



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

November 7, 2023

**Project Name**  
Courtyard by Marriott at KCI

**Docket #** 9

**Request**  
CD-CPC-2023-00152  
Development Plan – Non-Residential

**Applicant**  
Mick Slutter  
Renaissance Infrastructure Consulting

**Owner**  
Sanjay Koshiya  
KMG Hotels

Location 11301 N. Newark Cir.  
Area About 5.1 acres  
Zoning B3-3  
Council District 1<sup>st</sup>  
County Platte  
School District Park Hill

**Surrounding Land Uses**

**North:** Commercial, zoned B3-3  
**South:** Commercial, zoned B3-3/B4-2  
**East:** Manufacturing, zoned M2-3  
**West:** Commercial, zoned B3-3/B4-2

**Major Street Plan**

N. Ambassador Drive is identified as an established arterial on the City's Major Street Plan.

**Land Use Plan**

The KCI Area Plan recommends commercial/industrial for this location.

**APPROVAL PROCESS**



**PROJECT TIMELINE**

The application for the subject request was filed on 9/15/2023. No scheduling deviations from 2023 Cycle V have occurred.

**REQUIRED PUBLIC ENGAGEMENT**

Public engagement as required by 88-505-12 does apply to this request. The applicant hosted a meeting on 10/30/2023. A summary of the meeting is attached to the staff report, see Attachment #3.

**EXISTING CONDITIONS**

The five-acre site is undeveloped and generally flat. The site is adjacent to an existing hotel, convenience store and gas station and a future private transportation facility which was recently approved (**CD-CPC-2023-00099** and **Ord. No. 230665**).

**SUMMARY OF REQUEST + KEY POINTS**

A request to approve a major amendment to a previously approved development plan to allow for the construction of two hotels in district B3-3 on about 5.1 acres generally located at N. Newark Circle and N. Ambassador Drive.

**CONTROLLING + RELATED CASES**

**5963-GP-5** - To approve a plan amendment in District GP-2 (general transient retail business) to delete approximately 9.79 acres from a previously approved development plan and approving a development plan for an existing hotel, bank and convenience store was approved by Council on July 10, 2008 (**Ord. No. 080583**).

**PROFESSIONAL STAFF RECOMMENDATION**

Docket # Recommendation

**9 APPROVAL WITH CONDITIONS**

**PLAN REVIEW**

The applicant is proposing a Courtyard by Marriott hotel with 140 rooms at the intersection of N. Newark Circle and N. Ambassador Drive only a few miles southeast of KCI. The applicant is proposing is to split the five-acre lot into two lots. The long-term plan is to construct two hotels on this lot, but the current plan is to construct a 140-room hotel on the northern portion of the lot.

**PLAN ANALYSIS**

The proposed plan complies with all applicable sections of the Zoning and Development Code. The applicant will be required to apply for a project plan for a future hotel that will be constructed on lot 2. The second hotel will require that a project plan be approved by the City Plan Commission prior to the issuance of any building permit.

Standards	Applicability	Meets	More Information
Lot and Building Standards (88-120)	Yes	Yes	
Parking and Loading Standards (88-420)	Yes	Yes	
Landscape and Screening Standards (88-425)	Yes, subject to conditions	Yes, subject to conditions	Yes, subject to conditions
Outdoor Lighting Standards (88-430)	Yes	Yes	Yes, subject to conditions
Sign Standards (88-445)	Yes	Yes	Yes, subject to conditions
Pedestrian Standards (88-450)	Yes, subject to conditions	Yes, subject to conditions	Yes, subject to conditions

**SPECIFIC REVIEW CRITERIA**

**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

- A. The plan must comply with all standards of the Zoning and Development Code and all other applicable City ordinances and policies;**  
The proposed plan complies with the Zoning and Development Code and all other applicable City ordinances and policies.
- B. The proposed use must be allowed in the district in which it is located;**  
The proposed use, lodging is permitted within the B3-3 zoning district.
- C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**

The applicant is proposing two points of vehicular access, one from N. Ambassador and the other from N. Newark Circle. When the second hotel is constructed at a future date there will a third access point constructed.

**D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**

The pedestrian circulation movement is oriented along N. Ambassador Drive and there is an existing sidewalk around the entire perimeter of the site.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

The proposed plan does provide for adequate utilities based on City standards.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

The proposed color scheme and general design of the building is compatible with adjacent properties. The overall design incorporates different materials and articulation that provide a settle but interesting addition to the surrounding area.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

There are no residential uses within the immediate area and the proposed development is not anticipated to produce any undesirable views, noises, lighting, or other off-site negative influences.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and City code requirements.**

The Zoning Code requires one parking stall per six rooms; with a total of 140 rooms the applicant is proposing 151 parking stalls. The applicant does have plans to develop another hotel on the southern portion of the 5-acre property; staff understands that this use (lodging) can sometimes need the extra parking dependent upon certain events.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

The applicant will be removing a small amount of volunteer trees and vegetation along the southwestern perimeter of the site.


**ATTACHMENTS**

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

**PROFESSIONAL STAFF RECOMMENDATION**

City staff recommends **APPROVAL WITH CONDITIONS** as stated in the conditions report.

Respectfully Submitted,



Andrew Clarke, AICP  
Planner



## Plan Conditions

Report Date: November 01, 2023

Case Number: CD-CPC-2023-00152

Project: Courtyard by Marriott at KCI

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*Condition(s) by City Planning and Development Department. Contact Andrew Clarke at (816) 513-8821 / [Andrew.Clarke@kcmo.org](mailto:Andrew.Clarke@kcmo.org) with questions.*

1. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
2. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
3. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
4. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
5. All signage shall conform to 88-445 and shall require a sign permit prior to installation.
6. The developer shall secure approval of a project plan from the City Plan Commission for the proposed hotel on the southern lot prior to building permit.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / [Terry.A.Thomas@kcmo.org](mailto:Terry.A.Thomas@kcmo.org) with questions.*

7. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
8. The developer shall pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
9. The developer shall submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division.
10. The developer shall submit a streetscape plan for approval and permitting by the Land Development Division prior to beginning construction of the streetscape improvements in the public right of way, and construct ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired.
11. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

12. The developer shall submit a letter to the Land Development Division from a Licensed Civil Engineer, Licensed Architect, or Licensed Landscape Architect, who is registered in the State of Missouri, that identifies sidewalks, curbs, and gutters in disrepair as defined by Public Works Department's "OUT OF REPAIR CRITERIA FOR SIDEWALK, DRIVEWAY AND CURB revised 11/5/2013" and based on compliance with Chapters 56 and 64 of the Code of Ordinances for the sidewalks, curbs, and gutters where said letter shall identify the quantity and location of sidewalks, curbs, gutters that need to be constructed, repaired, or reconstructed to remedy deficiencies and/or to remove existing approaches no longer needed by this project. The developer shall secure permits to repair or reconstruct the identified sidewalks, curbs, and gutters as necessary along all development street frontages as required by the Land Development Division and prior to issuance of any certificate of occupancy permits including temporary certificate occupancy permits.
13. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
14. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
15. The developer shall grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division and KC Water, prior to recording the plat or issuance of any building permits.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

16. • The shall meet the fire flow requirements as set forth in Appendix B of the project International Fire Code 2018. (IFC-2018 § 507.1)
17. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
18. • A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3)
  - Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
  - Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
19. • Aerial Fire Apparatus access roads shall be provided for any building that is 30 feet in height or greater. Aerial Fire Apparatus Roads are a minimum 26 feet wide, at least 15 feet away from the building but not more than 30 feet from the structure. (IFC-2018 § D105).
20. • New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

21. No water service line will be less than 1-1/2" in diameter where three or more units or Commercial building will be served by one domestic service line and meter.
22. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact - Bryan Wagner 816-513-0275  
North of River contact - Pedro Colato 816-513-4892
23. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.  
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

24. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first.

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

25. The Developer shall provide adequate easements for the public sanitary sewer located on private property.

# Courtyard At KCI

Kansas City, Jackson County, Missouri  
Section 23, Township 52N, Range 34W

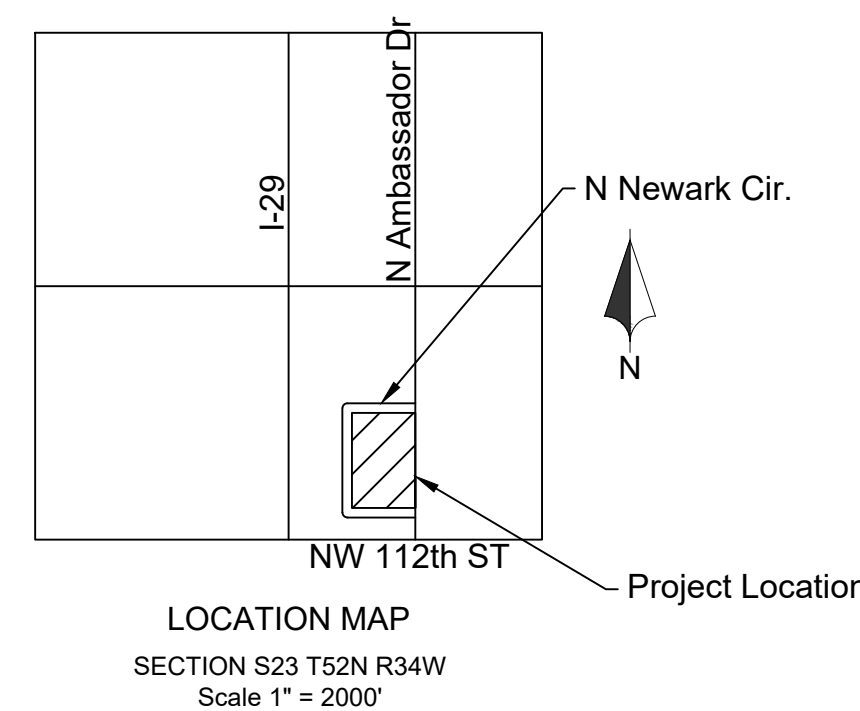
## Development Plans

### LEGEND

— Existing Section Line	— Proposed Right-of-Way
- - - Existing Right-of-Way Line	— Proposed Property Line
— Existing Lot Line	— Proposed Lot Line
- - - Existing Easement Line	- - - Proposed Easement
— Existing Curb & Gutter	— Proposed Curb & Gutter
— Existing Sidewalk	— Proposed Sidewalk
— Existing Storm Sewer	— Proposed Storm Sewer
□ Existing Storm Structure	□ Proposed Storm Structure
- - - Existing Waterline	▲ Proposed Fire Hydrant
- - - Existing Gas Main	- - - Proposed Waterline
— Existing Sanitary Sewer	— Proposed Sanitary Sewer
⊙ Existing Sanitary Manhole	● Proposed Sanitary Manhole
- - - Existing Contour Major	— Proposed Contour Major
- - - Existing Contour Minor	— Proposed Contour Minor
----- Future Curb and Gutter	
U/E Utility Easement	A/E Access Easement
SS/E Sanitary Sewer Easement	T/E Temporary Easement
D/E Drainage Easement	

1. Floodplain Note:  
According to the F.E.M.A. Flood Insurance Rate Map Number 29095C0041G, revised 01/20/2017, this tract graphically lies in: Zone X Areas outside the annual 0.2% Flood Plain

Legal Description:  
LOT F, PLAZA INTERNATIONAL, THIRD PLAT, A SUBDIVISION IN KASAS CITY, PLATTE COUNTY, MISSOURI.



### GENERAL NOTES

- All work in public easements and right of way and all erosion control work must comply with the latest edition of the Technical Provisions & Standard Drawings for Roads and Sewers, of the City of Kansas City, Jackson County, Missouri. If any general notes conflict with the Technical Provisions & Standard Drawings for Roads and Sewers, of the City of Kansas City, the City of Kansas City's standards shall override.
- The contractor shall provide evidence that his insurance meets the requirements of the City of Kansas City.
- All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's expense.
- The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
- The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
- The contractor shall remove existing trees and shrubbery within the right-of-way adjacent to future thoroughfare improvements.
- The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
- All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities Act (ADA) and Kansas City, Missouri sidewalk details.
- Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
- All work shall be confined within easements and/or construction limits as shown on the plans.
- Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
- Any existing and/or temporary storm sewer pipes and box culverts to be abandoned in place shall be grouted using a slurry grout mixture meeting a 7-day compressive strength of 100-150 psi. The slurry grout mixture of fly ash, cement, fine aggregate, forming agents and water shall be approved by the City and shall possess adequate flow characteristics to fill all voids.
- All existing utilities indicated on the drawings are according to the best information available to the engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and un-shown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
- The contractor will be responsible for all damages to existing utilities, pavement, fences, structures, and other features not designated for removal. The contractor shall repair all damages at his expense.
- By use of these construction documents the contractor hereby agrees that he shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses, or damages related to the project.
- The contractor will be responsible for providing all signage, barricades, lighting, etc., as required for temporary traffic control during the construction of this project. Maintenance of the temporary traffic control devices will be the contractor's responsibility. All traffic control in conduction with construction in the right-of-way shall be in conformance with the City Traffic Control Requirements.
- Geogrid, footings, or other elements of retaining wall(s) cannot encroach into the right of way, public easements, or adjacent private property.
- All building and life safety issues shall comply with the 2006 International Fire Code and local amendments as adopted by Kansas City, Missouri.
- Contractor shall be responsible for obtaining all permits including land disturbance, right-of-way, hauling, etc., with Public Works prior to construction.
- Contractor shall restore all disturbed right-of-way upon project completion.
- Prior to construction, contractor shall install pre-construction erosion control measures.
- The Architect shall be responsible for specifying retaining wall block type and color to compliment building. The contractor shall be responsible for structural design of retaining walls. All retaining wall design shall be completed by a registered engineer in the State of Missouri. Black Aluminum Fencing shall be placed on all walls with a height over 30".
- Ground mounted and rooftop mechanical equipment shall be screened in accordance with City of Kansas City, Missouri Unified Development Ordinance Section 88-425.

### FLOOD PLAIN NOTE

According to the FEMA Flood Insurance Rate Map Number 29095C0041G, revised August 3, 2009, portions of this tract lie in: OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain, OTHER FLOOD AREAS, ZONE X (Future Base Flood), defined as areas of 1% annual chance flood based on future conditions hydrology, and ZONE AE, Special Flood Hazard areas subject to inundation by the 1% annual chance flood, Base Flood Elevations determined.

The information concerning locations of underground utilities shown hereon which are not visible from the surface, has been taken from the records and field locations of the various utility companies and has not been field verified by this company. These locations are not to be construed as accurate or exact.

**Civil:**  
Renaissance Infrastructure Consulting  
Mick Slutter, PE  
400 E 17th Street  
Kansas City, MO 64108  
(816) 800-0950

**Architect:**  
Shaw Hofstra + Associates Inc.  
Scott Tillema, AIA  
1800 Central Street, Suite 203  
Kansas City, Missouri 64108  
(816) 421-0505

**Owner:**  
Tiffany Hotels LLC  
Sanjay Koshiya  
(917) 328-2330

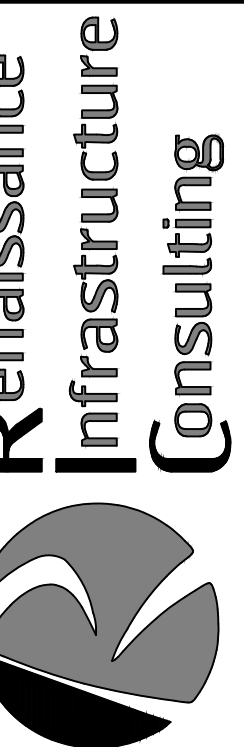
Sheet Number	Sheet Title
C01	Title Sheet
C02	Preliminary Plat
C03	Existing Conditions
C04	General Layout
C05	Pedestrian Circulation Path
C06	Sight Distance Plan
C07	Grading Plan
C08	Utility Plan
C09	Fire Protection Plan
L01	Landscape Details
L02	Landscape Plan

Development Plans

23-0150

Courtyard At KCI  
Kansas City, Jackson County, Missouri

Title Sheet



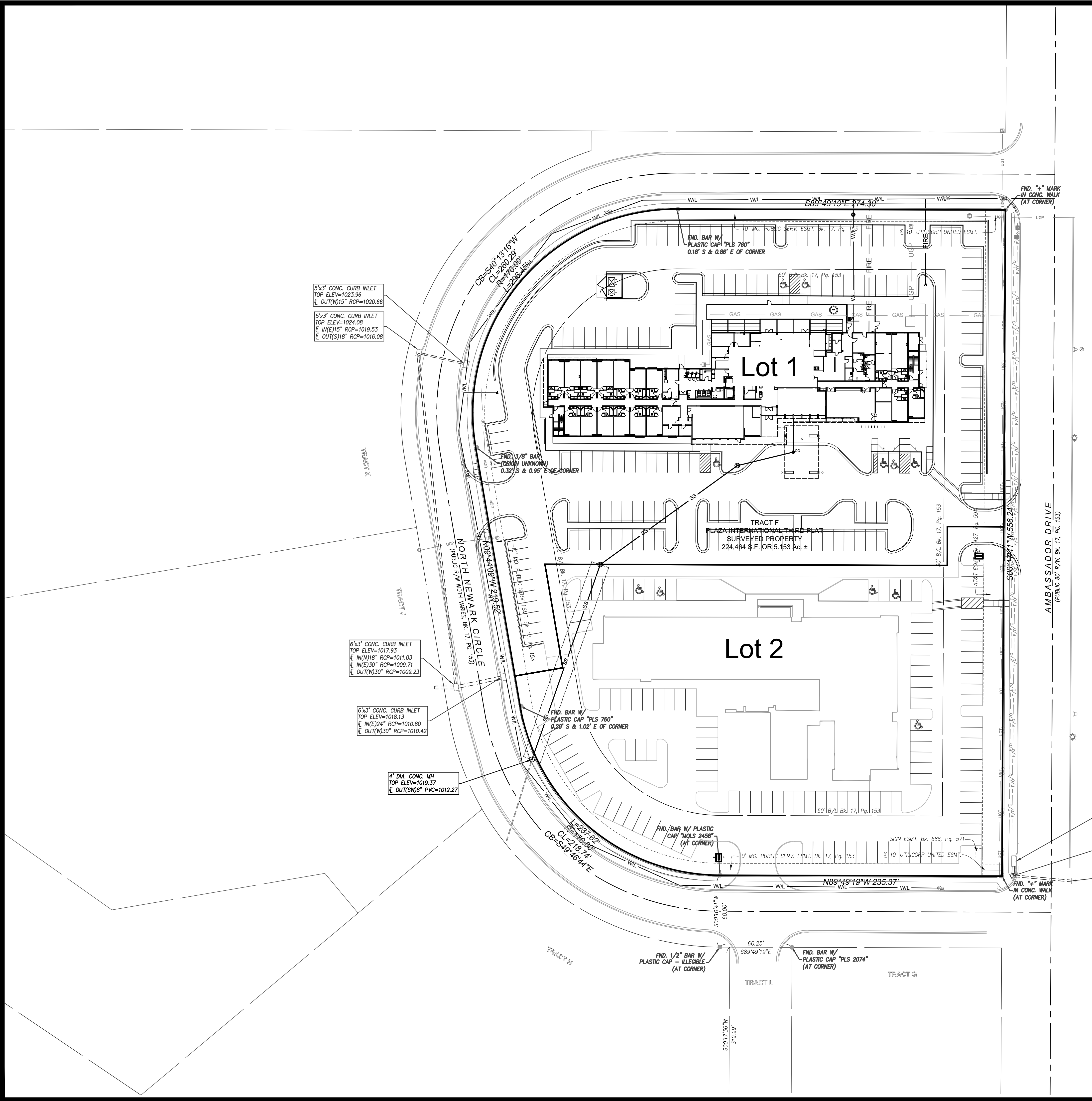
400 E 17th Street  
Kansas City, Missouri 64108  
www.RIC-CONSULT.COM  
MO Certificate of Authority: E-2010033630

Sheet  
C01





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Plat Areas		
Lot No.	Sq. Ft.	AC.
Lot 1	126,711	2.91
Lot 2	97,752	2.24
Total	224,463	5.15

Development Plans

23-0150

Courtyard At KCI

Kansas City, Jackson County, Missouri

Preliminary Plat

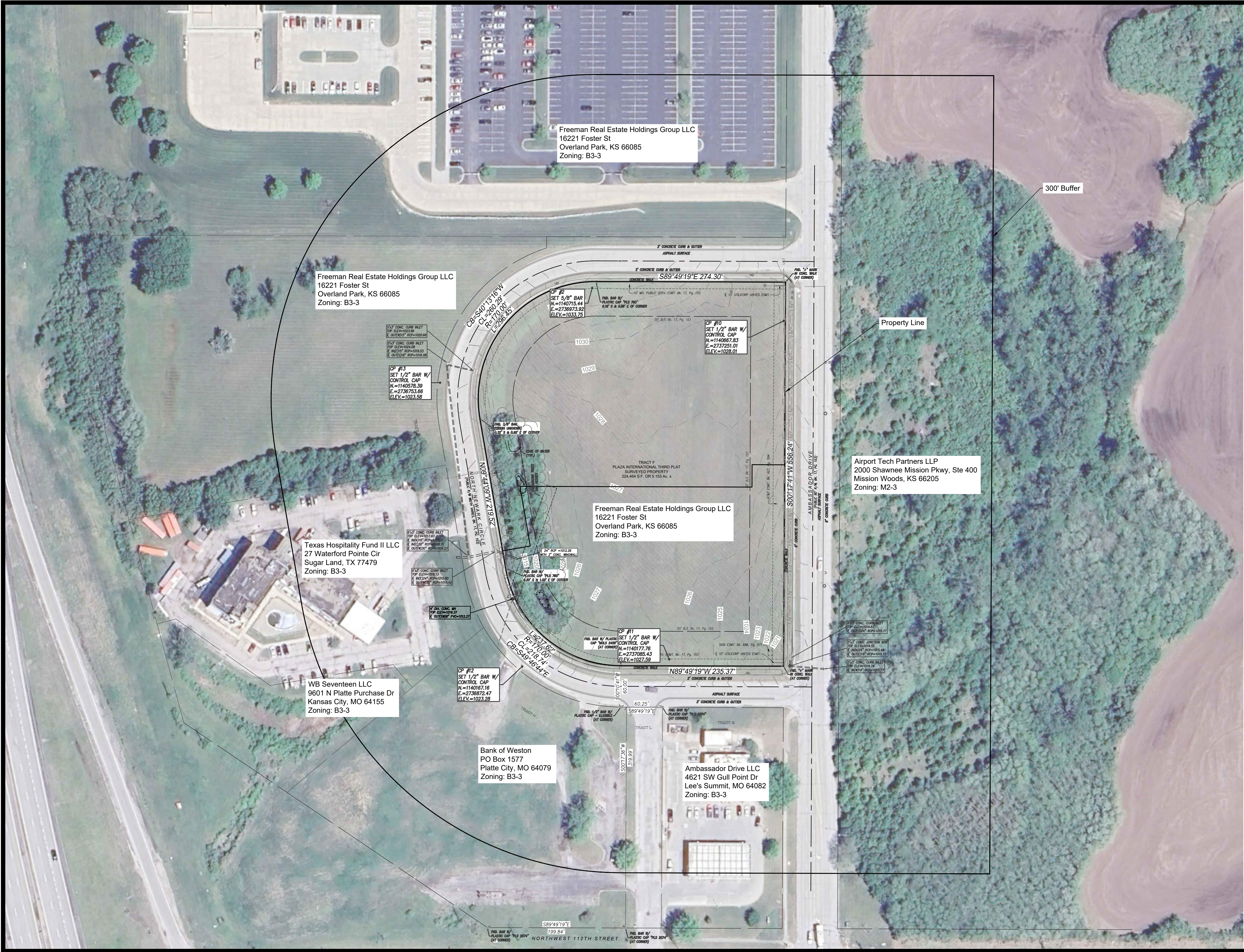
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1	09/18/23	Original Submittal

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Renaissance  
 Infrastructure  
 Consulting  
 400 E 17th Street  
 Kansas City, Missouri 64108  
 816-800-0950  
 www.ri-c.com  
 E-2010033830



Sheet  
 C02



Freeman Real Estate Holdings Group LLC  
 16221 Foster St  
 Overland Park, KS 66085  
 Zoning: B3-3

Freeman Real Estate Holdings Group LLC  
 16221 Foster St  
 Overland Park, KS 66085  
 Zoning: B3-3

Texas Hospitality Fund II LLC  
 27 Waterford Pointe Cir  
 Sugar Land, TX 77479  
 Zoning: B3-3

WB Seventeen LLC  
 9601 N Platte Purchase Dr  
 Kansas City, MO 64155  
 Zoning: B3-3

Bank of Weston  
 PO Box 1577  
 Platte City, MO 64079  
 Zoning: B3-3

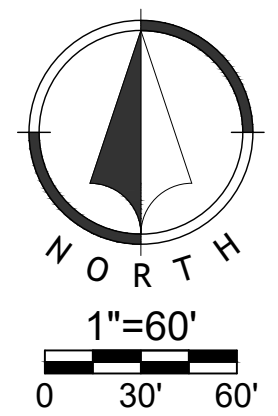
Freeman Real Estate Holdings Group LLC  
 16221 Foster St  
 Overland Park, KS 66085  
 Zoning: B3-3

Ambassador Drive LLC  
 4621 SW Gull Point Dr  
 Lee's Summit, MO 64082  
 Zoning: B3-3

Airport Tech Partners LLP  
 2000 Shawnee Mission Pkwy, Ste 400  
 Mission Woods, KS 66205  
 Zoning: M2-3

300' Buffer

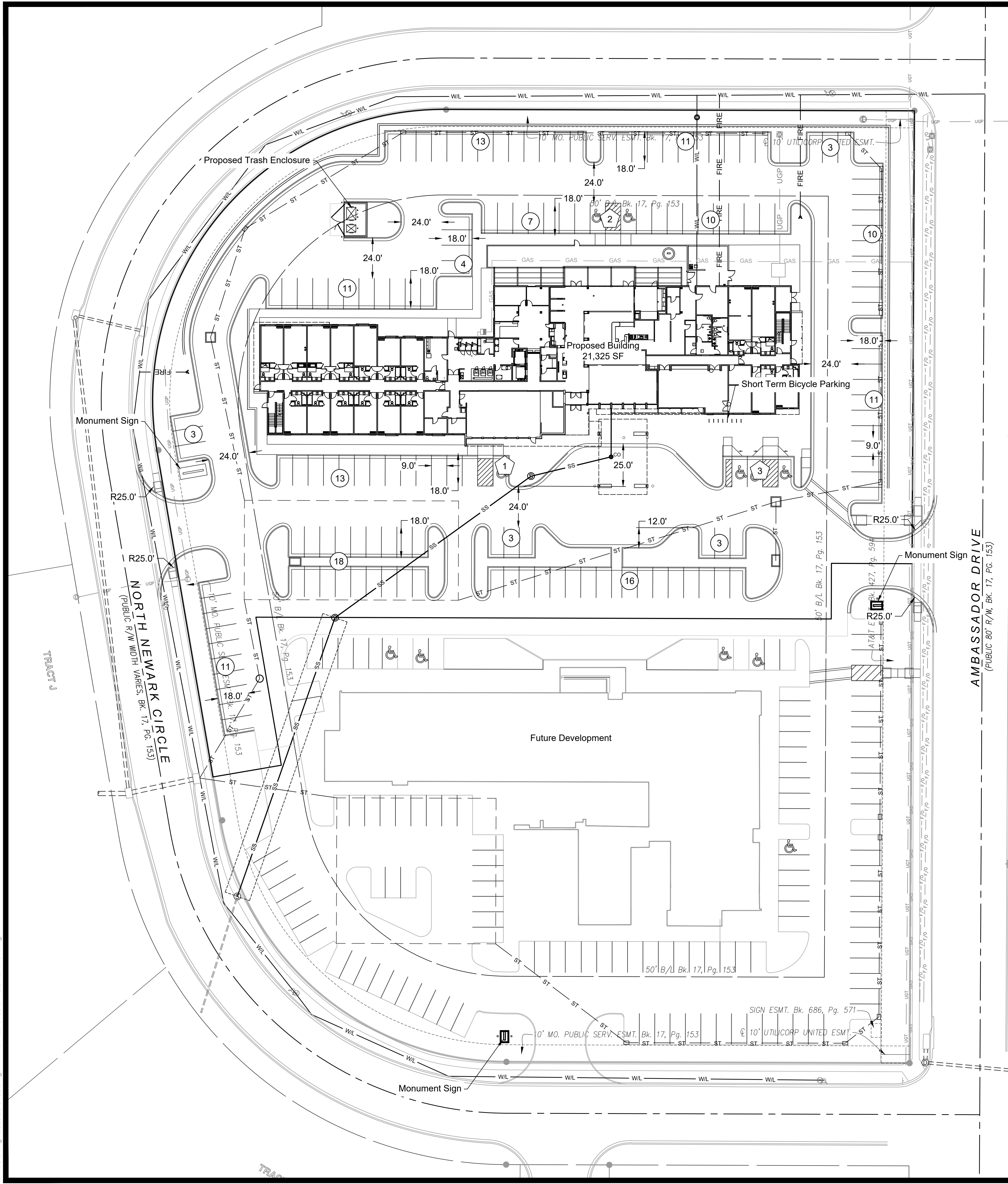
Property Line



NO.	DATE	REVISION
1	09/18/23	Original Submittal

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SITE DATA	Table 1. Site Data				Deviation Requested?	Approved
	Existing		Proposed			
	Courtyard - N Lot	Element - S Lot	Courtyard - N Lot	Element - S Lot		
Zoning:	B3-3	B3-3	B3-3	B3-3		N
Gross Land Area:						N
in square feet	224,464		224,464			N
in acres	5.15		5.15			N
Right-of-way Dedication:						N
in square feet	64,665		64,665			N
in acres	1.48		1.48			N
Net Land Area:						N
in square feet	224,464		224,464			N
in acres	5.15		5.15			N
Building Area (sq ft):	0	0	21,325+/-	20,202+/-		N
Floor Area Ratio:	0.00	0.00	1.00	1.00		N
Total Lots:						N
Residential	0		0			N
Public/Civil	0		0			N
Commercial	1		1			N
Industrial	0		0			N
Other:						N

BUILDING DATA	Table 2. Building Data			
	Required		Proposed	
	Courtyard - N Lot	Element - S Lot	Courtyard - N Lot	Element - S Lot
Rear Setback:	10'	10'	50'	50'
Front Setback:	50'	50'	50'	50'
Side Setback:	10'	10'	50'	50'
Height:	55'	55'	33'-3"	

Table 4. Parking									Alternatives Proposed? (See 88-420-16)		
88-420 - Parking	Proposed Use(s) - List All Proposed Uses:	1 per room:	Vehicle Spaces				Bike Spaces				
			Required	Proposed	Required	Proposed	Required	Proposed			
			Courtyard - N Lot	Element - S Lot	Courtyard - N Lot	Element - S Lot	Courtyard - N Lot	Element - S Lot	Courtyard - N Lot	Element - S Lot	
			140 (5 ADA)	107 (5 ADA)	152 (6 ADA)	122 (5 ADA)	Short Term: 16 Long Term: 1 + 1 per 30 rooms: 6	Short Term: 11 Long Term: 1 + 1 per 30 rooms: 4	Short Term: 16 Long Term: 6 Inside Proposed Building	Short Term:	N/A
<b>Total:</b>			<b>140 (5 ADA)</b>	<b>107 (5 ADA)</b>	<b>151 (6 ADA)</b>	<b>122 (5 ADA)</b>	<b>22</b>	<b>15</b>	<b>22</b>		

Table 5. Other Development Standards	
88-425 OTHER DEVELOPMENT STANDARDS	Method of Compliance
88-408 Parkland Dedication:	N/A
88-415 Stream Buffers:	N/A
88-430 Outdoor Lighting:	See Attached Photometric Plan
88-435 Outdoor Display, Storage and Work Areas:	N/A
88-445 Signs:	See Building Elevations
88-450 Pedestrian Standards:	See Pedestrian Circulation Path

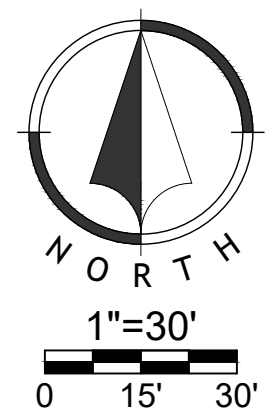
Development Plans  
 23-0150  
 Courtyard At KCI  
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General Layout

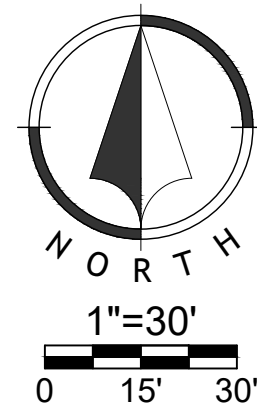
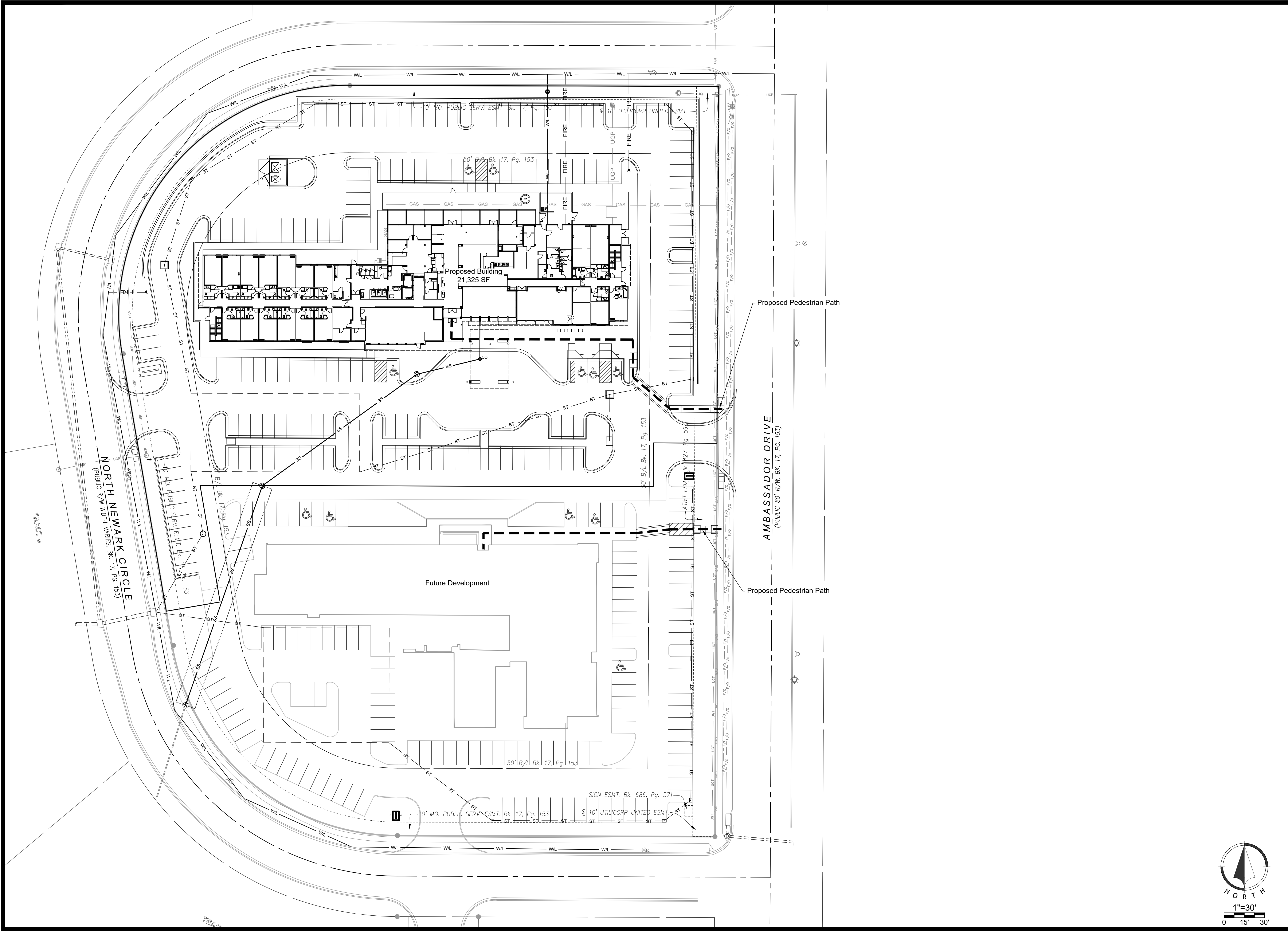
NO.	DATE	REVISION
1	09/18/23	Original Submittal

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**Renaissance Infrastructure Consulting**  
 400 E 17th Street  
 Kansas City, Missouri 64108  
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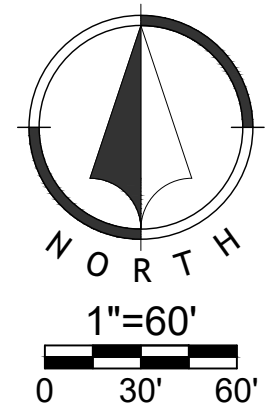
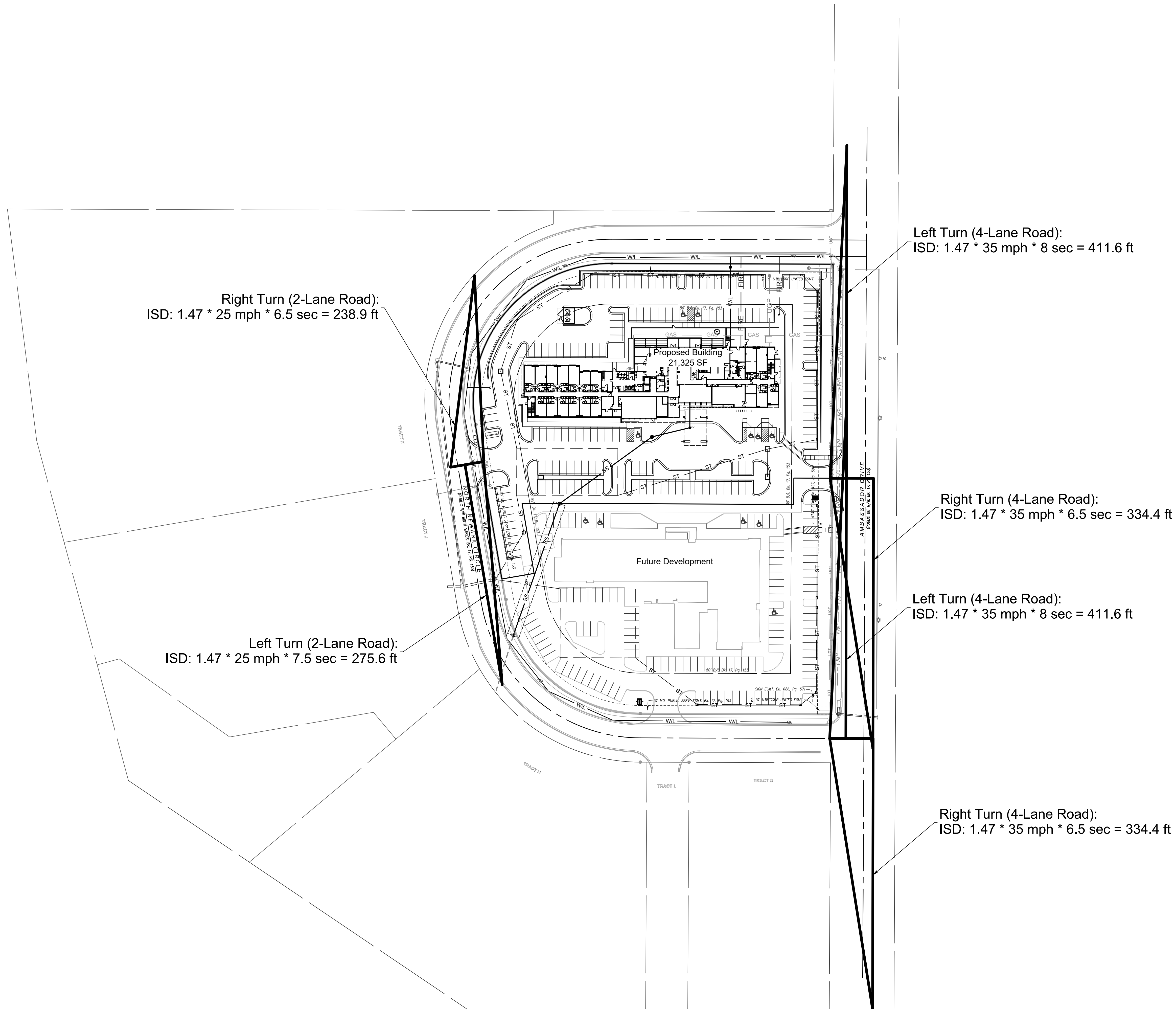
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Sheet  
 C05

Pedestrian Circulation Path

Development Plans  
 23-0150  
 Courtyard At KCI  
 Kansas City, Jackson County, Missouri

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Sight Distance Plan

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TRACT K

TRACT J

NORTH NEWARK CIRCLE  
 (PUBLIC R/W WIDTH VARIES, BK. 17, PG. 153)

AMBASSADOR DRIVE  
 (PUBLIC R/W, BK. 17, PG. 153)

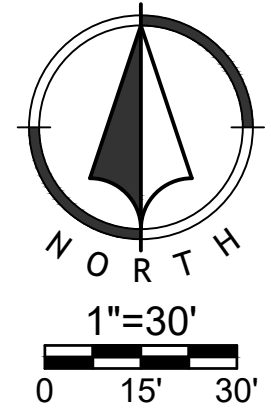
FFE: 1027.30

4' Retaining Wall

7' Retaining Wall

4' Retaining Wall

- Contour Legend**
- - - Existing Major Contour
  - - - Existing Minor Contour
  - Proposed Major Contour
  - Proposed Minor Contour



Development Plans

23-0150

Courtyard At KCI

Kansas City, Jackson County, Missouri

Grading Plan

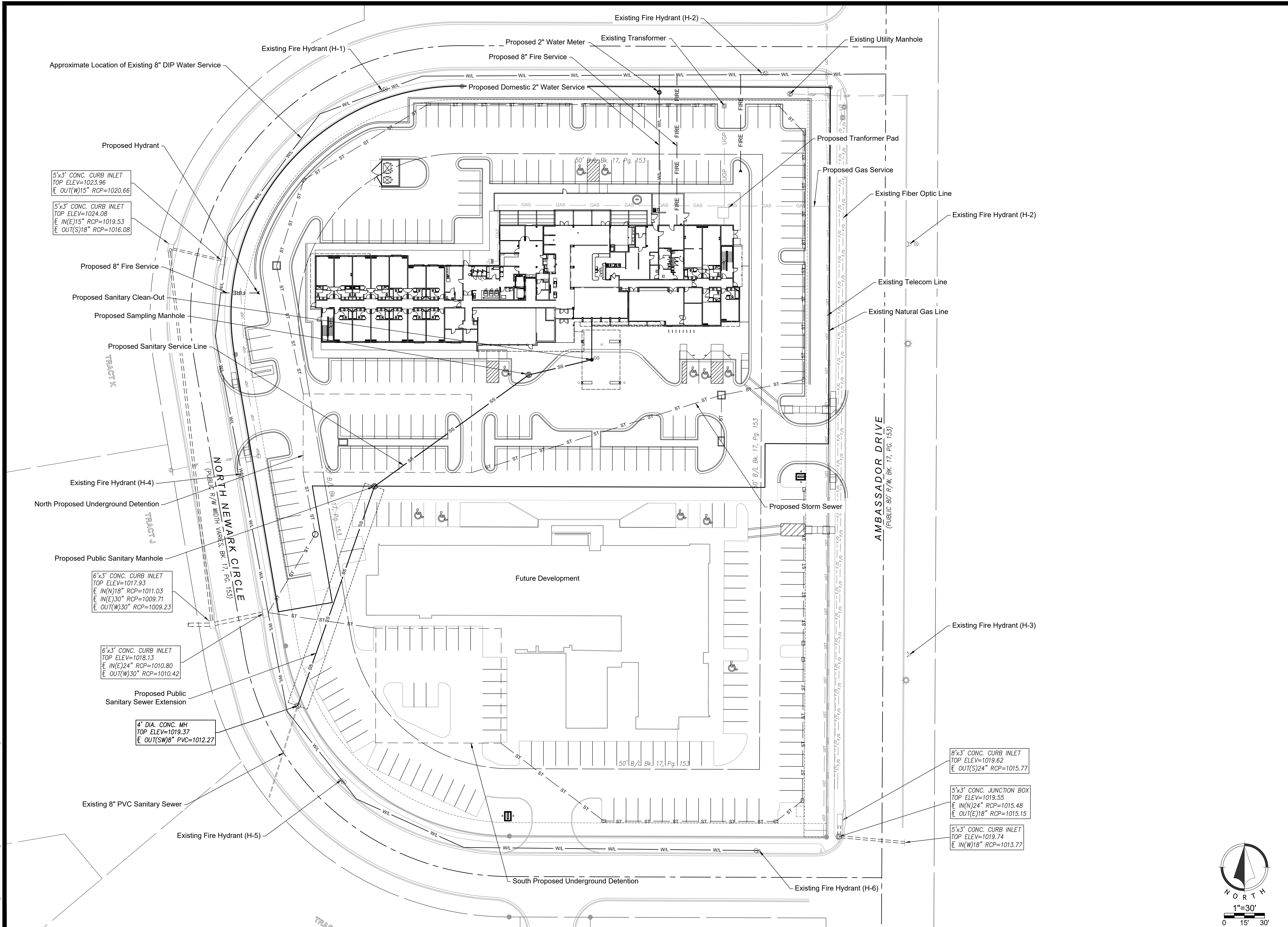
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5'x3' CONC. CURB INLET  
 TOP ELEV=1023.96  
 E OUT(W)15" RCP=1020.66

5'x3' CONC. CURB INLET  
 TOP ELEV=1024.08  
 E IN(E)15" RCP=1019.53  
 E OUT(S)18" RCP=1016.08

6'x3' CONC. CURB INLET  
 TOP ELEV=1017.93  
 E IN(N)18" RCP=1011.03  
 E IN(E)30" RCP=1009.71  
 E OUT(W)30" RCP=1009.23

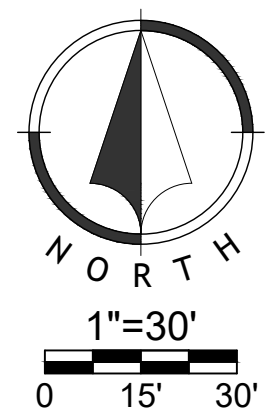
6'x3' CONC. CURB INLET  
 TOP ELEV=1018.13  
 E IN(E)24" RCP=1010.80  
 E OUT(W)30" RCP=1010.42

4' DIA. CONC. MH  
 TOP ELEV=1019.37  
 E OUT(SW)8" PVC=1012.27

8'x3' CONC. CURB INLET  
 TOP ELEV=1019.62  
 E OUT(S)24" RCP=1015.77

5'x3' CONC. JUNCTION BOX  
 TOP ELEV=1019.55  
 E IN(N)24" RCP=1015.48  
 E OUT(E)18" RCP=1015.15

5'x3' CONC. CURB INLET  
 TOP ELEV=1019.74  
 E IN(W)18" RCP=1013.77

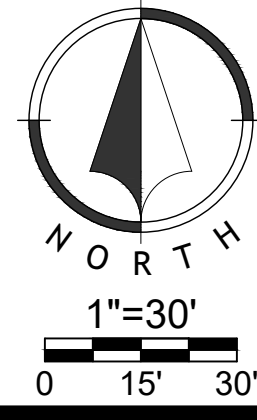
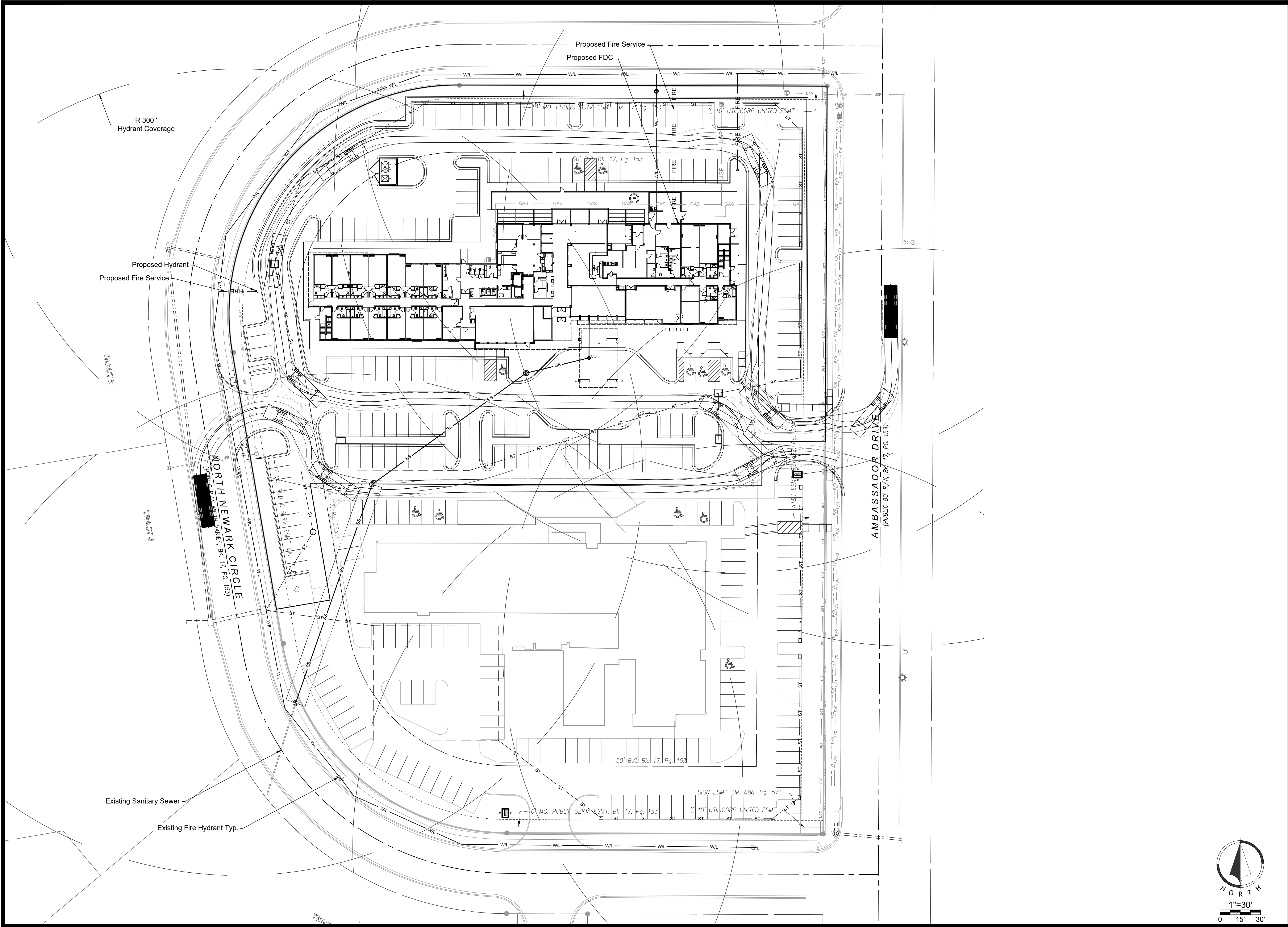


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Development Plans  
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 Courtyard At KCI  
 Kansas City, Jackson County, Missouri

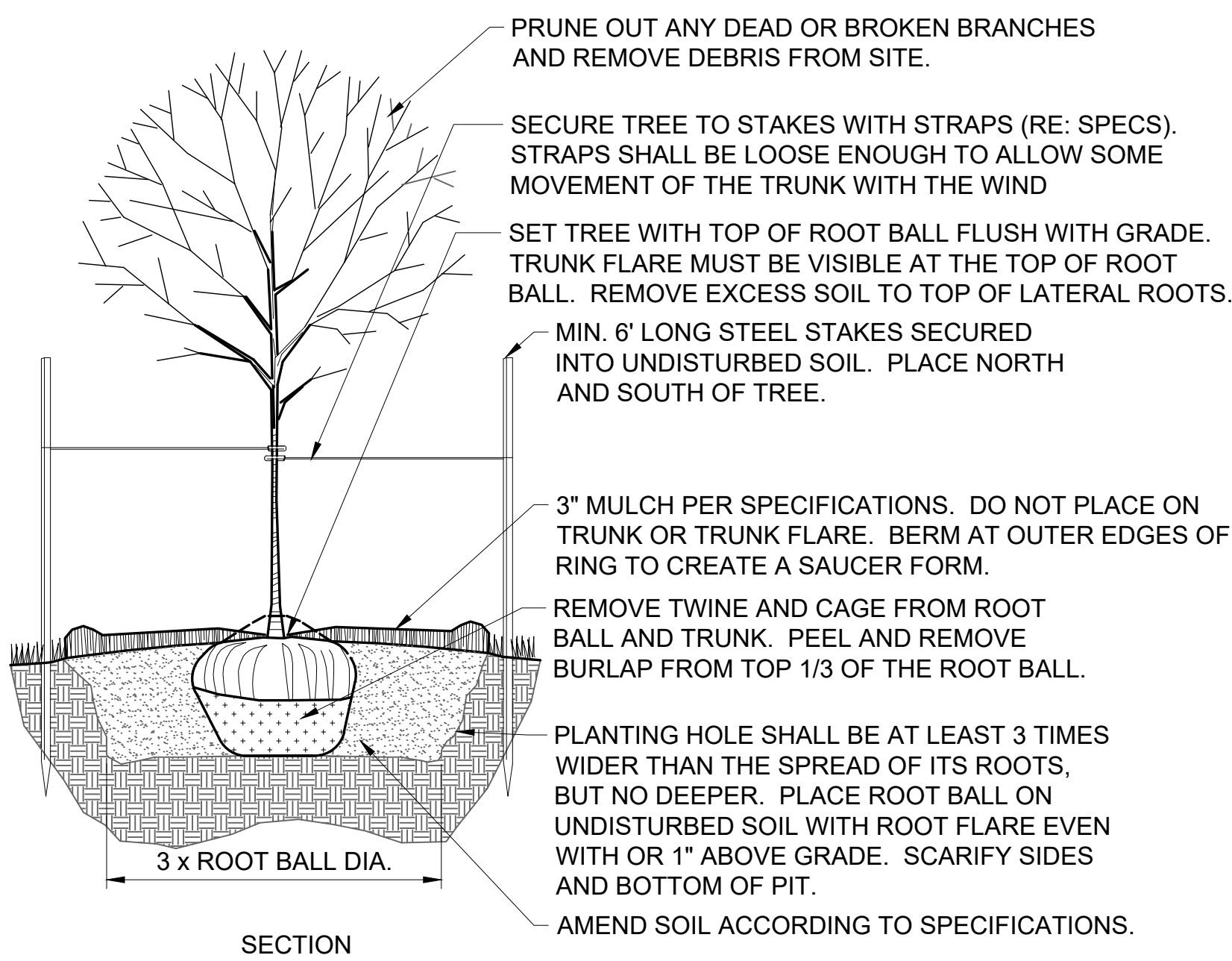
Fire Protection Plan



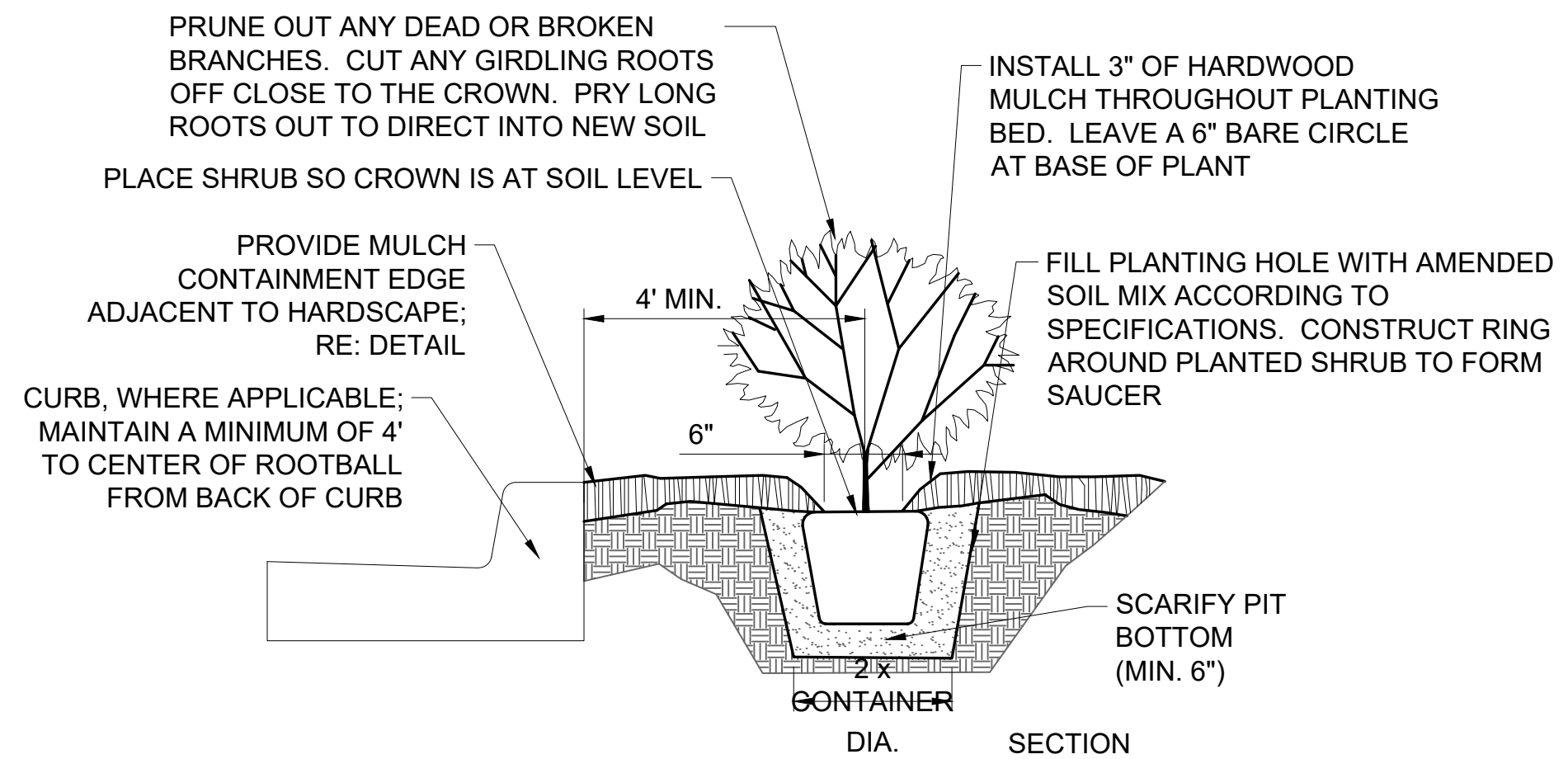
Landscape Requirements	Table 3. Landscape Site Data				Alternative Requested?	Approved
	Required		Proposed			
	Courtyard - N Lot	Element - S Lot	Courtyard - N Lot	Element - S Lot		
88-425-03 Street Trees	32 trees	-	32 trees	-	N/A	
88-425-04 General	N/A	-	-	-	N/A	
88-425-05 Perimeter Vehicular Use Area Adjacent to Streets	-	-	-	-	N/A	
Buffer Width	10'	-	10'	-	N/A	
Trees	Street trees	-	Street trees	-	N/A	
Shrubs/Wall/Berm	Retaining wall & evergreen hedge	-	Retaining wall & evergreen hedge	-	N/A	
Adjacent to Residential Zones	N/A	-	N/A	-	N/A	
Buffer Width	-	-	-	-	N/A	
Shrubs/Wall/Berm	-	-	-	-	N/A	
88-425-06 Interior Vehicular Use Area	-	-	-	-	N/A	
Interior Area	5,320 sf	-	5,601 sf	-	N/A	
Trees	31 trees	-	31 trees	-	N/A	
Shrubs	152 shrubs	-	152 shrubs	-	N/A	
88-425-07 Parking Garage Screening	N/A	-	N/A	-	N/A	
88-425-08 Mechanical/Utility Equipment Screening	30"+ ht. screened	-	As required	-	N/A	
88-425-09 Outdoor Use Screening	N/A	-	N/A	-	N/A	

NOTES:

- TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED
- TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.

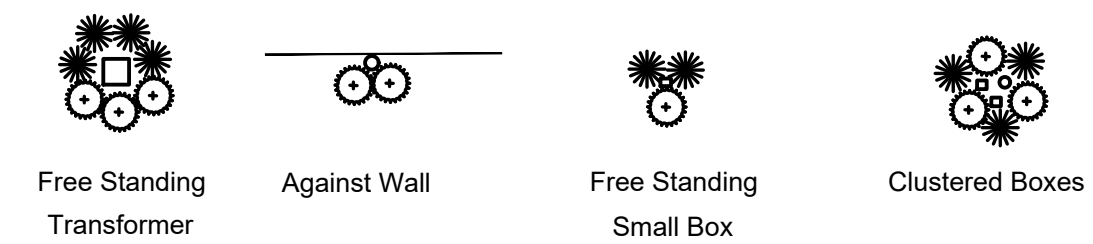


DECIDUOUS TREE PLANTING DETAIL - NTS



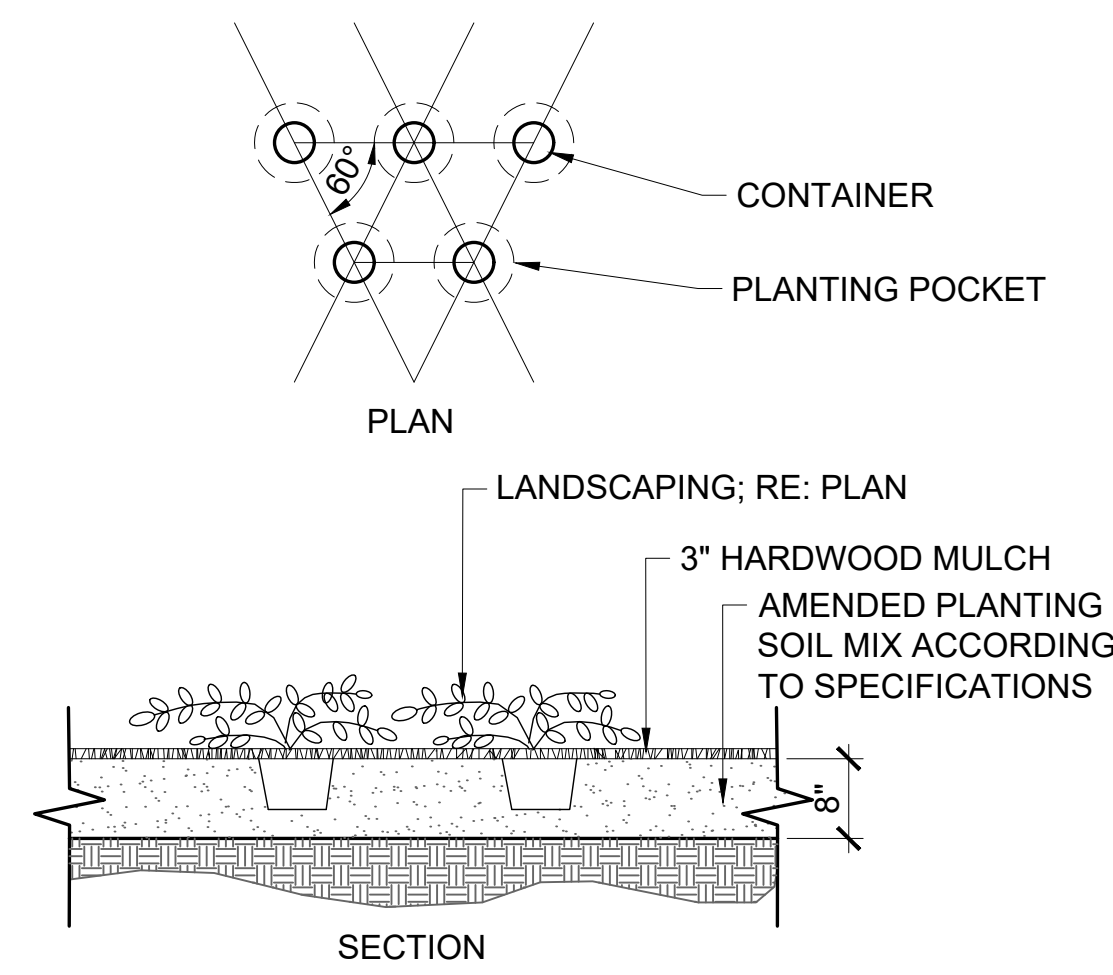
- NOTES:
- REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
  - CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING
  - INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS
  - WHERE ADJACENT TO CURB, MAINTAIN THE MINIMUM OFFSET SHOWN. FOR SHRUBS LARGER THAN 4' MATURE DIAMETER, PROVIDE A GREATER OFFSET EQUAL TO 1/2 OF THE MATURE DIAMETER MINIMUM.

SHRUB PLANTING DETAIL - NTS

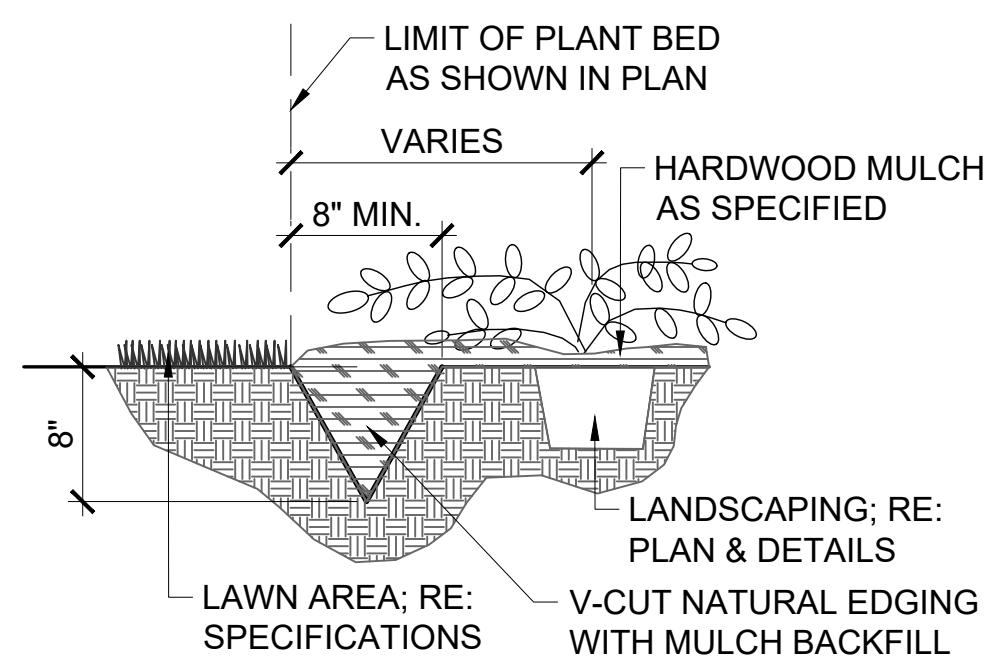


UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

TYPICAL UTILITY BOX SCREENING DETAILS - NTS



CONTAINER PLANTING DETAIL - NTS



V-CUT NATURAL EDGE DETAIL - NTS

NOTES:

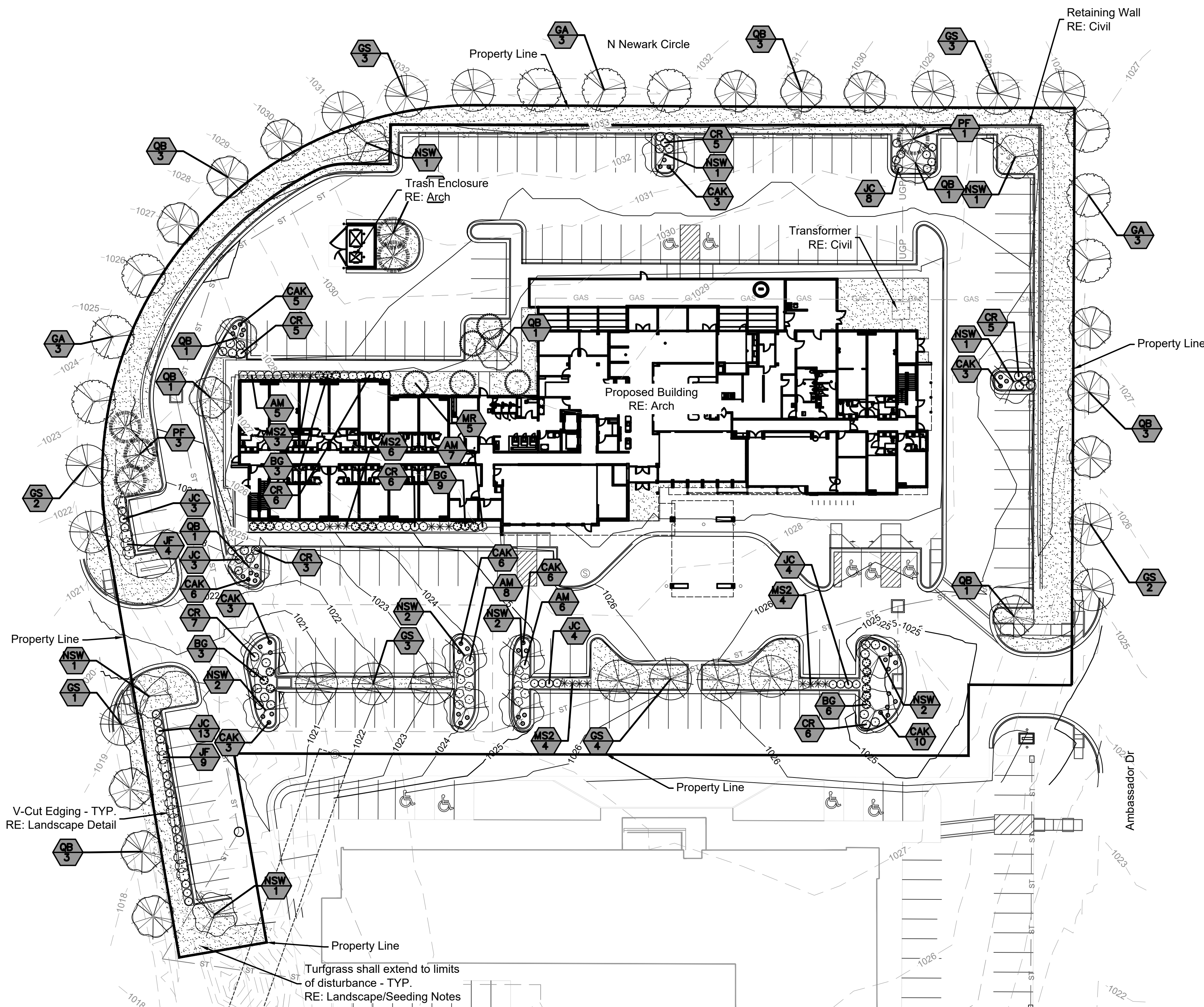
- CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
- TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE: DETAIL, THIS SHEET.
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.

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**LANDSCAPE CALCULATIONS**

Zoning: B3-3

**General Standards**

If more than 8 trees are required, no more than 40% may be of a single species; If more than 25 trees are required, no more than 25% may be of a single species; Broadleaf shrubs min. cont. size 2 gal.; Evergreen shrubs min. cont. size 5 gal.; Broadleaf trees min. 2" cal.; Evergreen trees min. 5' ht.

**Street Trees**

Required: 1 street tree / 30' street frontage (2" cal. min.)

Provided:

N Newark Circle (723') = 24 trees  
 Ambassador Drive (239') = 8 trees

**Interior Parking Lot Landscaping**

Required: 35 SF interior landscape area / parking space; 1 tree / 5 parking spaces + 1 shrub / parking space + groundcover in all islands

Provided: 152 parking stalls \* 35 SF = 5,320 SF interior landscape area (actual 5,601 SF) + 31 trees + 152 shrubs

\* If compliance with this standard would result in the loss of existing required parking spaces, the amount of parking required in automatically reduced by the amount needed to accommodate the required interior landscaping; Perimeter landscaping shall not satisfy the requirements of interior landscaping stated here

**Perimeter Landscaping of Vehicular Use Areas**

Required: Street adjacent perimeter landscape buffer strip; 10' width, 1 tree / 30' + continuous evergreen hedge 3' ht. min; A masonry wall may be substituted for shrubs

Provided: Cont. evergreen hedge 3' ht. + retaining wall

\*Street tree requirements shall satisfy the tree requirements of this section

**Screening**

Required: Outdoor use screened from public street view by cont. evg. hedge 3' ht. min.

Provided: As required

**Screening of Mechanical/Utility Equipment**

Required: Utility equipment 30"+ ht. visible from the ROW must be screened by landscaping

Provided: As required

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	GA	Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree	B&B, 2" Cal.	9
	GS	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honey Locust	B&B, 2" Cal.	18
	MR	Malus x 'Royal Raindrops' / Royal Raindrops Crabapple	B&B, 2" Cal.	5
	NSW	Nyssa sylvatica 'Wildfire' / Black Gum	B&B, 2" Cal.	14
	QB	Quercus bicolor / Swamp White Oak	B&B, 2" Cal.	18
EVERGREEN	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	PF	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B&B, 5' Ht. Min.	6
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	AM	Aronia melanocarpa / Black Chokeberry	3 gal.	26
	BG	Buxus x 'Green Velvet' / Boxwood	5 Gal.	21
	CAK	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	3 Gal.	45
	CR	Clethra alnifolia 'Ruby Spice' / Ruby Spice Summersweet	3 gal.	43
	JC	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.	35
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal.	13
	MS2	Miscanthus sinensis 'Morning Light' / Eulalia Grass	3 Gal.	17
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	TF3	Turfgrass Sod Fescue Mix / Sod	SOD	20,750 sf

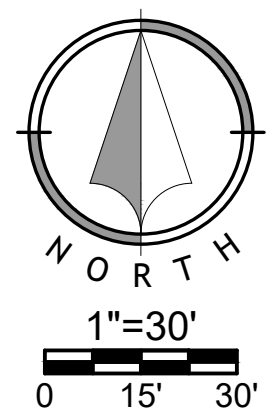
**LANDSCAPE NOTES**

- LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
- QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
- ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
- PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
- SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- ALL TREES SHALL BE STAKED PER DETAIL.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
- THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

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COURTYARD  
BY MARRIOTT

COURTYARD® @ KCI AIRPORT  
BY MARRIOTT  
N. AMBASSADOR DR & N NEWARK CIRCLE  
KANSAS CITY, MO #57834



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#57834
9/15/2023

1 FRONT PERSPECTIVE - DAY  
SCALE: NTS



COURTYARD  
BY MARRIOTT

COURTYARD<sup>®</sup> @ KCI AIRPORT  
BY MARRIOTT  
N. AMBASSADOR DR & N NEWARK CIRCLE  
KANSAS CITY, MO #57834



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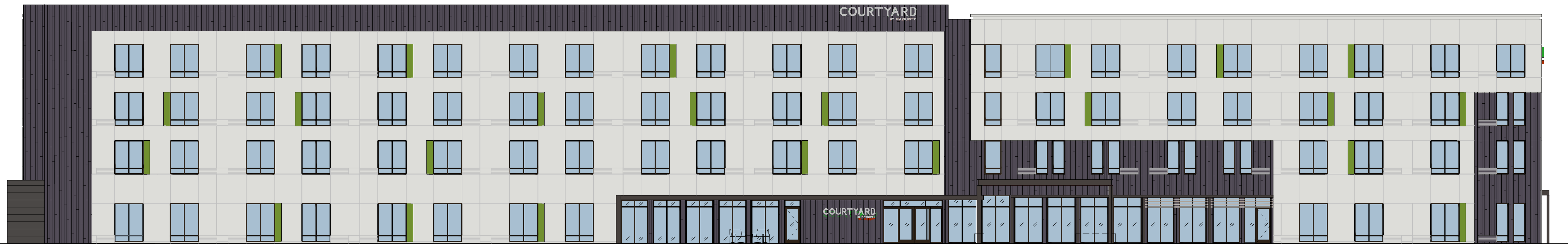
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COURTYARD  
BY MARRIOTT

1 FRONT PERSPECTIVE - NIGHT  
SCALE: NTS



**1 FRONT ELEVATION- SOUTH**  
SCALE: 3/32" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**3 SIDE ELEVATION- EAST**  
SCALE: 3/32" = 1'-0"

**4 SIDE ELEVATION- WEST**  
SCALE: 3/32" = 1'-0"

**EXTERIOR FINISH KEY**

- EEF-001** EIFS 1  
SHERWIN  
WILLIAMS SW7666  
FLEUR de SEL
- EEF-002** EIFS 2  
SHERWIN  
WILLIAMS SW6719  
GECKO
- EEF-003** EIFS 3- TO MATCH  
EEF-001
- EWP-001** FIBER-CEMENT SIDING  
PANELS- NICHIIHA VINTAGE  
WOOD SERIES
- EWP-003** METAL COLOR 3  
BIRRADGE- DARK  
BRONZE
- EWP-004** EXTERIOR WALL PANEL  
METAL BERRIDGE OR PAC-CLAD,  
DURANAR BONE WHITE
- ECT-001** INTUMESCENT PAINT  
MATCH PAC-CLAD, DARK  
BRONZE
- CP-001** NATURAL WALNUT S38
- CP-002** PAINT- METAL COLOR 4  
METAL BERRIDGE OR PAC-CLOUD,  
DURANAR BONE WHITE
- EFM-002** WOOD STAINED TO  
MATCH CP-001
- WINDOW FRAME- RE: ALUMINUM  
WINDOW MANUFACTURE, DARK BRONZE

**NOTE:**  
1. EXTERIOR METAL DOORS- PAINT TO MATCH EXISTING  
WALL FINISH COLOR  
2. PTAC GRILLS- PAINT TO MATCH ADJACENT WALL COLOR

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EXTERIOR ELEVATIONS  
COLORED  
**A212**  
CY-USA-MO #57834  
9/15/2023

**GENERAL NOTES**

- BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.
- REFER TO BUILDING PRODUCT MANUAL FOR MATERIALS AND COLORS.
- REVEALS VARY IN DEPTH AND WIDTH ACROSS BUILDING ELEVATION.
- PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS, AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
- IF EQUIPMENT IS LOCATED ON THE ROOF, SCREEN EQUIPMENT SO THAT IT IS NOT VISIBLE TO THE GUEST AT GRADE LEVEL.

**CRITERIA NOTES**

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

**A0 ARCHITECTURAL**

- A5 WINDOW CONFIGURATION VARIES BY PROJECT & LOCATION OF HVAC SYSTEM
- A11 HOTEL SIGNAGE PER SIGNAGE PACKAGE. PROVIDE REQUIRED BACKING. LOCATE POWER CUTOFF FOR EASY ACCESS
- A59 PAINT LOUVERS SIMILAR TO ADJACENT WALL SURFACE
- A65 (6) EXTERIOR ACCENT LINEAR LIGHT FIXTURES, ARRANGED IN RANDOM PATTERN. DESIGNER TO COORDINATE EXACT LOCATIONS WITH EXTERIOR CLADDING SYSTEM

- A67 PREFINISHED BREAK METAL SHADOW BOX TYPICAL AT ALL LOCATIONS WHERE EIFS ACCENT COLOR IS ADJACENT TO GUESTROOM WINDOWS
- A70 MARRIOTT SIGN TO BE SURFACE MOUNTED, INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION. PROVIDE REQUIRED BLOCKING BEHIND WALL FOR SIGNAGE. PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS
- A80 OPTIONAL HOTEL SIGNAGE PER SIGNAGE PACKAGE. PROVIDE REQUIRED BLOCKING. LOCATE POWER CUTOFF FOR EASY ACCESS. PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL CONNECTIONS
- A81 OPTIONAL MARRIOTT SIGN TO BE SURFACE MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION

**E0 ENGINEERING**

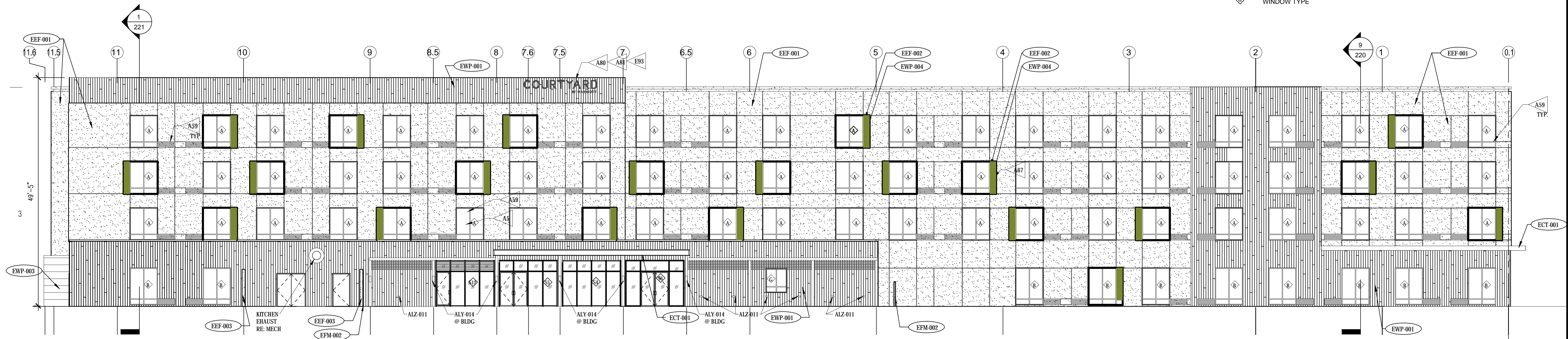
- E93 PROVIDE DEDICATED CIRCUITRY BROUGHT TO SIGN FROM ELECTRICAL PANEL

**EXTERIOR FINISH KEY**

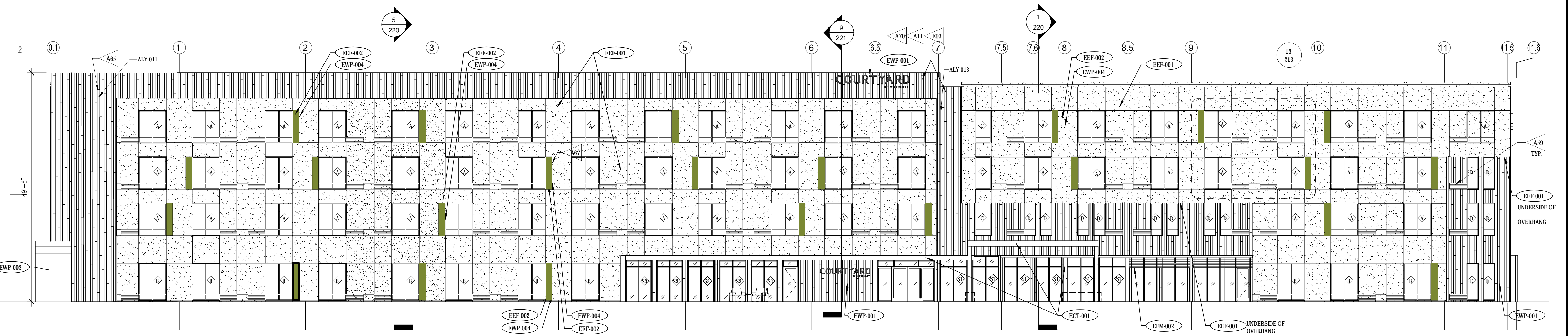
- EIFS 1 SW7666 FLEUR DE SEL
- EIFS 2 GW GECKO
- EIFS 3-SOFFITS & CEILING
- FIBER-CEMENT SIDING PANELS NICHHA WOOD SERIES-VINTAGE WOOD
- METAL COLOR 3 PAC-CLAD DARK BRONZE
- METAL COLOR 2 PAC-CLAD BONE WHITE
- INTUMESCENT PAINT DARK BRONZE
- WOOD-NATURAL WALNUT S38
- METAL COLOR 4 BONE WHITE
- WOOD FENCE STAINED TO MATCH LOGGIA CEILING CP-001

**SYMBOLS LEGEND**

- WINDOW TYPE



**3 REAR ELEVATION**  
SCALE: 3/32" = 1'-0" referenced from: 200



**1 FRONT ELEVATION**  
SCALE: 3/32" = 1'-0" referenced from: 200



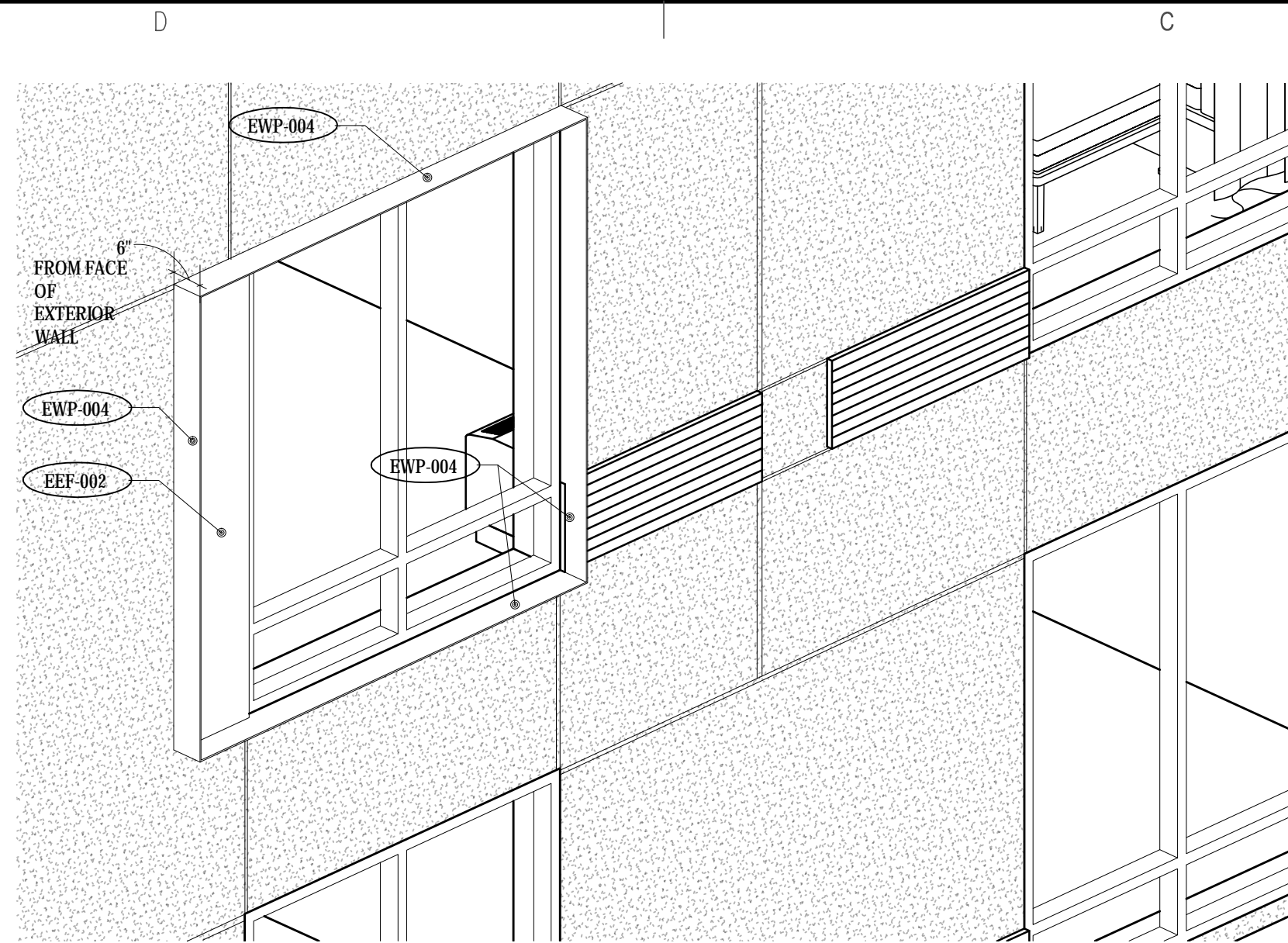
**COURTYARD**  
BY MARRIOTT  
@ KCI AIRPORT CY-USA-MO #57834  
N. AMBASSADOR DR &  
NEWMARK CIRCLE KANSAS CITY, MO



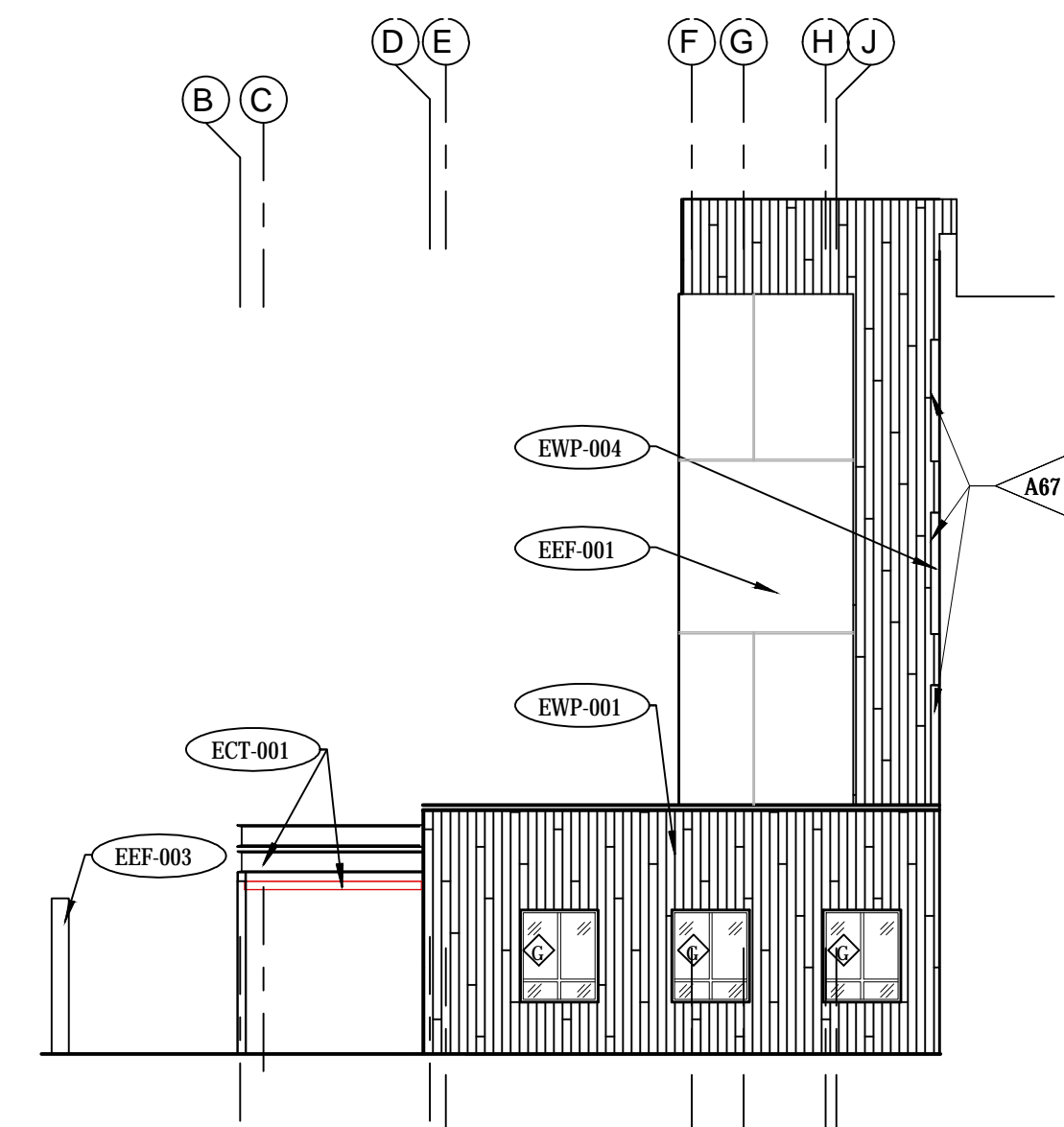
**ASSOCIATES**  
SHAW HOFSTRA + ASSOCIATES  
1800 CENTRAL STREET, SUITE 203  
KANSAS CITY, MISSOURI 64108  
P. 816.421.0905 www.shawhofstra.com  
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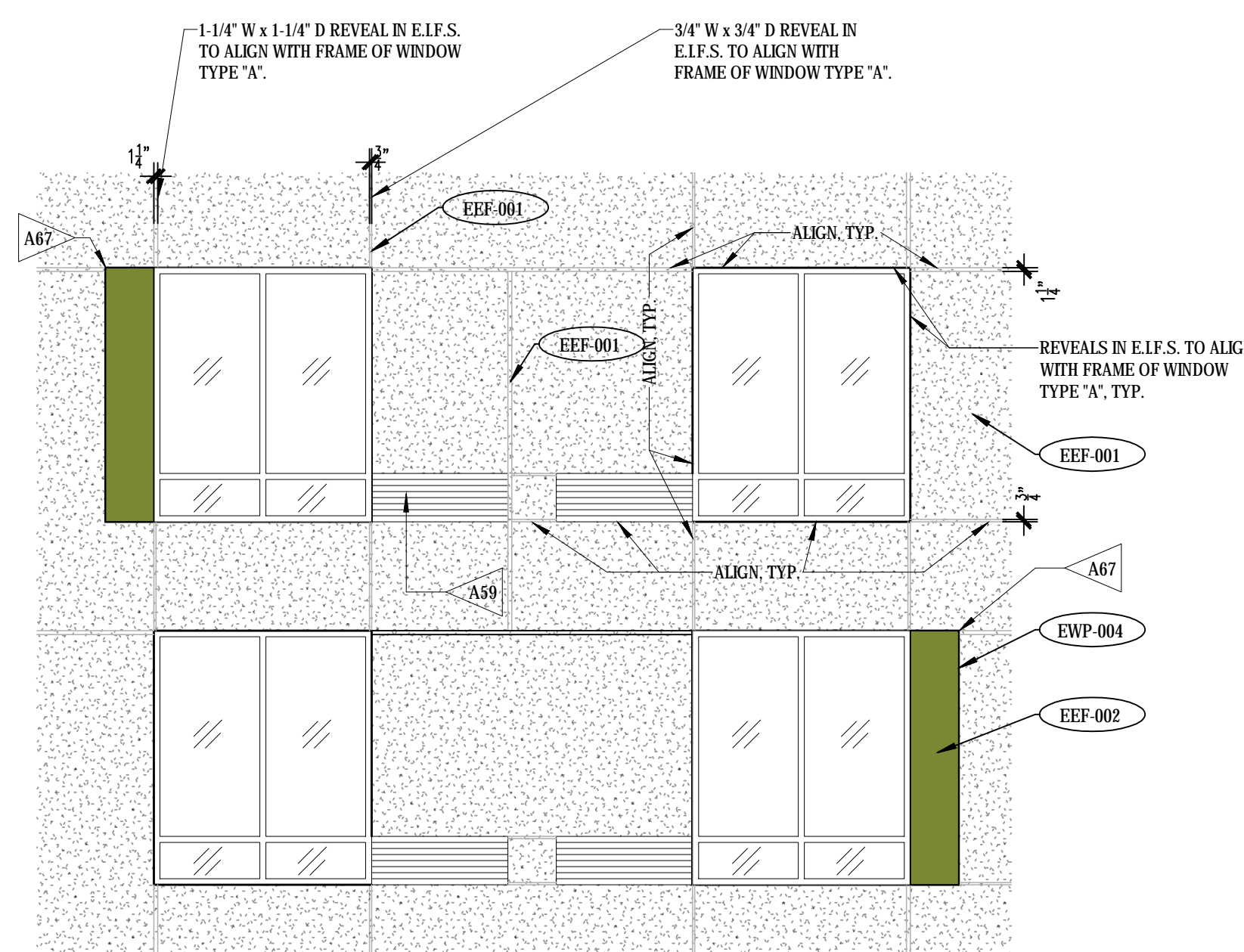
EXTERIOR ELEVATIONS  
**A210**  
CY-USA-MO #57834  
9/15/2023



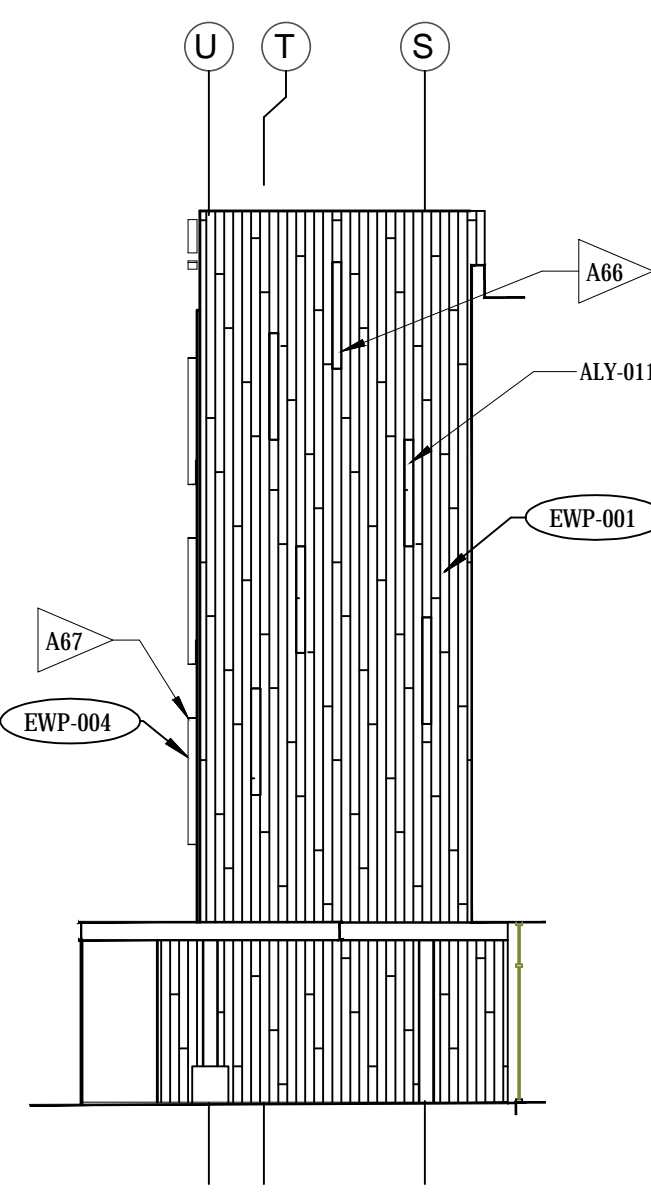
**14 DETAIL PERSPECTIVE AT WINDOW SHADOW BOX**  
SCALE: 1/2" = 1'-0"



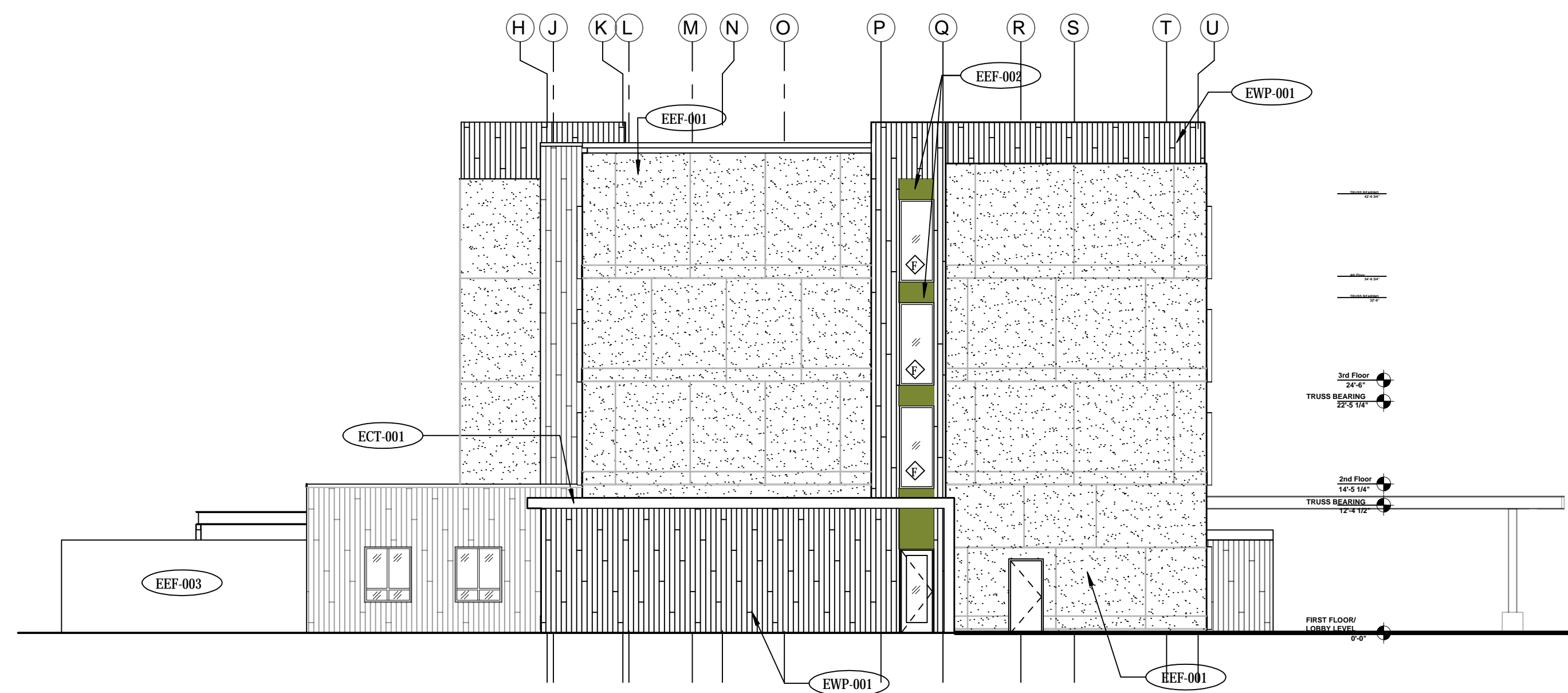
**3 WEST SIDE ELEVATION @ ADMIN OFFICES**  
SCALE: 3/32" = 1'-0" referenced from: 200



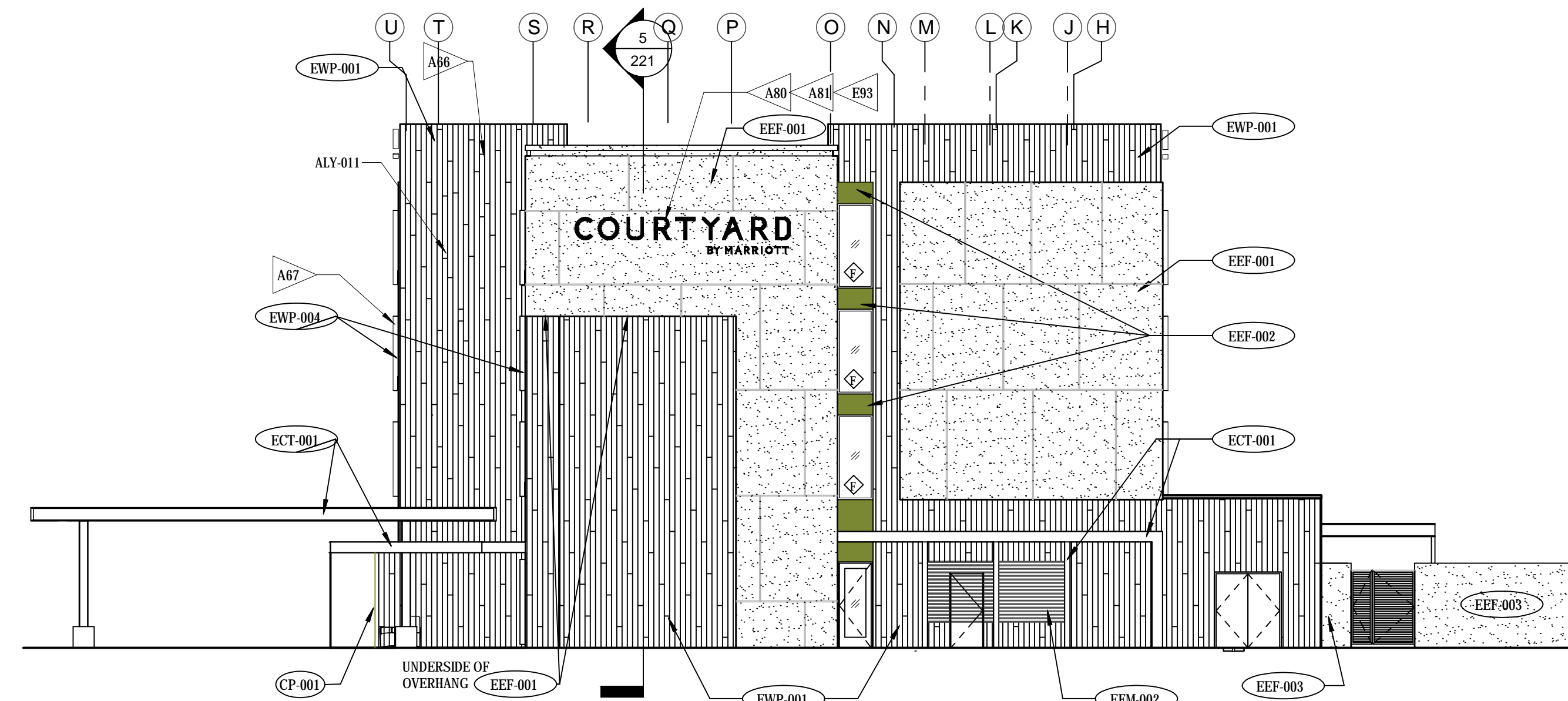
**13 DETAIL AT WALL REVEALS**  
SCALE: 1/4" = 1'-0" referenced from: 212



**5 EASY SIDE ELEVATION @ ENTRY**  
SCALE: 3/32" = 1'-0" referenced from: 200



**2 SIDE ELEVATION**  
SCALE: 3/32" = 1'-0" referenced from: 200



**1 SIDE ELEVATION - OPT BUILDING SIGNAGE**  
SCALE: 3/32" = 1'-0" referenced from: 200

**GENERAL NOTES**

- BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.
- REFER TO BUILDING PRODUCT MANUAL FOR MATERIALS AND COLORS.
- REVEALS VARY IN DEPTH AND WIDTH ACROSS BUILDING ELEVATION.
- PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS, AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
- IF EQUIPMENT IS LOCATED ON THE ROOF, SCREEN EQUIPMENT SO THAT IT IS NOT VISABLE TO THE GUEST AT GRADE LEVEL.

**CRITERIA NOTES**

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

**A0 ARCHITECTURAL**

- A5 WINDOW CONFIGURATION VARIES BY PROJECT & LOCATION OF HVAC SYSTEM
- A11 HOTEL SIGNAGE PER SIGNAGE PACKAGE. PROVIDE REQUIRED BACKING, LOCATE POWER CUTOFF FOR EASY ACCESS
- A59 PAINT LOUVERS SIMILAR TO ADJACENT WALL SURFACE
- A65 (6) EXTERIOR ACCENT LINEAR LIGHT FIXTURES, ARRANGED IN RANDOM PATTERN. DESIGNER TO COORDINATE EXACT LOCATIONS WITH EXTERIOR CLADDING SYSTEM
- A67 PREFINISHED BREAK METAL SHADOW BOX TYPICAL AT ALL LOCATIONS WHERE EIFS ACCENT COLOR IS ADJACENT TO GUESTROOM WINDOWS
- A70 MARRIOTT SIGN TO BE SURFACE MOUNTED, INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION. PROVIDE REQUIRED BLOCKING BEHIND WALL FOR SIGNAGE. PROVIDE ACCESS FOR MOUNTING ELECTRICAL COMPONENTS AND MAKING FINAL ELECTRICAL CONNECTIONS
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**E0 ENGINEERING**

- E93 PROVIDE DEDICATED CIRCUITRY BROUGHT TO SIGN FROM ELECTRICAL PANEL

**EXTERIOR FINISH KEY**

EEF-001	EIFS 1 SW7666 FLEUR DE SEL	EWP-004	METAL COLOR 2 PAC-CLAD BONE WHITE
EEF-002	EIFS 2 GW GECKO	ECT-001	INTUMESCENT PAINT DARK BRONZE
EEF-003	EIFS 3-SOFFITS & CEILINGS	CP-001	WOOD-NATURAL WALNUT S38
EWP-001	FIBER-CEMENT SIDING PANELS NICHHA WOOD SERIES-VINTAGE WOOD	CP-002	METAL COLOR 4 BONE WHITE
EWP-003	METAL COLOR 3 PAC-CLAD DARK BRONZE	EFM-002	WOOD FENCE STAINED TO MATCH LOGGIA CEILING CP-001

**SYMBOLS LEGEND**

- ◇ WINDOW TYPE



**COURTYARD**  
BY MARRIOTT  
@ KCI AIRPORT CY-USA-MO #57834  
N. AMBASSADOR DR &  
NEWMARK CIRCLE KANSAS CITY, MO



**ASSOCIATES**  
SHAW HOFSTRA + ASSOCIATES  
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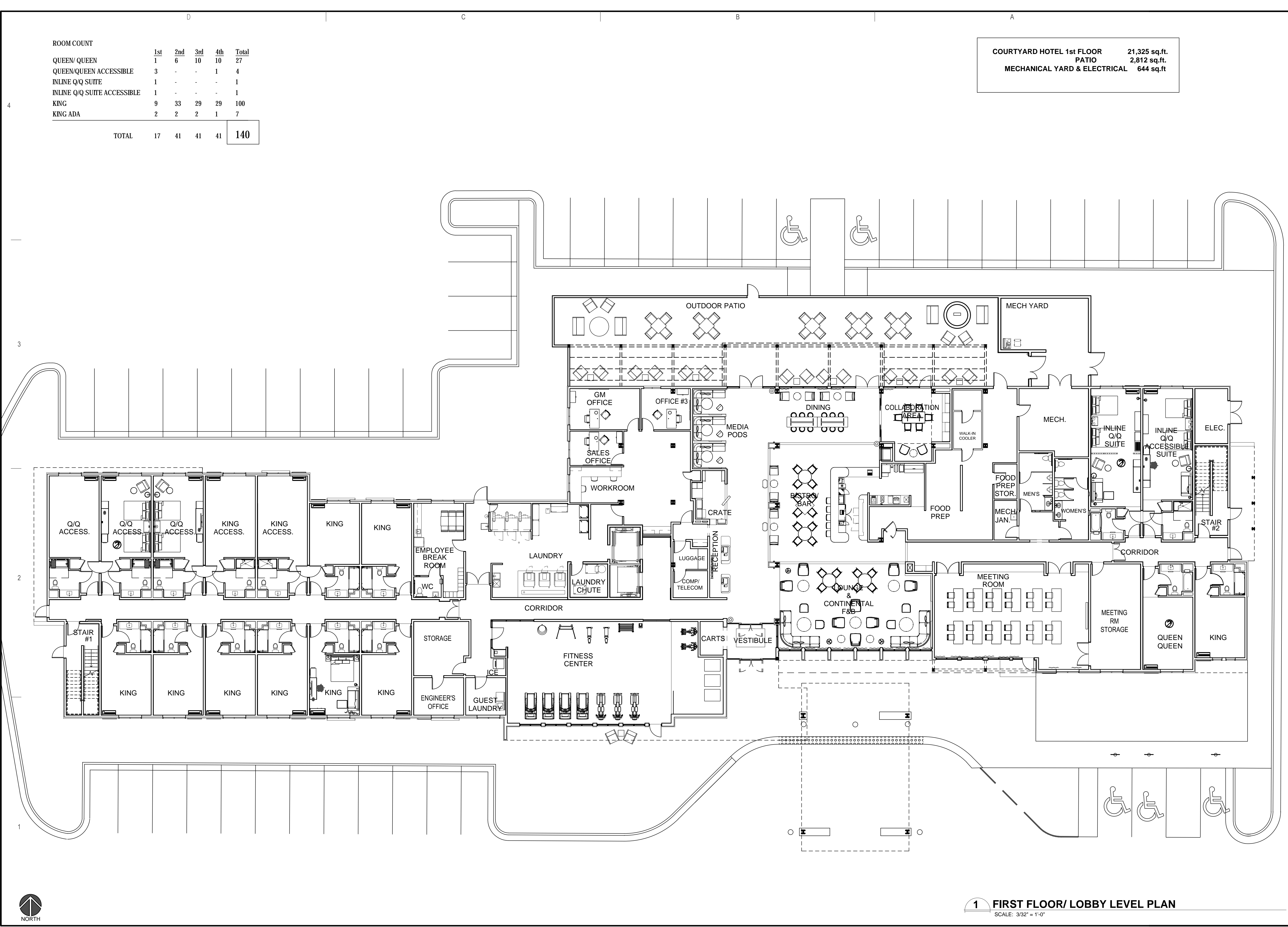
JOB NO. KMG COURTYARD KCI	
DRAWN BY:	
ISSUE	DATE

EXTERIOR ELEVATIONS

**A211**  
CY-USA-MO #57834  
9/15/2023

ROOM COUNT	1st	2nd	3rd	4th	Total
QUEEN/ QUEEN	1	6	10	10	27
QUEEN/QUEEN ACCESSIBLE	3	-	-	1	4
INLINE Q/Q SUITE	1	-	-	-	1
INLINE Q/Q SUITE ACCESSIBLE	1	-	-	-	1
KING	9	33	29	29	100
KING ADA	2	2	2	1	7
<b>TOTAL</b>	<b>17</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>140</b>

COURTYARD HOTEL 1st FLOOR 21,325 sq.ft.  
 PATIO 2,812 sq.ft.  
 MECHANICAL YARD & ELECTRICAL 644 sq.ft.



**COURTYARD**<sup>®</sup> BY MARRIOTT  
 @ KCI AIRPORT  
 N. AMBASSADOR DR & N NEWARK CIRCLE  
 KANSAS CITY, MO  
 #57834

**SHAW HOFSTRA + ASSOCIATES**  
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**FIRST FLOOR/ LOBBY LEVEL PLAN**  
**A200**  
 #57834  
 9/13/2023

**1 FIRST FLOOR/ LOBBY LEVEL PLAN**  
 SCALE: 3/32" = 1'-0"



ROOM COUNT	1st	2nd	3rd	4th	Total
QUEEN/QUEEN	1	6	10	10	27
QUEEN/QUEEN ACCESSIBLE	3	-	-	1	4
INLINE Q/Q SUITE	1	-	-	-	1
INLINE Q/Q SUITE ACCESSIBLE	1	-	-	-	1
KING	9	33	29	29	100
KING ADA	2	2	2	1	7
<b>TOTAL</b>	<b>17</b>	<b>41</b>	<b>41</b>	<b>41</b>	<b>140</b>

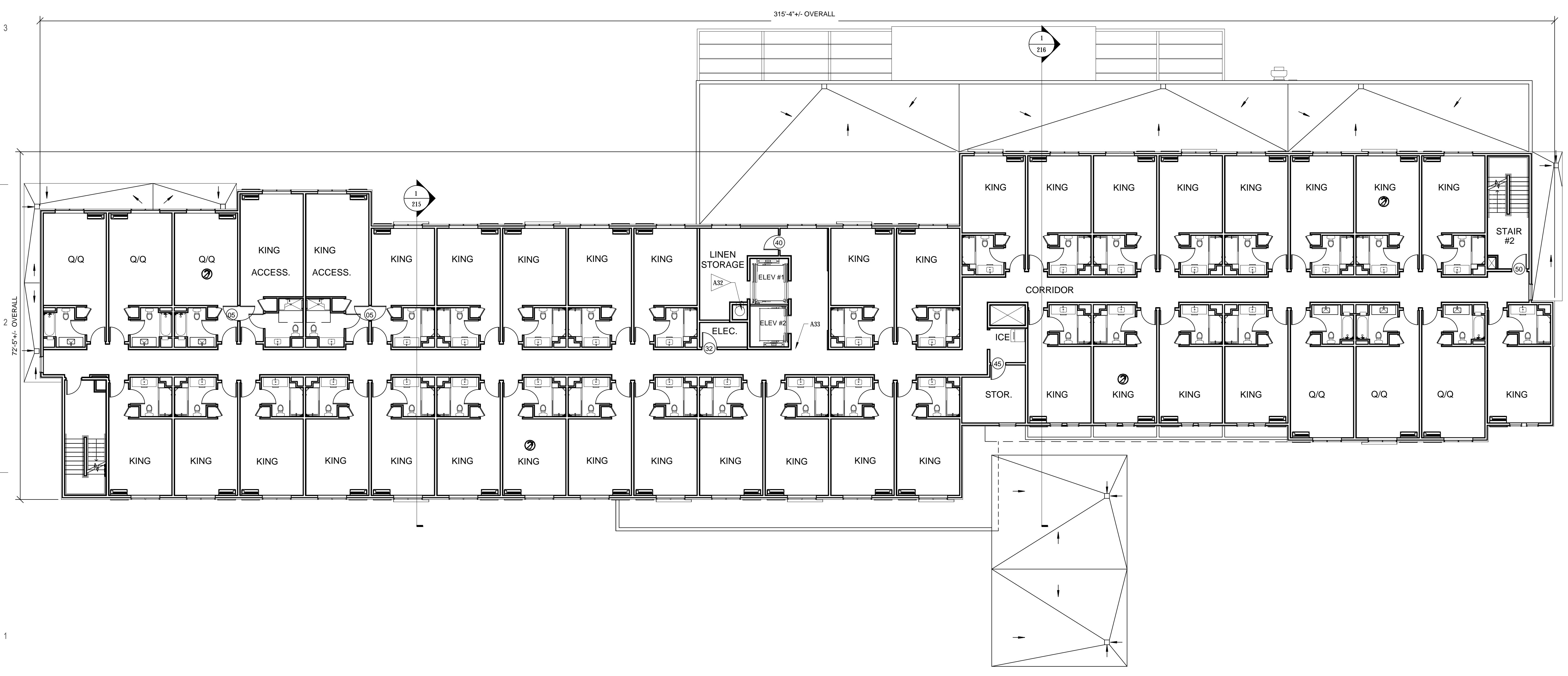
UPPER GUESTROOM FLOOR- 18,060 sq.ft each level

**GENERAL NOTES**

- A. THE LOCATIONS OF ACCESSIBLE UNITS SHOWN ARE SUGGESTED AND MEET THE REQUIREMENTS FOR THE NUMBER OF ACCESSIBLE UNITS IN THE IBC. ACTUAL NUMBERS REQUIRED AND LOCATIONS FOR A SPECIFIC PROJECT ARE TO BE DETERMINED BY THE ARCHITECT OF RECORD.
- B. DESIGN CONSULTANT MUST SUBMIT A COMPREHENSIVE INTERIOR GRAPHIC/SIGNAGE LAYOUT (INCLUDING ELEVATIONS), FULLY COORDINATED WITH ANY ELECTRICAL ARTWORK OR OTHER WALL MOUNTED ITEMS, FOR REVIEW AND ACCEPTANCE.
- C. GRID DIMENSIONS BASED ON MAINTAINING 13'-1" MIN. CLEAR WIDTH INSIDE GUESTROOMS USING 6" PARTITIONS FOR NON-LOAD BEARING WALLS AND 8" PARTITIONS FOR LOAD BEARING WALLS. ADJUST GRID DIMENSION AS REQ'D TO MAINTAIN 13'-1" CLEAR WIDTH IN GUESTROOMS.

**CRITERIA NOTES**

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.



**1 TYPICAL 2nd THRU 4th FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



**COURTYARD**  
BY MARRIOTT  
@ KCI AIRPORT  
N. AMBASSADOR DR & N NEWARK CIRCLE  
KANSAS CITY, MO  
#57834

**SHAW HOFSTRA + ASSOCIATES**  
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ISSUE	DATE

**SECOND FLOOR PLAN**  
**A201**  
#57834  
9/13/2023

October 20, 2023

**Re: Public Engagement Meeting Notice**

Dear Property Owner:

We represent Tiffany Hotels LLC concerning property located generally at 11301 N Newark Circle. We submitted an application to the City Planning Commission to request approval of a major amendment to a previously approved development plan to allow for the construction of two hotels in the B3-3 district (CD-CPC-2023-00152). Enclosed are copies of the Site Plan, Landscape Plan and Elevations from the development plan.

You are receiving this letter since the City Code requires a public meeting be held regarding our application and that all property owners within 300 feet are invited to attend. This public meeting is an opportunity for you to come learn more about the application and to discuss these plans with the developer's representatives. You can read more about the process requirements at [kcmo.gov/publicengagement](http://kcmo.gov/publicengagement). If you would like further information on this proposed project, please visit Kansas City's planning and permitting system, Compass KC, at [Compasskc.kcmo.org](http://Compasskc.kcmo.org). You may search by project type and address/case number to find project details.

This meeting will be held via Teams conference call on Monday, October 30, 2023, at 5:00 pm.

Join the Teams Meeting at: <https://www.microsoft.com/microsoft-teams/join-a-meeting>

Meeting ID: 223 869 021 277

Passcode: GSJGBG

Any questions or concerns can be addressed to:

Name: Mick Slutter

Email: [msslutter@ric-consult.com](mailto:msslutter@ric-consult.com)

Phone: (816) 800-0950

Title/Role: Lead Civil Engineer

Company: Renaissance Infrastructure Consulting

Representing: Tiffany Hotels LLC

If you are unable to participate in the Teams conference call on Monday, October 30, 2023, at 5:00 pm and you have questions or comments, please feel free to contact me at the email/phone number above.

The amendment to the previously approved development plan application will be heard by the City Planning Commission on Tuesday, November 7, 2023, at 9:00 am.

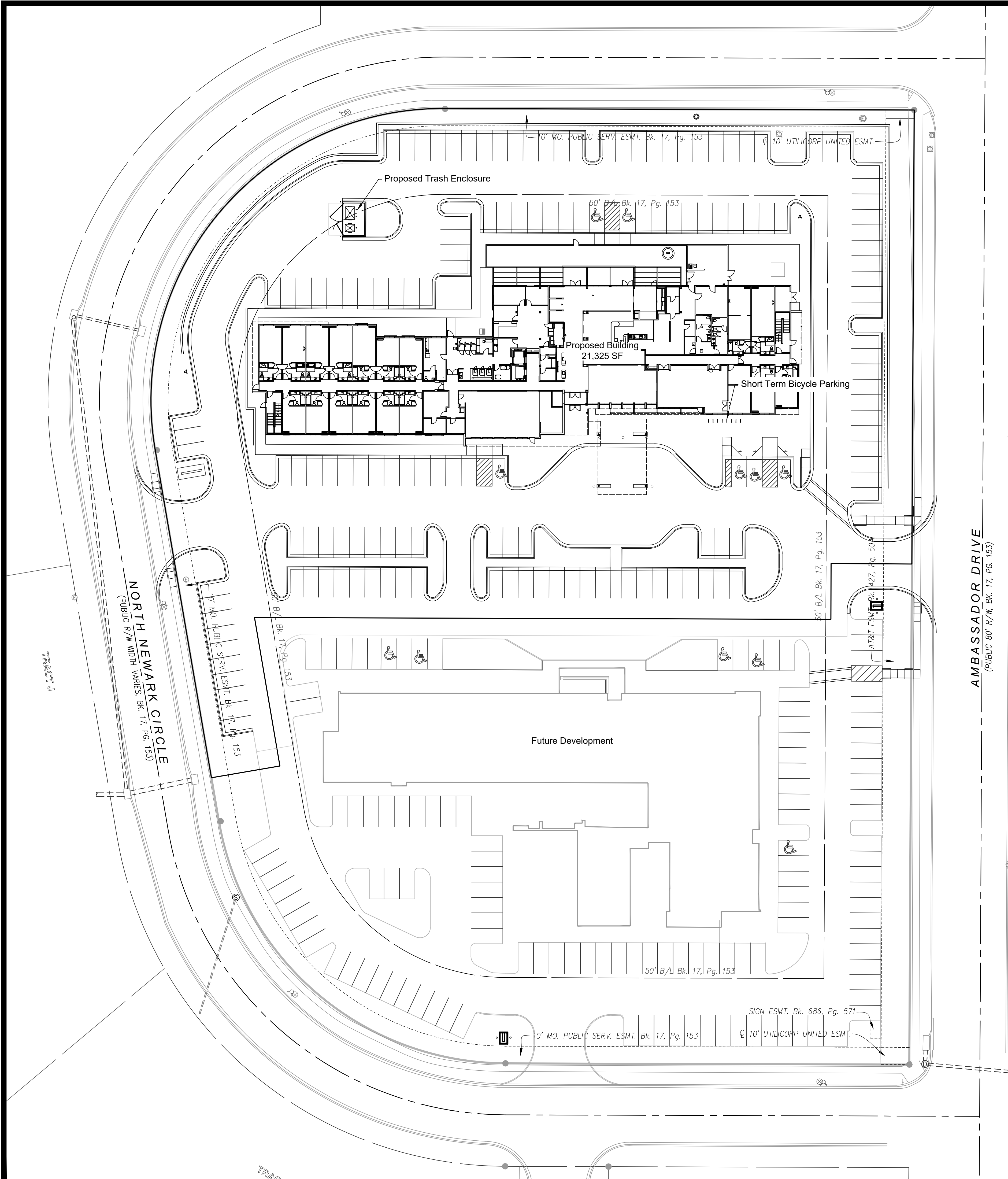
Thank you,



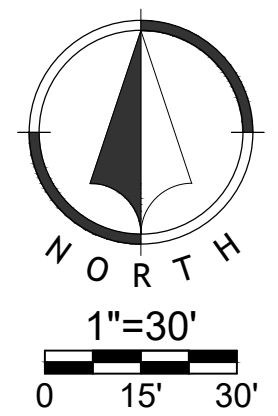
Mick Slutter

**RENAISSANCE INFRASTRUCTURE CONSULTING**

Klowy  
Oct 19, 2023 8:11am  
Z:\R\C\Design\2023\23-01150\Drawings\Exhibits\23-01150\_Site\_Plan\_2023-10-16.dwg



SITE DATA	Table 1. Site Data				Deviation Requested?	Approved
	Existing		Proposed			
	Courtyard - N Lot	Element - S Lot	Courtyard - N Lot	Element - S Lot		
Zoning:	B3-3	B3-3	B3-3	B3-3		N
Gross Land Area:						N
in square feet	224,464		224,464			N
in acres	5.15		5.15			N
Right-of-way Dedication:						N
in square feet	64,665		64,665			N
in acres	1.48		1.48			N
Net Land Area:						N
in square feet	224,464		224,464			N
in acres	5.15		5.15			N
Building Area (sq ft):	0	0	21,325+/-	20,202+/-		N
Floor Area Ratio:	0.00	0.00	1.00	1.00		N
Total Lots:						N
Residential	0		0			N
Public/Civil	0		0			N
Commercial	1		1			N
Industrial	0		0			N
Other:						N



Site Plan Exhibit  
23-0150  
Courtyard At KCI  
Kansas City, Jackson County, Missouri

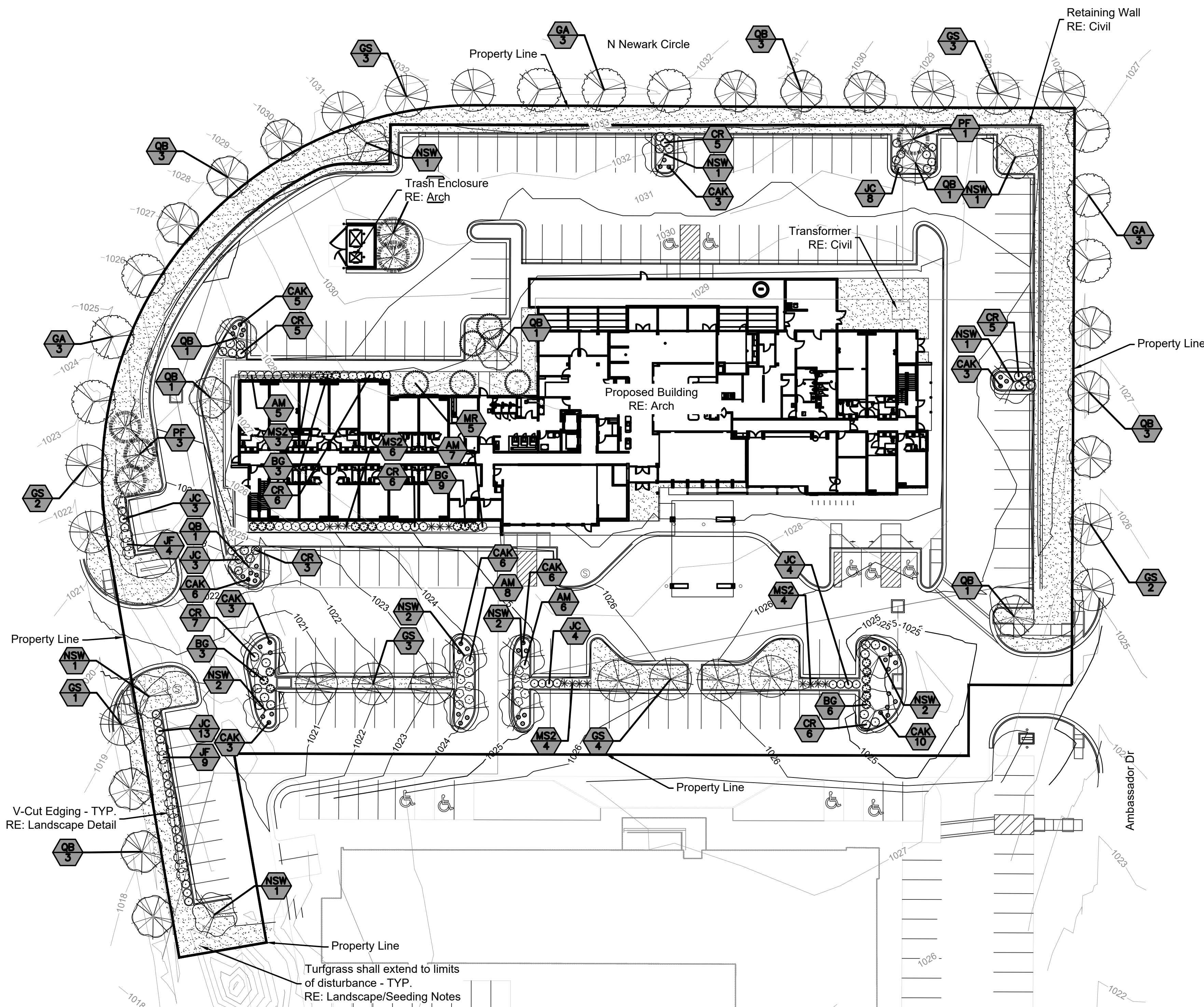
Site Plan

NO.	DATE	REVISION

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
1% 1%

**Renaissance Infrastructure Consulting**  
400 E 17TH STREET  
KANSAS CITY, MISSOURI 64108  
816-800-0950  
WWW.RIC-CONSULT.COM  
MO Certificate of Authority: E-2010033830

Sheet  
Exhibit



**LANDSCAPE CALCULATIONS**

Zoning: B3-3

**General Standards**

If more than 8 trees are required, no more than 40% may be of a single species; If more than 25 trees are required, no more than 25% may be of a single species; Broadleaf shrubs min. cont. size 2 gal.; Evergreen shrubs min. cont. size 5 gal.; Broadleaf trees min. 2" cal.; Evergreen trees min. 5' ht.

**Street Trees**

Required: 1 street tree / 30' street frontage (2" cal. min.)

Provided:

N Newark Circle (723') = 24 trees  
 Ambassador Drive (239') = 8 trees

**Interior Parking Lot Landscaping**

Required: 35 SF interior landscape area / parking space; 1 tree / 5 parking spaces + 1 shrub / parking space + groundcover in all islands

Provided: 152 parking stalls \* 35 SF = 5,320 SF interior landscape area (actual 5,601 SF) + 31 trees + 152 shrubs

\* If compliance with this standard would result in the loss of existing required parking spaces, the amount of parking required in automatically reduced by the amount needed to accommodate the required interior landscaping; Perimeter landscaping shall not satisfy the requirements of interior landscaping stated here

**Perimeter Landscaping of Vehicular Use Areas**

Required: Street adjacent perimeter landscape buffer strip; 10' width, 1 tree / 30' + continuous evergreen hedge 3' ht. min; A masonry wall may be substituted for shrubs

Provided: Cont. evergreen hedge 3' ht. + retaining wall

\*Street tree requirements shall satisfy the tree requirements of this section

**Screening**

Required: Outdoor use screened from public street view by cont. evg. hedge 3' ht. min.

Provided: As required

**Screening of Mechanical/Utility Equipment**

Required: Utility equipment 30"+ ht. visible from the ROW must be screened by landscaping

Provided: As required

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	GA	Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree	B&B, 2" Cal.	9
	GS	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honey Locust	B&B, 2" Cal.	18
	MR	Malus x 'Royal Raindrops' / Royal Raindrops Crabapple	B&B, 2" Cal.	5
	NSW	Nyssa sylvatica 'Wildfire' / Black Gum	B&B, 2" Cal.	14
	QB	Quercus bicolor / Swamp White Oak	B&B, 2" Cal.	18
EVERGREEN	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	PF	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B&B, 5' Ht. Min.	6
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	AM	Aronia melanocarpa / Black Chokeberry	3 gal.	26
	BG	Buxus x 'Green Velvet' / Boxwood	5 Gal.	21
	CAK	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	3 Gal.	45
	CR	Clethra alnifolia 'Ruby Spice' / Ruby Spice Summersweet	3 gal.	43
	JC	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.	35
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal.	13
	MS2	Miscanthus sinensis 'Morning Light' / Eulalia Grass	3 Gal.	17
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	TF3	Turfgrass Sod Fescue Mix / Sod	SOD	20,751 sf

**LANDSCAPE NOTES**

- LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
- QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
- ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
- PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
- SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- ALL TREES SHALL BE STAKED PER DETAIL.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
- THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

Landscape Plan Exhibit  
 23-0150  
 Courtyard At KCI  
 Kansas City, Jackson County, Missouri

Landscape Plan

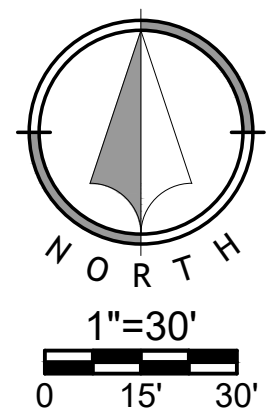
1	09/18/23	Original Submittal
NO.	DATE	REVISION

DRAWN BY: AF  
 CHECKED BY: AL

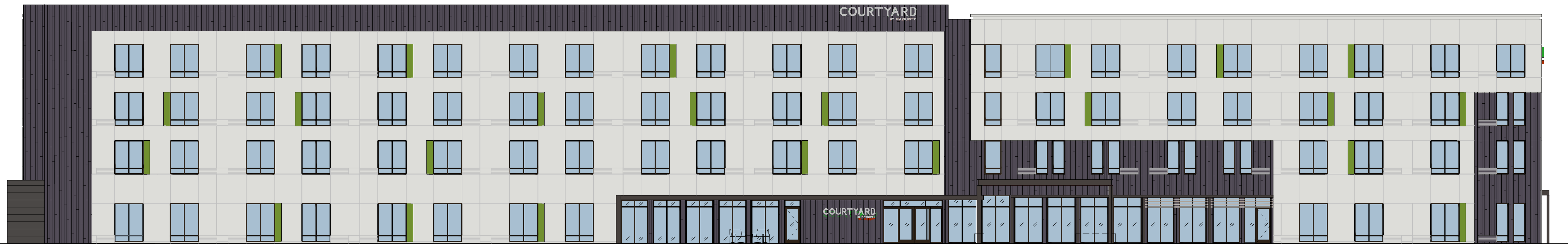


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 Exhibit



Klowy  
 Oct 16, 2023 3:10pm  
 Z:\R\C\Design\2023\23-0150\DWG\Exhibits\23-0150\_Landscape\_Plan\_2023-10-16.dwg



**1 FRONT ELEVATION- SOUTH**  
SCALE: 3/32" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**3 SIDE ELEVATION- EAST**  
SCALE: 3/32" = 1'-0"

**4 SIDE ELEVATION- WEST**  
SCALE: 3/32" = 1'-0"

**EXTERIOR FINISH KEY**

- EEF-001** EIFS 1  
SHERWIN  
WILLIAMS SW7666  
FLEUR de SEL
- EEF-002** EIFS 2  
SHERWIN  
WILLIAMS SW6719  
GECKO
- EEF-003** EIFS 3- TO MATCH  
EEF-001
- EWP-001** FIBER-CEMENT SIDING  
PANELS- NICHIIHA VINTAGE  
WOOD SERIES
- EWP-003** METAL COLOR 3  
BIRRADGE- DARK  
BRONZE
- EWP-004** EXTERIOR WALL PANEL  
METAL BERRIDGE OR PAC-CLAD,  
DURANAR BONE WHITE
- ECT-001** INTUMESCENT PAINT  
MATCH PAC-CLAD, DARK  
BRONZE
- CP-001** NATURAL WALNUT S38
- CP-002** PAINT- METAL COLOR 4  
METAL BERRIDGE OR PAC-CLOUD,  
DURANAR BONE WHITE
- EFM-002** WOOD STAINED TO  
MATCH CP-001
- WINDOW FRAME- RE: ALUMINUM  
WINDOW MANUFACTURE, DARK BRONZE

**NOTE:**  
1. EXTERIOR METAL DOORS- PAINT TO MATCH EXISTING  
WALL FINISH COLOR  
2. PTAC GRILLS- PAINT TO MATCH ADJACENT WALL COLOR

**COURTYARD**  
BY MARRIOTT  
© KCI AIRPORT CY-USA-MO #57834  
N. AMBASSADOR DR & NEWMARK CIRCLE  
KANSAS CITY, MO

**SH**  
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JOB NO. KMG COURTYARD KCI	
DRAWN BY:	
ISSUE	DATE

EXTERIOR ELEVATIONS  
COLORED  
**A212**  
CY-USA-MO #57834  
9/15/2023





# CITY PLANNING & DEVELOPMENT

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## Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):

October 30, 2023

**Courtyard at KCI (CD-CPC-2023-00152) – Public Engagement Meeting Minutes**

**Location:** Via Teams

**Meeting Start Time:** 5:00pm

**3 Attendees:**

- Craig Shaw – Shaw Hofstra + Associates Inc.
- Mick Slutter – Renaissance Infrastructure Consulting
- Katie Lowry – Renaissance Infrastructure Consulting

**4:55pm** Meeting was started by Craig Shaw, Mick Slutter, and Katie Lowry.

**5:30pm** No participants joined Teams meeting; meeting was adjourned.



CASE NUMBER CD-CPC-2023-00152

ADDRESS OR LOCATION 11301 N Newark Circle

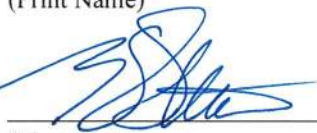
**AFFIDAVIT OF SIGN POSTING**

STATE OF Missouri )


COUNTY OF Jackson )

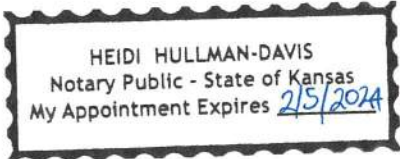
I, Mick Slutter being duly sworn upon my oath and being of sound mind and legal age state:

That I am the agent (agent, owner, attorney) of the lot, tract or parcel of land for which the application was filed and did not later than fifteen (15) days prior to the date of first hearing scheduled for the above-referenced case at the above-referenced location, place a sign upon said lot, tract or parcel of land in compliance with the applicable Notice of Hearing procedures in the Zoning and Development Code.

Mick Slutter  
(Print Name)  
  
(Signature)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

  
Notary Public



My Commission Expires 2/5/2025

*Said sign shall be furnished by the City to the applicant and the applicant shall firmly affix and attach the sign to a wood or metal backing or frame. The sign shall be posted in a fashion visible from a public right-of-way or public place, shall not be further than ten (10) feet from the property line exclusive of the public right-of-way and shall be posted in a manner that the bottom portion of the sign is no further than eighteen (18) inches from the ground. The applicant shall file an affidavit prior to the public hearing stating that said sign has been posted according to these regulations.*

 **PUBLIC HEARING**  
CITY HALL, KANSAS CITY, MISSOURI  
CD-CPC-2023-00152  
11-07-23  
City Plan Commission  
For information call 816-513-8801