



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri
City Planning & Development Department
www.kcmo.gov/cpc

November 1, 2022

Project Name
3rd and Grand

Docket #7

Request

CD-CPC-2022-00164
Rezoning
Development Plan

Applicant

Patrick Reuter, RA
Klover Architects, Incorporated
8813 Penrose Lane
Unit 400
Lenexa, KS 66219

Owner

Kansas City Area Transportation Authority
1200 E 18th Street
Kansas City, MO 64108

Location 240 Oak Street
Area About 1.92 acres
Zoning UR
Council District 4th
County Jackson County
School District KCMO 110

Surrounding Land Uses

North: Utilities, zoned M1-5
South: Commercial, zoned DC-15
East: Residential, zoned UR
West: Residential, zoned UR

Major Street Plan

The City's Major Street Plan identifies Grand as an established boulevard.

Land Use Plan

The Greater Downtown Area Plan recommends Downtown Mixed Use for this location.

APPROVAL PROCESS



PROJECT TIMELINE

The application for the subject request was filed on 09/09/2022. The project is on schedule.

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

The Downtown Neighborhood Association was notified of this public hearing.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 does apply to this request. Applicant hosted a meeting on October 18, 2022. A summary of the meeting is attached to the staff report, see Attachment #3.

EXISTING CONDITIONS

The subject property is currently used as a parking lot for the RideKC Park and Ride.

SUMMARY OF REQUEST + KEY POINTS

The applicant is seeking approval of a re-zoning from District UR to District UR and approval of a preliminary development plan for a five-story apartment building with 256 apartment units, one story podium parking garage, and amenity areas.

CONTROLLING + RELATED CASES

- River Market Development Plan
- Approved via Ordinance No. 056936 to rezone the site from District M-2a to district UR to allow for a development plan for commercial, office, and residential uses.
 - The subject property was approved to be used as a parking lot.

PROFESSIONAL STAFF RECOMMENDATION

Docket # 7 CD-CPC-2022-00164
Approval with Conditions

PLAN REVIEW

The approved River Market development plan from 1984 (Ordinance No. 56936) approved the subject property as a parking lot for the River Market Area. The plan used PIEA funds, requiring the lots to be rezoned to district UR. The original agreement for this property allowed for 185 public parking spaces.

The applicant is proposing a five-story apartment building with 256 apartment units, basement level parking, a podium parking garage, and associated amenity areas. Because the approved plan allowed only a parking lot, the applicant is requesting a major amendment to the previously approved development plan with this application. The subject property is located adjacent to Grand Boulevard, which is identified as a Boulevard on the City's Major Street Plan.

The ground level of the development consists mainly of parking with a small area located along the southwest corner of the property identified as leasing. The second floor includes apartment units, club space, and a courtyard like area with amenities. The proposed height from grade is 77', which remains in character with the surrounding buildings.

The basement level parking is accessed off Oak Street and ground level parking is accessed off Third Street. There are 231 parking spots proposed for a parking ratio of 0.94 spaces per unit. Per section 88-420-04-L of the Code, uses within the Downtown Streetcar Area are not required to provide off-street parking. The current owner, the developer, and the city have executed agreements which permit this ratio.

The applicant is in the process of transferring the right of way along Grand Boulevard to the City for improvements. Staff has met with KCATA, Public Works, and the Streetcar Authority to create a condition regarding the placement of the sidewalk, street trees, and bike racks to ensure the appropriate infrastructure is placed by the owner of the land. At the time of staff report, the applicant is only showing sidewalks on three sides of the structure.

The proposed development is built to the lot line, which is not allowing the applicant to provide the required landscaping in compliance with the Boulevard and Parkway standards. A landscape plan has been provided with planter boxes and landscaping alternatives, the applicant has also submitted elevations showing locations for future artwork that will activate the ground level of the building and promote pedestrian activity and promote street level activity. Since no landscaping is being provided by the developer along Grand, staff is requiring the applicant submit an alternative landscaping plan as part of the final UR plan to ensure the proposals are compliant with the Zoning and Development Code and meets requirements from Parks and Recreation. The submittal of this plan will also allow the developer to work with the appropriate agencies and local artists to create a ground level that will benefit both the developer and the City.

The applicant has not provided a lighting plan, staff is including conditions requiring the applicant to provide lighting over the garage entrance/exits to encourage pedestrian safety and the submittal of a photometric plan in compliance with Section 88-430-06-B at the time of the UR final plan.

The construction materials for the proposed building are a mix of brick, cast stone, EIFS/stucco, metal, metal mesh, and lap siding. The applicant is proposing art as an additional way to accent the facades of the parking garage.

PLAN ANALYSIS

**indicates adjustment/deviation*

Standards	Applicability	Meets	More Information
Boulevard and Parkway Standards (88-323)	Yes	No	See below
Parkland Dedication (88-408)	Yes	Yes, subject to conditions	
Parking and Loading Standards (88-420)*	Yes	Yes	See below
Landscape and Screening Standards (88-425)*	Yes		See below
Outdoor Lighting Standards (88-430)	Yes	Yes, subject to conditions	
Sign Standards (88-445)	Yes	Yes, subject to conditions	
Pedestrian Standards (88-450)	Yes	Yes, subject to conditions	

Boulevard and Parkway Standards

Section 88-323-02-C of the Zoning and Development Code states with regard to structured parking that “the ground level street frontage, with the exception of pedestrian ingress/egress, shall be improved with retail, office, residential, or other uses...”. The proposed plan does not meet this requirement. The number of parking spaces would need to be reduced in order to comply given the shape of the lot (it narrows in this portion) and the additional right-of-way requested by the Public Works Department. Therefore, the applicant is seeking a deviation from this requirement and permission to work with staff to provide murals or art in-lieu. If the Commission believes the number of parking spaces proposed is appropriate, staff supports this deviation because it would be infeasible to provide the parking number and right-of-way required of the agreements and meet this requirement due to the limited depth of the lot in this location.

Parking and Loading

While the existing parking lot provides 185 spaces available to the public, only 4 will be made available in the proposed garage. The agreements indicate that in the interest of preserving a transit-oriented development, no additional on-site parking will be added so as to provide for more public parking. Staff does not believe a ratio of 0.94 spaces per unit, particularly at the sacrifice of our boulevard standards, is resulting in the best transit-oriented project for the City. Given the presence of prior agreements which seem to permit the parking ratio, planning staff do not believe it is our role to ask for a reduction in the number of parking requirements, however it is our professional opinion that the number of spaces provided undermines the intent of the streetcar and the goals of transit-oriented development generally. No deviation is needed for this since there is no cap on the number of spaces a developer may provide.

Landscaping and Screening

The Landscaping and Screening standards require a parking garage's ground-level street frontage must be screened with ground floor residential units, improved with retail or office, or screened with a densely planted landscape perimeter. The deviation is required because the proposed structure is located almost immediately on the property line adjacent to a right-of-way that will be owned by the City. Therefore, the applicant cannot place the required landscaping as screening on the ground level parking garage. The applicant is also required to provide a required number of parking spaces and is therefore not able to provide ground floor residential or retail uses.

SPECIFIC REVIEW CRITERIA

Rezoning Analysis

In reviewing and making decisions on proposed zoning map amendments, the city planning and development director, city plan commission, and city council must consider at least the following factors:

88-515-08-A. Conformance with adopted plans and planning policies;

The proposed development will meet the Zoning and Development Code when all conditions are met. The Greater Downtown Area Plan calls for doubling the downtown population and increasing the density, it also calls for encouraging private development to be designed to support, encourage and reinforce pedestrian activity. The proposed development is still very auto-oriented, however that is due to the development agreement the developer has signed.

88-515-08-B. Zoning and use of nearby property;

The applicant is proposing a rezoning to district UR from district UR. The surrounding properties consist of residential uses and commercial uses, in districts ranging from DC-15 to UR.

88-515-08-C. Physical character of the area in which the subject property is located;

The subject property is located on one of the busiest corners of the River Market, it is currently being used as the RideKC Park and Ride parking lot, it is located on Grand Boulevard which has been approved for the Streetcar Extension.

88-515-08-D. Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;

The proposed development is transferring a portion of it's lot for the creation of the right-of-way to provide for the streetcar extension and cycle tracks. Staff has created a condition that will require the developer to make a payment in-lieu for the full cost of bicycle parking, street trees, and sidewalks as required by Chapter 88 or to install them as required by the Director of Public Works.

88-515-08-E. Suitability of the subject property for the uses to which it has been restricted under the existing zoning regulations;

Under the existing UR zoning, the subject property can only be used as a parking lot, the applicant is rezoning the property to allow for a residential development.

88-515-08-G. The extent to which approving the rezoning will detrimentally affect nearby properties;

The property immediately west of this project has been approved for a mixed-use development. The remaining properties are used as commercial and residential structures. The rezoning will not detrimentally affect nearby properties.

88-515-08-H. The gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.

The proposed development is providing additional housing opportunities in a fast-growing area of the city.

Development Plans, Project Plan, or Site Plan (88-516-05)

To be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;

The proposed development will meet the Zoning and Development Code when all conditions are met. The Greater Downtown Area Plan calls for doubling the downtown population and increasing the density, it also calls for encouraging private development to be designed to support, encourage and reinforce pedestrian activity. The proposed development is still very auto-oriented, however that is due to the development agreement the developer has signed.

B. The proposed use must be allowed in the district in which it is located;

The proposed use is located in a UR district, the use is allowed.

C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;

Vehicular ingress and egress to and from the site and within the site provides for safe, efficient, and convenient movement of traffic.

D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;

The plan proposes for safe and efficient non-motorized travel opportunities on three sides of the project, staff has created conditions that will require the developer to work with applicable agencies to ensure the right-of-way along Grand be developed to City standards.

E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The plan provides adequate utilities based on City standards.

F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The developer is requesting deviations for the parking garage located along Grand Boulevard, will be required to submit an alternative landscaping requirement plan prior to Final UR Plan, and will be

required to work with Public Works, KCATA, and the Streetcar Authority to ensure the building is compatible with adjacent properties.

G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

The developer is proposing alternative forms of landscaping and art walls that will help mitigate the blank walls of the parking garage.

H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The applicant is proposing over 200 parking spaces located in a parking garage structure within the development. As stated, previously the developer has entered into an agreement that requires the development provide the proposed parking stalls.

I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

The developer has not provided a plan identifying which trees will be preserved or removed, however it is assumed all trees will be removed since all existing trees are currently used as interior landscaping of the parking lot.

ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

PROFESSIONAL STAFF RECOMMENDATION

City staff recommends **Approval with Conditions** as stated in the conditions report.

Respectfully Submitted,



Larisa Chambi, AICP
Lead Planner



Plan Conditions

Report Date: October 31, 2022

Case Number: CD-CPC-2022-00164

Project: 3rd & Grand

Condition(s) by City Planning and Development Department. Contact Larisa Chambi at (816)513-8822 / Larisa.Chambi@kcmo.org with questions.

1. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
2. The developer shall secure approval of a UR final plan from Development Management Division staff prior to building permit.
3. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
4. Applicant will submit an exterior lighting plan (including lights over entrances and garage egress and ingress) in compliance with Section 88-430 of the Code at the time of UR Final Development Plan.
5. Applicant will be required to submit a Photometric plan at the time of UR Final Plan in compliance with 88-430-06.
6. Signage has not been reviewed with this submittal, all signage shall conform to 88-445 and shall require a sign permit prior to installation.
7. That the developer shall, as required by the Director of Public Works at time of building permit, install or make payment in-lieu for the full cost of bicycle parking, street trees, and sidewalks as required by Chapter 88. If payments are made in-lieu, an independent cost estimate of the improvements shall be provided by the Director.
8. That the developer be granted a deviation to 88-425-07 Screening of Parking Garages. An alternative to this will be reach prior to the approval of the Final UR Plan. The developer shall place the language in section 88-425-07 on the landscaping plan.
9. The developer shall work with staff to identify building materials, fenestration, architectural details or lighting, art or a combination thereof, to improve the pedestrian experience along the ground level of the garage along all street frontages, giving greater emphasis to Grand Blvd, and depict such details on the final UR plan submittal
10. The Applicant shall continue to work with KCATA, Public Works, and the Streetcar Authority regarding infrastructure and installation timelines.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at / Terry.A.Thomas@kcmo.org with questions.

11. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
12. The developer provide acceptable easement and secure permits to relocated sanitary sewers out from under proposed buildings and structures, etc., while continuing to ensure individual service is provided to all proposed lots as required by Land Development Division prior to recording the plat or issuance of a building permit, whichever occurs first.
13. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations.

Condition(s) by City Planning and Development Department. Contact Terry Thomas at / Terry.A.Thomas@kcmo.org with questions.

14. Please note that any proposed on-street parking shall be approved by the Public Works Department prior to the issuance of a permit from Land Development for construction. Requests for on-street parking require review by Public Works staff during the plan review process.
15. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
16. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.

Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.

17. The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
18. Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
19. Fire hydrant distribution shall follow IFC-2018 Table C102.1

Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2)

20. New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)
21. The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
22. Required fire department access roads shall be an all weather surface (IFC-2012: § 503.2.3) and shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5) Required fire department access roads shall be designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)

Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.

23. The developer shall pay money-in-lieu of parkland dedication as indicated on plans based upon the 2022 acquisition rate of \$64,220.18 per acre. This requirement shall be satisfied prior to certificate of occupancy.
24. The developer shall fully comply with the parkway & boulevard standards as outlined in 88-323 as Grand Blvd is identified and subject to the Blvd requirements for development.
25. The developer shall submit a streetscape plan for Grand Blvd as part of their final UR plan submittal.

Condition(s) by Water Services Department. Contact Courtney Hawkins at / courtney.hawkins@kcmo.org with questions.

26. The developer shall submit a Storm Drainage analysis from a Missouri-licensed civil engineer to the Land Development Division evaluating proposed improvements and impact to drainage conditions. Since this project is within a "Combined Sewer Overflow" (CSO) district, the project shall be designed to retain rainfall of 1.5 inch depth over the entire site to simulate natural runoff conditions and reduce small storm discharge to the combined sewer system. Manage the 10-year storm and 100-year storm per currently adopted APWA standards. The analysis shall be submitted prior to issuance of any building permits, and the developer secure permits to construct any improvements required by the Land Development Division prior to issuance of any certificate of occupancy.
27. The developer shall provide acceptable easements for any deep sewers where proposed fill is added or where the sewer will be further obstructed by surface improvements, provide a structural analysis to confirm adequate structural integrity for the proposed loading conditions, secure permits, and provide City-approved, executed and recorded easement prior to adding fill or constructing surface obstructions.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.

28. Branch service lines one-and-one-half inches and larger in diameter for domestic water services or fire protection lines shall be connected to the main by cutting in a minimum 6" branch service tee, installing three gate valves, and two solid sleeves on the main. Line valves on the main shall be the same nominal size as the main.
29. No water service line will be less than 1-1/2" in diameter where three or more units or Commercial building will be served by one domestic service line and meter.
30. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.
South of River contact – Sean Allen - 816-513-0318
North of River contact Pedro Colato – 816-513-4892
31. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

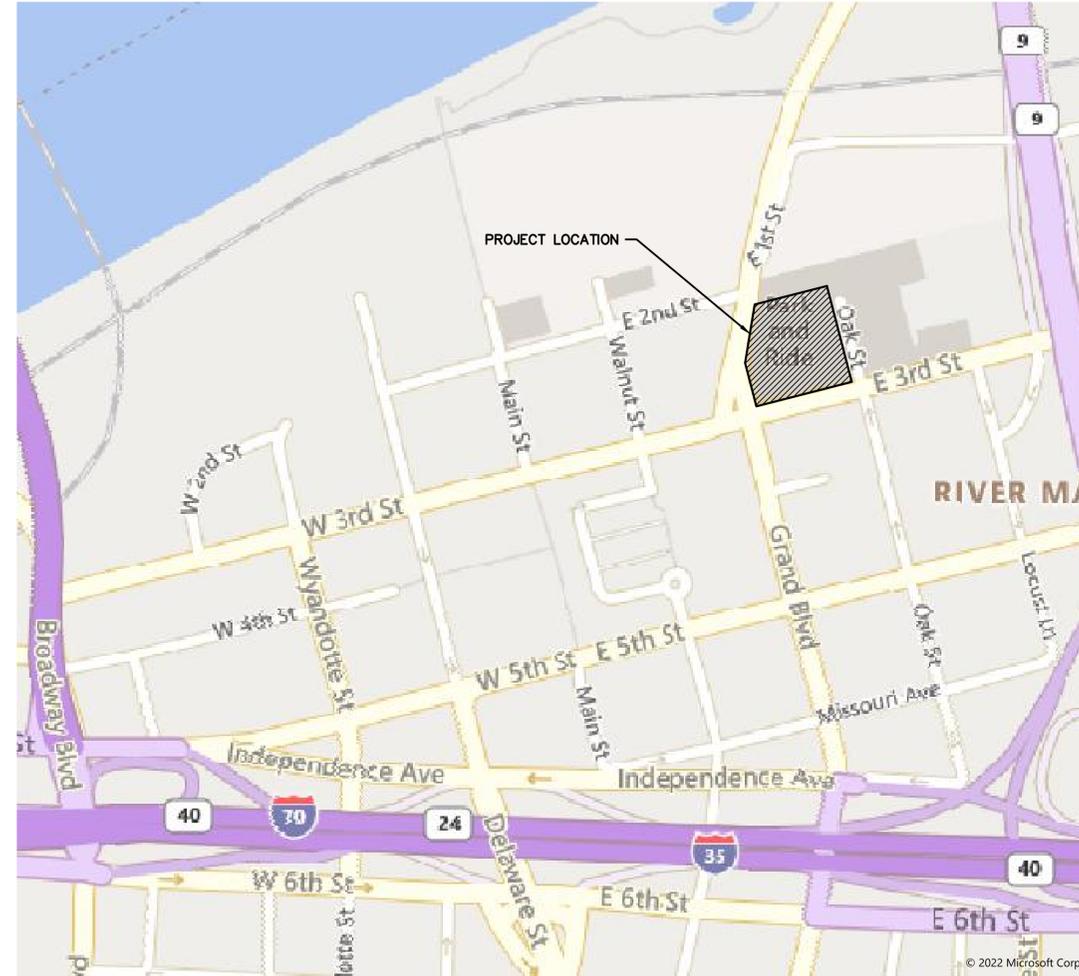
Condition(s) by Water Services Department. Contact Jerald Windsor at (816) 513-0413 / Jerald.Windsor@kcmo.org with questions.

32. The developer must submit Fire Hydrant drawings prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations. The plans should at a minimum show installing a new Fire Hydrant on 3rd Street between Grand and Oak.
[Water Main Extensions and Relocations (kcwater.us)]

3RD & GRAND URBAN REDEVELOPMENT PLAN

3RD STREET & GRAND BLVD
SECTION 32, TOWNSHIP 50N, RANGE 33W
KANSAS CITY, JACKSON COUNTY, MISSOURI

SHEET LIST TABLE	
Sheet Number	Sheet Title
C100	TITLE SHEET
C101	EXISTING CONDITIONS
C200	SITE PLAN - BASEMENT PARKING
C201	SITE PLAN - LEVEL 1 PARKING & RETAIL
C202	SITE PLAN - LEVELS 2-6
C300	UTILITY PLAN
L100	ROOFTOP LANDSCAPE PLAN
A100	FLOOR PLANS
A200	EAST & WEST BUILDING ELEVATIONS
A201	NORTH & SOUTH BUILDING ELEVATIONS



PROPERTY DESCRIPTION:

ALL OF LOTS 298 THRU 302 AND LOTS 349 THRU 353, BLOCK 32, TOWN OF KANSAS, COMMONLY CALLED OLD TOWN, A SUBDIVISION OF LAND IN THE SOUTHEAST QUARTER OF SECTION 32 TOWNSHIP 50 NORTH, RANGE 33 WEST OF THE 5TH PRINCIPAL MERIDIAN IN KANSAS CITY, JACKSON COUNTY, MISSOURI, INCLUDING THAT PORTION OF VACATED ALLEYWAY, EXCEPT THOSE PARTS OF SAID LOTS NOW IN GRAND AVENUE AND THE RIGHT-OF-WAY OF THE KANSAS CITY SOUTHERN RAILWAY COMPANY, BEING BOUNDED AND DESCRIBED BY OR UNDER THE DIRECT SUPERVISION OF JASON S ROUDEBUSH, P.L.S. 2002014092, AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 353, SAID POINT ALSO BEING A POINT ON THE EXISTING NORTHERLY RIGHT-OF-WAY LINE OF 3RD STREET AS NOW ESTABLISHED; THENCE SOUTH 75°36'11" WEST ON THE SOUTH LINE OF SAID LOTS 353 AND 298 AND SAID EXISTING NORTHERLY RIGHT-OF-WAY LINE, 299.13 FEET TO THE SOUTHWEST CORNER OF SAID LOT 298 ALSO BEING A POINT ON THE EXISTING EASTERLY RIGHT-OF-WAY LINE OF GRAND AVE. AS NOW ESTABLISHED; THENCE NORTH 14°32'52" WEST ON THE WEST LINE OF SAID LOT 298 AND 299 AND SAID EXISTING EASTERLY RIGHT-OF-WAY LINE, 135.85 FEET TO THE NORTHWEST CORNER OF SAID LOT 299, ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 300; THENCE NORTH 09°20'10" EAST ON THE WEST LINE OF SAID LOTS 300 THRU 302 AND SAID EXISTING EASTERLY RIGHT-OF-WAY LINE, 179.76 FEET TO THE NORTHWEST CORNER OF SAID LOT 302 ALSO BEING A POINT ON THE EXISTING SOUTHERLY RIGHT-OF-WAY LINE OF 2ND STREET AS NOW ESTABLISHED; THENCE NORTH 75°42'27" EAST ON THE NORTH LINE OF SAID LOTS 302 AND 349 AND SAID EXISTING SOUTHERLY RIGHT-OF-WAY LINE, 226.32 FEET TO THE NORTHEAST CORNER OF SAID LOT 349 ALSO BEING A POINT ON THE EXISTING WESTERLY RIGHT-OF-WAY LINE OF OAK STREET AS NOW ESTABLISHED; THENCE SOUTH 14°33'12" EAST ON THE EASTERLY LINE OF SAID LOTS 349 THRU 353 AND SAID EXISTING WESTERLY RIGHT-OF-WAY LINE, 300.00 FEET TO THE POINT OF BEGINNING. CONTAINING 83,823 SQUARE FEET OR 1.92 ACRES, MORE OR LESS.

TABLE 1: SITE DATA				
SITE DATA	EXISTING	PROPOSED	DEVIATION REQUESTED?	APPROVED
ZONING	UR	UR	NO	N/A
GROSS LAND AREA				
- IN SQUARE FEET	83,823	83,823	NO	N/A
- IN ACRES	1.92	1.92	NO	N/A
RIGHT-OF-WAY DEDICATION				
- IN SQUARE FEET	0	6,926	NO	N/A
- IN ACRES	0	0.16	NO	N/A
BUILDING AREA (SQ. FT.)	0	244,568	NO	N/A
F.A.R.	0	2.92	NO	N/A
RESIDENTIAL USE INFO	N/A	N/A	NO	N/A
TOTAL LOTS				
- RESIDENTIAL		1	NO	N/A
- PUBLIC/CIVIC	1		NO	N/A
- COMMERCIAL			NO	N/A
- INDUSTRIAL			NO	N/A
- OTHER			NO	N/A

TABLE 2: BUILDING DATA				
SITE DATA	EXISTING	PROPOSED	DEVIATION REQUESTED?	APPROVED
REAR SETBACK	N/A	NONE	NO	N/A
FRONT SETBACK	N/A	NONE	NO	N/A
SIDE SETBACK	N/A	N/A	NO	N/A
SIDE SETBACK (ABUTTING STREET)	N/A	NONE	NO	N/A
HEIGHT	NONE	77'	NO	N/A

TABLE 3 - LANDSCAPE REQUIREMENTS				
88-425 LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED	ALTERNATIVE REQUESTED?	APPROVED
88-425-03 STREET TREES	39	0	YES	
88-425-04 GENERAL	15	8 (ROOF)	YES	
88-425-05 PERIMETER VEHICULAR USE AREA				
- ADJACENT TO STREETS				
BUFFER WIDTH	N/A	N/A	NO	N/A
TREES	N/A	N/A	NO	N/A
SHRUBS/WALL/BERM	N/A	N/A	NO	N/A
- ADJACENT TO RES. ZONES				
BUFFER WIDTH	N/A	N/A	NO	N/A
SHRUBS/BERM/FENCE/WALL	N/A	N/A	NO	N/A
88-425-06 INTERIOR VEHICULAR USE AREA				
INTERIOR AREA	N/A	N/A	NO	N/A
TREES	N/A	N/A	NO	N/A
SHRUBS	N/A	N/A	NO	N/A
88-425-07 PARKING GARAGE SCREENING	10'	0	YES	
88-425-08 MECHANICAL/UTILITY EQUIPMENT SCREENING	YES	YES	NO	N/A
88-425-09 OUTDOOR USE SCREENING	N/A	N/A	NO	N/A

TABLE 4: PARKING DATA					
88-420 PARKING	VEHICLE SPACES		BIKE SPACES		ALTERNATIVES PROPOSED?
	REQUIRED	PROPOSED	REQUIRED (LONG/SHORT)	PROPOSED (LONG/SHORT)	
	246	231	82 24	XXXXX	YES

PROJECT TEAM CONTACT LIST	
DEVELOPER	3G DEVELOPMENT, LLC C/O CBC REAL ESTATE GROUP, LLC & EPC REAL ESTATE GROUP 4706 BROADWAY, SUITE 240 KANSAS CITY, MO 64112 PHONE: 816.285.9557
ARCHITECT	KLOVER ARCHITECTS 8813 PENROSE LANE, SUITE 400 LENEXA, KS 66219 CONTACT: PATRICK REUTER PHONE: 913-649-8181 EMAIL: hpermitting@klover.net
ENGINEER	OLSSON 1301 N BURLINGTON STREET, STE 100 NORTH KANSAS CITY, MO 64116 CONTACT: JOHN ERPELDING PHONE: 816.791.7530 EMAIL: JERPELDING@OLSSON.COM
LANDSCAPE ARCHITECT	THE OLSSON STUDIO 1814 MAIN STREET KANSAS CITY, MO 64108 CONTACT: CHRIS CAHALAN PHONE: 816.842.8844 EMAIL: CCAHALAN@OLSSON.COM
SURVEYOR	OLSSON 1301 N BURLINGTON STREET, STE 100 NORTH KANSAS CITY, MO 64116 CONTACT: JASON ROUDEBUSH PHONE: 816.361.1177 EMAIL: JROUDEBUSH@OLSSON.COM

DWG: F:\2022\04001-04500\022-04041-40-Design\AutoCAD\Preliminary Plans\Sheets\GNCV\PDF\C_TTL01_02204041.dwg
 DATE: Oct 14, 2022 6:08pm
 USER: cholmquist
 XREFS: C:\PTBLK_02204041

Olsson - Civil Engineering
 Missouri Certificate of Authority #001992
 1301 Burlington Street
 North Kansas City, MO 64116
 TEL 816.361.1177 www.olsson.com

BY

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

2022

TITLE SHEET

URBAN REDEVELOPMENT PLAN

3RD & GRAND

KANSAS CITY, MO

SHEET

C100

drawn by: _____

checked by: _____

approved by: _____

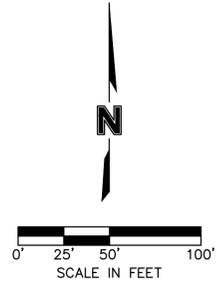
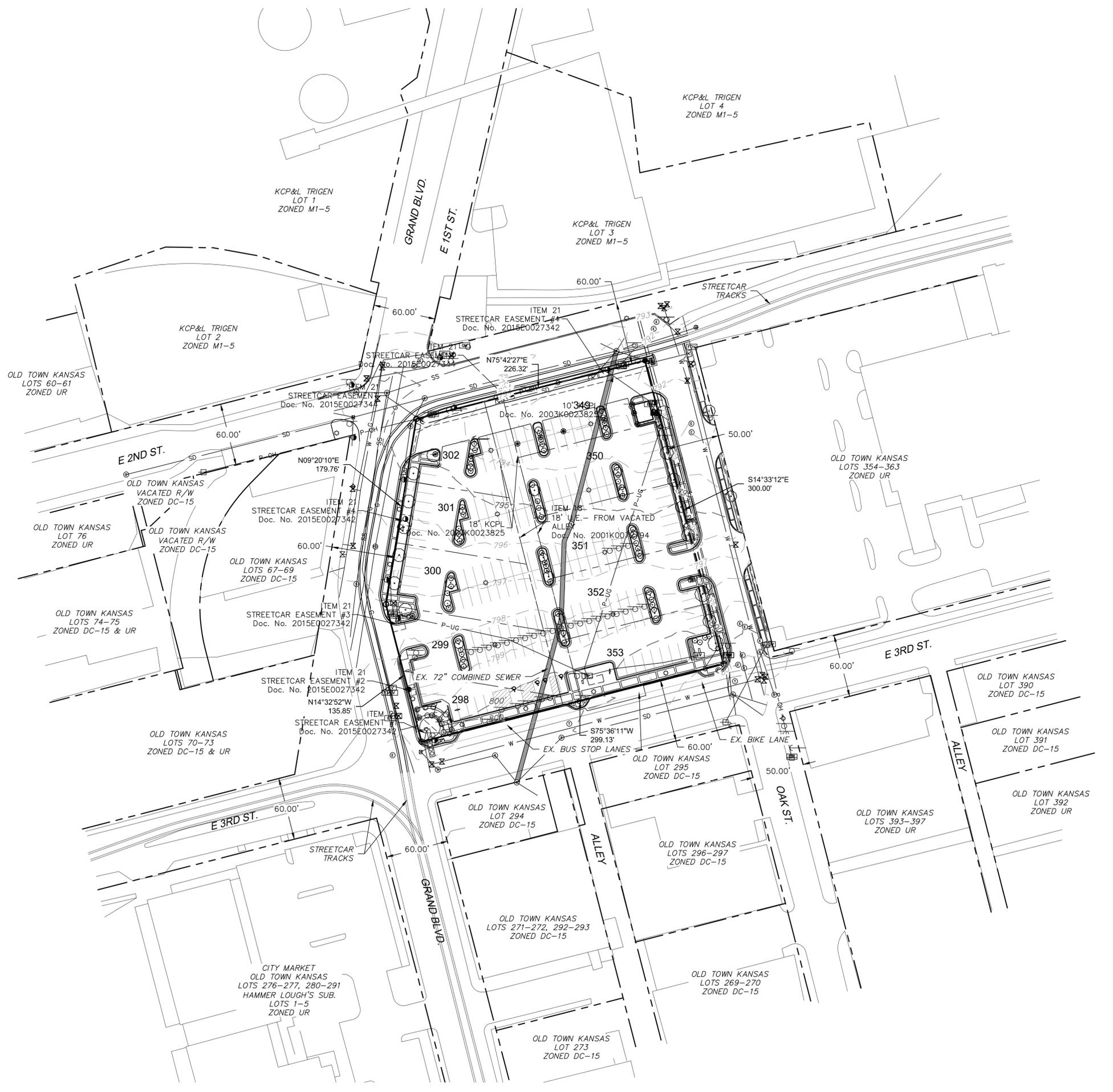
QA/QC by: _____

project no.: 022-04041

drawing no.: C_TTL01_02204041

date: 2022.09.09

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LEGEND	
GENERAL	
ACU	AIR CONDITIONING UNIT
BSH	BUSH
COL	COLUMN
CTR	CONIFEROUS TREE
DRN	DRAIN GRATE
DTR	DECIDUOUS TREE
FLP	FLAG POLE
BOL	BOLLARD (GUARD POST)
GUY	GUY WIRE
HCP	ACCESSIBLE PARKING MARKER
MLB	MAILBOX
SGN	SIGN
TSMH	TRAFFIC SIGNAL MANHOLE
ETL	EXISTING TREELINE
NP	NO PARKING
LS	LANDSCAPING
R	RADIUS
L	ARC DISTANCE
D	DELTA / CENTRAL ANGLE
ITB	INITIAL TANGENT BEARING
EASEMENTS & SETBACKS	
A.E.	ACCESS EASEMENT
E.E.	POWER/ELECTRIC EASEMENT
S.E.	SANITARY SEWER EASEMENT
D.E.	STORM DRAINAGE EASEMENT
W.E.	WATER EASEMENT
SURVEY MARKERS	
BMK	BENCHMARK
CPT	CONTROL POINT
FND	FOUND MONUMENT
ROW	ROW MARKER
SCR	SECTION CORNER
SET	SET MONUMENT
CONTOURS	
-900-	EXISTING INDEX CONTOURS
-898-	EXISTING INTERMEDIATE CONTOURS
UTILITIES	
CAB	CABLE BOX
CAV	CABLE VAULT
TVP	TELEVISION PEDESTAL
TVR	TELEVISION RISER
ECTVGH	EXISTING CABLE TV, OVERHEAD
ECTVU	EXISTING CABLE TV, UNDERGROUND
FOB	FIBER OPTIC BOX
FOM	FIBER OPTIC MANHOLE
FOP	FIBER OPTIC PEDESTAL
FOV	FIBER OPTIC VAULT
FO	EXISTING FIBER OPTIC, UNDERGROUND
GAR	GAS RISER
GMH	GAS MANHOLE
GMK	GAS MARKER
GMT	GAS METER
GRG	GAS REGULATOR
GVL	GAS VALVE
EGNL	EXISTING NATURAL GAS LINE
TEP	TELEPHONE PEDESTAL
TER	TELEPHONE RISER
TEV	TELEPHONE VAULT
TMH	TELEPHONE MANHOLE
ETELGH	EXISTING TELEPHONE LINE, OVERHEAD
ETELU	EXISTING TELEPHONE LINE, UNDERGROUND
LTP	LIGHT POLE
PWP	POWER POLE
TRF	ELECTRIC TRANSFORMER
EBX	ELECTRIC BOX
ELR	ELECTRIC RISER
EMH	ELECTRIC MANHOLE
EML	ELECTRIC METER
ESC	ELECTRIC SECTIONALIZER
EVT	ELECTRIC VAULT
YDL	YARD LIGHT
EEGH	EXISTING POWER/ELECTRIC LINE, OVERHEAD
EEU	EXISTING POWER/ELECTRIC LINE, UNDERGROUND
SCO	SEWER CLEANOUT
SSMH	SANITARY MANHOLE
ESS	EXISTING SANITARY SEWER
RDN	ROOF DRAIN
SD	EXISTING STORM SEWER
FH	FIRE HYDRANT
WMH	WATER MANHOLE
WMT	WATER METER
WVL	WATER VALVE
W	EXISTING WATER LINE

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REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	2022.10.14	Revised per staff comments	

EXISTING CONDITIONS
URBAN REDEVELOPMENT PLAN

3RD & GRAND

KANSAS CITY, MO

drawn by: _____
 checked by: _____
 approved by: _____
 QA/QC by: _____
 project no.: 022-04041
 drawing no.: C_EXC01_02204041
 date: 2022.09.09

2022

SHEET
C101

FUTURE BUS STOP PLATFORM
BY OTHERS

EX. BIKE LANE

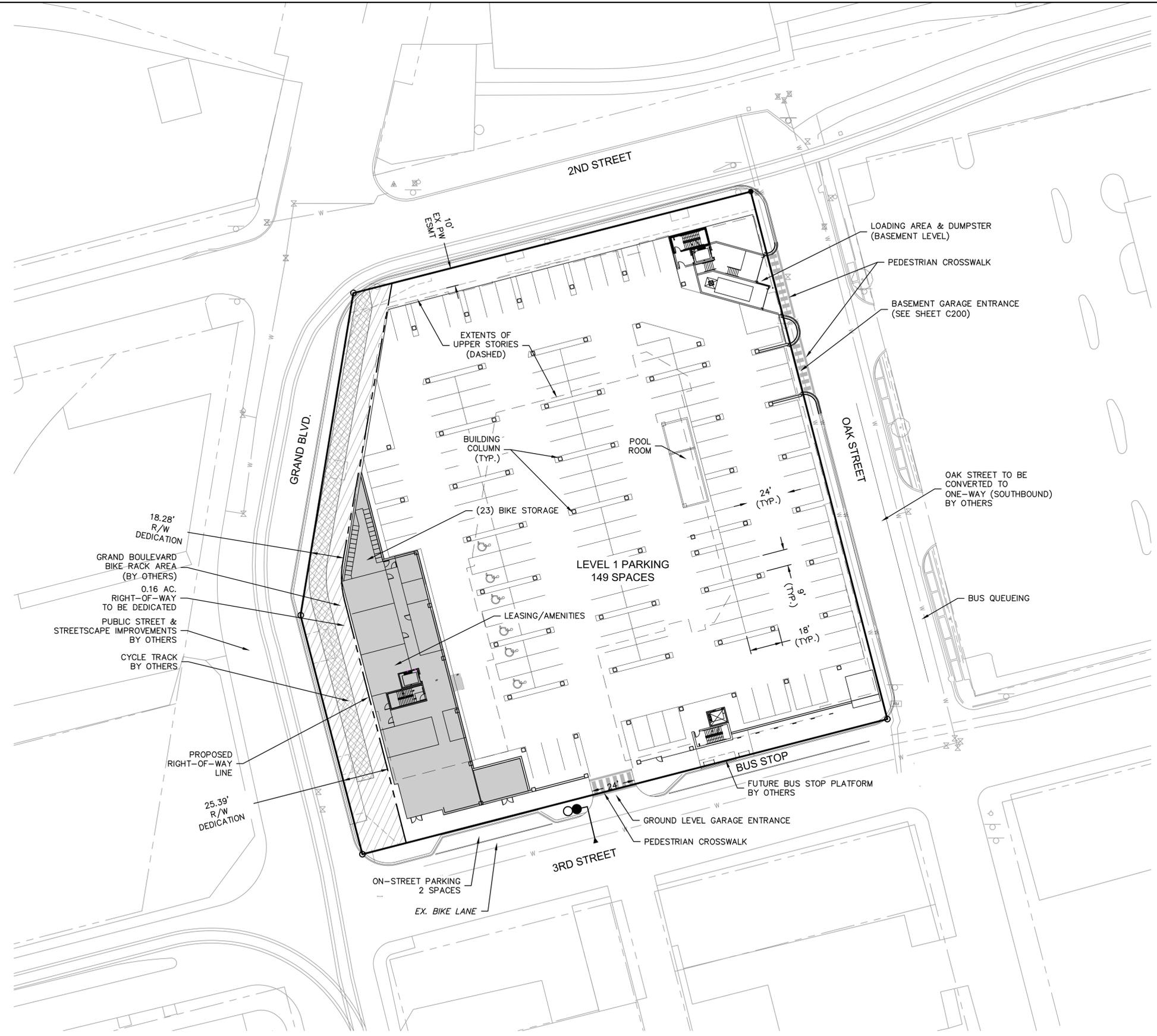
3RD & C

DEVELOPMENT DATA TABLE																							
CATEGORY (Item)	EX. ZONING (a)	PR. ZONING (a)	GROSS AREA (AC.) (b)	EXISTING R/W (AC.) (c)	PROPOSED R/W (AC.) (c)	NET AREA (AC.) (d)	USE (e)	NUMBER OF FLOORS (f)	GROSS BUILDING AREA (SF) (g)	BUILDING COVERAGE (SF) (h)	F.A.R. (h)	NET DENSITY (i)	PARKING STALLS REQUIRED			LONG-TERM BICYCLE PARKING STALLS			SHORT-TERM BICYCLE PARKING STALLS			COMMENCEMENT DATE (l)	COMPLETION DATE (l)
													Ratio (j)	Required (j)	Provided (j)	Ratio (k)	Required (k)	Provided (k)	Ratio (k)	Required (k)	Provided (k)		
DATA	UR	UR	1.92	0.00	0.16	1.76	Apartments	5 *	244,568	70,787	2.92	[246 units]= 139.8 units per acre	1 space per unit	246	231	1 per 3 units	82	107 total (short & long-term)	10% of vehicular spaces (min. 3)	24	107 total (short & long-term)	2023	2025

* Plus level-1 amenities & parking and basement garage level

drawn by: _____
checked by: _____
approved by: _____
QA/QC by: _____
project no.: _____
drawing no.: _____
date: _____

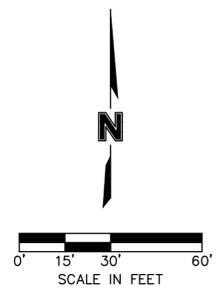
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 USER: cholmquist
 C_PBDY_02204041
 C_PBASE_02204041
 A_PBASE_02204041
 T_PBASE_02204041



DEVELOPMENT DATA NOTES:
 A. EXISTING ZONING: UR; PROPOSED ZONING: UR (NO CHANGE)
 B. TOTAL LAND AREA: 83,823 SF, 1.92 AC.
 C. EXISTING R/W: 0; PROPOSED R/W: 0.16 AC.
 D. NET LAND AREA: 1.76 AC.
 E. PROPOSED USE: MULTI-FAMILY RESIDENTIAL
 F. MAX. HEIGHT ABOVE GRADE OF BUILDING & STRUCTURES: 77';
 NUMBER OF FLOORS: 6 PLUS BASEMENT GARAGE LEVEL
 G. GROSS FLOOR AREA PER FLOOR: SEE BELOW
 H. BUILDING COVERAGE: 70,787 SF
 I. NET DENSITY: 139.8 DU/AC.
 J. REQUIRED PARKING: 246 SPACES TOTAL; PROVIDED PARKING: 231 SPACES TOTAL.
 K. REQUIRED LONG-TERM BICYCLE PARKING: 82 SPACES;
 REQUIRED SHORT-TERM BICYCLE PARKING: 24 SPACES;
 TOTAL REQUIRED BICYCLE PARKING: 106 SPACES;
 PROVIDED BICYCLE PARKING: 107 SPACES
 L. COMMENCEMENT & COMPLETION DATES: 2023-2025

FLOOR AREA BY FLOOR:
 BASEMENT: 1,330 SF
 GROUND FLOOR: 8,560 SF
 APT. LEVEL 1: 47,798 SF
 APT. LEVEL 2: 46,720 SF
 APT. LEVEL 3: 46,720 SF
 APT. LEVEL 4: 46,720 SF
 APT. LEVEL 5: 46,720 SF

PARKLAND NOTES (88-408):
 REQUIRED: (246 UNITS) x 2 x 0.006 = 2.952 AC.
 DEVELOPER SHALL PROVIDE PAYMENT IN LIEU OF LAND DEDICATION PER 88-408-C.



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* Plus level-1 amenities & parking and basement garage level

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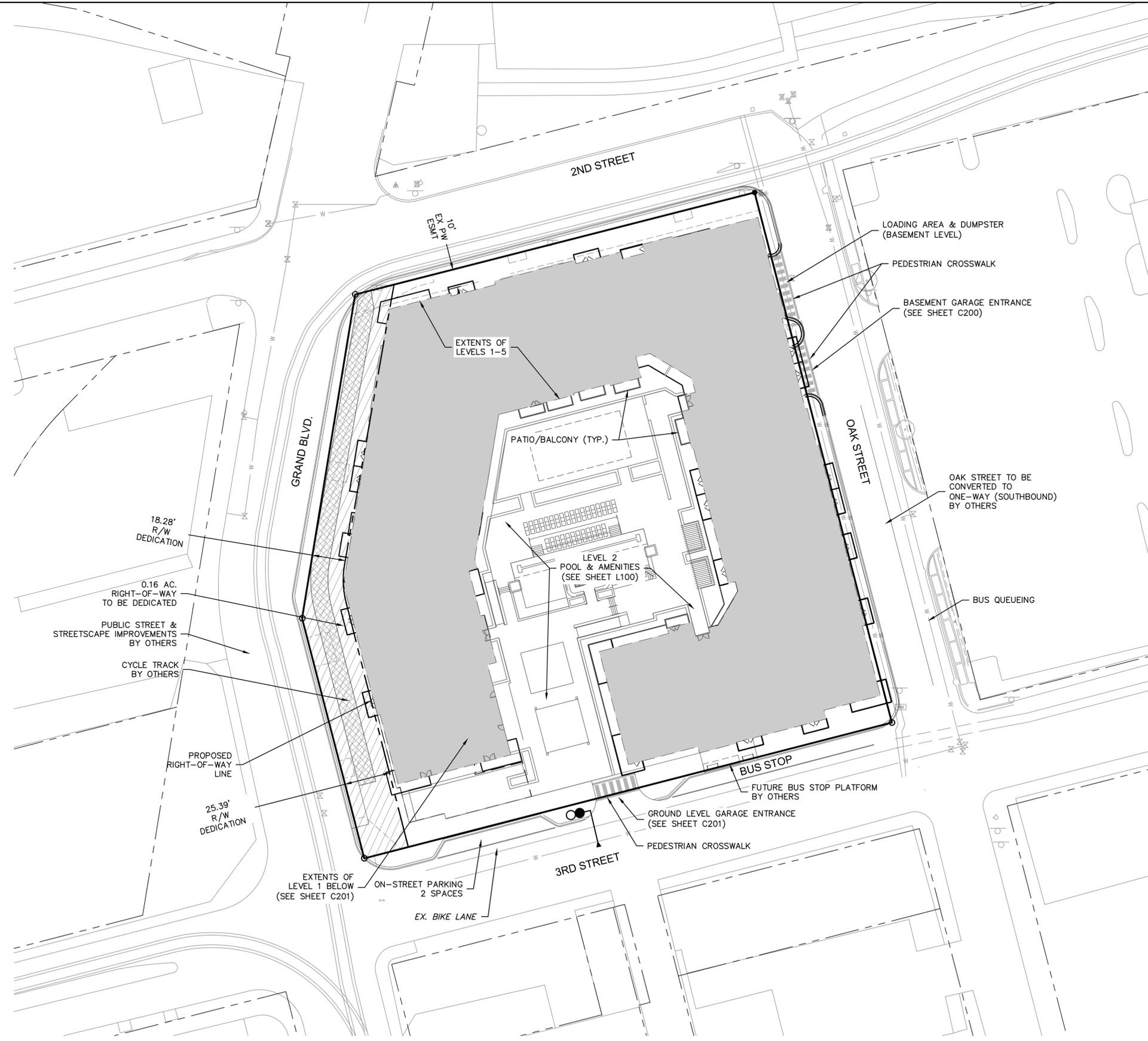
REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	2022.10.14	Revised per staff comments	

**SITE PLAN - GROUND FLOOR PARKING & AMENITIES
 URBAN REDEVELOPMENT PLAN**
 3RD & GRAND
 KANSAS CITY, MO
 2022

drawn by: _____
 checked by: _____
 approved by: _____
 QA/QC by: _____
 project no.: 022-04041
 drawing no.: C_SIT01_02204041
 date: 2022.09.09

**SHEET
 C201**

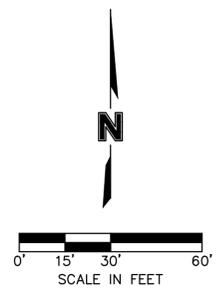
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 USER: cholmquist
 C_PBDY_02204041
 C_PBASE_02204041
 A_PBASE_02204041
 T_PBASE_02204041



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* Plus level-1 amenities & parking and basement garage level

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REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	2022.10.14	Revised per staff comments	

**SITE PLAN - LEVELS 1-5
 URBAN REDEVELOPMENT PLAN
 3RD & GRAND**

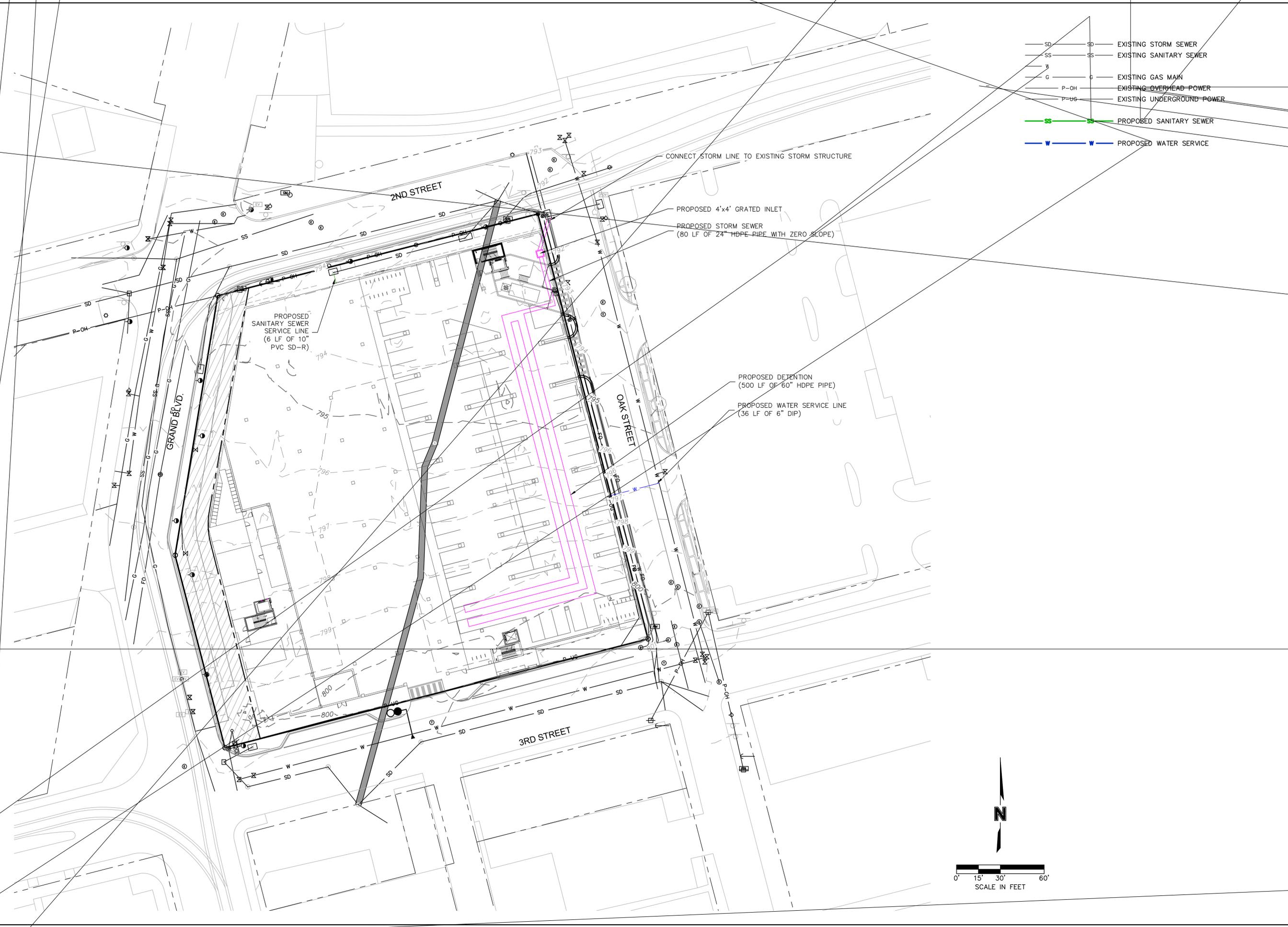
KANSAS CITY, MO

2022

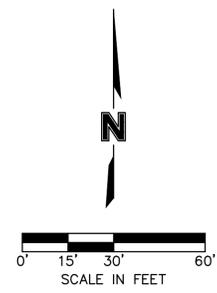
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 drawing no.: C_SIT01_02204041
 date: 2022.09.09

**SHEET
 C202**

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- SD SD EXISTING STORM SEWER
- SS SS EXISTING SANITARY SEWER
- G G EXISTING GAS MAIN
- P-OH P-OH EXISTING OVERHEAD POWER
- P-UG P-UG EXISTING UNDERGROUND POWER
- SS SS PROPOSED SANITARY SEWER
- W W PROPOSED WATER SERVICE



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REVISIONS

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1	2022.10.14	Revised per staff comments	

UTILITY PLAN
URBAN REDEVELOPMENT PLAN

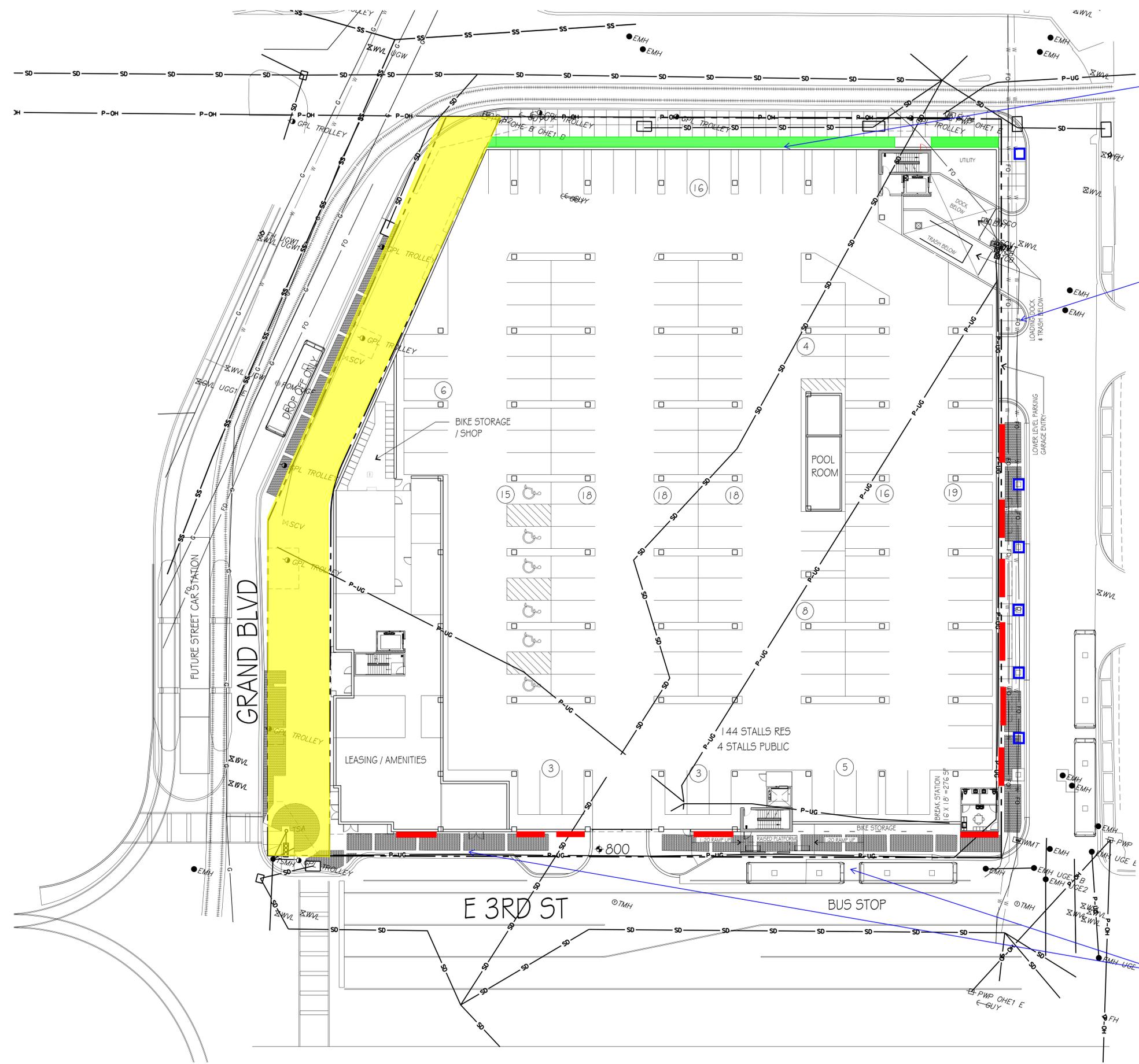
3RD & GRAND

KANSAS CITY, MO

2022

drawn by: _____ DJ
 checked by: _____ CH
 approved by: _____ DG
 QA/QC by: _____ JE
 project no.: 022-04041
 drawing no.: C_GRD01_02204041
 date: 2022.09.09

SHEET
C300



No tree wells on 2nd due to existing overhead power and street car power lines

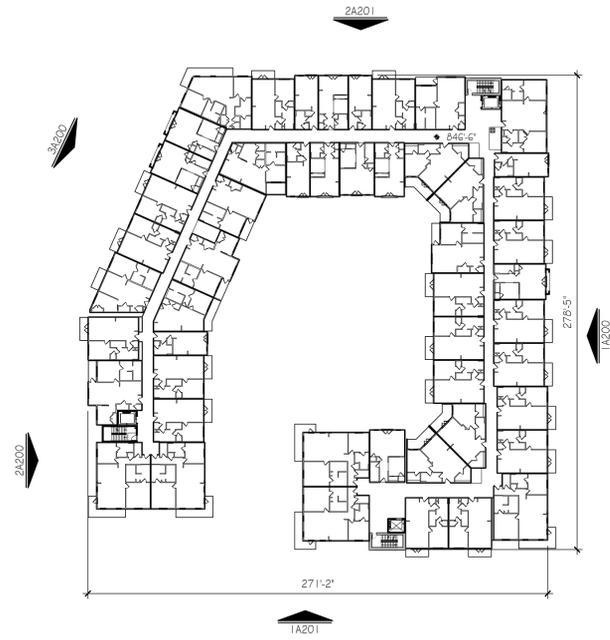
No tree wells at mountable curb since this is near delivery and trash

No tree wells on 3rd due to site line out of parking garage, bus stop / station, and sidewalk width between parallel parking and building.

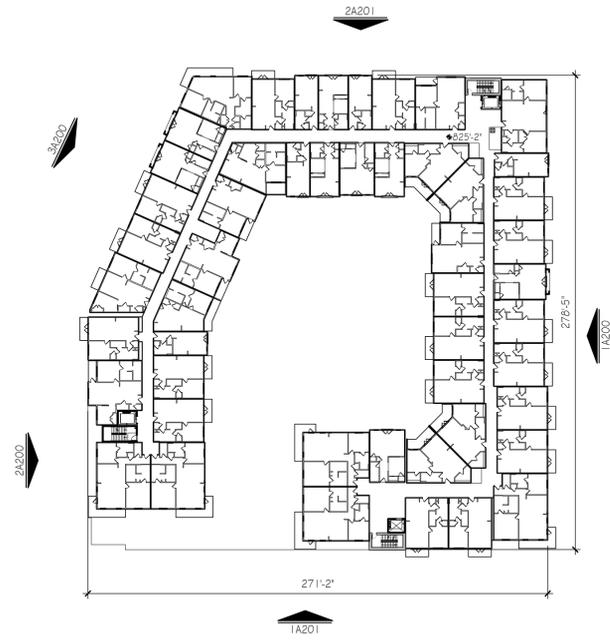
- TREE BOX
- PLANTER BOX
- 4' DEEP LANDSCAPE BED
- LANDSCAPE BY OTHERS

AS100 - SITE PLAN

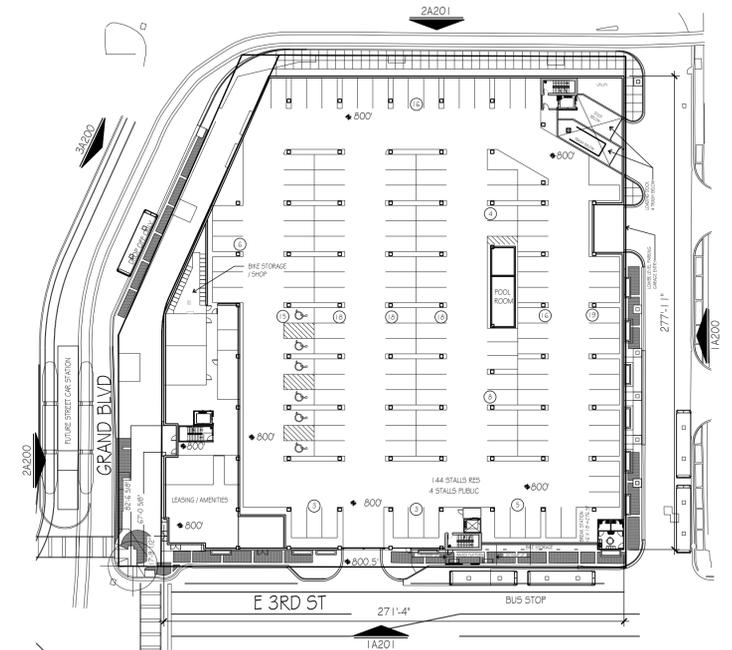
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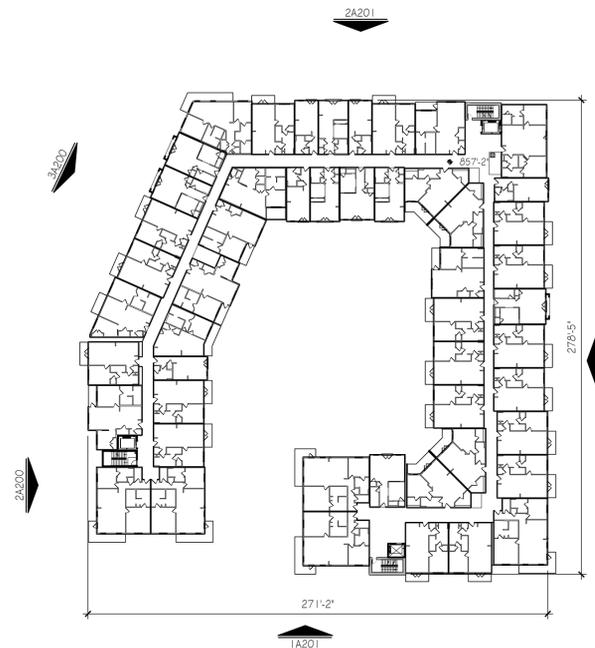
LEVEL 5 FLOOR PLAN (6)
SCALE: 1" = 50'



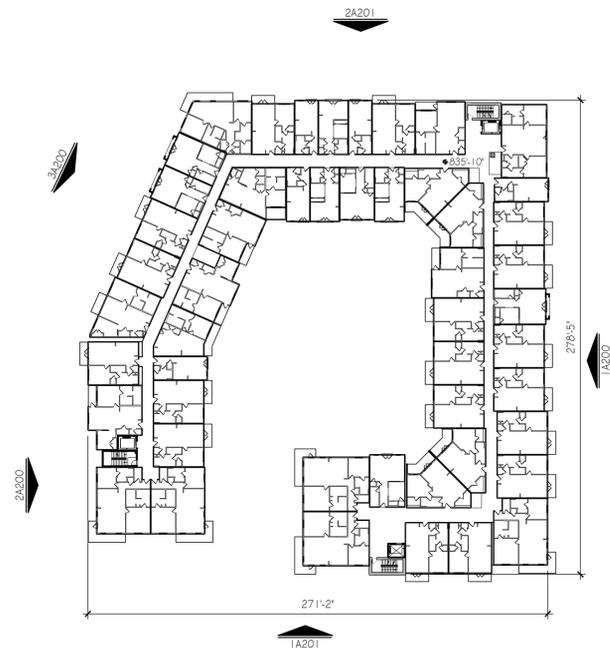
LEVEL 3 FLOOR PLAN (4)
SCALE: 1" = 50'



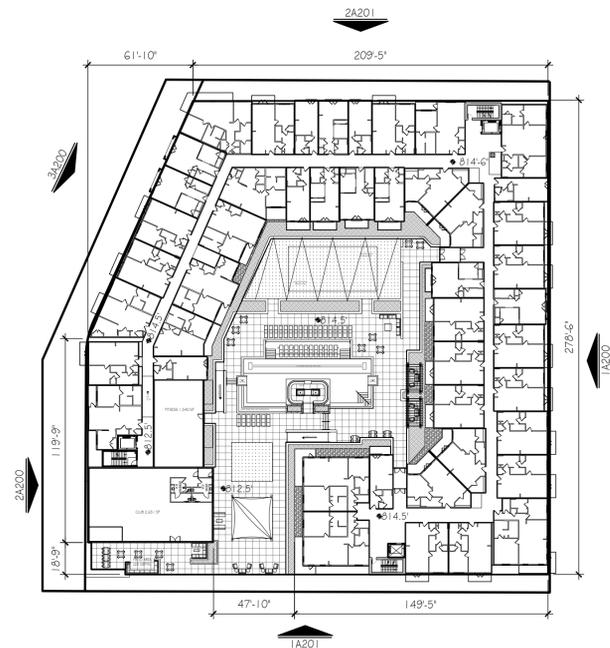
GROUND FLOOR PLAN (2)
SCALE: 1" = 50'



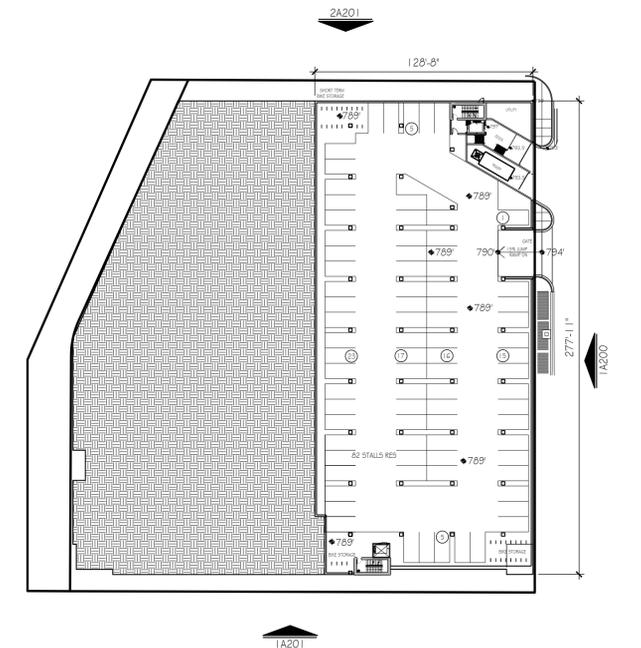
LEVEL 6 FLOOR PLAN (7)
SCALE: 1" = 50'



LEVEL 4 FLOOR PLAN (5)
SCALE: 1" = 50'



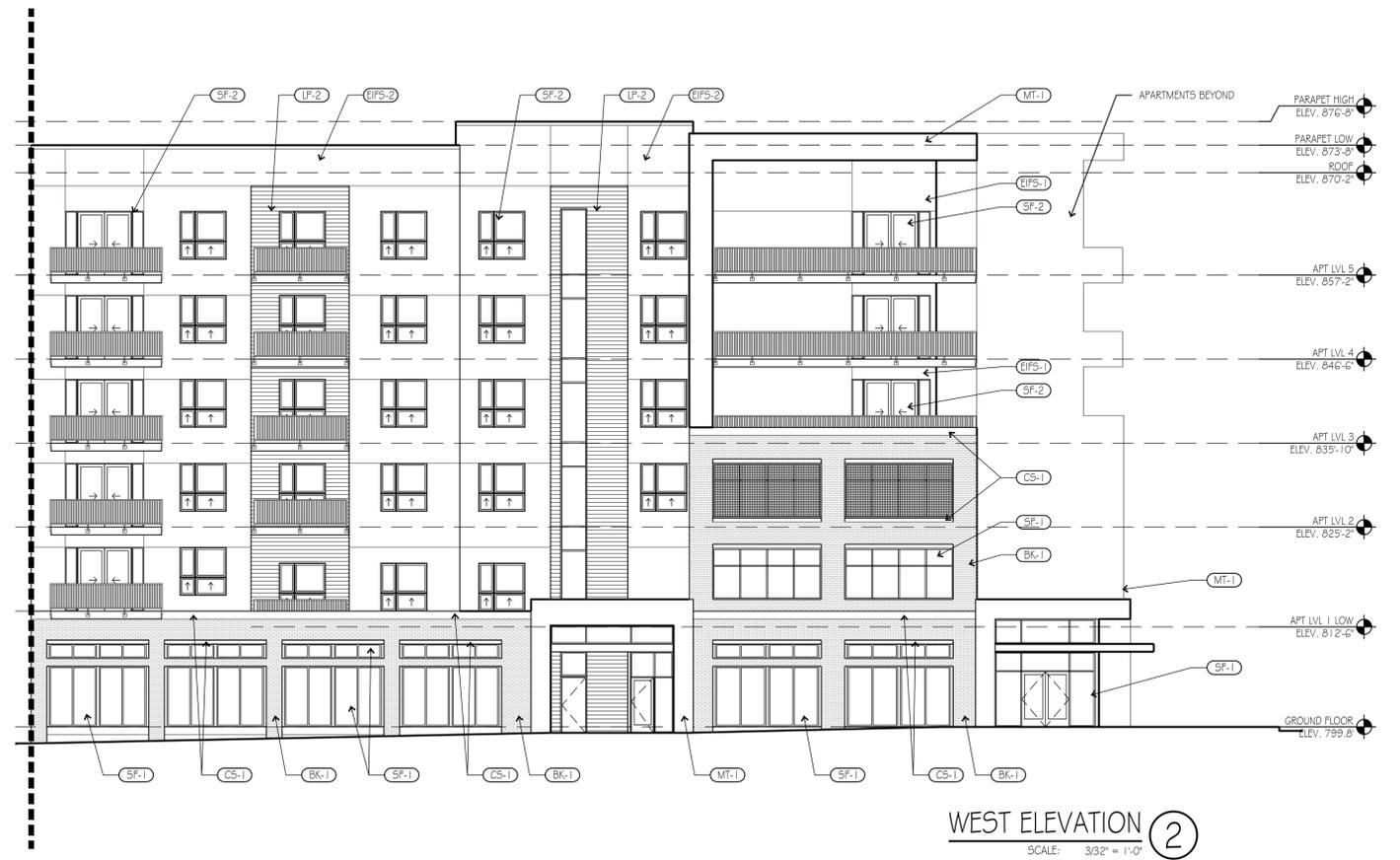
LEVEL 2 FLOOR PLAN (3)
SCALE: 1" = 50'



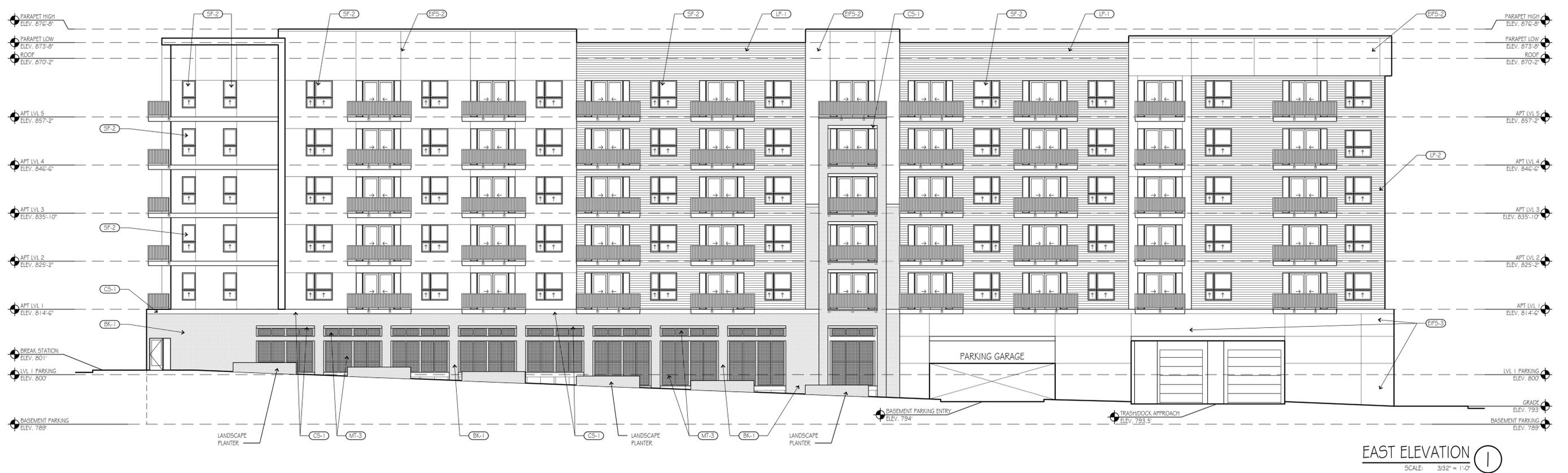
BASEMENT PARKING FLOOR PLAN (1)
SCALE: 1" = 50'



NORTH WEST ELEVATION ③
SCALE: 3/32" = 1'-0"



WEST ELEVATION ②
SCALE: 3/32" = 1'-0"

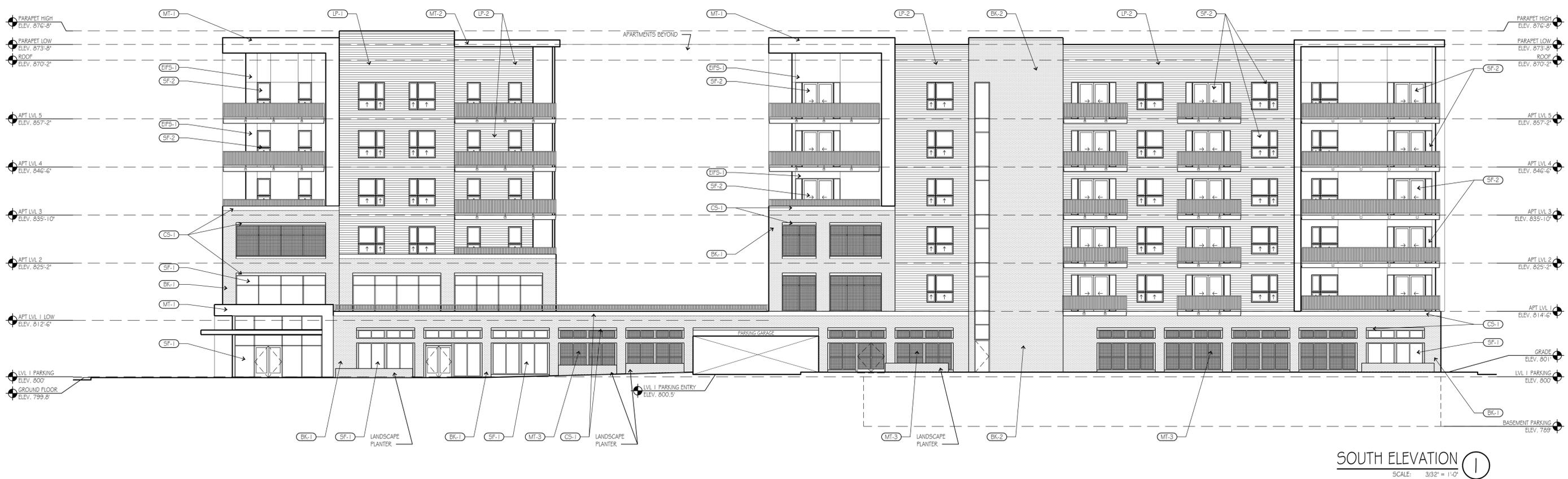


EAST ELEVATION ①
SCALE: 3/32" = 1'-0"

A200 - EAST & WEST BUILDING ELEVATIONS

SCALE: 3/32" = 1'-0"

FINISH SCHEDULE			
SYMBOL	MATERIAL	MANUFACTURER	COLOR
BK-1	BRICK	GLEN-GERY	RED / WARM
BK-2	BRICK	GLEN-GERY	GRAY / NEUTRAL
CS-1	CAST STONE	MIDWEST CAST STONE	18AC
CS-2	FINISHED CONCRETE	TBD	GRAY / NEUTRAL
EFS-1	EFS / STUCCO	TBD	LIGHT GRAY
EFS-2	EFS / STUCCO	TBD	GRAY
EFS-3	EFS / STUCCO	TBD	TBD
LP-1	LAP SIDING	TBD	LIGHT BROWN
LP-2	LAP SIDING	TBD	MEDIUM BROWN
MT-1	METAL	TBD	DARK BRONZE
MT-2	METAL	TBD	GRAY
MT-3	METAL MESH	TBD	TBD
SF-1	STORE FRONT	KAWNEER	DARK BRONZE
SF-2	COMPOSITE WINDOW / DOOR	PELLA	DARK BRONZE



A201 - NORTH & SOUTH BUILDING ELEVATIONS

SCALE: 3/32" = 1'-0"



NORTH WEST ELEVATION ③
SCALE: 3/32" = 1'-0"



WEST ELEVATION ②
SCALE: 3/32" = 1'-0"



EAST ELEVATION ①
SCALE: 3/32" = 1'-0"

A200 - EAST & WEST BUILDING ELEVATIONS



FINISH SCHEDULE			
SYMBOL	MATERIAL	MANUFACTURER	COLOR
BK-1	BRICK	GLEN-GERY	RED / WARM
BK-2	BRICK	GLEN-GERY	GRAY / NEUTRAL
CS-1	CAST STONE	MIDWEST CAST STONE	18AC
CS-2	FINISHED CONCRETE	TBD	GRAY / NEUTRAL
EPS-1	EPS / STUCCO	TBD	LIGHT GRAY
EPS-2	EPS / STUCCO	TBD	GRAY
EPS-3	EPS / STUCCO	TBD	TBD
LP-1	LAP SIDING	TBD	LIGHT BROWN
LP-2	LAP SIDING	TBD	MEDIUM BROWN
MT-1	METAL	TBD	DARK BRONZE
MT-2	METAL	TBD	GRAY
MT-3	METAL MESH	TBD	TBD
SF-1	STORE FRONT	KAWNEER	DARK BRONZE
SF-2	COMPOSITE WINDOW / DOOR	PELLA	DARK BRONZE

- PARAPET HIGH ELEV. 876'-6"
- PARAPET LOW ELEV. 873'-6"
- ROOF ELEV. 870'-2"
- APT LVL 5 ELEV. 857'-2"
- APT LVL 4 ELEV. 846'-6"
- APT LVL 3 ELEV. 835'-10"
- APT LVL 2 ELEV. 825'-2"
- APT LVL 1 ELEV. 814'-6"
- LVL 1 PARKING ELEV. 800'
- GRADE ELEV. 793'
- BASEMENT PARKING ELEV. 789'



- PARAPET HIGH ELEV. 876'-6"
- PARAPET LOW ELEV. 873'-6"
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NORTH ELEVATION ②
SCALE: 3/32" = 1'-0"

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- APT LVL 1 LOW ELEV. 812'-6"
- LVL 1 PARKING ELEV. 800'
- GROUND FLOOR ELEV. 799'-0"



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- GRADE ELEV. 801'
- LVL 1 PARKING ELEV. 800'
- BASEMENT PARKING ELEV. 789'

SOUTH ELEVATION ①
SCALE: 3/32" = 1'-0"

A201 - NORTH & SOUTH BUILDING ELEVATIONS

SCALE: 3/32" = 1'-0"

3RD & GRAND

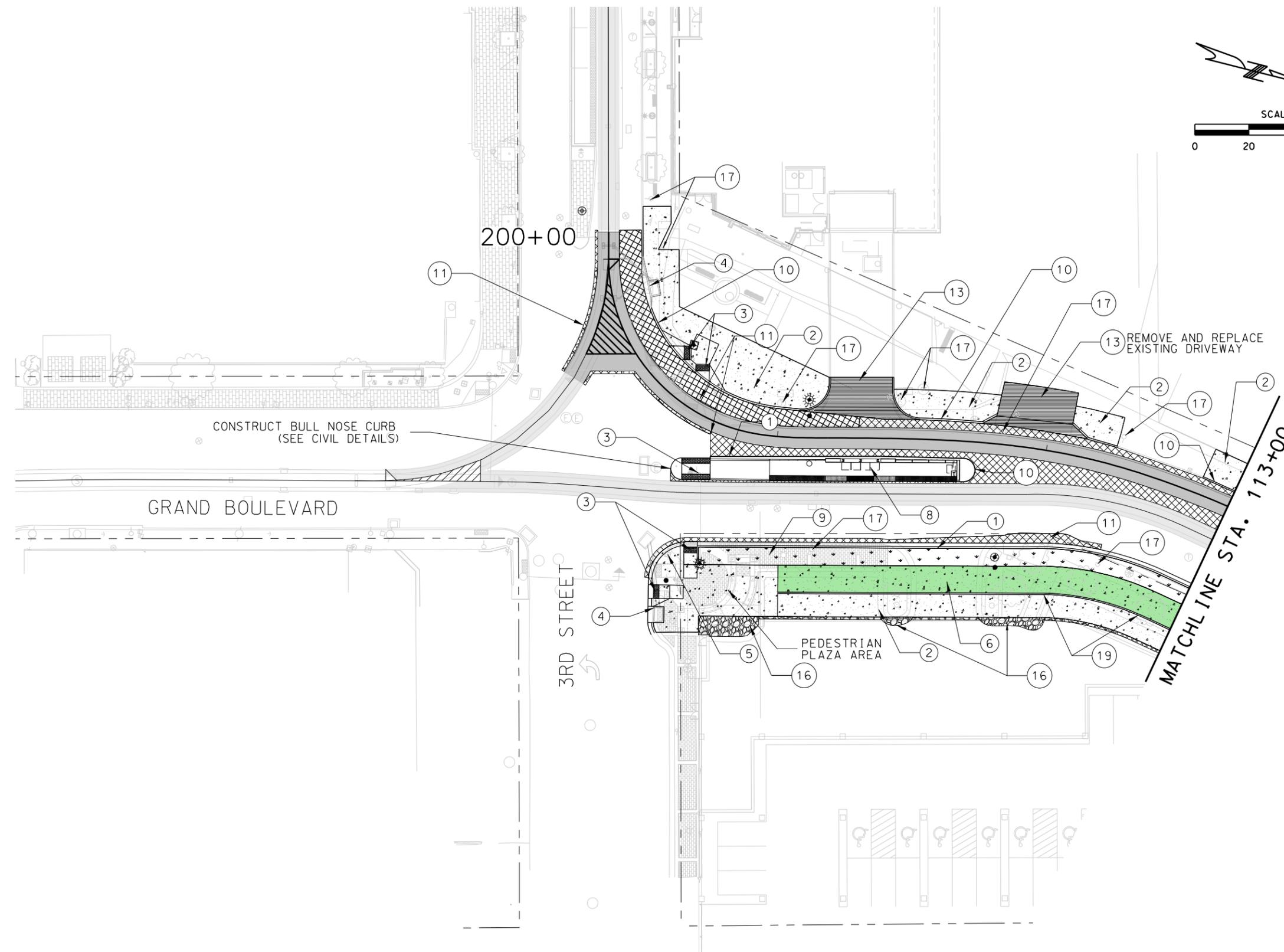
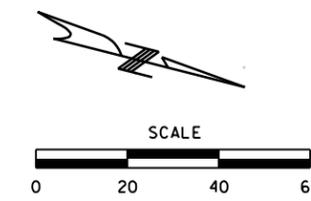
EPC & CBC | 09.12.2022



The following sheets are included as reference only for future improvements along Grand Boulevard by KCATA / others and are not part of this submittal set or scope of this development.

CONSTRUCTION NOTES

- ① CONSTRUCT TYPE CG-1 CURB/GUTTER (SEE KC PARKS STD DWG CG)
- ② CONSTRUCT TYPE SC COMMERCIAL SIDEWALK (SEE KC PARKS STD DWG SC)
- ③ CONSTRUCT ADA CURB RAMP (SEE CIVIL DETAILS)
- ④ SEE DRAINAGE PLANS
- ⑤ ADJUST MANHOLE TO MATCH FINISHED GRADE
- ⑥ CONSTRUCT COLORED CONCRETE CYCLE TRACK- GREEN
- ⑧ CONSTRUCT STREETCAR STOP (SEE PLATFORM PLANS)
- ⑩ CONSTRUCT TYPE C CURB (SEE KC PARKS STD DWG C)
- ⑪ CONSTRUCT 10" MIN. PCCP
- ⑬ CONSTRUCT TYPE DC COMMERCIAL DRIVEWAY (SEE KC PARKS STD DWG DC)
- ⑯ INSTALL TEMPORARY GRAVEL PAVEMENT
- ⑰ PROTECT EXISTING UTILITY
- ⑲ DETECTABLE DIRECTIONAL TILE



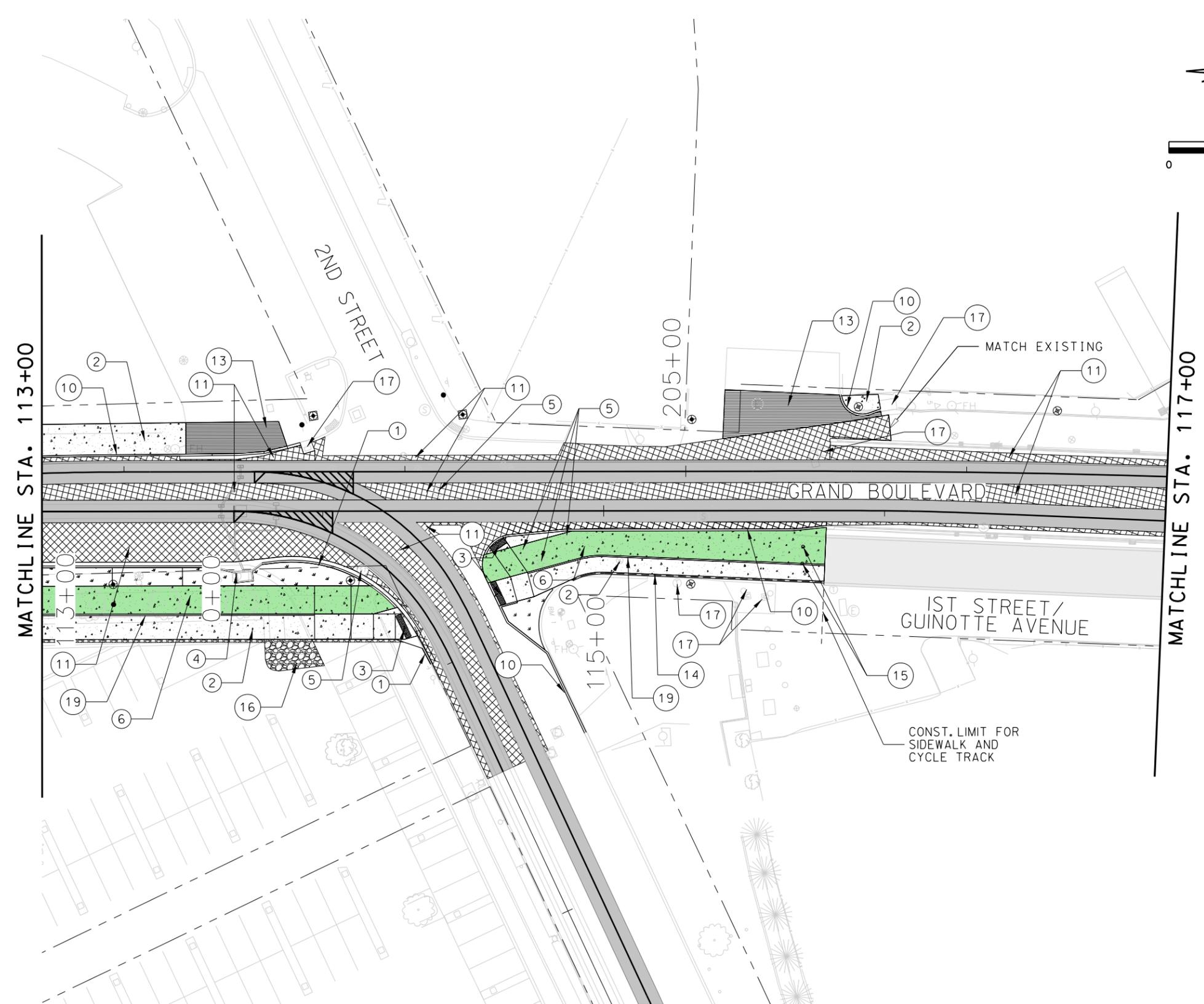
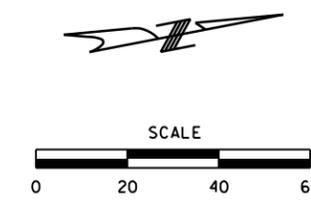
LEGEND

- CONCRETE SIDEWALK
- GREEN CONCRETE CYCLE TRACK
- LANDSCAPE
- TRACK SLAB
- 10" MIN. PCCP
- CONCRETE DRIVEWAY
- TEMPORARY GRAVEL PAVEMENT

REV	DATE	DESCRIPTION	DESIGNED BY TRM		100% SUBMITTAL	DATE: 10-07-2022	KANSAS CITY STREETCAR - RIVERFRONT EXTENSION	SCALE FOR 22"x34": 1" = 20'	
			CHECKED BY PY		HDR Engineering, Inc. 10450 Holmes Road Suite 600 Kansas City, MO 64131-3471 816-360-2700 Certificate of Authority: 000856	Tallferro & Browne, Inc. 1020 E. 8th Street Kansas City, MO 64106 816-283-3456 Certificate of Authority: 000466		FILENAME: C101.dgn CONTRACT NO.: CONTRACT NO.*** VOLUME:	
			DRAWN BY DT		NOT FOR CONSTRUCTION	CIVIL PLAN STA BEGIN TO STA 113+00		DRAWING NO.:	
			CHECKED BY TRM			DRAWING NO.:		SHEET NO.:	
			APPROVED BY NKS			C101		85	
PLOT DATE: 10/5/2022			DATE: 10-07-2022						

CONSTRUCTION NOTES

- ① CONSTRUCT TYPE CG-1 CURB/GUTTER (SEE KC PARKS STD DWG CG)
- ② CONSTRUCT TYPE SC COMMERCIAL SIDEWALK (SEE KC PARKS STD DWG SC)
- ③ CONSTRUCT ADA CURB RAMP (SEE CIVIL DETAILS)
- ④ SEE DRAINAGE PLANS
- ⑤ ADJUST MANHOLE TO MATCH FINISHED GRADE
- ⑥ CONSTRUCT COLORED CONCRETE CYCLE TRACK- GREEN
- ⑩ CONSTRUCT TYPE C CURB (SEE KC PARK STD DWG C)
- ⑪ CONSTRUCT 10" MIN. PCCP
- ⑬ CONSTRUCT TYPE DC COMMERCIAL DRIVEWAY (SEE KC PARKS STD DWG DC)
- ⑭ CONSTRUCT SIDEWALK GRADE WALL (SEE CIVIL DETAILS)
- ⑮ INSTALL REMOVABLE BOLLARD (SEE CIVIL DETAILS)
- ⑯ INSTALL TEMPORARY GRAVEL PAVEMENT
- ⑰ PROTECT EXISTING UTILITY
- ⑱ CONSTRUCT HMAC FULL DEPTH
- ⑲ DETECTABLE DIRECTIONAL TILE



LEGEND

- CONCRETE SIDEWALK / TRAIL
- GREEN CONCRETE CYCLE TRACK
- LANDSCAPE
- TRACK SLAB
- 10" MIN. PCCP
- CONCRETE DRIVEWAY
- TEMPORARY GRAVEL PAVEMENT
- HMAC FULL DEPTH

REV	DATE	DESCRIPTION

DESIGNED BY	TRM
CHECKED BY	PY
DRAWN BY	DT
CHECKED BY	TRM
APPROVED BY	NKS



100% SUBMITTAL DATE: 10-07-2022

HDR Engineering, Inc.
10450 Holmes Road
Suite 600
Kansas City, MO 64131-3471
816-360-2700
Certificate of Authority: 000856

Talferro & Browne, Inc.
1020 E. 8th Street
Kansas City, MO 64106
816-283-3456
Certificate of Authority: 000466

NOT FOR CONSTRUCTION

KANSAS CITY STREETCAR - RIVERFRONT EXTENSION

CIVIL PLAN
STA 113+00 TO STA 117+00

SCALE FOR 22"x34": 1" = 20'	
FILENAME: C102.dgn	
CONTRACT NO.: ***	
VOLUME:	
DRAWING NO.:	SHEET NO.:
C102	86

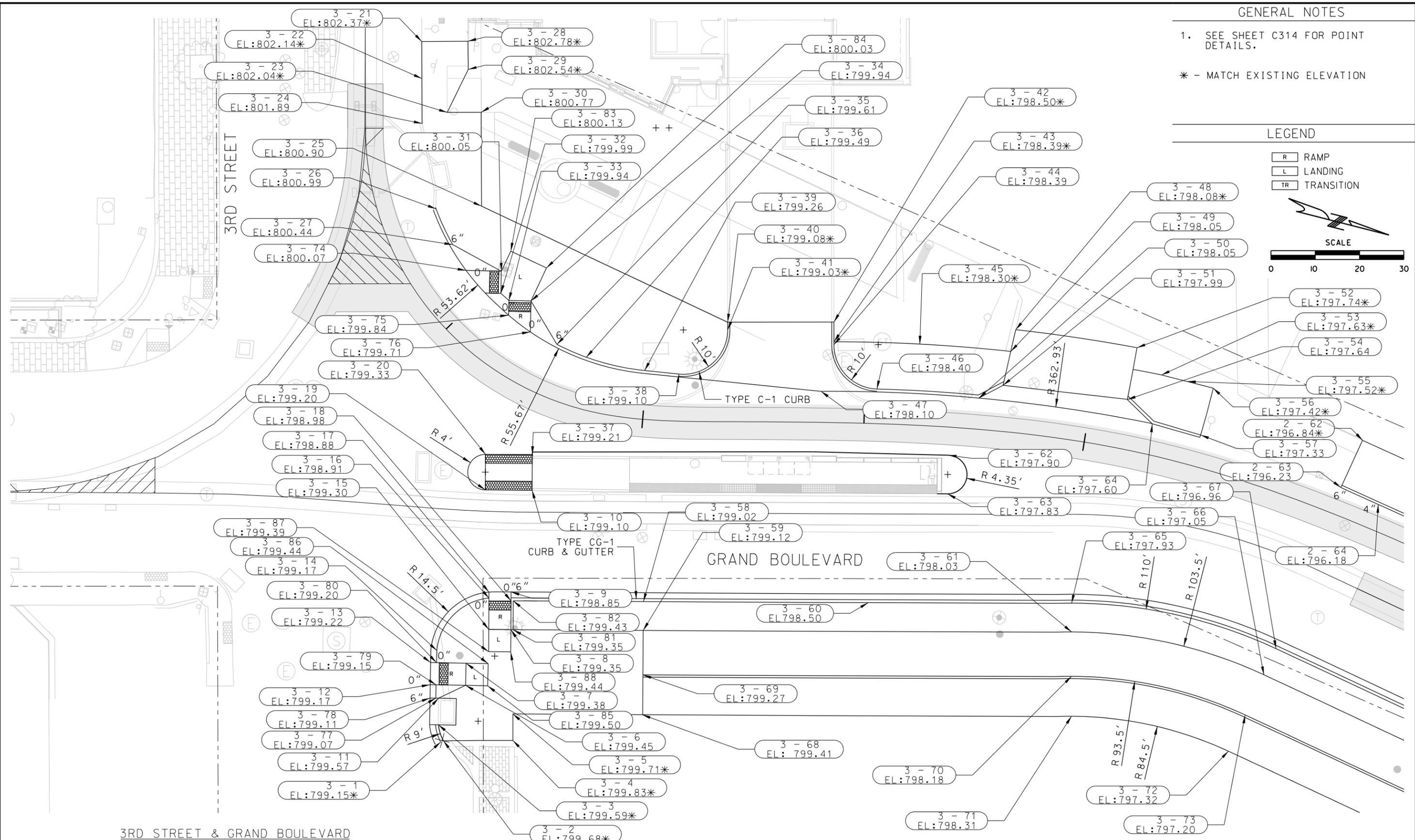
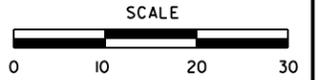
GENERAL NOTES

1. SEE SHEET C314 FOR POINT DETAILS.

* - MATCH EXISTING ELEVATION

LEGEND

- R RAMP
- L LANDING
- TR TRANSITION



3RD STREET & GRAND BOULEVARD

REV	DATE	DESCRIPTION

DESIGNED BY	TRM
CHECKED BY	PY
DRAWN BY	DT
CHECKED BY	TRM
APPROVED BY	NKS



100% SUBMITTAL

DR

DATE: 10-07-2022

T&B

Talferro & Browne, Inc.
1020 E. 8th Street
Kansas City, MO 64106
816-283-3456
Certificate of Authority: 000466

NOT FOR CONSTRUCTION

KANSAS CITY STREETCAR - RIVERFRONT EXTENSION

3RD STREET AND GRAND BOULEVARD
GRADING PLAN

SCALE FOR 22"x34":
1/4" = 10'

FILENAME:
C304.dgn

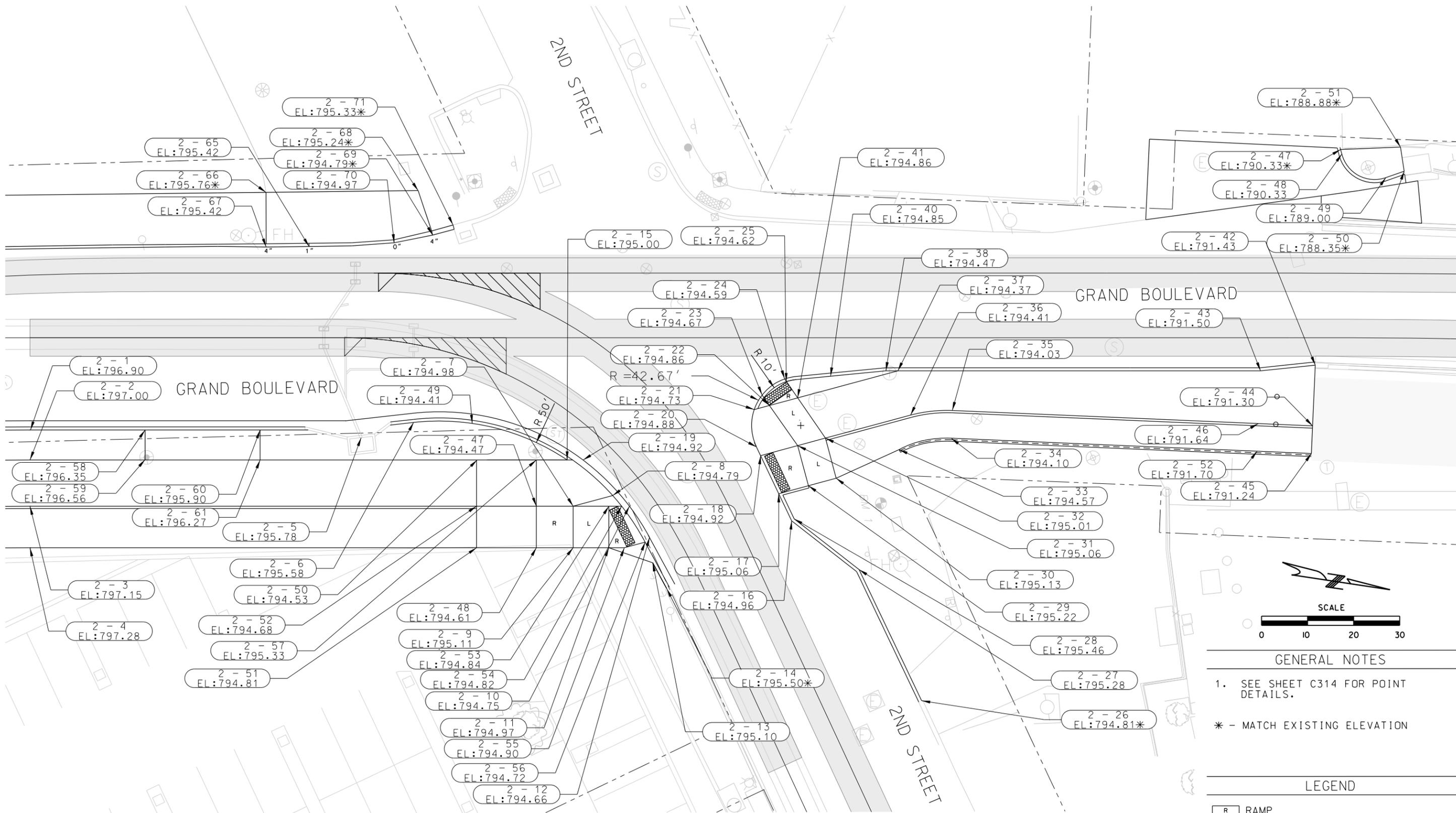
CONTRACT NO.:
CONTRACT NO.***

VOLUME:

DRAWING NO.:
C304

SHEET NO.:
102

PLOT DATE: 10/5/2022 6:56:25 PM DATE 10-07-2022



GENERAL NOTES

- 1. SEE SHEET C314 FOR POINT DETAILS.
- * - MATCH EXISTING ELEVATION

LEGEND

- R RAMP
- L LANDING
- TR TRANSITION

REV	DATE	DESCRIPTION

DESIGNED BY	TRM
CHECKED BY	PY
DRAWN BY	DT
CHECKED BY	TRM
APPROVED BY	NKS



100% SUBMITTAL DATE: 10-07-2022

HDR Engineering, Inc.
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Suite 600
Kansas City, MO 64113-3471
816-360-2700
Certificate of Authority: 000856

Talferro & Browne, Inc.
1020 E. 8th Street
Kansas City, MO 64106
816-283-3456
Certificate of Authority: 000466

NOT FOR CONSTRUCTION

KANSAS CITY STREETCAR - RIVERFRONT EXTENSION

**2ND STREET AND GRAND BOULEVARD
GRADING PLAN**

SCALE FOR 22"x34": 1/4" = 10'	
FILENAME: C305.dgn	
CONTRACT NO.: CONTRACT NO.***	
VOLUME: 1	
DRAWING NO.:	SHEET NO.:
C305	103

PLOT DATE: 10/6/2022 11:54:29 AM DATE 10-07-2022

3RD STREET & GRAND BOULEVARD		
3-1	1071893.29	2765784.98
3-2	1071893.82	2765784.57
3-3	1071891.84	2765781.35
3-4	1071909.01	2765780.63
3-5	1071907.54	2765774.84
3-6	1071895.59	2765771.23
3-7	1071894.45	2765766.36
3-8	1071902.41	2765756.53
3-9	1071900.37	2765748.28
3-10	1071899.32	2765724.87
3-11	1071890.40	2765775.53
3-12	1071887.82	2765773.05
3-13	1071886.64	2765768.19
3-14	1071887.34	2765765.21
3-15	1071897.56	2765757.73
3-16	1071895.85	2765750.85
3-17	1071895.53	2765749.55
3-18	1071900.88	2765750.30
3-19	1071889.06	2765727.42
3-20	1071887.13	2765719.65
3-21	1071850.27	2765633.01
3-22	1071852.35	2765641.08
3-23	1071859.78	2765647.08
3-24	1071854.88	2765650.89
3-25	1071872.50	2765665.65
3-26	1071862.48	2765668.46
3-27	1071868.31	2765675.65
3-28	1071860.36	2765630.39
3-29	1071861.98	2765636.50
3-30	1071867.21	2765645.17
3-31	1071880.44	2765678.75
3-32	1071881.57	2765683.63
3-33	1071883.71	2765684.74
3-34	1071888.59	2765683.61
3-35	1071896.68	2765691.65
3-36	1071903.81	2765692.83
3-37	1071897.39	2765717.11
3-38	1071925.05	2765691.34
3-39	1071917.33	2765692.49
3-40	1071932.83	2765677.29
3-41	1071933.26	2765678.98
3-42	1071956.09	2765671.36
3-43	1071957.19	2765675.67
3-44	1071957.35	2765676.30
3-45	1071976.13	2765671.40
3-46	1071969.23	2765683.59
3-47	1071957.11	2765687.22
3-48	1071996.34	2765662.93
3-49	1071996.46	2765667.95
3-50	1071992.09	2765679.89
3-51	1071996.65	2765675.77
3-52	1072023.91	2765660.10
3-53	1072030.78	2765664.69
3-54	1072024.65	2765671.98
3-55	1072036.81	2765664.69
3-56	1072042.85	2765664.69
3-57	1072042.67	2765675.64
3-58	1071929.88	2765743.03

3RD STREET & GRAND BOULEVARD (CONT.)		
3-59	1071931.44	2765749.34
3-60	1071979.16	2765730.77
3-61	1072025.34	2765725.85
3-62	1071988.52	2765694.09
3-63	1071990.53	2765702.56
3-64	1072031.50	2765675.91
3-65	1072023.76	2765719.54
3-66	1072069.82	2765724.50
3-67	1072071.03	2765718.11
3-68	1071936.01	2765767.79
3-69	1071933.84	2765759.05
3-70	1072028.06	2765735.47
3-71	1072030.23	2765744.21
3-72	1072066.30	2765743.17
3-73	1072067.97	2765734.32
3-74	1071872.65	2765680.55
3-75	1071884.46	2765687.96
3-76	1071890.15	2765690.41
3-77	1071889.77	2765775.68
3-78	1071888.51	2765775.97
3-79	1071889.09	2765772.75
3-80	1071887.96	2765767.88
3-81	1071902.90	2765756.41
3-82	1071901.34	2765750.10
3-83	1071881.39	2765673.85
3-84	1071890.13	2765675.53
3-85	1071900.46	2765770.09
3-86	1071899.32	2765765.22
3-87	1071898.76	2765762.59
3-88	1071903.62	2765761.39

FRONT STREET		
F-1	1073858.85	2767091.72
F-2	1073852.42	2767056.59
F-3	1073918.52	2767043.72
F-4	1073917.28	2767059.52
F-5	1073923.13	2767035.41
F-6	1073927.49	2767043.33
F-7	1073925.79	2767047.05
F-8	1073924.98	2767057.36
F-9	1073946.45	2767133.80
F-10	1073938.55	2767135.34

RIVERFRONT DRIVE WEST		
RFW-01	1074280.01	2768197.60
RFW-02	1074287.30	2768210.71
RFW-03	1074255.43	2768211.28
RFW-04	1074262.73	2768224.38
RFW-05	1074253.68	2768212.26
RFW-06	1074260.99	2768225.35
RFW-07	1074274.33	2768200.76
RFW-08	1074281.62	2768213.87

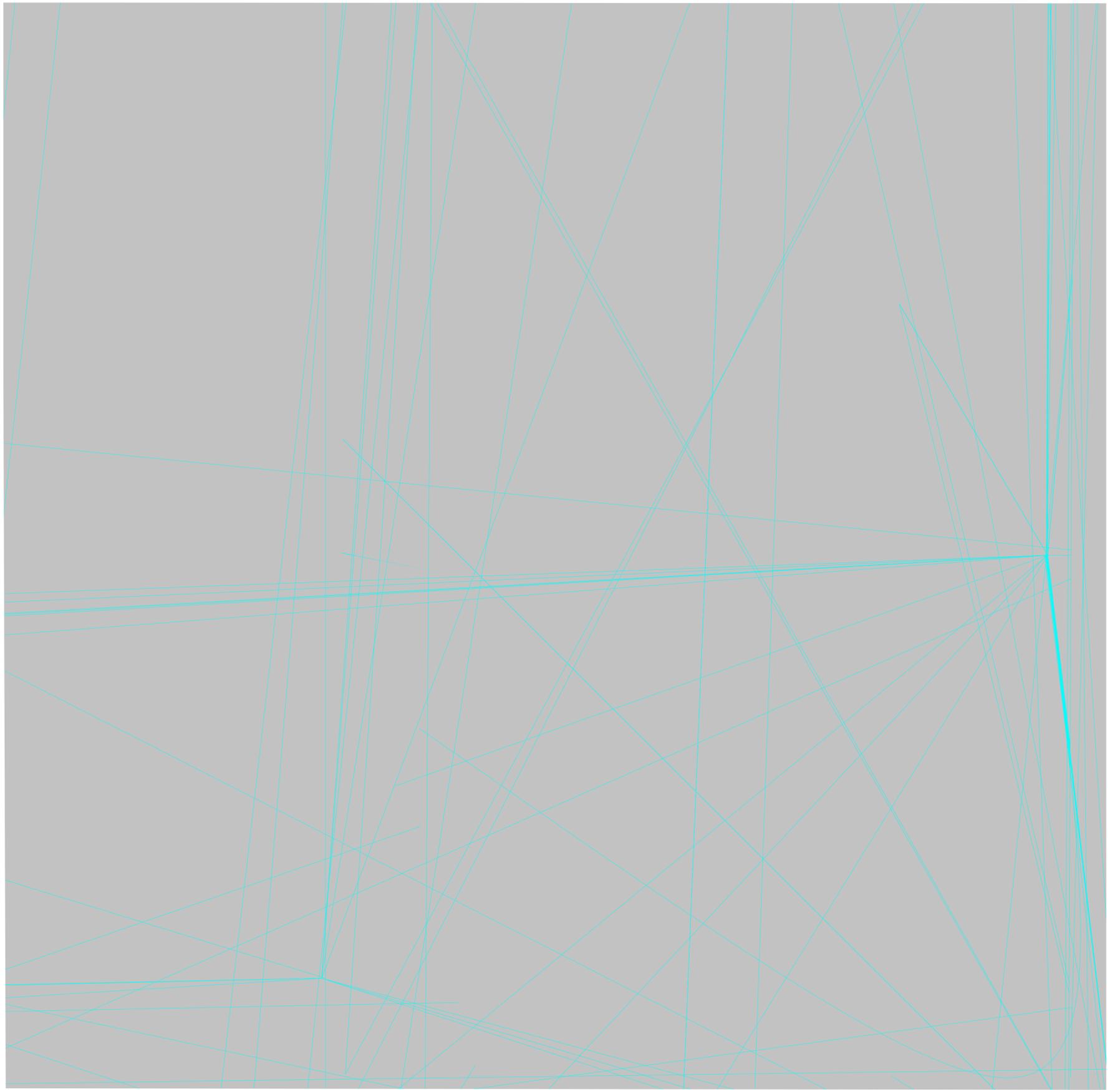
RIVERFRONT DRIVE EAST		
RFE-01	1074343.22	2768311.20
RFE-02	1074350.52	2768324.30
RFE-03	1074318.73	2768324.83
RFE-04	1074326.02	2768337.93
RFE-05	1074316.81	2768325.90
RFE-06	1074324.13	2768338.99
RFE-07	1074337.54	2768314.36
RFE-08	1074344.84	2768327.47

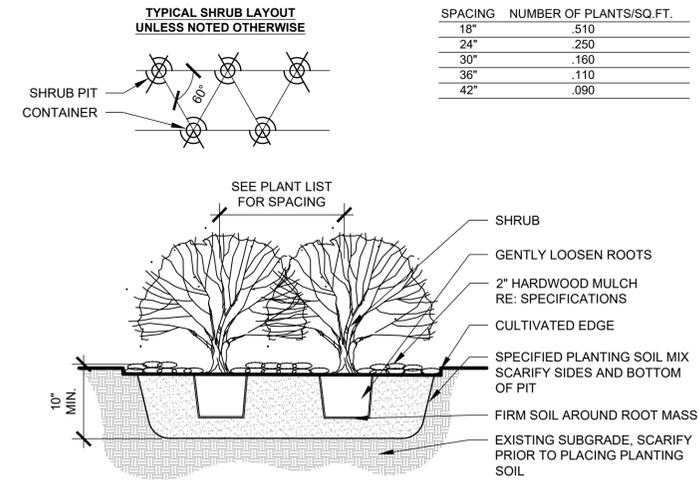
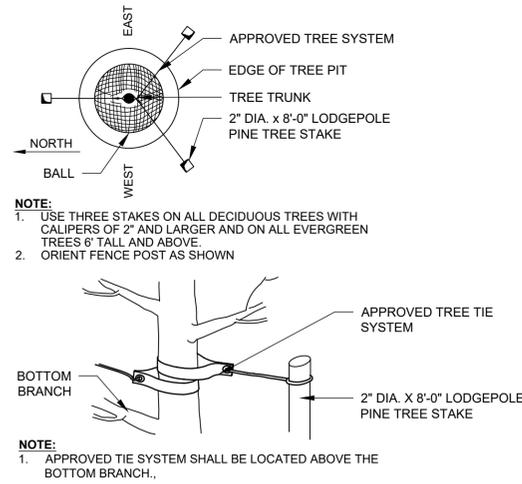
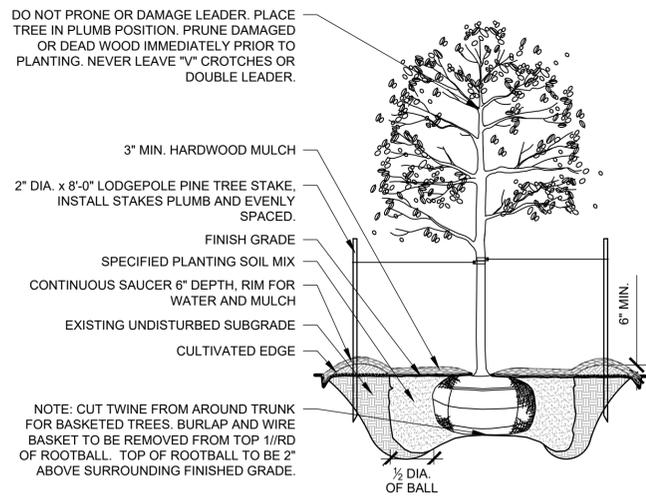
2ND STREET & GRAND BOULEVARD		
2-1	1072081.83	2765720.14
2-2	1072080.63	2765726.53
2-3	1072078.63	2765736.33
2-4	1072077.14	2765745.20
2-5	1072152.08	2765735.29
2-6	1072163.91	2765734.21
2-7	1072194.53	2765758.54
2-8	1072203.40	2765757.89
2-9	1072192.84	2765767.38
2-10	1072206.55	2765760.84
2-11	1072200.45	2765768.84
2-12	1072209.57	2765768.30
2-13	1072209.22	2765773.83
2-14	1072211.13	2765779.90
2-15	1072195.15	2765748.48
2-16	1072240.57	2765770.60
2-17	1072238.92	2765764.30
2-18	1072236.60	2765755.45
2-19	1072198.54	2765749.13
2-20	1072236.07	2765753.43
2-21	1072237.12	2765745.38
2-22	1072240.52	2765745.13
2-23	1072239.38	2765742.63
2-24	1072244.85	2765740.12
2-25	1072245.13	2765740.76
2-26	1072260.95	2765814.19
2-27	1072252.97	2765783.73
2-28	1072241.18	2765770.28
2-29	1072245.58	2765763.81
2-30	1072251.81	2765763.34
2-31	1072244.91	2765754.83
2-32	1072251.14	2765754.37
2-33	1072266.39	2765759.82
2-34	1072277.97	2765759.54
2-35	1072279.35	2765753.70
2-36	1072270.26	2765752.98
2-37	1072269.35	2765743.02
2-38	1072266.78	2765742.52
NOT USED		
2-40	1072254.77	2765741.41
2-41	1072246.86	2765744.67
2-42	1072358.63	2765758.88
2-43	1072346.73	2765757.85
2-44	1072355.60	2765771.69
2-45	1072354.22	2765777.53
2-46	1072344.10	2765768.98
2-47	1072372.83	2765714.06
2-48	1072372.94	2765715.04
2-49	1072381.36	2765721.88
2-50	1072385.52	2765721.25
2-51	1072385.72	2765715.97
2-52	1072342.73	2765774.82
2-53	1072202.14	2765760.00
2-54	1072204.89	2765760.52
2-55	1072203.76	2765769.47
2-56	1072208.43	2765769.12
2-57	1072188.56	2765747.21
2-58	1072106.30	2765724.83
2-59	1072105.07	2765731.21
2-60	1072130.85	2765729.53
2-61	1072129.63	2765735.92

2ND STREET & GRAND BOULEVARD (CONT.)		
2-62	1072078.42	2765667.79
2-63	1072076.30	2765679.31
2-64	1072085.43	2765680.92
2-65	1072148.77	2765692.49
2-66	1072141.80	2765679.21
2-67	1072139.58	2765690.86
2-68	1072174.32	2765685.06
2-69	1072175.56	2765695.11
2-70	1072167.08	2765695.19
2-71	1072180.36	2765693.80

RIVERFRONT		
RF-1	1073967.91	2767210.24
RF-2	1073960.20	2767212.40
RF-3	1074025.28	2767414.59
RF-4	1074017.58	2767416.75
RF-5	1074082.65	2767618.94
RF-6	1074074.95	2767621.10
RF-7	1074090.82	2767647.63
RF-8	1074083.14	2767649.87
RF-9	1074107.23	2767700.01
RF-10	1074104.54	2767716.90
RF-11	1074114.70	2767721.71
RF-12	1074123.37	2767710.16
RF-13	1074118.46	2767720.33
RF-14	1074134.15	2767740.13
RF-15	1074126.29	2767741.96
RF-16	1074122.54	2767743.33
RF-17	1074135.80	2767756.57
RF-18	1074127.84	2767757.36
RF-19	1074120.32	2767760.11
RF-20	1074133.65	2767772.27
RF-21	1074112.25	2767738.57
RF-22	1074085.93	2767756.70
RF-23	1074073.45	2767720.04
RF-24	1074066.01	2767722.46
RF-25	1074078.49	2767735.11
RF-26	1074071.13	2767737.62
RF-27	1074063.14	2767738.04
RF-28	1074071.96	2767753.13
RF-29	1074064.03	2767754.71
RF-30	1074075.76	2767751.90
RF-31	1074074.78	2767785.25
RF-32	1074079.64	2767774.96
RF-33	1074083.40	2767773.59
RF-34	1074095.23	2767783.11
RF-35	1074230.43	2767992.35
RF-36	1074223.12	2767995.61
RF-37	1074274.32	2768075.41
RF-38	1074288.49	2768113.34
RF-39	1074295.42	2768109.48
RF-40	1074294.52	2768123.68
RF-41	1074311.26	2768137.12
RF-42	1074266.32	2768077.78
RF-43	1074281.26	2768131.12
RF-44	1074255.05	2768132.05
RF-45	1074261.85	2768141.96
RF-46	1074270.58	2768137.08
RF-47	1074288.32	2768164.37
RF-48	1074297.06	2768159.50
RF-49	1074370.40	2768243.39
RF-50	1074363.41	2768247.28
RF-51	1074428.62	2768348.01

RIVERFRONT		
RF-52	1074421.62	2768351.88
RF-53	1074391.88	2768329.90
RF-54	1074408.29	2768359.39
RF-55	1074399.55	2768364.25
RF-56	1074383.14	2768334.76
RF-57	1074035.53	2767349.662
RF-58	1074007.039	2767349.617
RF-59	1074004.336	2767339.989
RF-60	1073996.634	2767342.152
RF-61	1073999.337	2767351.78
RF-62	1074035.23	2767357.53
RF-63	1074009.16	2767357.15
RF-64	1074011.86	2767366.78
RF-65	1074004.16	2767368.95
RF-66	1074001.45	2767359.32
RF-67	1074107.22	2767724.43
RF-68	1074130.87	2767731.01
RF-69	1074145.17	2767725.47
RF-70	1074148.00	2767732.96
RF-71	1074133.55	2767738.46
RF-72	1074126.22	2767775.22
RF-73	1074087.76	2767785.84
RF-74	1074072.09	2767777.62
RF-75	1074074.59	2767760.61
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RF-78	1074240.49	2767985.59
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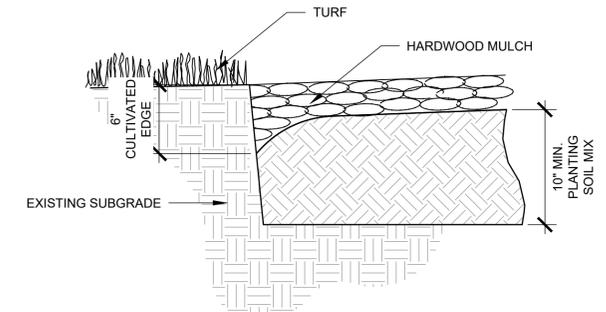
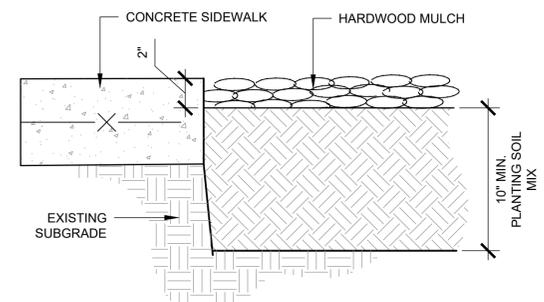
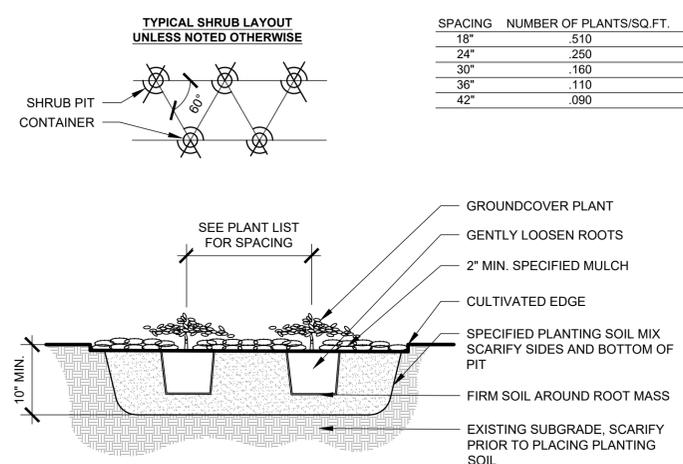




1 TYP. TREE PLANTING
NTS

2 TYP. TREE STAKING
NTS

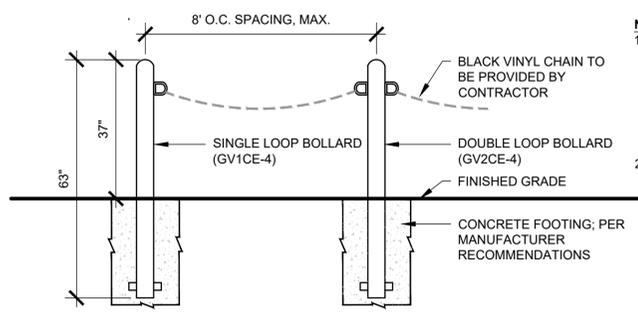
3 TYP. SHRUB PLANTING
NTS



4 TYP. ORNAMENTAL GRASS/GROUNDCOVER PLANTING
NTS

5 PLANT BED AT WALK EDGE
NTS

6 CULTIVATED EDGE
NTS



NOTES:
1. SINGLE AND DOUBLE LOOP BOLLARDS
PRODUCTS: GROVE BOLLARDS GV1CE-4 & GV2CE-4 OR APPROVED EQUAL
MANUFACTURER: KEYSTONE RIDGE DESIGNS
COLOR: MATTE BLACK
WEBSITE: WWW.KEYSTONERIDGEDESIGNS.COM
CONTACT: JUSTIN MASKAL
PHONE: 724.284.1213 EX. 243
CONTRACTOR TO PROVIDE SHOP DRAWINGS AND BOLLARD LAYOUT FOR LANDSCAPE ARCHITECT APPROVAL.

7 POST CHAIN FENCE
NTS

8 PLANT SCHEDULE
NTS

PLANT SCHEDULE						
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
ZS	2	ZELKOVA SERRATA	ZELKOVA	3" CAL.	B&B	AS SHOWN
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
AM	37	ARONIA MELANOCARPA 'MORTON' TM	IROQUOIS BEAUTY BLACK CHOKEBERRY	#5	CONT.	48" o.c.
HA	12	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5	CONT.	48" o.c.
IS	101	ITEA VIRGINICA 'SPRICH' TM	LITTLE HENRY SWEETSPIRE	#5	CONT.	36" o.c.
VM	39	VIBURNUM CARLESII 'SMVCB' TM	SPICE BABY KOREANSPICE VIBURNUM	#5	CONT.	48" o.c.
EVERGREEN	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
CG	46	CHAENOMELES SPECIOSA 'TEXAS SCARLET'	TEXAS SCARLET FLOWERING QUINCE	#5	CONT.	48" o.c.
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
PS2	8	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#1	CONT.	36" o.c.
PERENNIAL AREAS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
LB	3,816	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	#1	CONT.	15" o.c.
RH	128	RUDBECKIA HIRTA	BLACK-EYED SUSAN	#1	CONT.	15" o.c.
SS	424	SALVIA NEMOROSA 'SENSATION DEEP BLUE IMPROVED'	SENSATION DEEP BLUE SAGE	#1	CONT.	12" o.c.
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
FA	2,708 SY	FESTUCA ARUNDINACEA	TALL FESCUE	SOD		

- LANDSCAPE GENERAL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
 - LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE OWNER'S REPRESENTATIVE.
 - REFER TO LANDSCAPE PLANT SCHEDULE AND PLANTING DETAILS ON SHEET LS201.
 - PLANTING SHALL BE PER 32 93 00 PLANTS. SOD SHALL BE PER 32 92 23 SODDING.
 - CONTRACTOR SHALL NOT COMMENCE LANDSCAPE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. LANDSCAPE WORK SHALL BEGIN AFTER THE OWNER HAS GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DEVIATION DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
 - THE OWNER OR OWNER'S REPRESENTATIVE SHALL APPROVE GRADES AND CONDITION OF THE SITE PRIOR TO THE PLANTING OPERATIONS.
 - CONTRACTOR SHALL LAYOUT ALL PLANT MATERIAL PER THE SPECIFICATIONS.
 - ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH FESCUE SOD OR APPROVED BY THE LANDSCAPE ARCHITECT.
 - ALL PLANTING BEDS AND TREE DISHS SHALL BE MULCHED PER THE PLANTING DETAILS AND SPECIFICATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE PLANTS PER SECTION 32 01 90 OPERATION AND MAINTENANCE OF PLANTING.
 - CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK AND PLANT MATERIALS FOR A PERIOD OF TWO YEARS FROM DATE OF ACCEPTANCE OF THE WORK BY THE OWNER.
 - ANY PLANT MATERIAL WHICH DIES DURING THE TWO-YEAR GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR DURING THE NEXT NORMAL PLANTING SEASON.
 - PLANT TAGS FOR ALL PLANTS SHALL NOT HAVE PLANT TAGS REMOVED.

REV	DATE	DESCRIPTION	DESIGNED BY	AAB
			CHECKED BY	WHM
			DRAWN BY	AAB
			CHECKED BY	WHM
			APPROVED BY	CJH
PLOT DATE: 10/13/2022			DATE	10/13/2022



100% SUBMITTAL DATE: 10-13-2022

HDR HDR Engineering, Inc.
10450 Holmes Road
Suite 600
Kansas City, MO 64131-3471
816-360-2700
Certificate of Authority: 000856

HNTB
The HNTB Companies
715 Kirk Drive
Kansas City, MO 64105
816-472-1201
Certificate of Authority: 001270

NOT FOR CONSTRUCTION

KANSAS CITY STREETCAR - RIVERFRONT EXTENSION

LANDSCAPE DETAILS

SCALE FOR 22"x34":
NOT TO SCALE

FILENAME:
Landscape Sheets

CONTRACT NO.:
CONTRACT NO. ###

VOLUME:
1

DRAWING NO.: SHEET NO.:
LS201



NORTH WEST ELEVATION ③
SCALE: 3/32" = 1'-0"



WEST ELEVATION ②
SCALE: 3/32" = 1'-0"

Decorative Art Screens

Art Wall locations



EAST ELEVATION ①
SCALE: 3/32" = 1'-0"

A200 - EAST & WEST BUILDING ELEVATIONS



FINISH SCHEDULE			
SYMBOL	MATERIAL	MANUFACTURER	COLOR
BK-1	BRICK	GLEN-GERY	RED / WARM
BK-2	BRICK	GLEN-GERY	GRAY / NEUTRAL
CS-1	CAST STONE	MIDWEST CAST STONE	18AC
CS-2	FINISHED CONCRETE	TBD	GRAY / NEUTRAL
EPS-1	EPS / STUCCO	TBD	LIGHT GRAY
EPS-2	EPS / STUCCO	TBD	GRAY
EPS-3	EPS / STUCCO	TBD	TBD
LP-1	LAP SIDING	TBD	LIGHT BROWN
LP-2	LAP SIDING	TBD	MEDIUM BROWN
MT-1	METAL	TBD	DARK BRONZE
MT-2	METAL	TBD	GRAY
MT-3	METAL MESH	TBD	TBD
SF-1	STORE FRONT	KAWNEER	DARK BRONZE
SF-2	COMPOSITE WINDOW / DOOR	PELLA	DARK BRONZE

- PARAPET HIGH ELEV. 876'-8"
- PARAPET LOW ELEV. 873'-8"
- ROOF ELEV. 870'-2"
- APT LVL 5 ELEV. 857'-2"
- APT LVL 4 ELEV. 846'-6"
- APT LVL 3 ELEV. 835'-10"
- APT LVL 2 ELEV. 825'-2"
- APT LVL 1 ELEV. 814'-6"
- LVL 1 PARKING ELEV. 800'
- GRADE ELEV. 793'
- BASEMENT PARKING ELEV. 789'



- PARAPET HIGH ELEV. 876'-8"
- PARAPET LOW ELEV. 873'-8"
- ROOF ELEV. 870'-2"
- APT LVL 5 ELEV. 857'-2"
- APT LVL 4 ELEV. 846'-6"
- APT LVL 3 ELEV. 835'-10"
- APT LVL 2 ELEV. 825'-2"
- APT LVL 1 ELEV. 814'-6"
- LVL 1 PARKING ELEV. 800'
- GRADE ELEV. 793'
- BASEMENT PARKING ELEV. 789'

NORTH ELEVATION ②
SCALE: 3/32" = 1'-0"

- PARAPET HIGH ELEV. 876'-8"
- PARAPET LOW ELEV. 873'-8"
- ROOF ELEV. 870'-2"
- APT LVL 5 ELEV. 857'-2"
- APT LVL 4 ELEV. 846'-6"
- APT LVL 3 ELEV. 835'-10"
- APT LVL 2 ELEV. 825'-2"
- APT LVL 1 LOW ELEV. 812'-6"
- LVL 1 PARKING ELEV. 800'
- GROUND FLOOR ELEV. 799'-8"

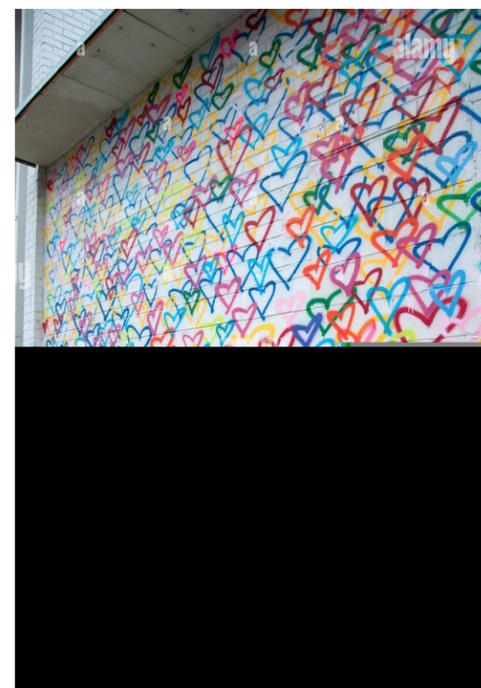
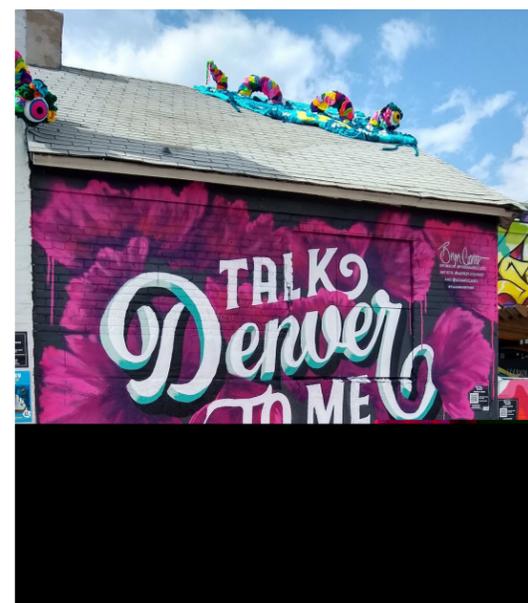
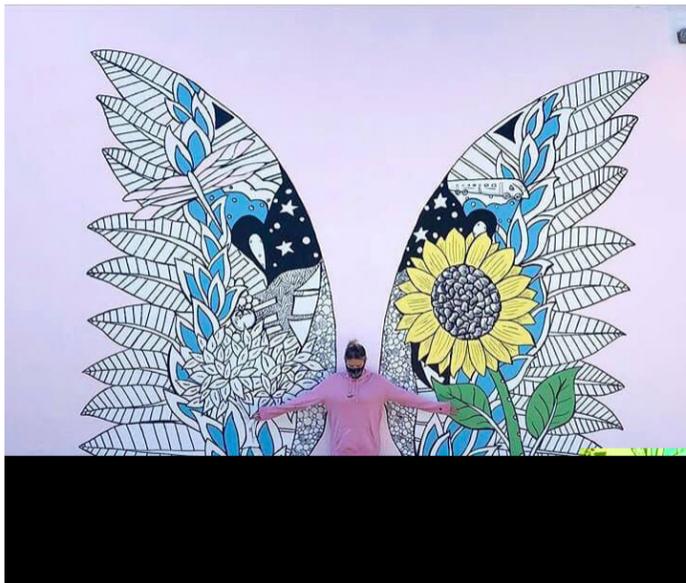


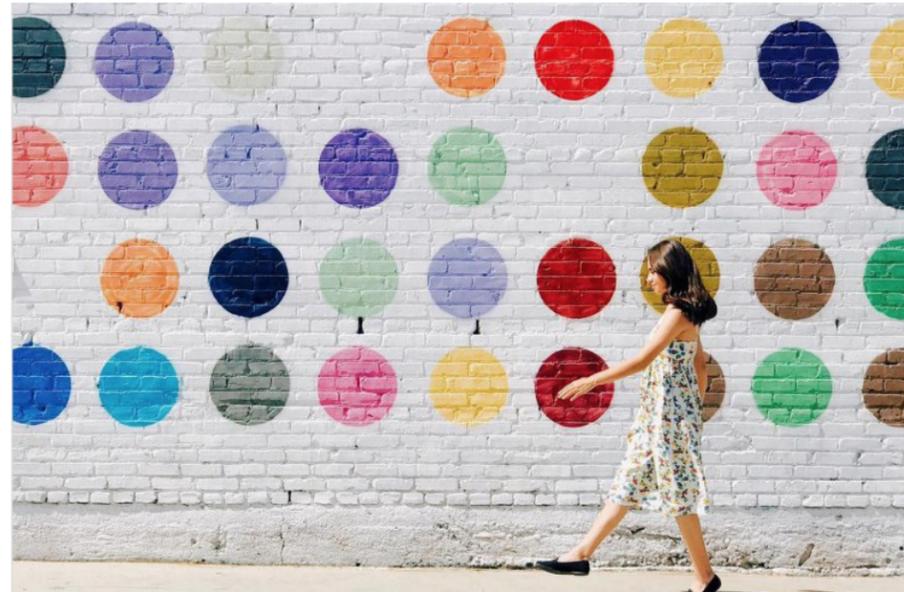
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- PARAPET LOW ELEV. 873'-8"
- ROOF ELEV. 870'-2"
- APT LVL 5 ELEV. 857'-2"
- APT LVL 4 ELEV. 846'-6"
- APT LVL 3 ELEV. 835'-10"
- APT LVL 2 ELEV. 825'-2"
- APT LVL 1 ELEV. 814'-6"
- GRADE ELEV. 801'
- LVL 1 PARKING ELEV. 800'
- BASEMENT PARKING ELEV. 789'

SOUTH ELEVATION ①
SCALE: 3/32" = 1'-0"

A201 - NORTH & SOUTH BUILDING ELEVATIONS

SCALE: 3/32" = 1'-0"
09.12.2022









CITY PLANNING & DEVELOPMENT

Public Meeting Summary Form

Project Case #

Meeting Date:

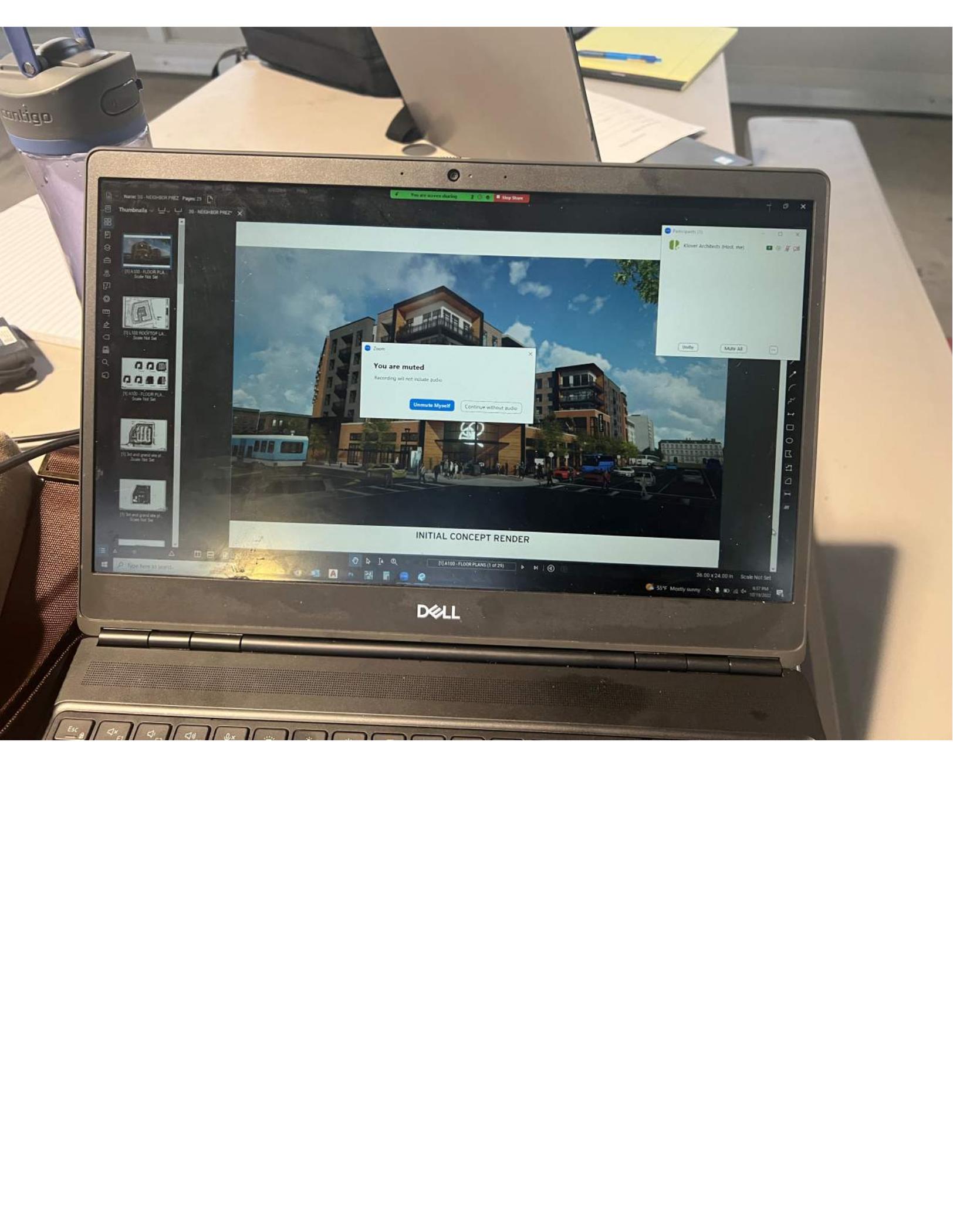
Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

No attendees participated via zoom.





DELL

NAME: 00 - NEIGHBOR PREZ Pages: 25

Thumbnaila

- 01 A100 - FLOOR PLAN Scale: Not Set
- 01 L100 - ROOFTOP LA. Scale: Not Set
- 01 A100 - FLOOR PLAN Scale: Not Set
- 01 L100 - ROOFTOP LA. Scale: Not Set
- 01 L100 - ROOFTOP LA. Scale: Not Set

Zoom

You are muted
Recording will not include audio.

Unmute Myself Continue without audio

Participate (1)
Klover Architects (Host, me)

mute Mute All

INITIAL CONCEPT RENDER

01 A100 - FLOOR PLAN (1 of 25)

36.00 x 24.00 ft Scale: Not Set

55°F Mostly sunny 1:52 PM 10/19/2022