



City Plan Commission
 Recommends Approval with Conditions

of Case No. CD-CPC-2024-00142 on 11-20-2024
CD-CPC-2024-00143

Jane Gabriel
 Jane Gabriel, Mayor
 Secretary of the City Plan Commission

INDIANA COMMONS

INDIANA AVE & BARRY RD

CITY OF KANSAS CITY, CLAY COUNTY, MISSOURI

REZONING & DEVELOPMENT PLANS AND PRELIMINARY PLAT



Know what's below.
 Call before you dig.



Milburn Civil Engineering, LLC

MILBURN CIVIL ENGINEERING, LLC
 33135 W 83RD ST
 DE SOTO, KS 66018
 913-583-0367



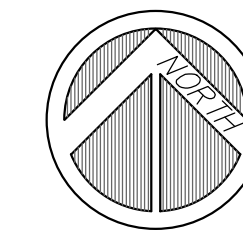
GENERAL NOTES:

- PROPOSED CONTOURS, BMP's, GRADES, EASEMENTS, AND UTILITIES ARE INDICATED IN PLAN SET AND ARE SUBJECT TO FINAL ENGINEERING DESIGN AND APPROVAL BY DEVELOPMENT SERVICES, PRIVATE UTILITY COMPANIES AND FINAL PLAN APPROVAL. SEE GRADING, UTILITY, AND/OR STORM WATER MANAGEMENT PLAN.
- FINAL PLANS FOR BUILDINGS WILL INCLUDE FINAL DETAILS ON BUILDING MATERIALS, BUILDING ELEVATIONS, AND SITE LIGHTING.
- PARKING: WILL BE PROVIDED AS REQUIRED IN SECTION 88-420 OF THE KANSAS CITY ZONING AND DEVELOPMENT CODE.
- LIGHTING: THE EXTERIOR LIGHTING IS TO BE DESIGNED TO COMPLY WITH KANSAS CITY ZONING AND DEVELOPMENT CODE SECTION 88-430.
- STORM WATER DETENTION AND BMP's SHALL BE PER APPROVED STORM DRAINAGE STUDY OR PER DEPARTMENT OF PUBLIC WORKS. STORM WATER STUDY WILL IDENTIFY DETENTION, VOLUME CONTROL, AND TREATMENT AREAS. PROPOSED STORM WATER SYSTEM AND STORM WATER BMP's ARE INDICATED ON STORM WATER, GRADING, AND UTILITY PLANS.
- PARKLAND DEDICATION FEES SHALL FOLLOW KCMO ORDINANCE 88-408. REFER TO PARKLAND DEDICATION AND FEE CALCULATION TABLES IN PLAN SET.
- BUILDING AND PARKING DIMENSIONS HAVE BEEN ROUNDED TO THE NEAREST FOOT.



INDEX OF SHEETS

C-0	COVER SHEET
C-1	SITE PLAN
C-2	GRADING PLAN
C-3	UTILITY PLAN
C-4	EXISTING CONDITIONS TREE PLAN/ TREE PRESERVATION & MITIGATION PLAN
C-5	PRELIMINARY PLAT
L1	LANDSCAPE PLAN
ES1.01	SITE LIGHTING PHOTOMETRICS
A200	EXTERIOR ELEVATIONS



GRAPHIC SCALE



(SCALE IN FEET)

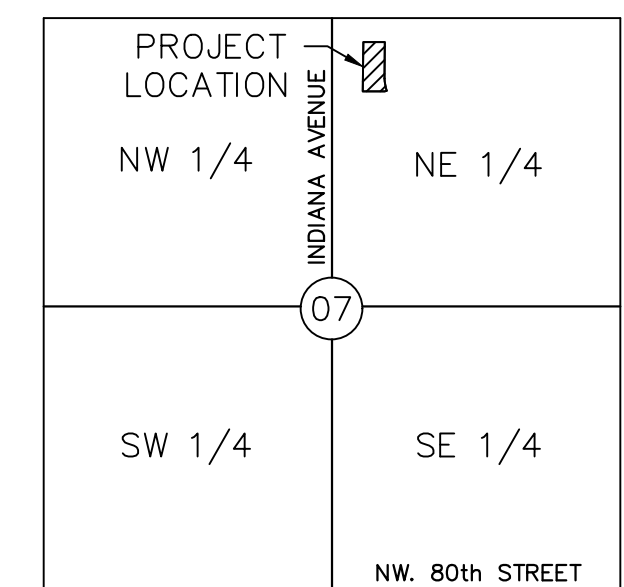
PREPARED BY:

MILBURN CIVIL ENGINEERING, LLC
 33135 W 83RD STREET
 DE SOTO, KS 66018
 913-583-0367
 MATTHEW RAVEILL, PE
 MATT@MILBURNCE.COM

OWNER/APPLICANT:

INDIANA NORTH DEVELOPMENT, LLC
 7067 NW SCENIC DR.
 PARKVILLE, MO 64152
 C/O ED LEWIS

INDIANA COMMONS
 REZONING & DEVELOPMENT PLANS
 AND PRELIMINARY PLAT
 INDIANA AVENUE AND BARRY ROAD
 KANSAS CITY, MO



VICINITY MAP
 SEC. 07-51-32
 N.T.S.

DATE: 09/25/2024
 DESIGNED BY: LHP
 CHECKED BY: MJR

REVISIONS: REVISIONS

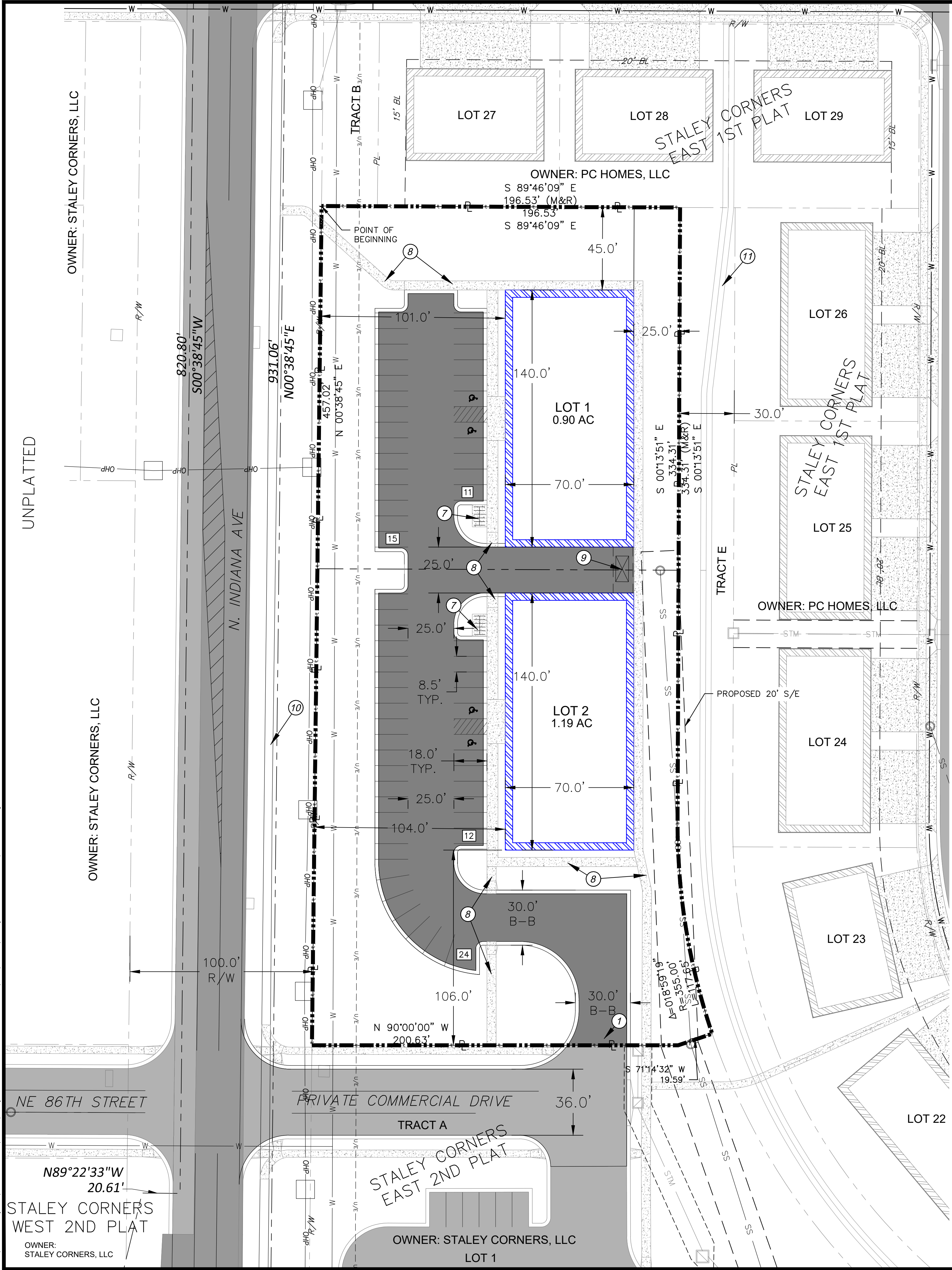
1-2024.10.31 KCMO COMMENTS

PRELIMINARY-NOT FOR CONSTRUCTION

COVER SHEET

C-0

Oct 31, 2024 - 3:53pm - USER: jprichard
 F:\CD\30 Projects\Owens Built Properties\Staley Corners East 3rd Plat 2310-072\CD\Sheets\Staley East 3rd - Development Plan.dwg



- DEVELOPMENT NOTES**
- ① PROPOSED PRIVATE ENTRY DRIVE
 - ⑦ PROPOSED BICYCLE PARKING
 - ⑧ PROPOSED SIDEWALK
 - ⑨ PROPOSED TRASH ENCLOSURE
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NOTE: ALL B2-2 USES ARE PERMITTED

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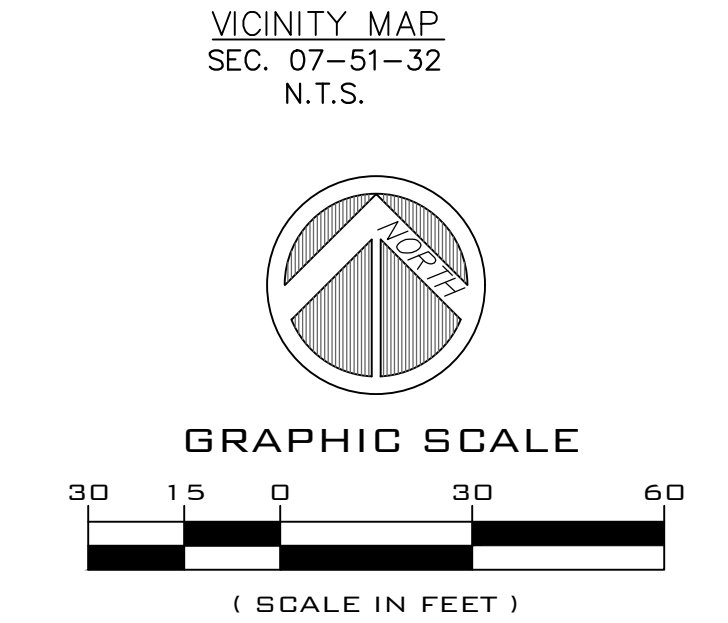
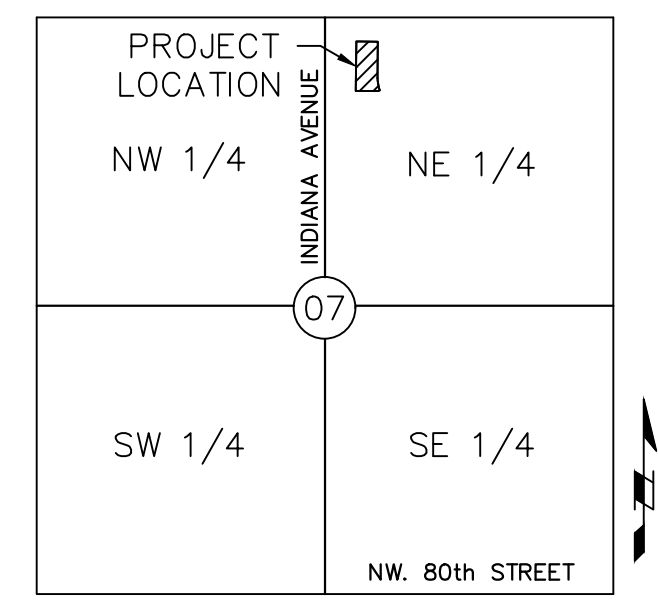
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 Beginning at the Southwest Corner of Tract B, STALEY CORNERS EAST FIRST PLAT, a subdivision in Kansas City, Clay County Missouri, thence South 89°46'09" East along the South line of said Tract B and Lots 27 and 28, said STALEY CORNERS EAST FIRST PLAT, 196.53 feet to the Northwest Corner of Tract E, said STALEY CORNERS EAST FIRST PLAT;
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 Contains 91,292 square feet or 2.09 acres more or less.

Site Data	Existing	Proposed	Deviation Requested?	Approved
Zoning	R-1.5	B2-2		
Gross Land Area				
In square feet	91,292	91,292		
In acres	2.09	2.09		
Right-of-way Dedication				
In square feet	-	-		
In acres	-	-		
Net Land Area				
In square feet	-	-		
In acres	-	-		
Building Area (sq. ft.)	-	19,600		
Floor Area Ratio	-	0.22		
Residential Use Info				
Total Dwelling Units	-	-		
Detached House	-	-		
Zero lot line House	-	-		
Cottage House	-	-		
Semi-attached House	-	-		
Townhouse	-	-		
Two-Unit House	-	-		
Multi-Unit House	-	-		
Colonnade	-	-		
Multiplex	-	-		
Multi-unit Building	-	-		
Total Lots	-	2		
Residential	-	-		
Public/Civic	-	-		
Commercial	-	2		
Industrial	-	-		
Other	-	-		

Building Data	Required	Proposed	Deviation Requested?	Approved
Rear Setback	Abutting Residential: 25% of lot depth, Max=30' Abutting Other: None	25'		
Front Setback	Abutting Residential: Match Residential setback Abutting Other: None	101'		
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Side Setback (abutting street)	Abutting Residential: 15' Abutting Other: None	106'		
Height	50' (Max.)	21'		
Square Feet per floor	25,000 (Max.)	9,800		
# of Floors	N/A	1		

88-420 Parking	Vehicles Spaces		Short-Term Bike Spaces		Long-Term Bike Spaces		Alternatives Proposed?
	Required	Proposed	Required	Proposed	Required	Proposed	
Retail (19,600 SF)	2.5 spaces / 1000 SF = 49 spaces required	62	10% of vehicles spaces, min. 3 = 6.2 spaces required	7	1 + 1 per 10,000 SF = 2.96 spaces required	3	3
Total		62		7		3	3



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STATE OF MISSOURI
 MATTHEW J. RAVELLI
 NUMBER
 PE-2012019478
 11/1/24
 PROFESSIONAL ENGINEER

INDIANA COMMONS
 REZONING & DEVELOPMENT PLANS
 AND PRELIMINARY PLAT
 INDIANA AVENUE AND BARRY ROAD
 KANSAS CITY, MO

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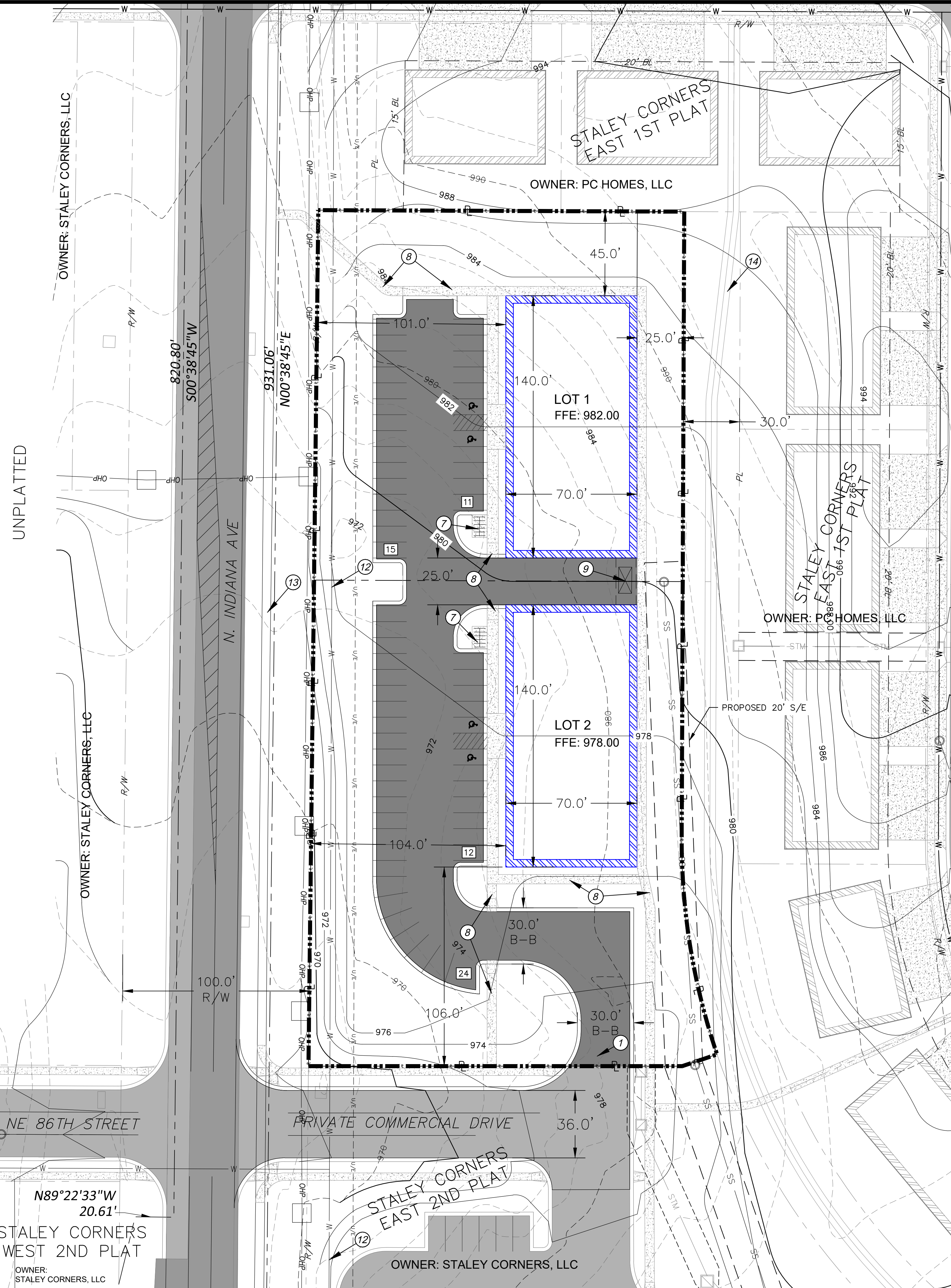
REVISIONS: _____ REVISIONS: _____
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SITE PLAN

C-1

PRELIMINARY-NOT FOR CONSTRUCTION

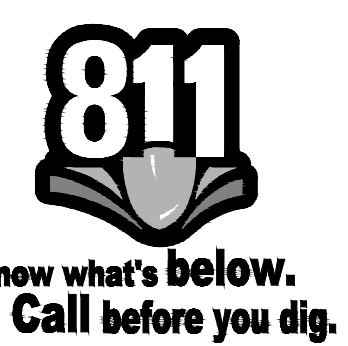
Oct 31, 2024 - 3:54pm - USER: jpritchard
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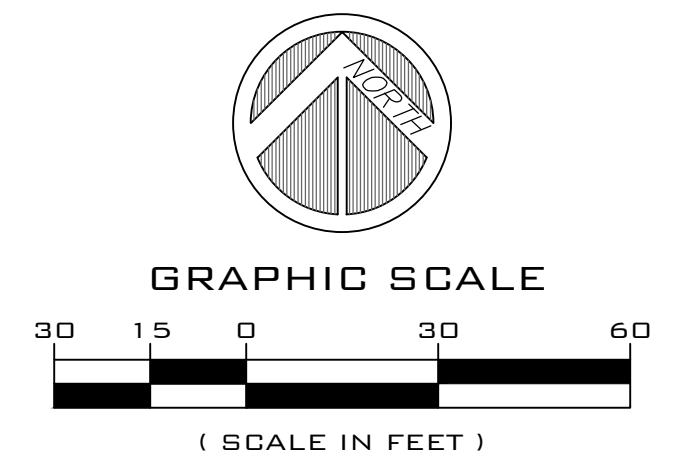
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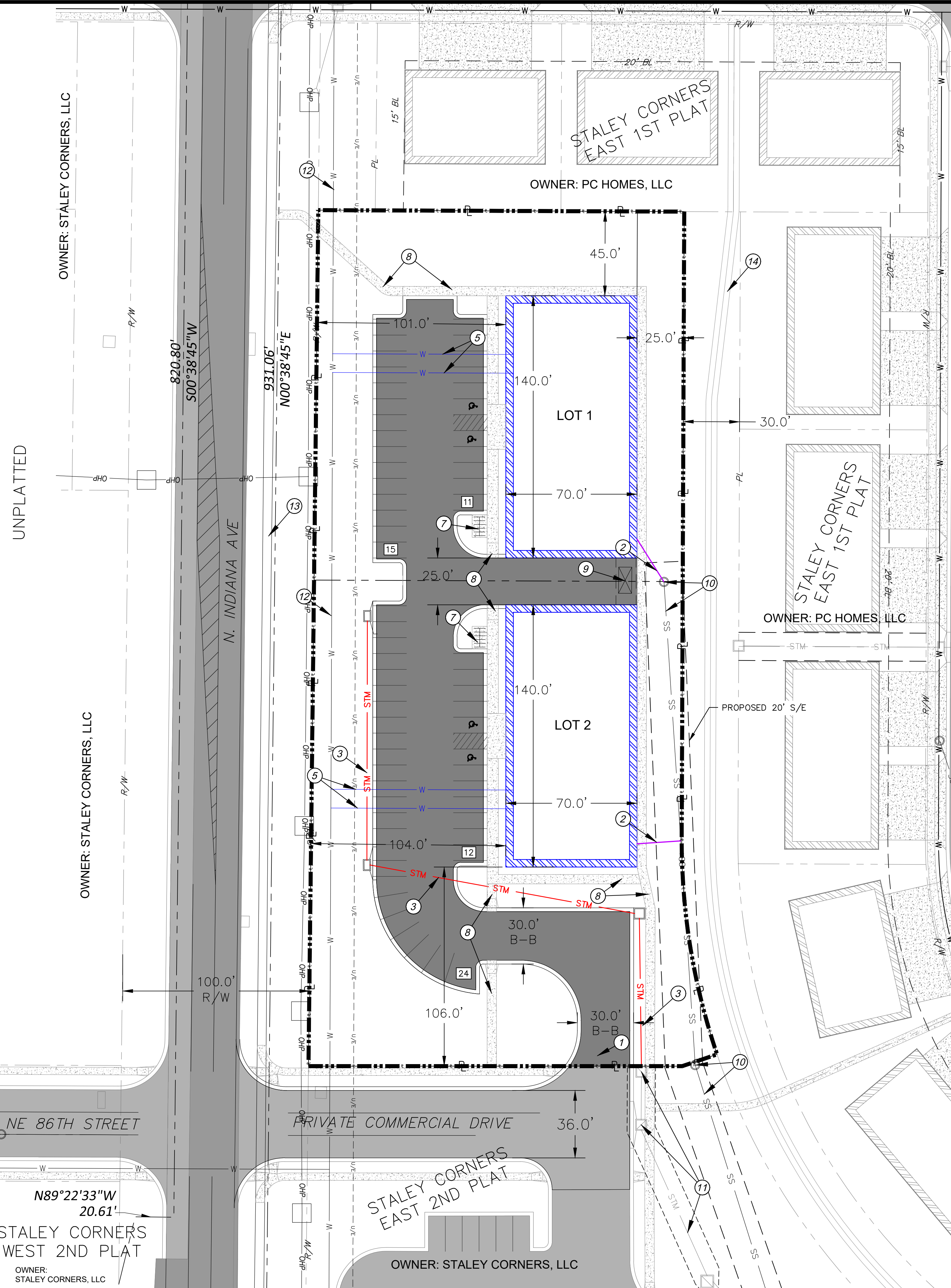
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PRELIMINARY-NOT FOR CONSTRUCTION

GRADING PLAN

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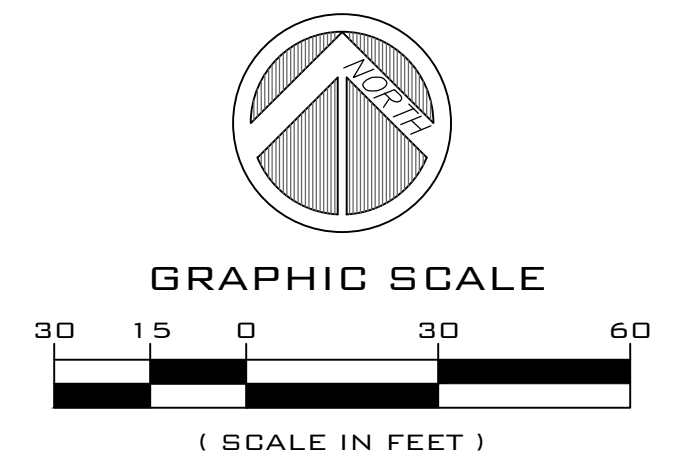


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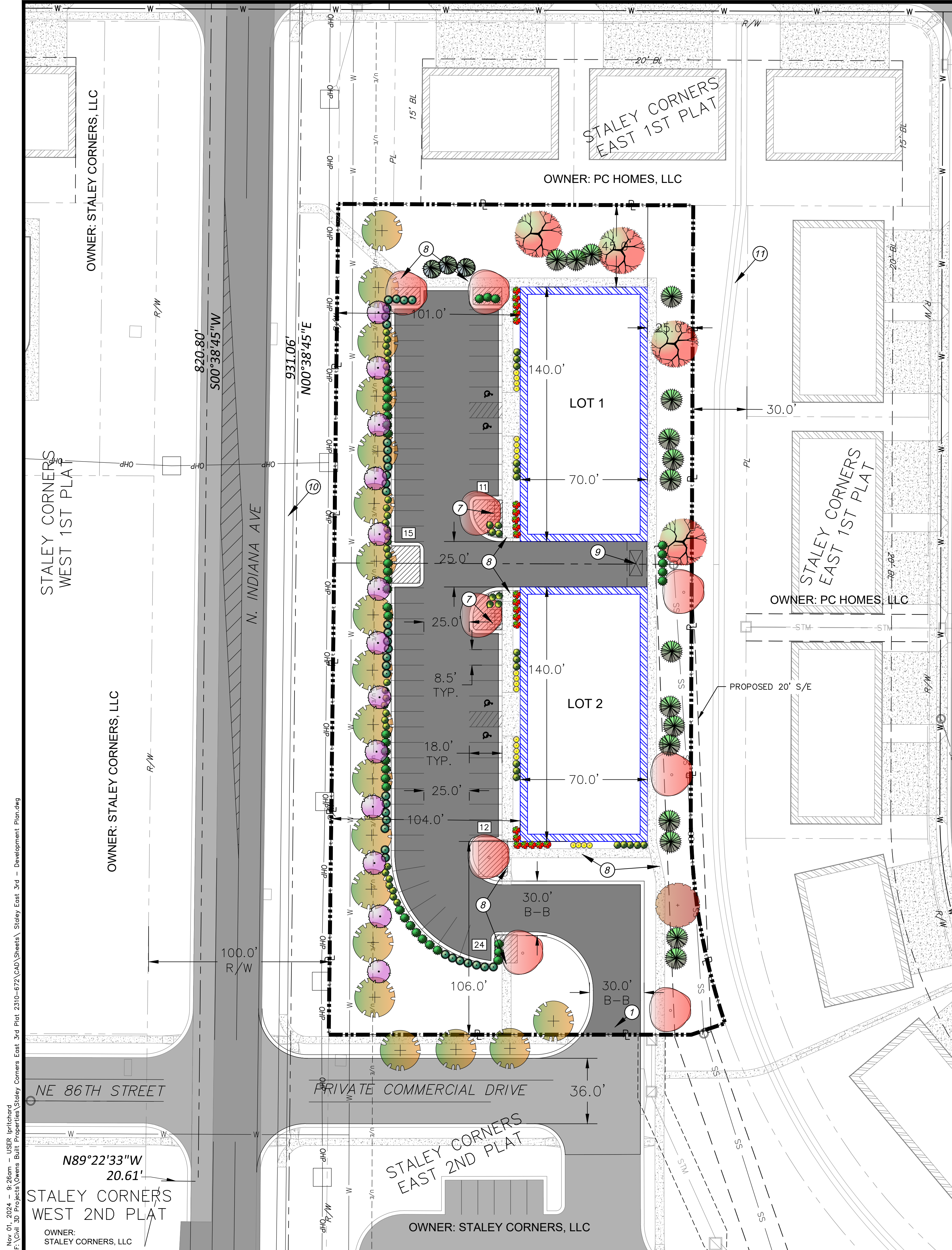
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UTILITY PLAN



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NOTE:
NO MITIGATION SHALL BE REQUIRED IF CONTIGUOUS TREE CANOPY COVER IS LESS THAN ONE ACRE.

EXISTING TREE MITIGATION REQUIREMENTS:

TOTAL ACREAGE OF CONTIGUOUS CANOPY COVER TO BE REMOVED ON THE ENTIRE DEVELOPMENT SITE.
SUBTRACT TOTAL ACREAGE OF ALL AREAS OF CONTIGUOUS TREE CANOPY COVER OF ONE ACRE OR MORE PRESERVED OUTSIDE OF ANY STREAM BUFFERS. 0 ACRES OF TREE COVER TO BE REMOVED.
SUBTRACT STREAM BUFFER AREAS 0
MULTIPLY ACREAGE CALCULATED BY .35: 0
MULTIPLY THE ACREAGE CALCULATED BY 150 CALIPER INCHES: 0
SUBTRACT TOTAL CALIPER INCHES OF TREES PROVIDED: 0
0 TOTAL CALIPER INCHES REQUIRED FOR MITIGATION
0 TOTAL CALIPER INCHES PROVIDED FOR MITIGATION
NO MITIGATION REQUIRED.

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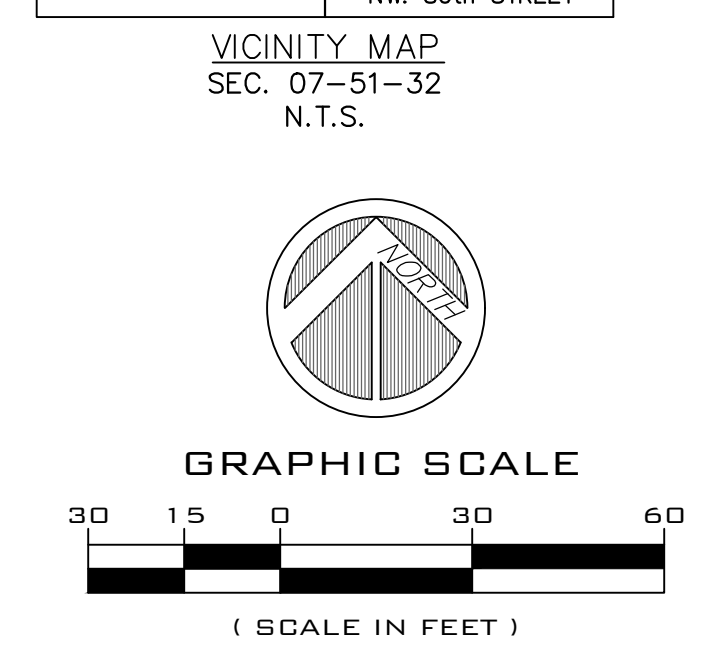
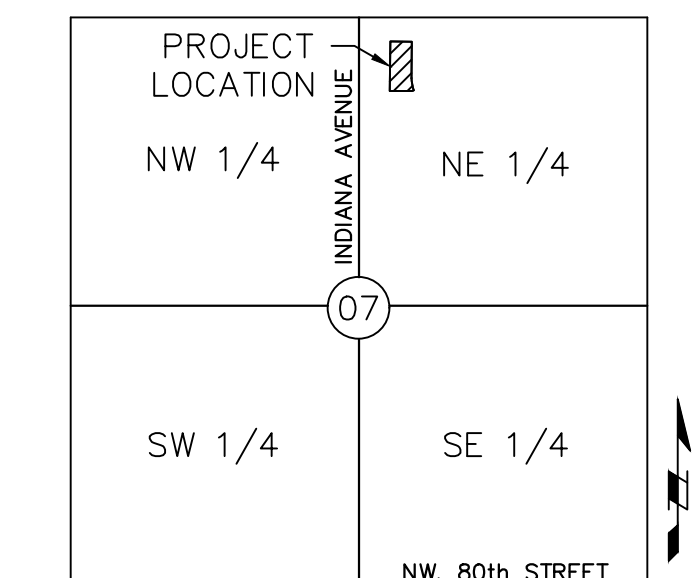
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Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
1	1	Nyssa sylvatica	Black Tupelo		2"	6" min. clear., ground to canopy	
4	4	Quercus rubra	Northern Red Oak		2"	6" min. clear., ground to canopy	
0	0	Platanus x acerifolia	London Plane Tree		2"	6" min. clear., ground to canopy	
20	20	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust		2"	6" min. clear., ground to canopy	
11	11	Acer x truncatum 'Warrenred'	Pacific Sunset Maple		2"	6" min. clear., ground to canopy	
EVERGREEN TREES							
3	3	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper		5' ht.		symmetrical pyramidal form
16	16	Juniper chinensis	Eastern Red Cedar		5' ht.		symmetrical pyramidal form
0	0	Picea abies	Norway Spruce		5' ht.		symmetrical pyramidal form
ORNAMENTAL TREES							
13	13	Cercis canadensis	Eastern Redbud			1.5"	
0	0	Cornus florida 'Cloud Nine'	Cloud 9 Dogwood			2"	
DECIDUOUS SHRUBS/GRASSES							
0	0	Liriope muscari 'Variegated'	Variegated Liriope		1 gal.		Plant @ 18" O.C.
20	20	Spiraea x bumalda 'Goldflame'	Goldflame spirea		3 gal.		Plant @ 3' O.C.
22	22	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea		3 gal.		Plant @ 4' O.C.
0	0	Syringa X 'Penda'	Blooming Purple Lilac		5 gal.		Plant @ 5' O.C.
EVERGREEN SHRUBS							
38	38	Ilex glabra	Inkberry Holly		3 gal.		Plant @ 4' O.C.
55	55	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper		3 gal.		Plant @ 4' O.C.
0	0	Juniperus chinensis 'Spartan'	Spartan Juniper		5' ht.		Symmetrical pyramidal form
35	35	Taxus x media 'Densiformis'	Dense Spreading Yew		3 gal.		Plant @ 4' O.C.
EXISTING TREES TO BE REMOVED							
EXISTING TREES/SHRUBS TO BE PRESERVED							

Landscape Requirements/Calculations

88-425-LANDSCAPE SCHEDULE	Required	Proposed	Alt. Requested	Approved
88-425-03 Street Trees	30' o.c.	20	20	
88-425-04 General (15,000 sf bldg)		1 Tree/5000sf	4 Trees Provided	
88-425-05 Perimeter Vehicular Use Area				
Adjacent to streets				
Buffer Width	10' min.	Provided		
Trees	30' o.c.	Provided		
Shrub/Wall/Berm	Cont. Evergreen	Provided		
Adjacent to Residential Zones				
Buffer Width	10' min.	Provided		
Shrub/Wall/Berm	Shrubs	Provided		
88-425-06 Interior Vehicular Use Area (64 TOTAL PARKING STALLS)				
Buffer Width	n/a			
Trees	1 Per 5 Stalls	13 Provided		
Shrubs	1 Per Stall	62 Provided		
88-425-07 Parking Garage Screening	n/a			
88-425-08 Mech./Utility Equip. Screening	Provided			
88-425-09 Outdoor Use Screening	n/a			



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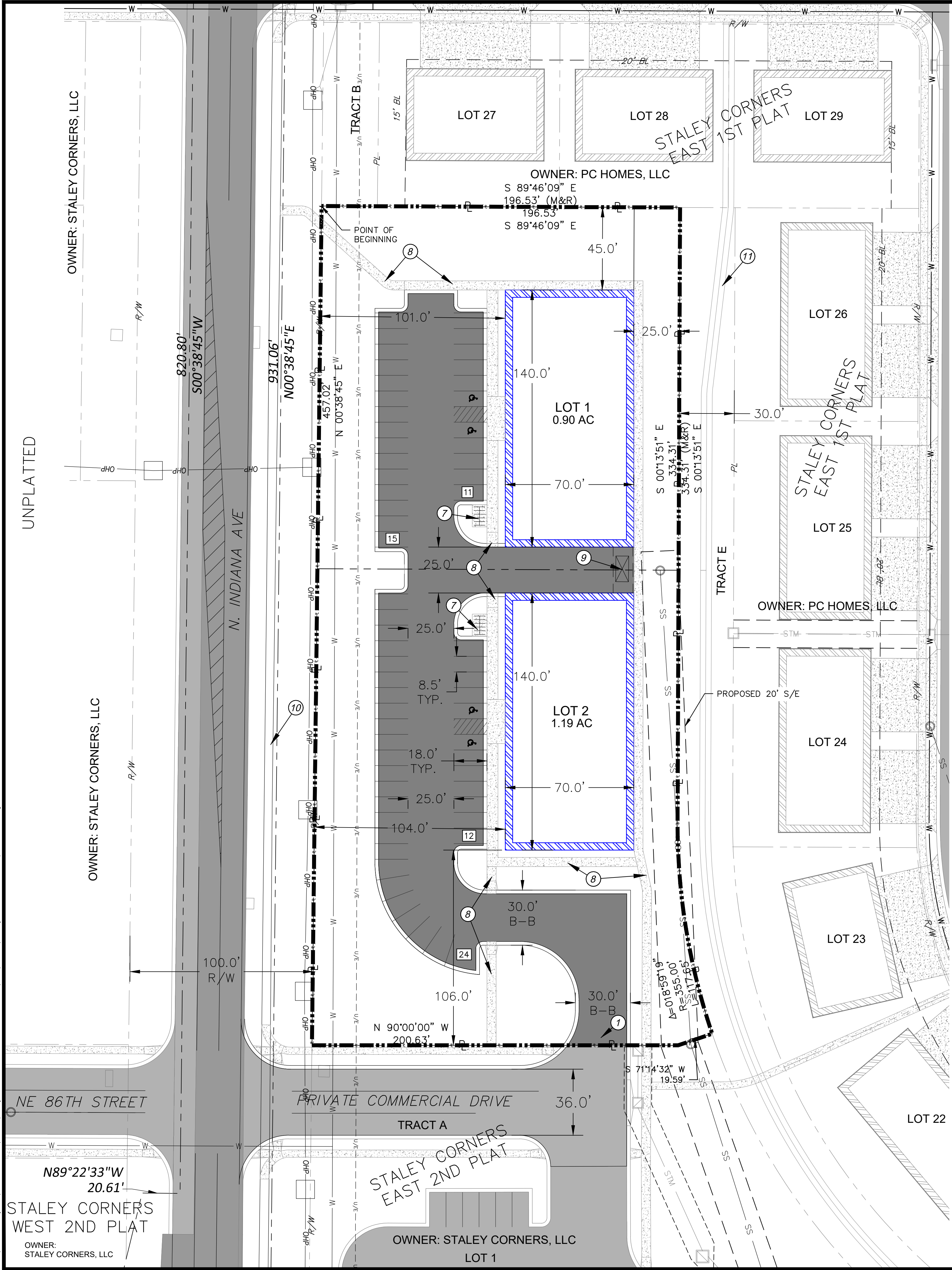
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EXISTING CONDITIONS
TREE PLAN/
TREE PRESERVATION
& MITIGATION PLAN

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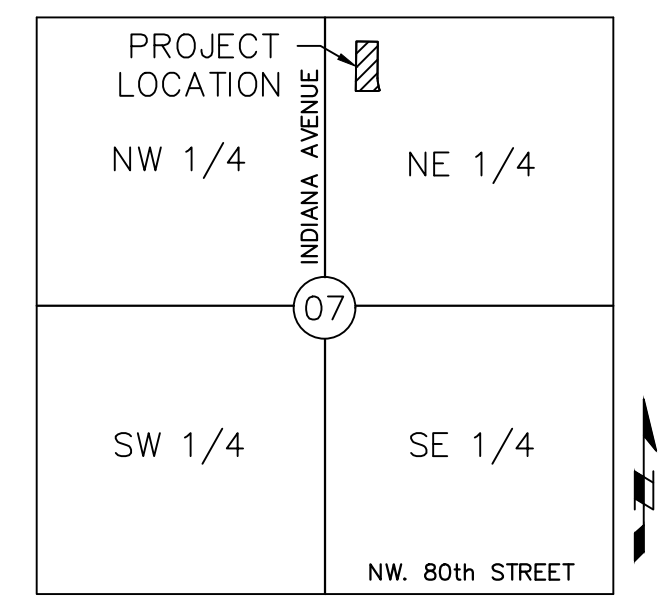
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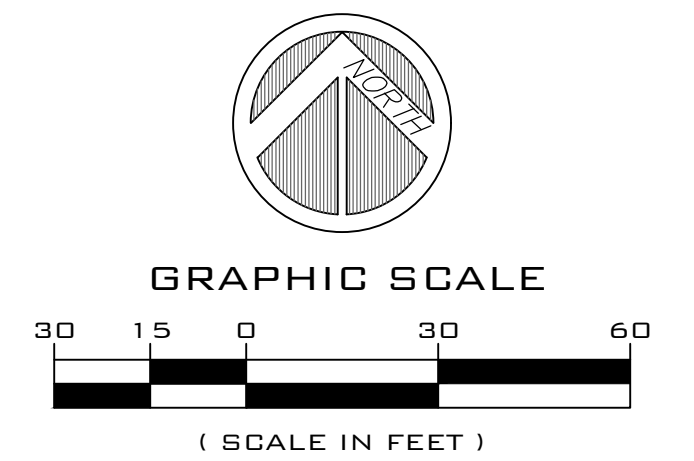
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88-420 Parking	Vehicles Spaces		Short-Term Bike Spaces		Long-Term Bike Spaces		Alternatives Proposed?
	Required	Proposed	Required	Proposed	Required	Proposed	
Retail (19,600 SF)	2.5 spaces / 1000 SF = 49 spaces required	62	10% of vehicles spaces, min. 3 = 6.2 spaces required	7	1 + 1 per 10,000 SF = 2.96 spaces required	3	3
Total		62		7		3	3



City Plan Commission
 Recommends Approval with Conditions
 of Case No. CD-CPC-2024-00142 on 11-20-2024
 CD-CPC-2024-00143

Jane Gabriel
 Jane Gabriel, Chair
 Secretary of the City Plan Commission



811
 Know what's below.
 Call before you dig.

Milburn Civil Engineering, LLC
 33135 W 83RD ST
 DE SOTO, KS 66018
 913-583-0367

STATE OF MISSOURI
 MATTHEW J. RAVELL
 PROFESSIONAL ENGINEER
 NUMBER PE-2012019478
 EXPIRES 11/15/24

INDIANA COMMONS
 REZONING & DEVELOPMENT PLANS
 AND PRELIMINARY PLAT
 INDIANA AVENUE AND BARRY ROAD
 KANSAS CITY, MO

DATE: 09/25/2024
 DESIGNED BY: LHP
 CHECKED BY: MJR

REVISIONS: _____ REVISIONS: _____
 1-2024.10.31 KCMO COMMENTS

PRELIMINARY PLAT

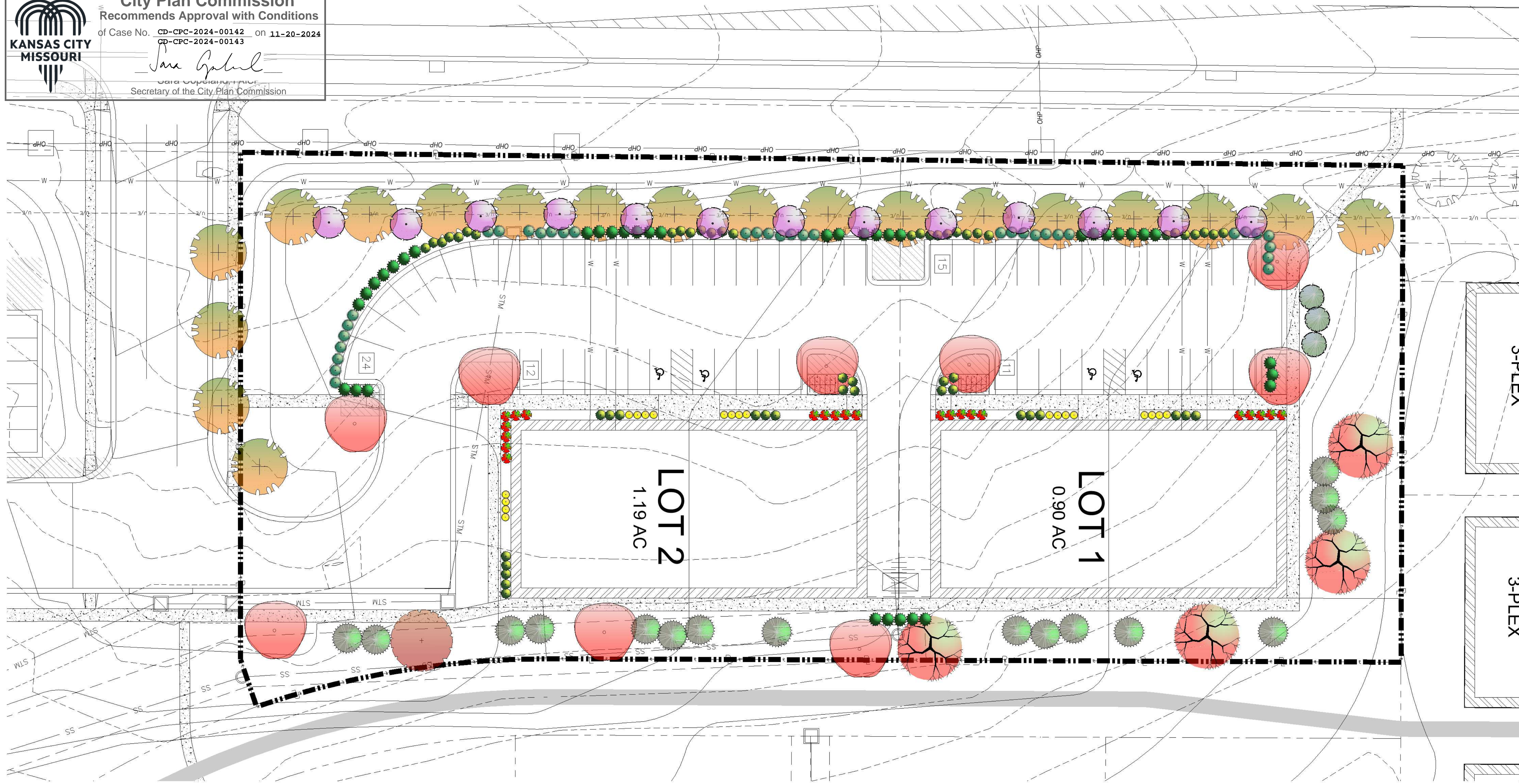
C-5

PRELIMINARY-NOT FOR CONSTRUCTION



CLIENT
 Indiana Commons

PROJECT
 Indiana Commons
 Barry Rd. and Indiana Ave.
 Kansas City, MO



1 LANDSCAPE PLAN
 SCALE: 1"=20'-0"

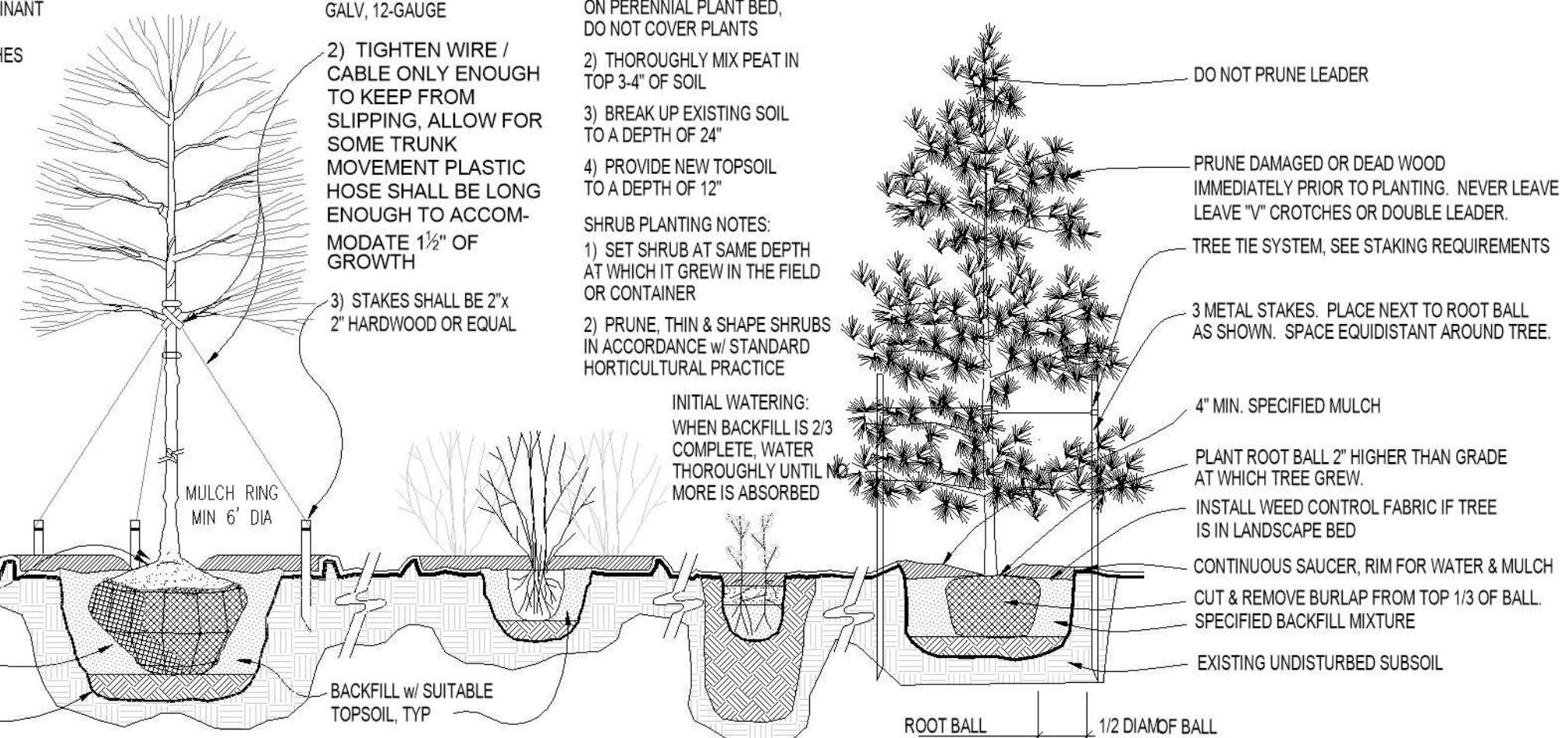
- TREE PLANTING NOTES:**
- DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
 - MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE
 - SET TOP OF ROOT BALL 12 INCHES HIGHER THAN SURROUNDING GRADE
 - APPLY 4" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK
 - EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL
 - REMOVE ALL THINNE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)
 - PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP

- STAKING REQUIREMENTS:**
- WIRE / CABLE SHALL BE GALV. 12-GAUGE
 - TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH
 - STAKES SHALL BE 2" x 2" HARDWOOD OR EQUAL

- PERENNIAL PLANTING NOTES:**
- APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS
 - THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
 - BREAK UP EXISTING SOIL TO A DEPTH OF 24"
 - PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

- SHRUB PLANTING NOTES:**
- SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
 - PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE

INITIAL WATERING:
 WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED



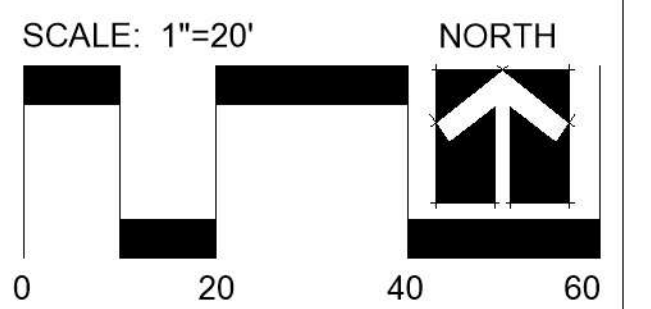
2 PLANTING INSTALLATION DETAILS
 SCALE: NTS

Landscape Requirements/Calculations

88-425-LANDSCAPE SCHEDULE	Required	Proposed	Alt. Requested	Approved
88-425-03 Street Trees 30' o.c.	20	20		
88-425-04 General (15,000 sf bldg)	1 Tree/ 5000sf	4 Trees Provided		
88-425-05 Perimeter Vehicular Use Area				
Adjacent to streets				
Buffer Width	10' min.	Provided		
Trees	30' o.c.	Provided		
Shrub/Wall/Berm	Cont. Evergreen	Provided		
Adjacent to Residential Zones				
Buffer Width	10' min.	Provided		
Shrub/Wall/Berm	Shrubs	Provided		
88-425-06 Interior Vehicular Use Area (64 TOTAL PARKING STALLS)				
Buffer Width	n/a			
Trees	1 Per 5 Stalls	13 Provided		
Shrubs	1 Per Stall	62 Provided		
88-425-07 Parking Garage Screening	n/a			
88-425-08 Mech./Utility Equip. Screening	Provided			
88-425-09 Outdoor Use Screening	n/a			

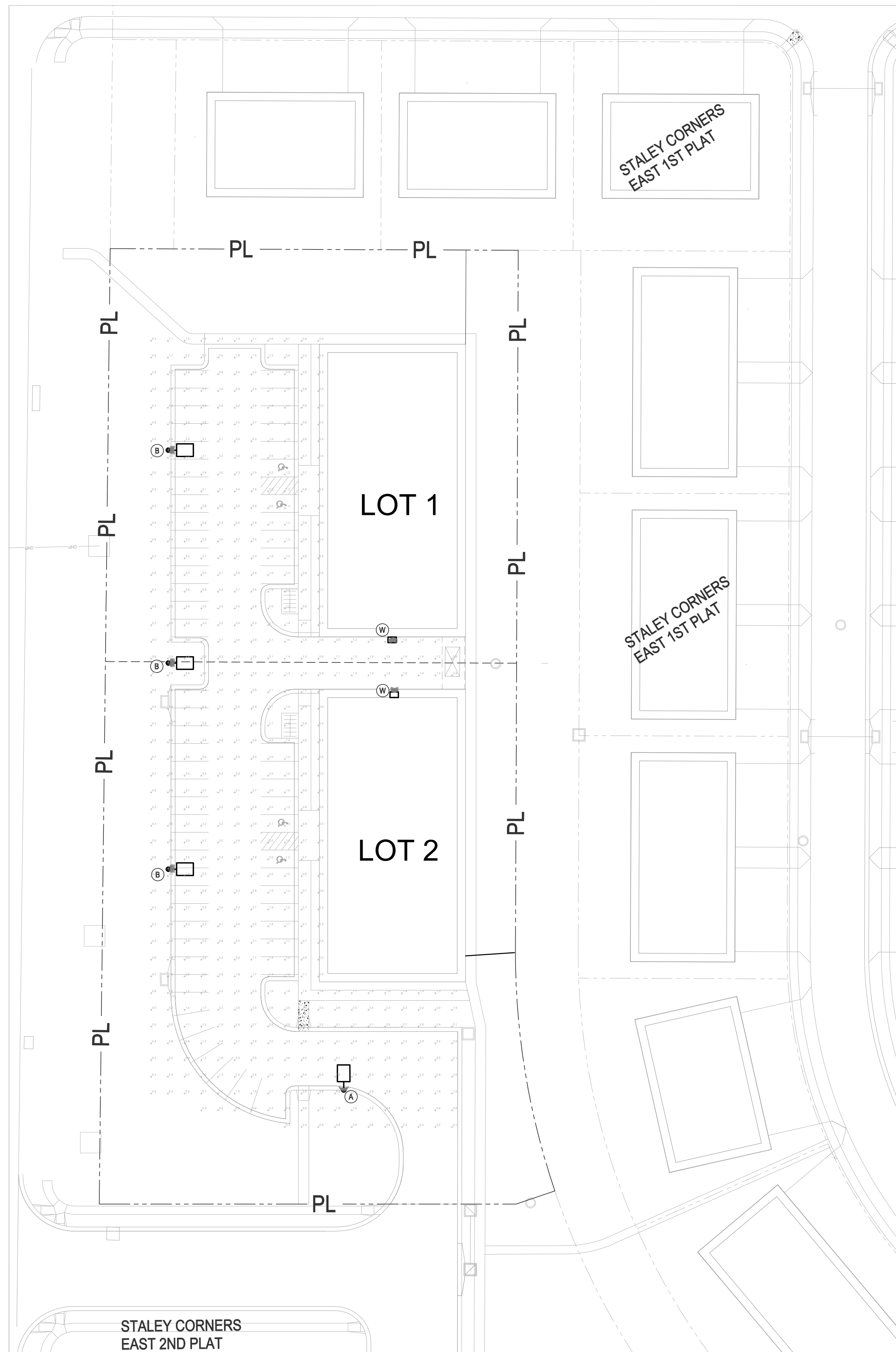
Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
OVERSTORY TREES							
[Symbol]	1	<i>Hyssa sylvatica</i>	Black Tupelo				2" 6' min. clear., ground to canopy
[Symbol]	4	<i>Quercus rubra</i>	Northern Red Oak				2" 6' min. clear., ground to canopy
[Symbol]	0	<i>Platanus x acerifolia</i>	London Plane Tree				2" 6' min. clear., ground to canopy
[Symbol]	20	<i>Gleditsia tricanthos</i> "Shademaster"	Shademaster Honeylocust				2" 6' min. clear., ground to canopy
[Symbol]	11	<i>Acer x truncatum</i> "Warrenred"	Pacific Sunset Maple				2" 6' min. clear., ground to canopy
EVERGREEN TREES							
[Symbol]	3	<i>Juniperus chinensis</i> "Keteleeri"	Keteleeri Juniper		5' ht.		symmetrical pyramidal form
[Symbol]	16	<i>Juniper chinensis</i>	Eastern Red Cedar		5' ht.		symmetrical pyramidal form
[Symbol]	0	<i>Picea abies</i>	Norway Spruce		5' ht.		symmetrical pyramidal form
ORNAMENTAL TREES							
[Symbol]	13	<i>Cercis canadensis</i>	Eastern Redbud		1.5"		
[Symbol]	0	<i>Cornus florida</i> "Cloud Nine"	Cloud 9 Dogwood		2"		
DECIDUOUS SHRUBS/GRASSES							
[Symbol]	0	<i>Liriope muscari</i> "Variegated"	Variegated Liriope	1 gal.			Plant @ 18" O.C.
[Symbol]	20	<i>Spiraea x bumalda</i> "Goldflame"	Goldflame spiraea	3 gal.			Plant @ 3' O.C.
[Symbol]	22	<i>Hydrangea paniculata</i> "Quick Fire"	Little Quick Fire Hydrangea	3 gal.			Plant @ 4' O.C.
[Symbol]	0	<i>Syringa X 'Penda'</i>	Blooming Purple Lilac	5 gal.			Plant @ 5' O.C.
EVERGREEN SHRUBS							
[Symbol]	38	<i>Ilex glabra</i>	Inhberry Holly	3 gal.			Plant @ 4' O.C.
[Symbol]	35	<i>Juniperus chinensis</i> "Gold Coast"	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.
[Symbol]	0	<i>Juniperus chinensis</i> "Spartan"	Spartan Juniper		5' ht.		Symmetrical pyramidal form
[Symbol]	35	<i>Taxus x media</i> "Densaformis"	Dense Spreading Yew	3 gal.			Plant @ 4' O.C.
EXISTING TREES TO BE REMOVED							
EXISTING TREES/SHRUBS TO BE PRESERVED							

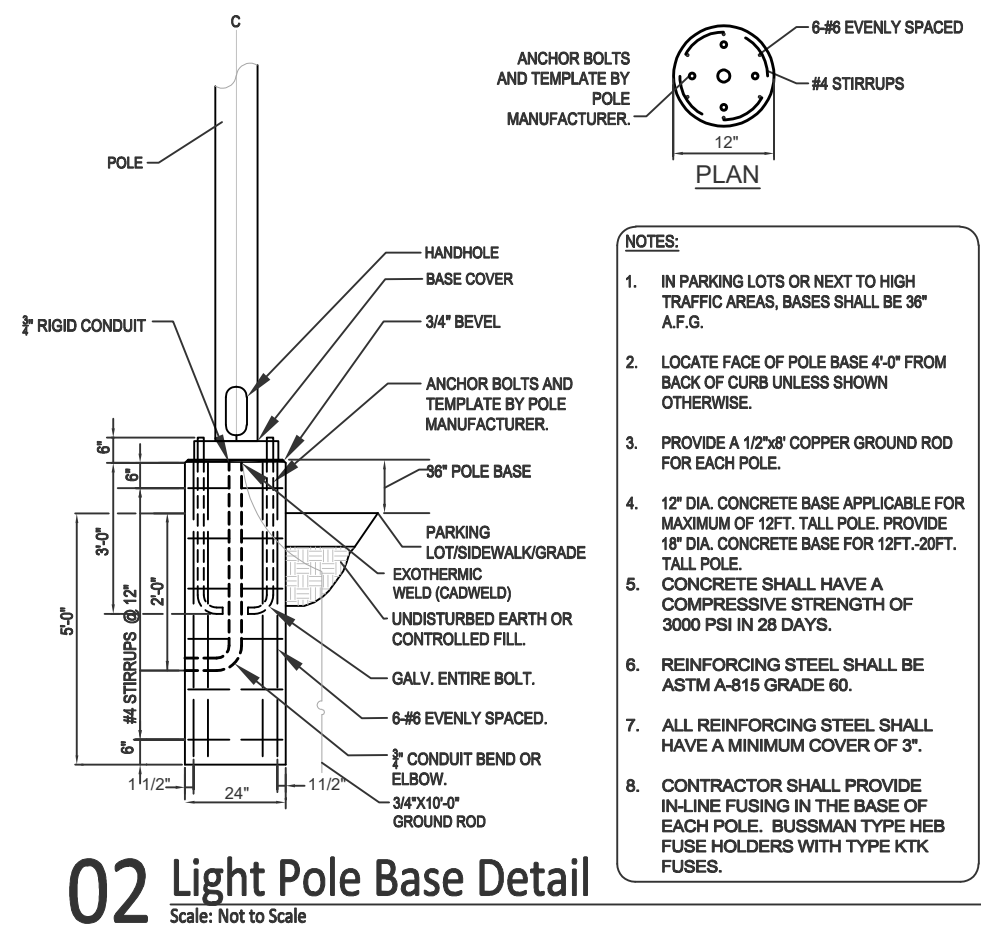
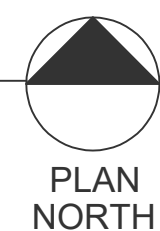


Date: 10.31.2024
 Project #: 500
 Landscape Plan

L1



01 Site Plan
Scale: 3/8"=1'-0"



02 Light Pole Base Detail
Scale: Not to Scale

LIGHT FIXTURE SCHEDULE

MARK	MANUFACTURER	MODEL	HEADS		VOLTS	MOUNTING	TOTAL WATTS	DESCRIPTION	NOTES	MARK
			QUAN.	TYPE						
A	COOPER	GALN-SA6-735-120-SL3-BPC	1	MA1038	120	25' POLE	321	SINGLE HEAD POLE MOUNTED FIXTURE	2,3,4,5	A
B	COOPER	GALN-SA6-735-120-TW4-HSS-BPC	1	MA1039	120	25' POLE	321	SINGLE HEAD POLE MOUNTED FIXTURE	1,2,3,4,5	B
W	COOPER	ISC-SA1-730-U-SL4-TR-HSS-BPC	1	52W LED	120	WALL	45.2	WALL MOUNTED EXTERIOR LED FIXTURE - FULL CUTOFF	1,2,3	W

- NOTES:**
- PROVIDE WITH HOUSESIDE SHIELD
 - PROVIDE WITH FIXTURE MOUNTED PHOTOCELL FOR DUST TO DAWN CONTROL
 - COLOR AS SELECTED BY ARCHITECT
 - CONTRACTOR TO VERIFY TENON SIZE
 - PROVIDE WITH 25' POLES STRUCTURALLY DESIGNED FOR HEAD QUANTITY.
- GENERAL NOTES:**
- PROVIDE ALL REQUIRED ACCESSORIES FOR A COMPLETE INSTALLATION.

VISUAL PHOTOMETRIC STATISTICS

CALC ZONE	DISCUSSION	AVERAGE	MAX	MIN	MAX/MIN	AVE/MIN	NOTES
1	PARKING AREA	25' POLE WITH 3' CONCRETE BASE	2	8.1	0.1	80.1	2.0.1

IES RECOMMENDED	Enhanced Security	Basic min
Min Horizontal Illuminance	0.5 fc	.2 fc
Max to Min	15:1	20:1
Min Vertical	0.25 fc	0.1 fc
Avg Horizontal	2.5 fc	1

POWER MATERIAL NOTES.

- CONDUIT (exterior above grade) - shall be galvanized rigid with threaded fittings. Final connection to Mechanical Equipment shall be made with minimum 12" length of Liquid-Tite conduit.
- CONDUIT (interior above grade) - circuits shall be routed in EMT conduit with set-screw or compression fittings.
- CONDUIT (below slab) - shall be Schedule 40 PVC with solvent weld fittings. Change to metal conduit at floor penetration (elbow in slab shall be metal rigid conduit).
- CONDUCTORS (#10 awg & smaller) - shall be annealed soft copper, solid or stranded construction, and Code Type THWN or THHN with #12awg minimum size.
- CONDUCTORS (#8 awg & larger) - shall be annealed soft copper, compressed strand construction, and Code Type THWN-2 or THHN.
- GROUNDING (equipment) - All circuits shall be provided with Code sized equipment grounding conductor.
- SAFETY SWITCHES - shall be Square D, or approved equal, heavy duty grade safety switch in configuration noted.
- FIRE STOPPING - provide fire stopping, as manufactured by 3M or Hilti, at fire-rated construction to maintain an effective barrier against the spread of flame, smoke, and hot gases. Components shall be compatible with each other, the substrates forming openings, and the items, if any, penetrating the fire stopping under conditions of service and application, as demonstrated by the fire stopping manufacturer based on testing and field experience.

20A WIRE SIZING SCHEDULE (VOLTAGE DROP)

ALL WIRE SIZES SHOWN ON BELOW SCHEDULE ARE INTENDED TO BE MINIMUM ACCEPTABLE WIRE SIZE

THE FOLLOWING SCHEDULE IS TO BE USED TO SIZE WIRE FOR 20 AMP CIRCUITS (120 AND 277 VOLT). LENGTHS (ONE WAY) ARE INTENDED TO BE MAXIMUM.

120 VOLT CIRCUIT MAX LENGTH (FT)

MAX AMPS	MAX WATTS	WIRE SIZE			
		#12	#10	#8	#6
5	600	200	325	490	770
10	1200	100	160	245	385
15	1800	70	110	165	255

277 VOLT CIRCUIT MAX LENGTH (FT)

MAX AMPS	MAX WATTS	WIRE SIZE			
		#12	#10	#8	#6
5	1385	480	760	1170	1865
10	2770	240	380	585	930
15	4155	160	250	390	620



REVISIONS

No.	Description	Date

Rel. Date: 10.31.2024

SITE PLAN

E1.01

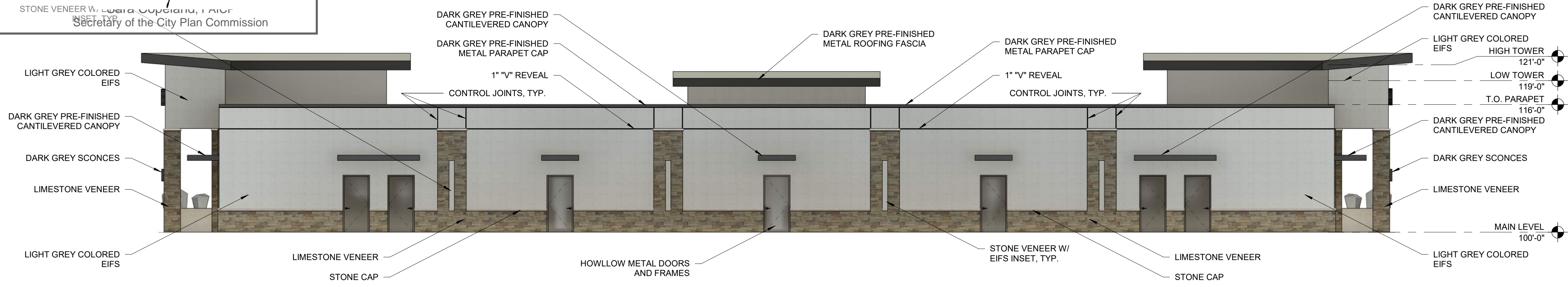
City Plan Commission
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CD-CPC-2024-00143
Jane Gabriel
Jane Gabriel, Mayor
Secretary of the City Plan Commission



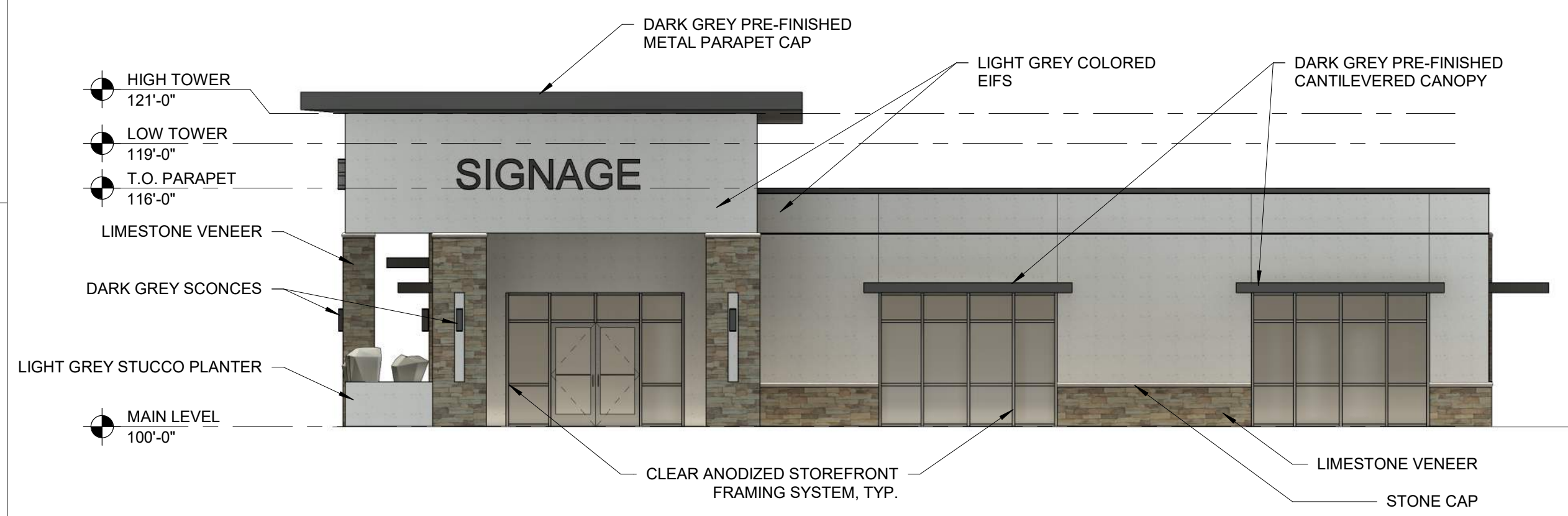
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Secretary of the City Plan Commission



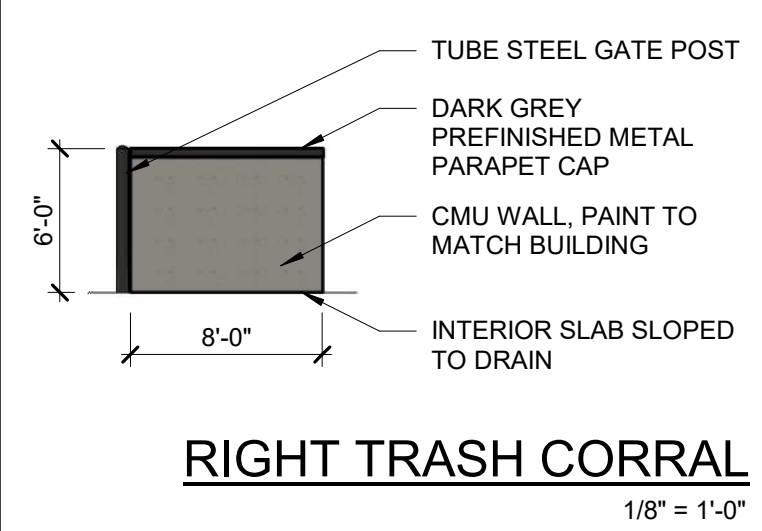
NORTH ELEVATION C1
1/8" = 1'-0"



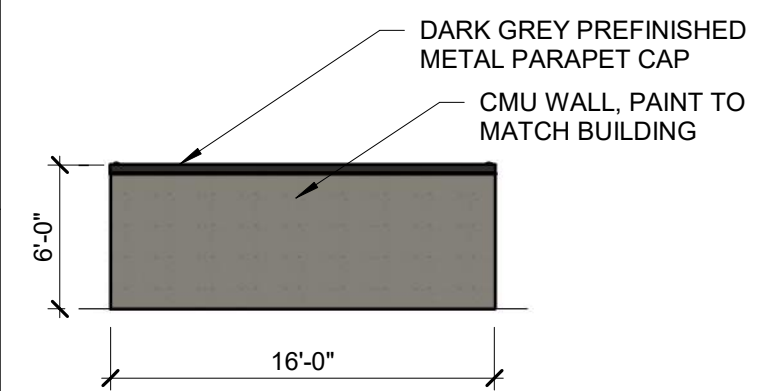
EAST ELEVATION B2
1/8" = 1'-0"



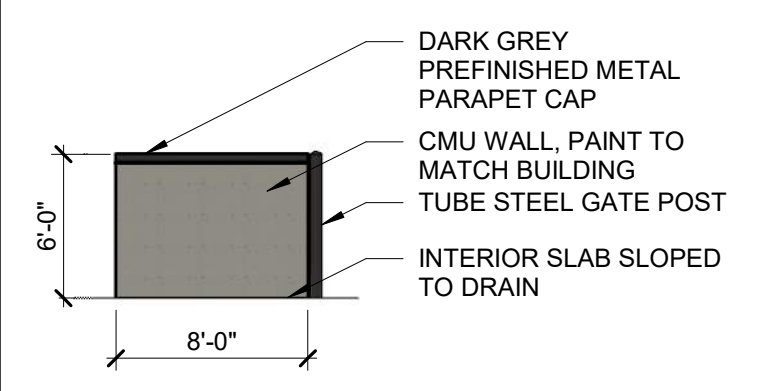
WEST ELEVATION B1
1/8" = 1'-0"



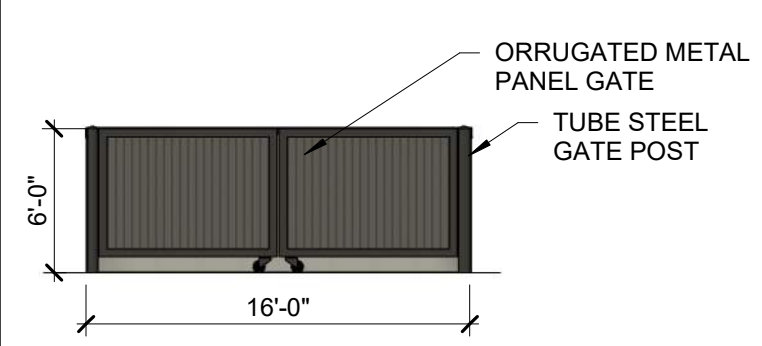
RIGHT TRASH CORRAL
1/8" = 1'-0"



REAR TRASH CORRAL
1/8" = 1'-0"



LEFT TRASH CORRAL
1/8" = 1'-0"



FRONT TRASH CORRAL
1/8" = 1'-0"



SOUTH ELEVATION A3
1/8" = 1'-0"

C24.143.01
Planning Submittal
INDIANA COMMONS
Staley Corners



APPROVED BY:
Name: ... Date: ...
Name: ... Date: ...
Name: ... Date: ...

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION.

REVISIONS table with columns: No., Description, Date

Rel. Date: 09/25/24

BUILDING ELEVATIONS

A200