



CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri

Department of City Planning and Development
Development Management Division

414 E 12th Street, 15th Floor
Kansas City, Missouri 64108
www.kcmo.org/planning

Project

Woodhaven

Hearing Date February 1, 2022

Item	Case	Request
7	CD-CPC-2021-00216	Rezoning to MPD

Item	Staff Recommendation(s)
7	Approval with Conditions

Applicant

Matt Kist
Kimley-Horn
1868 Walnut Street, Suite 06-100
Kansas City, MO 64108

Owner

Scott Family Trust
3201 NW 100th St
Kansas City, MO 64154

Area	About 152 acres
Zoning	AG-R
Council District	2nd
County	Platte
School District	Platte County R-III

Surrounding Land Uses

North: Single-family residential, zoned AG-R

East: Twin Creeks Village, zoned MPD

South: Twin Creeks and Genesis subdivisions, zoned R-6, R-7.5

West: Genesis subdivision, zoned R-6 and R-7.5

Land Use Plan

The KCIA Area Plan recommends Residential Low Density land uses. The request conforms to this recommendation.

Major Street Plan

N. Line Creek Parkway is identified as a Parkway on the Major Street Plan.

APPROVAL PROCESS



PUBLIC HEARING REQUIRED

Yes

NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED

Notice of the public hearing was sent to the KCI Neighborhood Association.

REQUIRED PUBLIC ENGAGEMENT

Public engagement as required by 88-505-12 applies to this request. The applicant held a public meeting on January 10, 2021, a summary of which is attached.

SUMMARY OF REQUEST

Applicant is seeking approval of rezoning to MPD to allow for a new residential development.

PURPOSE

The applicant is proposing construction of a new residential subdivision with deviations which requires approval of the above-referenced request.

HISTORY

No relevant case history exists at this location. However, the Twin Creeks Village Master Plan is located directly to the southeast and is currently being developed. It includes a mixture of uses and encompasses about 487 acres.

KEY POINTS

- The applicant is proposing a new 468-unit residential subdivision.
- This development includes several deviation requests.

EXISTING CONDITIONS

The subject site is located south of NW 100th Street on the east side of the proposed future extension of N. Line Creek Parkway. The Major Street Plan has been approved to extend N. Line Creek Parkway to the north along the east edge of the site and will eventually connect with NW 100th

Street. The majority of the site is used as farmland with a few outbuildings. In terms of topography, the site is generally flat overall.

PLAN REVIEW

The applicant is proposing to construct a new 468-unit residential development. The residences will be single-family and duplex units. The site is currently zoned AG-R and this request will rezone the property to MPD (Master Planned Development) to allow for the development as proposed. The plan also includes a clubhouse and pool. It is important to note that the applicant is requesting a total of 8 deviations. These deviations are intended to reduce the overall construction cost in order to provide a more affordable product for new homebuyers. These deviations are described in more detail below.

A total of 468 lots are proposed within this development. The site plan shows that a majority of the subject site will be single-family homes situated in a generally traditional subdivision layout. There are a limited number of duplexes that are shown in the northeast corner of the site aligned along NW 100th Street and the future N. Line Creek Parkway. The homes will likely have 2 or 3 car garages and will all have basements. Vehicular access to the site is provided from four curb cuts along the future extension of N. Line Creek Parkway, as well as access off of NW 100th Street to the north. A stub street is also shown that will provide a future connection to the adjacent property to the northwest. The interior streets within the subdivision will all be public and must be approved by the Street Naming Committee prior to ordinance request. Trails will be provided throughout the site and will connect with the Line Creek Trail. In terms of parking, a total of 468 spaces are required and provided. An additional 32 spaces are provided for the clubhouse. The clubhouse and pool area are located somewhat centrally on the site and will be accessible to all residents. The site will also be thoroughly landscaped with perimeter and interior trees, shrubs, and grasses.



However, the applicant is requesting a deviation to the minimum required street trees. The applicant requests to provide one street tree per lot rather than one per 30' of street frontage. If this deviation is granted, staff requests that the developer plant a species of tree that provides a large shade canopy.

In terms of building design and architecture, the applicant has not submitted any building elevations at this time. However, the KCI Area Plan recommends residences with shifts in building massing, variations in height, high-quality building materials, variation of materials, and minimizing garage doors viewed from the street. The applicant must provide design guidelines to indicate acceptable materials, architecture, and other design standards. The plans show that there will be five different lot types: "New Concept Lots", "Legend Lots", "Classic Lots", "Hybrid Lots", and "Twin Lots".

LOT TYPE LEGEND							
	LOT TYPE	LOT COUNT	WIDTH	DEPTH	FRONT YARD	SIDE YARD	REAR YARD
	NEW CONCEPT	90	75'	130'	25'	6'	20'
	LEGEND	221	50'	115'	25'	5'	20'
	CLASSIC	101	66'	121'	25'	5'	20'
	HYBRID	37	66'	115'	25'	5'	20'
	TWINS (DUPLICATE LOTS)	19	84'	115'	25'	8.5'	20'
	TOTAL LOT COUNT	468					

Use-Specific (88-300) and Development Standards (88-400)

Standards	Applicability	Meets	More Information
<i>Boulevard and Parkway Standards (88-323)</i>	No	N/A	
<i>Parkland Dedication (88-408)</i>	Yes	Subject to conditions	
<i>Parking and Loading Standards (88-420)</i>	Yes	Yes	A total of 468 spaces are required and provided, as well as 32 spaces for the clubhouse/pool. In terms of bicycle parking, no bicycle parking is currently shown. The applicant's request does not fully conform to the applicable requirements of this section. The applicant must obtain a variance to the minimum required bicycle parking.
<i>Landscape and Screening Standards (88-425)</i>	Yes	Subject to conditions/deviations	A landscape plan was not provided. The applicant has indicated that they intend to plant street trees as required. However, the applicant is requesting a deviation to the minimum amount of street trees. The deviation is to allow one street tree per lot instead of one tree per 30' of street frontage. If this deviation is granted, staff requests that the developer plant a species of tree that provides a large shade canopy. Overall, the proposed landscaping does not fully comply with the landscape requirements of the zoning and development code.
<i>Outdoor Lighting Standards (88-430)</i>	Yes	Subject to conditions/deviations	A photometric plan was not submitted with the overall plan set. The applicant has requested a deviation to the minimum lighting standards to provide fewer street lights. Staff has met with the applicant and Public Works to discuss this deviation request. Public Works has stated that a new LED lighting standard for streetlights is currently proposed and could potentially help the developer to provide adequate lighting while minimizing streetlighting costs.
<i>Sign Standards (88-445)</i>	Yes	Subject to conditions	All future proposed signage shall comply with 88-445.
<i>Pedestrian Standards (88-450)</i>	Yes	Subject to conditions/deviations	The site will provide sufficient pedestrian connectivity and amenities. The plan shows sidewalks along half of the street frontages. The applicant is requesting a deviation to 88-450 in order to provide sidewalks on only one side of residential streets. Overall, the applicant's request does not fully comply with the requirements of this section.

STAFF RESPONSE TO REQUESTED DEVIATIONS

As previously mentioned, the applicant is requesting a total of 8 deviations. These deviations are intended to reduce the overall construction cost in order to provide a more affordable product for new homebuyers. City Planning and Development Staff is in support of #2 and # 8 with details specified below.

Deviation 1: Roadway Sub-grade Modification

This is under jurisdiction of Public Works Department and details can be found in the attached Memo.

Deviation 2: Sidewalks on Both Sides of the Street

City Planning and Development Staff is in support of this request.

Deviation 3: Storm Sewer Structure Materials

This is under jurisdiction of Water Service Department and staff will defer to Water Service to comment on this deviation.

Deviation 4: Sanitary Sewer Manhole Locations

This is under jurisdiction of Water Service Department and staff will defer to Water Service to comment on this deviation.

Deviation 5: Public Waterline Materials

This is under jurisdiction of Water Service Department and staff will defer to Water Service to comment on this deviation.

Deviation 6: Flowable Fill Requirement

This is under jurisdiction of Public Works Department and details can be found in the attached Memo.

Deviation 7: Public Street Lighting Illumination Levels

This is under jurisdiction of Public Works Department and details can be found in the attached Memo. Public Works has notified the applicant that a new LED lighting standard for streetlights is currently proposed and could potentially help the developer to provide adequate lighting while minimizing streetlighting costs.

Deviation 8: Street Trees

City Planning and Development Staff is in support of this request as long as the street tree species will provide a large shaded canopy when fully grown.

PLAN ANALYSIS

In order to be approved, the plan must comply with all of the following criteria:

88-516-05-A. The plan must comply with all standards of this zoning and development code and all other applicable city ordinances and policies.

The applicant is requesting a total of 8 deviations from the zoning and development code.

88-516-05-B. The proposed use must be allowed in the district in which it is located.

The proposed MPD zoning allows for the proposed uses and density.

MPD LIST OF PUBLIC INFRASTRUCTURE DEVIATIONS for WOODHAVEN SUBDIVISION

The proposed MPD zoning allows the developer the option to deviate from "Typical" public infrastructure standards, in an effort to provide more affordable and more inclusive housing options. Because of this, the following Public Infrastructure Deviations are being requested:

1. Roadway Sub-grade Modification

Per City requirements, roadway soil sub-grades are typically required to be modified to include soil modifications (cement, fly-ash, or lime treatments) for soil characteristics (attemberg limits) that do not meet the City's Liquid Limit (LL) or Plasticity Index (PI). This MPD plan requests the removal of this requirement completely.

2. Sidewalks on Both sides of the Street

Per City requirements, sidewalks are required on both sides of residential streets. This MPD plan requests the removal of sidewalk on one side of the street for residential local roads. The proposed sidewalk locations are shown within this plan, to identify the proposed locations of sidewalks.

3. Storm Sewer Structure Materials

Per City requirements, all public storm structures are required to be concrete boxes. This MPD plan requests the allowance for nyloplast (or equivalent HDPE/PVC structures) in-lieu of concrete boxes for all curb inlets and junction boxes. Combination throat and grate nyloplast inlet structures are proposed for curb inlets. Solid top nyloplast structures are proposed for junction boxes.

4. Sanitary Sewer Manhole Locations

Per City requirements, sanitary sewer manholes are required to be outside of the roadway paving, generally behind the curb, or in the front yards of the homes. This MPD plan requests the allowance for sewer manholes to be located within the street paving, provided they are located in locations that do not receive typical wheel loading from vehicles. Allowable locations would be located in the center of the roadway, or center of the travel lane.

5. Public Waterline Materials

Per City requirements, all public waterline is required to be Ductile Iron Pipe (DIP) with polywrap. This MPD plan requests the removal of this requirement entirely, and to allow for HDPE or PVC waterline pipe materials.

6. Flowable fill requirement

Per City requirements, all utilities located underneath the proposed roadway paving, is required to have flowable fill backfill. This MPD plan requests the removal of this requirement entirely, provided the backfill material (suitable soil material or aggregate) meets the recommendation of the final geotechnical report.

7. Public Street Lighting Illumination Levels

Per City requirements, typical residential street lighting levels are 1.5 times greater than IES (Illumination Engineering Society) standards. This MPD plan requests a decreased lighting level, and to allow for proposed lighting levels equal to IES, which is approximately a 2/3 reduction in lighting levels.

8. Street Trees

Per City requirements, street trees are required at 30' on center, for all residential streets. This plan requests that only 1 street tree be required per residential lot.

88-516-05-C. Vehicular ingress and egress to and from the site, and circulation within the site, must provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways.

Vehicular ingress and egress to and from the site will be available from four curb cuts along the future N. Line Creek Parkway extension and also provides access off of NW 100th Street. The circulation and movement within the proposed layout of the site itself is anticipated to be the safest and most efficient option available.

88-516-05-D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site.

The site will provide sidewalks along all adjacent streets and will also provide adequate bicycle parking options. The plan complies fully with all required pedestrian standards.

88-516-05-E. The plan must provide for adequate utilities based on City standards for the particular development proposed.

The utility plan provided appears to provide adequate utilities for the entire subject site.

88-516-05-F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.

The plan will connect into the existing street network and will be oriented in a cohesive manner relative to the adjacent properties. The architecture, scale, and massing of the building have all been designed to be compatible with the adjacent properties.

88-516-05-G. Landscaping, berms, fences and/or walls must be provided to buffer the site from undesirable views, noises, lighting or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.

A landscape plan was not provided. The applicant is requesting a deviation to the minimum required number of street trees. If this deviation is granted, staff requests that the developer plant a species of street tree that provides a large canopy for shade.

88-516-05-H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.

The proposed lot layouts appear to comply with the 40% maximum impervious surface in the front yard. The proposed plan will likely result in a minimal amount of space devoted to asphalt or other impervious surfaces.

88-516-05-I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.

There are many existing trees proposed to be removed. However, there is a large green space along the stream buffer along the southwest portion of the site. In addition, most of the subject site is currently used as farmland and does not have trees currently.

PROFESSIONAL STAFF RECOMMENDATION

Overall, staff is supportive of this proposed MPD final plan. Staff believes that the overall project complies with the previously approved Twin Creeks Master Plan. Regarding to the eight (8) deviations, staff has not received the referred memo from the departments/member staff. As a result, City Planning and Development Staff **recommends a continuance to February 15, 2022. If the CPC decides to move forward with a recommendation, staff recommends approval of CD-CPC-2021-00213 subject to the Corrections and Conditions Report.**

Respectfully submitted,



Xue Wood, AICP
Staff Planner



Public Works Department

Capital Projects Division
18th Floor, City Hall
414 East 12th Street
Kansas City, Missouri 64106

Office: (816) 513-2720
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From: Nicolas Bosonetto, PE
City Engineer

Date: January 19, 2022

To: Planning Commission

Re: Woodhaven Subdivision – MPD Public Infrastructure Deviations

Public Works has received and reviewed the applicant’s request for Public Infrastructure Deviations for the Woodhaven Subdivision per section 88-280-05 of the Master Plan Development District (MPD) ordinance. The MPD ordinance allows for City Council to approve deviations from strict compliance with development standards, after receiving the recommendations of the City Planning Commission, if they determine that the proposed development cannot be reasonably accommodated by other available development codes.

The Woodhaven request included nine (9) separate deviations from standards; five (5) of which pertain to our Department:

Request #1 - Roadway Sub-Grade Modification

PW Recommends **denial** of request

“Per City requirements, roadway soil sub-grades are typically required to be modified to include soil modifications (cement, fly-ash, or lime treatments) for soil characteristics (atterberg limits) that do not meet the City's Liquid Limit (LL) or Plasticity Index (PI). This MPD plan requests the removal of this requirement completely.”

KCMO Public Works has adopted construction standards per ordinance. These geotechnical standards are widely used throughout the KC metro area by other municipalities as well. The purpose of the Liquid Limit/Plasticity Index is to assure that roadbases are structurally sufficient to support the pavement and traffic loads without distortion. Allowing this development to vary from the standard would open the door for all developments to seek the same exception.

Roadways built upon unsuitable soils deteriorate quickly and have a shorter life span than properly built roadways. The City of Kansas City would then be responsible for rebuilding the roadway when it fails prematurely.

Request #2 - Sidewalks on Both sides of the Street

PW has **no comment** on this request

“Per City requirements, sidewalks are required on both sides of residential streets. This MPD plan requests the removal of sidewalk on one side of the street for residential local roads. The proposed sidewalk locations are shown within this plan, to identify the proposed locations of sidewalks.”

KCMO Public Works recognizes that the sidewalk requirement has been waived in the past for similar subdivisions. We will rely on the Planning Commission and City Council to make the determination as to whether the sidewalk requirement should be waived.

Request #4 - Sanitary Sewer Manhole Locations

PW Recommends **denial** of request

“Per City requirements, sanitary sewer manholes are required to be outside of the roadway paving, generally behind the curb, or in the front yards of the homes. This MPD plan requests the allowance for sewer manholes to be located within the street paving, provided they are located in locations that do not receive typical wheel loading from vehicles. Allowable locations would be located in the center of the roadway, or center of the travel lane.”

KCMO Public Works would like the sewer manholes to remain outside of the pavement area due to maintenance issues including snowplowing operations. As manhole frame and grates settle/heave over time they become a hazard to plow truck drivers that hit them with the blades.

Request #6 – Flowable Fill Material

PW Recommends **granting** request with **caveat**

“Per City requirements, all utilities located underneath the proposed roadway paving, is required to have flowable fill backfill. This MPD plan requests the removal of this requirement entirely, provided the backfill material (suitable soil material or aggregate) meets the recommendation of the final geotechnical report.”

KCMO Public Works updated the standard specifications for trenching last fall to include options for either using flowable fill or backfilling with suitable material and compaction requirements. Public Works City Engineer and the Director of Construction are of the opinion that the KCMO City standard drawing SR-1 (per ordinance 210692 passed 9/13/21) clearly states in note #3 that backfill material may be either flowable fill or untreated compacted aggregate.

“3. BACKFILL – Backfill shall not be placed in water or mud. Clean graded rock or frozen material shall not be used as backfill. Backfill material and placement shall meet flowable fill meeting 2102.12 **or** untreated compacted

aggregate meeting 2202. Utilities using untreated compacted aggregate will need to provide all compaction prior to completion of permit.” (from SR-1, emphasis added)

It is our opinion that the standards are clear that flowable fill or compact aggregate is allowed, as long as compaction and lifts are completed according to specifications and as ordered by the City Engineer/Director of Construction. The applicant may substitute flowable fill with proper backfill methods as specified by Public Works standards and final determination of the City Engineer.

Request #7 – Public Street Lighting Levels PW Recommends **denial** of request

“Per City requirements, typical residential street lighting levels are 1.5 times greater than IES (Illumination Engineering Society) standards. This MPD plan requests a decreased lighting level, and to allow for proposed lighting levels equal to IES, which is approximately a 2/3 reduction in lighting levels.”

KCMO Public Works has been using APWA Section 5800 as the street lighting standard since at least 2001 (Ordinance 010189). In 2019, City Council, after several rounds of public participation and discussion, approved ordinance #190475 to adopt the modified Section 5800 standard which included LED lighting. The standard light multiplier for residential streets is 1.5 to 2.2. This standard has been applied throughout the city and deviating from this standard would cause substandard lighting in the proposed neighborhood and also open the door for every developer to request a waiver of the lighting standards.

It is important to note that the applicant is incorrect in stating that the IES is “approximately 2/3 reduction in lighting levels” – the reduction would be 1/3. Furthermore, the cost savings of the proposed reduced lighting levels would not be significant, since the location and number of poles is dictated by lot lines and the necessity to meet uniform light coverage. The number of poles, bases, conduit and wiring would not be reduced by 1/3 if the requested lower lighting standards would be used.

For these reasons, Public Works respectfully recommends that the waiver of lighting requirements be denied.



Plan Conditions, Corrections, & Recommendations Report

Recommended to CPC

Recommended by Development Review Committee

Report Date: January 25, 2022

Case Number: CD-CPC-2021-00216

Project: Woodhaven

Plan Corrections

Correction(s) by Land Development Division of the City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

1. Provide a list of all of the proposed public roadways within the development showing what roadway classification these roads are intended to meet in accordance with the City's currently adopted version of APWA 5200. UPDATED 1/10/22 - no listing provided as requested by the resubmittal. (1/03/2022)
2. Stream buffer plan does not include all of the information required as part of Section 88-415. UPDATED 1/10/22 - no revisions made to the stream buffer plans as part of the resubmittal. (1/03/2022)
3. Please ensure that any elements of your design conform to the City's currently adopted version of the APWA standards which are available on the City's website at the following location:
<https://www.kcmo.gov/city-hall/departments/public-works/public-works-design-construction-standards>
The version adopted by the City is different from the version published on the APWA website. This oversight could impact certain portions of your design if the wrong requirements are used. UPDATED 1/10/22 - roads are not proposed to be constructed to City standards and will be conditioned as privately owned and maintained by the developer, not the City. (1/03/2022)
4. Provide information to prove that Line Creek Parkway and Tiffany Springs Parkway will be constructed by the TIF. Include a copy of the currently approved TIF plan showing the intended construction dates and how it coincides with the proposed development timeline. UPDATED 1/10/22 - correction not addressed and no supplemental information provided by applicant. (1/03/2022)
5. Provide written justification as to why the proposed infrastructure requirement shown in deviation number 1 on the cover sheet creates an undue financial burden on the applicant. Provide geotechnical information regarding the existing soil conditions on the proposed development site and the subgrade recommendations of a licensed professional engineer specializing in the design of pavement sections. UPDATED 1/10/22 - no geotechnical information provided as requested to support deviation is in the best interest of the City. (1/03/2022)
6. Provide written justification as to why the proposed infrastructure requirement shown in deviation number 7 on the cover sheet creates an undue financial burden on the applicant. Provide supporting documentation as to why reduced lighting levels within the residential areas still provide adequate levels of security. UPDATED 1/10/22 - no documentation provided to support why deviation is in the best interest of the City. (1/03/2022)

Correction(s) by Long Range Planning of the City Planning and Development Department. Contact John Debauche at 816-513-2869 / john.debauche@kcmo.org with questions.

7. Not supportive of waiving #2 Public Infrastructure Deviation (1/19/2022)
8. Not supportive of waiving #2 Public Infrastructure Deviation (1/19/2022)

9. I would like to see 4 sided building elevations of the building types that follow the urban design guidelines. Urban Design Guidelines – Briarcliff-Winnwood Area Plan

Architectural Transitions include:

- Use similar building setbacks, height and roof forms Mitigate the larger mass of buildings with facade articulation
- Reduce building heights, intensity of use and densities as development moves closer to low intensity areas
- Commercial and multi-family projects located adjacent to single family areas should be designed to respect and be compatible with the building scale and materials of the residential neighborhood

Site Planning Guidelines (all residential, commercial and mixed-use districts)

- Front buildings onto a street or major access drive to create a clear street edge and to provide physical definition of roadways.

Architectural Character

- Architectural materials should complement the character of the existing built environment through use of high quality, durable materials.

- Suggested materials include: wood, masonry, limited concrete, stone, cast stone, and tile.

- Materials, such as imitation masonry, metal panels, vinyl siding, concrete panels, or plywood, are discouraged on commercial buildings.

Buildings within a development should have a coherent architectural theme in terms of mass, height, rooflines, and materials.

- Buildings facing major streets should integrate architectural details to enhance the street edge and promote human scale and interest.

- Suggested materials and details include but are not limited to corner elements, awnings, window inlets, planted window boxes and articulated entries.

- Design buildings to relate directly to the street using the following techniques:

☑ All building frontages visible from a street or a residential area shall have the equivalent treatment of the primary building façade.

☑ Provide a primary entry for building facades facing arterial streets, or a facade treatment of comparable architectural, material, and detailing quality.

☑ Minimize long expanses of wall at a single height or in a single plane. Vary floor heights to follow natural grade contours if significant variation is present.

Transition Guidelines:

Physical and visual separation should be provided between incompatible uses and between uses with significant differences in levels of intensity.

Architectural transitions softened by landscaping are highly preferred over physical buffers that create distinct visual separation between uses.

Transitions should be provided between changes in use or intensity of use. Dissimilar or incompatible uses should be separated by a major street when

possible. However, when such uses are located adjacent to one another, the transition/screening techniques described below should be used.

- Transition design should avoid the need for physical buffer separation and visual screens between land uses.

- Walls and fences are generally not a desirable form of transition between uses. However, when necessary, buffer walls should

be constructed of high quality materials consistent with materials used in the construction of the development. Architectural Transitions and Green/Open Space Transitions should be the primary transition technique between uses.

Architectural Transitions include:

- Use similar building setbacks, height and roof forms

- Mitigate the larger mass of buildings with facade articulation

- Reduce building heights, intensity of use and densities as development moves closer to low intensity areas

- Commercial and multi-family projects located adjacent to single family areas should be designed to respect and be compatible with the building scale and materials of the residential neighborhood

Site Planning

Intent:

Correction(s) by Long Range Planning of the City Planning and Development Department. Contact John Debauche at 816-513-2869 / john.debauche@kcmo.org with questions.

- To utilize building placement and open space to provide for compatibility of use, access, and circulation between adjoining properties.
- To provide special definition of streets at key locations such as arterial street intersections or area gateways and maximize the positive character of streets and buildings through continuity of architecture and landscape frontage.
- To provide complimentary siting of new buildings adjacent to existing developments consistent with standards of subdivision regulations.

Additional Guidelines for Infill Development

- The Area Plan emphasizes creative and innovative approaches to achieving the goals of higher quality development design and compatibility with nearby neighborhoods.

Site Layout and Development Pattern

- **Street Edge Orientation.** Entry façades shall be oriented towards the primary street to create an inviting image, and consistent front and street edge definition. A minimum of thirty percent (30%) of a nonresidential development site's thoroughfare, collector, and commercial street frontage(s) should be occupied by building wall.
- **Setbacks.** These standards encourage the creation of a continuous, defined street edge consistent with the area, whether comprised of building, walls, or vegetation, in order to enhance the pedestrian experience, while in return allowing a developer to maximize the developable area of an infill or redevelopment parcel with a reduced front development setback.
- The number of entry driveways on a thoroughfare street should be limited to the maximum extent feasible.

Building Height, Massing, and Form

- **Compatibility with Surrounding Development.** Infill and redevelopment projects in existing developed areas shall be compatible with or complement the established proportions and building mass of adjacent developments.
- **Residential Compatibility.** To the maximum extent practicable, the massing and use of exterior materials of attached residential dwellings should be arranged to give the building the appearance of a large single-family detached home.
- **Garages projecting in front of the structure are strongly discouraged on residential structures.** Garages facing the street should generally be no more than one-third the width of the structure, and the front wall plane of all attached garages should be recessed behind the front wall plane of the dwelling's ground floor living area. (1/19/2022)

Correction(s) by Water Services - Stormwater of the Water Services Department. Contact Amy Bunnell at / amy.bunnell@kcmo.org with questions.

10. Sheet C0, Deviation No. 3: Standard drawings and specifications for proposed alternatives must be provided for consideration. If a deviation is allowed, these items will need to be included as part of the approved documents.
Updated Comment (2022-01-12): Internal discussions regarding this deviation are ongoing. At this time, a determination has not been made with regard to acceptability of this deviation. (1/03/2022)
11. Stream buffer plans do not meet requirements of 88-415. Fill in middle zone is not allowed except for allowed uses. First twenty-five feet of outer zone is no-build area. There is risk for embankment failures due to proximity of fill slopes to streams--this must be addressed through erosion hazard and slope stability analyses.
Updated Comment (2022-01-12): Fill in middle zone is not allowed for detention ponds. Proposed fill will reduce the natural storage in floodplain areas and could increase flood elevations. Storage in ineffective flow areas helps to attenuate peak discharges downstream, since it is essentially acting as a natural detention area. Provide a minimum of 25 feet (no-build area per 88-415-5-C.2.c) from edge of middle zone to any improvements, including embankment fill. Remove proposed "rock blanket for erosion prevention"--this is not acceptable and in all likelihood will induce stream instability issues. (1/03/2022)

Correction(s) by Water Services - Water of the Water Services Department. Contact Jerald Windsor at 816-513-2904 / Jerald.Windsor@kcmo.org with questions.

12. Remove Item 5 from the MPD List of Public Infrastructure Deviations for Woodhaven Subdivision from Cover sheet and all future plan sheets,
per the KC Water Rules and Regulations for Water main extensions and Relocations.
(<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Main-Extensions.pdf>)

Note: "The applicant/developer must meet current KC water Services standards." Standards remain unless otherwise directed from the Director (1/03/2022)

Plan Conditions

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

13. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval for the maintenance of private open space and enter into a covenant agreement for the maintenance of any stormwater detention area tracts, prior to recording the plat. (12/14/2021)
14. The developer must submit covenants, conditions and restrictions to the Land Development Division for review by the Law Department for approval and enter into covenant agreements for the maintenance of any private open space tracts with stream buffer zones or stormwater detention area tracts, prior to recording the plat. (12/14/2021)
15. After the City Plan Commission enters its disposition for the development plan, the developer shall not enter into any agreement that would encumber or otherwise have any impact on the proposed right-of-way dedications for the planned project without the prior written consent of the Land Development Division. (12/14/2021)
16. The developer shall submit construction plans in compliance with adopted standards for all improvements required by the traffic study approved by the Public Works Department, and shall secure permits for those improvements as required by the Land Development Division, prior to recording the plat. (12/14/2021)
17. The developer must subordinate to the City all private interest in the area of any right-of-way dedication, in accordance with Chapter 88 and as required by the Land Development Division, prior to issuance of any construction permits within said right-of-way, and that the owner/developer shall be responsible for all costs associated with subordination activities now and in the future. (12/14/2021)
18. The developer must obtain the executed and recorded city approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting (12/14/2021)
19. The developer must show the limits of the 100-year floodplain plus the 1 foot freeboard on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year flood prone area (including detention basins and engineered surface drainage conveyances) on any plat and plan, as required by the Land Development Division. (12/14/2021)
20. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division. (12/14/2021)
21. The developer shall provide acceptable easements for any deep sewers where proposed fill is added or where the sewer will be further obstructed by surface improvements and that a structural analysis be provided to confirm adequate structural integrity for the proposed loading conditions of this plan, and secure permits and provide City approved executed and recorded easement prior to adding fill or constructing surface obstructions as required by Land Development Division. (12/14/2021)
22. The developer must design and construct all public streets to City Standards, as required by Chapter 88 and the Land Development Division, including curb and gutter, storm sewers, street lights, and sidewalks. Any streets that are not constructed to City Standards will be deemed as private; this will require private ownership and maintenance agreements for the perpetuity of the roadway to be executed prior to recording of the plat. (12/14/2021)
23. The developer must dedicate additional right of way [and provide easements] for Line Creek Parkway as required by the adopted Major Street Plan so as to provide a minimum of 150 feet of right of way, or seek approval recommendations from the Transportation and Development Committee for any variances requested to the Major Street Plan prior to City Plan Commission approval. (12/14/2021)
24. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first. (12/14/2021)
25. The owner/developer must submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities. (12/14/2021)
26. The developer must obtain a floodplain certificate from Development Services prior to beginning any construction activities with the floodplain. (12/14/2021)

Condition(s) by City Planning and Development Department. Contact Stacey Lowe at 816-513-2552 / stacey.lowe@kcmo.org with questions.

27. The developer shall submit a final stream buffer plan to the Land Development Division for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements. (12/14/2021)
28. The developer must construct temporary off-site cul-de-sacs and grant a city approved temporary cul-de-sac easement, for that portion outside of the dedicated street right-of-way, to the City as required by the Land Development Division, prior to recording the plat. (12/14/2021)
29. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri, as amended, commonly known as the Development Regulations. (12/14/2021)
30. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division. (12/14/2021)
31. The developer must grant a BMP and/or Surface Drainage Easement to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits. (12/14/2021)
32. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements may be required. (12/14/2021)
33. The developer provide acceptable easement and secure permits to relocated sanitary sewers out from under proposed buildings and structures, etc., while continuing to ensure individual service is provided to all proposed lots as required by Land Development Division prior to recording the plat or issuance of a building permit, whichever occurs first. (12/14/2021)

Condition(s) by City Planning and Development Department. Contact Zach Nelson at 816-513-8822 / Zachary.Nelson@kcmo.org with questions.

34. If any combination of Deviation #1, #2, #4, #6, and/or #7 are granted, unless approved by Public Works, all proposed streets shall be privately owned and maintained and an access easement shall be retained for all streets within the project boundary. (12/16/2021)
35. Submit a street name plan application prior to ordinance request. (12/16/2021)

Condition(s) by Fire Department. Contact Michael Schroeder at 816-513-4611 / michael.schroeder@kcmo.org with questions.

36. Hydrants Fire hydrant distribution shall follow IFC-2018 Table C102.1
Fire hydrants shall be installed and operable prior to the arrival of any combustible building materials onto the site. (IFC-2018 § 501.4 and 3312.1; NFPA -2013 § 8.7.2) (12/17/2021)
37. Fire Water Flow The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1) (12/17/2021)
38. Fire Department Access Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5) (12/17/2021)

Condition(s) by Parks & Recreation. Contact Justin Peterson at 816-513-7599 / Justin.Peterson@kcmo.org with questions.

39. The developer shall fully comply with the Parkway & Boulevard Standards of 88-323 for development along N. Line Creek Parkway and Tiffany Springs Parkway unless requested deviations are granted by City Council. (12/15/2021)
40. The developer shall seek and receive acceptance/approval from Parks Board for area proposed to be dedicated to the city for parkland and serve to satisfy the parkland dedication requirements of 88-408 prior to recording plat. (12/15/2021)
41. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way. Street trees shall be installed per 88-425-03. (12/15/2021)

Condition(s) by Public Works Department. Contact Jeffrey Bryan at 816-513-9865 / Jeffrey.Bryan@kcmo.org with questions.

Condition(s) by Public Works Department. Contact Jeffrey Bryan at 816-513-9865 / Jeffrey.Bryan@kcmo.org with questions.

42. Public Works would like the project to stick with the APWA subgrade standards. (12/16/2021)

Condition(s) by Water Services Department. Contact Amy Bunnell at / amy.bunnell@kcmo.org with questions.

43. Prior to issuance of any construction permits, the developer shall provide a geotechnical analysis of slope stability and an analysis of erosion hazard potential for areas where any improvements or public right-of-way dedications are proposed within stream buffer zones or adjacent to the outside of stream meanders, including areas outside of the stream buffer outer zone, as appropriate and required by good engineering practices, to assess potential threats of future stream meander, cut, or erosion endangering or damaging facilities, structures, or property. (12/15/2021)

Condition(s) by Water Services Department. Contact Heather Massey at / heather.massey@kcmo.org with questions.

44. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations.

<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Service-Lines.pdf>

(12/13/2021)

45. The Developer shall ensure that all materials related to water services comply with Water Services Rules and Regulations (12/14/2021)

46. The applicant must meet current KC Water standards. The proposed deviations are inferior to the current standards and will result in a shortened life span of the infrastructure and a higher costs to KC rate payers. (12/15/2021)

Condition(s) by Water Services Department. Contact Jerald Windsor at 816-513-2904 / Jerald.Windsor@kcmo.org with questions.

47. The developer must submit water main extension drawings prepared by a registered professional Engineer in Missouri to the main extension desk for review, acceptance and contracts per the KC Water Rules and Regulations for Water main extensions and Relocations.

(<https://www.kcwater.us/wp-content/uploads/2019/04/2018-Rules-and-Regulations-for-Water-Main-Extensions.pdf>)

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Note: "The applicant/developer must meet current KC water Services standards."

Standards remain unless otherwise directed from the Director revised slightly (12/15/2021)

Plan Recommendations

Recommendation(s) by City Planning and Development Department. Contact John Debauche at 816-513-2869 / john.debauche@kcmo.org with questions.

48. As proposed, the site plan on the application has large east-west blocks with no breaks in the center of the site. In order to make the site more walkable, we recommend a north-south trail that will provide improved access throughout the site.

In addition, the applicant should work with Parks and PW to determine if a connection is possible to the from the site to a existing or proposed trail. (1/03/2022)

49. I am opposed to deviations 2 and 9 without an explanation. Both things that are we are being asked to waive are required by code. As I am not able to attend the Applicant DRC, I will confer with staff to better understand your reasoning for these proposed deviations. (1/03/2022)

Start = 6pm End = 7pm

Join Zoom Meeting

<https://us06web.zoom.us/j/7060336452?pwd=OEM2YzFWcjdGbG8zd0dDZEdWRWc0Zz09>

Case # CD-CPC-2021-00216

Presentation Outline

1. Project Intro (Matt)
2. Project Team
 - a. Kimley-Horn (Matt)
 - b. Ashlar Homes (Vincent)
3. Project Overview
 - a. General Layout (Matt)
 - i. Lot types/widths
 - ii. Centralized amenity
 - b. Phasing (Matt)
4. Schedule
 - a. CPC hearing tentatively scheduled for 9am on 2/1
 - b. City Council tentatively scheduled for
 - i. Ordinance Intro on 2/10
 - ii. Committee on 2/16
 - iii. Final Reading on 2/24
5. Questions

Attendees

Name	Email
Matt Kist	matt.kist@kimley-horn.com
Amanda Roller	Amanda.Roller@kimley-horn.com
Vincent Walker	Vincent@AshlarHomesKC.com
Shawn Woods	Shawn@AshlarHomesKC.com
Justin & Jennifer Crump	jennifer248@sbcglobal.net
Deanna & Brandon Winders	Deanna.winders@gmail.com
Cynthia Gardner	gardner.68@gmail.com
Aubree Wisley	Aubree.wisley@gmai.com
Laura & Ray Watkins	larray@live.com
Amanda Roller	Amanda.roller@kimley-horn.com
Debra Campo	DJCampo55@yahoo.com
Brandie Scott-Hill	scotthill.brandin@gmail.com

Note: The below is a brief summary of the key elements that were discussed at the above meeting.

- Meeting commenced at 6pm
- Neighbors noted concerns about the proposed stub street connection, at the NW corner of the project. They noted that this could encourage trespassing and would prefer not to have it.
 - The applicant explained that this was a request by the City, to provide connectivity for future development.
 - The applicant agreed to discuss this with City staff, to see if the stub street could be eliminated.
- Neighbors expressed concerns about abutting property lines, specifically the potential for trespassing. Property owners would like to see fencing installed, to prevent this
 - Applicant explained that we would evaluate this on a case-by-case basis. Sometimes installing a fence along the property line, is not the correct solution, since fence installation might eliminate existing trees, that are more desirable.
 - Applicant agreed to have further discussions with abutting owners, to determine the best solution for each adjacent property owner
- There was general discussion about the funding and phasing of Line Creek Parkway
- There was general discussion about the future Tiffany Springs Parkway
- Neighbors expressed concerns about construction traffic being routed down 100th street, since the existing street is in poor condition.
 - Applicant agreed to evaluate construction traffic logistics, as the project moves forward.
 - Applicant also noted that only the 7th phase abuts 100th street, so its unlikely that 100th street will be used for access in the early phases of development
- There was general discussion about the public infrastructure deviations that are being requested
 - Alternate waterline materials were discussed
 - Sidewalks on one side of the street were discussed
 - Alternate storm sewer materials were discussed
- Neighbors noted concerns that the project would negatively impact their water wells.
 - Applicant explained that public waterlines would be installed which collects water from a City water tank, and therefore should not impact existing drilled water wells
- There was general discussion about how to handle communication moving forward, since mailed letters is less than ideal
 - Applicant explained that now that we have email addresses, its much easier to communicate with neighbors on a case-by-case basis
 - Applicant also explained the next “steps” in the process, will have public hearing, specifically at City Plan Commissions
 - Applicant explained that the desire is to have a neighborly working relationship, with the adjacent property owners
- Meeting adjourned at approximately 7:15pm

MASTER PLANNED DEVELOPMENT (MPD) FOR WOODHAVEN SUBDIVISION

SECTION 33, TOWNSHIP 52N, RANGE 33W
IN KANSAS CITY, PLATTE COUNTY, MISSOURI

PROJECT TEAM

DEVELOPER
ASHLAR HOMES, LLC
2800 NW HUNTER DRIVE
BLUE SPRINGS, MO 64015
TEL: (816) 228-1188
CONTACT: VINCENT WALKER

SURVEYOR
MINNEY SURVEYING
15547 W 81ST STREET
LENEKA, KS 66219
CONTACT: ANNE SMOKE
(913) 766-5141

**CIVIL ENGINEER, LANDSCAPE
ARCHITECT, AND LIGHTING**
KIMLEY-HORN & ASSOCIATES, INC.
805 PENNSYLVANIA AVENUE, SUITE 150
KANSAS CITY, MO 64105
TEL: (816) 652-0350
PRIMARY CONTACT: MATTHEW KIST, P.E.
EMAIL: MATT.KIST@KIMLEY-HORN.COM
SECONDARY CONTACT: TYLER WYSONG, P.E.
EMAIL: TYLER.WYSONG@KIMLEY-HORN.COM

TRAFFIC ENGINEER
MERGE MIDWEST ENGINEERING, LLC
2668 WEST CATALPA STREET
OLATHE, KS 66061
(913) 788-1985
CONTACT: JANELLE CLAYTON, P.E., P.T.O.E.
EMAIL: JCLAYTON@MERGEMIDWEST.COM

BASIS OF BEARINGS:

MISSOURI COORDINATE SYSTEM OF 1983 WEST ZONE

HORIZONTAL DATUM:

MISSOURI STATE PLANE (WEST ZONE)

SCALED AROUND CONTROL POINT 3
(N 1,125,610.74', E 2,756,124.93')
1 METER = 3.28083333 U.S. SURVEY FEET
ALL DISTANCES SHOWN ARE GROUND DISTANCES. TO OBTAIN
GROUND DISTANCES, MULTIPLY GRID DISTANCES BY 1.00010152

LEGAL DESCRIPTION:

A portion of the South half of Section 33, Township 52 North, Range 33 West and a portion of the Northwest quarter of Section 4, Township 51 North, Range 33 West, in the City of Kansas City, Platte County, Missouri, described as follows:

COMMENCING for reference at the Northeast corner of the Southwest quarter of said Section 33; Thence, along the North line of the Southwest quarter of said Section 33, North 89°42'56" West, 1647.83 feet to the Northwest corner of the East 10 acres of the Northwest quarter of the Southwest quarter of said Section 33; Thence, along the West line of the East 10 acres of the Northwest quarter of the Southwest quarter of said Section 33, South 00°31'48" West, 75.01 feet to a point on a line parallel with and 75.00 feet South of the North line of the Southwest quarter of said Section 33, said point being the TRUE POINT OF BEGINNING;

Thence, continuing along the West line of the East 10 acres of the Northwest quarter of the Southwest quarter of said Section 33, South 00°31'48" West, 1240.27 feet to a point on the North line of the Southwest quarter of the Southwest quarter of said Section 33;

Thence, along the North line of the Southwest quarter of the Southwest quarter of said Section 33, South 89°51'00" West, 988.55 feet to the Northwest corner of the Southwest quarter of the Southwest quarter of said Section 33;

Thence, along the West line of the Southwest quarter of the Southwest quarter of said Section 33, South 00°31'49" West, 1312.96 feet to the Southwest corner of the Southwest quarter of said Section 33;

Thence, along the South line of the Southwest quarter of said Section 33, North 89°59'03" East, 306.84 feet to the Northeast corner of Tract A of Genesis Place-Second Plat, a subdivision in Kansas City, Platte County, Missouri;

Thence, along the Easterly line of said Tract A, South 11°54'06" East, 346.61 feet to an angle point in the Easterly line of said Tract A;

Thence, continuing along the Easterly line of said Tract A, South 20°29'58" West, 292.05 feet to a point on the Northerly line of Tract C of Genesis Trails-First Plat, a subdivision in Kansas City, Platte County, Missouri;

Thence, along the Northerly line of said Tract C, South 89°49'34" East, 149.38 feet to the Northwest corner of Lot 14 of said Genesis Trails-First Plat;

Thence, along the North line of Lots 11 through 14 of said Genesis Trails-First Plat, South 76°41'08" East, 299.46 feet to an angle point in the North line of said Lot 11;

Thence, along the Northeasterly lines of Lots 10 and 11 of said Genesis Trails-First Plat, South 51°51'47" East, 76.38 feet to an angle point in the Northeasterly line of said Lot 10;

Thence, along the Northeasterly line of said Lot 10, South 25°04'19" East, 105.44 feet to the Northwest corner of Tract D of said Genesis Trails-First Plat;

Thence, along the Northerly line of said Tract D, South 59°10'03" East, 165.38 feet to the Northeasterly corner of said Tract D, said point also being the Northwesterly corner of the parcel described in the deed to Hoffman Custom Homes, recorded in Book 1286, Page 911;

Thence, along the Northerly line of said parcel described in Book 1286, Page 911, South 50°38'34" East, 95.42 feet to an angle point in said Northerly line;

Thence, continuing along the Northerly line of said parcel described in Book 1286, Page 911, South 89°36'55" East, 186.19 feet to a point on the West line of the East 73.83 acres of the Northwest quarter of Section 4, Township 51 North, Range 33 West;

Thence, along the West line of the East 73.83 acres of the Northwest quarter of said Section 4, North 00°19'38" East, 327.65 feet to a point on a line parallel with and 643.93 feet South of the South line of the Southwest quarter of said Section 33;

Thence, along last said parallel line, North 89°59'03" East, 791.33 feet to the beginning of a non-tangent curve to the right, whose center bears South 65°01'17" East, 874.00 feet;

Thence, Northeasterly along the arc of last said curve, having a radius of 874.00 feet, through a central angle of 07°25'58", an arc distance of 113.38 feet;

Thence, North 32°24'42" East, 838.49 feet to the beginning of a tangent curve to the left;

Thence, Northeasterly along the arc of last said curve, having a radius of 825.00 feet, through a central angle of 64°06'24", an arc distance of 923.07 feet to the beginning of a tangent reverse curve to the right;

Thence, Northwesterly along the arc of last said curve, having a radius of 529.00 feet, through a central angle of 52°10'07", an arc distance of 481.66 feet;

Thence, North 20°28'25" East, 211.24 feet to the beginning of a tangent curve to the left;

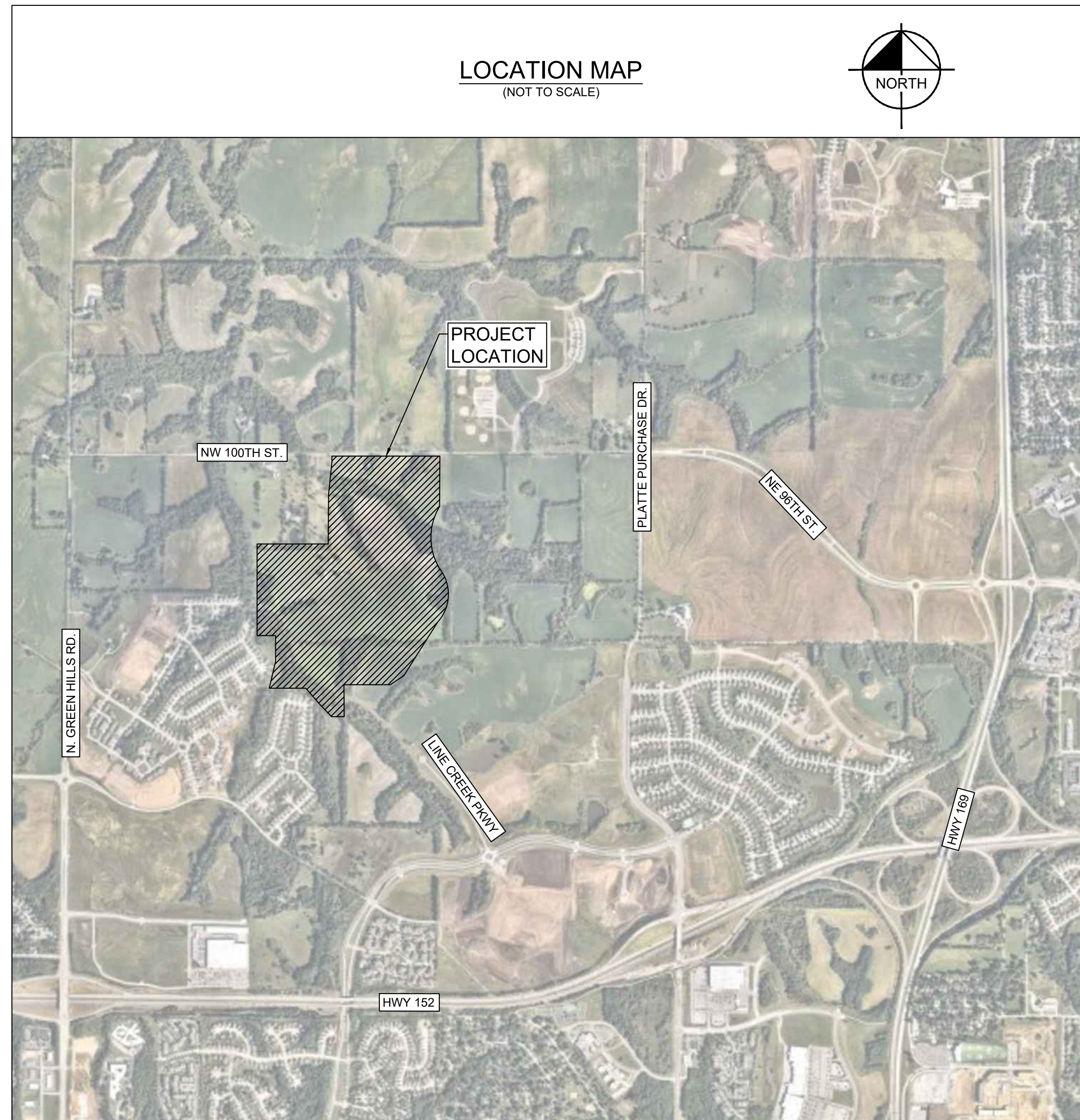
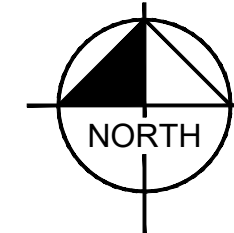
Thence, Northeasterly along the arc of last said curve, having a radius of 379.00 feet, through a central angle of 19°57'31", an arc distance of 132.02 feet to a point on a line parallel with and 75.00 feet West of the East line of the Southwest quarter of said Section 33;

Thence, along last said parallel line, North 00°30'54" East, 734.00 feet to a point on a line parallel with and 75.00 feet South of the North line of the Southwest quarter of said Section 33;

Thence, along last said parallel line, South 89°42'56" West, 1572.84 feet to the TRUE POINT OF BEGINNING, Prepared by Anne M. Smoke, Missouri PLS 2016019010, on November 23, 2021.

Contains 151.86 acres, more or less.

LOCATION MAP (NOT TO SCALE)



MPD STATEMENT OF INTENT for WOODHAVEN SUBDIVISION

This MPD Plan provides for the preparation and approval of a unified residential subdivision, with a variety of housing products, and varying price points. The proposed subdivision includes traditional single-family residential lots (detached housing), and single-family attached housing. Utilizing MPD zoning allows the development to be approved with a single plan and one zoning district, which ultimately results in a more cohesive development. MPD zoning also allows for deviations from public improvement standards, which are detailed further in this plan. The public improvement deviations reduce infrastructure costs to provide for more affordable housing options, and a variety of housing products. This approach aligns with the city-wide initiative, for more inclusive developments.

MPD PLAN DEVIATIONS for WOODHAVEN SUBDIVISION

- This MPD is requesting eliminating the requirement of a 30' city maintained landscape buffer, for residential lots which back up to Line Creek Parkway.
- This MPD is requesting eliminating the requirement of a 30' city maintained landscape buffer, for residential lots which back up to Tiffany Springs Parkway.

Sheet List Table	
Sheet Number	Sheet Title
C0	COVER SHEET
C1	EXISTING CONDITIONS
C2	GENERAL LAYOUT
C3	PRELIMINARY PLAT
C4	PHASING PLAN
C5	SITE LAYOUT (1)
C6	SITE LAYOUT (2)
C7	SITE LAYOUT (3)
C8	SITE LAYOUT (4)
C9	SITE LAYOUT (5)
C10	AMENITY LAYOUT
C11	GRADING & UTILITY PLAN
C12	WATER MAIN PHASING PLAN
C13	STREAM BUFFER PLAN
C14	ENLARGED STREAM BUFFER PLAN (SOUTH)
C15	ENLARGED STREAM BUFFER PLAN (NORTH)

MPD LIST OF PUBLIC INFRASTRUCTURE DEVIATIONS for WOODHAVEN SUBDIVISION

The proposed MPD zoning allows the developer the option to deviate from "Typical" public infrastructure standards, in an effort to provide more affordable and more inclusive housing options. Because of this, the following Public Infrastructure Deviations are being requested:

- Roadway Sub-grade Modification**
Per City requirements, roadway soil sub-grades are typically required to be modified to include soil modifications (cement, fly-ash, or lime treatments) for soil characteristics (atberg limits) that do not meet the City's Liquid Limit (LL) or Plasticity Index (PI). This MPD plan requests the removal of this requirement completely.
- Sidewalks on Both sides of the Street**
Per City requirements, sidewalks are required on both sides of residential streets. This MPD plan requests the removal of sidewalk on one side of the street for residential local roads. The proposed sidewalk locations are shown within this plan, to identify the proposed locations of sidewalks.
- Storm Sewer Structure Materials**
Per City requirements, all public storm structures are required to be concrete boxes. This MPD plan requests the allowance for nyloplast (or equivalent HDPE/PVC structures) in-lieu of concrete boxes for all curb inlets and junction boxes. Combination throat and grate nyloplast inlet structures are proposed for curb inlets. Solid top nyloplast structures are proposed for junction boxes.
- Sanitary Sewer Manhole Locations**
Per City requirements, sanitary sewer manholes are required to be outside of the roadway paving, generally behind the curb, or in the front yards of the homes. This MPD plan requests the allowance for sewer manholes to be located within the street paving, provided they are located in locations that do not receive typical wheel loading from vehicles. Allowable locations would be located in the center of the roadway, or center of the travel lane.
- Public Waterline Materials**
Per City requirements, all public waterline is required to be Ductile Iron Pipe (DIP) with polywrap. This MPD plan requests the removal of this requirement entirely, and to allow for HDPE or PVC waterline pipe materials.
- Flowable fill requirement**
Per City requirements, all utilities located underneath the proposed roadway paving, is required to have flowable fill backfill. This MPD plan requests the removal of this requirement entirely, provided the backfill material (suitable soil material or aggregate) meets the recommendation of the final geotechnical report.
- Public Street Lighting Illumination Levels**
Per City requirements, typical residential street lighting levels are 1.5 times greater than IES (Illumination Engineering Society) standards. This MPD plan requests a decreased lighting level, and to allow for proposed lighting levels equal to IES, which is approximately a 2/3 reduction in lighting levels.
- Street Trees**
Per City requirements, street trees are required at 30' on center, for all residential streets. This plan requests that only 1 street tree be required per residential lot.

LEGEND:

- △ FOUND SECTION CORNER AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- () RECORD DATA PER GENESIS VILLAGE-FIRST PLAT
- () RECORD DATA PER GENESIS PLACE-SECOND PLAT
- (()) RECORD DATA PER BOOK 1286 PAGE 911
- DECIDUOUS TREE
- ☐ MAILBOX
- ☐ TELEPHONE PEDESTAL
- PP POWER POLE
- SANITARY SEWER MANHOLE
- UNDERGROUND SEWER LINE
- FENCE LINE
- ⊗ PLOTTED EXCEPTION PER TITLE COMMITMENT
- △ POTENTIAL ENCROACHMENT

NO.	REVISIONS	DATE
1	MPD CITY RESUBMITTAL	12/31/2021
2		
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Kimley»Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
805 PENNSYLVANIA AVENUE, SUITE 150
KANSAS CITY, MO 64105
PHONE: 816-652-0350
WWW.KIMLEY-HORN.COM
EXPIRES 12/31/21

SCALE: AS NOTED
DESIGNED BY: AT
DRAWN BY: AT
CHECKED BY: MK

MPD SUBMITTAL
NOT FOR
CONSTRUCTION

COVER SHEET

WOODHAVEN
MASTER PLANNED
DEVELOPMENT
KANSAS CITY, MO

ORIGINAL ISSUE:
11-24-2021
KHA PROJECT NO.
268030001

SHEET NUMBER

C0

Drawing name: K:\NCD\268030001_Woodhaven 1st Plat\2 Design\CAD\PlanSheets\MPD Submittal\C0 - COVER SHEET.dwg Layout Date: Dec 31, 2021 5:46pm by Joe Hurley
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

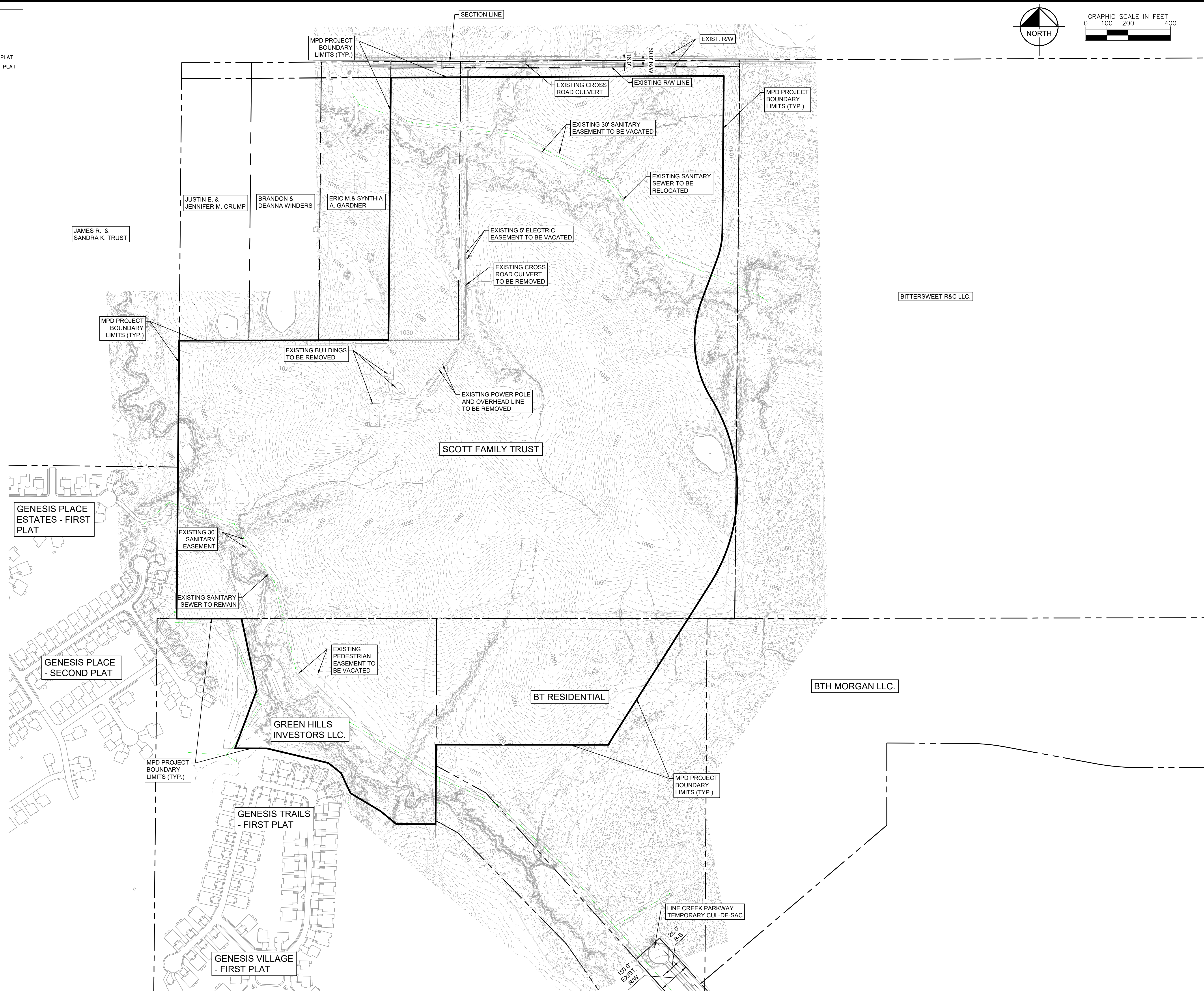
Drawing name: K:\VNC_DEVA\268030001_Woodhaven 1st Plat\2 Design\PlanSheets\MPD Submittal\C1 - EXISTING CONDITIONS.dwg Layout Dec 31, 2021 8:51pm By Joe Hurley
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LEGEND:

- △ FOUND SECTION CORNER AS DESCRIBED
- FOUND MONUMENT AS DESCRIBED
- () RECORD DATA PER GENESIS VILLAGE—FIRST PLAT
- () RECORD DATA PER GENESIS PLACE—SECOND PLAT
- () RECORD DATA PER BOOK 1286 PAGE 911
- DECIDUOUS TREE
- ☐ MAILBOX
- ☐ TELEPHONE PEDESTAL
- PP POWER POLE
- SANITARY SEWER MANHOLE
- UNDERGROUND SEWER LINE
- FENCE LINE
- Ⓜ PLOTTED EXCEPTION PER TITLE COMMITMENT
- Ⓜ POTENTIAL ENCROACHMENT

NORTH

GRAPHIC SCALE IN FEET
0 100 200 400



No.	REVISIONS	DATE	BY
1	MPD CITY RESUBMITTAL	12/31/2021	JH

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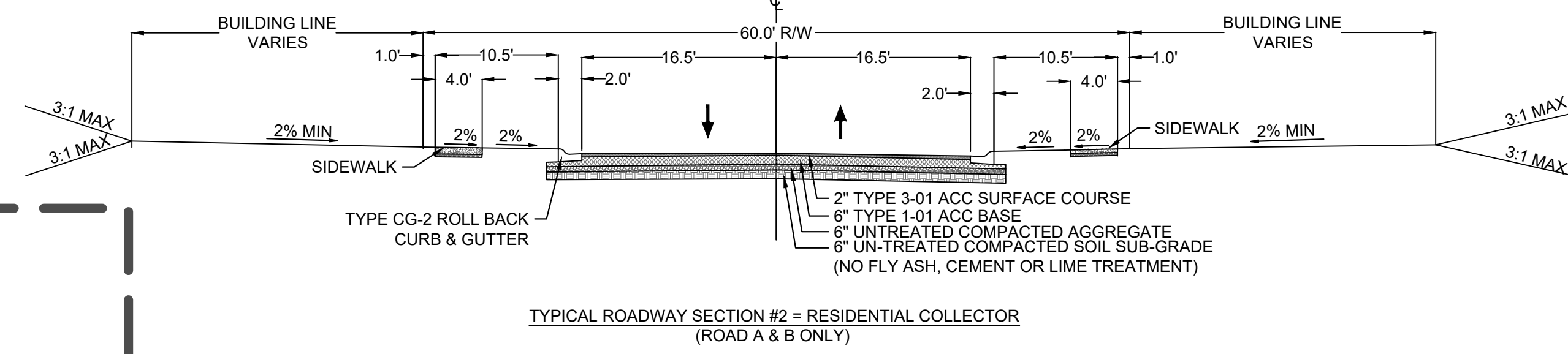
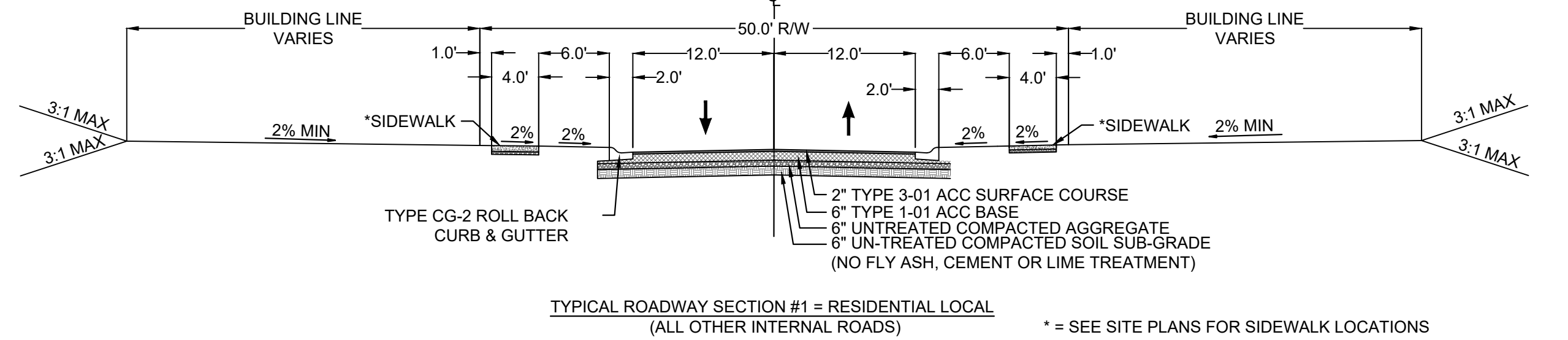
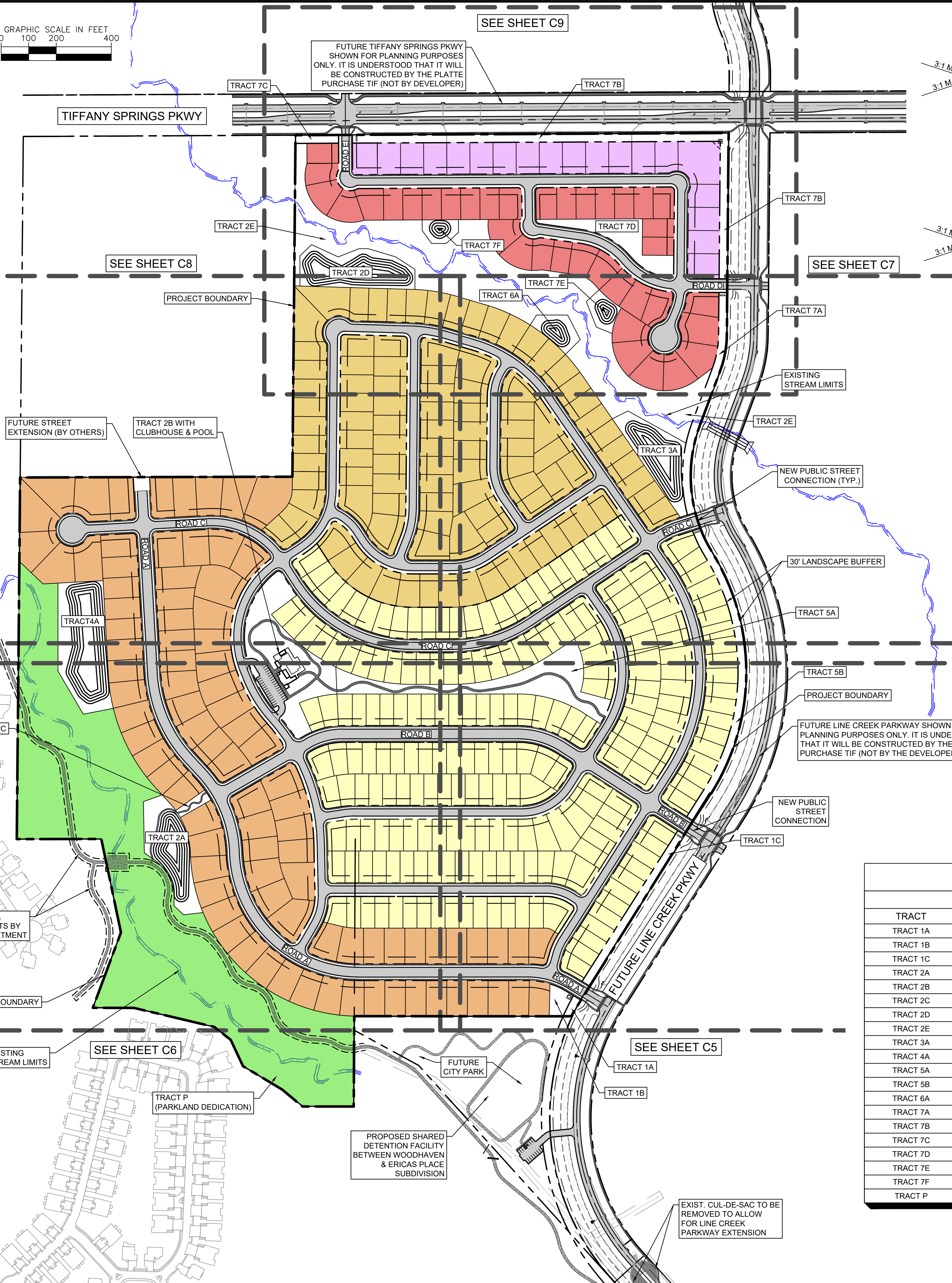
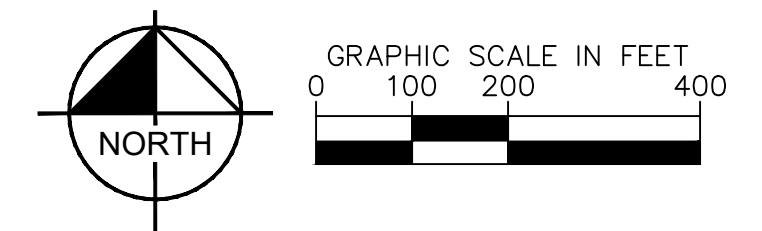
EXISTING
CONDITIONS

WOODHAVEN
MASTER PLANNED
DEVELOPMENT

KANSAS CITY, MO

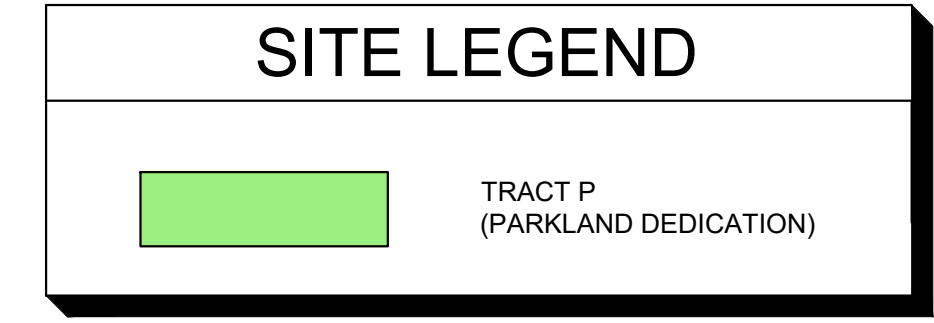
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C1	

Drawing name: K:\VNC\DEV\268030001\Woodhaven 1st Plat\2 Design\CAD\PlanSheets\WPD\Submittal\C2 - GENERAL LAYOUT.dwg
 GENERAL LAYOUT Dec 31, 2021 6:03pm by Joe Hurley
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LOT TYPE LEGEND

LOT TYPE	LOT COUNT	WIDTH	DEPTH	FRONT YARD	SIDE YARD	REAR YARD
NEW CONCEPT	90	75'	130'	25'	6'	20'
LEGEND	221	50'	115'	25'	5'	20'
CLASSIC	101	66'	121'	25'	5'	20'
HYBRID	37	66'	115'	25'	5'	20'
TWINS (DUPLIX LOTS)	19	84'	115'	25'	8.5'	20'
TOTAL LOT COUNT	468					



TRACT DATA TABLE

TRACT	SQUARE FEET	ACRES	USE
TRACT 1A	2,267.9	0.05	LANDSCAPE BUFFER
TRACT 1B	7,130.0	0.16	PRIVATE OPEN SPACE
TRACT 1C	19,112.7	0.44	LANDSCAPE BUFFER
TRACT 2A	49,136.9	1.13	STORMWATER MANAGEMENT
TRACT 2B	97,430.3	2.24	PRIVATE OPEN SPACE
TRACT 2C	4,774.2	0.11	PRIVATE OPEN SPACE
TRACT 2D	51,965.9	1.19	STORMWATER MANAGEMENT
TRACT 2E	283,962.6	6.52	PRIVATE OPEN SPACE
TRACT 3A	44,046.7	1.01	STORMWATER MANAGEMENT
TRACT 4A	77,479.7	1.78	STORMWATER MANAGEMENT
TRACT 5A	77,808.5	1.79	PRIVATE OPEN SPACE
TRACT 5B	33,779.3	0.78	LANDSCAPE BUFFER
TRACT 6A	14,683.9	0.34	STORMWATER MANAGEMENT
TRACT 7A	24,756.4	0.57	LANDSCAPE BUFFER
TRACT 7B	55,966.6	1.28	LANDSCAPE BUFFER
TRACT 7C	4,695.7	0.11	LANDSCAPE BUFFER
TRACT 7D	31,871.7	0.73	PRIVATE OPEN SPACE
TRACT 7E	11,227.9	0.26	STORMWATER MANAGEMENT
TRACT 7F	9,599.1	0.22	STORMWATER MANAGEMENT
TRACT P	640,291.0	14.70	PARKLAND DEDICATION

		Zoning	
Existing		AG-R, R7.5	
Proposed		MPD	
B		Total Land Area	
Existing	151.94	Acres	
C		Right-of-way	
Existing	0.00	Acres	
Proposed	25.89	Acres	
D		Net Land Area	
Existing	151.94	Acres	
Proposed	126.05	Acres	
E		Proposed Uses	
Single-Family & Multi-Family			
F		Max. Structure Height & # of floors	
Number of Floors		2	
Structure Height		40 FT.	
G		Gross Floor Area & # of Units	
Gross Area per Building		N/A	
Units per Building		N/A	
# of Lots		468	
H		Building Coverage & FAR	
Coverage		N/A	
FAR		N/A	
I		Density	
Gross Density (lots/land area)		3.08	
Net Density (lots/ net land area)		3.71	
J		Vehicle Parking	
Stalls Required		N/A	
Stalls Provided		N/A	
K		Bike Parking	
Stalls Required		N/A	
Stalls Provided		N/A	
L		Timeline	
Estimated Start Date		8/1/2022	
Estimated Completion Date		12/31/2032	
M		Requested Deviations	
SEE SHEET C0			
N		Parkland Dedication	
Calculated base on 3.7 persons per lot			
		# of Lots = 468	
		Total People = 1731.6	
		Acres per Person = 0.006	
		Acres Required = 10.39	
Provided Open Space	Tract P		14.70
	Tract 2B		2.24
	Tract 5A		1.79
	Total Provided =		18.73
Open Space Acres Shortage			
Fee in Lieu of (\$ per acre)		\$48,801.37	
Parkland Fees =		---	

DATE
12/31/2021

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WOODHAVEN
GENERAL LAYOUT

MASTER PLANNED DEVELOPMENT
KANSAS CITY, MO

ORIGINAL ISSUE: 11-24-2021
KHA PROJECT NO. 268030001

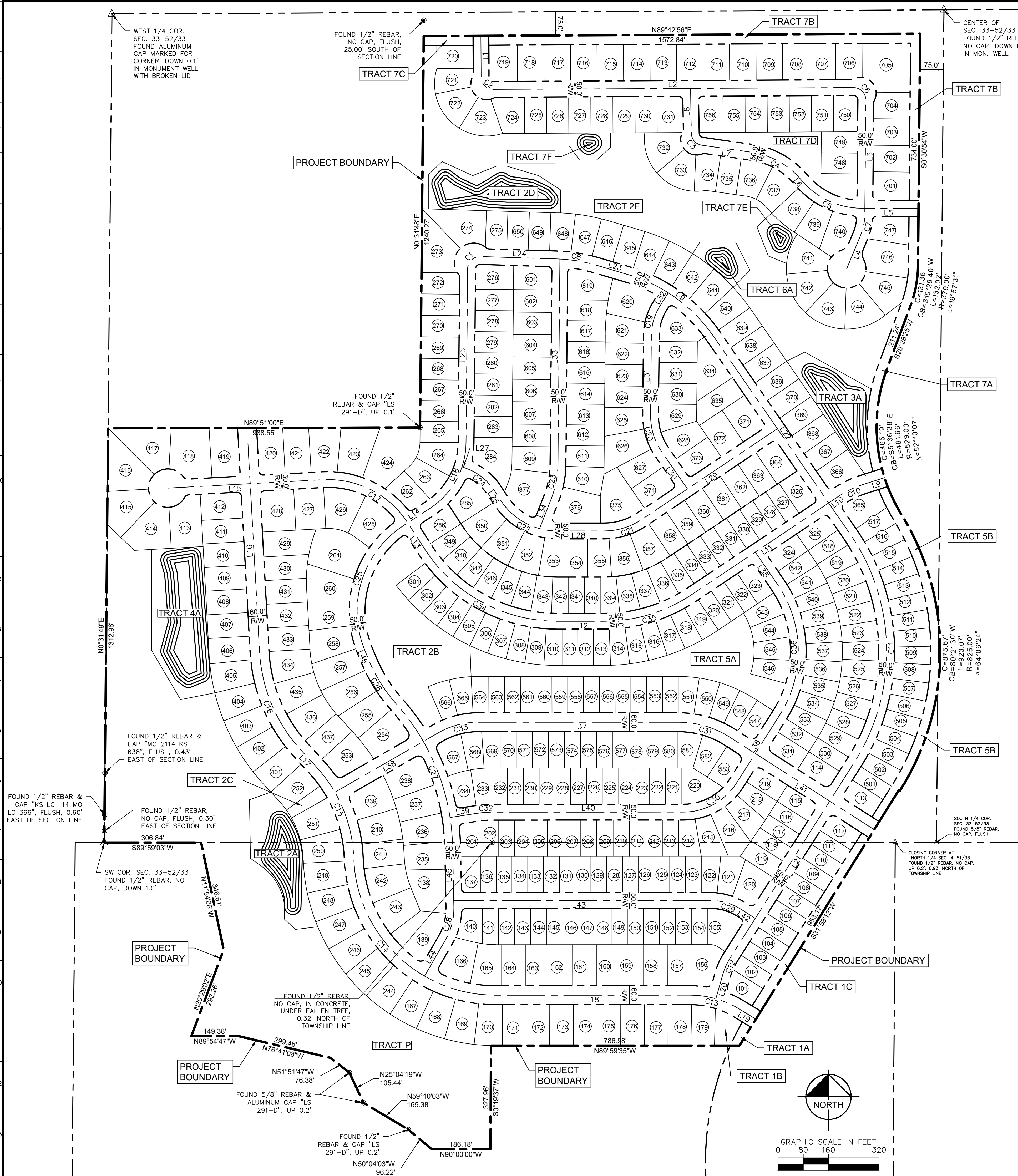
SHEET NUMBER
C2

PRELIMINARY PLAT OF WOODHAVEN SUBDIVISION

PART OF THE SOUTH HALF OF SECTION 33, TOWNSHIP 52 NORTH,
RANGE 33 WEST AND A PORTION OF THE NORTHWEST QUARTER
OF SECTION 4, TOWNSHIP 51N, RANGE 33W IN THE
CITY OF KANSAS CITY, PLATTE COUNTY, MISSOURI

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	39.00'	62.08'	N46°07'53"E	55.73'	91°12'10"	39.83'
C2	39.00'	61.29'	S45°15'50"E	55.17'	90°02'29"	39.03'
C3	39.00'	55.15'	N41°24'12"W	50.67'	81°01'17"	33.32'
C4	250.00'	178.89'	N61°24'55"W	175.09'	40°59'51"	93.47'
C5	250.00'	212.75'	N65°17'43"W	206.38'	48°45'27"	113.29'
C6	39.00'	61.81'	S44°53'05"E	55.54'	90°47'58"	39.55'
C7	181.00'	69.72'	S11°33'00"W	69.29'	22°04'11"	35.30'
C8	500.00'	127.97'	S80°56'06"E	127.62'	14°39'51"	64.34'
C9	500.00'	339.93'	S54°07'34"E	333.42'	38°57'12"	176.83'
C10	300.00'	84.11'	S64°14'52"W	83.84'	16°03'50"	42.33'
C11	655.00'	766.64'	S17°07'08"E	723.62'	67°03'40"	434.04'
C12	200.00'	57.78'	S24°08'09"W	57.57'	16°33'05"	29.09'
C13	300.00'	164.15'	N74°20'25"W	162.11'	31°21'03"	84.19'
C14	450.00'	691.46'	N45°59'47"W	625.41'	88°02'20"	434.86'
C15	450.00'	319.44'	N22°18'48"W	312.78'	40°40'23"	166.79'
C16	500.00'	344.20'	N22°55'43"W	337.45'	39°26'33"	179.24'
C17	300.00'	315.71'	N62°56'50"W	301.35'	60°17'49"	174.24'
C18	250.00'	246.60'	N28°47'18"E	236.72'	56°31'00"	134.38'
C19	181.00'	100.77'	N16°28'45"E	99.47'	31°53'54"	51.73'
C20	200.00'	122.80'	N17°03'35"W	120.88'	35°10'46"	63.40'
C21	214.00'	126.13'	S73°06'00"W	124.31'	33°46'07"	64.95'
C22	214.00'	213.71'	N61°24'26"W	204.94'	57°13'01"	116.72'
C23	300.00'	109.26'	N10°57'48"E	108.65'	20°52'00"	55.24'
C24	181.00'	122.86'	N52°14'38"W	120.51'	38°53'24"	63.90'
C25	325.00'	449.95'	N17°23'05"E	414.87'	79°19'27"	269.46'
C26	500.00'	169.68'	N31°59'56"W	168.86'	19°26'37"	85.66'
C27	700.00'	495.22'	N21°27'14"W	484.95'	40°32'03"	258.48'
C28	200.00'	109.07'	N14°26'11"E	107.72'	31°14'47"	55.93'
C29	181.00'	103.14'	N73°41'31"W	101.75'	32°38'51"	53.01'
C30	200.00'	200.97'	N61°11'53"E	192.62'	57°34'22"	109.89'
C31	300.00'	170.94'	N73°41'31"W	168.64'	32°38'51"	87.86'
C32	300.00'	46.07'	N85°35'04"E	46.03'	8°47'58"	23.08'
C33	250.00'	130.38'	S75°02'39"W	128.91'	29°52'50"	66.71'
C34	500.00'	499.31'	N61°24'26"W	478.82'	57°13'01"	272.70'
C35	500.00'	294.69'	S73°06'00"W	290.44'	33°46'07"	151.76'
C36	375.00'	438.91'	N17°07'08"W	414.29'	67°03'40"	248.49'

LINE TABLE		
LINE	LENGTH	BEARING
L1	130.97'	S0°14'35.47"E
L2	1140.68'	N89°42'55.69"E
L3	362.30'	S0°30'54.01"W
L4	113.23'	S22°35'05.41"W
L5	181.10'	N89°40'26.60"W
L6	9.65'	N40°54'59.26"W
L7	159.47'	N81°54'50.59"W
L8	141.99'	N0°53'33.39"W
L9	72.10'	S72°16'46.65"W
L10	39.32'	S56°12'56.65"W
L11	521.99'	S56°12'56.65"W
L12	148.24'	S89°59'03.46"W
L13	97.84'	N32°47'55.78"W
L14	98.88'	N57°02'48.55"E
L15	492.92'	S66°54'15.52"W
L16	662.01'	N1°22'57.79"W
L17	70.88'	N42°38'59.23"W
L18	615.55'	S89°59'03.46"W
L19	59.14'	N58°39'53.52"W
L20	80.43'	S15°51'36.94"W
L21	734.33'	S32°24'41.91"W
L22	760.97'	S34°38'58.13"E
L23	105.14'	S73°36'10.56"E
L24	241.80'	S88°16'01.57"E
L25	551.59'	N0°31'48.09"E
L26	33.94'	N32°47'55.78"W
L27	8.55'	N71°41'19.91"W
L28	148.24'	S89°59'03.46"W
L29	517.68'	S56°12'56.65"W
L30	142.66'	N34°38'58.13"W
L31	253.13'	N0°31'48.09"E
L32	47.45'	N32°25'42.35"E
L33	651.26'	N0°31'48.09"E
L34	103.51'	N21°23'48.08"E
L35	123.03'	N34°38'58.13"W
L36	255.51'	N32°24'41.91"E
L37	636.76'	S89°59'03.46"W
L38	378.13'	S60°06'13.93"W
L39	87.39'	N81°11'04.97"E
L40	607.01'	N89°59'03.46"E
L41	546.14'	N57°22'05.12"W
L42	52.11'	N57°22'05.12"W
L43	814.06'	S89°59'03.46"W
L44	131.98'	N30°03'34.34"E
L45	191.25'	N1°11'12.30"W
L46	30.66'	N22°16'38.09"W



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PRELIMINARY PLAT

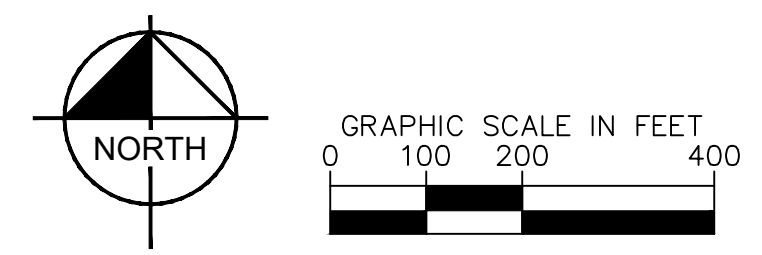
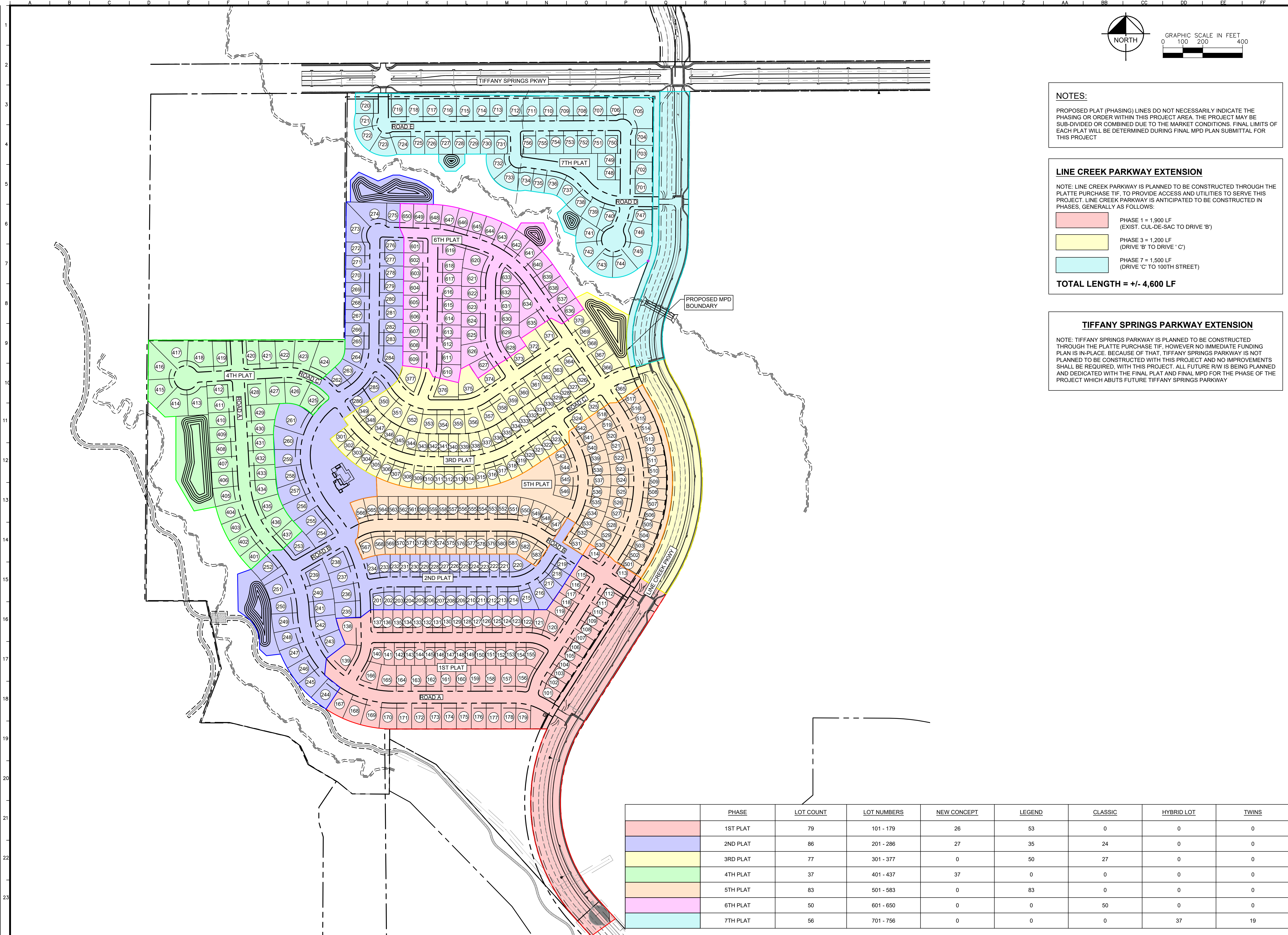
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 KANSAS CITY, MO

ORIGINAL ISSUE: 11-24-2021
 KHA PROJECT NO. 268030001
 SHEET NUMBER C3

REVISIONS:
 NO. DATE BY

Drawing name: K:\KNC\DEV\268030001_Woodhaven 1st Plat\2 Design\CAD\PlanSheets\WPD\Submittal\C3 - PRELIMINARY PLAT.dwg
 Date: 31 Dec 2021 6:20pm
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Drawing name: C:\Users\Joe.Hurley\Documents\Work Files\268030001\Woodhaven 1st Plat\2 Design\CAD\Plots\Sheets\MPD Submittal\C4 - PHASING PLAN.dwg C4 PHASING PLAN Dec 31, 2021 6:20pm by Joe.Hurley
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NOTES:
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LINE CREEK PARKWAY EXTENSION
 NOTE: LINE CREEK PARKWAY IS PLANNED TO BE CONSTRUCTED THROUGH THE PLATTE PURCHASE TIF, TO PROVIDE ACCESS AND UTILITIES TO SERVE THIS PROJECT. LINE CREEK PARKWAY IS ANTICIPATED TO BE CONSTRUCTED IN PHASES, GENERALLY AS FOLLOWS:

- PHASE 1 = 1,900 LF (EXIST. CUL-DE-SAC TO DRIVE 'B')
- PHASE 3 = 1,200 LF (DRIVE 'B' TO DRIVE 'C')
- PHASE 7 = 1,500 LF (DRIVE 'C' TO 100TH STREET)

TOTAL LENGTH = +/- 4,600 LF

TIFFANY SPRINGS PARKWAY EXTENSION
 NOTE: TIFFANY SPRINGS PARKWAY IS PLANNED TO BE CONSTRUCTED THROUGH THE PLATTE PURCHASE TIF, HOWEVER NO IMMEDIATE FUNDING PLAN IS IN-PLACE. BECAUSE OF THAT, TIFFANY SPRINGS PARKWAY IS NOT PLANNED TO BE CONSTRUCTED WITH THIS PROJECT AND NO IMPROVEMENTS SHALL BE REQUIRED, WITH THIS PROJECT. ALL FUTURE R/W IS BEING PLANNED AND DEDICATED WITH THE FINAL PLAT AND FINAL MPD FOR THE PHASE OF THE PROJECT WHICH ABUTS FUTURE TIFFANY SPRINGS PARKWAY

	PHASE	LOT COUNT	LOT NUMBERS	NEW CONCEPT	LEGEND	CLASSIC	HYBRID LOT	TWINS
	1ST PLAT	79	101 - 179	26	53	0	0	0
	2ND PLAT	86	201 - 286	27	35	24	0	0
	3RD PLAT	77	301 - 377	0	50	27	0	0
	4TH PLAT	37	401 - 437	37	0	0	0	0
	5TH PLAT	83	501 - 583	0	83	0	0	0
	6TH PLAT	50	601 - 650	0	0	50	0	0
	7TH PLAT	56	701 - 756	0	0	0	37	19

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PHASING PLAN

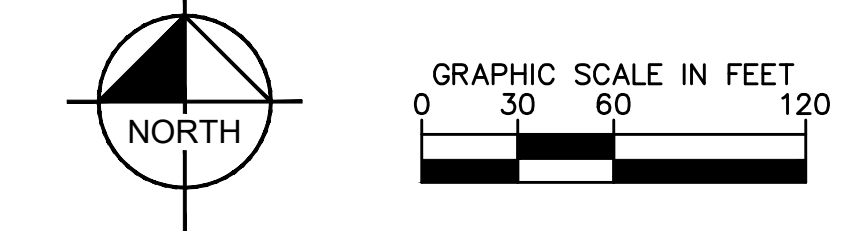
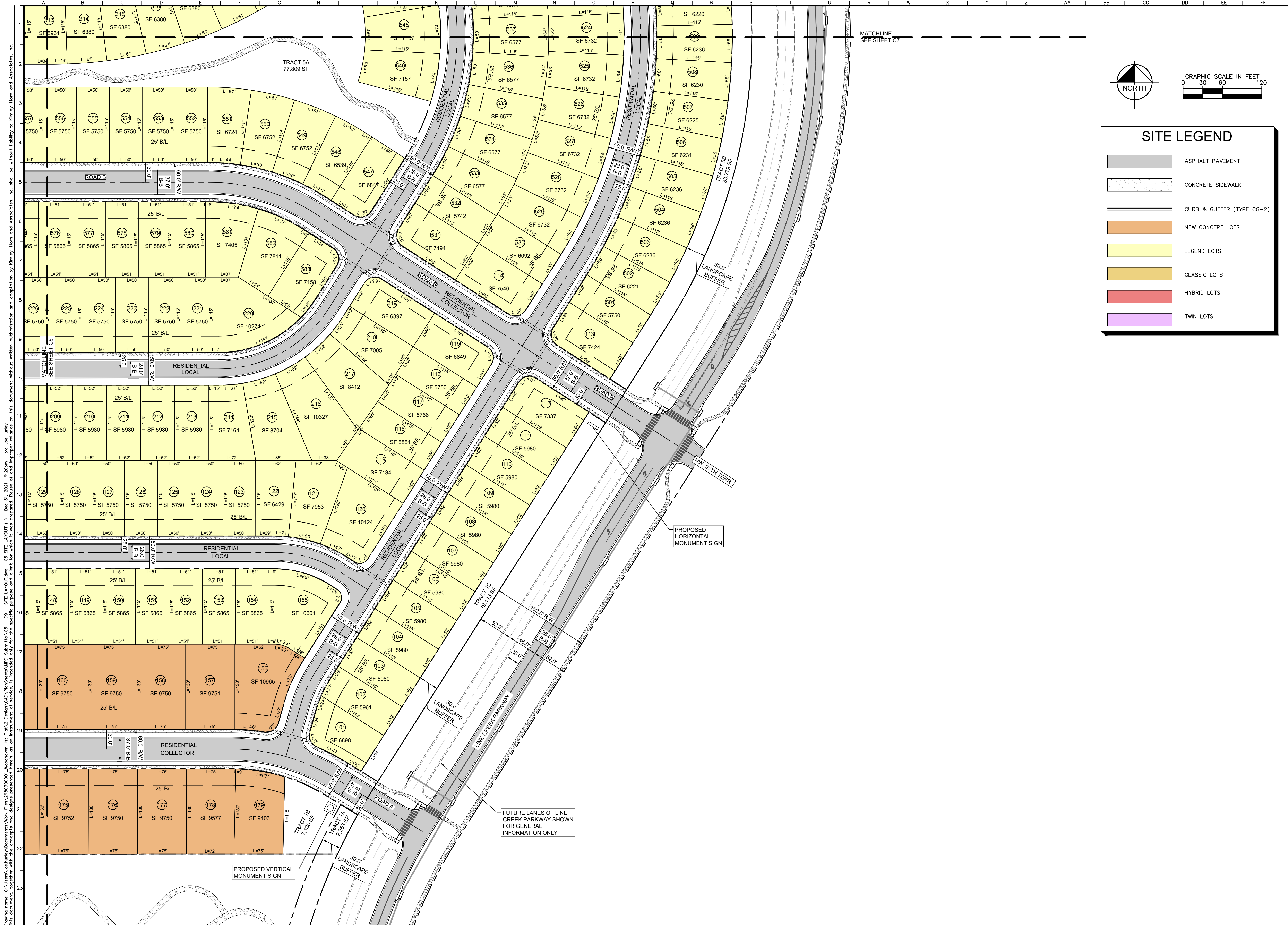
WOODHAVEN
 MASTER PLANNED
 DEVELOPMENT
 KANSAS CITY, MO

ORIGINAL ISSUE:
 11-24-2021

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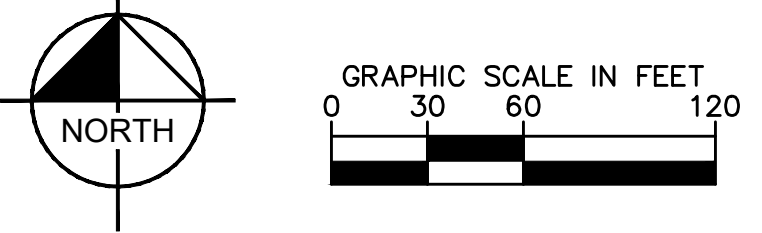
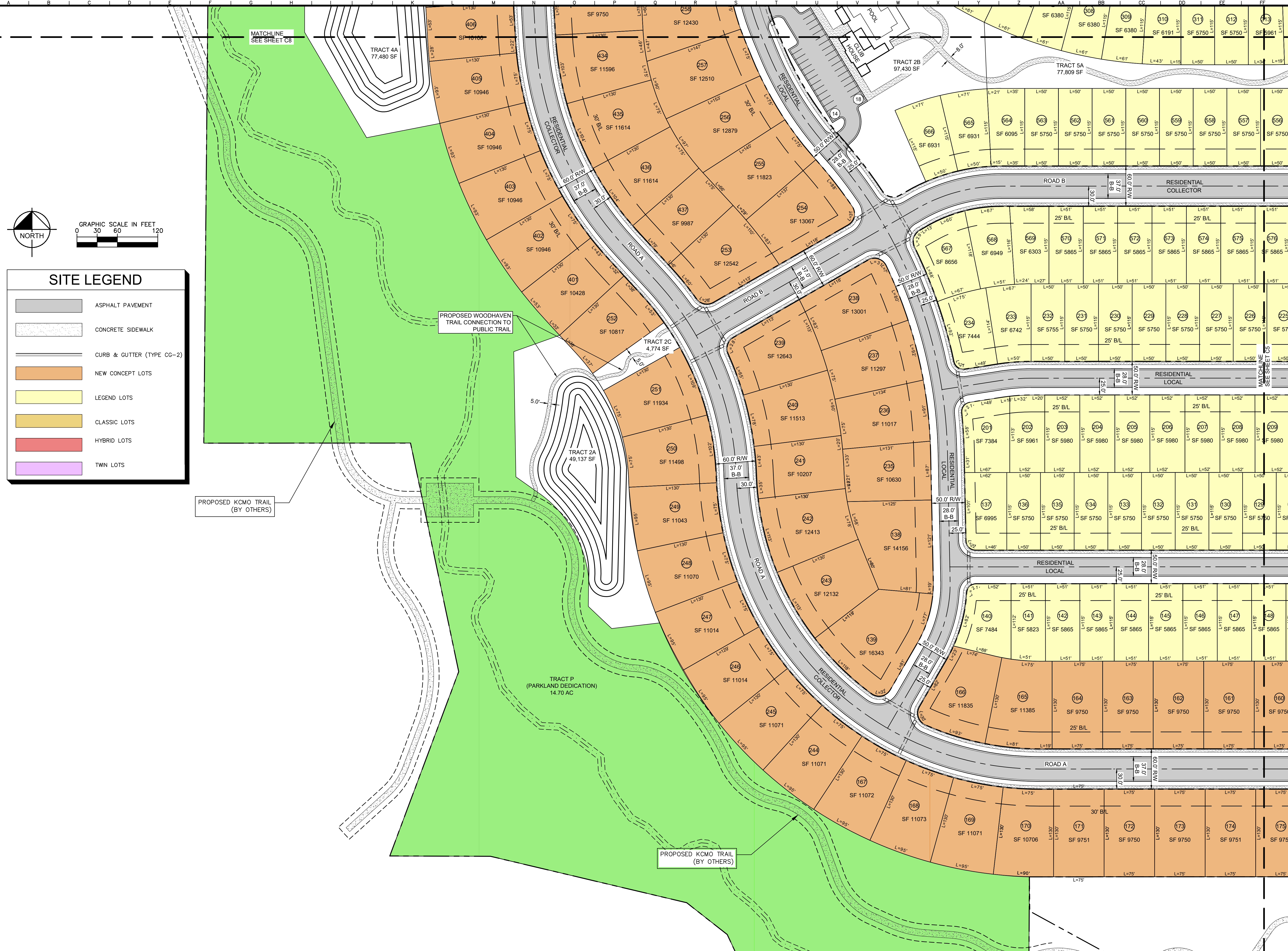


SITE LEGEND	
	ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CURB & GUTTER (TYPE CG-2)
	NEW CONCEPT LOTS
	LEGEND LOTS
	CLASSIC LOTS
	HYBRID LOTS
	TWIN LOTS

Drawing name: C:\Users\joe-hurley\Documents\Work\268030001\Woodhaven 1st Pick\2 Design\CAD\Drawings\MPD Submittal\C5 - C9 - SITE LAYOUT.dwg C5 SITE LAYOUT (1) Dec 31, 2021 8:20pm by Joe Hurley
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SITE LAYOUT (1)	
WOODHAVEN MASTER PLANNED DEVELOPMENT KANSAS CITY, MO	
ORIGINAL ISSUE: 11-24-2021 KHA PROJECT NO. 268030001 SHEET NUMBER	
C5	

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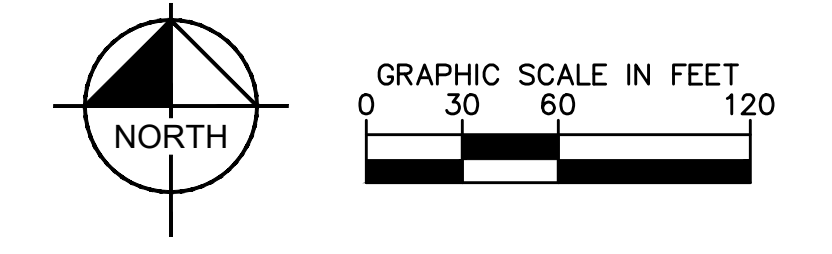
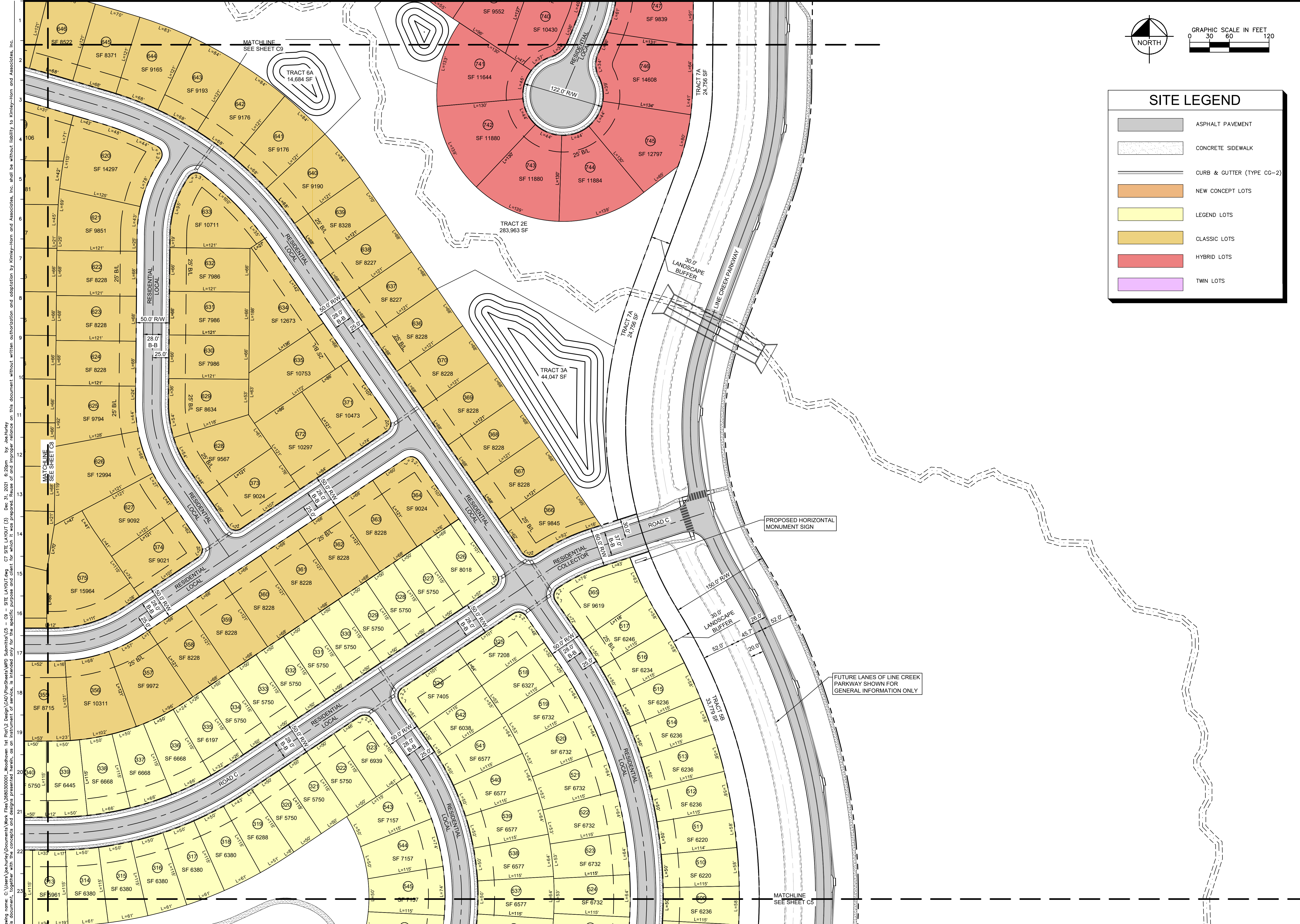


SITE LEGEND	
	ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CURB & GUTTER (TYPE CG-2)
	NEW CONCEPT LOTS
	LEGEND LOTS
	CLASSIC LOTS
	HYBRID LOTS
	TWIN LOTS

PROPOSED KCMO TRAIL
(BY OTHERS)

PROPOSED WOODHAVEN TRAIL
CONNECTION TO PUBLIC TRAIL

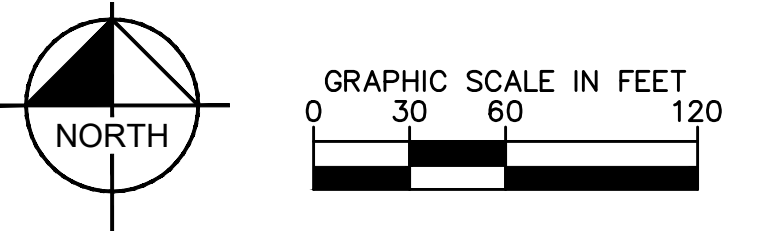
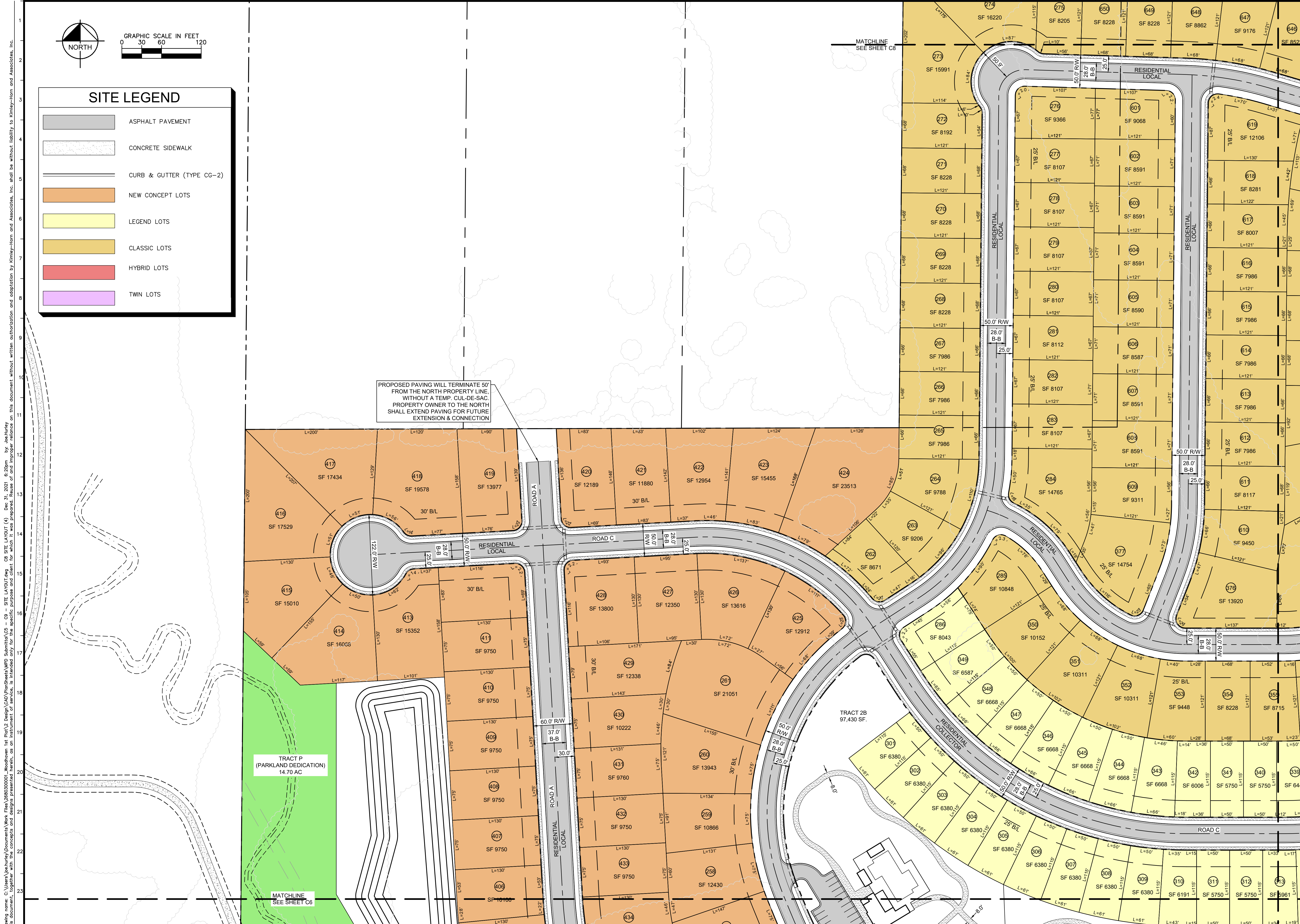
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SITE LEGEND	
	ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CURB & GUTTER (TYPE CG-2)
	NEW CONCEPT LOTS
	LEGEND LOTS
	CLASSIC LOTS
	HYBRID LOTS
	TWN LOTS

Drawing name: C:\Users\joe.hurley\Documents\Work Files\268030001\Woodhaven 1st Pick\2 Design\CAD\PlanSheets\MPD Submittal\CS - C9 - SITE LAYOUT.dwg C7 SITE LAYOUT (3) Dec 31, 2021 6:20pm by Joe Hurley
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SCALE: AS NOTED	DESIGNED BY: AT	DRAWN BY: AT	CHECKED BY: MK	NO. 12/31/2021
MPD SUBMITTAL NOT FOR CONSTRUCTION				
WOODHAVEN MASTER PLANNED DEVELOPMENT				
SITE LAYOUT (3)				
KANSAS CITY, MO				
ORIGINAL ISSUE: 11-24-2021				
KHA PROJECT NO. 268030001				
SHEET NUMBER				
C7				



SITE LEGEND

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CURB & GUTTER (TYPE CG-2)
- NEW CONCEPT LOTS
- LEGEND LOTS
- CLASSIC LOTS
- HYBRID LOTS
- TWIN LOTS

PROPOSED PAVING WILL TERMINATE 50' FROM THE NORTH PROPERTY LINE, WITHOUT A TEMP. CUL-DE-SAC. PROPERTY OWNER TO THE NORTH SHALL EXTEND PAVING FOR FUTURE EXTENSION & CONNECTION

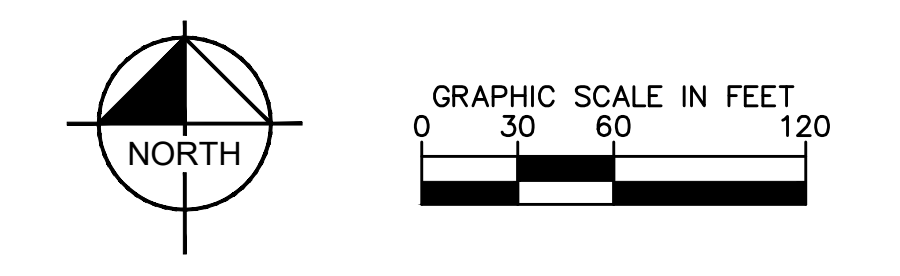
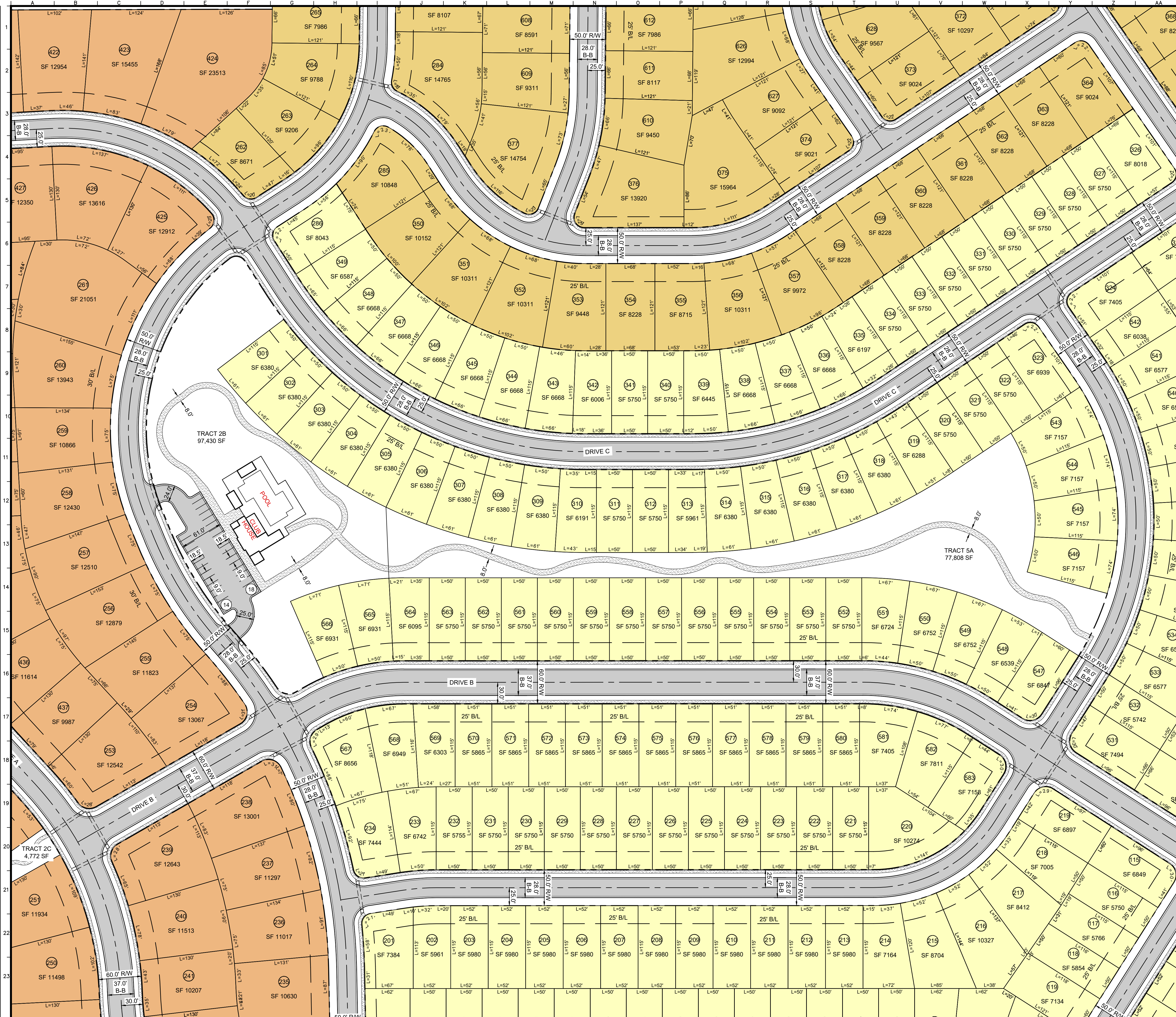
TRACT P (PARKLAND DEDICATION) 14.70 AC

TRACT 2B 97,430 SF.

Drawing name: C:\Users\joe.hurley\Documents\Work Files\268030001\Woodhaven 1st Pick\2 Design\CAD\PlanSheets\MPD Submittal\CS - C9 - SITE LAYOUT.dwg C8 SITE LAYOUT (4) Dec 31, 2021 8:20pm by Joe Hurley
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<p>WOODHAVEN MASTER PLANNED DEVELOPMENT</p>	
<p>SITE LAYOUT (4)</p>	
<p>ORIGINAL ISSUE: 11-24-2021 KHA PROJECT NO. 268030001 SHEET NUMBER</p>	
<p>C8</p>	
<p>MPD CITY RESUBMITTAL</p>	<p>REVISIONS</p>
<p>NO.</p>	<p>DATE</p>
<p>12/31/2021</p>	<p>JH</p>

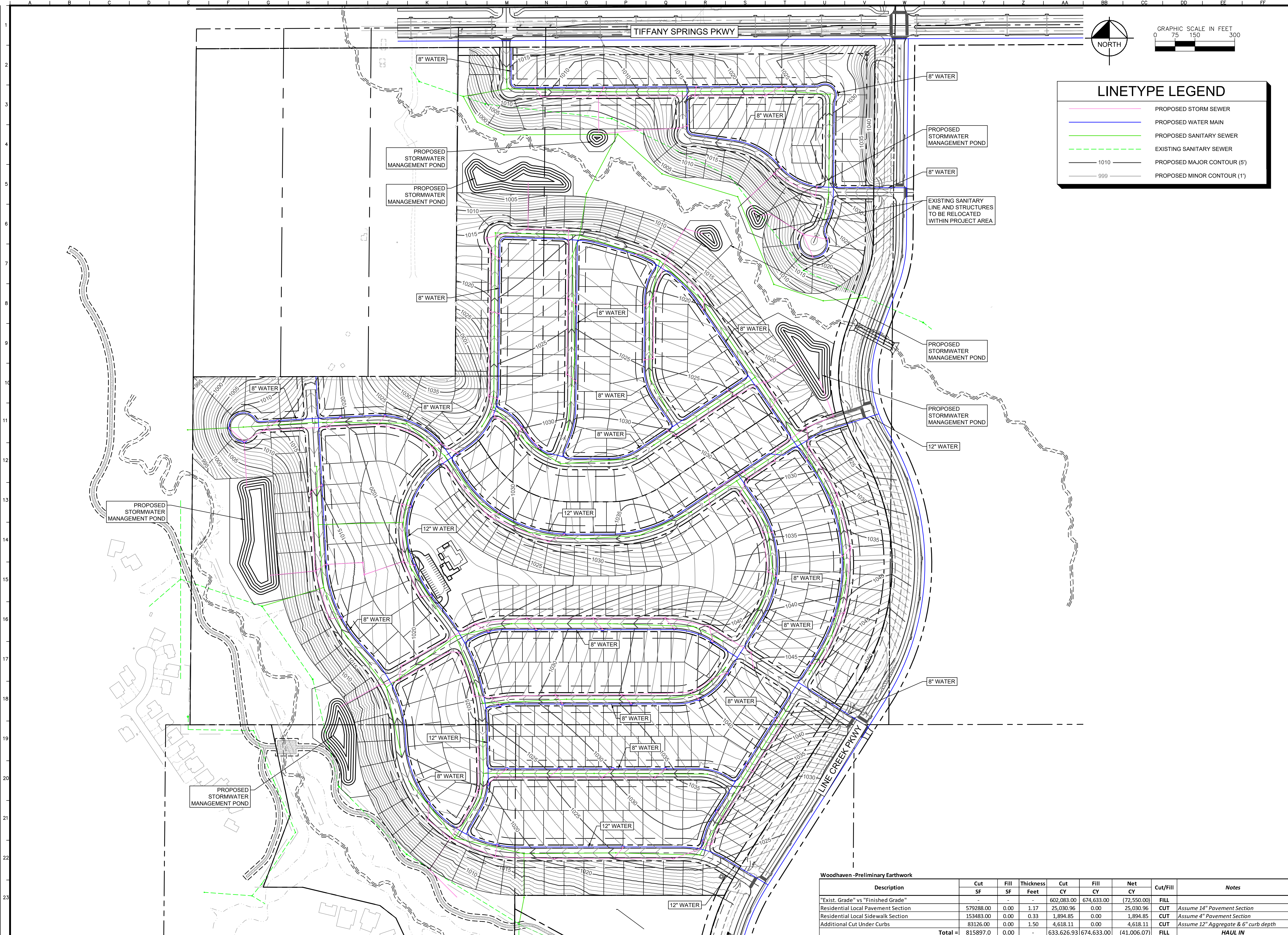
Drawing name: C:\Users\joe-hurley\Documents\Work\268030001\Woodhaven 1st Pick\2 Design\CAD\Drawings\MPD Submittal\C10 - AMENITY LAYOUT Dec 31, 2021 6:20pm by JoeHurley
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SITE LEGEND	
	ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CURB & GUTTER (TYPE CG-2)
	NEW CONCEPT LOTS
	LEGEND LOTS
	CLASSIC LOTS
	HYBRID LOTS
	TWIN LOTS

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MPD SUBMITTAL NOT FOR CONSTRUCTION							
WOODHAVEN MASTER PLANNED DEVELOPMENT AMENITY LAYOUT							
KANSAS CITY, MO							
ORIGINAL ISSUE: 11-24-2021							
KHA PROJECT NO. 268030001							
SHEET NUMBER							
C10							

Drawing name: C:\Users\joe.hurley\Documents\Work Files\268030001\Woodhaven 1st Pk\2 Design\CAD\PlanSheets\MPD Submittal\C11 GRADING & UTILITY PLAN Dec 31, 2021 8:20pm by Joe Hurley
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LINETYPE LEGEND

—	PROPOSED STORM SEWER
—	PROPOSED WATER MAIN
—	PROPOSED SANITARY SEWER
- - -	EXISTING SANITARY SEWER
— 1010	PROPOSED MAJOR CONTOUR (5')
— 999	PROPOSED MINOR CONTOUR (1')

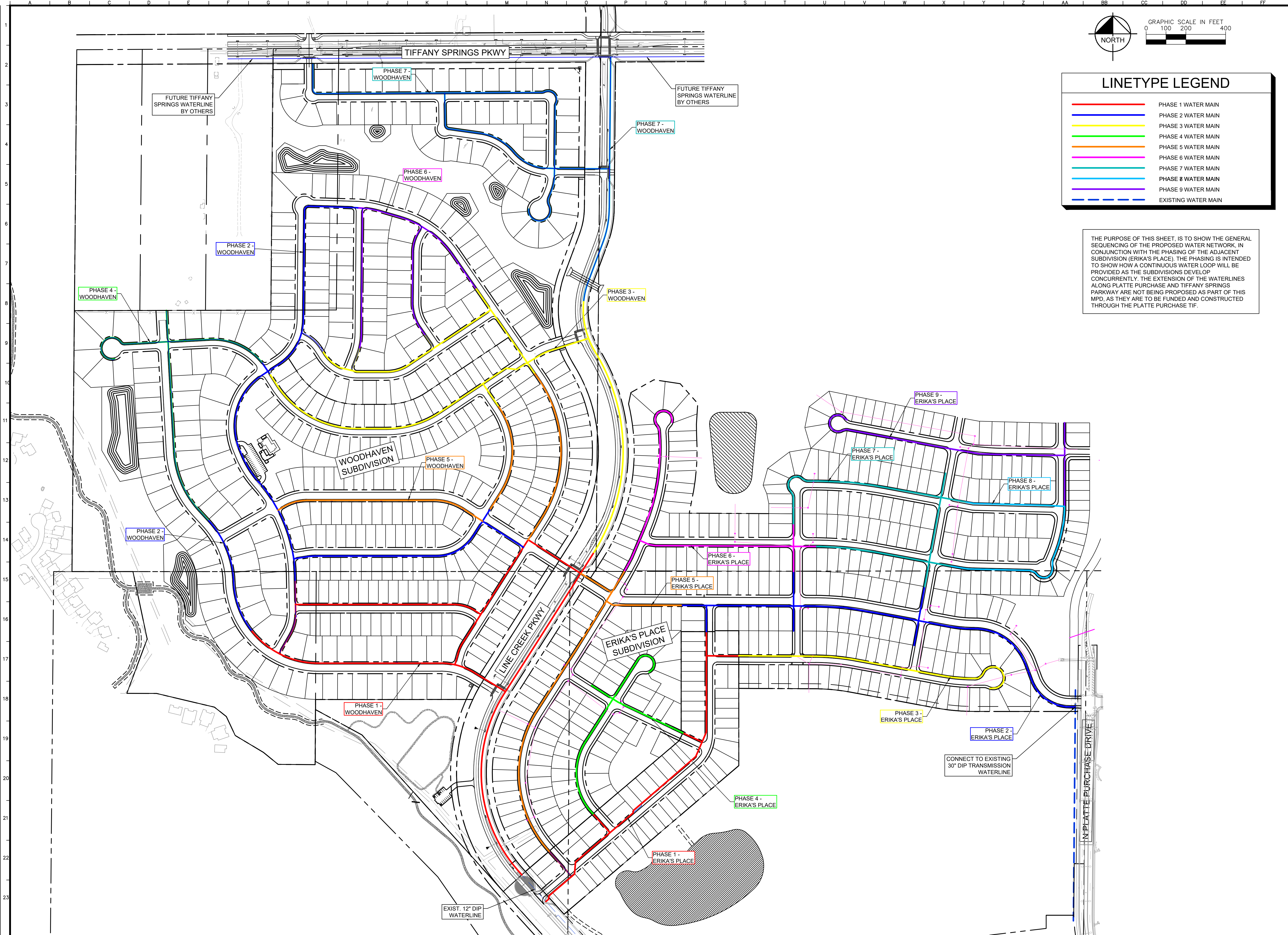
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SCALE: AS NOTED	DESIGNED BY: AT	DRAWN BY: AT	CHECKED BY: MK	REVISIONS No. DATE BY			
MPD SUBMITTAL NOT FOR CONSTRUCTION							
WOODHAVEN MASTER PLANNED DEVELOPMENT KANSAS CITY, MO							
GRADING & UTILITY PLAN							
ORIGINAL ISSUE: 11-24-2021 KHA PROJECT NO. 268030001 SHEET NUMBER							
C11							

Woodhaven -Preliminary Earthwork

Description	Cut		Fill		Net	Cut/Fill	Notes
	SF	CY	SF	CY			
"Exist. Grade" vs "Finished Grade"							
Residential Local Pavement Section	579288.00	0.00	1.17	25,030.96	602,083.00	674,633.00	FILL
Residential Local Sidewalk Section	153483.00	0.00	0.33	1,894.85	0.00	25,030.96	CUT
Additional Cut Under Curbs	83126.00	0.00	1.50	4,618.11	0.00	1,894.85	CUT
Total =	815897.0	0.00	-	633,626.93	674,633.00	(41,006.07)	FILL

HAUL IN

Drawing name: C:\Users\joe-hurley\Documents\Work Files\268030001\Woodhaven 1st Plat\2 Design\CAD\PlanSheets\MPD Submittal\C12 WATER MAIN PHASING PLAN.dwg C12 WATER MAIN PHASING PLAN Dec 31, 2021 6:20pm by Joe-Hurley
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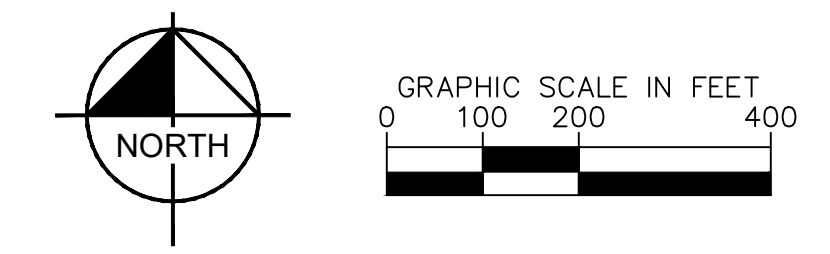
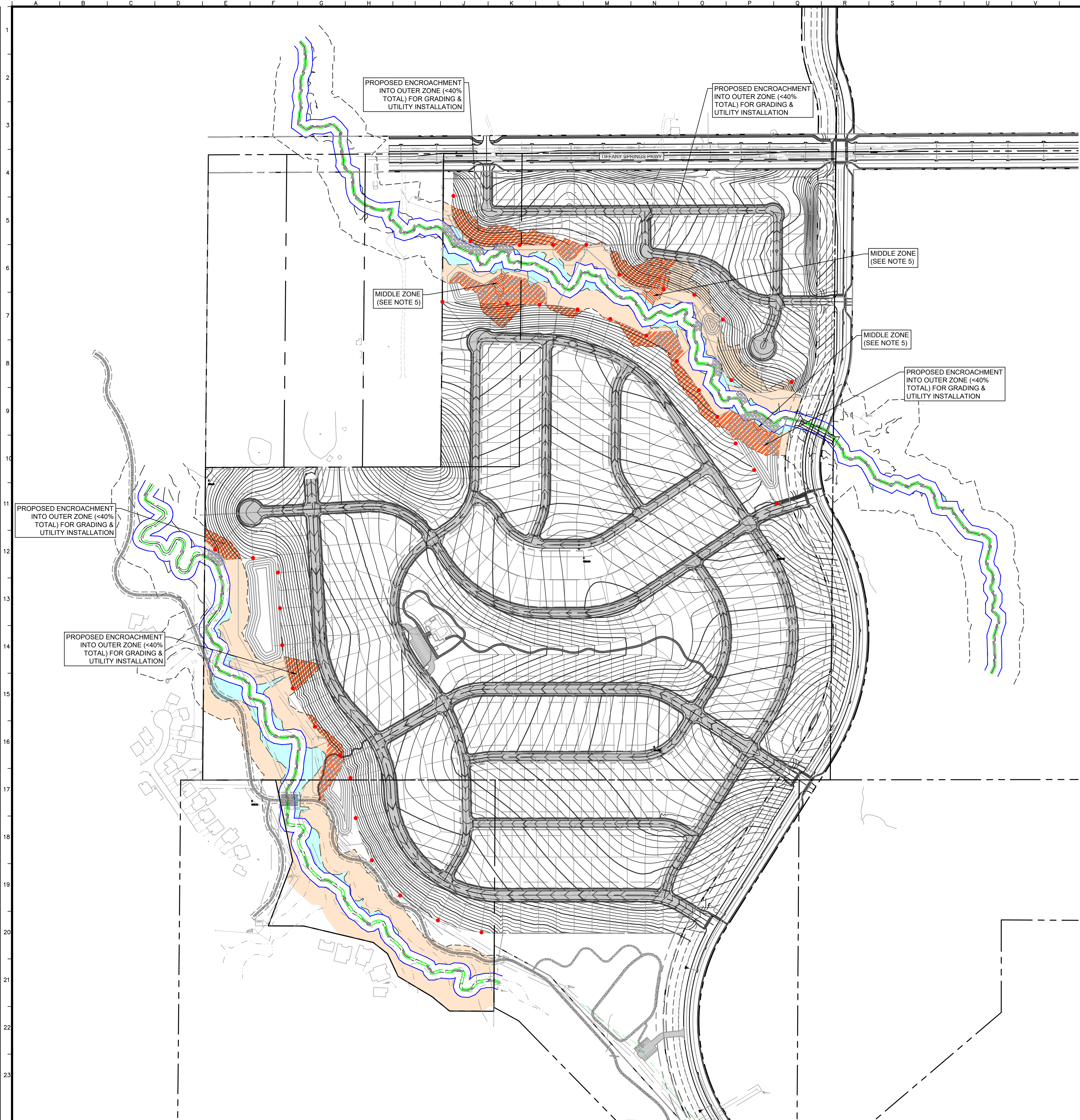
LINETYPE LEGEND

—	PHASE 1 WATER MAIN
—	PHASE 2 WATER MAIN
—	PHASE 3 WATER MAIN
—	PHASE 4 WATER MAIN
—	PHASE 5 WATER MAIN
—	PHASE 6 WATER MAIN
—	PHASE 7 WATER MAIN
—	PHASE 8 WATER MAIN
—	PHASE 9 WATER MAIN
- - -	EXISTING WATER MAIN

THE PURPOSE OF THIS SHEET, IS TO SHOW THE GENERAL SEQUENCING OF THE PROPOSED WATER NETWORK, IN CONJUNCTION WITH THE PHASING OF THE ADJACENT SUBDIVISION (ERIKA'S PLACE). THE PHASING IS INTENDED TO SHOW HOW A CONTINUOUS WATER LOOP WILL BE PROVIDED AS THE SUBDIVISIONS DEVELOP CONCURRENTLY. THE EXTENSION OF THE WATERLINES ALONG PLATTE PURCHASE AND TIFFANY SPRINGS PARKWAY ARE NOT BEING PROPOSED AS PART OF THIS MPD, AS THEY ARE TO BE FUNDED AND CONSTRUCTED THROUGH THE PLATTE PURCHASE TIF.

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<p style="font-weight: bold; font-size: small;">MPD SUBMITTAL NOT FOR CONSTRUCTION</p>	
<p style="font-weight: bold; font-size: small;">WOODHAVEN MASTER PLANNED DEVELOPMENT</p> <p style="font-size: x-small;">KANSAS CITY, MO</p>	
<p> ORIGINAL ISSUE: 11-24-2021 KHA PROJECT NO. 268030001 SHEET NUMBER </p>	
<p style="font-size: large; font-weight: bold;">C12</p>	

Drawing name: C:\Users\joe.hurley\Documents\Work Files\268030001\Woodhaven 1st Pk\2 Design\CAD\Drawings\MPD Submittal\C13 - C14 Stream Buffer Plan.dwg C13 Stream Buffer Plan Dec 31, 2021 7:17pm by Joe Hurley
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STREAM BUFFER LEGEND

	EXISTING STREAM CENTERLINE
	EXISTING STREAM BANK
	INNER ZONE
	STREAM SIDE ZONE LIMITS
	MIDDLE ZONE
	OUTER ZONE
	DISTURBED AREA WITHIN OUTER ZONE (<40%)
	MIDDLE ZONE TO BE REMOVED WITH FINAL STREAM BUFFER PLAN (NOT PART OF THE 100 YEAR CONVEYANCE)
	BOUNDARY MARKERS

NOTES

- TOPOGRAPHY SOURCE FOR SLOPE EVALUATION WAS ESTABLISHED FROM SURVEY DONE BY MINNEY SURVEY, INC ON NOVEMBER 18, 2021.
- MITIGATION IN ACCORDANCE WITH SEC. 88-415-03-C IS NOT REQUIRED.
- STREAM BUFFER BOUNDARY MARKERS:
 - BOUNDARY MARKERS MUST BE PUT IN PLACE CLEARLY MARKING REQUIRED STREAM BUFFERS BEFORE, DURING, AND AFTER CONSTRUCTION.
 - BOUNDARY MARKERS MUST BE INSTALLED AT THE INTERSECTION OF PRIVATE LOT LINES WITH THE OUTER EDGE OF THE PERMANENT OPEN SPACE BEFORE RECEIVING FINAL CITY APPROVAL OF PLANS FOR CLEARING, GRADING OR SEDIMENT AND EROSION CONTROL.
 - CONSTRUCTION FENCING MUST BE PLACED AT THE OUTER EDGE OF THE OUTER ZONE TO DELINEATE THE BUFFER. THE FENCING MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
 - PERMANENT SIGNS MUST BE PLACED AT THE EDGE OF THE PERMANENT OPEN SPACE AFTER CONSTRUCTION TO DENOTE THE BUFFER AS FOLLOWS:
 - FOR SINGLE-LOT DEVELOPMENTS, SIGNS MUST BE POSTED EVERY 100 FEET ALONG THE BOUNDARY OF THE PERMANENT OPEN SPACE.
 - FOR MULTIPLE LOTS LOCATED ALONG THE BUFFER, SIGNS MUST BE LOCATED AT THE INTERSECTION OF EVERY OTHER LOT LINE ALONG THE BOUNDARY OF THE PERMANENT OPEN SPACE.
 - THE SIGN FACE SHALL BE TWO SQUARE FEET IN AREA AND BE LOCATED 4 FOOT ABOVE FINAL GRADE. NO OTHER MESSAGE SHALL BE ON SIGN OR SIGN POST.
 - REQUIRED SIGNS MUST READ: "PROTECTED STREAM BUFFER DO NOT DISTURB".
 - SIGNS MUST BE MAINTAINED AND REMAIN LEGIBLE AT ALL TIMES.
- MIDDLE ZONE IS CALCULATED BASED ON THE EXISTING 100-YEAR CONVEYANCE AREA.
- MIDDLE ZONE TO BE REMOVED WITH FINAL STREAM BUFFER PLAN, BECAUSE THE AREA IS NOT USED FOR 100-YEAR CONVEYANCE (BACKWATER EFFECT)

CALCULATIONS:

NO MORE THAN 40% OF THE OUTER STREAM BUFFER OUTER LIMITS CAN BE DISTURBED BY CONSTRUCTION ACTIVITIES

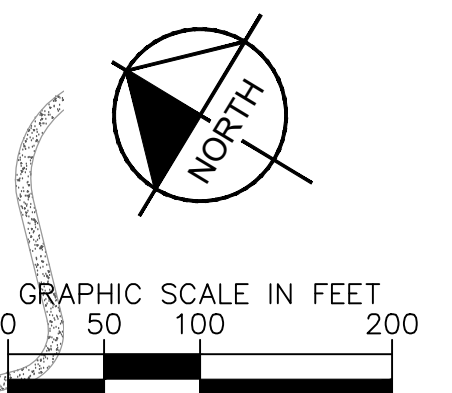
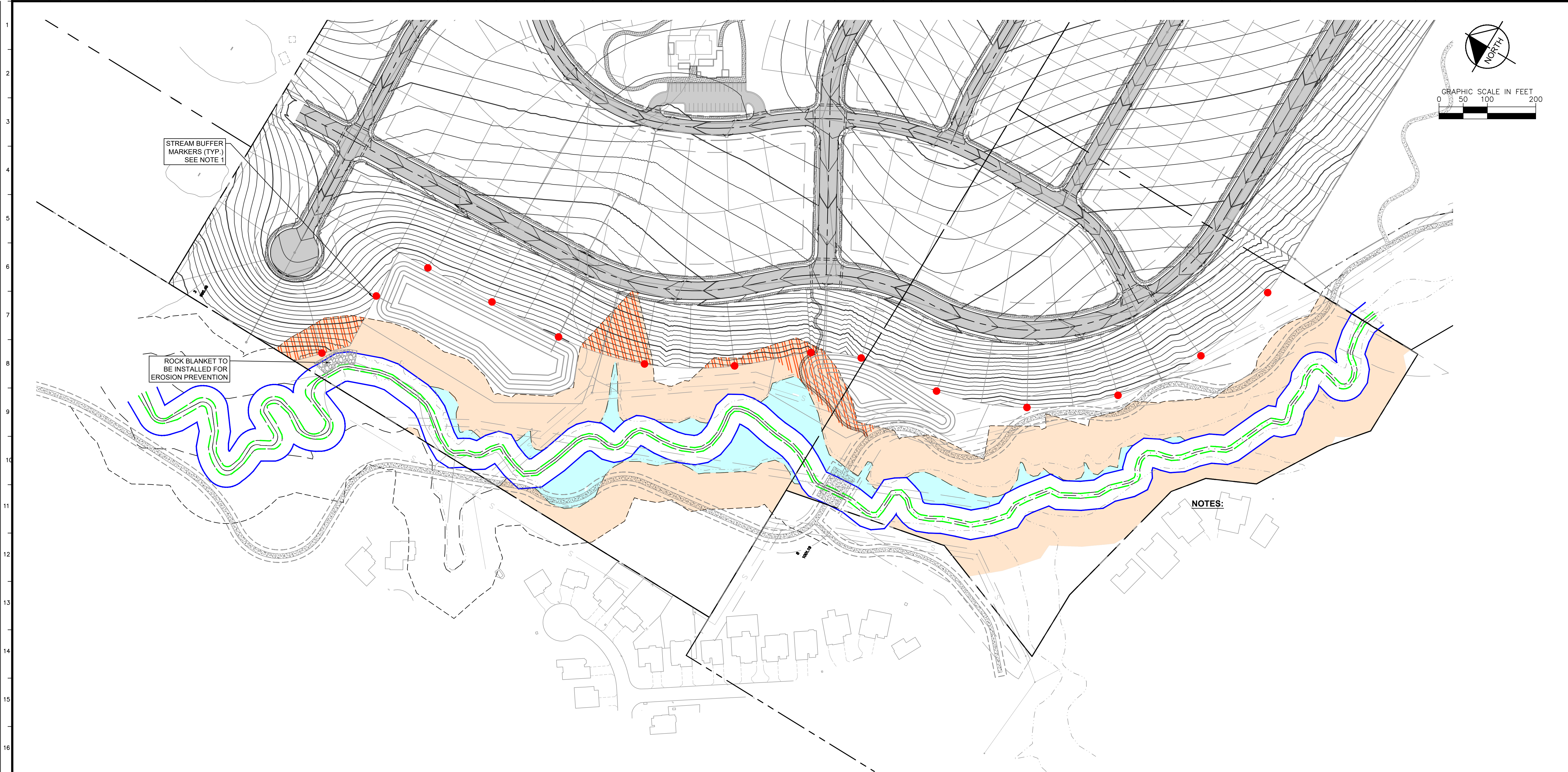
TOTAL STREAM BUFFER OUTER ZONE:	691,841 SF
TOTAL OUTER ZONE DISTURBED:	257,051 SF
TOTAL PERCENT OF OUTER ZONE DISTURBED:	37%

Final - Stream Buffer Plan Checklist	
a. Existing topography with at least 2-foot contour intervals	*
b. Field delineated, marked, and surveyed streams and wetlands	✓
c. Field delineated, marked, and surveyed mature riparian vegetation limits as described in 88-415-07-D.4	✓
d. Slopes of 15% or greater in each sub-drainage area based on a site topographic survey	✓
f. The location of proposed structures or activities	✓
g. The location of field delineated and surveyed stream buffer zones	✓
h. The total acreage of mature riparian vegetation and steep slopes in the outer zone	✓
i. The location and total acreage of proposed clearing and grading in the outer zone, and the percentage of proposed outer zone area to be cleared (if applicable in accordance with 88-415-03-C88-415-03-C)	✓
j. The limits and total acreage of proposed mitigation of outer zone vegetation and the percentage of outer zone area to be mitigated (if applicable in accordance with 88-415-07-C)	N/A

* = TO BE ADDED WITH FINAL MPD PLAN SUBMITTAL

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<p style="border: 1px solid black; padding: 5px; transform: rotate(-45deg);">MPD SUBMITTAL NOT FOR CONSTRUCTION</p>							
<p>WOODHAVEN MASTER PLANNED DEVELOPMENT</p> <p style="font-size: x-small;">KANSAS CITY, MO</p>							
<p>ORIGINAL ISSUE: 11-24-2021</p> <p>KHA PROJECT NO. 268030001</p> <p>SHEET NUMBER</p>							
<p style="font-size: large; font-weight: bold;">C13</p>							
<p style="font-size: x-small;">MPD CITY RESUBMITTAL</p>	<p style="font-size: x-small;">REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">No.</th> <th style="width: 45%;">DATE</th> <th style="width: 50%;">BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	DATE	BY			
No.	DATE	BY					

Drawing name: C:\Users\joe.hurley\Documents\Work Files\268030001\Woodhaven 1st Pk\2 Design\CAD\Drawings\MPD Submittal\C13 - C14 Stream Buffer Plan.dwg C14 ENLARGED STREAM BUFFER PLAN (SOUTH) Dec 31, 2021 7:19pm by: jehurley
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STREAM BUFFER MARKERS (TYP.) SEE NOTE 1

ROCK BLANKET TO BE INSTALLED FOR EROSION PREVENTION

NOTES:

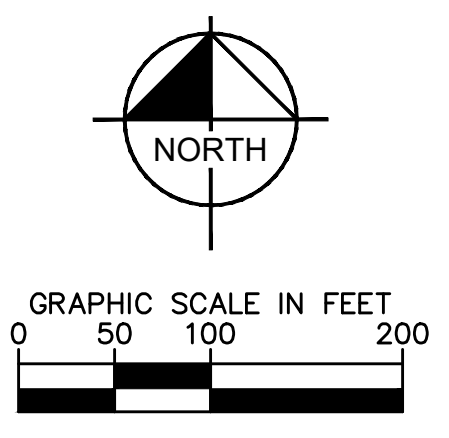
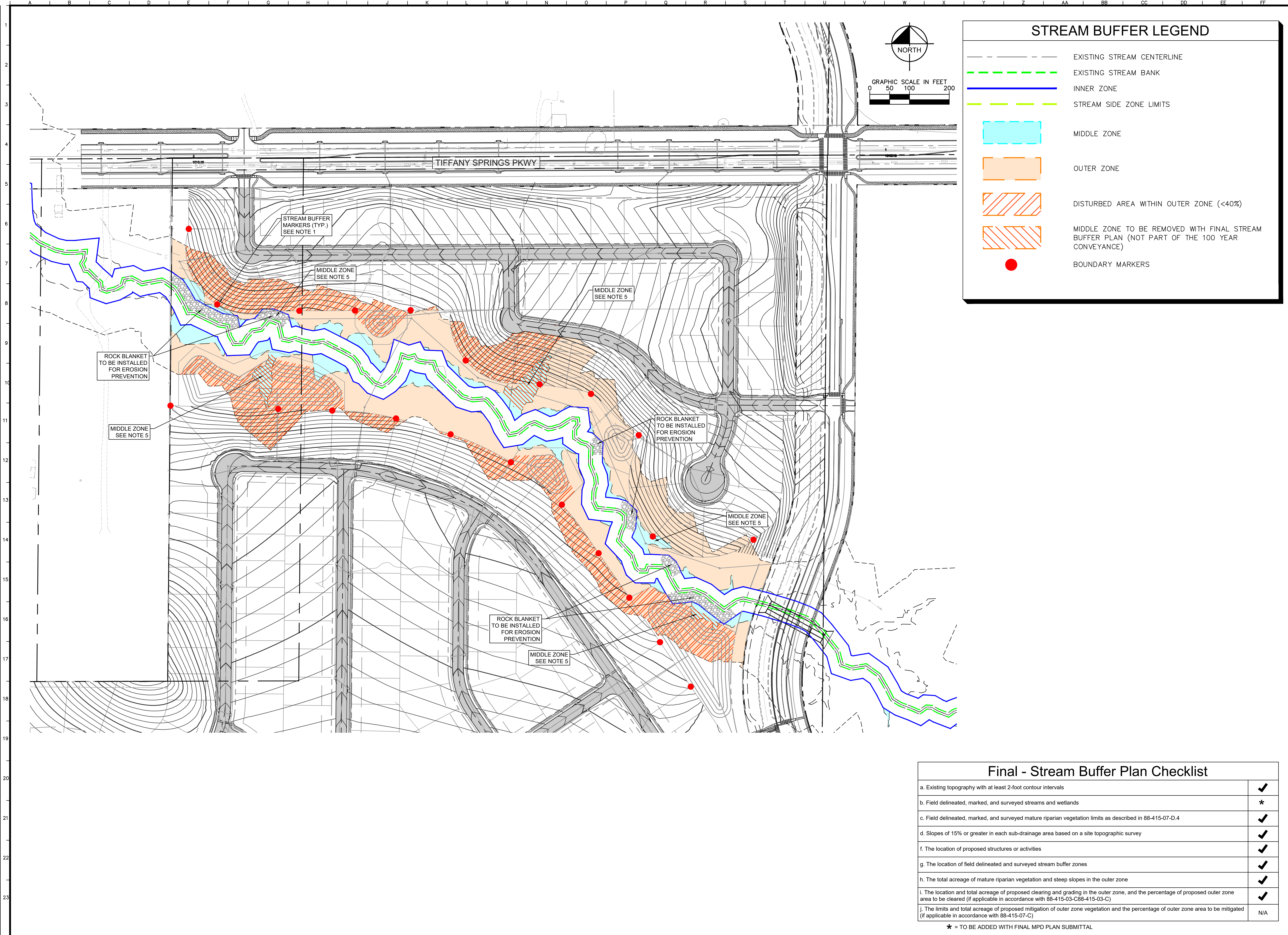
	EXISTING STREAM CENTERLINE
	EXISTING STREAM BANK
	INNER ZONE
	STREAM SIDE ZONE LIMITS
	MIDDLE ZONE
	OUTER ZONE
	DISTURBED AREA WITHIN OUTER ZONE (<40%)
	MIDDLE ZONE TO BE REMOVED WITH FINAL STREAM BUFFER PLAN (NOT PART OF THE 100 YEAR CONVEYANCE)
	BOUNDARY MARKERS

Item	Status
a. Existing topography with at least 2-foot contour intervals	✓
b. Field delineated, marked, and surveyed streams and wetlands	*
c. Field delineated, marked, and surveyed mature riparian vegetation limits as described in 88-415-07-D.4	✓
d. Slopes of 15% or greater in each sub-drainage area based on a site topographic survey	✓
f. The location of proposed structures or activities	✓
g. The location of field delineated and surveyed stream buffer zones	✓
h. The total acreage of mature riparian vegetation and steep slopes in the outer zone	✓
i. The location and total acreage of proposed clearing and grading in the outer zone, and the percentage of proposed outer zone area to be cleared (if applicable in accordance with 88-415-03-C88-415-03-C)	✓
j. The limits and total acreage of proposed mitigation of outer zone vegetation and the percentage of outer zone area to be mitigated (if applicable in accordance with 88-415-07-C)	N/A

* = TO BE ADDED WITH FINAL MPD PLAN SUBMITTAL

WOODHAVEN MASTER PLANNED DEVELOPMENT KANSAS CITY, MO	ENLARGED STREAM BUFFER PLAN (SOUTH)
SCALE: AS NOTED DESIGNED BY: AT DRAWN BY: AT CHECKED BY: MK	© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 805 PENNSYLVANIA AVENUE, SUITE 150 WASHINGTON, DC 20004 PHONE: 814-882-0330 WWW.KIMLEY-HORN.COM AUTHORITY #00152 EXPIRES 12/31/23
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SHEET NUMBER C14	

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STREAM BUFFER LEGEND

- EXISTING STREAM CENTERLINE
- EXISTING STREAM BANK
- INNER ZONE
- STREAM SIDE ZONE LIMITS
- MIDDLE ZONE
- OUTER ZONE
- DISTURBED AREA WITHIN OUTER ZONE (<40%)
- MIDDLE ZONE TO BE REMOVED WITH FINAL STREAM BUFFER PLAN (NOT PART OF THE 100 YEAR CONVEYANCE)
- BOUNDARY MARKERS

Final - Stream Buffer Plan Checklist	
a. Existing topography with at least 2-foot contour intervals	✓
b. Field delineated, marked, and surveyed streams and wetlands	*
c. Field delineated, marked, and surveyed mature riparian vegetation limits as described in 88-415-07-D.4	✓
d. Slopes of 15% or greater in each sub-drainage area based on a site topographic survey	✓
f. The location of proposed structures or activities	✓
g. The location of field delineated and surveyed stream buffer zones	✓
h. The total acreage of mature riparian vegetation and steep slopes in the outer zone	✓
i. The location and total acreage of proposed clearing and grading in the outer zone, and the percentage of proposed outer zone area to be cleared (if applicable in accordance with 88-415-03-C88-415-03-C)	✓
j. The limits and total acreage of proposed mitigation of outer zone vegetation and the percentage of outer zone area to be mitigated (if applicable in accordance with 88-415-07-C)	N/A

* = TO BE ADDED WITH FINAL MPD PLAN SUBMITTAL

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MPD SUBMITTAL NOT FOR CONSTRUCTION				
ENLARGED STREAM BUFFER PLAN (NORTH)				
WOODHAVEN MASTER PLANNED DEVELOPMENT <small>KANSAS CITY, MO</small>				
ORIGINAL ISSUE: 11-24-2021 KHA PROJECT NO. 268030001 SHEET NUMBER C15				