNER CABLE 15 NW BARRY ROAD KANSAS CITY, MO. 64155	(816) 358-8833

LEGEND

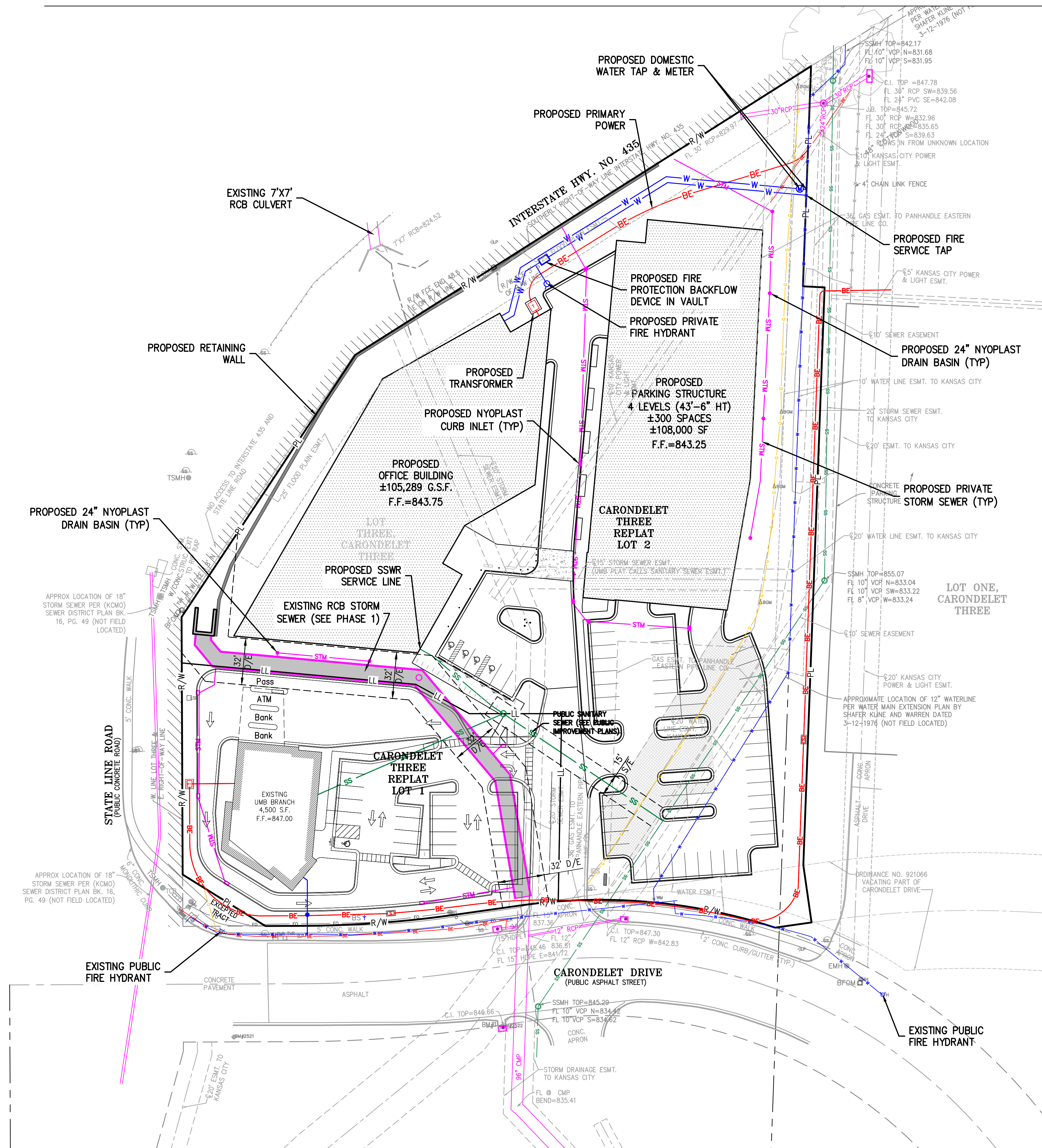
— PL —	PROPERTY LINE
— LL —	LOT LINE
— R/W —	RIGHT-OF-WAY
— CTV —	EXISTING CABLE TELEVISION LINE
— FO —	EXISTING FIBER OPTIC LINE
— G —	EXISTING GAS LINE
— BE —	EXISTING BURIED ELECTRIC LINE
— OHP —	EXISTING OVERHEAD POWER LINE
— OHT —	EXISTING OVERHEAD TELEPHONE LINE
— SS —	EXISTING SANITARY SEWER LINE
— SSW —	EXISTING SANITARY SEWER LINE (& SIZE)
— BT —	EXISTING BURIED TELEPHONE LINE
— W —	EXISTING WATER LINE (& SIZE)
— BE —	PROPOSED BURIED ELECTRIC LINE
— SS —	PROPOSED SANITARY SEWER LINE
— SSW —	PROPOSED STORM SEWER LINE (& SIZE)
— W —	PROPOSED WATER LINE (& SIZE)



VICINITY MAP
FRAC. SEC. 31-48-33



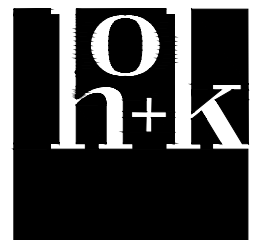
SCALE: 1"=40'
PEI #210040



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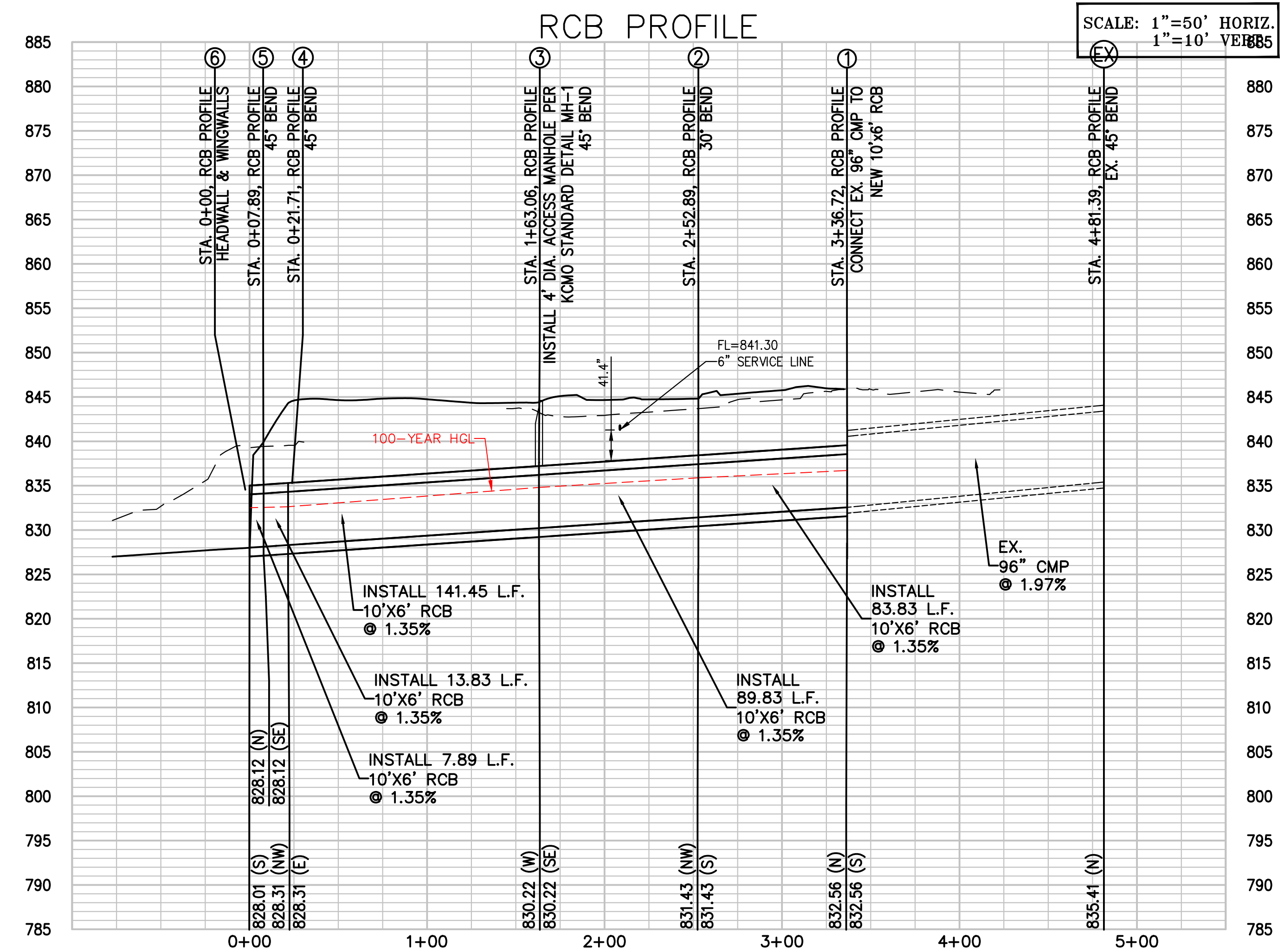
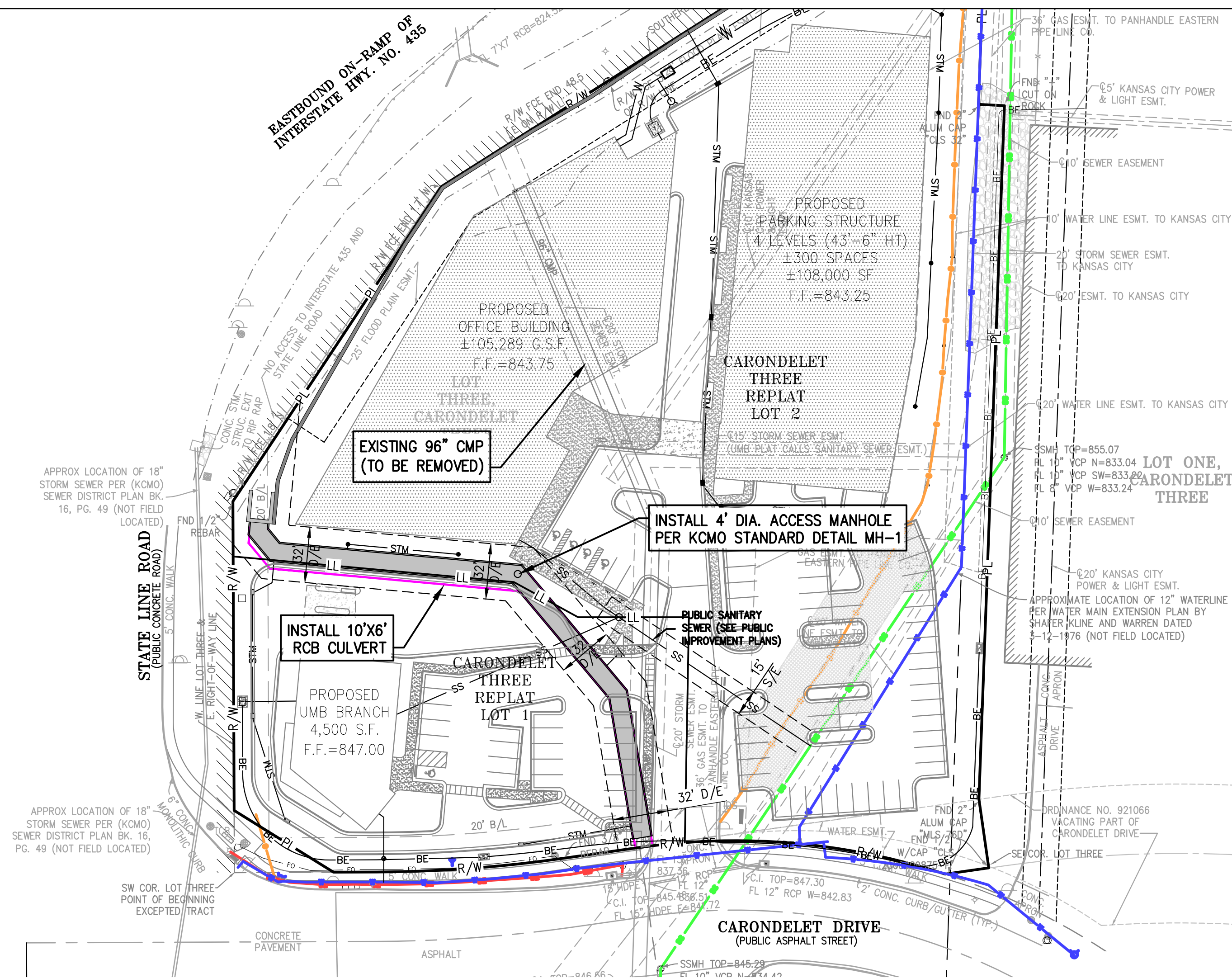


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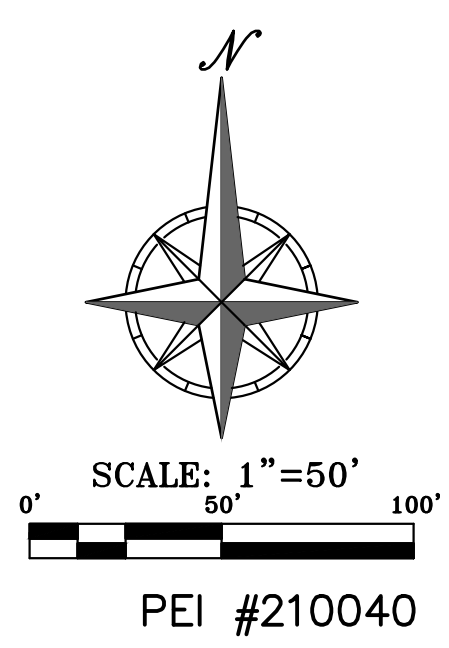
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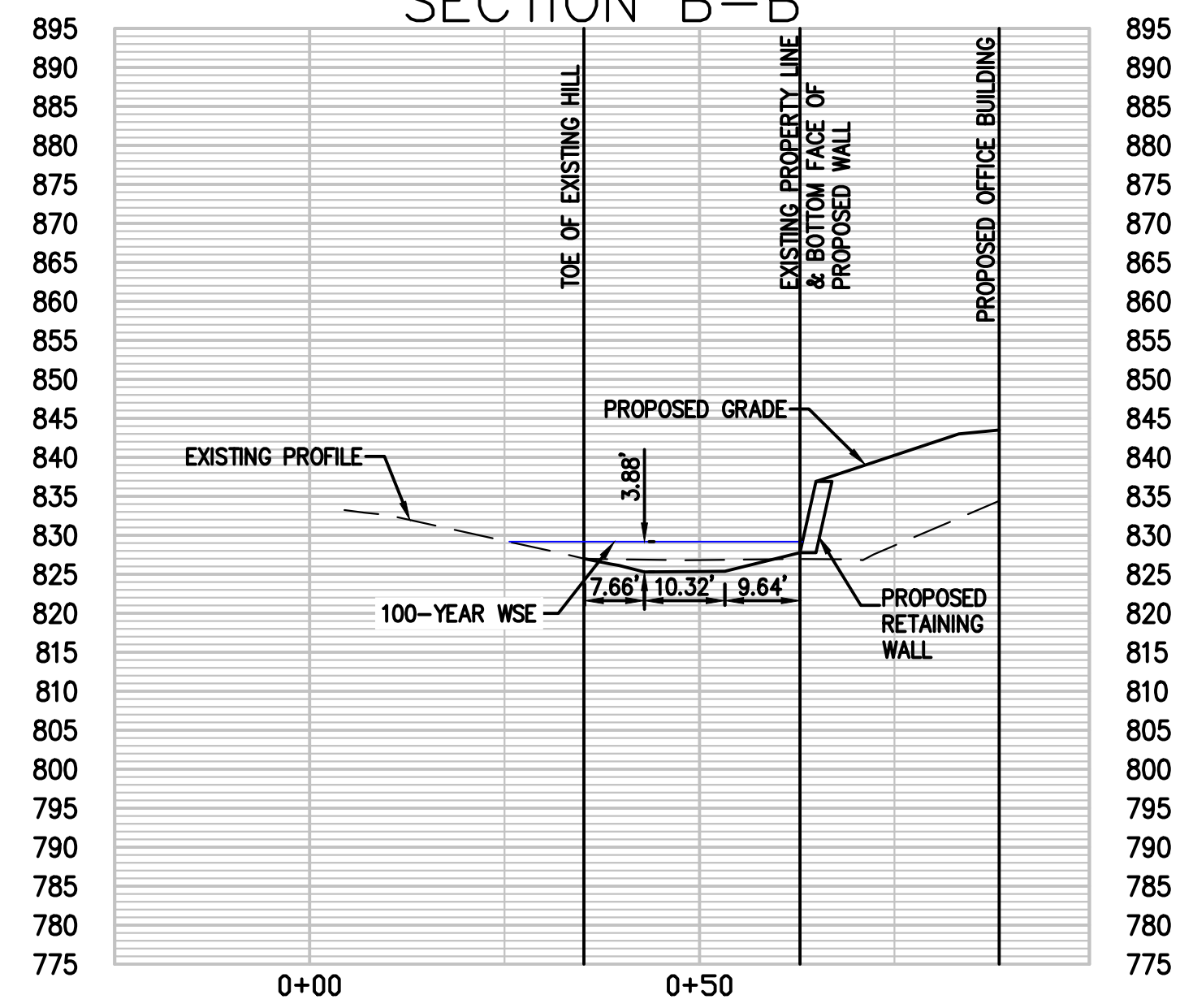


Watershed Analysis		
Storm Event	25-YR	100-YR
Total Area (A.C.)	240	240
Slope	1.88%	1.88%
Length	4,340	4,340
Time of Conc. (min)	20	20
Intensity (in/hr)	5.37	6.62
% impervious	30%	30%
"C" Value	0.48	0.48
"K" Value	1.1	1.25
Q (CFS)	680	953

EXISTING 96" CMP CAPACITY=680 CFS
PROPOSED 10'X6' RCB CAPACITY=1,212 CFS



SCALE: 1"=20' HORIZ.
1"=20' VERT.



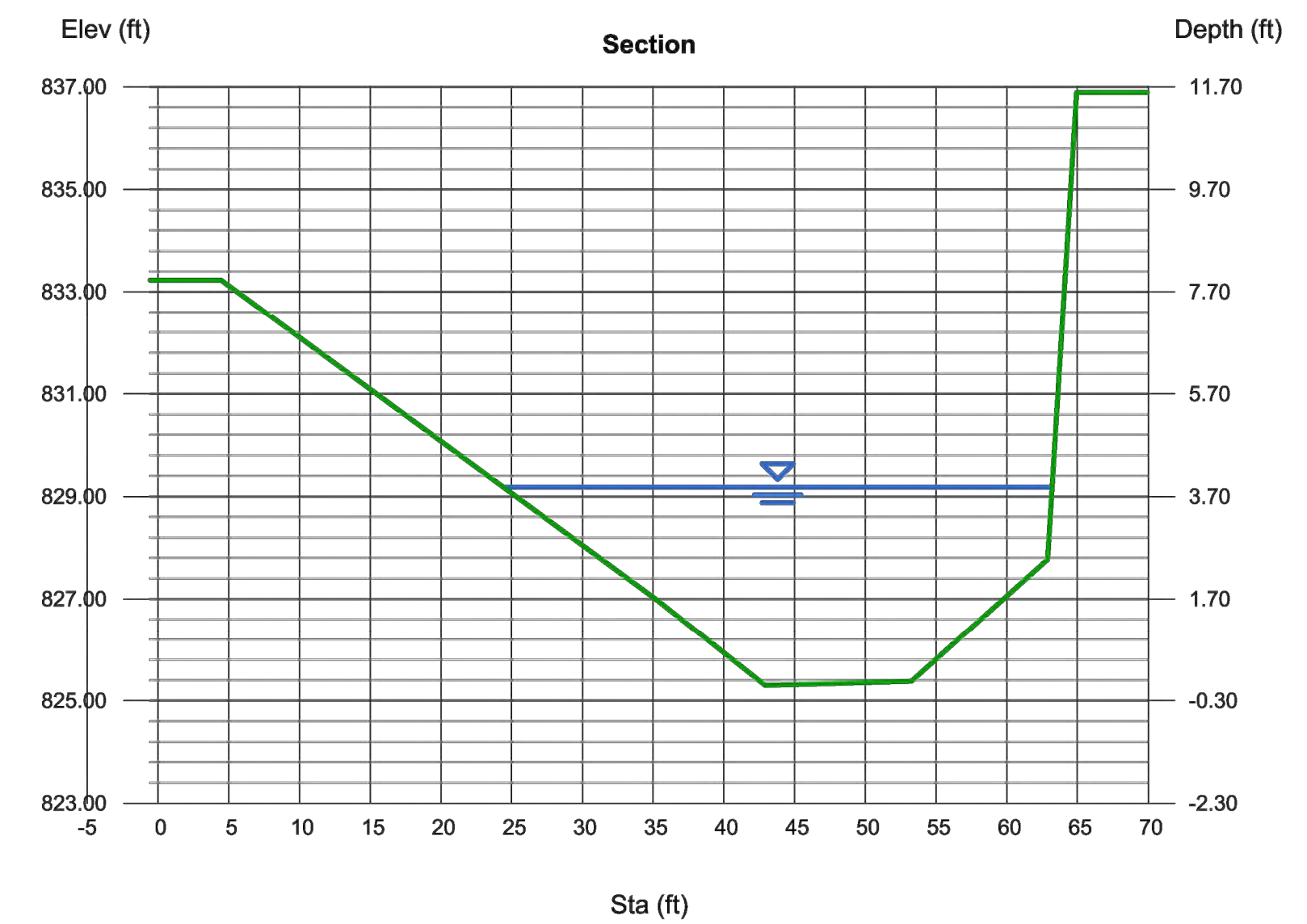
Channel Report

Hydroflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Thursday, Apr 1 2021

Swale Section B-B

User-defined		Highlighted	
Invert Elev (ft)	= 825.30	Depth (ft)	= 3.88
Slope (%)	= 1.20	Q (cfs)	= 1,190
N-Value	= 0.025	Area (sqft)	= 100.19
		Velocity (ft/s)	= 11.88
		Wetted Perim (ft)	= 40.61
Calculations		Crit Depth, Yc (ft)	= 4.44
Compute by:	Known Q	Top Width (ft)	= 38.79
Known Q (cfs)	= 953.00	EGL (ft)	= 6.07

(Sta, El, n)-(Sta, El, n)...
(4.44, 833.23)-(35.27, 826.98, 0.025)-(42.93, 825.30, 0.025)-(53.25, 825.38, 0.025)-(62.89, 827.77, 0.025)-(64.93, 836.89, 0.025)



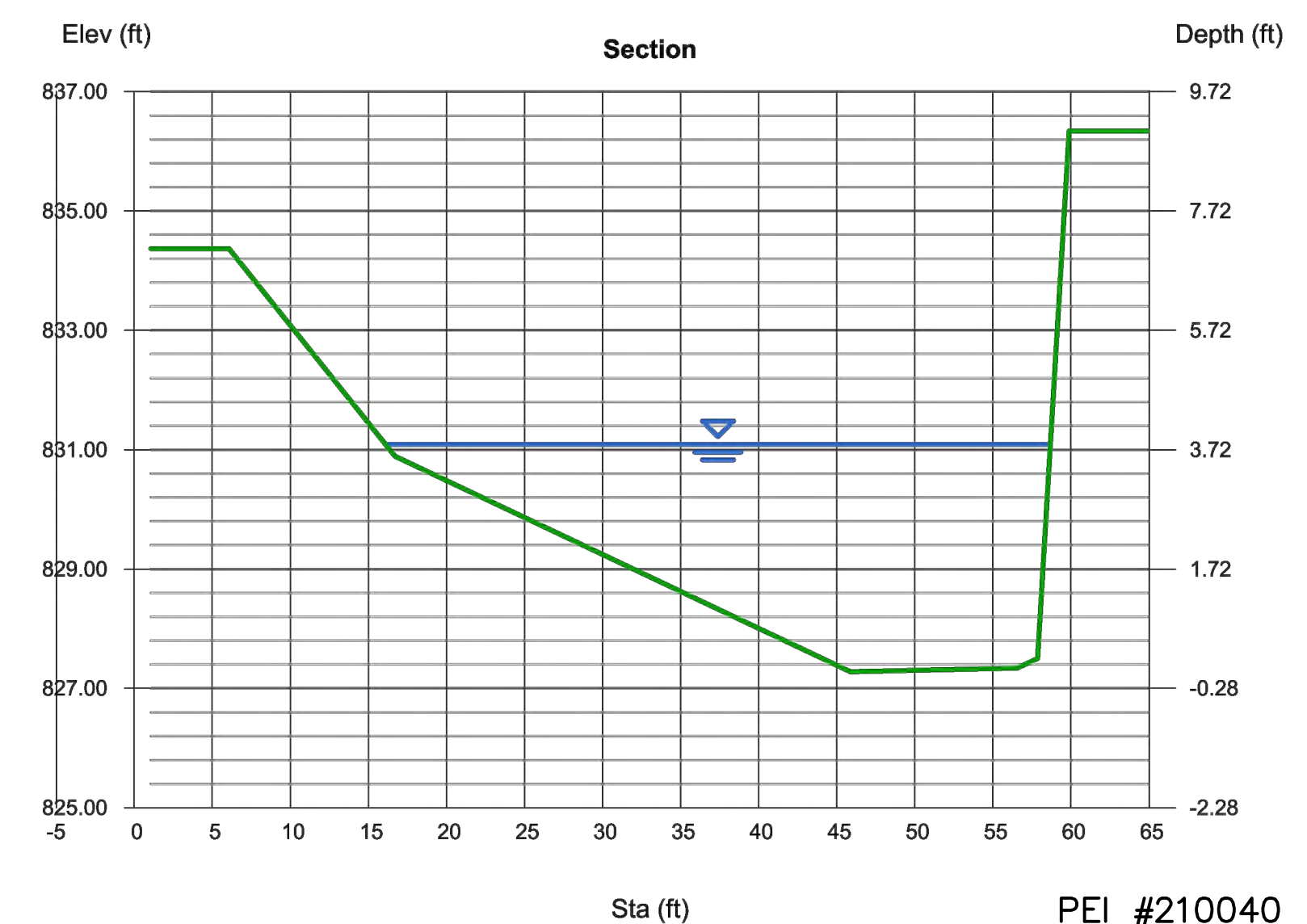
Channel Report

Hydroflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Thursday, Apr 1 2021

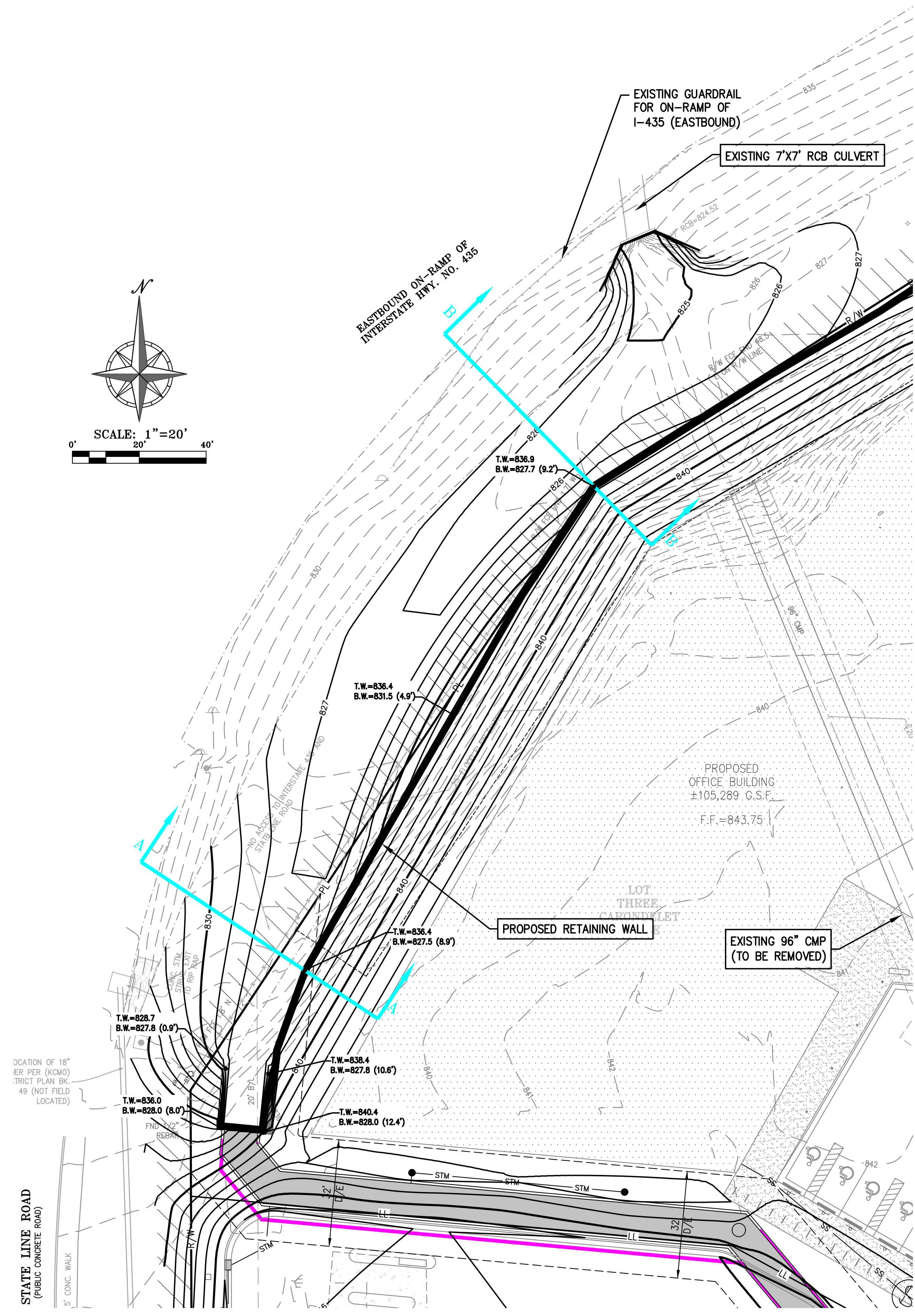
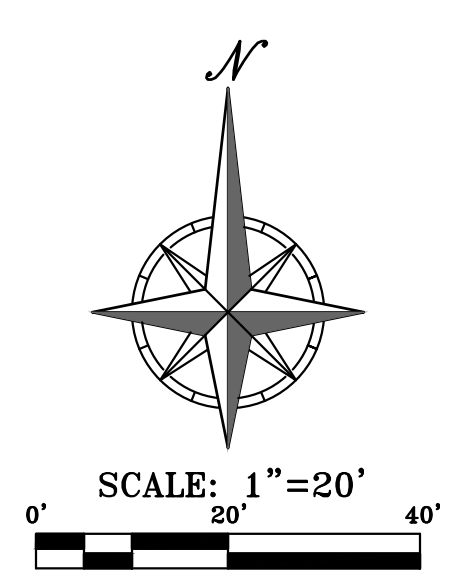
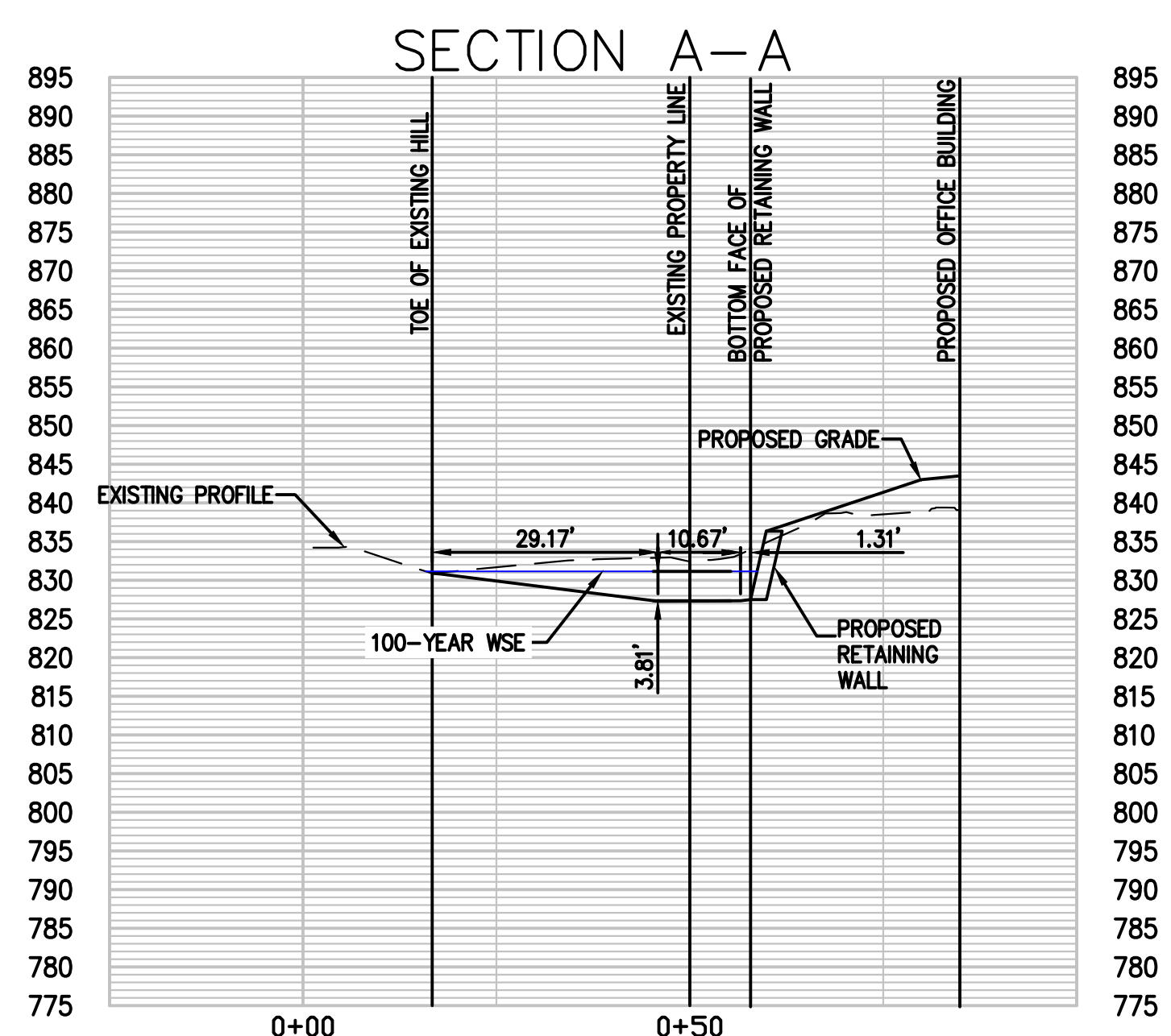
Swale Section A-A

User-defined		Highlighted	
Invert Elev (ft)	= 827.28	Depth (ft)	= 3.81
Slope (%)	= 1.20	Q (cfs)	= 1,190
N-Value	= 0.025	Area (sqft)	= 105.18
		Velocity (ft/s)	= 11.31
		Wetted Perim (ft)	= 45.72
Calculations		Crit Depth, Yc (ft)	= 4.27
Compute by:	Known Q	Top Width (ft)	= 42.59
Known Q (cfs)	= 953.00	EGL (ft)	= 5.80

(Sta, El, n)-(Sta, El, n)...
(6.07, 834.37)-(16.70, 830.89, 0.025)-(45.88, 827.28, 0.025)-(56.55, 827.34, 0.025)-(57.86, 827.50, 0.025)-(59.88, 836.34, 0.025)



SCALE: 1"=20' HORIZ.
1"=20' VERT.



Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
4900 Main St. Ste 400, Kansas City, MO 64112
and

UMB Financial Corporation
1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
300 West 22nd Street
Kansas City, MO 64108 USA
t +1 816 472 3360 f +1 816 472 2100

GastingerWalker
UMB Retail Bank Architect
817 Wyandotte St, Kansas City, MO 64105
t +1 816 421 8200 f +1 816 421 1262

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Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

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Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

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3	PDP RE-SUBMISSION	7.29.2021

Project No: 20.70060.00
Sheet Title:

**STORM SEWER
SECTIONS**

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

PEI #210040

C3.1

\\PHelps-SERVER\Projects\210040\Eng\Preliminary Development\Plans\CONCEPT STORM P&P.dwg Layout2 Jul 29, 2021 - 4:46pm Daniel Finn



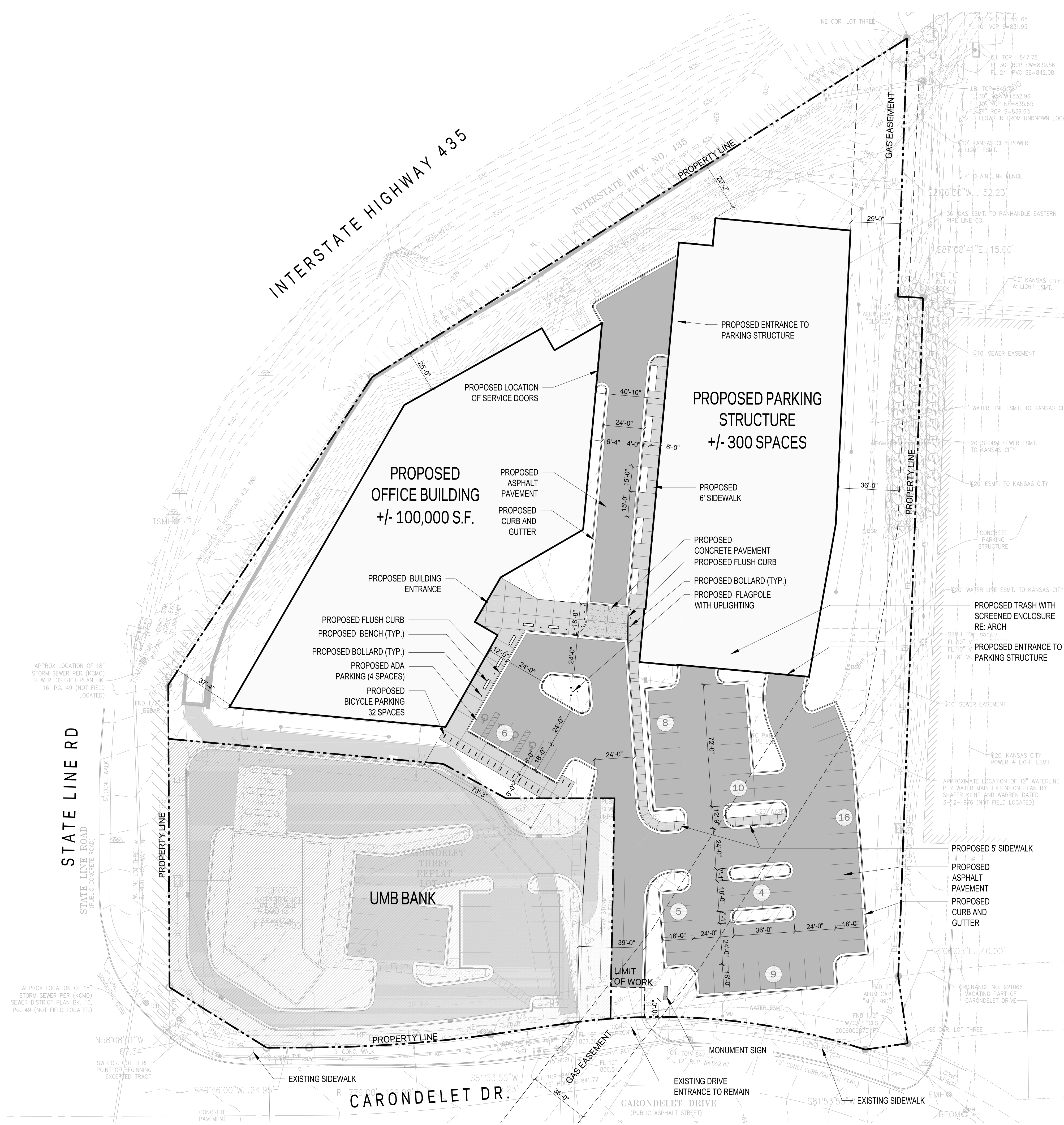
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No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RESUBMITTAL	7.1.2021

Project No: 20.70060.00

Sheet Title:

SITE PLAN



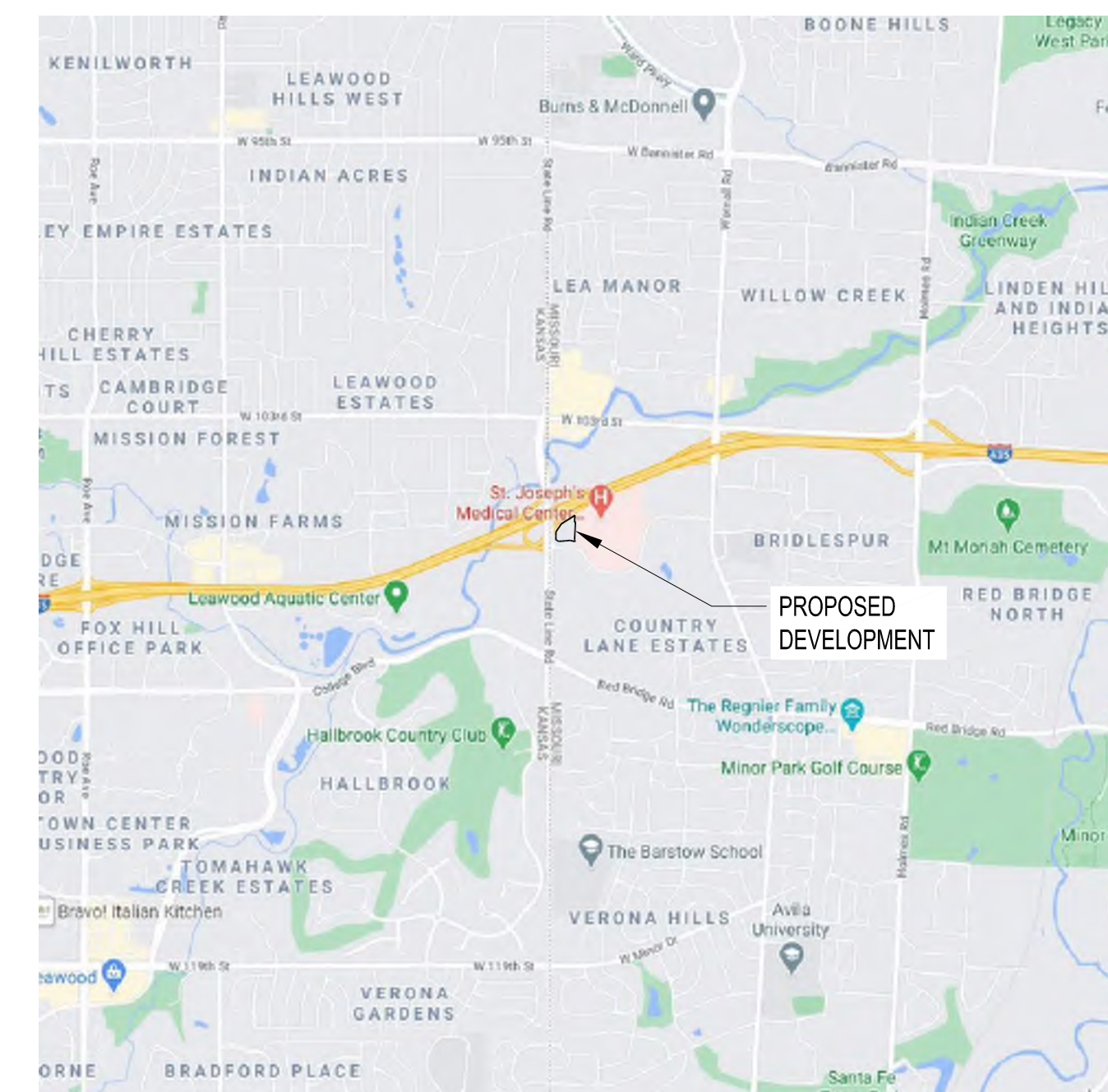
SUMMARY OF REQUIRED BIKE PARKING

City of Kansas City Zoning and Development Code: 88-420-09: Bicycle Parking

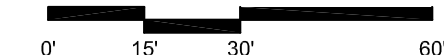
TOTAL PARKING SPACES	BIKE PARKING REQUIRED	BIKE PARKING PROPOSED
351	36	36

LEGEND

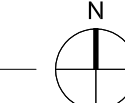
- PROPERTY LINE
- LIMITS OF WORK
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT, LIGHT BROOM FINISH
- VEHICULAR RATED CONCRETE PAVEMENT, LIGHT BROOM FINISH
- BENCH
- BOLLARD
- BICYCLE RACK
- CONCRETE WHEEL STOP, RE: CIVIL

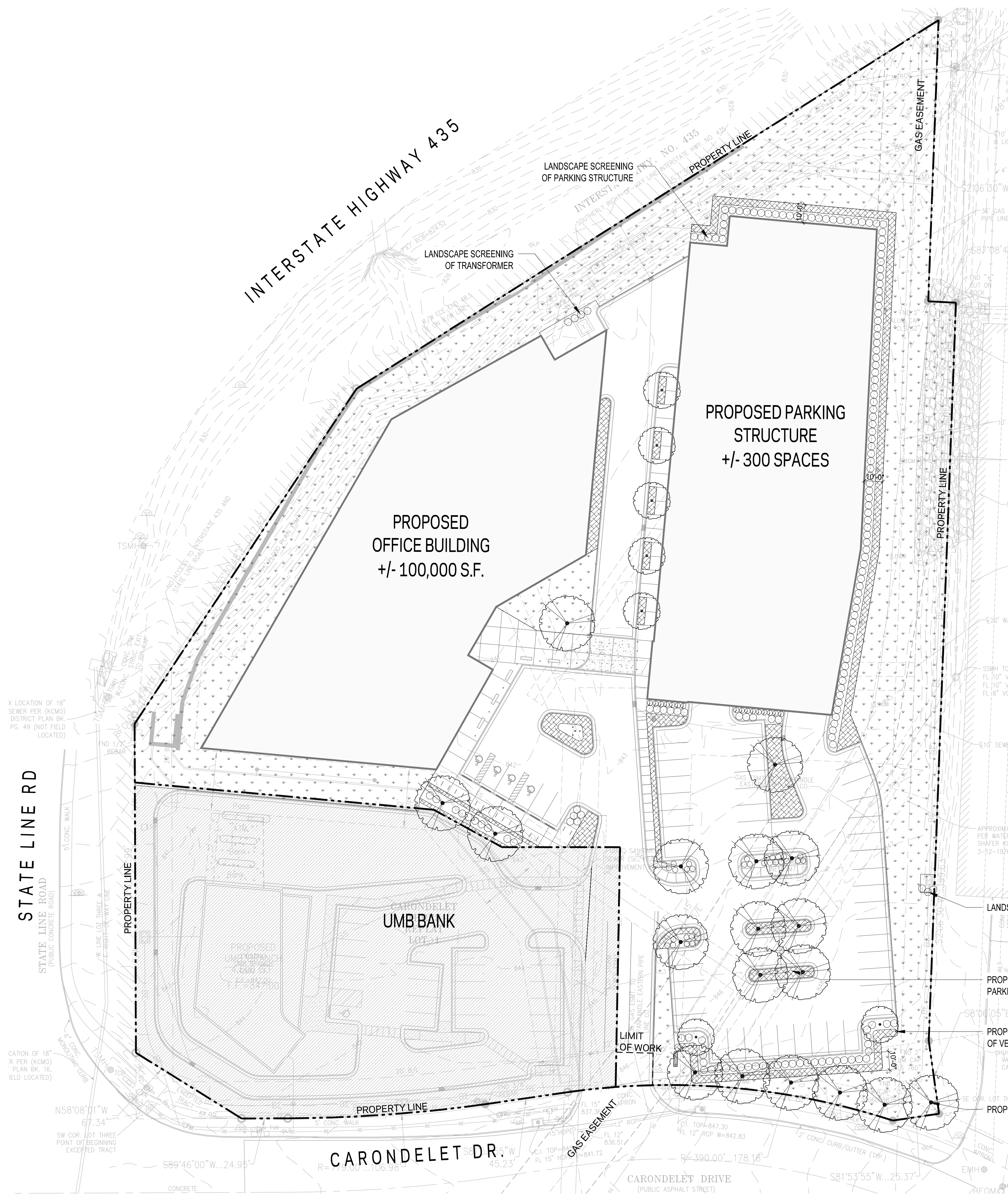


1 SITE PLAN
SCALE: 1" = 30'-0"



2 VICINITY MAP
SCALE: NTS





STREET TREE PLANTING SUMMARY

City of Kansas City Zoning and Development Code: 88-425-03: Street Trees

FRONTAGE DESCRIPTION	LOT FRONTAGE (LF)	TREES REQUIRED	PROPOSED
CARONDELET DR.	176	6	6

PERIMETER LANDSCAPING OF VEHICULAR USE AREAS SUMMARY

City of Kansas City Zoning and Development Code: 88-425-05: Perimeter Landscaping of Vehicular Use Areas

FRONTAGE DESCRIPTION	FRONTAGE (LF)	TREES REQUIRED	PROPOSED
CARONDELET DR.	120	4	4*

*Includes Street Trees Applied Toward Perimeter Landscaping Requirement

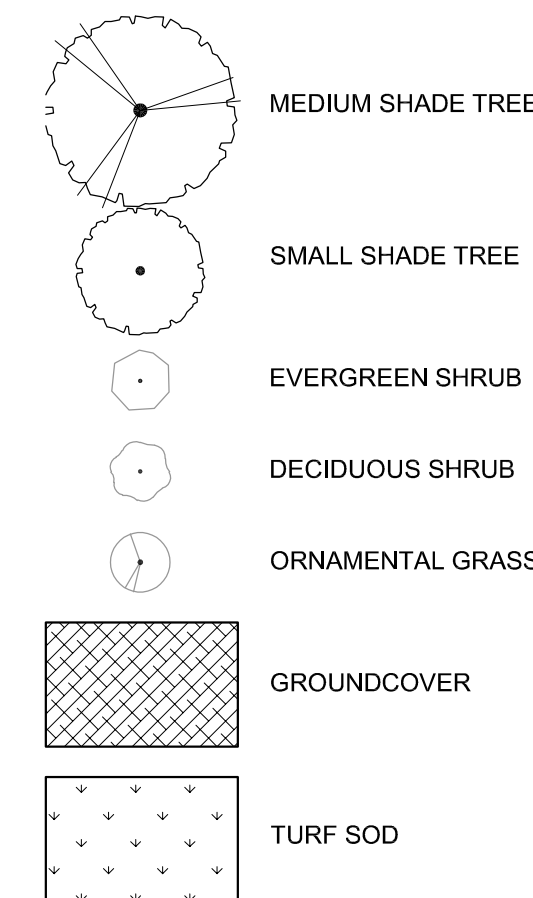
FRONTAGE DESCRIPTION	LANDSCAPE REQUIRED	LANDSCAPE PROPOSED
CARONDELET DR.	Evergreen Shrubs: Continuous Row 3' Tall Min 10' Bed Groundcover	Evergreen Shrubs: Continuous Row 3' Tall 10' Bed Groundcover

INTERIOR LANDSCAPING OF PARKING LOTS SUMMARY

City of Kansas City Zoning and Development Code: 88-425-06: Interior Landscaping of Parking Lots

PARKING SPACES	TREES REQUIRED	PROPOSED	SHRUBS REQUIRED	SHRUBS PROPOSED
58	12	12	58	71

LEGEND



CONCEPTUAL PLANT PALETTE

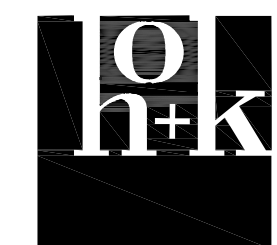
	BOTANICAL NAME	COMMON NAME
SHADE TREES	ACER SACCHARUM 'BALISTA'	FALL FIESTA SUGAR MAPLE
	GINKGO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE
	QUERCUS RUBRA	RED OAK
ORNAMENTAL TREES	ULMUS X 'FRONTIER'	AMERICAN ELM
	CERCIS CANADENSIS	EASTERN REDBUD
	CORNUS FLORIDA 'KOUSA'	KOUSA DOGWOOD
DECIDUOUS SHRUBS	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA
	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE
	PHYSOCARPUS OPULIFOLIUS 'SUMMERWINE'	SUMMER WINE NINEBARK
EVERGREEN SHRUBS	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA
	BUXUS MICROPHYLLA 'WINTERGREEN'	WINTERGREEN BOXWOOD
	JUNIPERUS PFITZERIANA 'SEA GREEN'	SEA GREEN JUNIPER
ORNAMENTAL GRASSES	PANICUM VIRGATUM 'HEAVY METAL'	FEATHER REED GRASS
	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	SWITCHGRASS
	EUONYMUS FORTUNEI 'COLORATUS'	LITTLE BLUESTEM
GROUNDCOVER	LIRIOPE MUSCARI	WINTERCREEPER
	VINCA MINOR	BIG BLUE LILYTURF
		PERIWINKLE



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t +1 816 472 3360 f +1 816 472 2100

GastingerWalker&

UMB Retail Bank Architect
817 Wyandotte St, Kansas City, MO 64105
t +1 816 421 8200 f +1 816 421 1262

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1730 Walnut St, Kansas City, MO 64108

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Project No: 20.70060.00
Sheet Title:

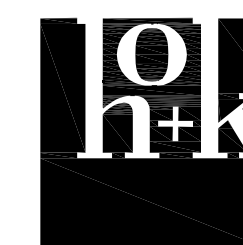
OFFICE LANDSCAPE PLAN

Original is 36 x 24. Do not scale contents of this drawing.
Sheet Number

Project
435 & STATE LINE
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Prepared for
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No.	Description	Date
1	PDP RESUBMITTAL	7.1.2021

Project No: 20.70060.00
 Sheet Title:

BANK LANDSCAPE PLAN

Project No: 20.70060.00
 Sheet Title:

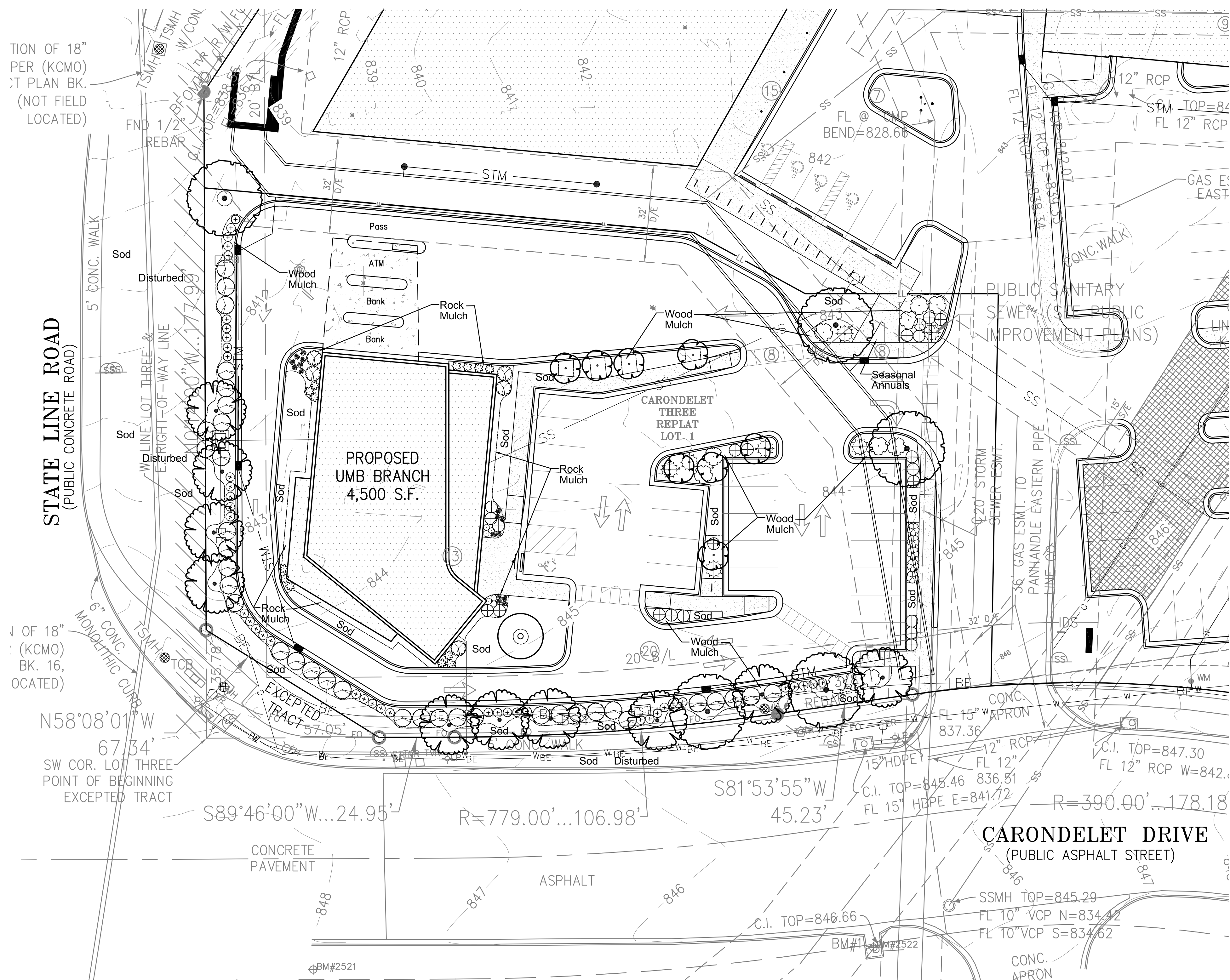
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 Sheet Number

Oppermann LandDesign, LLC
 Land Planning Landscape Architecture
 18990 West 117th Street
 Olathe, Kansas 66061
 pete@opperland.com
 913.894.9407

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	5	Acer saccharum 'Bailista' TM / Fall Fiesta Sugar Maple	B & B	2" Cal
	1	Cercis canadensis 'Oklahoma' / Oklahoma Redbud	B & B	1.5" Cal
	10	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree Male Only	B & B	2" cal.
	8	Quercus robur x alba 'Crimschmidt' TM / Crimson Spire Oak	B & B	2" Cal
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	41	Buxus microphylla 'Wintergreen' / Korean Boxwood 18"-24" hgt. & sp.	5 gal	
	7	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper 24"-30" sp.	5 gal	
	36	Juniperus x pfitzeriana 'Sea Green' / Sea Green Juniper 24"-30" sp. & hgt.	5 gal	
	5	Physocarpus opulifolius 'Seward' TM / Summer Wine Ninebark 24"-30" hgt. & sp.	3 gal	
	11	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 18"-24" sp.	3 gal.	
	5	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea 18"-24" hgt.	3 gal	
	22	Spiraea x bumalda 'Gold Flame' / Gold Flame Spiraea 18"-24" hgt.	3 gal	
ANNUALS/PERENNIALS	QTY	BOTANICAL / COMMON NAME	CONT	
	16	Ceratostigma plumbaginoides 'Blue Plumbago' / Blue Plumbago	1 gal	
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	
	6	Calamagrostis acutiflora 'Karl Foerster' / Feather Reed Grass 18"-24" hgt.	3 gal	
	13	Miscanthus sinensis 'Morning Light' / Eulalia Grass 18"-24" sp.	3 gal	

Street Tree Requirements:
 394 ft. of road frontage divided by 30 equals 13 trees. 13 trees provided.



Utility Note:
 Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Missouri call 1-800-DIG-RITE (344-7483) to have utilities located.

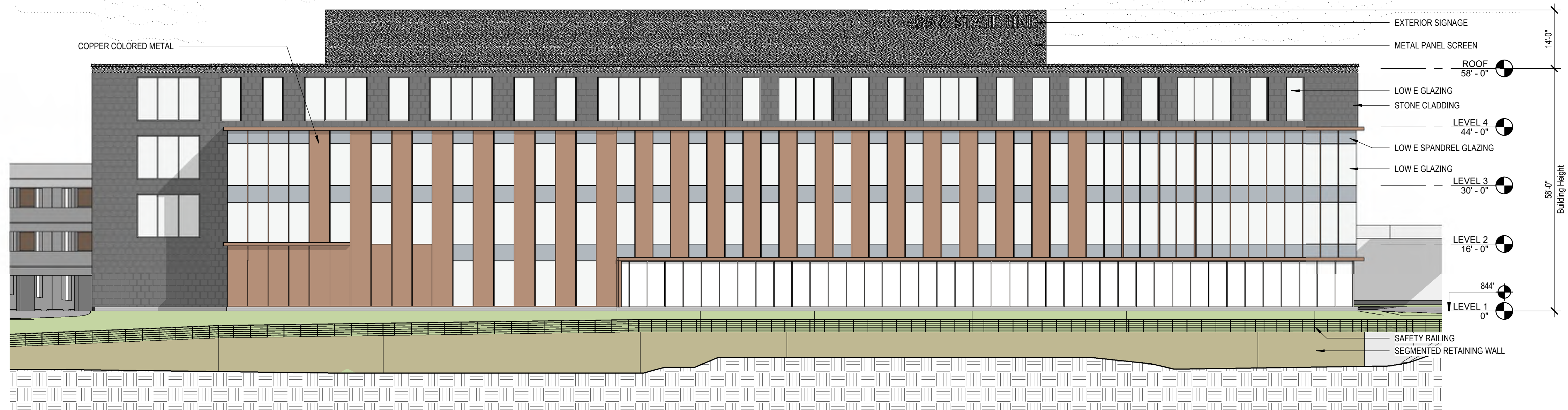


**NOT FOR
CONSTRUCTION**

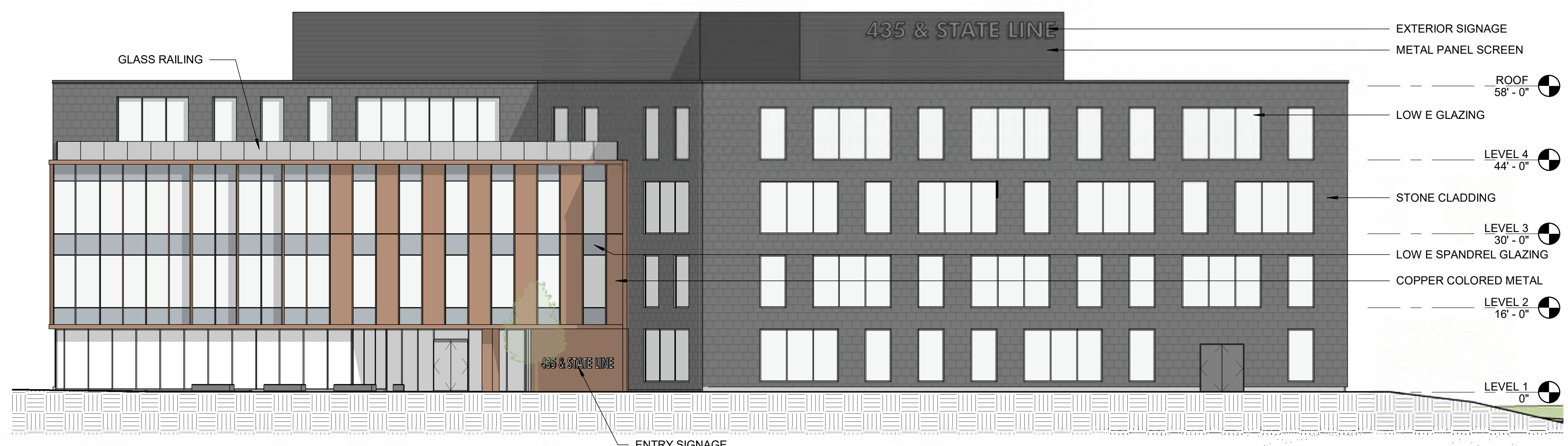
No.	Description	Date
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2	PDP RE-SUBMISSION	7.1.2021

Project No: 20.70060.00
Sheet Title:

OFFICE ELEVATIONS



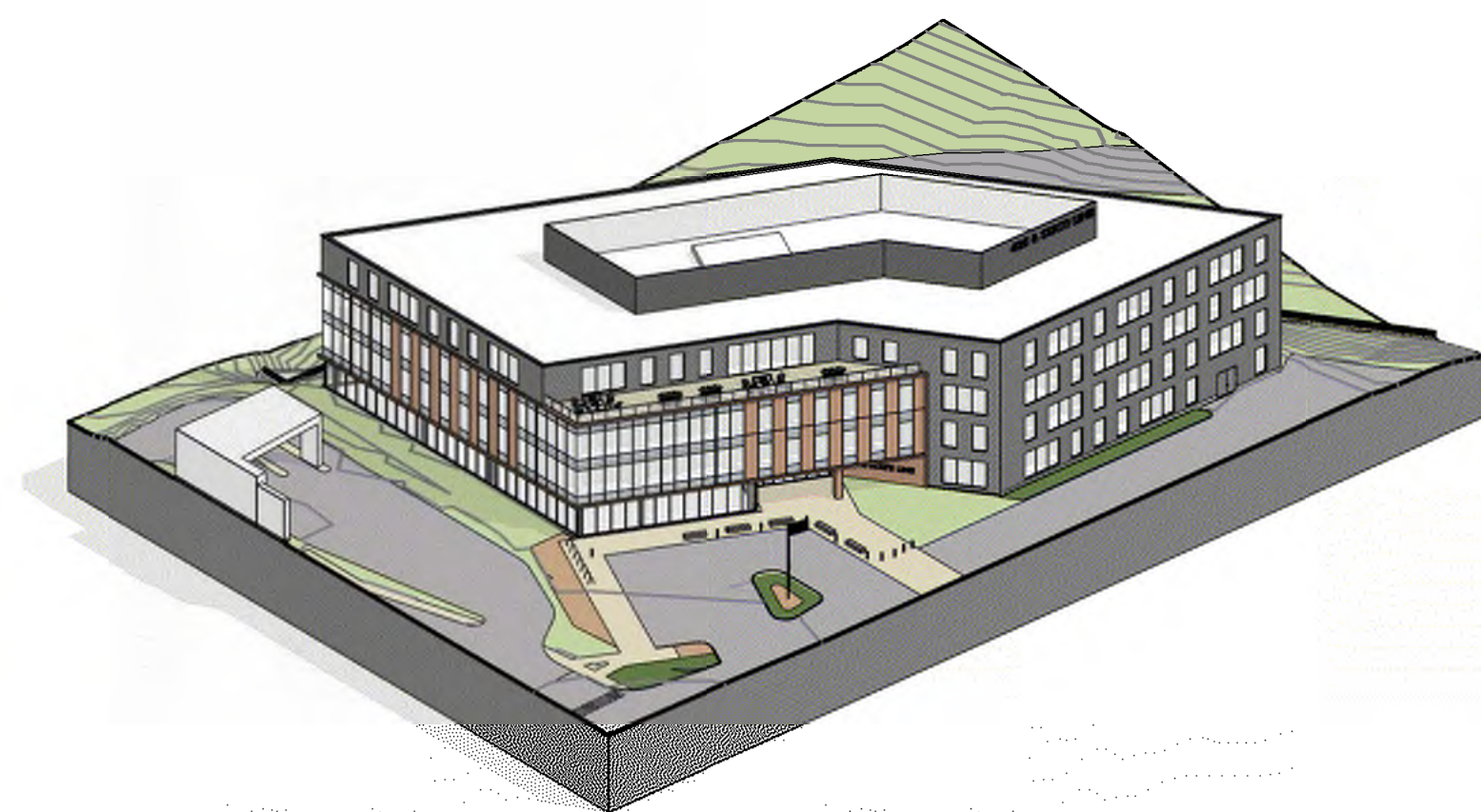
2 NW ELEVATION
1/16" = 1'-0"



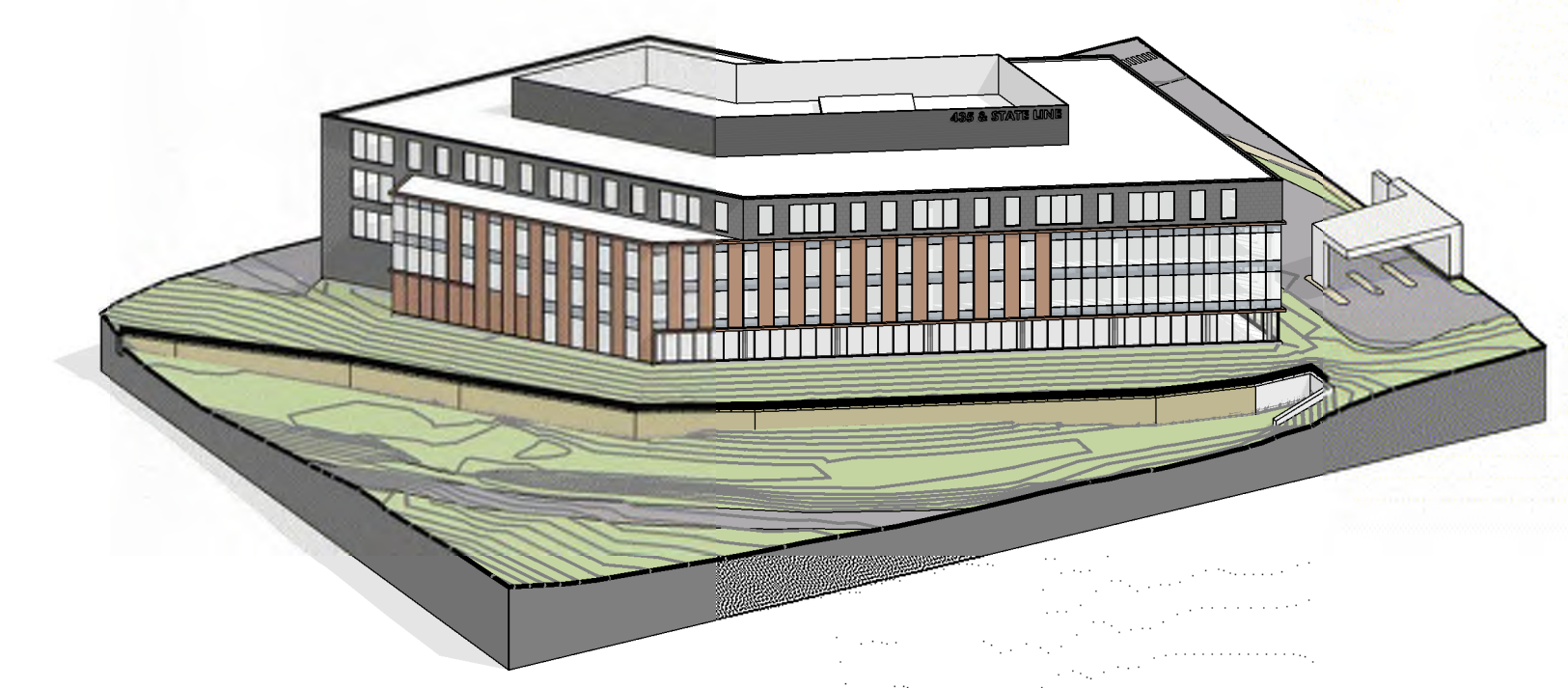
1 SE ELEVATION
1/16" = 1'-0"



3 SOUTH ELEVATION
1/16" = 1'-0"



4 SE AXON



5 NW AXON

Project
435 & STATE LINE
Project Address

Prepared for
VanTrust Real Estate
4900 Main St. Ste 400, Kansas City, MO 64112
and

UMB Financial Corporation
1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
300 West 22nd Street
Kansas City, MO 64108 USA
t +1 816 472 3360 f +1 816 472 2100

GastingerWalker

UMB Retail Bank Architect
817 Wyandotte St, Kansas City, MO 64105
t +1 816 421 8200 f +1 816 421 1262

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Phelps Engineering Inc
Civil Engineering
1270 N Winchester St #5878, Olathe, KS 66061

Oppermann LandDesign LLC
Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

Professional Seals

NOT FOR
CONSTRUCTION

No.	Description	Date
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2	PDP RE-SUBMISSION	7.1.2021

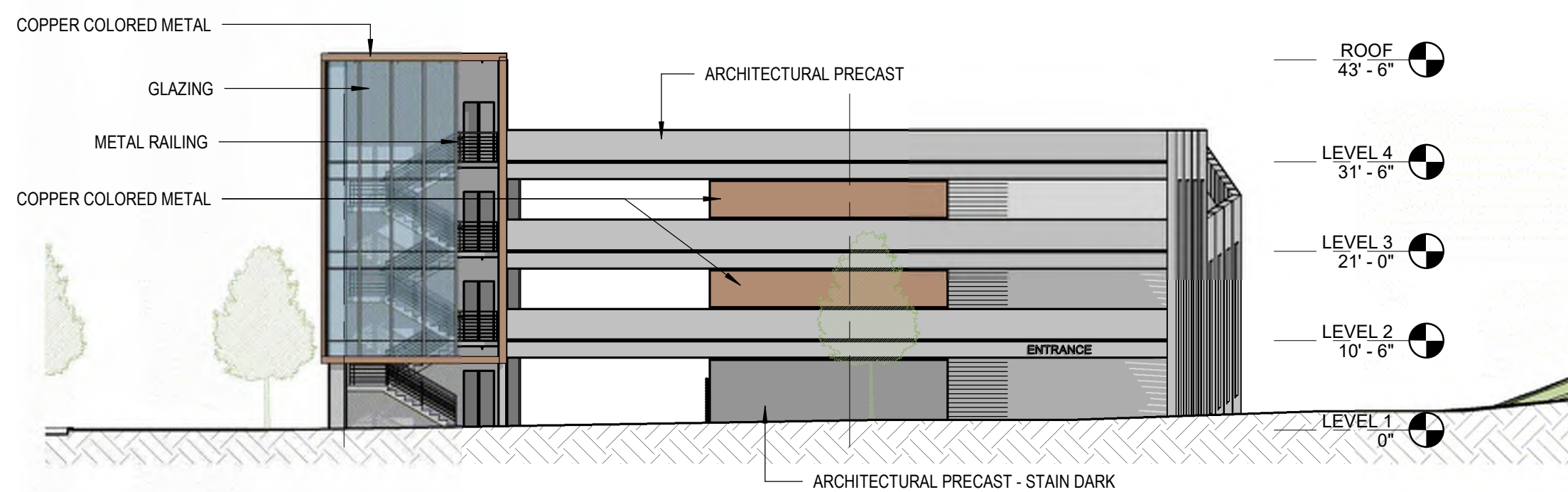
Project No: 20.70060.00
Sheet Title:

Garage Elevations

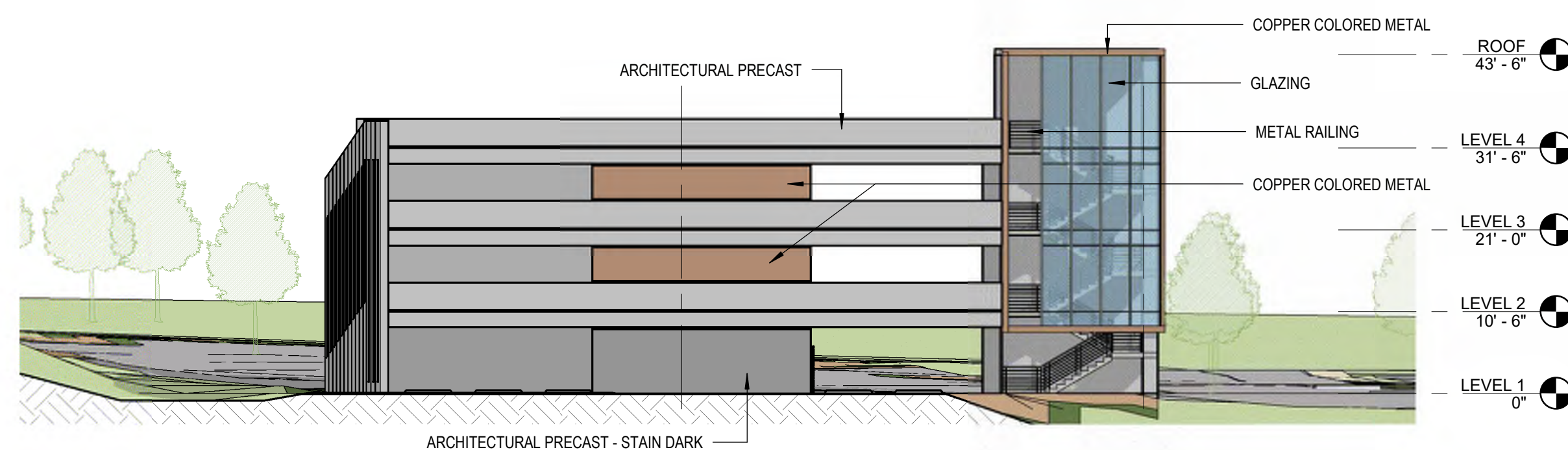
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Sheet Number



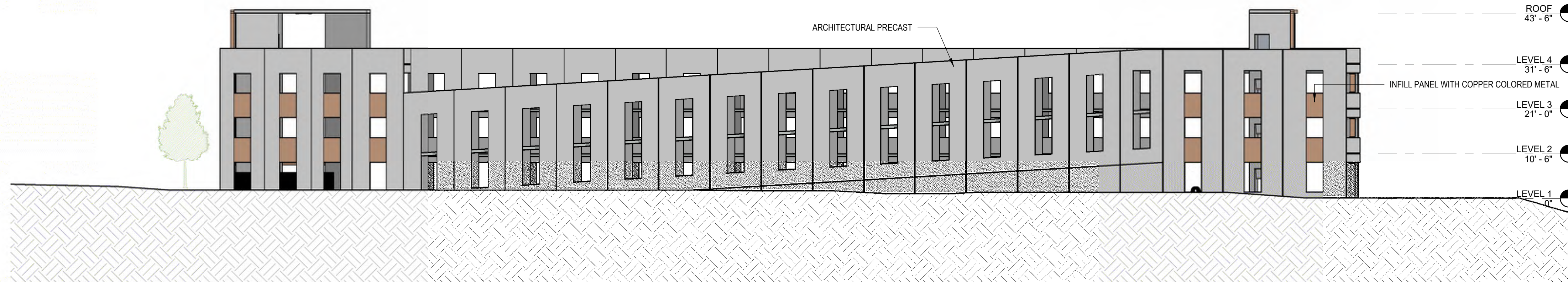
1 WEST ELEVATION
1/16" = 1'-0"



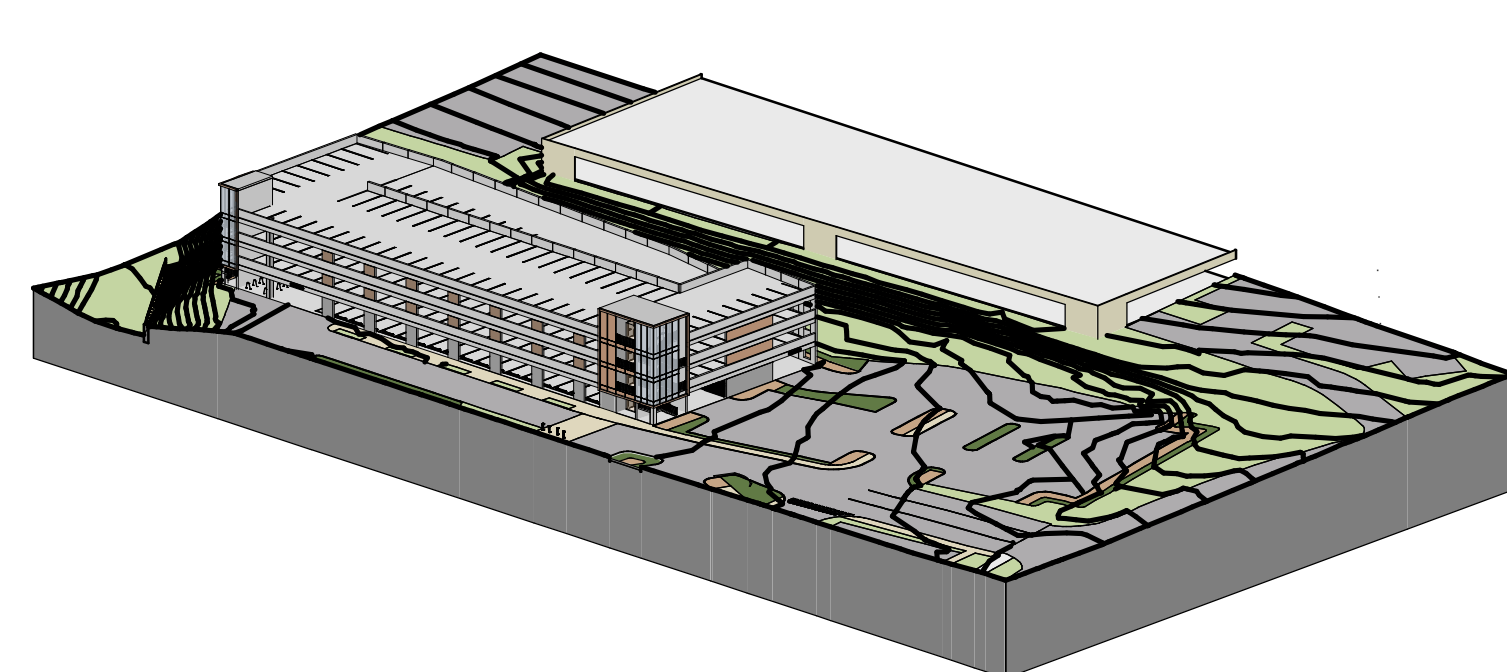
2 SOUTH ELEVATION
1/16" = 1'-0"



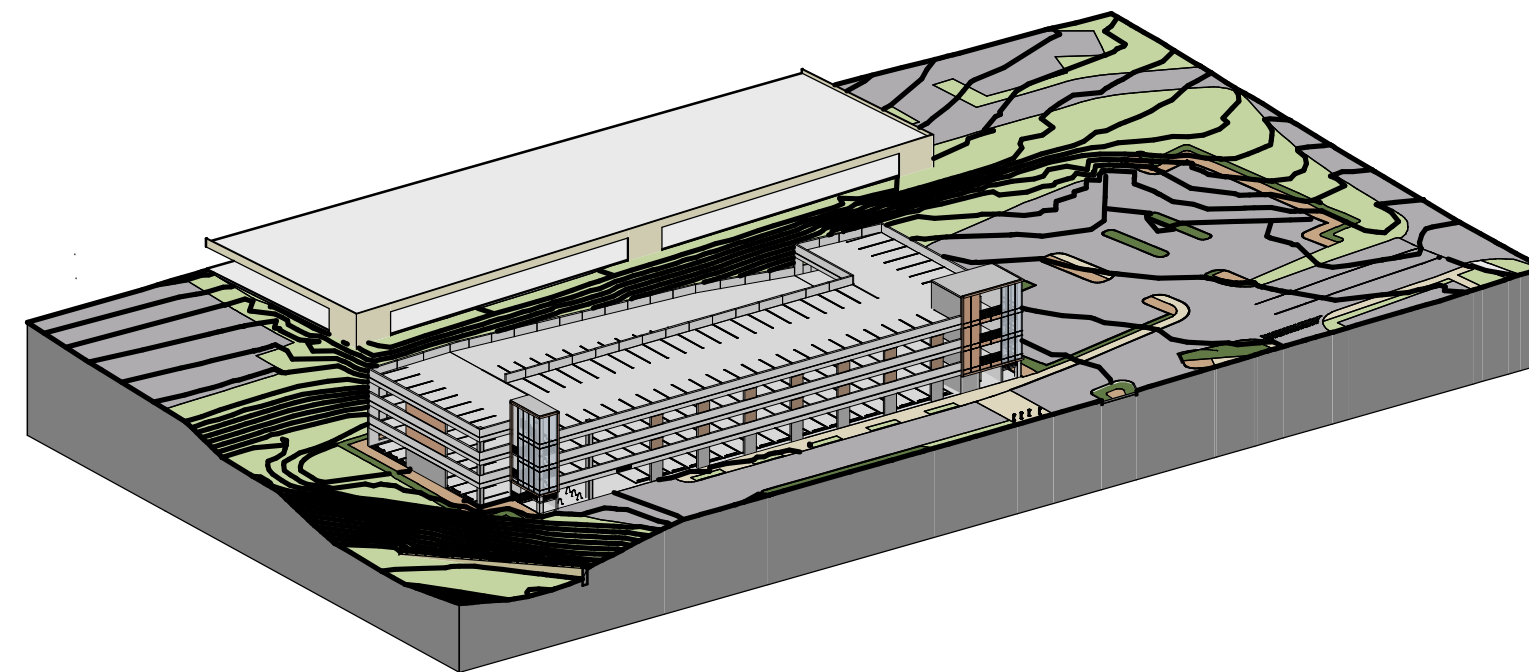
3 NORTH ELEVATION
1/16" = 1'-0"



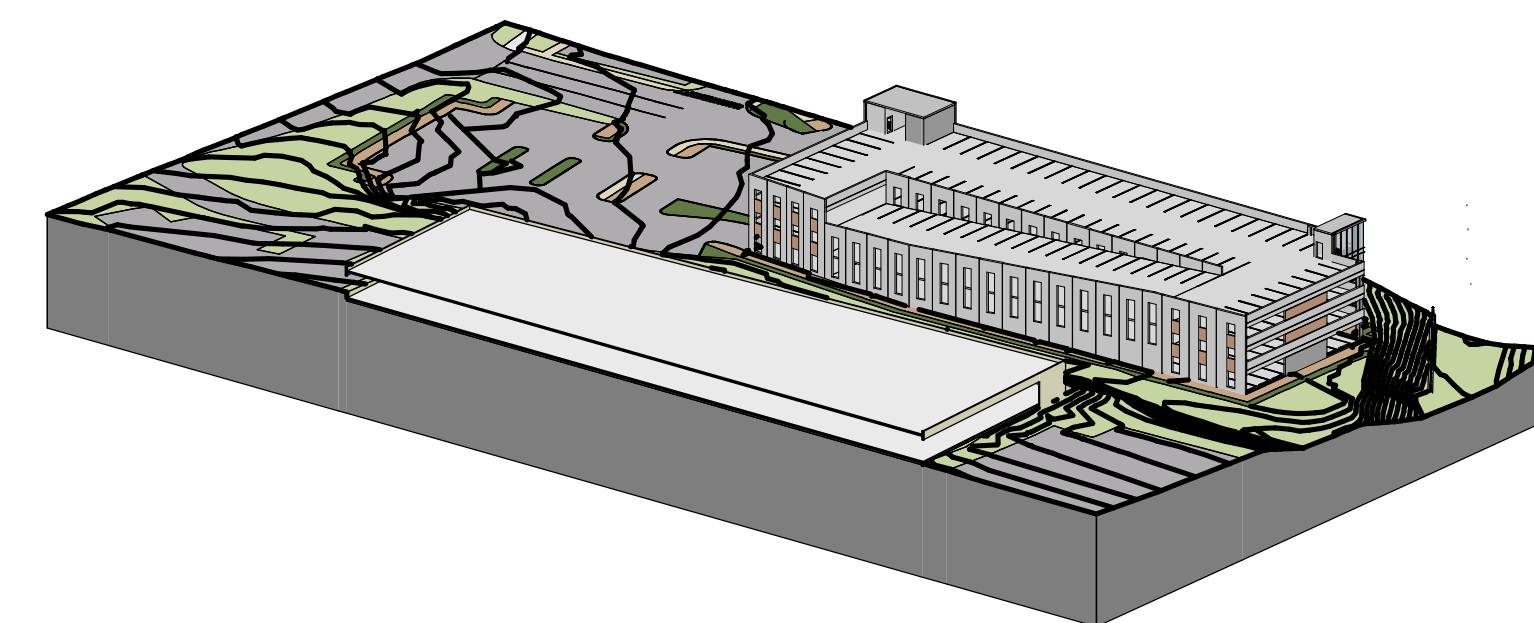
4 EAST ELEVATION
1/16" = 1'-0"



5 SW AXON



6 NW AXON



7 NE AXON

PHOTOMETRIC STATISTICS					
	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVERAGE/MIN
PARKING AREA	2.3 FC	7.0 FC	0.4 FC	17.5:1	5.8:1
GARAGE ROOF	2.8 FC	6.9 FC	0.4 FC	17.3:1	7.0:1



DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

RATIO Flood COMPACT

- FEATURES**
- Compact LED flood with a variety of NEMA distributions for lighting applications such as: safety/security, accent, flag pole, columns or signs
 - Part of the Ratio flood series, this luminaire was designed in cohesion with the site/area products to provide a sleek and timeless look
 - Features a dense optical array, providing reduced pixelation and increased visual comfort without compromising performance



RELATED PRODUCTS
 RATIO Family Boxes and Covers

SPECIFICATIONS

- CONSTRUCTION**
- Corrosion resistant, rugged die-cast aluminum housing with powder coat paint finish
 - High impact UV stabilized acrylic outer lens protects LEDs and allows for cleaning and debris removal
 - Internal venting fins create optimal heat dissipation and allow all water to drain from the face of the luminaire
 - Lens hardware is internal to the fixture allowing for uniform pressure on the gasket for an optimal water tight seal
- OPTICS**
- 44 or 90 midpower LEDs
 - Stock Versions: 4000K and 5000K CCT
 - Variety of NEMA distributions: - N (2x2), M (4x4) and W (6x6) - Stock version Wide (6x6) only
 - Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- INSTALLATION**
- Traditional 1/2" x 14 NPS threaded adjustable knuckle mounting
 - Easy maintenance access to electrical components with removal of 4 screws from back of fixture housing
 - Trunion mount available (sold separately)
- ELECTRICAL**
- 120-277V operation, 50/60Hz
 - Driver IP66 and RoHS compliant driver
 - 10kV surge protector optional
 - 0-10V dimming driver standard, continuous dimming option to have leads pulled out for easy connection
 - Drivers have 90% power factor and less than 20% THD
 - LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
 - Dimming drivers are standard, but must contact factory to request wiring leads for purpose of external dimming controls
- CERTIFICATIONS**
- Fixture is IP66 rated
 - Listed to UL1598 for use in wet locations
 - This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions
- WARRANTY**
- 5 year limited warranty
 - See HLI Standard Warranty for additional information

KEY DATA	
Lumen Range	3245-6823
Wattage Range	26-52
Efficacy Range (LPW)	126-142
Fixture Projected Life (Hours)	L70>191,000
Weights lbs. (kg)	3.7-5.5 (1.612-10.8)

Page 14 Rev. 08/14/20 © 2020 Hubbell Outdoor Lighting, a division of Hubbell Lighting, Inc. Specifications subject to change without notice. 701 Millstream Blvd • Greenville, SC 29607 / Tel 864.678.1000 / Website www.hubbelloutdoor.com

LIGHT FIXTURE SCHEDULE - SITE

TYPE	MANUFACTURER	LAMPS	WATTS VOLTS	DIMMING PROTOCOL	DESCRIPTION	NOTES
SA	H.E. WILLIAMS 4DR-TL-L20-840-DIM-UNV- OW-OF-CS-WET-CC	2,000 LUMENS 4,000K 80+ CRI	19.8 120	N/A -	4" LED DOWNLIGHT WITH OPEN REFLECTOR, WIDE DISTRIBUTION, 1/2" STANDARD FLANGE, CLEAR SEMI-SPECULAR ANODIZE AND WET LOCATION LISTED.	
SF	HUBBELL OUTDOOR LIGHTING RATIO FLOOR COMPACT	LED / 4,000K	TBD 120	N/A -	FLAG POLE LIGHT	2
SL2	McGRAW EDISON GLEON-SA2A-740-U-SL2	9,357 LUMENS 4,000K 70+ CRI	66 208	N/A -	LED PARKING LOT LUMINAIRE WITH TYPE 2 DISTRIBUTION AND SPILL CONTROL. MOUNTED AT 15FT.	1,2
T2-HSS	McGRAW EDISON GLEON-SA3B-740-U-T2-HSS	17,121 LUMENS 4,000K 70+ CRI	124 208	N/A -	LED PARKING LOT LUMINAIRE WITH TYPE 2 DISTRIBUTION AND HOUSE SIDE SHIELD. MOUNTED AT 25FT.	1,2
T3-HSS	McGRAW EDISON GLEON-SA3B-740-U-T3-HSS	17,450 LUMENS 4,000K 70+ CRI	124 208	N/A -	LED PARKING LOT LUMINAIRE WITH TYPE 3 DISTRIBUTION AND HOUSE SIDE SHIELD. MOUNTED AT 25FT.	1,2
T3	McGRAW EDISON GLEON-SA3B-740-U-T3	17,450 LUMENS 4,000K 70+ CRI	124 208	N/A -	LED PARKING LOT LUMINAIRE WITH TYPE 3 DISTRIBUTION. MOUNTED AT 25FT.	1,2
T4FT-HSS	McGRAW EDISON GLEON-SA2A-740-U-T4FT-HSS	9,591 LUMENS 4,000K 70+ CRI	66 208	N/A -	LED PARKING LOT LUMINAIRE WITH TYPE 4 DISTRIBUTION AND HOUSE SIDE SHIELD. MOUNTED AT 15FT.	1,2

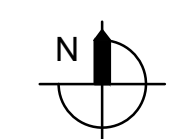
SPECIFIC NOTES:

- HEIGHT OF LUMINAIRE INDICATED IS HEIGHT FROM GRADE TO BOTTOM OF LUMINAIRE. ORDER POLE TO ACCOMMODATE BASE HEIGHT.
- VERIFY FINISH COLOR WITH ARCHITECT.

SUBSTITUTION NOTES:
 THE LIGHTING DESIGN FOR THIS PROJECT IS BASED UPON THE MANUFACTURERS SPECIFIED. IF AN ADDITIONAL SUBSTITUTION IS DESIRED BY THE CONTRACTOR, A SUBSTITUTION REQUEST SUBMITTAL MUST BE PROVIDED AS FOLLOWS:

- SUBSTITUTION REQUEST MUST BE RECEIVED BY THE ENGINEER IN WRITING 10 DAYS PRIOR TO BID. FAILURE TO SUBMIT CONSTITUTES A GUARANTEE TO SUPPLY THE SPECIFIED FIXTURES.
- INFORMATION IS TO BE SUPPLIED COMPARING PHOTOMETRY, (WITH FLOOR PLANS INDICATING POINT BY POINT CALCULATIONS) DIMENSIONS, MATERIAL COMPOSITION, FINISH, VISUAL APPEARANCE AS WELL AS THE "CONTRACTOR NET" PRICING. SAMPLES ARE TO BE PROVIDED UPON REQUEST.

SITE LIGHTING-PHOTOMETRICS
 SCALE: 1"=40'-0"



Lankford Fendler
 + associates
 1730 Walnut Street Kansas City, Missouri 64108
 1915 Frederick Avenue, St. Joseph, Missouri 64501
 Phone: 816.221.1411 | Fax: 816.221.1429
 LANKFORD | FENDLER + ASSOCIATES, CONSULTING ENGINEERS, INC.
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 C01 No. 200601168



Project
435 & STATE LINE
 1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate
 4900 Main St. Ste 400, Kansas City, MO 64112
 and

UMB Financial Corporation
 1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
 300 West 22nd Street
 Kansas City, MO 64108 USA
 t+1 816 472 3360 f+1 816 472 2100

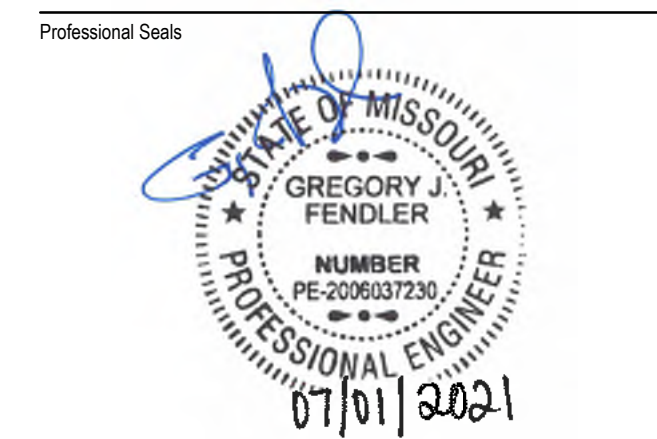
UMB Retail Bank Architect
 817 Wyandotte St, Kansas City, MO 64105
 t+1 816 421 8200 f+1 816 421 1262

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Oppermann LandDesign LLC
 Retail Bank Landscape Architect
 22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
 Engineering Consultant
 1730 Walnut St, Kansas City, MO 64108



No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RESUBMISSION	7.01.2021

Project No: 20.70060.00
 Sheet Title:

SITE LIGHTING-PHOTOMETRICS

Original is 36 x 24. Do not scale contents of this drawing.
 Sheet Number

E01

Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison GLEON Galleon

Area / Site Luminaire

Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

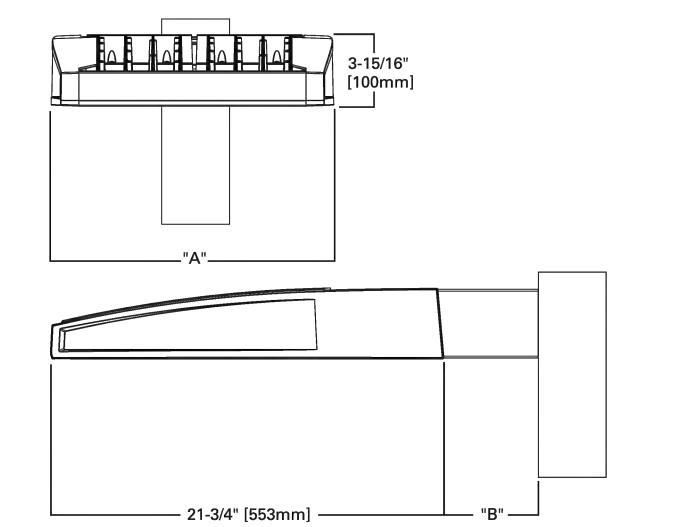
Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 4
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 9

Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficiency up to 156 lumens per watt

Dimensional Details

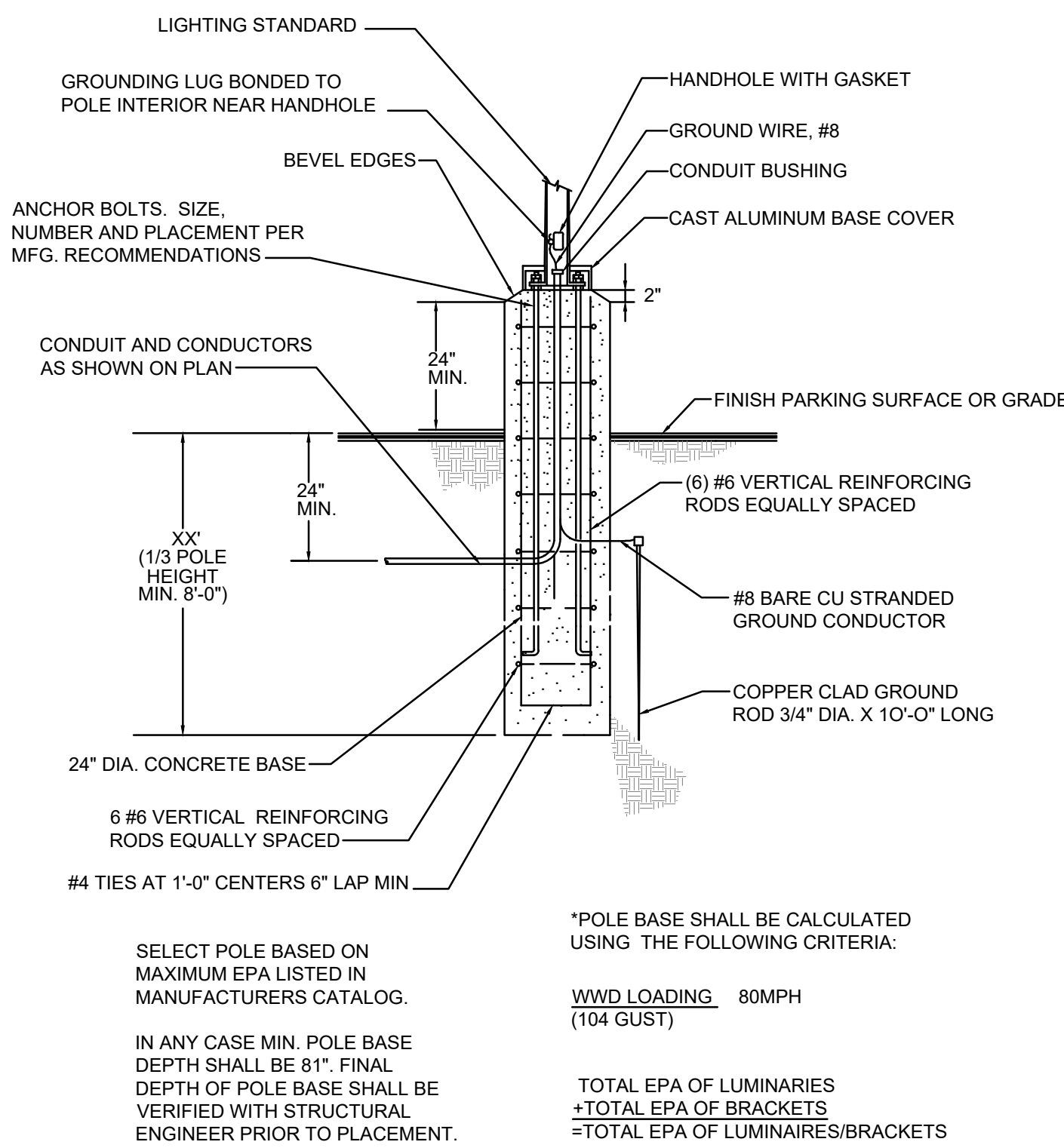


Number of Light Squares	7'x7' (14mm)	7' Standard Arm Length	7' Extended Arm Length	7' Quick Mount Arm Length	7' Quick Mount Extended Arm Length
1-4	15-1/2"	7"	10"	10-5/8"	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	16-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	-
9-10	33-3/4"	7"	16"	-	-

NOTE: For all selection requirements and additional size, see Mounting Details section.



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April 12, 2021 1:45 PM



LIGHTING POLE BASE DETAIL

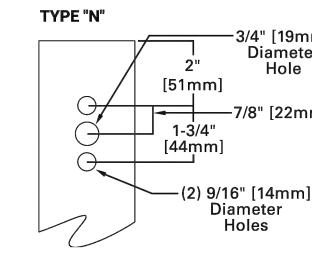
NO SCALE

McGraw-Edison

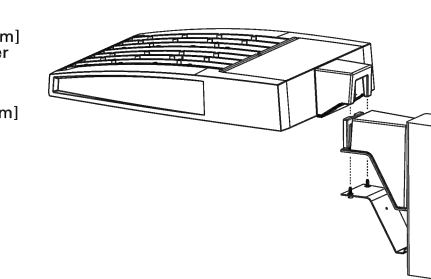
GLEON Galleon

Mounting Details

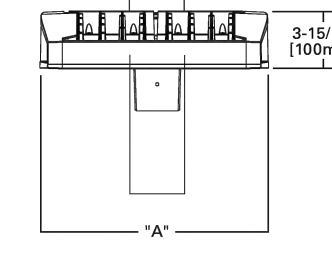
Standard Arm (Drilling Pattern)



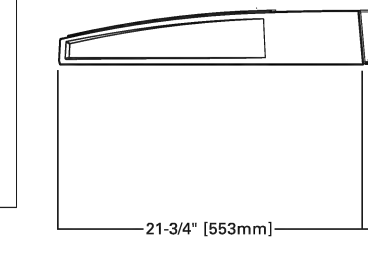
Quick Mount Arm (Includes fixture adapter)



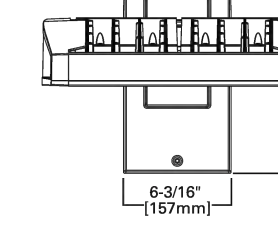
QM Quick Mount Arm (Standard)



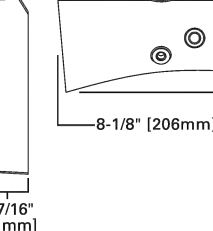
QMEA Quick Mount Arm (Extended)



Standard Wall Mount

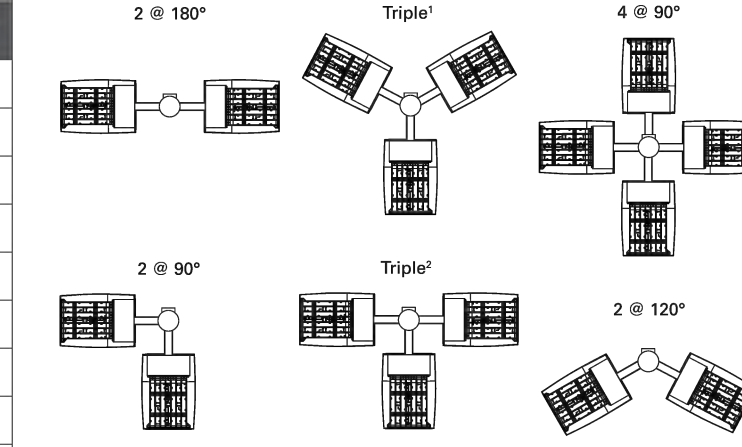


Mast Arm Mount



Arm Mounting Requirements

Number of Light Squares	Standard Arm @ 90° Apart	Standard Arm @ 120° Apart	Quick Mount Arm @ 90° Apart	Quick Mount Arm @ 120° Apart
1	Standard	Standard	QM Extended	Quick Mount
2	Standard	Standard	QM Extended	Quick Mount
3	Standard	Standard	QM Extended	Quick Mount
4	Standard	Standard	QM Extended	Quick Mount
5	Extended	Standard	QM Extended	Quick Mount
6	Extended	Standard	QM Extended	Quick Mount
7	Extended	Extended	-	Quick Mount
8	Extended	Extended	-	Quick Mount
9	Extended	Extended	-	-
10	Extended	Extended	-	-



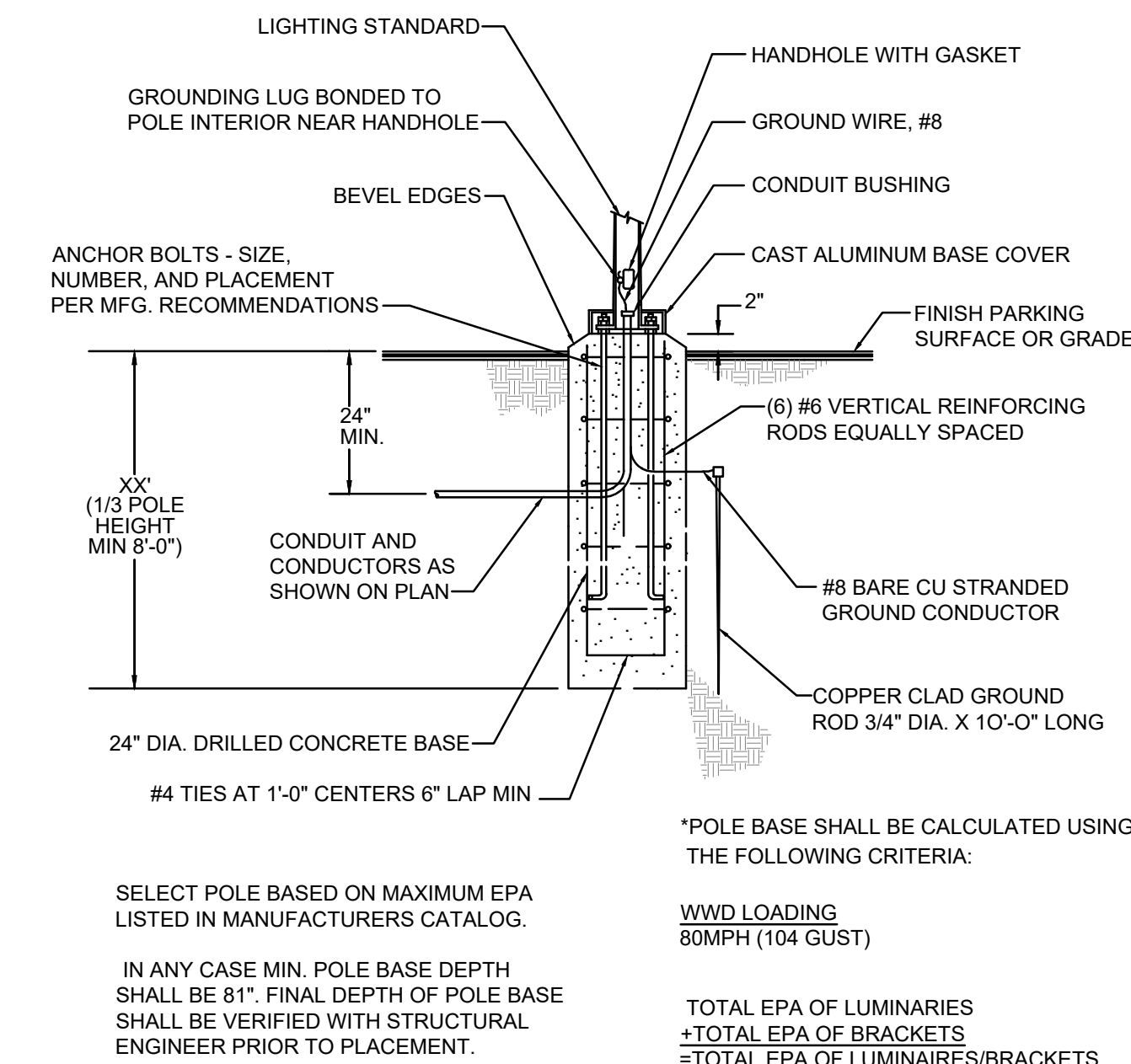
NOTE: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

Fixture Weights and EPAs

Number of Light Squares	Weight with Standard and Extended Arm (lbs.)	EPA with Standard and Extended Arm (Sq. Ft.)	Weight with Quick Mount Arm (lbs.)	EPA with Quick Mount Arm (Sq. Ft.)	Weight with Quick Mount Extended Arm (lbs.)	EPA with Quick Mount Extended Arm (Sq. Ft.)
1-4	33	0.96	35	1.11	38	1.11
5-6	44	1.00	46	1.11	49	1.11
7-8	54	1.07	56	1.11	-	-
9-10	63	1.12	-	-	-	-



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April 12, 2021 1:45 PM



LIGHTING POLE BASE DETAIL

NO SCALE

McGraw-Edison

GLEON Galleon

Ordering Information

SAMPLE NUMBER: GLEON-SA4C-740-U-74FT-GM

Product Family	Light Engine Configuration	Drive Current	Color Temperature	Voltage	Distribution	Mounting	Finish
GLEON-Galleon	SA1-1 Square SA2-2 Squares SA3-3 Squares SA4-4 Squares SA5-5 Squares SA6-6 Squares SA7-7 Squares SA8-8 Squares SA10-10 Squares	A-400mA B-800mA C-1000mA D-1200mA	72-700K 2200K 72-700K 2700K 73-700K 3000K 73-700K 3500K 74-700K 4000K 75-700K 4500K 76-700K 5000K 77-700K 5500K 78-700K 6000K 79-700K 6500K 80-700K 7000K	0-120 277V 1-120V 2-200V 3-200V 4-200V 5-200V 6-200V 7-200V 8-200V 9-200V 10-200V	T2-Type II T2-Type III T2-Type IV T2-Type V T2-Type VI T2-Type VII T2-Type VIII T2-Type IX T2-Type X T2-Type XI T2-Type XII T2-Type XIII T2-Type XIV T2-Type XV T2-Type XVI T2-Type XVII T2-Type XVIII T2-Type XIX T2-Type XX T2-Type XXI T2-Type XXII T2-Type XXIII T2-Type XXIV T2-Type XXV T2-Type XXVI T2-Type XXVII T2-Type XXVIII T2-Type XXIX T2-Type XXX	Black-Arm for Round or Square Pole Black-Extended Arm Black-Mast Arm Adapter Black-Quick Mount Arm (Standard Length) Black-Quick Mount Arm (Extended Length) White-Arm for Round or Square Pole White-Extended Arm White-Mast Arm Adapter White-Quick Mount Arm (Standard Length) White-Quick Mount Arm (Extended Length)	AP-Gray B2-Black BK-Black CP-Platinum GM-Graphite Metallic WH-White

NOTE: 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper HPS1301 (2) for additional support information.
2. Mounting hardware (bolts, nuts, washers, etc.) shall be provided by customer. See Mounting Details section for details.
3. Ground resistance shall not exceed 10 ohms. If ground resistance is greater than 10 ohms, a ground rod shall be installed. See Mounting Details section for details.
4. Pole height shall be 8'-0" minimum. Pole height shall be 10'-0" minimum for 10 light squares.
5. Pole height shall be 12'-0" minimum for 12 light squares.
6. Pole height shall be 14'-0" minimum for 14 light squares.
7. Pole height shall be 16'-0" minimum for 16 light squares.
8. Pole height shall be 18'-0" minimum for 18 light squares.
9. Pole height shall be 20'-0" minimum for 20 light squares.
10. Pole height shall be 22'-0" minimum for 22 light squares.
11. Pole height shall be 24'-0" minimum for 24 light squares.
12. Pole height shall be 26'-0" minimum for 26 light squares.
13. Pole height shall be 28'-0" minimum for 28 light squares.
14. Pole height shall be 30'-0" minimum for 30 light squares.
15. Pole height shall be 32'-0" minimum for 32 light squares.
16. Pole height shall be 34'-0" minimum for 34 light squares.
17. Pole height shall be 36'-0" minimum for 36 light squares.
18. Pole height shall be 38'-0" minimum for 38 light squares.
19. Pole height shall be 40'-0" minimum for 40 light squares.
20. Pole height shall be 42'-0" minimum for 42 light squares.
21. Pole height shall be 44'-0" minimum for 44 light squares.
22. Pole height shall be 46'-0" minimum for 46 light squares.
23. Pole height shall be 48'-0" minimum for 48 light squares.
24. Pole height shall be 50'-0" minimum for 50 light squares.
25. Pole height shall be 52'-0" minimum for 52 light squares.
26. Pole height shall be 54'-0" minimum for 54 light squares.
27. Pole height shall be 56'-0" minimum for 56 light squares.
28. Pole height shall be 58'-0" minimum for 58 light squares.
29. Pole height shall be 60'-0" minimum for 60 light squares.
30. Pole height shall be 62'-0" minimum for 62 light squares.
31. Pole height shall be 64'-0" minimum for 64 light squares.
32. Pole height shall be 66'-0" minimum for 66 light squares.
33. Pole height shall be 68'-0" minimum for 68 light squares.
34. Pole height shall be 70'-0" minimum for 70 light squares.
35. Pole height shall be 72'-0" minimum for 72 light squares.
36. Pole height shall be 74'-0" minimum for 74 light squares.
37. Pole height shall be 76'-0" minimum for 76 light squares.
38. Pole height shall be 78'-0" minimum for 78 light squares.
39. Pole height shall be 80'-0" minimum for 80 light squares.
40. Pole height shall be 82'-0" minimum for 82 light squares.
41. Pole height shall be 84'-0" minimum for 84 light squares.
42. Pole height shall be 86'-0" minimum for 86 light squares.
43. Pole height shall be 88'-0" minimum for 88 light squares.
44. Pole height shall be 90'-0" minimum for 90 light squares.
45. Pole height shall be 92'-0" minimum for 92 light squares.
46. Pole height shall be 94'-0" minimum for 94 light squares.
47. Pole height shall be 96'-0" minimum for 96 light squares.
48. Pole height shall be 98'-0" minimum for 98 light squares.
49. Pole height shall be 100'-0" minimum for 100 light squares.
50. Pole height shall be 102'-0" minimum for 102 light squares.
51. Pole height shall be 104'-0" minimum for 104 light squares.
52. Pole height shall be 106'-0" minimum for 106 light squares.
53. Pole height shall be 108'-0" minimum for 108 light squares.
54. Pole height shall be 110'-0" minimum for 110 light squares.
55. Pole height shall be 112'-0" minimum for 112 light squares.
56. Pole height shall be 114'-0" minimum for 114 light squares.
57. Pole height shall be 116'-0" minimum for 116 light squares.
58. Pole height shall be 118'-0" minimum for 118 light squares.
59. Pole height shall be 120'-0" minimum for 120 light squares.
60. Pole height shall be 122'-0" minimum for 122 light squares.
61. Pole height shall be 124'-0" minimum for 124 light squares.
62. Pole height shall be 126'-0" minimum for 126 light squares.
63. Pole height shall be 128'-0" minimum for 128 light squares.
64. Pole height shall be 130'-0" minimum for 130 light squares.
65. Pole height shall be 132'-0" minimum for 132 light squares.
66. Pole height shall be 134'-0" minimum for 134 light squares.
67. Pole height shall be 136'-0" minimum for 136 light squares.
68. Pole height shall be 138'-0" minimum for 138 light squares.
69. Pole height shall be 140'-0" minimum for 140 light squares.
70. Pole height shall be 142'-0" minimum for 142 light squares.
71. Pole height shall be 144'-0" minimum for 144 light squares.
72. Pole height shall be 146'-0" minimum for 146 light squares.
73. Pole height shall be 148'-0" minimum for 148 light squares.
74. Pole height shall be 150'-0" minimum for 150 light squares.
75. Pole height shall be 152'-0" minimum for 152 light squares.
76. Pole height shall be 154'-0" minimum for 154 light squares.
77. Pole height shall be 156'-0" minimum for 156 light squares.
78. Pole height shall be 158'-0" minimum for 158 light squares.
79. Pole height shall be 160'-0" minimum for 160 light squares.
80. Pole height shall be 162'-0" minimum for 162 light squares.
81. Pole height shall be 164'-0" minimum for 164 light squares.
82. Pole height shall be 166'-0" minimum for 166 light squares.
83. Pole height shall be 168'-0" minimum for 168 light squares.
84. Pole height shall be 170'-0" minimum for 170 light squares.
85. Pole height shall be 172'-0" minimum for 172 light squares.
86. Pole height shall be 174'-0" minimum for 174 light squares.
87. Pole height shall be 176'-0" minimum for 176 light squares.
88. Pole height shall be 178'-0" minimum for 178 light squares.
89. Pole height shall be 180'-0" minimum for 180 light squares.
90. Pole height shall be 182'-0" minimum for 182 light squares.
91. Pole height shall be 184'-0" minimum for 184 light squares.
92. Pole height shall be 186'-0" minimum for 186 light squares.
93. Pole height shall be 188'-0" minimum for 188 light squares.
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Project
435 & STATE LINE
1310 Carondelet Dr, Kansas City, MO 64114

Prepared for
VanTrust Real Estate

and
UMB Financial Corporation
1010 Grand Boulevard, Kansas City, MO 64106



Hellmuth, Obata & Kassabaum, Inc.
300 West 22nd Street
Kansas City, MO 64108 USA
t +1 816 472 3360 f +1 816 472 2100

GastingerWalker&

UMB Retail Bank Architect
817 Wyandotte St, Kansas City, MO 64105
t +1 816 421 8200 f +1 816 421 1262

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In Association with:

Phelps Engineering Inc
Civil Engineering
1270 N Winchester St #5878, Olathe, KS 66061

Oppermann LandDesign LLC
Retail Bank Landscape Architect
22 Debra Lane, New Windsor, New York 12553

Lankford Fendler Associates
Engineering Consultant
1730 Walnut St, Kansas City, MO 64108

Professional Seals

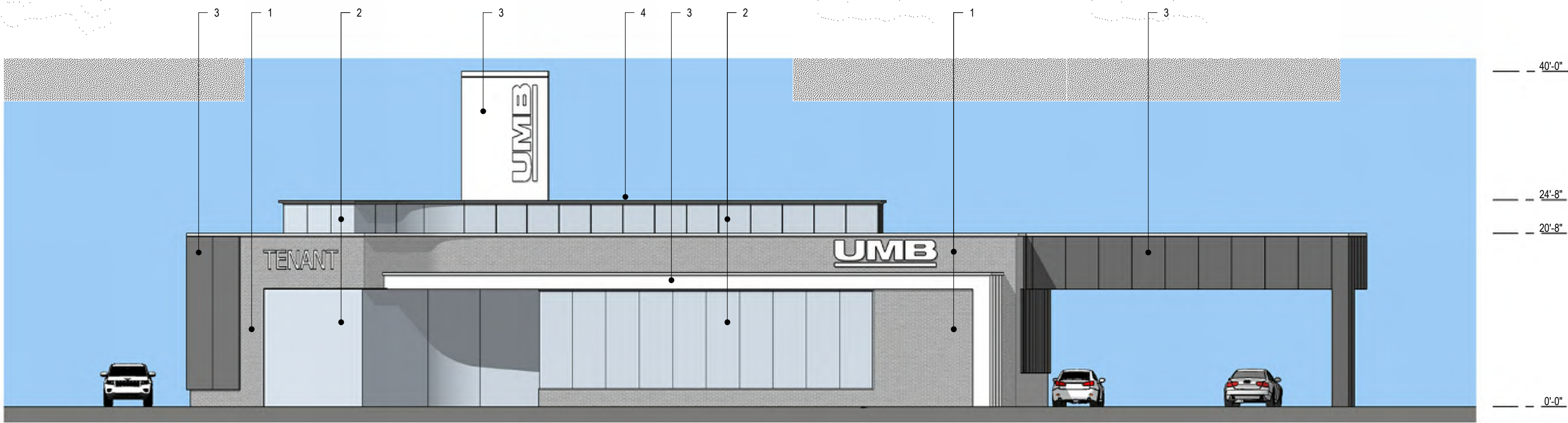
NOT FOR CONSTRUCTION

No.	Description	Date
1	PDP SUBMISSION	4.30.2021
2	PDP RE-SUBMISSION	7.1.2021

Project No:
Sheet Title:

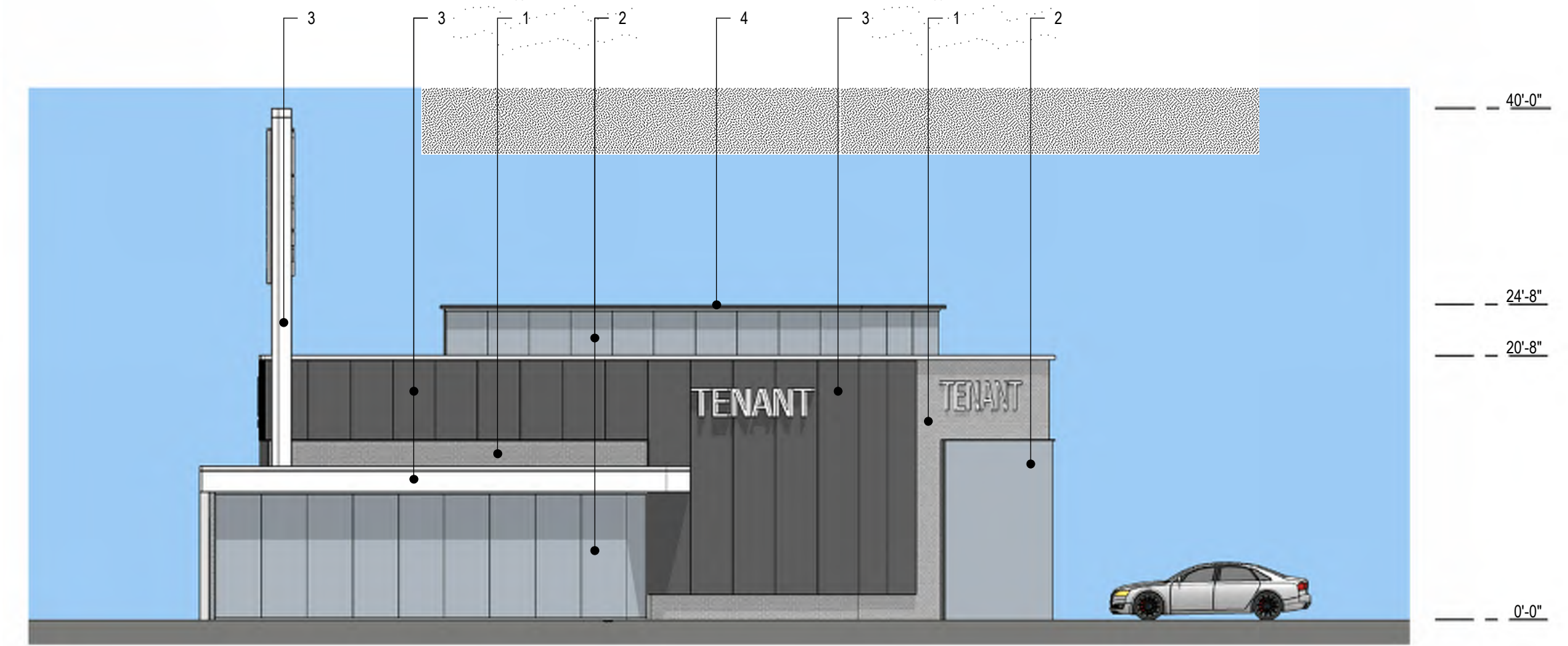
UMB Bank
Exterior Elevations

Original is 36 x 24. Do not scale contents of this drawing.
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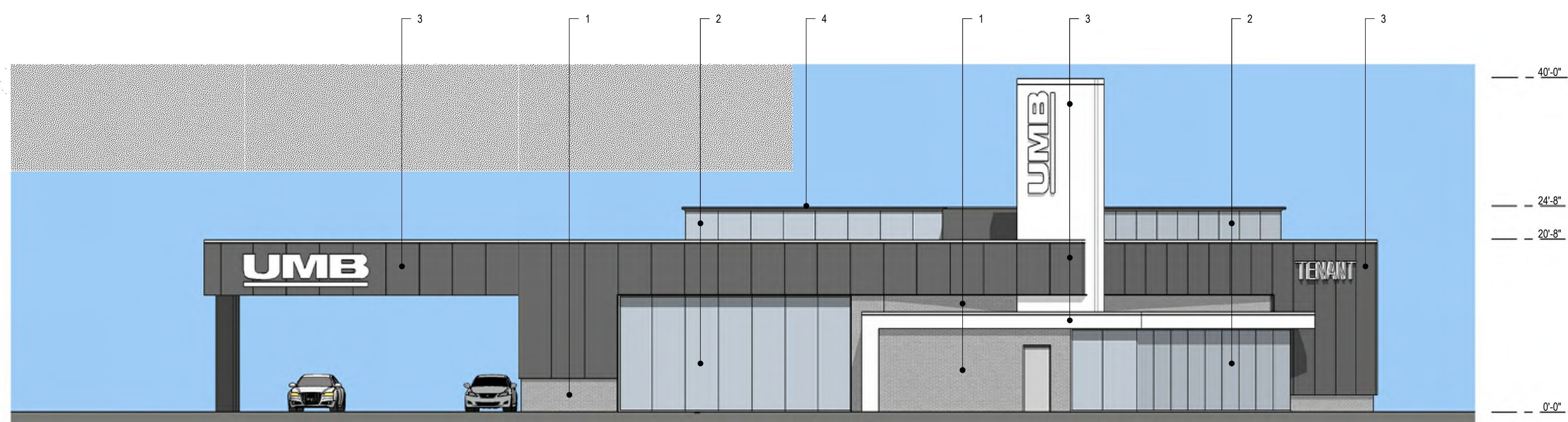


1 East Elevation
1" = 10'-0"

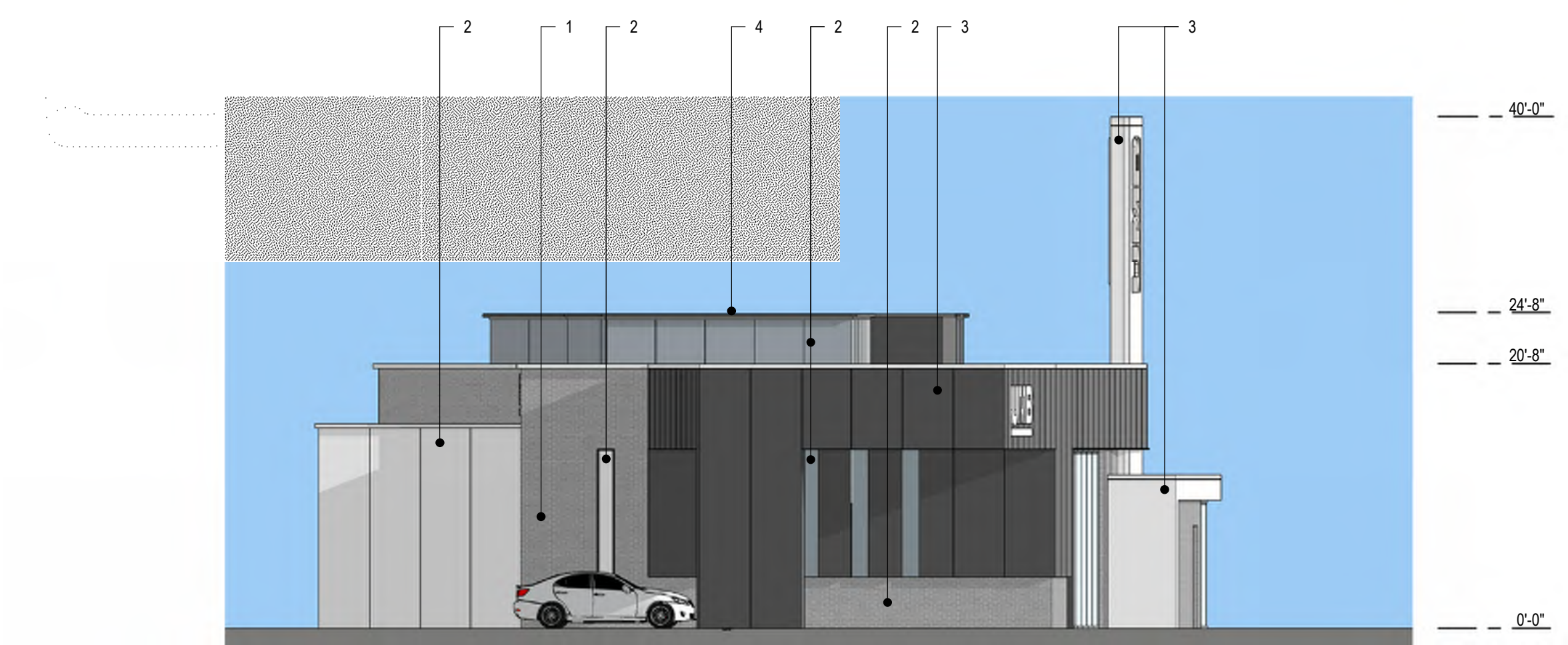
MATERIAL LEGEND: 1. Brick Veneer 2. Glazing 3. Architectural Aluminum Composite Wall Panel 4. Sheet Metal Coping



2 South Elevation
1" = 10'-0"



3 West Elevation
1" = 10'-0"



4 North Elevation
1" = 10'-0"



5 Southwest Perspective
1" = 10'-0"



6 Southeast Perspective
1" = 10'-0"