



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

November 7, 2023

**Project Name**  
Cookingham Industrial Development

**Docket #6.1, 6.2, 6.3**

**Request**

CD-CPC-2023-00139  
Area Plan Amendment  
CD-CPC-2023-00138  
Rezoning  
CD-CPC-2023-00140  
Development Plan (Non-Residential)

**Applicant**

Rachelle Biondo  
Rouse Frets White Goss Gentile Rhodes  
4510 Belleview Ave Kansas City, MO 64111

**Owner**

Diode Ventures LLC  
11401 Lamar Ave Overland Park, KS 66211

Location 2801 NW Cookingham Dr  
Area About 30 acres  
Zoning AG-R  
Council District 1<sup>st</sup>  
County Platte  
School District Platte County R-III

**Surrounding Land Uses**

**North:** Industrial uses, zoned MPD  
**South:** Agricultural uses, zoned AG-R  
**East:** Agricultural uses, zoned AG-R  
**West:** Agricultural, religious assembly uses, zoned AG-R

**Major Street Plan**

NW Cookingham Drive is identified on the City's Major Street Plan as a Thoroughfare

**Land Use Plan**

The KCIA Area Plan recommends Mixed Use Community for this location.

**APPROVAL PROCESS**



**PROJECT TIMELINE**

The application for the subject request was filed on 8/12/2023. Scheduling deviations from 2023 Cycle R have occurred.

- The applicant needed additional time to revise plans per staff comments. Additionally, there was a lag in communication from the applicant, so the case had to be continued an additional 2 weeks.

**NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED**

The subject site is located within the KCI Neighborhood Association.

**REQUIRED PUBLIC ENGAGEMENT**

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on 9/19/2023. A summary of the meeting is attached to the staff report, see Attachment #3.

**EXISTING CONDITIONS**

The subject site is undeveloped and previously used for agriculture. There is a regulated stream with mature riparian vegetation in the southern portion of the site.

**SUMMARY OF REQUEST + KEY POINTS**

The applicant is seeking approval of an area plan amendment to the KCIA Area Plan from Mixed Use Community to Commercial/Industrial, rezoning from district AG-R to district M2-3, and development plan, which also serves as a preliminary plat, to allow for approximately 263,000 square feet of data center buildings in district M2-3 on about 30 acres generally located at 2801 NW Cookingham Drive.

**CONTROLLING + RELATED CASES**

None

**PROFESSIONAL STAFF RECOMMENDATION**

Docket #6.1 Approval  
Docket #6.2 Approval  
Docket #6.3 Approval with Conditions

**PLAN REVIEW**

The project proposes creating three lots, one tract, and 526,242 square feet of building. Lot 1 will contain a substation to support the buildings on Lots 2 and 3, which will each have one, two-story, data center building with accessory chiller and electrical yards. The entire site will be fenced for security, with additional fencing around the substation adjacent to NW Cookingham Drive.

There are two proposed access points to the site off of NW Cookingham Drive. The western access will have a guard house and the eastern entrance will have a gate accessible by emergency vehicles and delivery vehicles. All internal drives will be private and include sidewalk for pedestrian circulation around the site.

The proposed landscape plan shows a buffer of street trees along NW Cookingham Drive, as well as a berm to screen the substation. Proposed species include Oak, Maple, Elm, Redbud, Juniper, Viburnum, Ninebark, and Switchgrass. This project required a tree preservation and project plan to show which areas of tree canopy will be removed. The majority of tree canopy on-site is located within the stream buffer area. The calculations provided on the plan indicate no mitigation is required based on canopy to be removed and the inclusion of trees required by the landscape plan.

Proposed architectural materials include precast concrete panels, wood rain screen, perforated metal screen, and aluminum curtain wall system.

**PLAN ANALYSIS**

*Industrial Lot and Building (88-140), Use- Specific (88-300), and Development Standards (88-400)*

<b>Standards</b>	<b>Applicability</b>	<b>Meets</b>	<b>More Information</b>
Lot and Building Standards (88-140)	Yes	Yes	
Accessory or Use- Specific Standards (88-305 – 385)	No	N/A	
Boulevard and Parkway Standards (88-323)	No	N/A	
Parkland Dedication (88-408)	No	N/A	
Parking and Loading Standards (88-420)	Yes	Yes	
Landscape and Screening Standards (88-425)	Yes	Yes	Subject to conditions
Outdoor Lighting Standards (88-430)	Yes	Yes	Subject to conditions
Sign Standards (88-445)	Yes	Yes	Subject to conditions
Pedestrian Standards (88-450)	Yes	Yes	

**SPECIFIC REVIEW CRITERIA****Zoning and Development Code Map Amendments, Rezoning (88-515-08)**

In reviewing and making decisions on proposed zoning map amendments, the City Planning and Development Director, City Plan Commission, and City Council must consider at least the following factors:

**A. Conformance with adopted plans and planning policies;**

*The proposed rezoning to M2-3 does not conform to the future land use recommendation in the KCIA Area Plan, which recommends Mixed Use Community; therefore, the applicant is also requesting an Area Plan amendment from Mixed Use Community to Commercial/Industrial.*

**B. Zoning and use of nearby property;**

*Surrounding zoning districts include AG-R, MPD, and R-80. The area is generally rural and primarily used for agriculture. Additionally, the Meta (Facebook) data center campus is under construction to the north along HWY 169.*

**C. Physical character of the area in which the subject property is located;**

*The subject site contains a portion of regulated stream corridor along the southern portion of the site. Most of the site is cleared for previous agricultural uses. The site generally slopes from west to east.*

**D. Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;**

*The developer will be responsible for extending public sanitary sewer to serve the site. There is an existing water main in NW Cookingham Drive.*

**E. Suitability of the subject property for the use to which it has been restricted under the existing zoning regulations;**

*The City is seeing multiple agricultural properties being rezoned to allow industrial uses. The KCIA Area plan recommends industrial and commercial future land use for a variety of areas north of I-435. There are two large data center projects approved to the northeast, one being the Meta campus on the west side of HWY 169, and Rocky Branch Creek MPD on the east side of HWY 169, which has not yet been constructed. There are many limitations to what uses would be suitable for the site as currently zoned.*

**F. Length of time the subject property has remained vacant as zoned;**

*Aerials between 2006 to 2022 do not show any permanent structures on the property. The principle use has been agriculture.*

**G. The extent to which approving the rezoning will detrimentally affect nearby properties; and**

*As there are minimal developed areas and residents in the immediate area, the rezoning is not expected to detrimentally affect nearby properties.*

**H. The gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.**

*There is no expected gain to public health, safety, or welfare if this case were to be denied.*

**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

**A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**

*The proposed plan complies with all applicable standards in the Zoning and Development Code, as well as other policies, subject to the conditions attached to this report.*

**B. The proposed use must be allowed in the district in which it is located;**

*The area plan amendment will change the future land use designation to commercial/industrial, which will align with the proposed rezoning to M2-3, which allows the proposed industrial data*

center/warehouse use. Additionally, the plans state other allowable uses on the site based on the M2 district in the event this project is not constructed or changes use over time.

**C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**

There are two proposed points of access off of NW Cookingham Drive. Access to the site will be secure, as there is a gated entrance with proposed guard house at the west entrance and gated eastern entrance. The internal circulation should provide for adequate vehicular traffic movement.

**D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**

NW Cookingham Drive is identified on the Major Street Plan, which requires the developer to pay an impact fee, rather than requiring them to construct half-street improvements, including sidewalks. The proposed industrial use is not expected to generate much pedestrian traffic. Internal sidewalks are provided around the site.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

The site is served by existing public water utilities and public sanitary sewer will need to be extended to the site at the cost of the developer. The conditions attached to this report provide more details about utility requirements.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

There is minimal surrounding development to conform to architecturally. Proposed materials include wood rain screen accent, precast panels, and spandrel glass. Perforated metal screen walls will be used to screen the electrical and chiller yards.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

The landscaping, as detailed in the table on sheet L100, complies with Code. Per staff's request, the applicant is providing berms in addition to landscaping to screen the proposed substation abutting NW Cookingham Drive. The species list includes native varieties of trees, shrubs, and grasses. The stormwater BMP area will be seeded with native grass mix within the stream buffer area.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The plans do not indicate the total impervious coverage, but the plans show what is typically expected of for impervious surfaces for an industrial site.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

A tree removal and preservation plan was submitted per 88-424. The calculation indicated no mitigation for tree removal was required due to the presence and size of the stream buffer, and the reduction in mitigation requirement based on the amount of landscaping provided.

## ATTACHMENTS

1. Conditions Report
2. Applicants Submittal



3. Public Engagement Materials
4. Additional documents, if applicable

### **PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends **approval** of the area plan amendment, **approval** of the rezoning, and **approval with conditions** of the development plan as stated in the conditions report.

Respectfully Submitted,



Genevieve Kohn, AICP  
Planner



## Plan Conditions

Report Date: November 01, 2023

Case Number: CD-CPC-2023-00140

Project: Cookingham Industrial Development

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*Condition(s) by City Planning and Development Department. Contact Genevieve Kohn at (816) 513-8808 / Genevieve.Kohn@kcmo.org with questions.*

1. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
2. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
3. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
4. The developer shall submit an affidavit, completed by an ISA certified arborist, an SAF certified forester, a professional engineer, or a landscape architect licensed in the State of Missouri, verifying that all trees preserved and all trees planted to meet mitigation required of the approved plan, whichever is applicable, has been installed or preserved in accordance with the plan and is healthy prior to Certificate of Occupancy.
5. All signage shall conform to 88-445 and shall require a sign permit prior to installation.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

6. The developer shall submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division.
7. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
8. The developer shall secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first.
9. The developer shall provide dimensions for existing NW Cookingham Dr. right of way to confirm sufficiency in accordance with the Major street Plan, or dedicate additional right of way as required by the adopted Major Street Plan and/or Chapter 88 so as to provide a minimum of 60 feet of right of way as measured from the centerline, along those areas being platted.
10. The developer shall enter into a covenant agreement for the maintenance of any stormwater detention area tracts as required by the Land Development Division, prior to recording the plat.
11. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, provide a copy of the MDNR submitted Storm Water Pollution Prevention Plan (SWPP) and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

12. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
13. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
14. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

15. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)
16. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA 241-2013 § 8.7.2) Fire hydrant distribution shall follow IFC-2018 Table C102.1
17. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1) All Fire Department Connections (FDC) shall be threaded connections, Storz connections are not allowed in the City of Kansas City, Missouri (IFC-2018 § 903.3.6; NFPA 13-2010 § 6.8.1).
18. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
19. Security gates which span across a fire access road shall provide a means for emergency operation. Electric gates shall require a siren sensor device typically referred to as a "yelp gate" (IFC-2018 § 503.6).
20. A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3) Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5) Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
21. Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105).
22. Buildings exceeding three (3) stories or 30 feet in height shall have at least two means of fire apparatus access. (IFC-2018: § D104.1) Buildings exceeding 62,000 square feet in area shall have at least two means of fire apparatus access (IFC-2018: § D104.2) Due to the size of each of the building both entrances off of Cookingham shall be present for the first phase.

*Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.*

23. The developer shall be responsible for tree preservation in an easement or platted tract, mitigation planting, or payment of cash-in-lieu of preservation or mitigation planting, or any combination thereof in accordance with 88-424. Should the developer choose to pay cash-in-lieu of preservation or mitigation of all or a portion of the required area, the amount due shall be based upon the rate specified in 88-424. This requirement shall be satisfied prior to certificate of occupancy.

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

24. No water service tap permits will be issued until the public water main is released for taps.
25. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
26. Water/Sewer Service lines shall serve only one lot or tract and shall not cross a separate lot or tract.
27. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development. South of River contact - Bryan Wagner North of River contact - Pedro Colato
28. No water service tap permits will be issued until the public water main is released for taps.

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

29. A full flow fire meter shall be required when the fire protection service line serves more than one building, or combination service lines 6 inches and larger, or that have private fire hydrants connected to them.
30. No water service tap permits will be issued until the public water main is released for taps.

*Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.*

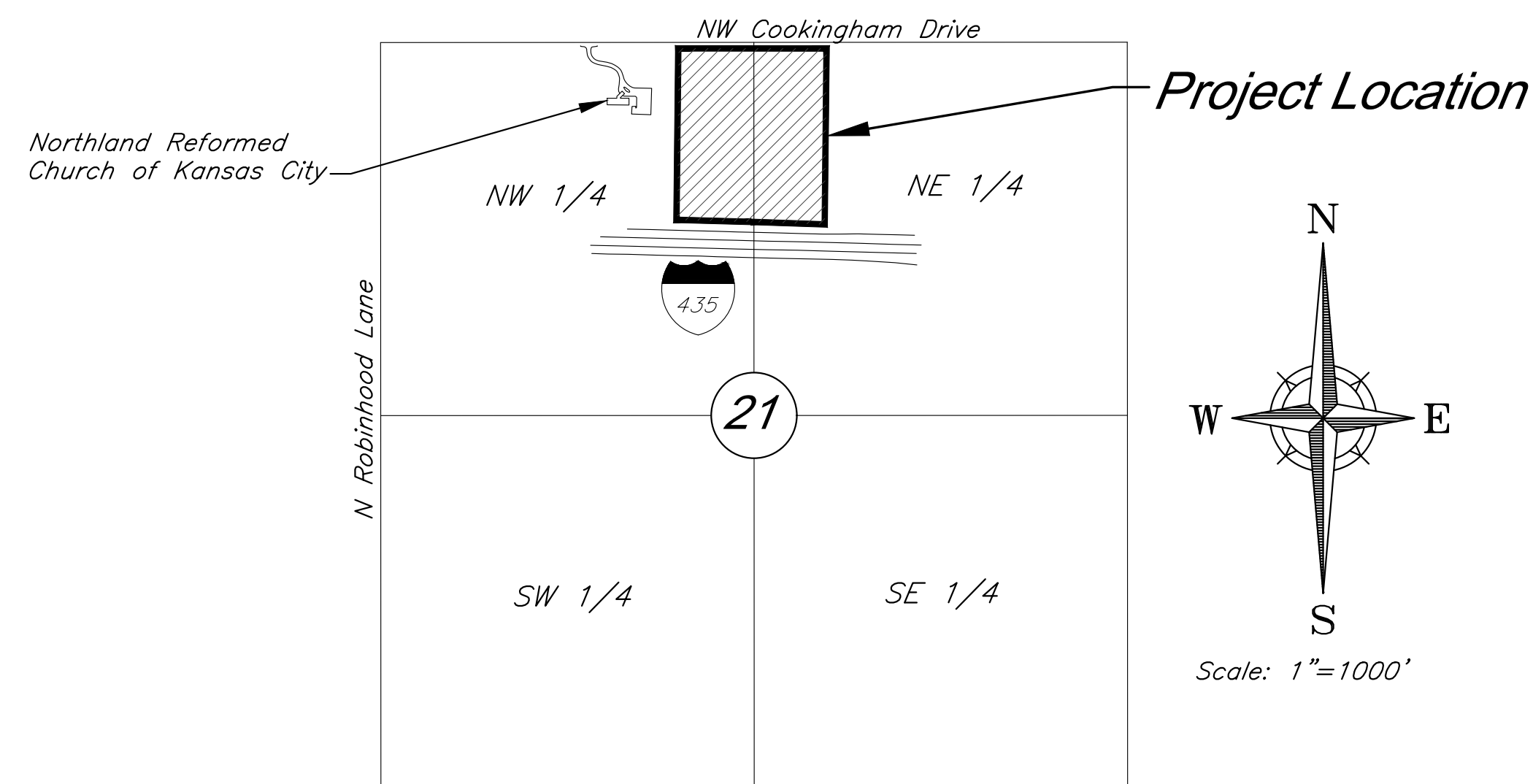
31. The developer shall submit water main extension drawings prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations. These plans shall cover any new public water mains and public fire hydrants at 300' spacing. Developer shall provide KC Water staff grading plans within the existing water main easement for review and approval prior to commencing grading work within the easement, and the grading shall maintain a minimum of 60" of cover over the existing 24" water transmission main. All other construction within the existing 24" transmission main easement shall meet the easement requirements.

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

32. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required.
33. The developer shall provide acceptable easements for the public sewers serving the development.
34. The developer shall obtain temporary construction easements from the adjacent property owners prior to issuance of permits for any offsite work.
35. The developer shall grant any BMP and/or Surface Drainage Easements to the City as required by the Land Development Division and KC Water, prior to recording the plat or issuance of any building permits.
36. The developer shall submit a Preliminary Stream Buffer plan prior to approval of the plan in accordance with the Section 88-415 requirements.
37. The developer shall submit a final stream buffer plan to the Land Development Division and KC Water for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements.
38. The developer must grant on City approved forms, a STREAM BUFFER Easement to the City, as required by Chapter 88 and Land Development Division, prior to issuance of any stream buffer permits.
39. The developer shall obtain a floodplain certificate from Development Services prior to beginning any construction activities with the floodplain.
40. Storm water detention basins that serve more than one lot will be required to be platted in a storm water detention tract and be covered by a Covenant to Maintain Storm Water Detention and BMP Facilities document prior to recording the final plat.

# PRELIMINARY DEVELOPMENT PLAN & PRELIMINARY PLAT FOR COOKINGHAM DEVELOPMENT

Part of the NW & NE 1/4  
Section 21-Township 52S-Range 33E  
in the  
City of Kansas City  
Platte County, Missouri



**VICINITY MAP**  
Part of the NW & NE 1/4  
Section 21-Township 52-Range 33

## INDEX OF SHEETS

Sht. No.	Description
C1	Title Sheet
C2	General Layout
C3	Site Plan
L100	Landscape Plan
L101	Streetscape Plan
L120	Planting Details
C4	Grading Plan
C5	Utility Plan
C6	Tree Removal & Tree Preservation Plan
A4.1 - Color	Partial Building Elevations West Building
A4.2 - Color	Partial Building Elevations West Building
A4.3 - Color	Partial Building Elevations East Building
A4.4 - Color	Partial Building Elevations East Building
A4.5 - Color	Guardhouse Elevations
A4.6 - Color	Building Materials
A1.2	Signage Plan
C7	Preliminary Plat
C8	Stream Buffer Plan
E1.0	Lighting Plan

PREPARED FOR:  
GBA REALTY LLC  
9801 RENNER BOULEVARD  
LENEXA, KANSAS 66219  
PHONE: 816-876-3893  
CONTACT: GRAHAM JONES LEED AP  
EMAIL: gjones@gbabuilders.com

PREPARED BY:  
GEORGE BUTLER ASSOCIATES, INC.  
9801 RENNER BOULEVARD  
LENEXA, KANSAS 66219  
PHONE: 913-492-0400  
CONTACT: CLINT LOUMASTER P.E.  
EMAIL: cloumaster@gbateam.com

### FLOODPLAIN:

According to the Flood Insurance Rate Maps (FIRMs) for the city of Kansas City, Missouri (29095C0061G, dated January 20th, 2017), the site is situated within Zone X, areas determined to be outside the 0.2% annual chance floodplain.

PROJECT ENGINEER: CLINT LOUMASTER, P.E.

DATE:

APPROVED BY:

MANAGER, ENGINEERING SERVICES DIVISION:

DATE:

**GBA**

9801 Renner Boulevard  
Lenexa, Kansas 66219  
913.492.0400  
www.gbateam.com

10-04-23  
09-15-23  
08-11-23

# LEGAL DESCRIPTION

## Surveyor's Recommended Description

A 30.44 acre tract of land, being part of the East 32 acres of the Northwest Quarter, and part of the West 32.29 acres of the Northeast Quarter, of Section 21, Township 52 North, Range 33, West of the Fifth Principal Meridian, Kansas City, Platte County, Missouri, which lies southerly of Missouri State Highway No. 291 and Northerly of Interstate Highway No. 435, the same being a parcel of land described as Tract 4, in Book 1335, Page 367, of the Official Public Records of Platte County, Missouri. Said 30.44 acre tract being described more particularly by Timothy Blair Wawell, LS 2009000067, of George Butler Associates Inc., CLS 000059, on September 12, 2023, as follows:

Note: The following bearings are based on the Missouri Coordinate System of 1983, West Zone.

Commencing at a found 5/8" iron bar with a 2" aluminum cap, for the Northwest corner of said Northwest Quarter; Thence: North 89° 33' 46" East, with the North line of said Northwest Quarter, a distance of 2644.96 feet, to a found 1/2" iron rod, for the Northeast corner of said Northwest Quarter, from which a found 5/8" iron rod, for the Northeast corner of said Northeast Quarter bears North 89° 24' 10" East, a distance of 2610.82 feet; Thence: South 0° 14' 34" West, with the common line between said Northwest Quarter and said Northeast Quarter, a distance of 25.00 feet, to a point for corner, in the common line between Cookingham Drive, a variable width right-of-way, and the tract described herein, for the Point of Beginning, from which a found 1/2" iron rod with a yellow cap stamped "PHOENIX MO 200015130 LS 138 KS" bears South 19° 19' 36" East, a distance of 1.31 feet; Thence: North 89° 24' 10" East, with said common line, a distance of 209.60 feet, to a found 1/2" iron rod with a yellow cap stamped "PHOENIX MO 200015130 LS 138 KS" in the south right-of-way line of Missouri Highway Route 291, as described in Book 243, Page 643, of the Official Public Records of Platte County, Missouri, for corner;

Thence: With the common line between said Missouri Highway Route 291 and the property described herein, the following three (3) courses:

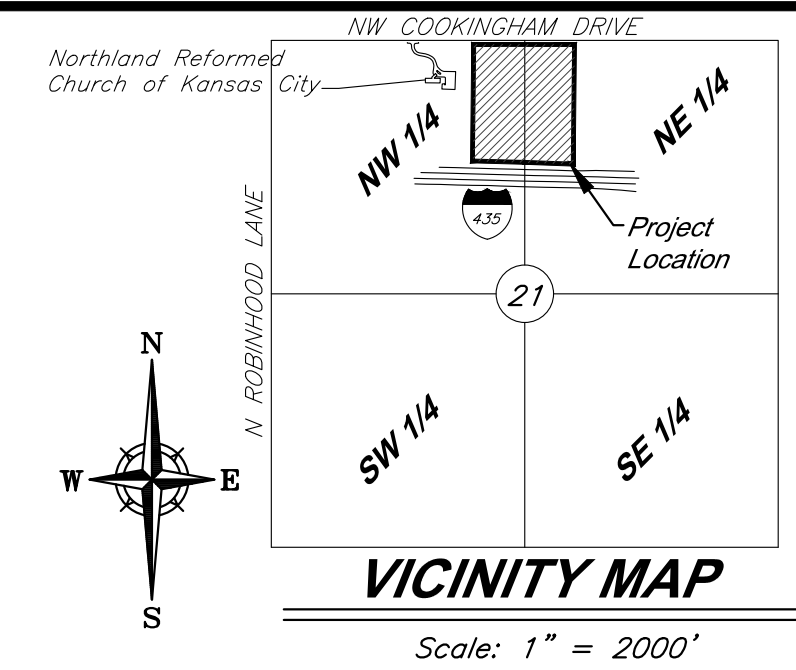
1. South 1° 47' 24" East, a distance of 9.93 feet, to a set cross cut in the concrete base of a right-of-way sign, being 30.00 feet left of centerline station 665+00.
2. South 77° 58' 01" East, a distance of 135.17 feet, to a found 1/2" iron rod with a yellow cap, being 60.00 feet left of centerline station 664+10 back = 663+68.2 ahead, and;
3. North 89° 12' 36" East, a distance of 185.61 feet, to a found 1/2" iron rod, in the East line of said West 32.29 acres, for the northeast corner of the tract described herein;

Thence: South 0° 08' 57" West, with said East line, for a distance of 1234.70 feet, to a found 1/2" iron rod with a yellow cap stamped "PHOENIX MO 200015130 LS 138 KS" in the North right-of-way line of Interstate Highway 435, for the Southeast corner of the tract described herein; Thence: North 88° 54' 35" West, with the common line between said Interstate Highway 435 and the tract described herein, passing at a distance of 529.90 feet, the East line of said Northwest Quarter, and continuing for a total distance of 1063.70 feet, to a found 5/8" iron rod with an aluminum cap stamped "AYLETT LS 2074" in the West line of said East 32 acres and the East line of Northland Reformed Church, a plot of record in Book 19, Page 377, of said Official Public Records, for the Southeast corner of said Northland Reformed Church and the southwest corner of the tract described herein, from which a found 1/2" iron rod with a yellow cap bears South 87° 59' 04" East, a distance of 4.64 feet; Thence: North 0° 17' 10" East, with said East line, passing at a distance of 1218.77 feet, a found 5/8" iron rod with an aluminum cap stamped "AYLETT LS 2074" in said East line, for the Northeast corner of said Northland Reformed Church, and continuing for a total distance of 1243.77 feet, to a point for corner, in the common line between said Cookingham Road and the tract described herein, from which a found 1/2" iron rod with a yellow cap stamped "PHOENIX MO 200015130 LS 138 KS" bears South 89° 09' 52" East, a distance of 1.33 feet; Thence: North 89° 33' 46" East, with said common line, a distance of 532.84 feet, to the Point of Beginning and containing 1,325,869.29 square feet, 30.44 acres more or less, and being subject to that part in road right-of-way if any.

A survey plot was prepared by a separate document. Field work was completed on August 18, 2023.

### Legend

	Proposed Building		Property Boundary
	Concrete Sidewalk		Proposed Right-of-Way
	Proposed Asphalt Pavement		Phase Line
	Existing Tree Line		Lot Line
			60' Building Setback
			20' Parking Setback
			Proposed Security Fence
			Proposed Water Line
			Proposed Storm Sewer
			Proposed Sanitary Sewer
			Proposed Sanitary Manhole
			Proposed Storm Structure
			Proposed Fire Hydrant

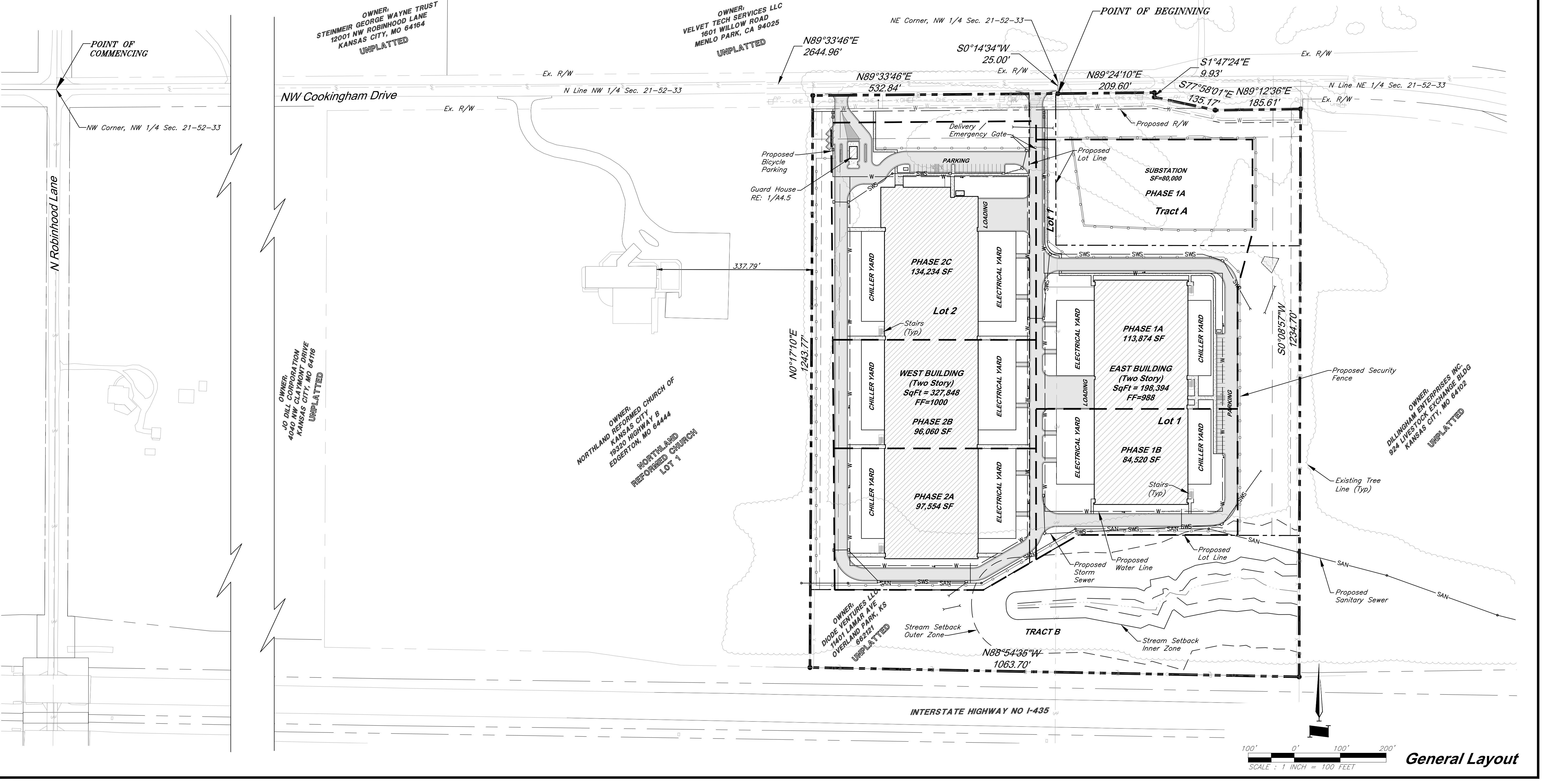


**GBA**  
8901 Renner Blvd., Ste. 300  
Lenexa, KS 66219  
913.492.0400  
gbateam.com

DATE: 8/11/2023  
DESIGN BY: CEL  
DRAWN BY: GAN/ELS  
PROJECT NO.: 15410.10  
SHEET NUMBER  
**C2**

Clint Loumaster Professional Engineer License No. PB-2011009651		M-2 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri	
NO.	DATE	REVISIONS	BY
1	9/15/23	City Comments 9/1/2023	ELS
2	10/3/23	City Comments 9/27/2023	ELS

<b>WEST BUILDING:</b>	<b>EAST BUILDING:</b>
Phase 2A 97,554 SF of Building	Phase 1A 113,874 SF of Building & 80,000 SF of Substation
Phase 2B 96,060 SF of Building	Phase 1B 84,520 SF of Building
Phase 2C 134,234 SF of Building	Total East Building Area 198,394 SF of Building
<b>Total West Building Area 327,848 SF of Building</b>	

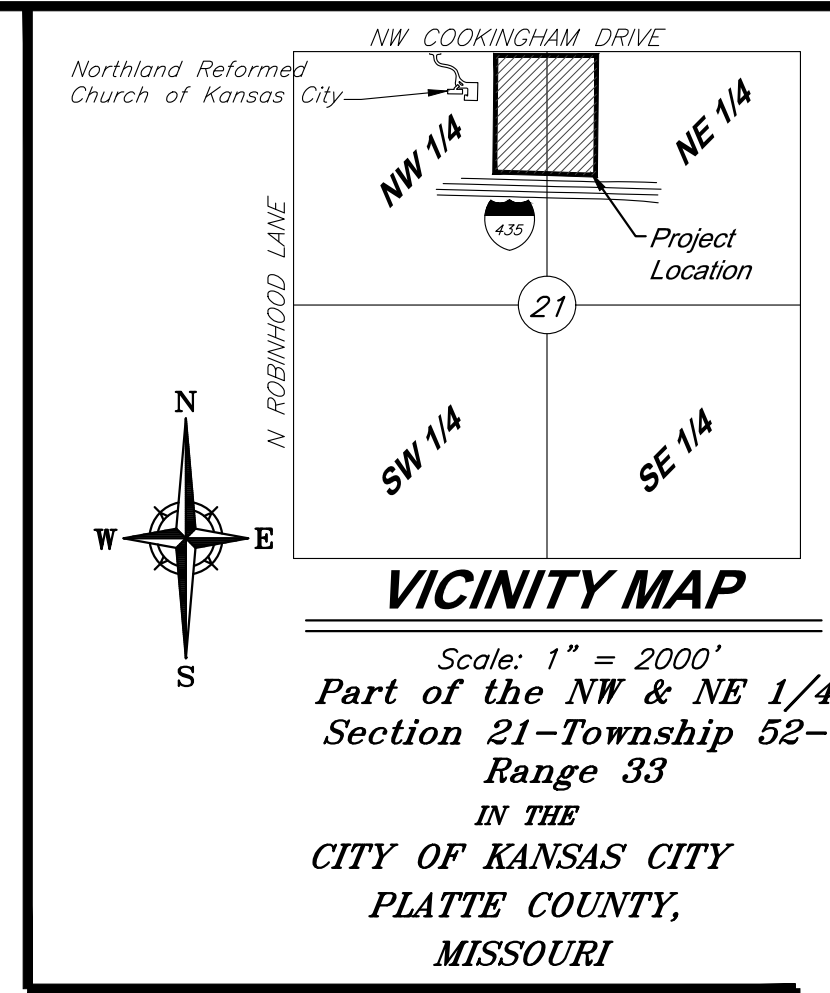
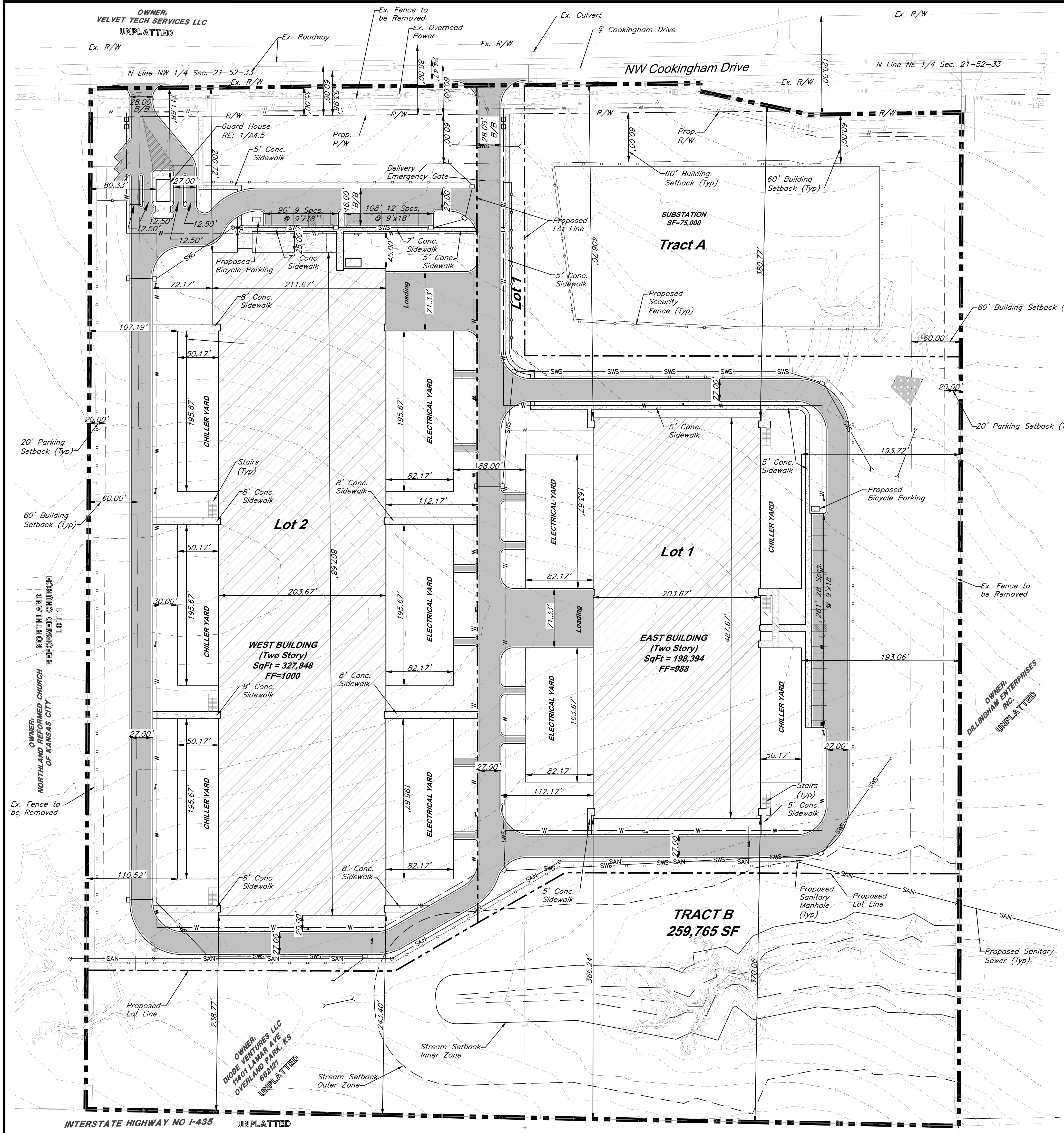


C:\15410.10\Civil\3D\Production Drawings\MPD Rezoning & Preliminary Development Plan\15410.10\020200.dwg Layout: C2 General Layout -- Tuesday, October 03, 2023, 4:31pm Copyright 2023, George Butler Associates, Inc. Professional Engineer, 000133, Professional Land Surveyor, 000269



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OWNER:  
VELVET TECH SERVICES LLC  
UNPLATTED



DATE: 8/11/2023  
DESIGN BY: CEL  
DRAWN BY: GAN/ELS  
PROJECT NO.: 15410.10  
SHEET NUMBER  
**C3**

Clint Loumaster Professional Engineer License No. PB-2011009651		M-2 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri	
NO.	DATE	REVISIONS	BY APPROVED
1	9/15/23	City Comments 9/1/2023	ELS
2	10/3/23	City Comments 9/27/2023	ELS

**Allowable Uses:**

The Uses allowed as of right under zoning district M-2 shall be permitted within this Preliminary Development Plan including, but not limited to: Utilities and Services, Building Maintenance Services, Business Equipment Sales and Service, Business Support Services, Parking (Accessory), Parking (Non-Accessory), Manufacturing, Production, and Industrial Service including: Artisan, Limited, General, Warehousing, Wholesaling, Storage, and Freight Movement Including: Indoor, Outdoor, Wireless Communication Facility (Freestanding, Co-located Antenna), Communication Service Establishments, Office, Administrative, Professional, or General, and any and all related accessory uses thereto.

**General Notes:**

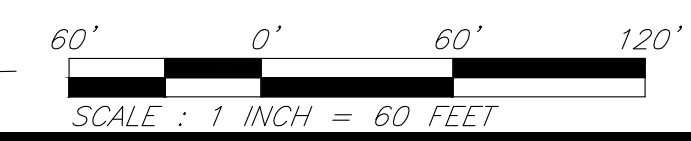
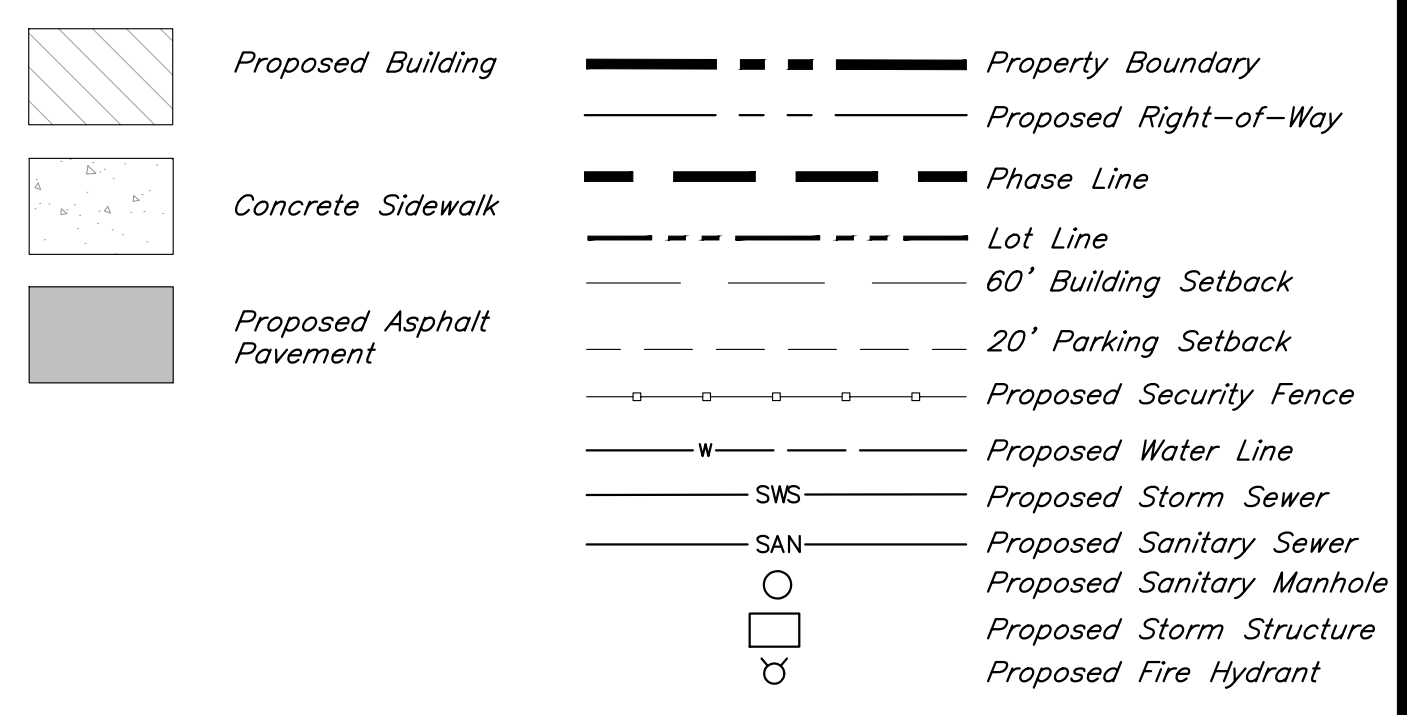
- All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass, and metal (when used in an incidental role). Specific materials which will be excluded include exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.
- All signage will comply with Section 88-445 of the zoning and development code and will be reviewed at time of sign permit.
- All rooftop mechanical equipment will be screened as required by 88-425-08 of the zoning and development code.

**SITE DATA per APPLICATION SUBMITTAL REQUIREMENTS**

Item	Lot 1		Lot 2		Total
	Existing	Proposed	Existing	Proposed	
a) Zoning	AG	M-2	AG	M-2	
b) Total Land Area (sq. ft.)	392,781	392,781	506,772	506,772	899,553
c) Land Area for Street ROW (sq. ft.)	0	2,030	0	16,460	0
d) Net Land Area (sq. ft.)		390,751		490,312	881,063
e) Building Use	AG	Data Center	AG	Data Center	
f) Building Height Above Grade (ft)		44		44	
g) # of Floors		2		2	
h) Gross Floor Area per Floor (sq. ft.)		99,197		163,924	
i) Gross Floor Area per Phase (sq. ft.)		198,394		327,848	526,242
j) Building Coverage (sq. ft.)		99,197		163,924	
k) Floor Area Ratio		0.508		0.669	0.597
l) NA					
	Required	Proposed	Required	Proposed	
m) Vehicle Parking					
n) Spaces	5	28	13	24	52
o) Bicycle Parking					
p) Spaces	5	5	7	7	12
q) NA					
r) NA					

88-425 - OTHER DEVELOPMENT STANDARDS	METHOD OF COMPLIANCE
88-415 Stream Buffers	
88-445 Signs	

**Legend**



**Site Plan**



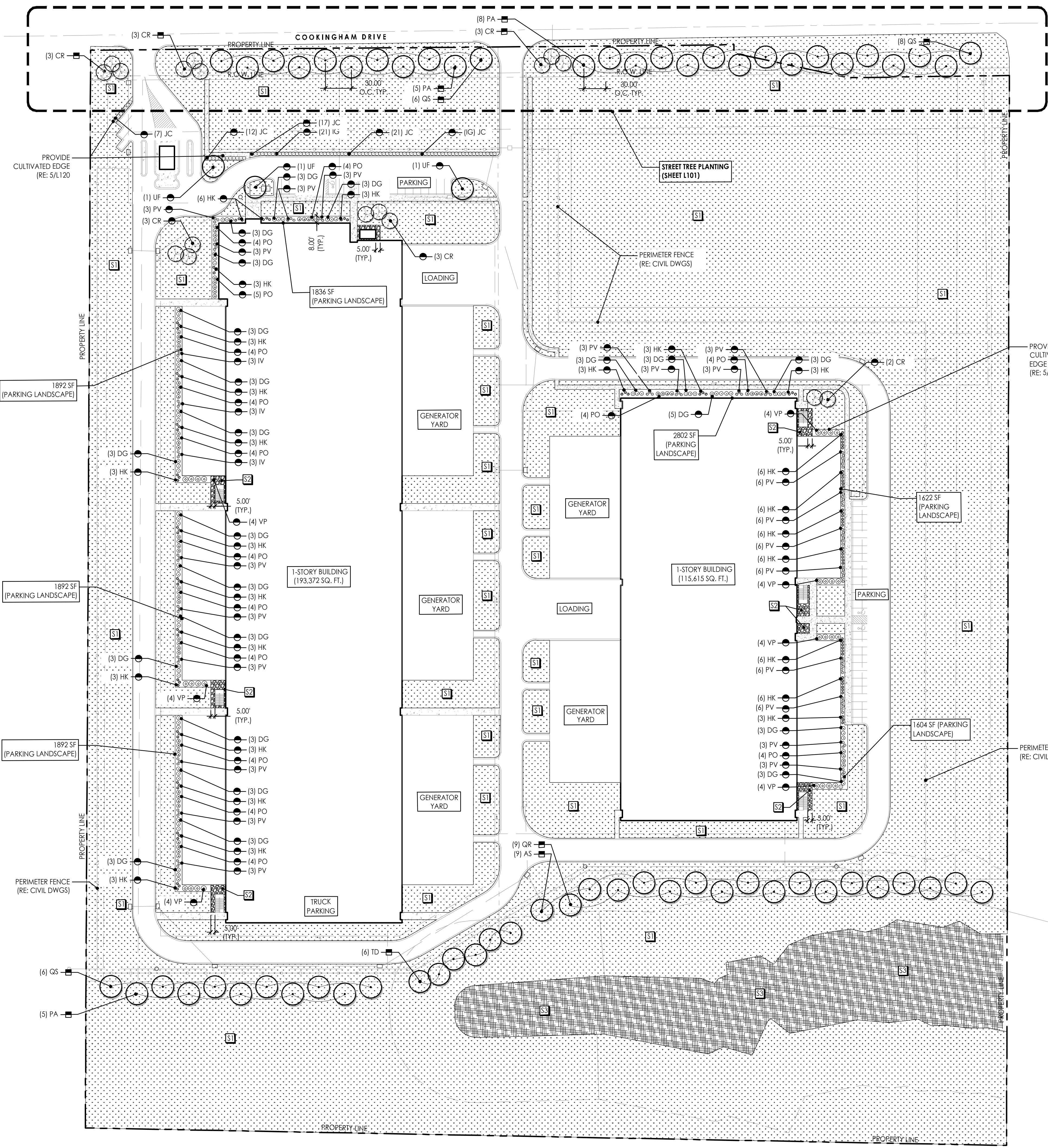
# LANDSCAPE REQUIREMENTS (KCMO)

- STREET TREES (88-425-03-C)**
  - REQUIREMENT: 1 TREE REQUIRED PER 30' OF STREET FRONTAGE
  - COOKINGHAM DRIVE (1,050 LINEAR FEET)
    - TOTAL TREES REQUIRED/PROVIDED: 35/36
    - 1435 (1,050 LINEAR FEET)
    - TOTAL TREES REQUIRED/PROVIDED: 35/35
- PARKING LOT SCREENING (88-425-05-B)**
  - REQUIREMENTS: 3' HT. CONTINUOUS EVERGREEN HEDGE FOR ALL PARKING ADJACENT TO STREET R.O.W.
  - INTERSTATE 435 - **NO PARKING ALONG ROW**
  - COOKINGHAM DRIVE - **SHRUBS AND TREES PROVIDED**
- INTERIOR PARKING LOT LANDSCAPE REQUIREMENTS**
  - REQUIREMENT: 35 S.F. LANDSCAPE AREA PER 1 PARKING SPACE; 1 TREE PER 5 PARKING SPACE; 1 SHRUB PER PARKING SPACE

TOTAL PARKING -52 SPACES  
 TOTAL LANDSCAPE REQUIRED / PROVIDED: 1,820 S.F. / 12,408 S.F.  
 TOTAL TREES REQUIRED / PROVIDED: 11 / 11  
 TOTAL SHRUBS REQUIRED / PROVIDED: 52 / 52

**GENERAL LANDSCAPE REQUIREMENTS (88-425-04-D)**

  - REQUIREMENT: 1 TREE PER 5,000 S.F. BUILDING COVERAGE
  - TOTAL BUILDING COVERAGE: 308,987 S.F.
  - TOTAL TREES REQUIRED/PROVIDED: 62 / 82
- SCREENING OF CONTAINERS AND MECHANICAL/UTILITY EQUIPMENT (88-425-08-A)**
  - REQUIREMENT: DUMPSTERS/TRASH CONTAINERS MUST BE SCREENED FROM PUBLIC VIEW
  - PROVIDED: **DUMPSTERS/TRASH WILL BE HANDLED INTERNALLY WITHIN BUILDING**



317 SE MAIN  
LEE'S SUMMIT, MO 64043  
816.307.6019  
MO LA Corp #2020001060

DATE: 7/28/2023  
 DESIGN BY: BDR/RWB  
 DRAWN BY: BDR/RWB  
 PROJECT NO.: 15410.10  
 SHEET NUMBER:  
**L100**  
**PLANTING PLAN**

---

Bob G. Bushyhead  
Landscape Architect  
License No. xxxxxxxx

**M2 Rezoning - Pre. Development Plan & Pre. Plat**  
**COOKINGHAM DEVELOPMENT**  
 Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	9/01/23	CITY COMMENTS	RWB	BGB

### PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
<b>SHADE/STREET TREES</b>			
QS	●	Shumard Oak <i>Quercus shumardii</i>	2' - 2.5' cal.
PA	●	Exclamation Planetree <i>Platanus x acerfolia 'Morton Thornhill'</i>	2' - 2.5' cal.
AS	●	Fall Fiesta Sugar Maple <i>Acer saccharum 'John Pair'</i>	2' - 2.5' cal.
UF	●	Frontier Lacebark Elm <i>Ulmus x Frontier</i>	2' - 2.5' cal.
<b>ORNAMENTAL TREE</b>			
CR	●	Oklahoma Redbud <i>Cercis reniformis 'Oklahoma'</i>	1.5' cal. min.
<b>EVERGREEN SHRUB</b>			
JC	●	Sea Green Juniper <i>Juniperus chinensis 'Sea Green'</i>	#3 @ 48" o.c.
IG	●	Shamrock Inkberry Holly <i>Ilex glabra 'Shamrock'</i>	#3 @ 48" o.c.
<b>DECIDUOUS SHRUB/GRASSES</b>			
VP	●	Summer Snowflake <i>Viburnum plicatum</i>	#3 @ 60" o.c.
PO	●	Tiny Wine Ninebark <i>Physocarpus opulifolius</i>	#3 @ 48" o.c.
DG	●	Kodiak Orange Diervilla <i>Diervilla 'G2X88544'</i>	#3 @ 48" o.c.
PV	●	Shenandoah Switchgrass <i>Panicum virgatum 'Shenandoah'</i>	#3 @ 48" o.c.
HK	●	Sunny Boulevard St. John's Wort <i>Hypemicum kalmianum 'Deppe'</i>	#3 @ 48" o.c.
<b>NATIVE BMP MIX</b>			
S3	■	Oval Sedge - <i>Carex brevior</i> Canada Wildrye - <i>Elymus canadensis</i> Bottlebrush Sedge - <i>Elymus hystix</i> Tussock Sedge Common Rush Fox Sedge American Sweet Flag	Drill Seed w/ Hydromulch

### PLANTING PLAN LEGEND

S1	TURFGRASS SEED OVER 4" (MIN) TOPSOIL • FESCUE BLEND; DRILL SEEDED WITH HYDROMULCH • SINGLE NET STRAW BLANKET ON SLOPES 3:1 OR GREATER • RE: SECTION 329300
S2	DECORATIVE ROCK • 2' - 3" SIZE RIVER ROCK w/ METAL EDGE BORDER • RE: DETAILS 6 & 7/L120 • RE: SECTION 329300
S3	NATIVE BMP MIX OVER 18" (MIN) BMP SOIL • REFER TO PLANT SCHEDULE FOR SPECIES MIX • RE: SECTION 329305 FOR SOIL; RE: SECTION 329310 FOR BMP MAINTENANCE
● CK	TREE/SHRUB COUNTING TOWARDS PARKING REQUIREMENTS
■ CK	TREE/SHRUB COUNTING TOWARDS GENERAL LANDSCAPE REQUIREMENTS

- ### PLANTING NOTES
- THIS PLAN PROVIDES LAYOUT, QUANTITY & SIZES OF ALL PLANT MATERIAL TO BE PROVIDED BY THE LANDSCAPE CONTRACTOR. REFER TO THE FOLLOWING SPECIFICATION SECTIONS FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK:
    - SECTION 329200 - LANDSCAPE
    - SECTION 329305 - BMP SOILS
    - SECTION 329310 - BMP MAINTENANCE
  - UTILITIES SHOWN ON THIS PLAN ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS AND SITE SURVEY FOR ALL UTILITIES AND LOCATIONS. CONTRACTOR SHALL VERIFY FINAL LOCATIONS OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
  - LOCATIONS OF ALL PLANT MATERIALS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLANTING.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE AND GRASS ALL DISTURBED AREAS BACK TO ORIGINAL FINISHED GRADE ELEVATIONS, INCLUDING, EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.

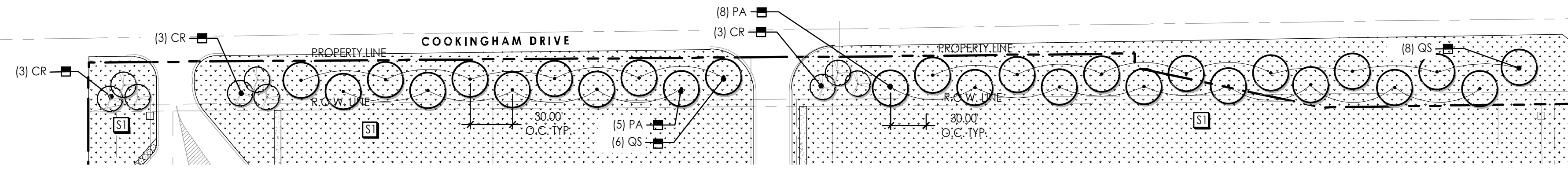
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 BRIAN ROTH

## LANDSCAPE REQUIREMENTS (KCMO)

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    - TOTAL TREES REQUIRED/PROVIDED: 35/35
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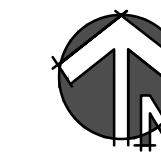
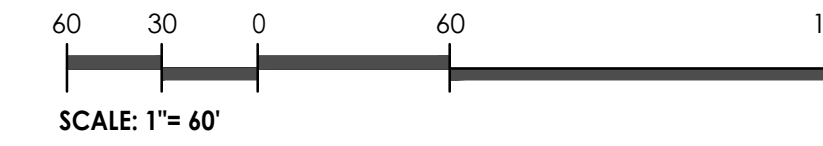
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  - PROVIDED: DUMPSTERS/TRASH WILL BE HANDLED INTERNALLY WITHIN BUILDING



## 1 PLANTING PLAN-STREET TREES

Scale: 1" = 60'-0"



317 SE MAIN  
LEE'S SUMMIT, MO 64043  
816.307.4019  
MO LA Corp #200801060

DATE: 7/28/2023

DESIGN BY: BDR/RWB

DRAWN BY: BDR/RWB

PROJECT NO.: 15410.10

SHEET NUMBER

**L101**

**PLANTING PLAN**

Bob G. Bushyhead  
Landscape Architect  
License No. xxxxxxxxxx

M2 Rezoning - Pre. Development Plan & Pre. Plat  
**COOKINGHAM DEVELOPMENT**  
Kansas City, Missouri

NO.	DATE	REVISIONS	BY	APPROVED
1	9/01/23	CITY COMMENTS	RWB	BGB

## TREE PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
●	SHADE/STREET TREES		
	QS	Shumard Oak <i>Quercus shumardii</i>	2" - 2.5" cal.
	PA	Exclamation Planetree <i>Platanus x acerfolia 'Morton Thornhill'</i>	2" - 2.5" cal.
	AS	Fall Fiesta Sugar Maple <i>Acer saccharum 'John Pair'</i>	2" - 2.5" cal.
	UF	Frontier Lacebark Elm <i>Ulmus x Frontier</i>	2" - 2.5" cal.
○	ORNAMENTAL TREE		
	CR	Oklahoma Redbud <i>Cercis reniformis 'Oklahoma'</i>	1.5" cal. min.

## PLANTING PLAN LEGEND

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  - FESCUE BLEND; DRILL SEEDED WITH HYDROMULCH
  - SINGLE NET STRAW BLANKET ON SLOPES 3:1 OR GREATER
  - RE: SECTION 329300
- S2** DECORATIVE ROCK
  - 2' - 3" SIZE RIVER ROCK w/ METAL EDGE BORDER
  - RE: DETAILS 6 & 7/L120
  - RE: SECTION 329300
- S3** NATIVE BMP MIX OVER 18" (MIN) BMP SOIL
  - REFER TO PLANT SCHEDULE FOR SPECIES MIX
  - RE: SECTION 329305 FOR SOIL; RE SECTION 329310 FOR BMP MAINTENANCE
- CK** TREE/SHRUB COUNTING TOWARDS PARKING REQUIREMENTS
- CK** TREE/SHRUB COUNTING TOWARDS GENERAL LANDSCAPE REQUIREMENTS

## PLANTING NOTES

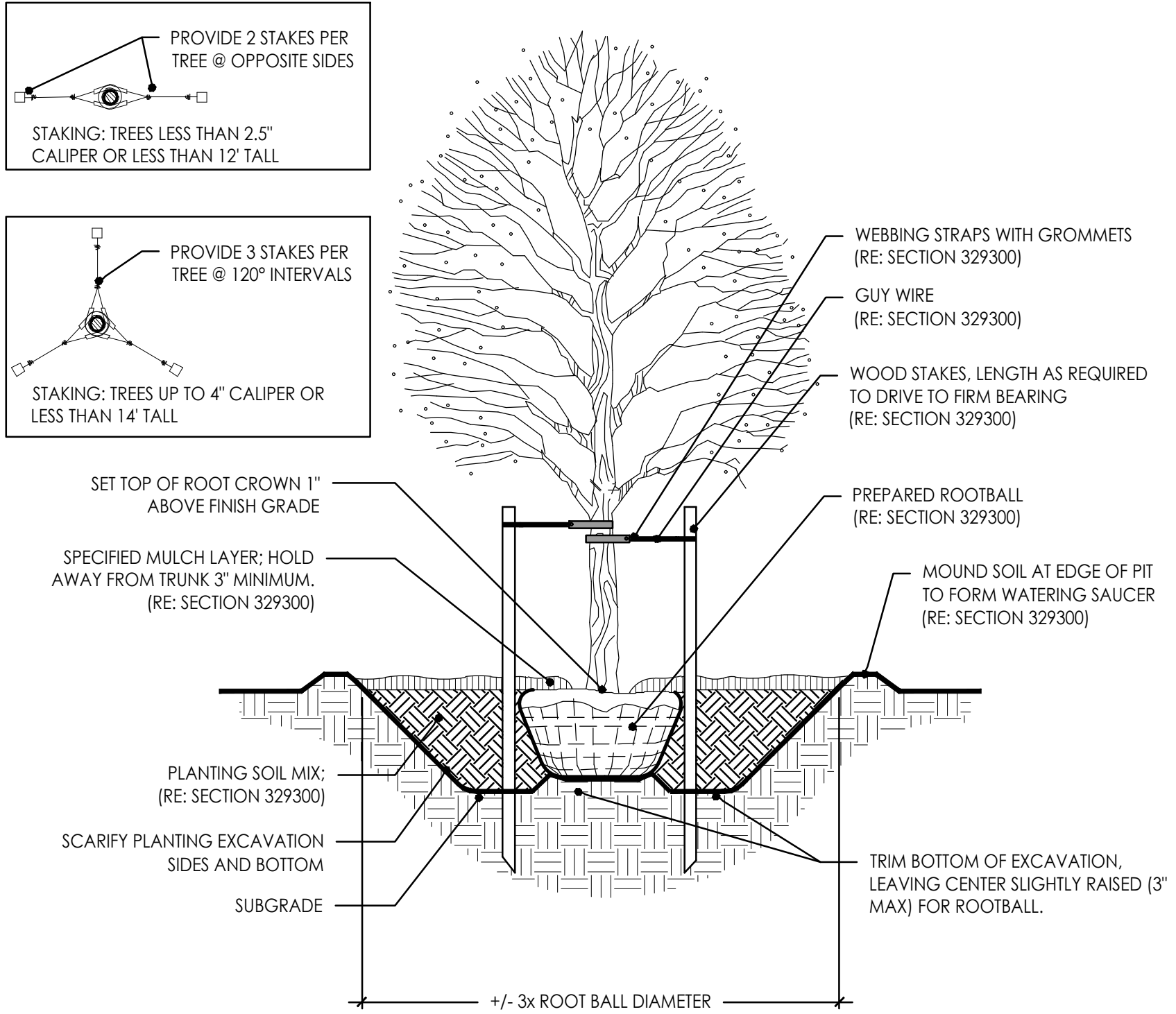
1. THIS PLAN PROVIDES LAYOUT, QUANTITY & SIZES OF ALL PLANT MATERIAL TO BE PROVIDED BY THE LANDSCAPE CONTRACTOR. REFER TO THE FOLLOWING SPECIFICATION SECTIONS FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS AND EXECUTION OF WORK:
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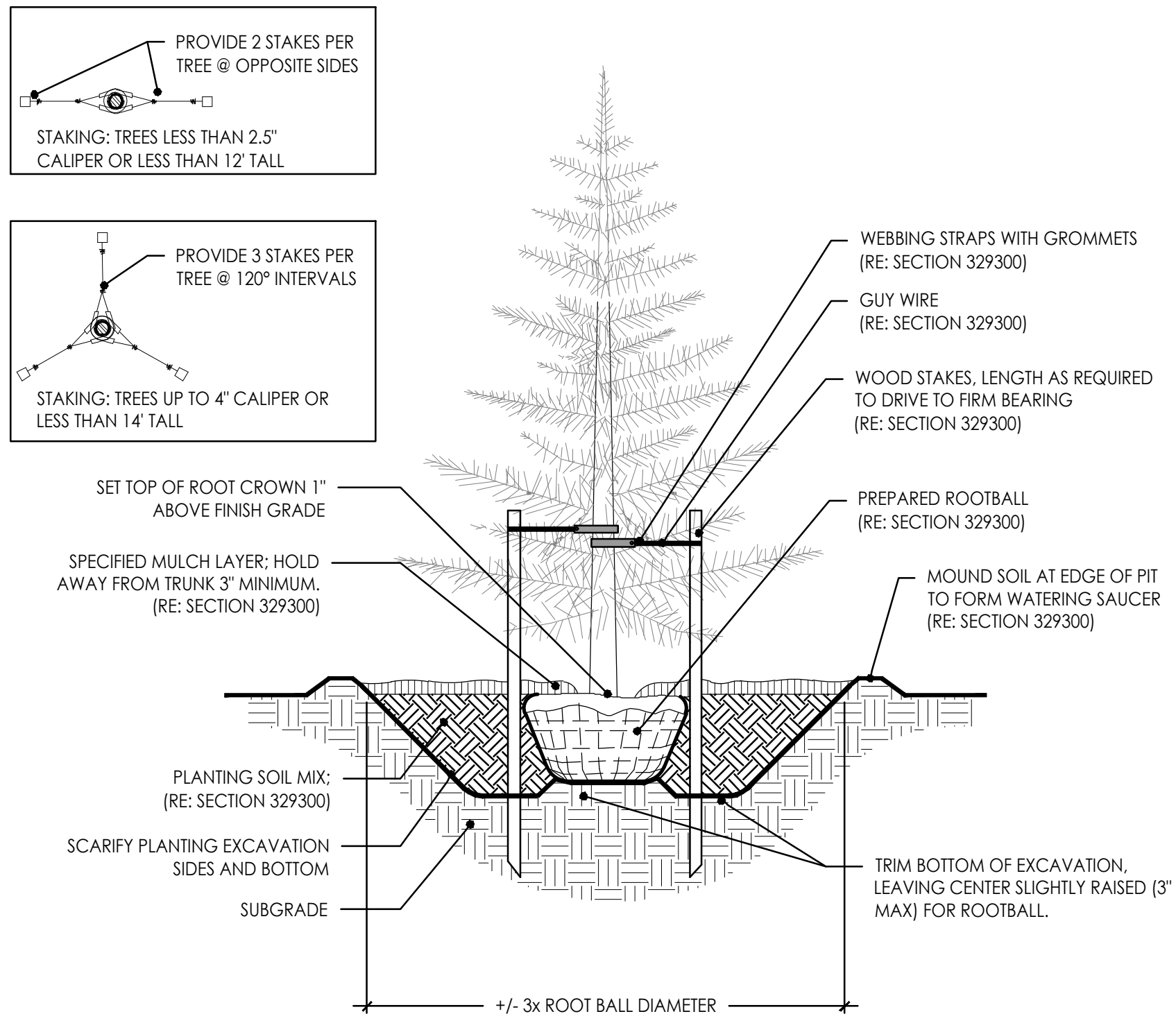


DATE: 7/28/2023  
 DESIGN BY: BDR/RWB  
 DRAWN BY: BDR/RWB  
 PROJECT NO.: 15410.10  
 SHEET NUMBER  
**L120**  
**PLANTING DETAILS**

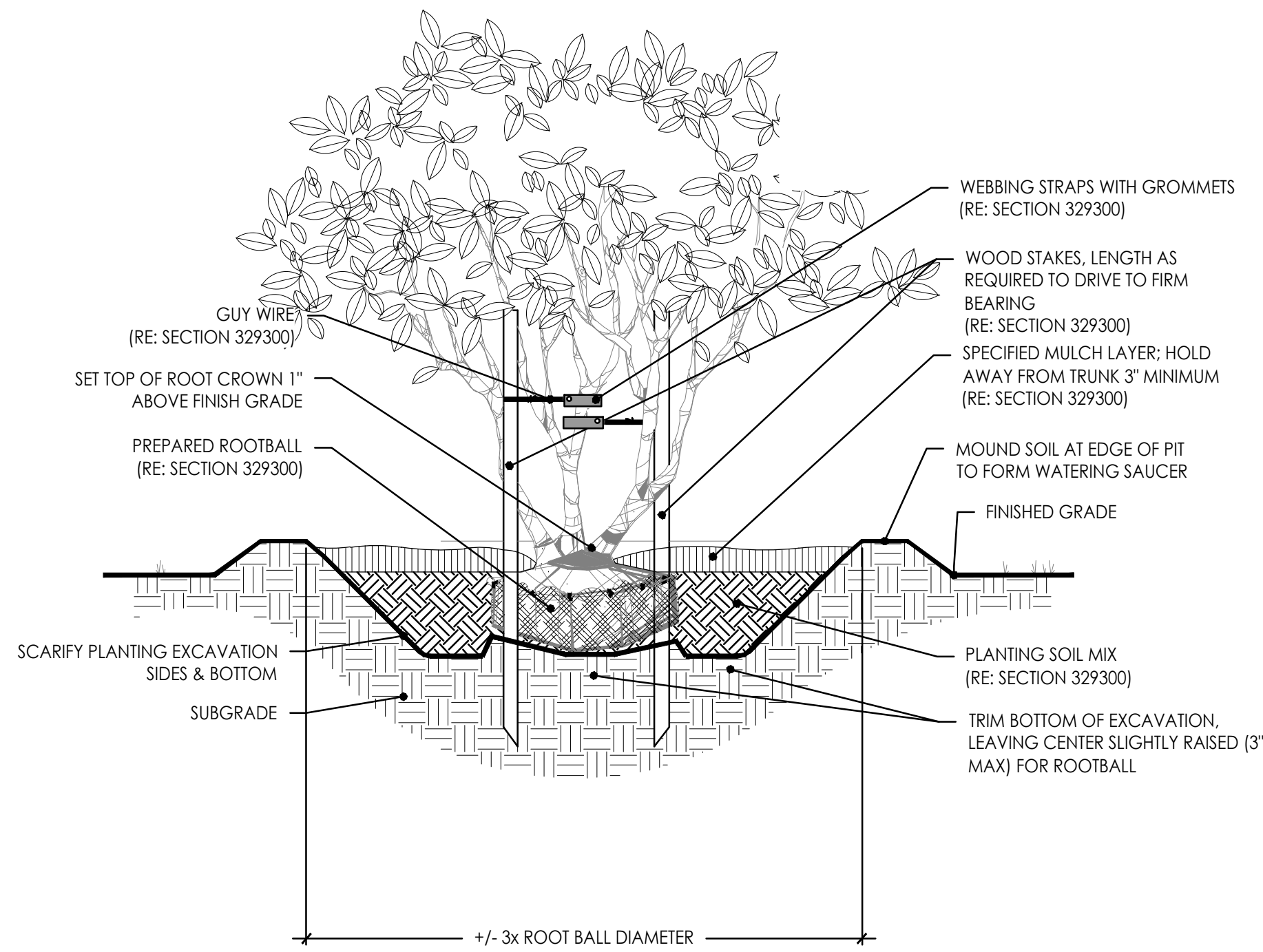
Bob G. Bushyhead Landscape Architect License No. xxxxxxxxxx		M2 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri		
NO.	DATE	REVISIONS	BY	APPROVED
1	9/01/23	CITY COMMENTS	RWB	BCB



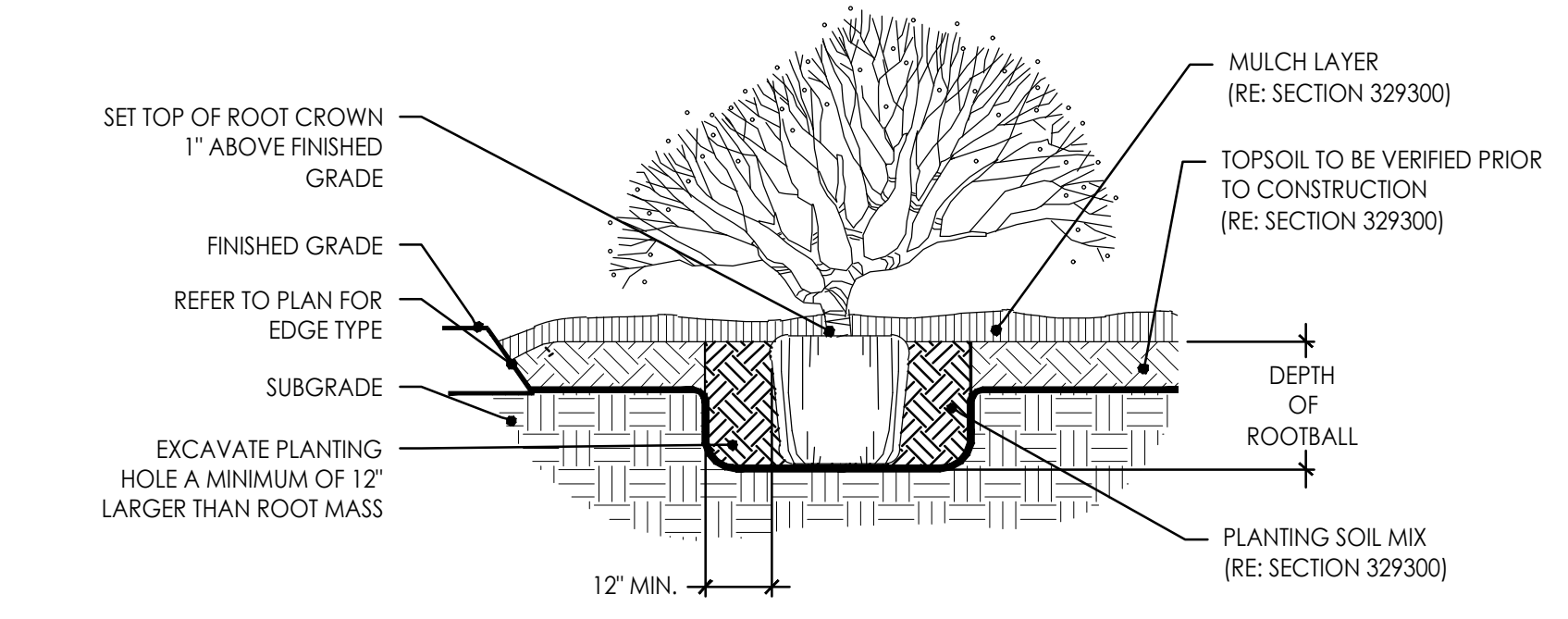
**1 DECIDUOUS TREE**  
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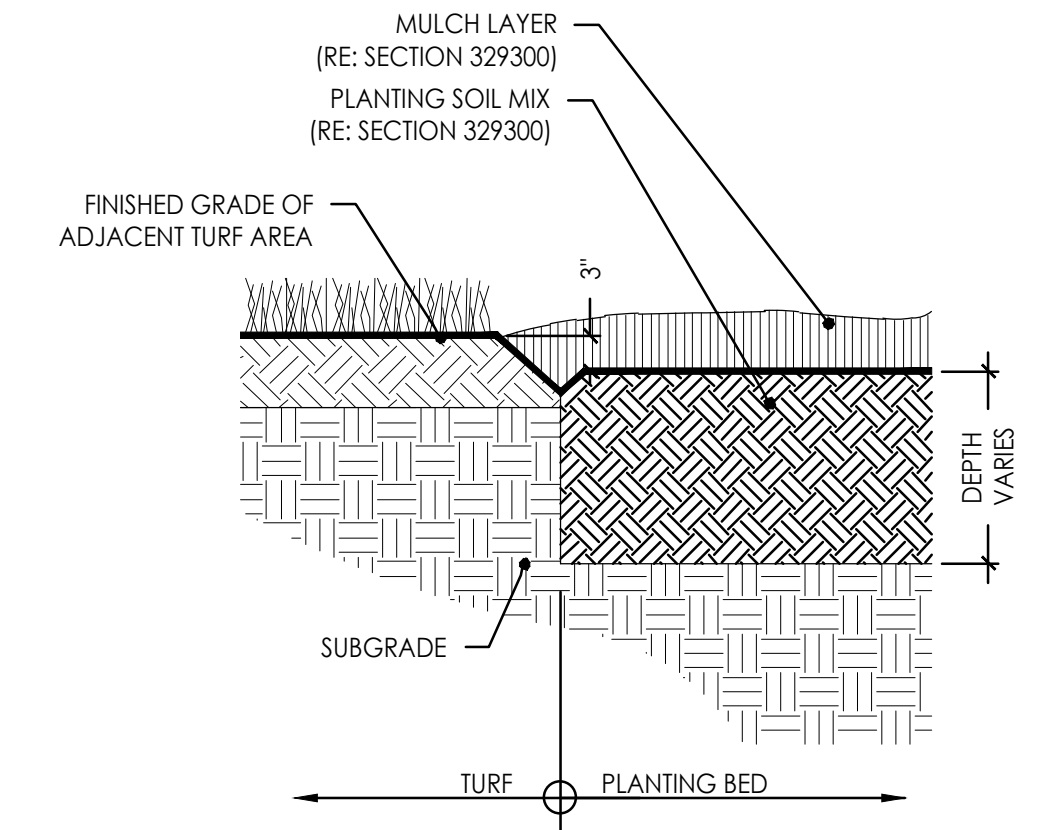
**2 EVERGREEN TREE**  
Scale: N.T.S.



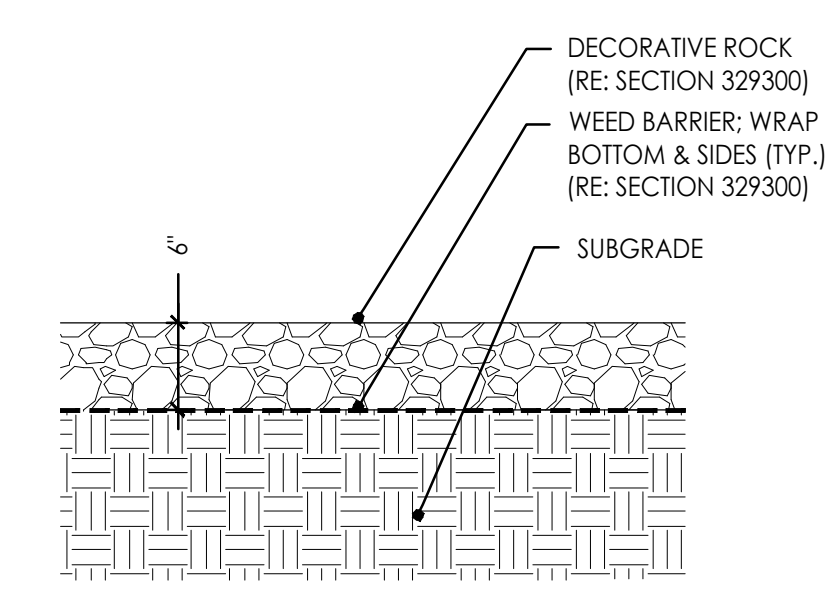
**3 MULT-STEM TREE**  
Scale: N.T.S.



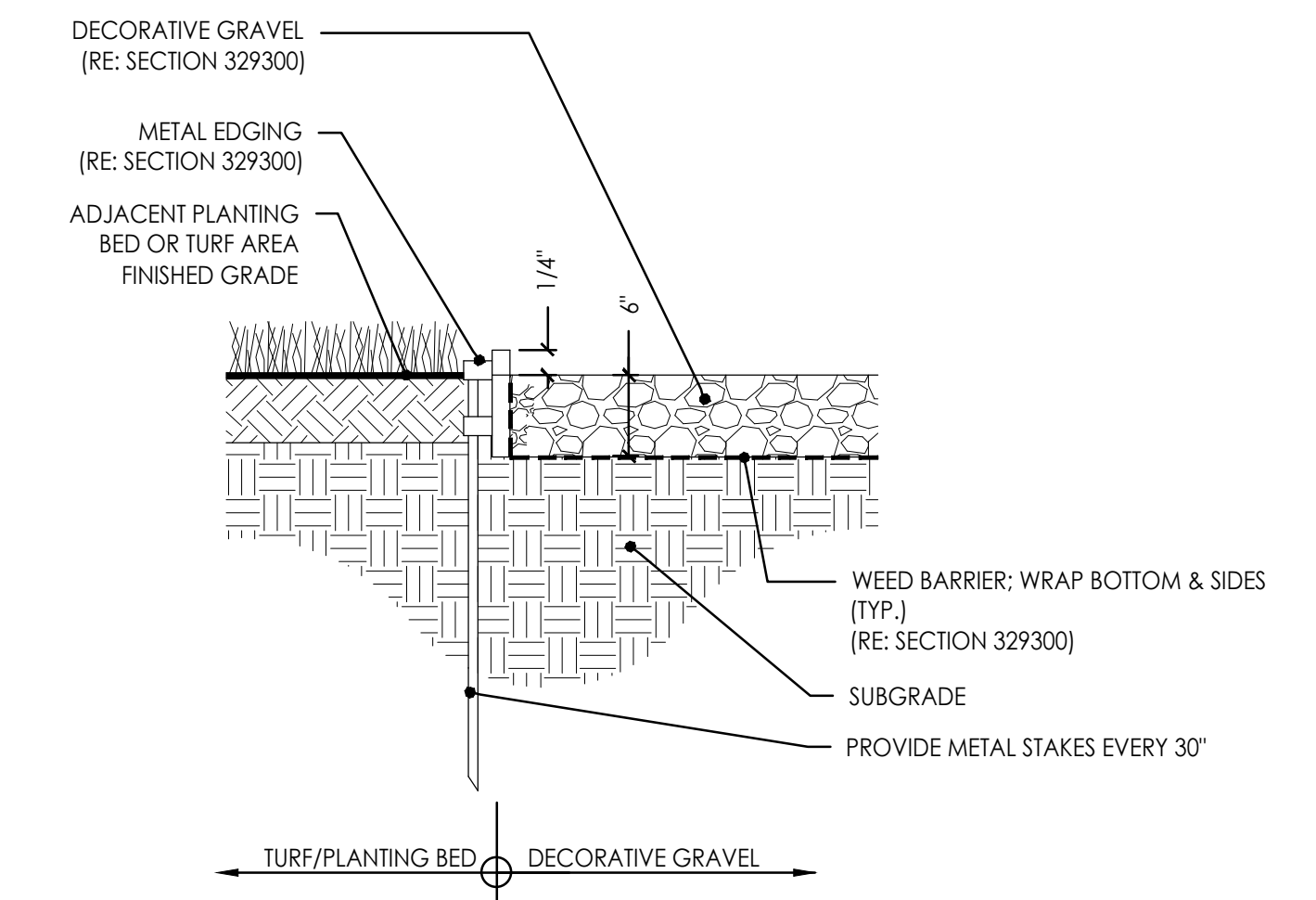
**4 SHRUB**  
Scale: N.T.S.



**5 CULTIVATED EDGE**  
Scale: N.T.S.



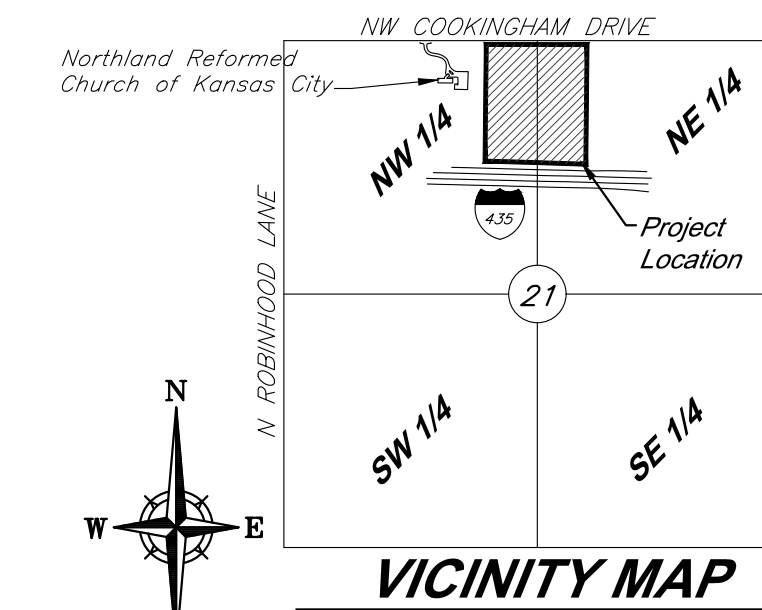
**6 DECORATIVE ROCK**  
Scale: N.T.S.



**7 METAL EDGE @ DECORATIVE ROCK**  
Scale: N.T.S.



OWNER:  
VELVET TECH SERVICES LLC  
UNPLATTED



**GBA**  
801 Renner Blvd., Ste. 300  
Lenexa, KS 66219  
913.492.0400  
gba.com

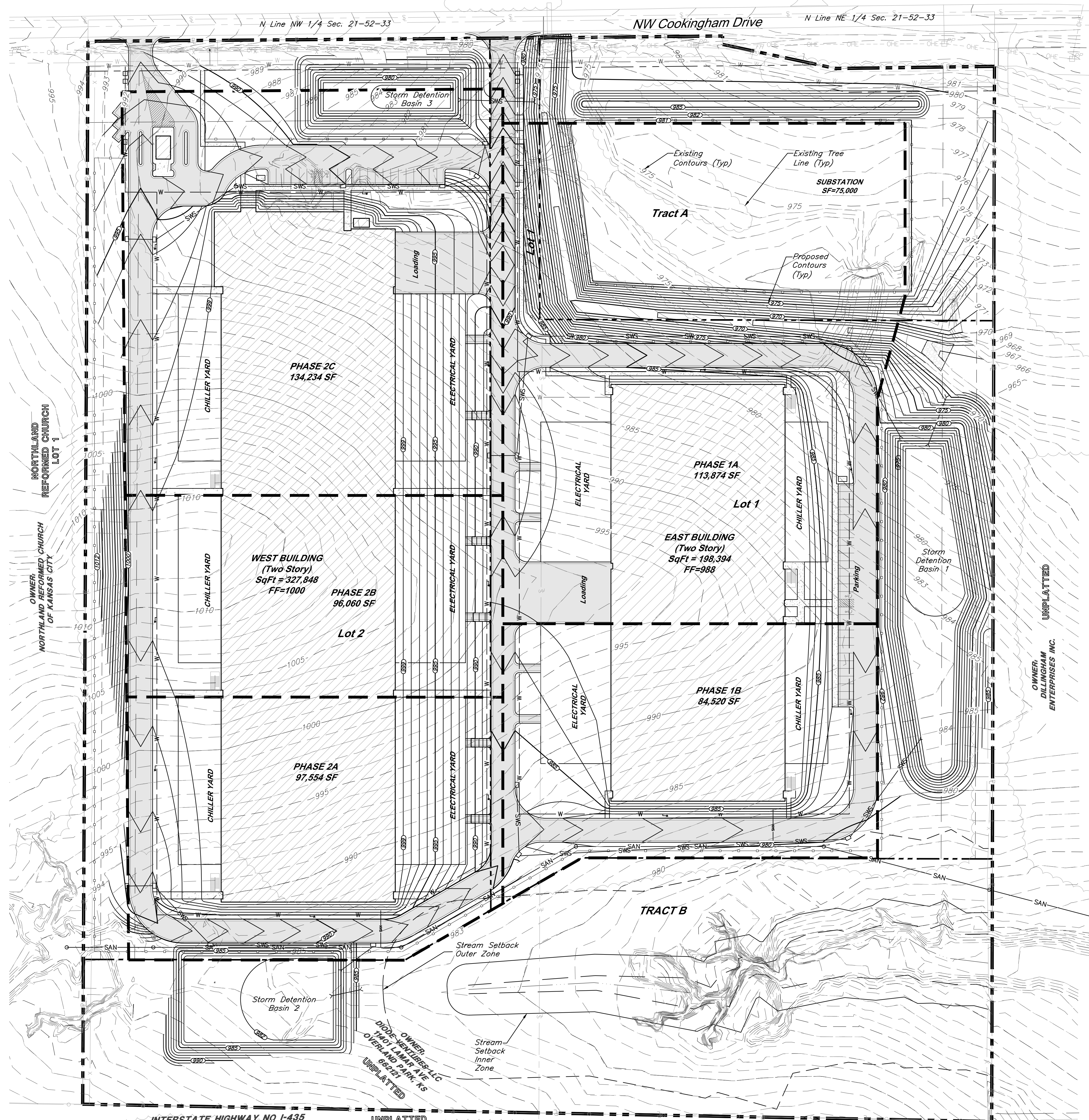
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DESIGN BY: CEL  
DRAWN BY: GAN/ELS  
PROJECT NO.: 15410.10  
SHEET NUMBER  
**C4**

Clint Loumaster Professional Engineer License No. PB-2011009651		M-2 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri	
NO.	DATE	REVISIONS	BY APPROVED
1	9/15/23	City Comments 9/1/2023	ELS
2	10/3/23	City Comments 9/27/2023	ELS

**VICINITY MAP**  
Scale: 1" = 2000'  
Part of the NW & NE 1/4  
Section 21-Township 52-Range 33  
IN THE  
CITY OF KANSAS CITY  
PLATTE COUNTY,  
MISSOURI

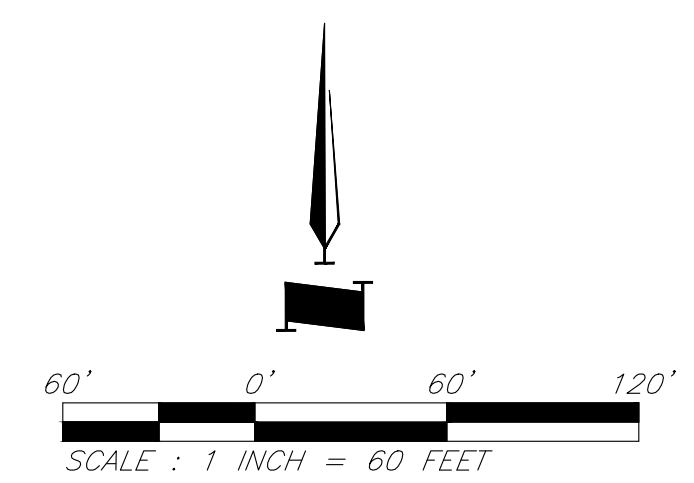
- Legend**
- Proposed Building
  - Concrete Sidewalk
  - Proposed Asphalt Pavement
  - Property Boundary
  - Proposed Right-of-Way
  - Phase Line
  - Lot Line
  - 60' Building Setback
  - 20' Parking Setback
  - Proposed Security Fence
  - Proposed Water Line
  - Proposed Storm Sewer
  - Proposed Sanitary Sewer
  - Proposed Sanitary Manhole
  - Proposed Storm Structure
  - Proposed Fire Hydrant
  - Proposed Contours
  - Existing Contour Major
  - Existing Contour Minor
  - Existing Tree Line
  - TW Top of Wall
  - BW Base of Wall

Proposed grading shall comply with ADA requirements.



OWNER:  
DILLINGHAM  
ENTERPRISES INC.  
UNPLATTED

OWNER:  
DILLINGHAM ENTERPRISES-LLC  
17441 LAMAR AVE  
66227  
UNPLATTED



**Grading Plan**

C:\15410.10\Civil\3D\Production Drawings\MPD Rezoning & Preliminary Development Plan\15410.10\CD0700.dwg Layout: C4 Grading Plan -- Tuesday, October 03, 2023, 4:32pm -- Copyright 2023, George Butler Associates/Architect 00212, Professional Engineer 000133, Professional Land Surveyor 000269



C:\15410.10\Civil\3D\Production Drawings\MPD Rezoning & Preliminary Development Plan\15410.10C02000.dwg Layout: C5 Utility Plan -- Tuesday, October 03, 2023, 4:32pm -- Copyright 2023, George Butler Associates, Architect 00212, Professional Engineer 000133, Professional Land Surveyor 000269

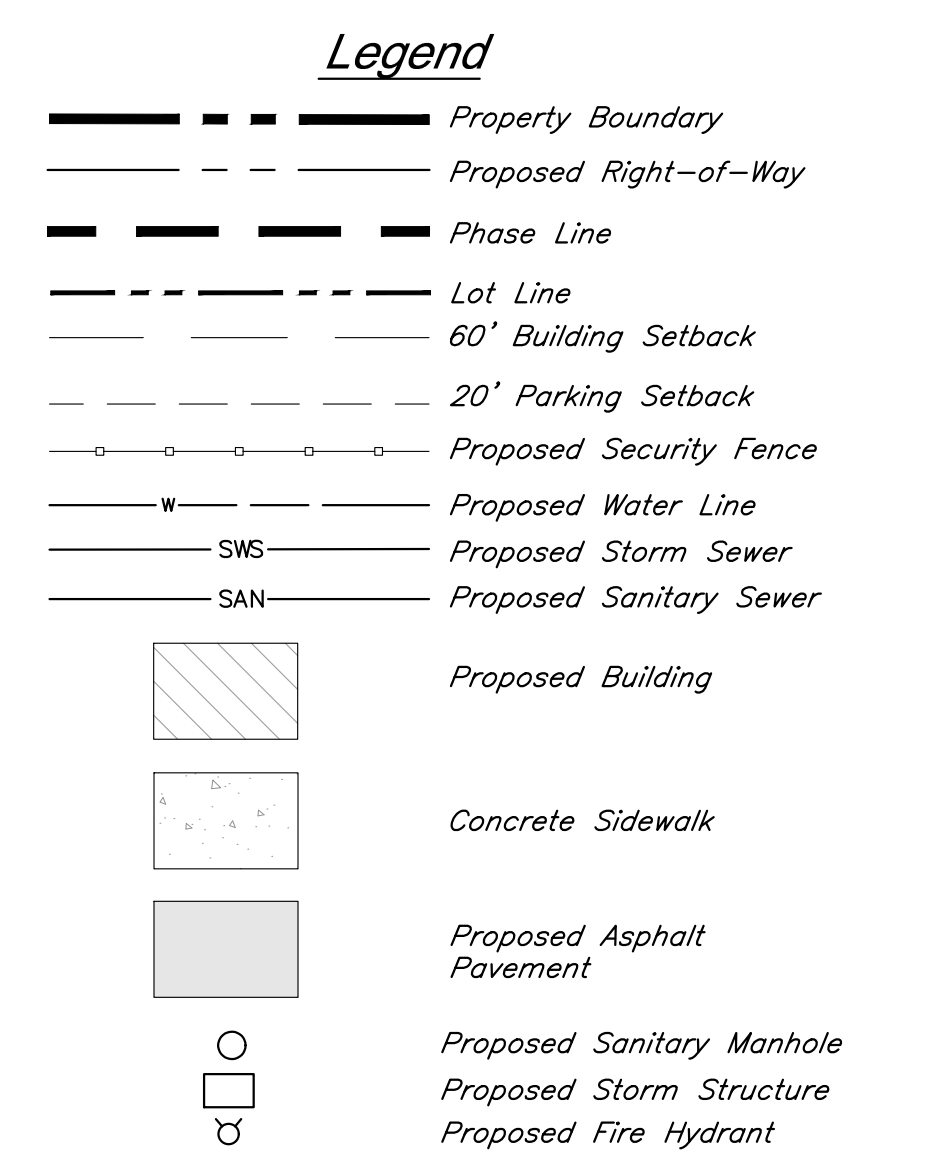
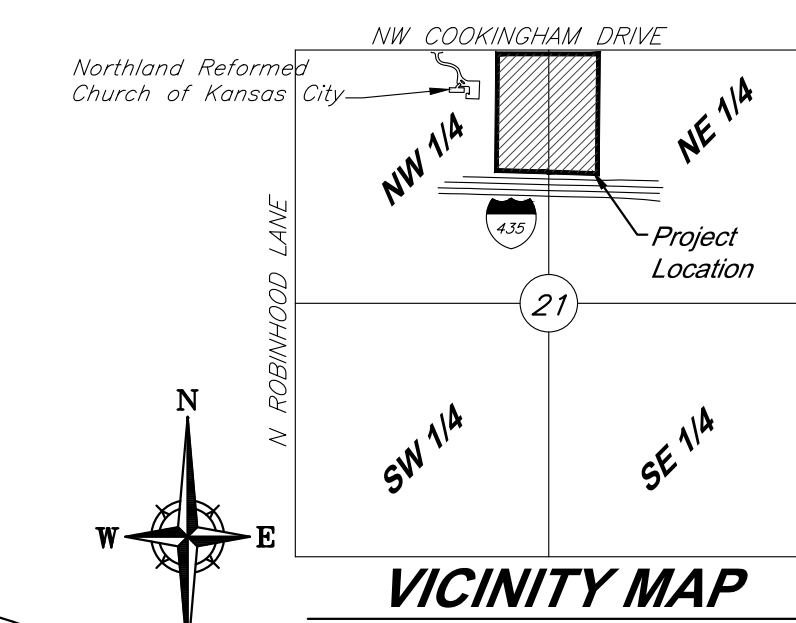
**GBA**

8901 Renner Blvd., Ste. 300  
Lenexa, KS 66219  
913.492.0400  
gbateam.com

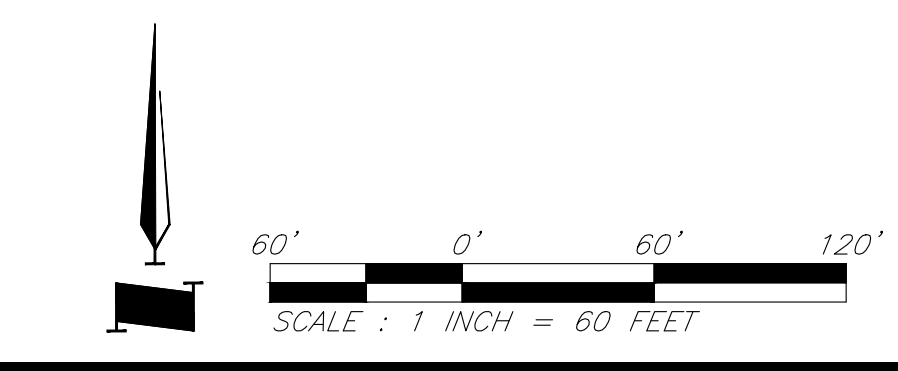
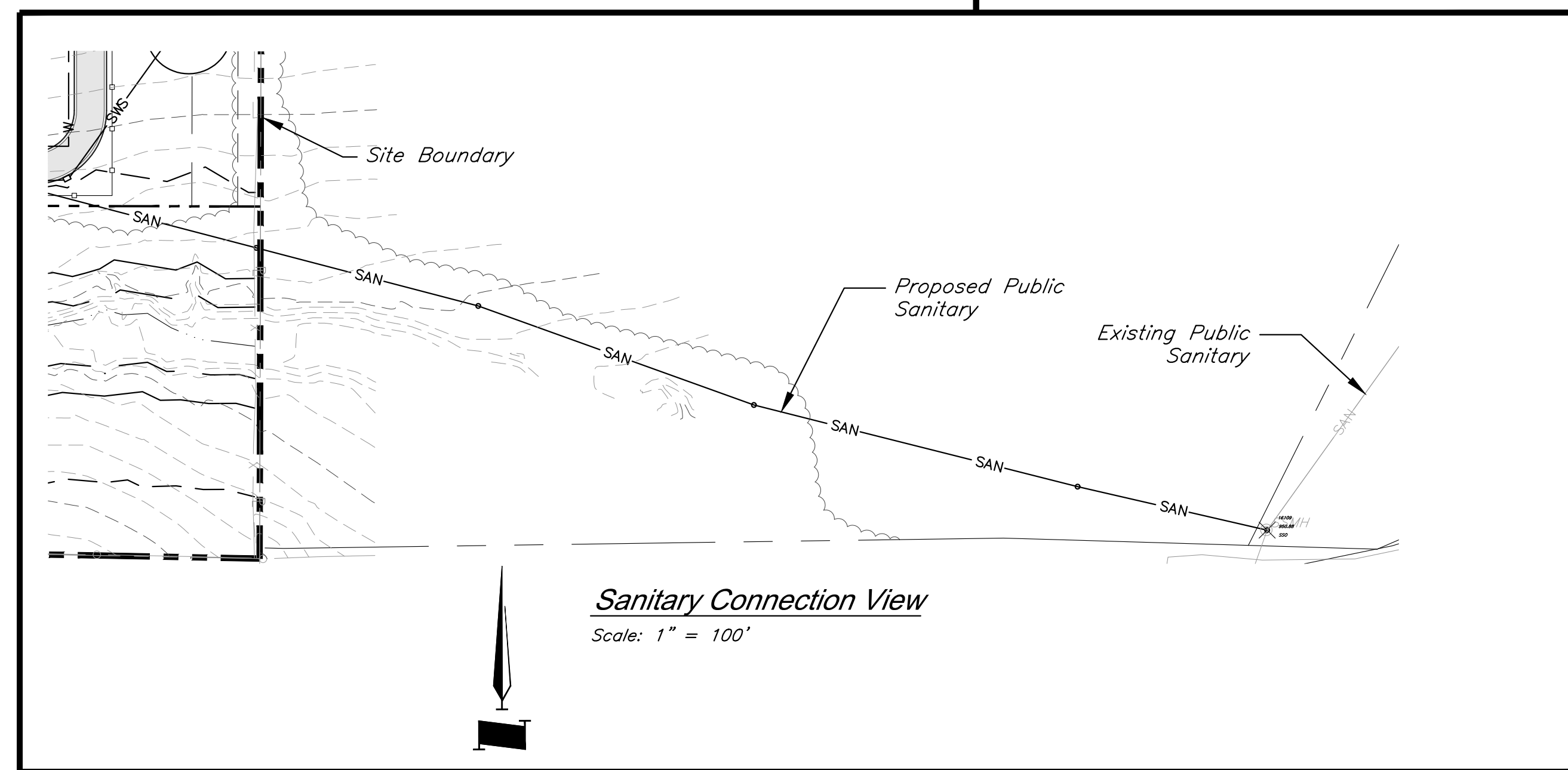
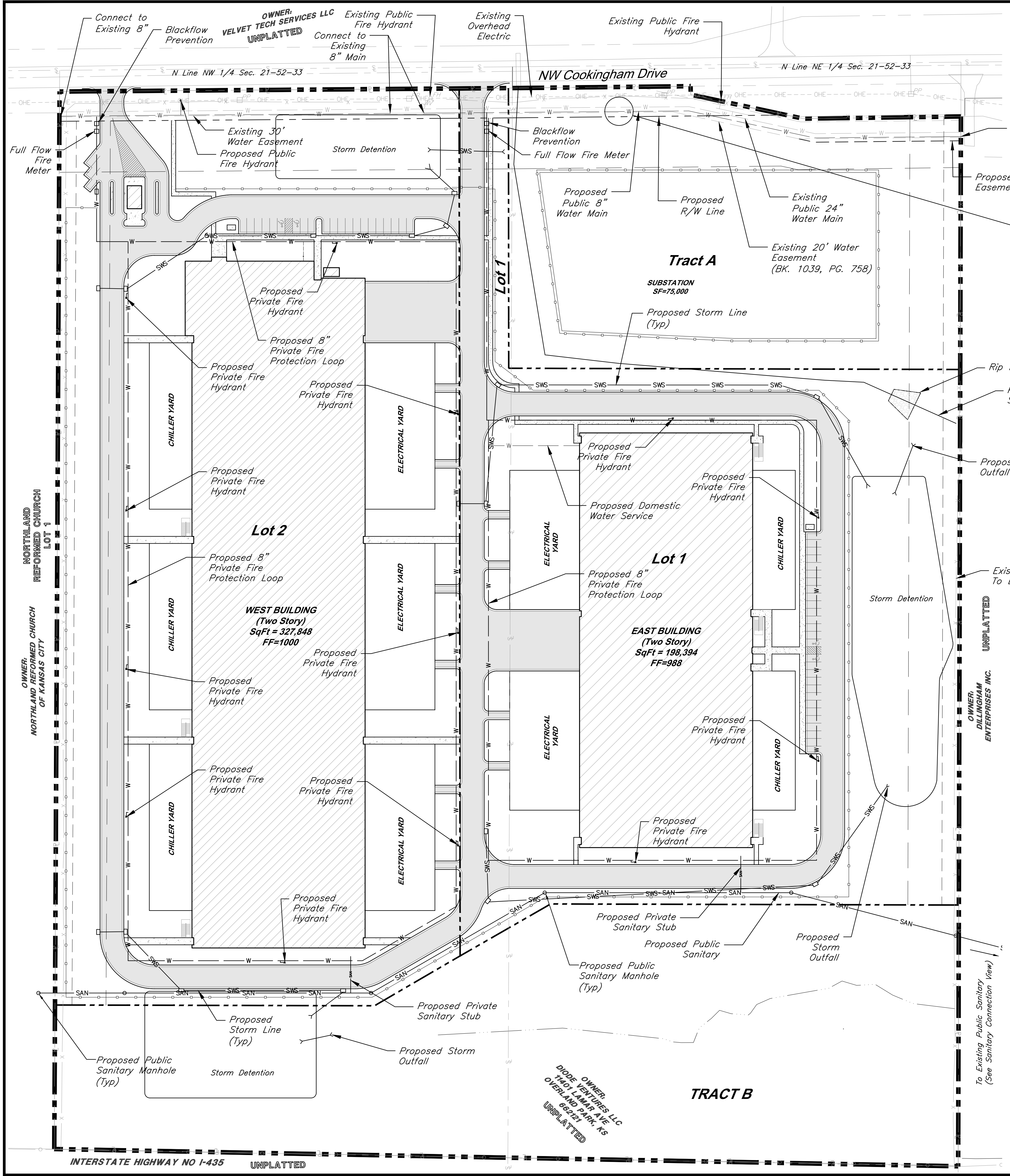
DATE: 8/11/2023  
DESIGN BY: CEL  
DRAWN BY: GAN/ELS  
PROJECT NO.: 15410.10  
SHEET NUMBER

**C5**

Clint Loumaster Professional Engineer License No. PB-2011009651		M-2 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri	
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2	10/3/23	City Comments 9/27/2023	ELS



- General Notes:**
1. Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site.
  2. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018.
  3. Required fire department access roads shall be all weather surfaces.
  4. Security gates which span across a fire access road shall provide a means for emergency operation.
  5. Required fire department access roads shall be designed to support a fire apparatus with a gross axle weight of 85,000 pounds.
  6. All access roads must be completed within the first phase of construction.
  7. Public sanitary sewer easements will be located in future work.
  8. Public fire hydrants shall meet maximum 300' spacing along Cookingham Drive.



**Utility Plan**



**General Notes:**

- No mitigation shall be required if contiguous tree canopy cover is less than one acre.

Tree Removal & Preservation Data Table	
Total Tree Acres on Property	12.01
Total Acres to be Removed	6.19
Total Acres to be Preserved	12.01

Planting Summary	
Tree Size (IN)	Quantity
2	65
1.5	14
Total Caliper Inch	151

Mitigation Rate Calculation (88-424-07)	
Step 1	6.19 AC
Step 2	2.58 AC
Step 3	0.903 AC
Step 4	135.45 IN
Step 5	-15.55 IN

No further mitigation is required.

**Legend**

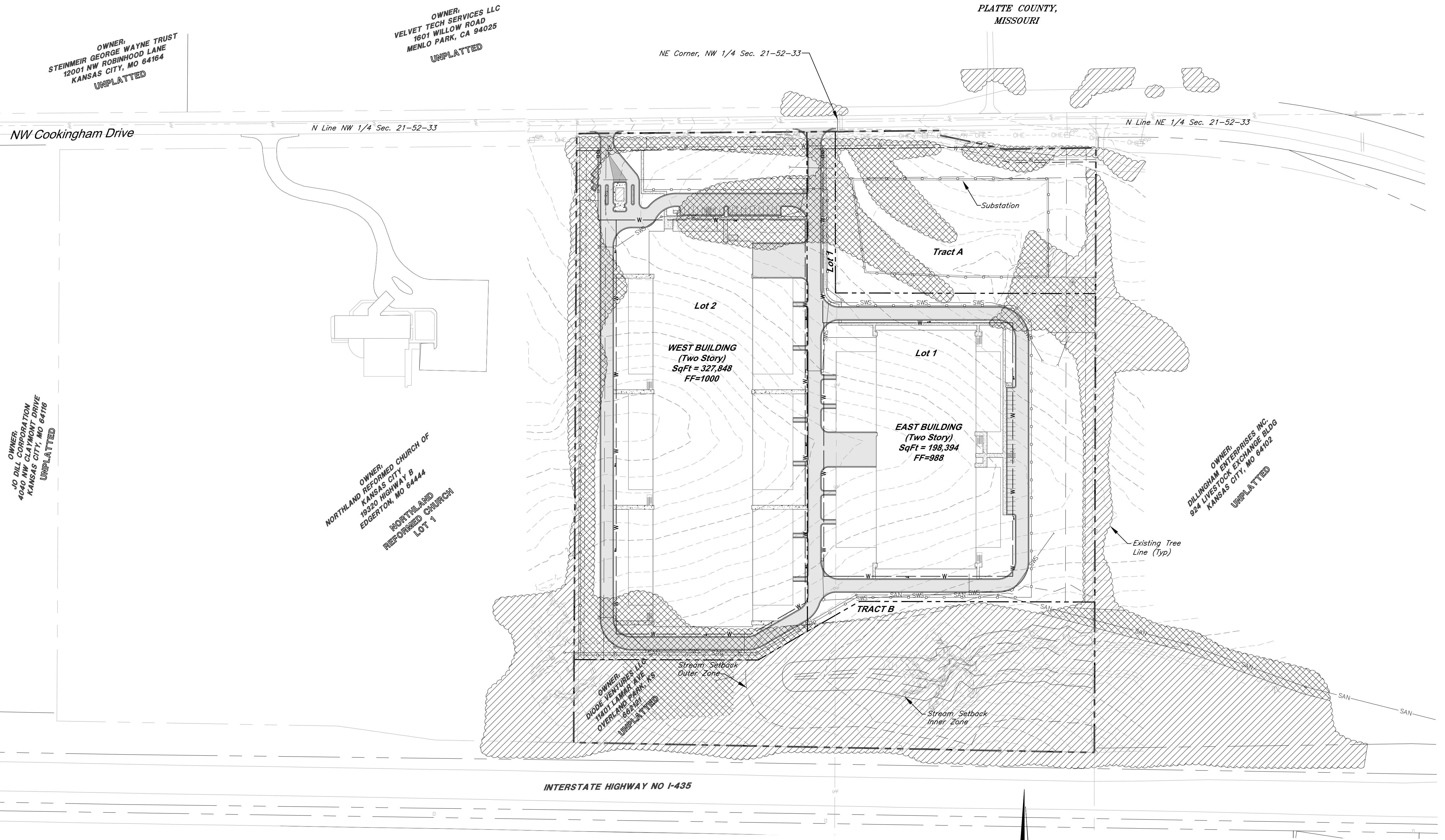
- Proposed Building
- Property Boundary
- Concrete Sidewalk
- Proposed Right-of-Way
- Lot Line
- 60' Building Setback
- 20' Parking Setback
- Proposed Asphalt Pavement
- Proposed Security Fence
- Proposed Water Line
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant
- Trees Removed
- Trees Preservation
- Existing Tree Line

**VICINITY MAP**

Scale: 1" = 2000'

Part of the NW & NE 1/4 Section 21-Township 52-Range 33 IN THE CITY OF KANSAS CITY PLATTE COUNTY, MISSOURI

<p>9801 Renner Blvd., Ste. 300 Lenexa, KS 66219 913.492.0400 gbateam.com</p>		<p>DATE: 8/11/2023</p> <p>DESIGN BY: CEL</p> <p>DRAWN BY: GAN/ELS</p> <p>PROJECT NO.: 15410.10</p> <p>SHEET NUMBER</p> <p><b>C6</b></p>		
<p>Clint Loumaster Professional Engineer License No. PB-2011009651</p>		<p>M-2 Rezoning - Pre. Development Plan &amp; Pre. Plat</p> <p><b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri</p>		
NO.	DATE	REVISIONS	BY	APPROVED
1	9/15/23	City Comments 9/1/2023	ELS	
2	10/3/23	City Comments 9/27/2023	ELS	



OWNER:  
STEINMEIR GEORGE WAYNE TRUST  
12001 NW ROBINHOOD LANE  
KANSAS CITY, MO 64164  
UNPLATTED

OWNER:  
VELVET TECH SERVICES LLC  
1601 WILLOW ROAD  
MENLO PARK, CA 94025  
UNPLATTED

OWNER:  
JO DILL CORPORATION  
4040 NW CLAYMONT DRIVE  
KANSAS CITY, MO 64116  
UNPLATTED

OWNER:  
NORTHLAND REFORMED CHURCH OF KANSAS CITY  
1920 HIGHWAY B  
EDGERTON, MO 64444  
NORTHLAND REFORMED CHURCH LOT 1

OWNER:  
DIODE VENTURES LLC  
1740 LINDA LANE  
OVERLAND PARK, KS 66204  
UNPLATTED

OWNER:  
DILLINGHAM ENTERPRISES INC.  
924 LIVESTOCK EXCHANGE BLDG  
KANSAS CITY, MO 64102  
UNPLATTED

100' 0' 100' 200'

SCALE : 1 INCH = 100 FEET

**Tree Removal & Tree Preservation Plan**

C:\15410.10\Civil\3D\Production Drawings\MRD Rezoning & Preliminary Development Plan\15410.10C022800.dwg Layout: C6 Tree Removal & Tree Preservation Plan -- Tuesday, October 03, 2023, 4:33pm -- Copyright 2023, Robert G. Babin/Professional Engineer, 0001133, Professional Land Surveyor, 0002059

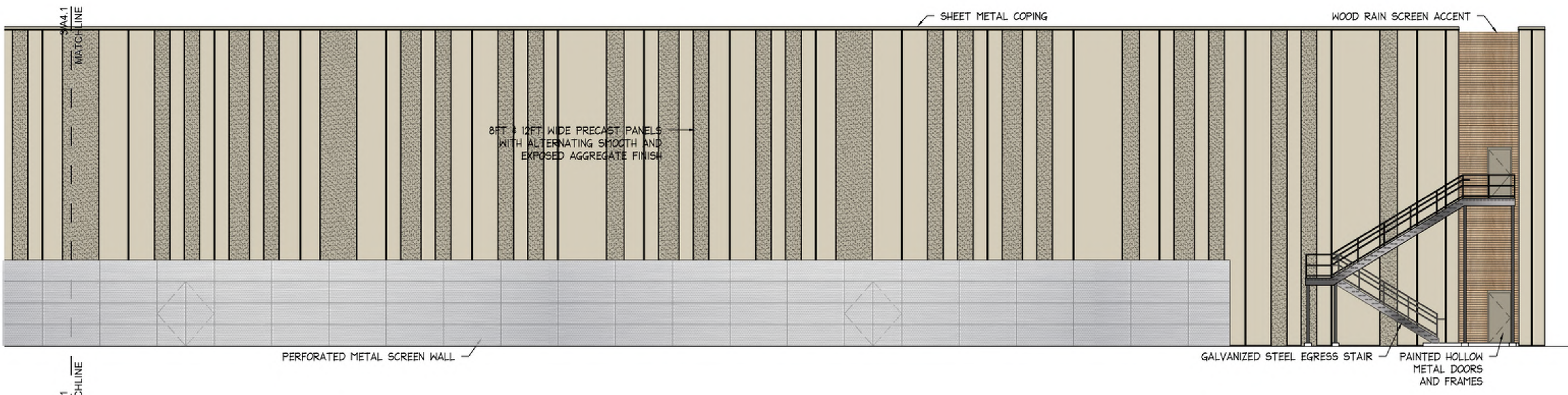


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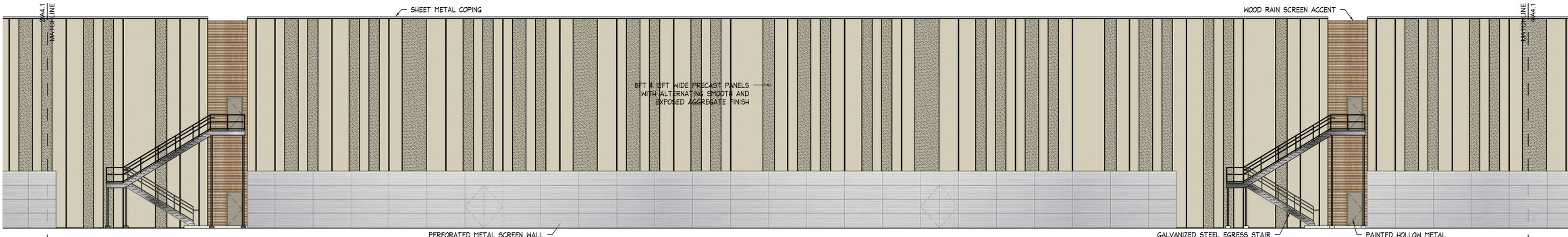
**GBA Realty**  
9801 Renner Blvd.  
Lenexa, Kansas 66219

PROJECT:  
**Cookingham Development**

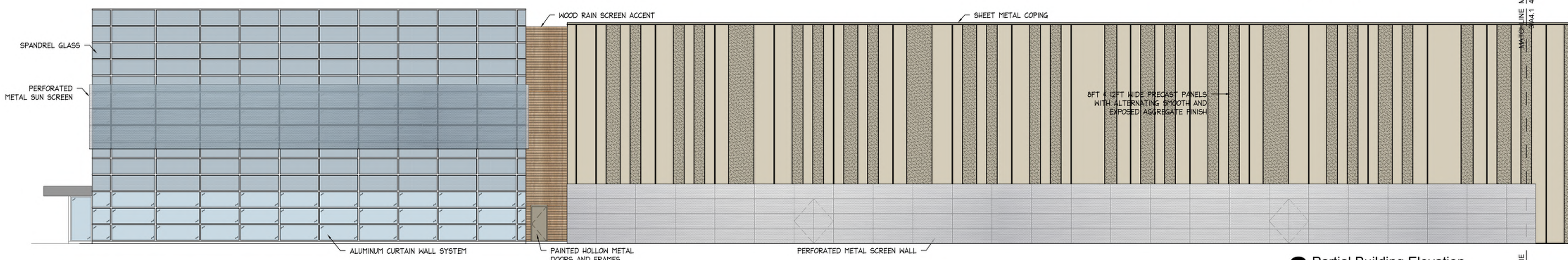
ARCHITECT:  
**Bell / Knott & Associates**  
CORPORATE ARCHITECTS, P.C.  
12730 State Line Road Suite 100 Leawood, KS 66209  
Voice: 913.378.1600 Fax: 913.378.1601 www.bellknott.com



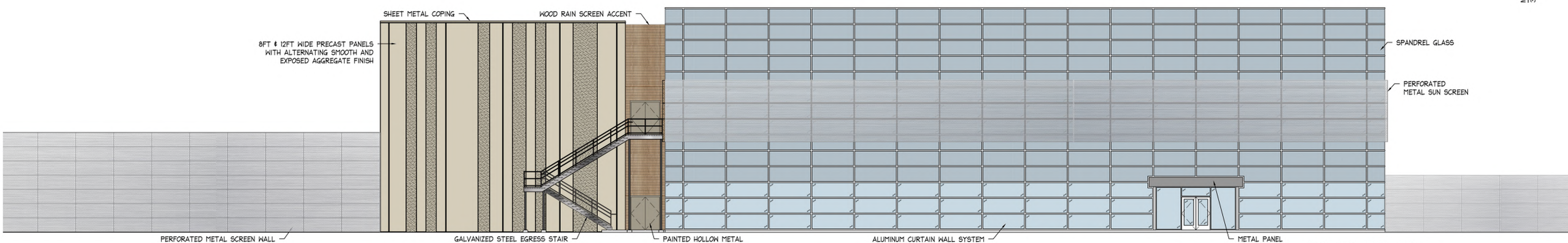
**4** Partial Building Elevation  
West Facing  
3/32" = 1'-0"



**3** Partial Building Elevation  
West Facing  
3/32" = 1'-0"



**2** Partial Building Elevation  
West Facing  
3/32" = 1'-0"



**1** Building Elevation  
North Facing  
3/32" = 1'-0"

General Note: All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded/included exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.

SEAL:

REVISIONS:

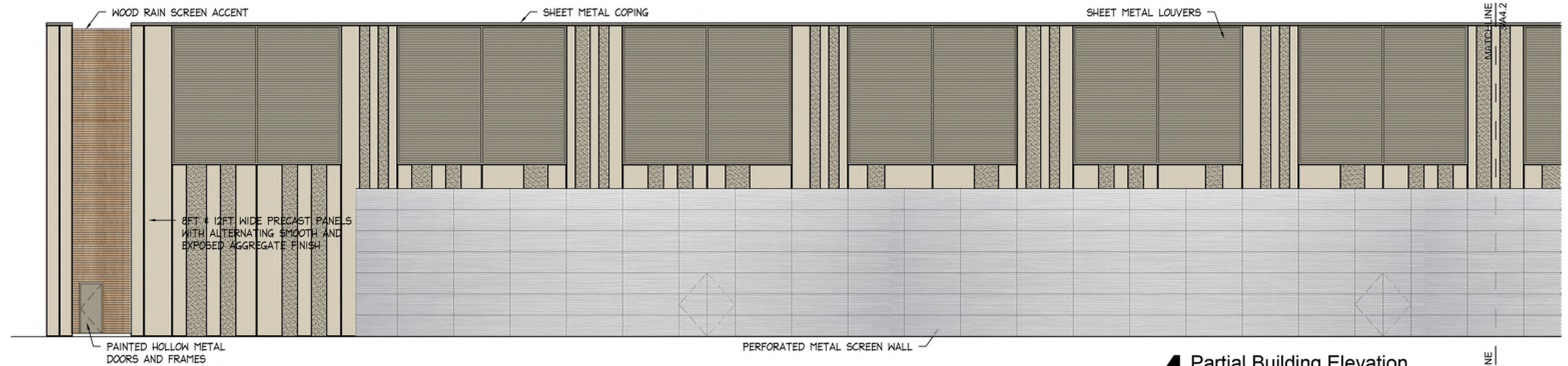

ISSUE DATE:	July 25, 2023
REASON FOR ISSUE:	REVIEW
PROJECT NUMBER:	23-034
PROJECT PHASE:	PD

SHEET TITLE:  
**PARTIAL BUILDING ELEVATIONS (WEST BUILDING)**

SHEET NUMBER:  
**A4.1**



- TOP OF PRECAST  
144' - 0"
- TOP OF JOISTS  
140' - 0"
- ACOUSTICAL CEILING  
132' - 0"
- FINISHED FLOOR (2ND)  
130' - 0"
- TOP OF SLAB (2ND)  
117' - 0"
- ACOUSTICAL CEILING  
112' - 0"
- FINISHED FLOOR (1ST)  
100' - 0"

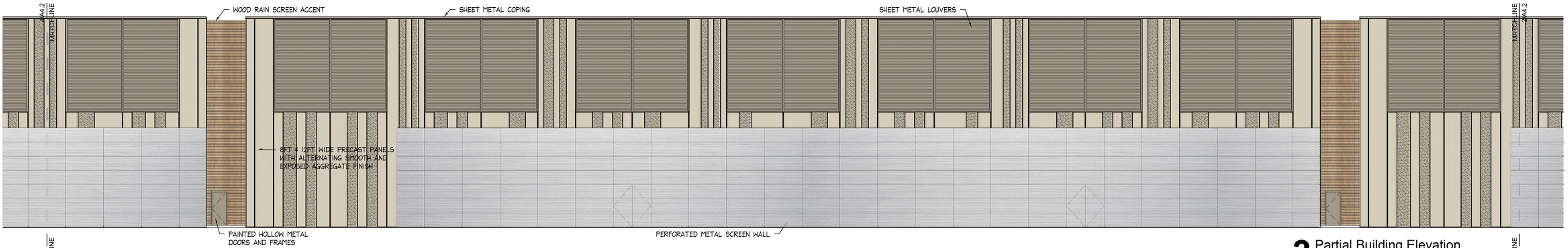


**4** Partial Building Elevation  
East Facing  
3/32" = 1'-0"

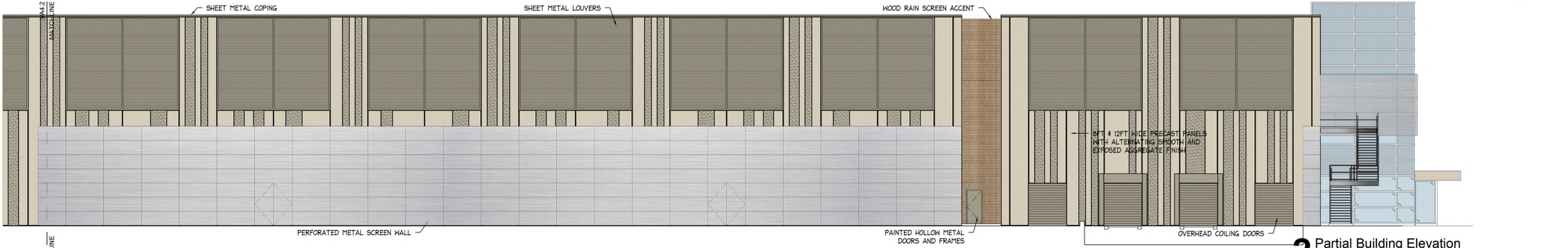
CLIENT:  
**GBA Realty**  
9801 Renner Blvd.  
Lenexa, Kansas 66219

PROJECT:  
**Cookingham Development**

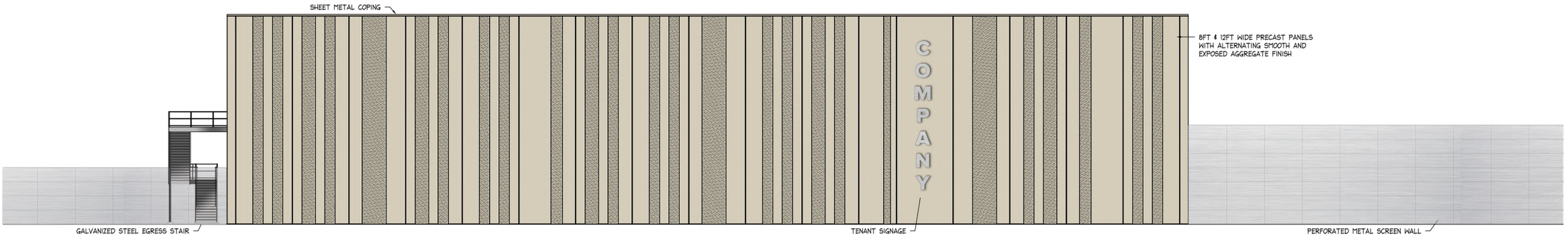
ARCHITECT:  
**Bell / Knott & Associates**  
CORPORATE ARCHITECTS, P.C.  
12730 State Line Road Voice: 913.378.1600  
Suite 100 Fax: 913.378.1601  
Leawood, KS 66209 www.bellknott.com



**3** Partial Building Elevation  
East Facing  
3/32" = 1'-0"



**2** Partial Building Elevation  
East Facing  
3/32" = 1'-0"



**1** Building Elevation  
South Facing  
3/32" = 1'-0"

SEAL:

REVISIONS:


ISSUE DATE:	July 25, 2023
REASON FOR ISSUE:	REVIEW
PROJECT NUMBER:	23-034
PROJECT PHASE:	PD

SHEET TITLE:  
**PARTIAL BUILDING ELEVATIONS (WEST BUILDING)**

SHEET NUMBER:  
**A4.2**

*General Note:* All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded included exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extensions from, any building or structure shall be of similar or compatible materials, design and construction.



CLIENT:

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Lenexa, Kansas 66219

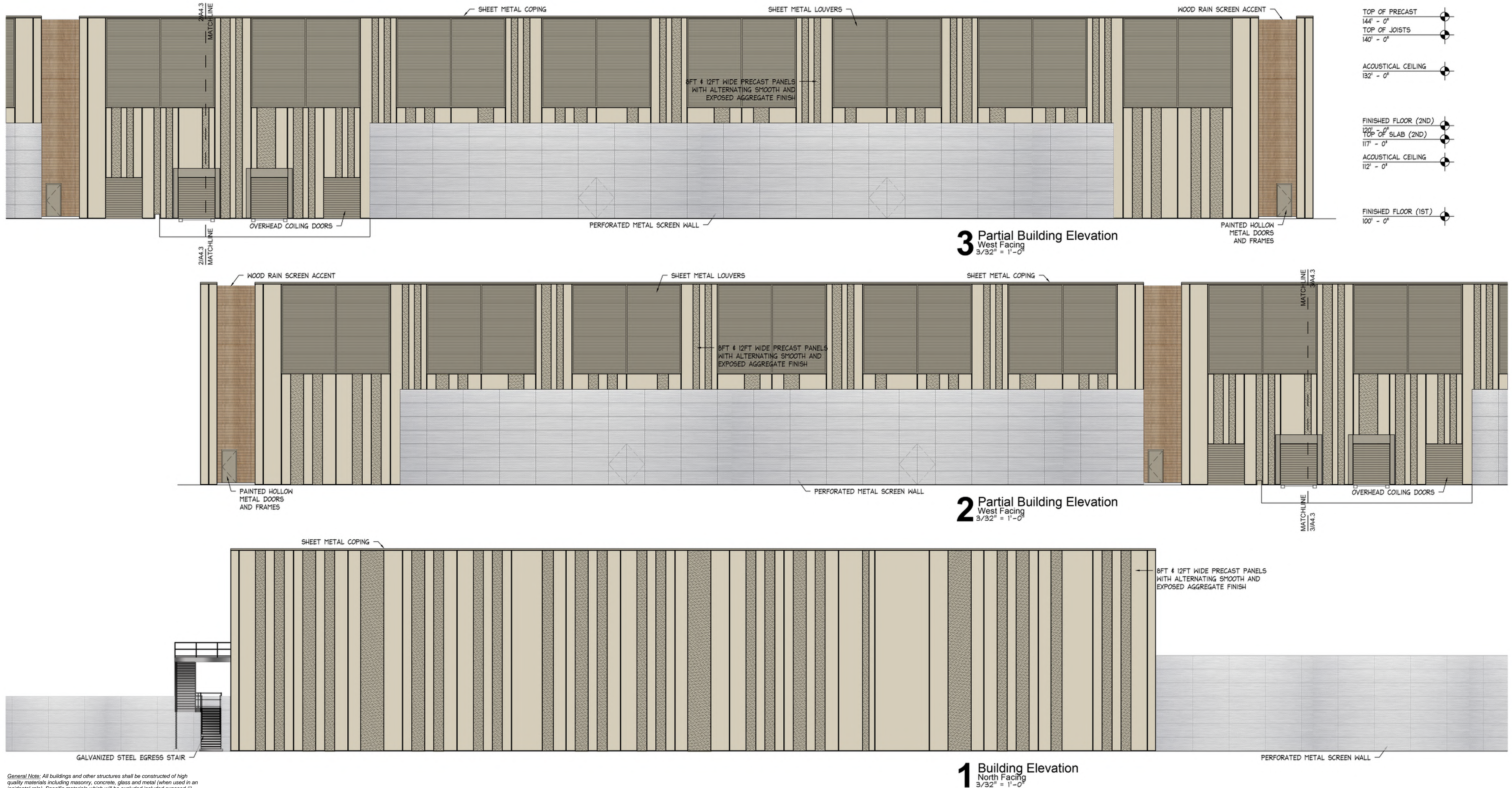
PROJECT:

## Cookingham Development

ARCHITECT:

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Voice: 913.378.1600 Fax: 913.378.1601 www.bellknott.com



SEAL:

REVISIONS:

ISSUE DATE:	July 25, 2023
REASON FOR ISSUE:	REVIEW
PROJECT NUMBER:	23-034
PROJECT PHASE:	PD

### PARTIAL BUILDING ELEVATIONS (EAST BUILDING)

SHEET NUMBER:

# A4.3

General Note: All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded included exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.



CLIENT:

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Lenexa, Kansas 66219

PROJECT:

## Cookingham Development

ARCHITECT:

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12730 State Line Road Suite 100 Leawood, KS 66209  
Voice: 913.378.1600 Fax: 913.378.1601 www.bellknott.com

SEAL:

REVISIONS:

ISSUE DATE:	July 25, 2023
REASON FOR ISSUE:	REVIEW
PROJECT NUMBER:	23-034
PROJECT PHASE:	PD

### PARTIAL BUILDING ELEVATIONS (EAST BUILDING)

SHEET NUMBER:

# A4.4



General Note: All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass and metal (when used in an incidental role). Specific materials which will be excluded/included exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, appurtenant structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.



CLIENT:

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Lenexa, Kansas 66219

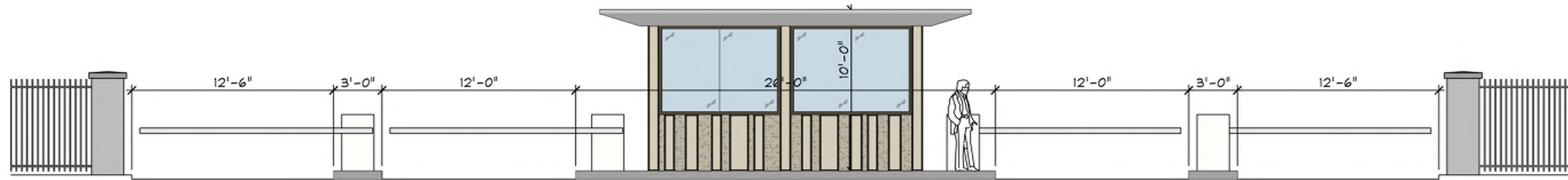
PROJECT:

## Cookingham Development

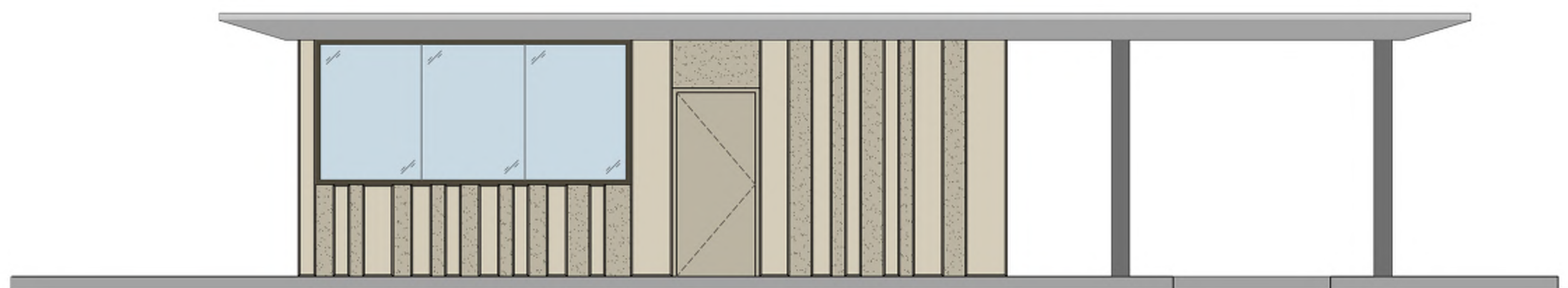
ARCHITECT:

### Bell / Knott & Associates

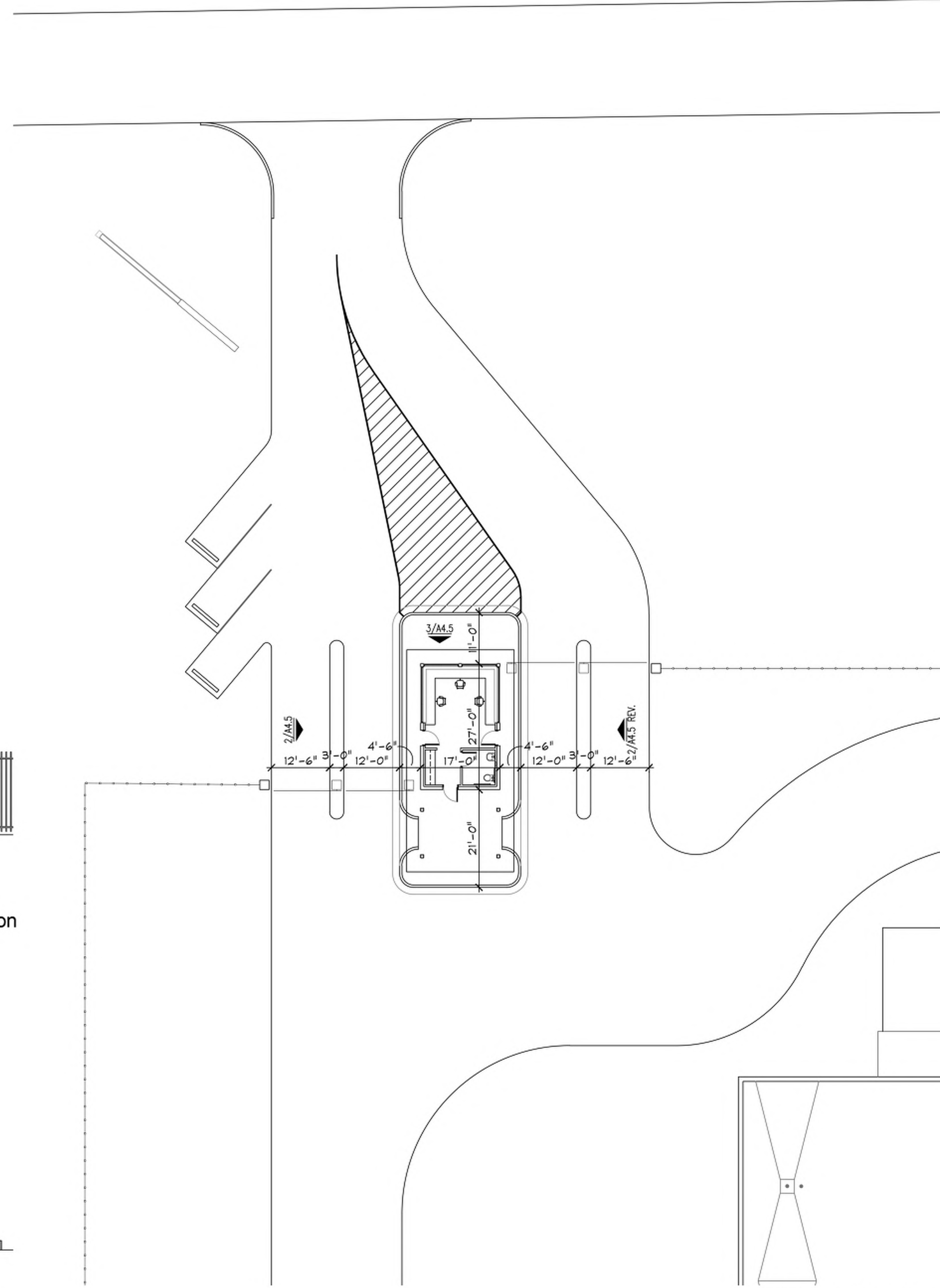
CORPORATE ARCHITECTS, P.C.  
12730 State Line Road Voice: 913.378.1600  
Suite 100 Fax: 913.378.1601  
Leawood, KS 66209 www.bellknott.com



**3** Guard House Front Elevation  
3/16" = 1'-0"



**2** Guard House Side Elevation  
1/4" = 1'-0"



**1** Enlarged Site Plan  
Entry Plan  
1/16" = 1'-0"

SEAL:

REVISIONS:

ISSUE DATE: July 25, 2023  
REASON FOR ISSUE: REVIEW  
PROJECT NUMBER: 23-034  
PROJECT PHASE: PD

SHEET TITLE:  
**GUARD HOUSE /  
MONUMENT SIGN  
PLAN & ELEVATIONS**

SHEET NUMBER:

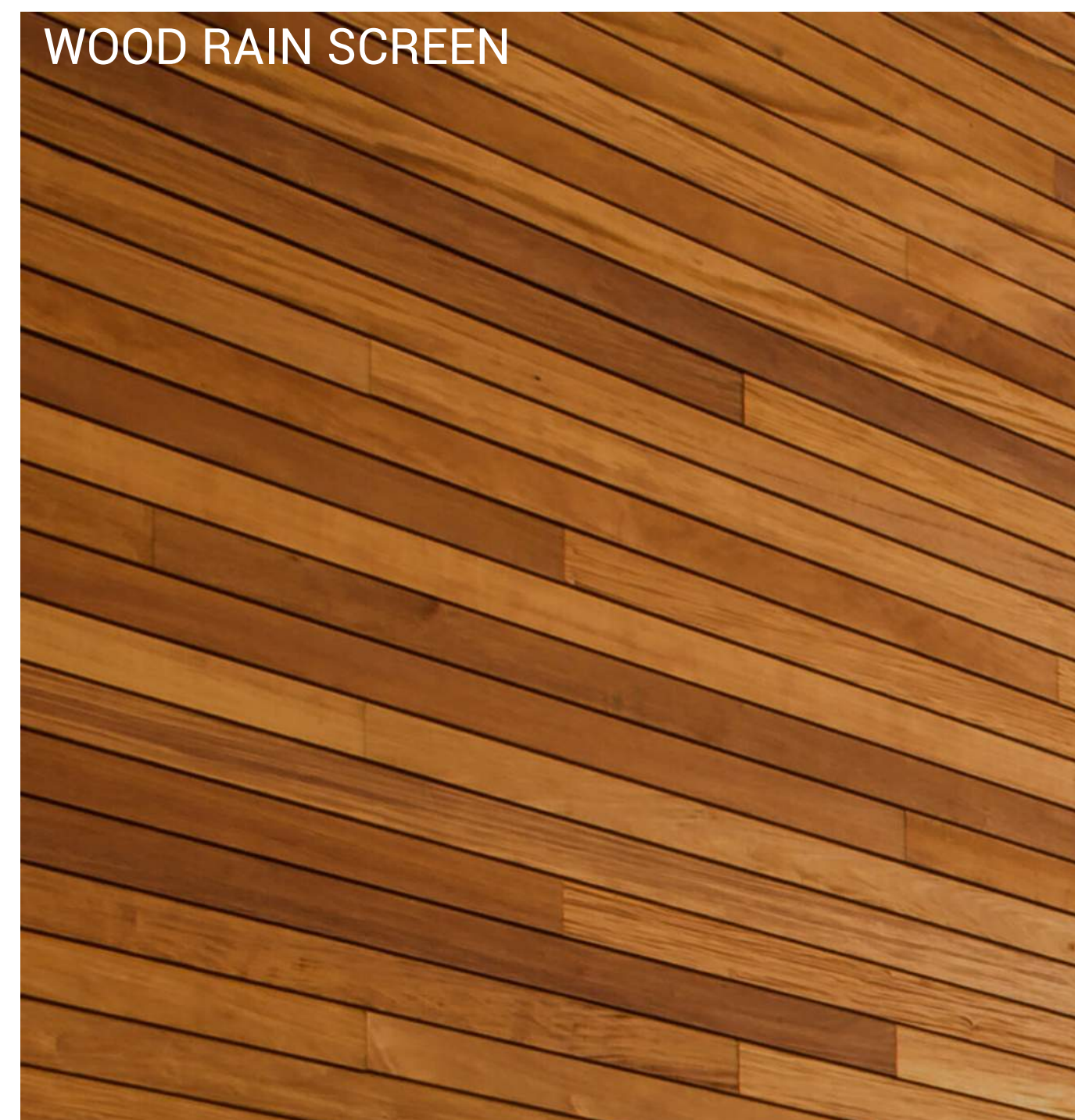
# A4.5



SHEET METAL COPING



PRECAST CONCRETE PANELS WITH SMOOTH & EXPOSED AGGREGATE FINISH



WOOD RAIN SCREEN



ALUMINUM CURTAIN WALL SYSTEM



PAINTED HOLLOW METAL DOORS & FRAMES



GALVANIZED STEEL STAIRS



PERFORATED METAL SCREEN WALL / SUN SCREEN



DECORATIVE SECURITY FENCING

CLIENT:

# GBA Realty

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Lenexa, Kansas 66219

PROJECT:

## Cookingham Development

ARCHITECT:

### Bell / Knott & Associates

CORPORATE ARCHITECTS, P.C.  
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Suite 100 Fax: 913.378.1601  
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SEAL:

REVISIONS:

△ AHJ Comments September 11, 2023

ISSUE DATE: July 25, 2023

REASON FOR ISSUE: REVIEW

PROJECT NUMBER: 23-034

PROJECT PHASE: PD

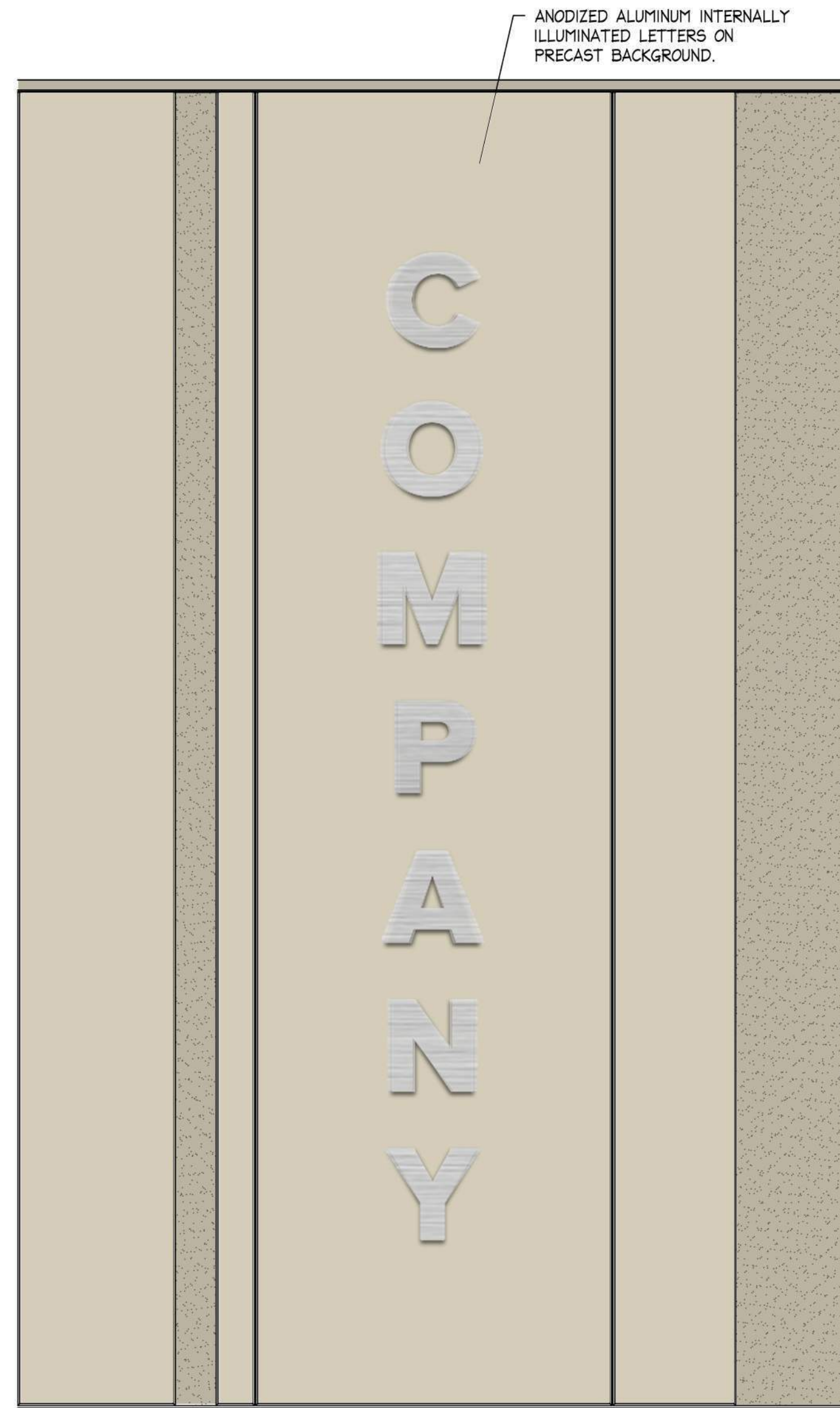
SHEET TITLE:

**BUILDING MATERIALS**

SHEET NUMBER:

**A4.6**



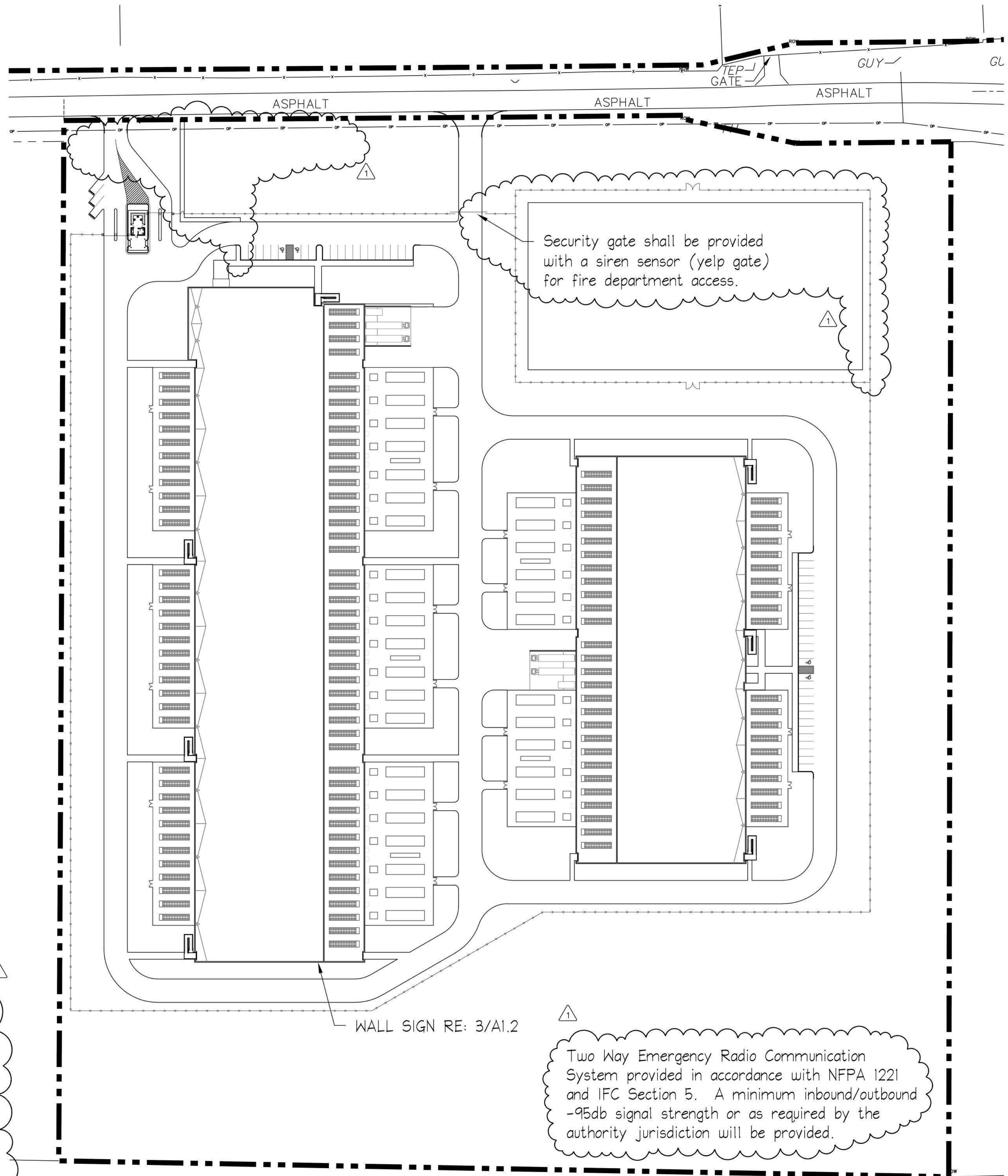


ANODIZED ALUMINUM INTERNALLY ILLUMINATED LETTERS ON PRECAST BACKGROUND.

COMPANY

**3** Wall Sign Elevation  
1/4" = 1'-0"

**2** NOT USED  
NO = SCALE



WALL SIGN RE: 3/A1.2

Two Way Emergency Radio Communication System provided in accordance with NFPA 1221 and IFC Section 5. A minimum inbound/outbound -95db signal strength or as required by the authority jurisdiction will be provided.



**1** Site Plan  
1" = 70'-0"

CLIENT:

**GBA Realty**

9801 Renner Blvd.  
Lenexa, Kansas 66219

PROJECT:

**Cookingham  
Development**

ARCHITECT:

**Bell / Knott  
& Associates**

CORPORATE ARCHITECTS, P.C.  
12730 State Line Road Voice: 913.378.1600  
Suite 100 Fax: 913.378.1601  
Leawood, KS 66209 www.bellknott.com

SEAL:

REVISIONS:

△ AHJ Comments September 11, 2023

ISSUE DATE: July 25, 2023

REASON FOR ISSUE: REVIEW

PROJECT NUMBER: 23-034

PROJECT PHASE: PD

SHEET TITLE:

**SIGNAGE PLAN**

SHEET NUMBER:

**A1.2**





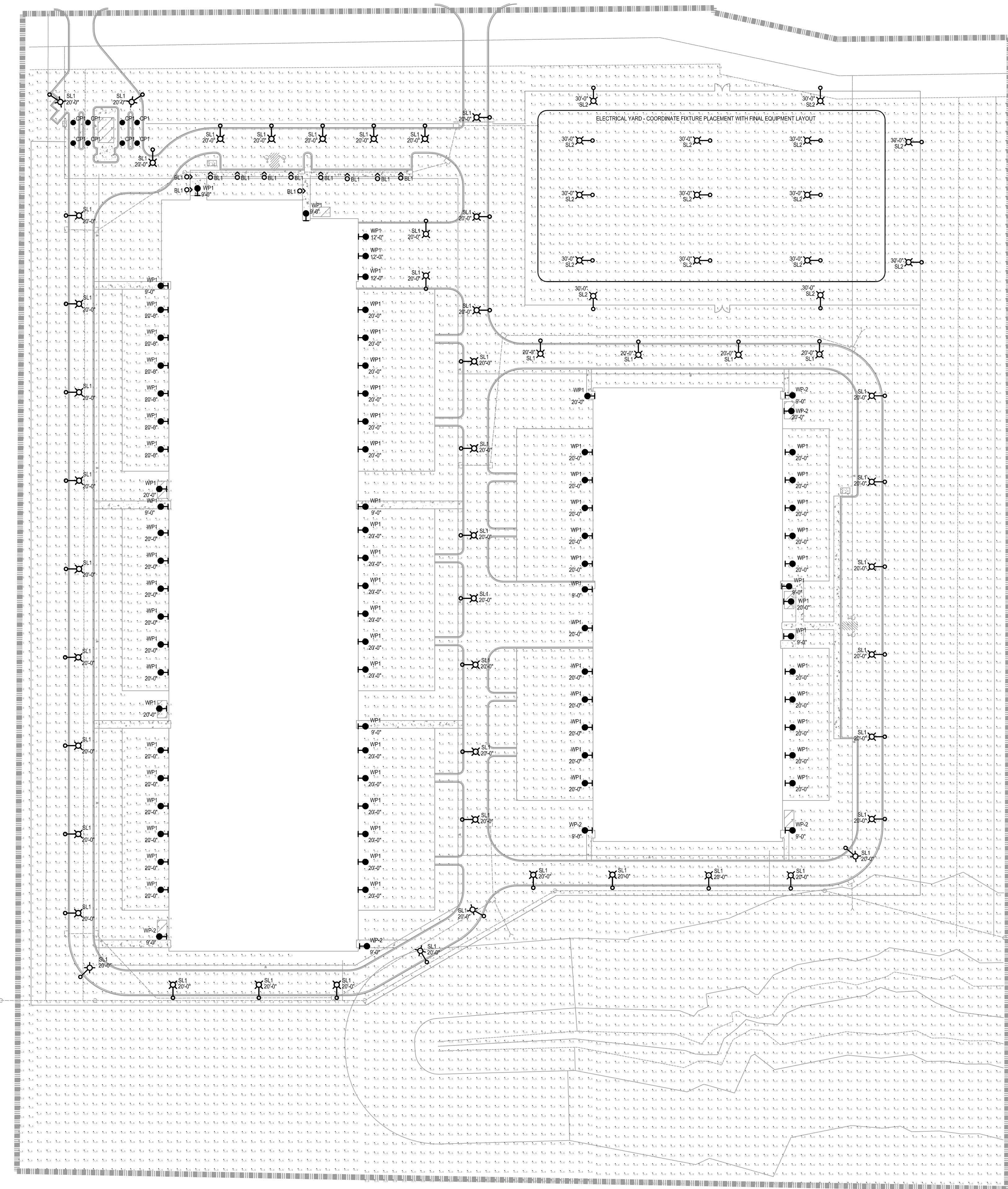






C:\Users\jfrance\Documents\PROJECTS\GMB\CONSOLE\LIGHTING\TWO OAKS - Documents\Project\Project\Treat\Consulting\GBA Kansas City\MOZ-Design\Models and Drawings\AutoCAD\GBA Site Lighting Plan.dwg  
 JEREMIAH FRANCE  
 9/15/23 3:07 PM

Light Fixture Schedule							
ID	DESCRIPTION	MOUNTING	LAMP TYPE	VOLTAGE	WATTS	MANUFACTURER	CATALOG NUMBER
SL1	SINGLE-TYPE 3-20'-0" POLE MOUNTED	POLE	LED	MVOLT	98	LITHONIA	ESX1 LED P2 (HOUSESIDE SHIELD)
SL2	SINGLE-TYPE 3-30'-0" POLE MOUNTED	POLE	LED	MVOLT	99	LITHONIA	ESX1 LED P2
WP1	WALL PACK-WEDGE	WALL	LED	MVOLT	18	LITHONIA	WDGE2 P3 LED 40K 80CRI T3M MVOLT
BL1	ROUND BOLLARD 40"	GRADE	LED	MVOLT	16	LITHONIA	KBR8 LED 12C 350 40K ASY MVOLT
CP1	CANOPY	SURFACE	LED	MVOLT	17	LITHONIA	VCPG V4 P1 40K 80CRI TSW MVOLT



**GBA Realty**  
 9801 Renner Blvd.  
 Lenexa, Kansas 66219



4826 ACADEMY DRIVE  
 MADISON, WI 53716

JOB #:

**Cookingham Drive**  
**Built to Suit**

DRAWN BY: JP  
 APPROVED BY: JP  
 CHECKED BY: JP  
 ISSUE DATE: 09/15/23

REVISIONS		
NO.	DATE	DESCRIPTION

SHEET TITLE:  
 PHOTOMETRIC PLAN

1 PHOTOMETRIC PLAN  
 1/64" = 1'-0"

E1.0

SHEET NO.



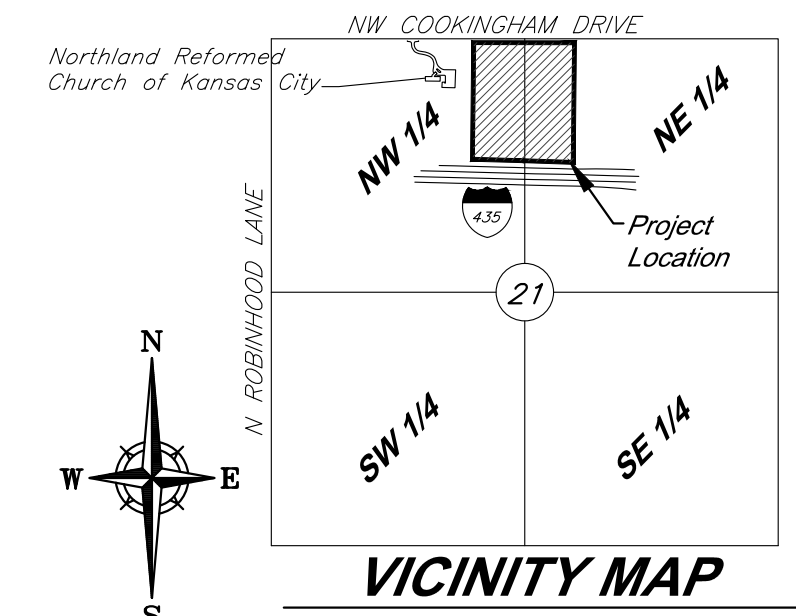
# LEGAL DESCRIPTION

PROPERTY DESCRIPTION AS TAKEN FROM COMMERCIAL INFORMATIONAL REPORT PROVIDED BY THOMSON-AFFINITY TITLE, LLC'S FILE NO. 229804, DA TED JULY 7, 2021.

That part of the East 32 acres of the Northwest 1/4 together with that part of the West 32.29 acres of the Northeast 1/4 of Section 21, Township 52 North, Range 33 West of the 5th Principal Meridian, Kansas City, Platte County, Missouri, which lies Southerly of Missouri State Highway No. 291 and Northerly of Interstate Highway No. 435, described as follows: Commencing at the Northwest corner of said Northwest 1/4; thence N89°33'48"E on the North line of said Northwest 1/4, 2644.88 feet to an axle at the apparent Northeast corner of said Northwest 1/4; thence S0°14'35"W on the East line of said Northwest 1/4, 25.00 feet to the POINT OF BEGINNING on the South Right-of-Way line of Cookingham Drive; thence N89°24'05"E on said South Right-of-Way line, 209.70 feet to the South Right-of-Way line of Missouri Highway Route 291; thence S0°47'11"E on said South Right-of-Way line, 9.53 feet to a point 30.00 feet left of centerline highway station 665+00; thence S77°57'48"E on said South Right-of-Way line, 135.17 feet to a point 60.00 feet left of centerline highway station 664+10 back=663+68.2 ahead; thence N89°12'49"E on said South Right-of-Way line, 185.61 feet to the East line of said West 32.29 acres; thence S0°09'10"W on said east line, 1233.67 feet to the north Right-of-Way line of Interstate Highway Route 435; thence N88°59'07"W on said North Right-of-Way line, 529.74 feet to the East line of said Northwest 1/4; thence continuing N88°59'07"W on said North Right-of-Way line, 529.24 feet to the West line of said East 32 acres; thence N0°08'21"E on said East line, 1243.85 feet to the South Right-of-Way line of said Cookingham Drive being 25.00 feet South from, as measured perpendicular to, the North line of said Northwest 1/4; thence N89°33'48"E on said South Right-of-Way line, 531.49 feet to the POINT OF BEGINNING. Contains: 1,291,633.138 square feet or 29.65 acres more or less.

## Legend

- Proposed Building
- Property Boundary
- Phase Line
- Lot Line
- 60' Building Setback
- 20' Parking Setback
- Proposed Security Fence
- Proposed Water Line
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Sanitary Manhole
- Proposed Storm Structure
- Proposed Fire Hydrant
- Existing Tree Line



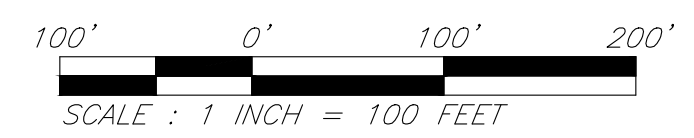
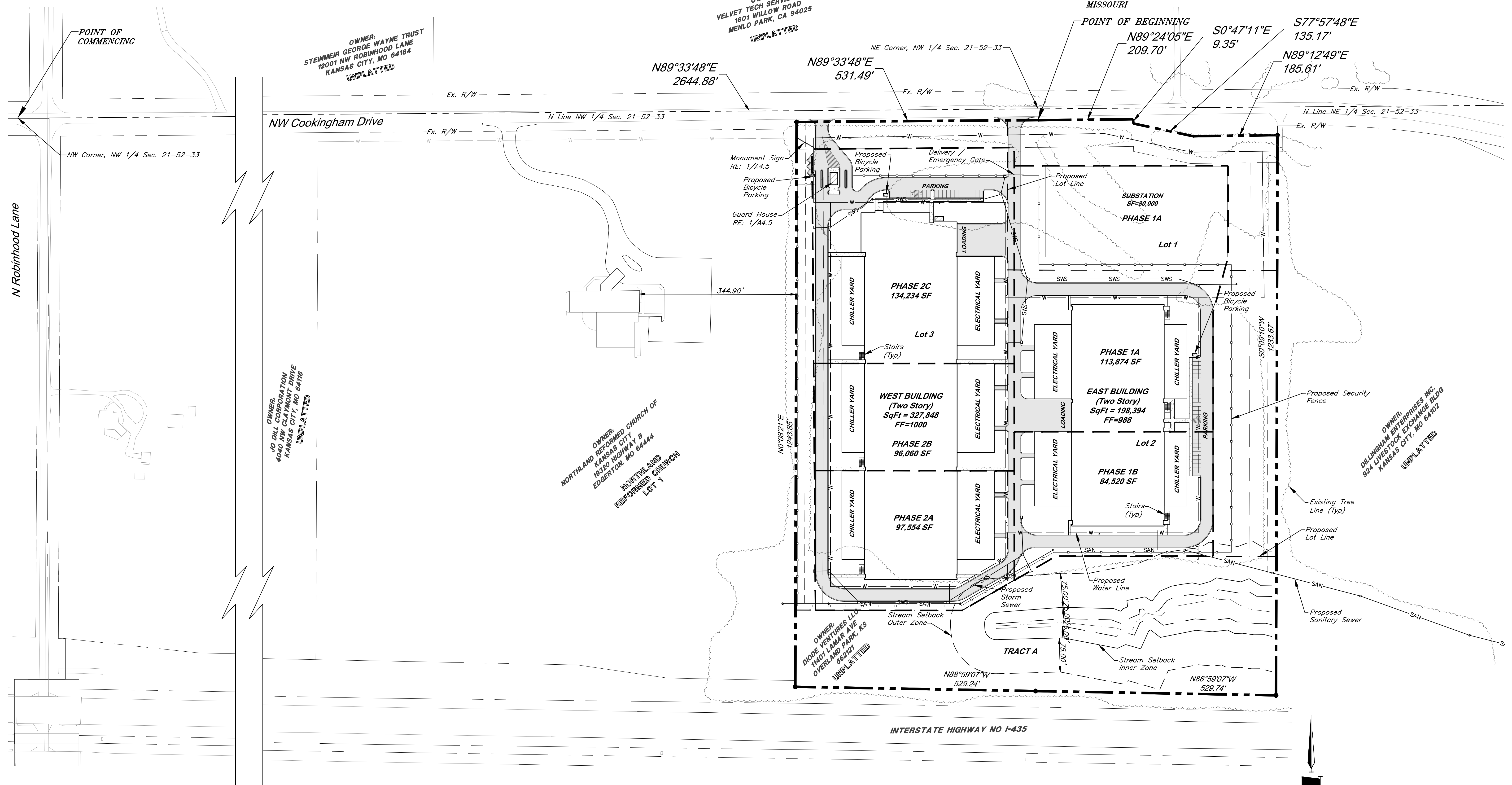
Scale: 1" = 2000'  
 Part of the NW & NE 1/4  
 Section 21-Township 52-Range 33  
 IN THE  
 CITY OF KANSAS CITY  
 PLATTE COUNTY,  
 MISSOURI

**GBA**

9801 Renner Blvd., Ste. 300  
 Lenexa, KS 66219  
 913.492.0400  
 gbateam.com

DATE:	8/11/2023
DESIGN BY:	CEL
DRAWN BY:	GAN/ELS
PROJECT NO.:	15410.10
SHEET NUMBER:	<b>C2</b>

Clint Loumaster Professional Engineer License No. PB-2011009651		M-2 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri	
NO.	DATE	REVISIONS	BY APPROVED



**General Layout**

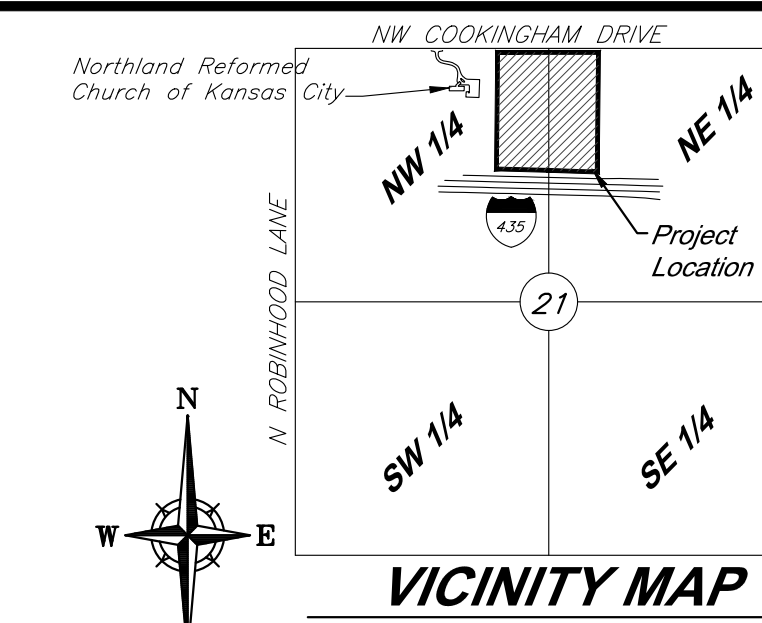
C:\15410.10\Civil\3D\Production Drawings\MPD Rezoning & Preliminary Development Plan\15410.10\002020.dwg Layout: C2 General Layout -- Friday, August 11, 2023, 11:21am -- Copyright 2023, George Butler Associates, Inc. 000133, Professional Engineer, 000269



C:\15410.10\Civil\3D\Production Drawings\MPD Rezoning & Preliminary Development Plan\15410.10\000000.dwg Layout: C3 Site Plan -- Friday, August 11, 2023, 11:21am -- Copyright 2023, George Butler Associates, Inc./Architect 00212, Professional Engineer 000133, Professional Land Surveyor 000269

### Legend

	Proposed Building		Property Boundary
	Concrete Sidewalk See Detail Sheet XX		Phase Line
	Proposed Asphalt Pavement		Lot Line
			60' Building Setback
			20' Parking Setback
			Proposed Security Fence
			Proposed Water Line
			Proposed Storm Sewer
			Proposed Sanitary Sewer
			Proposed Sanitary Manhole
			Proposed Storm Structure
			Proposed Fire Hydrant



 9801 Renner Blvd., Ste. 300 Lenexa, KS 66219 913.492.0400 gbatteam.com		DATE: 8/11/2023 DESIGN BY: CEL DRAWN BY: GAN/ELS PROJECT NO.: 15410.10 SHEET NUMBER: <b>C3</b>		
Clint Loumaster Professional Engineer License No. PB-2011009651	M-2 Rezoning - Pre. Development Plan & Pre. Plat <b>COOKINGHAM DEVELOPMENT</b> Kansas City, Missouri			
NO.	DATE	REVISIONS	BY	APPROVED

### Allowable Uses:

The Uses allowed as of right under zoning district M-2 shall be permitted within this Preliminary Development Plan including, but not limited to: Utilities and Services, Building Maintenance Services, Business Equipment Sales and Service, Business Support Services, Parking (Accessory), Parking (Non-Accessory), Manufacturing, Production, and Industrial Service including: Artisan, Limited, General, Warehousing, Wholesaling, Storage, and Freight Movement including: Indoor, Outdoor, Wireless Communication Facility (Freestanding, Co-located Antenna), Communication Service Establishments, Office, Administrative, Professional, or General, and any and all related accessory uses thereto.

### General Notes:

- All buildings and other structures shall be constructed of high quality materials including masonry, concrete, glass, and metal (when used in an incidental role). Specific materials which will be excluded include exposed (i) galvanized metal facades, (ii) nondecorative cinder or concrete block, and (iii) double T concrete panels. Accessory buildings, Compactors, apartment structures to, or extrusions from, any building or structure shall be of similar or compatible materials, design and construction.
- All signage will comply with Section 88-445 of the zoning and development code and will be reviewed at time of sign permit.
- All rooftop mechanical equipment will be screened as required by 88-425-08 of the zoning and development code.

### SITE DATA per APPLICATION SUBMITTAL REQUIREMENTS

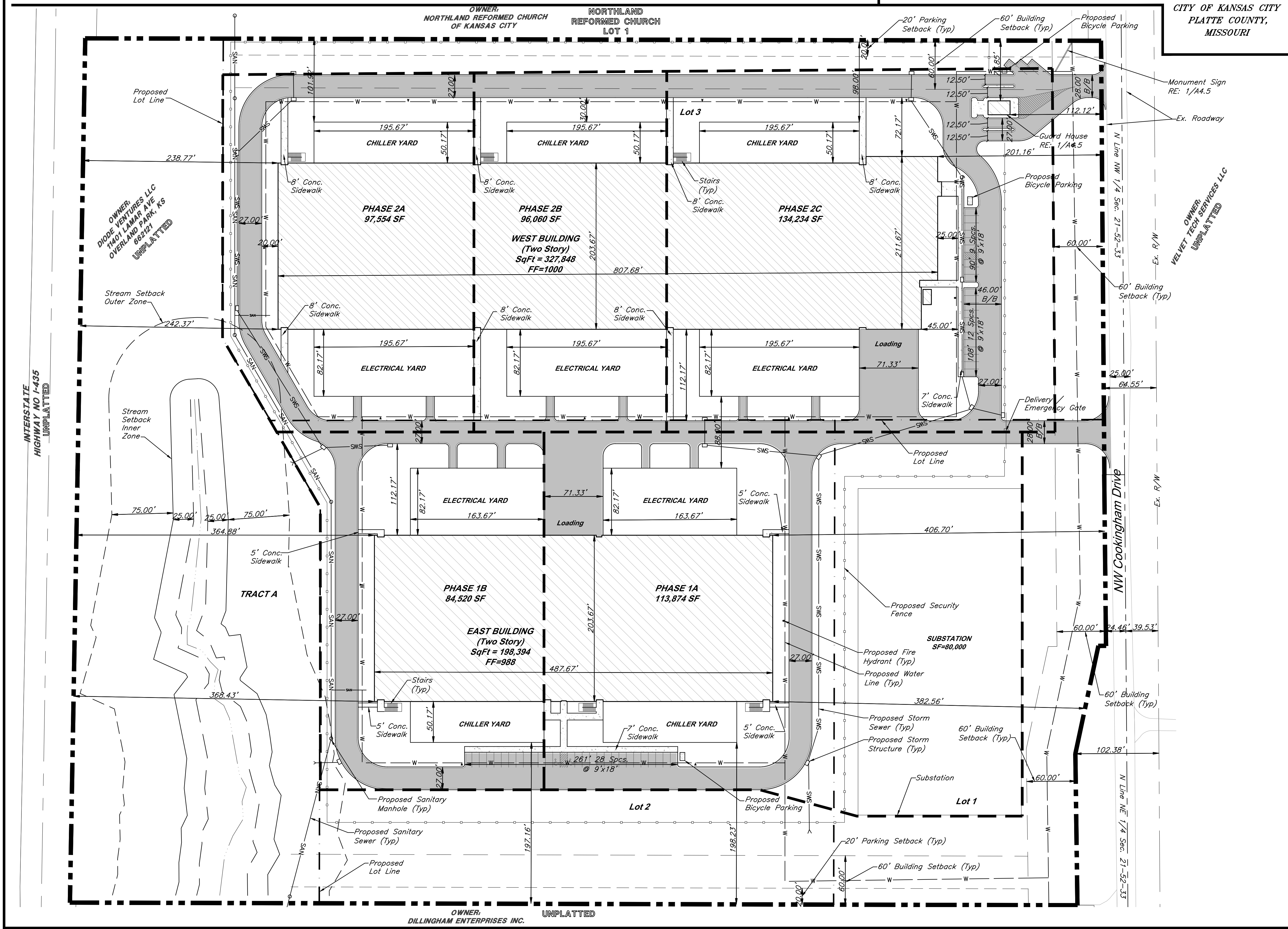
Item	Phase 1		Phase 2		Total
	Existing	Proposed	Existing	Proposed	
a) Zoning	AG	M-2	AG	M-2	
b) Total Land Area (sq. ft.)	720,050	720,050	601,336	601,336	1,321,386
c) Land Area for Street ROW	0	0	0	0	0
d) Net Land Area (sq. ft.)		720,050		601,336	1,321,386
e) Building Use	AG	Data Center	AG	Data Center	
f) Building Height Above Grade (ft)		44		44	
g) # of Floors		2		2	
h) Gross Floor Area per Floor (sq. ft.)		99,197		163,924	
i) Building Coverage (sq. ft)		198,394		327,848	526,242
j) Floor Area Ratio		0.276		0.545	0.398
k) NA					
		<b>Required</b>	<b>Proposed</b>	<b>Required</b>	<b>Proposed</b>
l) Vehicle Parking		5	28	13	24
m) Bicycle Parking		5	5	7	7
n) NA					

### DEVELOPMENT STANDARDS

88-425 - OTHER DEVELOPMENT STANDARDS	METHOD OF COMPLIANCE
88-415 Stream Buffers	
88-445 Signs	

**WEST BUILDING:**  
 Phase 2A: 97,554 SF of Building  
 Phase 2B: 96,060 SF of Building  
 Phase 2C: 134,234 SF of Building  
 Total West Building Area: 327,848 SF of Building

**EAST BUILDING:**  
 Phase 1A: 113,874 SF of Building & 80,00 SF of Substation  
 Phase 1B: 84,520 SF of Building  
 Total East Building Area: 198,394 SF of Building



SCALE: 1 INCH = 60 FEET  
**Site Plan**

September 5, 2023

**VIA U.S. MAIL**

KCI Neighborhood Association  
Frankie Hawkins  
10020 NW Green Hills Road  
Kansas City, MO 64154

**VIA U.S. MAIL**

KCI Neighborhood Association  
Dyana Cundiff  
2104 NW 100<sup>th</sup> Street  
Kansas City, MO 64154

**VIA U.S. MAIL**

To Property Owners within 300 feet of  
Property Boundaries

**Re:   Cookingham Development Plan**  
**Public Engagement Meeting**

Dear Property Owners:

We represent GBA Realty LLC, concerning property consisting of about 30 acres located at 2801 NW Cookingham Drive. We filed an application with the City Plan Commission of Kansas City, Missouri, to rezone this property from AG to District M-2 with approval of a Development Plan with a proposed use as a data center, preliminary plat and Area Plan Amendment for this plan (Case No. CD-CPC-2023-00140; CD-CPC-2023-000139; and CD-CPC-2023-000138). A copy of the plan is enclosed.

You are receiving this notice in accordance with the City's Development Code that requires a public meeting with neighborhoods for certain types of development projects and that all property owners within 300 feet are invited to this meeting. This public meeting is an opportunity for you to come learn more about the project and discuss this plan with the developer's representatives.

You can read more about the process requirements at [kcmo.gov/publicengagement](https://kcmo.gov/publicengagement). If you would like further information on this proposed plan, please visit Kansas City's planning and permitting system, Compass KC, at [Compasskc.kcmo.org](https://Compasskc.kcmo.org). You may search by project type and address/case number to find project details.

This public meeting will be held via Zoom at 6:00 p.m. on Tuesday, September 19, 2023, as follow:

Meeting ID:           849 2505 5970  
Passcode:            090705  
Or dial:              1 312 626 6799

{34416 / 72249; 998035. }

September 5, 2023

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My contact information is below:

Name: Aaron G. March  
Email: [amarch@rousepc.com](mailto:amarch@rousepc.com)  
Phone: 816-502-4701  
Title/Role: Attorney  
Company: Rouse Frets White Goss Gentile Rhodes, P.C.  
Representing: GBA Realty LLC

If you have questions or comments, please either call me or e-mail me at the above phone number/e-mail address.

The Applications will be heard by the City Plan Commission on Tuesday, October 3, 2023.

Very truly yours,

A handwritten signature in black ink that reads "Aaron". The signature is written in a cursive style with a large, prominent initial "A".

Aaron G. March

AGM:jjw

cc: Satej Desai (via email, [sd@treatconsultinggroup.com](mailto:sd@treatconsultinggroup.com))  
Scott Coryell (via email, [scoryell@bellknott.com](mailto:scoryell@bellknott.com))  
Graham Jones (via email, [gjones@gbabuilders.com](mailto:gjones@gbabuilders.com))  
Matthew Treat (via email, [matt@treatconsultinggroup.com](mailto:matt@treatconsultinggroup.com))  
Joseph Alvarez (via email, [jalvarez@gbabuilders.com](mailto:jalvarez@gbabuilders.com))  
Christy Swearingen (via email, [christy@treatconsultinggroup.com](mailto:christy@treatconsultinggroup.com))  
Clint Loumaster (via email, [cloumaster@gbateam.com](mailto:cloumaster@gbateam.com))  
Cooper Link (via email, [clink@gbabuilders.com](mailto:clink@gbabuilders.com))  
Jeremiah Prince (via email, [jprince@twooaksdesign.net](mailto:jprince@twooaksdesign.net))  
Mark R. Coulter (via email, [mcoulter@rousepc.com](mailto:mcoulter@rousepc.com))  
Rachelle Biondo (via email, [rbiondo@rousepc.com](mailto:rbiondo@rousepc.com))



# CITY PLANNING & DEVELOPMENT

## Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

