



# CITY PLAN COMMISSION STAFF REPORT

City of Kansas City, Missouri  
City Planning & Development Department  
[www.kcmo.gov/cpc](http://www.kcmo.gov/cpc)

May 16, 2023

**Project Name**  
Tiffany Springs Logistic Center

**Docket #5**

**Request**

- .1 - CD-CPC-2023-00045 – Rezoning Without Plan.
- .2 - CD-CPC-2023-00044 - Development Plan.

**Applicant**

Ashley McAlmond  
Polsinelli, P.C.

**Owner**

Tiffany Springs Logistics, LLC

**Location**

Generally located at the extension of Tiffany Springs About 280 acres

**Area**

280 acres

**Zoning**

M2-3 and B3-3

**Council District**

2<sup>nd</sup>

**County**

Platte

**School District**

Park Hill

**Surrounding Land Uses**

**North:** zoned KCIA, undeveloped.

**South:** zoned M2-3, undeveloped.

**East:** zoned B3-3/ M2-3, commercial/ industrial uses.

**West:** zoned KCIA/ AG-R, industrial and agricultural farmland.

**Major Street Plan**

The City's Major Street Plan classifies Tiffany Springs Parkway as a Parkway and N. Amity as a 4 lane Thoroughfare. This project has an accompanying Major Street Plan amendment application.

**Land Use Plan**

The KCI Area Plan recommends Commercial/ Industrial land use for the subject property. The request conforms to this recommendation.

**APPROVAL PROCESS**



**PROJECT TIMELINE**

The application for the subject request was filed on March 24, 2023. Scheduling deviations from 2023 Cycle J have not occurred.

**NEIGHBORHOOD AND CIVIC ORGANIZATIONS NOTIFIED**

The subject property lies within Tiffany Springs Neighborhood Association. Notice of the public hearing was sent to the neighborhood association and surrounding properties within 300 feet.

**REQUIRED PUBLIC ENGAGEMENT**

Public engagement as required by 88-505-12 applies to this request. Applicant hosted a meeting on May 8, 2023. A summary of the meeting is attached to the staff report, see Attachment #3.

**EXISTING CONDITIONS**

The project site is 280-acre parcel generally located at the terminus of Tiffany Springs Parkway, west of I-29 extending to N. Amity Avenue. The site is undeveloped except for agricultural cultivation of the areas outside the regulated stream. The proposed development is within the North Brush Creek watershed and encumbers multiple tributaries.

Surrounding land uses includes existing industrial uses within KCI to the north. To the south and west are undeveloped agricultural farmland on large tracts. To the east are existing commercial development that includes restaurants and hotels at the Tiffany Springs Parkway and I-29 interchange.

**SUMMARY OF REQUEST + KEY POINTS**

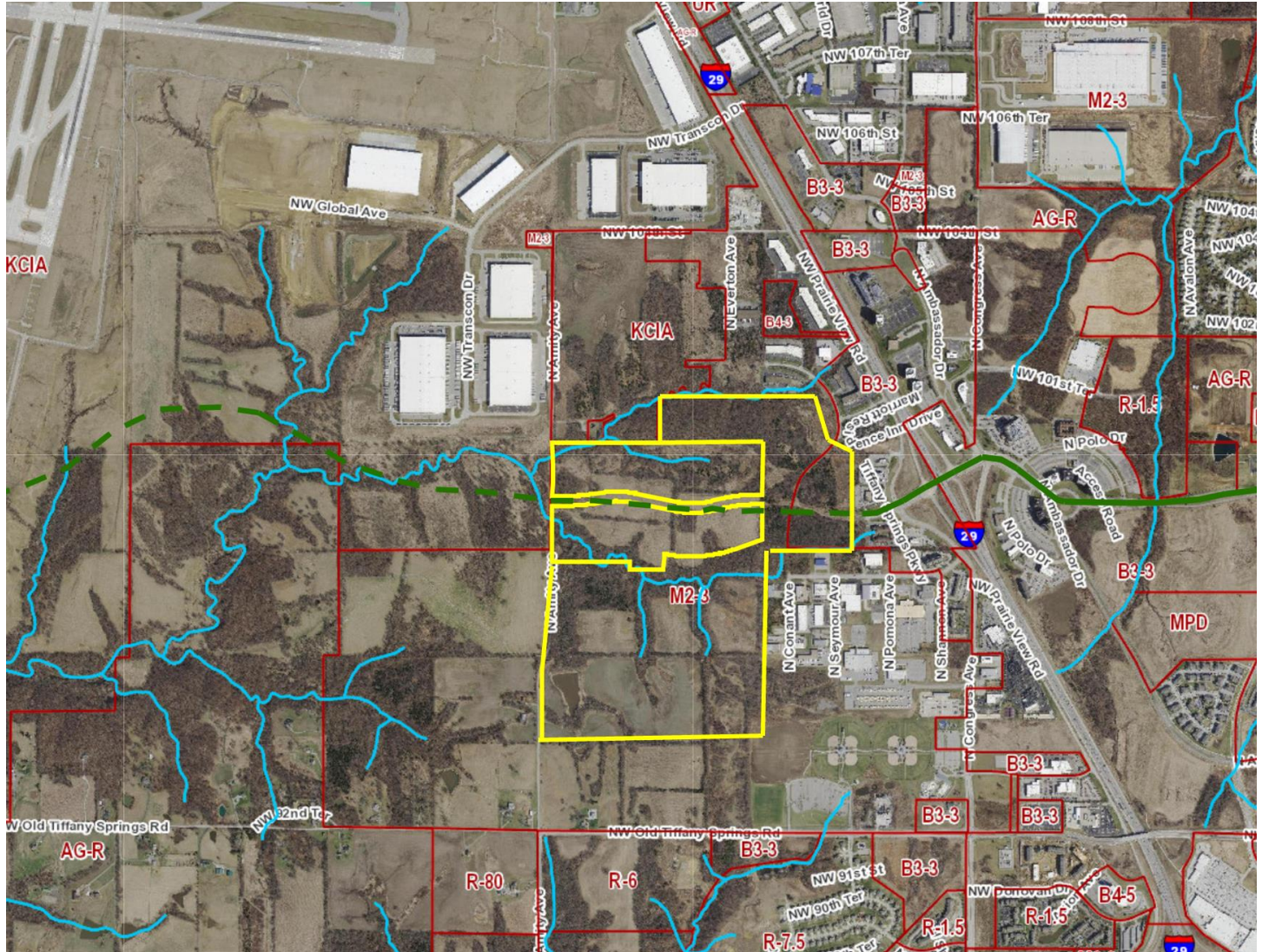
The applicant is seeking approval of a rezoning and a Development Plan (preliminary plat) to allow for 3.7 million square foot of office warehouse development on 7 lots and 5 tracts in 3 phases.

**CONTROLLING CASE**

There is no controlling case for the subject site.

**PROFESSIONAL STAFF RECOMMENDATION**

- Docket #5.1 Recommendation: **Approval without conditions.**
- Docket #5.2 Recommendation: **Approval with conditions.**

**PROJECT LOCATION****Background**

**Ordinance No. 220705** passed by City Council on August 25, 2022, Authorized removal of Tiffany Springs right of way be put to vote. Calling for submission to the voters of Kansas City, at an election to be held on November 8, 2022, a question to remove two tracts of land totaling approximately 11.858 acres from the parks system consisting of the right of way for the proposed Tiffany Springs Parkway between N.W. Prairie View Road to Amity Avenue for the purpose of realignment of the proposed Tiffany Springs Parkway; directing the City Clerk to notify the responsible election authorities of the election no later than August 30, 2022; and recognizing this ordinance with an accelerated effective date.

**November 8, 2022** – The vacation of NE Tiffany Springs right of way was passed by vote of the people on the ballot.

**February 2023** – City issued RFP for the sale of the Tiffany Springs ROW with anticipated relocation.

**PLAN REVIEW**

These companion cases are necessary as the applicant is seeking approval of a rezoning from Districts M2-3 and B3-3 to District M2-3, and approval of a Development Plan which also acts as a preliminary plat to allow for 3.7 million square foot of office warehouse development on 7 lots in 3 phases. The subject site is located at the terminus of Tiffany Springs Parkway, west of I-29 extending to N. Amity Avenue.

**Case No. CD-CPC-2023-00045** is a request to consider rezoning 280-acres parcel from Districts M2-3 and B3-3 to District M2-3.

**AREA PLAN:**

The site is within the KCI Area Plan which recommends Commercial/ Industrial land use for the subject property. The proposed development plan is in conformance with the Area Plan future land use recommendation therefore an area plan amendment is not necessary.

**Case No. CD-CPC-2023-00044** is a request to consider approval of a development plan which also serves as a preliminary plat, in District M2-3 (Manufacturing) to allow for 3.7million square foot of office and warehouse development on 7 lots and 5 tracts in 3 phases. The plan is for the "Tiffany Springs Logistic Center" a logistics and warehousing facility. The development plan proposed 7 industrial warehouse manufacturing and distribution buildings totaling approximately 3.7 million square feet with a total of 2,091 parking spaces. The buildings are proposed to be constructed of tilt up concrete panels accented with 3-tone paints. No material samples or rendering was provided to show building entry treatments.

The plan proposes to realign NW Tiffany Springs Parkway about 600 feet south of the current location which necessitates an amendment to the City's Major Street Plan. The plan also proposes to vacate a portion of existing right of way of NW 101<sup>st</sup> Terrace. As a result, there are 2 accompanying plans that have been filed that are under review by staff. The application for the right of way vacation Case No. CD-ROW-2023-00016 is still collecting the necessary utility sign off sheets prior to consideration by the CPC. The application for the Major Street Plan amendment, Case No. Case No. CD-CPC-2023-00068 will be advertised and noticed prior to the CPC hearing and action by the City Council. This case is docketed for the June 20, 2023, CPC hearing. Staff is cautious to allow this development plan to proceed without a defined and approved future alignment of the parkway. This can proceed under the assumption that the MSP is approved consistent with this proposed development plan. In the event that the Council approves an amendment that is contrary to this plan/ plat, the developer will need to amend this development plan to reflect the MSP alignment approved by the Council.

Access to the development will be provided via the relocated NW Tiffany Springs Parkway from the current sub to the N. Amity Avenue. The plat proposes 7 lots served by a proposed public street (realigned NW Tiffany Springs Parkway) extending westwards providing frontage to serve Lots 1-5 within phases 1 and 2. Lots 6 and 7 will be landlocked lots served by private drives and utilities. The lot sizes range in size from 25 acres to 40 acres. The proposed buildings range in size from 401,000 square foot to 717,000 square foot. The plan also proposes to eliminate some of the tributaries of the regulated stream south of NW Tiffany Springs Road. This will require review and approval by the Army Corps of Engineers. The developer has submitted a stream buffer plan showing the proposed areas to be mitigated.

**WAIVERS AND DEVIATIONS**

The applicant is seeking alternative parking compliance to the Zoning and Development Code. See analysis below.

**PLAN ANALYSIS**

**\*indicates adjustment/deviation requested**

Standards	Applies	Meets	More Information
Lot and Building Standards (88-140)	YES	YES	Complies with M2-3 zoning standards
Boulevard and Parkway Standards (88-323)*	YES	NO	Will need variance from the BZA prior to building permit.
Parking and Loading Standards (88-420)*	YES	NO	Show alternative table on face of the plan.
Landscape and Screening Standards (88-425)	Yes	NO	Need additional berms and landscape screening from public ROW. See plan set.
Outdoor Lighting Standards (88-430)	YES	NO	To be reviewed with Project Plan
Sign Standards (88-445)	YES	NO	Signs must be permitted separately
Pedestrian Standards (88-450)	Yes	YES	

**SPECIFIC REVIEW CRITERIA****Zoning and Development Code Map Amendments, Rezoning (88-515-08)**

In reviewing and making decisions on proposed zoning map amendments, the City Planning and Development Director, City Plan Commission, and City Council must consider at least the following factors:

**A. Conformance with adopted plans and planning policies;**

The KCI Area Plan recommends Commercial/ Industrial land use for this location. The proposed use is consistent. OA

**B. Zoning and use of nearby property;**

Nearby properties are primarily industrial, commercial and single-family homes on large tract of land. This proposal will be compatible. OA

**C. Physical character of the area in which the subject property is located;**

The proposed plan will be compatible with the physical character of the area. OA

**D. Whether public facilities (infrastructure) and services will be adequate to serve development allowed by the requested zoning map amendment;**

Utilities and infrastructure will be brought to City Standards, subject to the conditions in the attached report. OA

**E. Suitability of the subject property for the use to which it has been restricted under the existing zoning regulations;**

The current zoning designation is B3-3 and M2-3 and the development cannot be done under the existing zoning B3-3 zoning. OA

**F. Length of time the subject property has remained vacant as zoned;**

The subject property has never been developed. OA

**G. The extent to which approving the rezoning will detrimentally affect nearby properties; and**

The rezoning is not expected to detrimentally affect nearby properties. OA

**H. The gain, if any, to the public health, safety, and welfare due to denial of the application, as compared to the hardship imposed upon the landowner, if any, as a result of denial of the application.**

A denial of the application would not allow the development to occur thereby limiting the ability of the developer to complete this project. OA

**Development Plans, Project Plan, or Site Plan (88-516-05)**

In order to be approved, a development plan, project plan, or site plan must comply with all of the following criteria:

**A. The plan must comply with all standards of the Zoning and Development Code and all other applicable city ordinances and policies;**

The proposed development plan complies with all standards of the Zoning and Development Code as well as the KCI Area Plan.

**B. The proposed use must be allowed in the district in which it is located;**

Proposed use is allowed by Section 88-140 of the Zoning and Development Code.

**C. Vehicular ingress and egress to and from the site, and circulation within the site must provide for safe, efficient, and convenient movement of traffic not only within the site but on adjacent roadways;**

Proposed vehicular ingress and egress to and from the site allows for safe and efficient movement subject to staff corrections and conditions.

**D. The plan must provide for safe, efficient, and convenient non-motorized travel opportunities, being pedestrian and bicycle movement, on the subject site;**

The proposed plan shows on site pedestrian circulation connecting to the public right of way.

**E. The plan must provide for adequate utilities based on City standards for the particular development proposed.**

There is existing public infrastructure serving the site from the perimeter. Additional utilities and infrastructure will be brought to City Standards subject to staff corrections and conditions.

**F. The location, orientation, and architectural features, including design and material, of buildings and other structures on the site must be designed to be compatible with adjacent properties.**

The developer submitted a typical building elevation without material descriptions and details. Staff recommends that the applicant submit proposed architectural building material and color renderings or provide a design guideline. The other option will be to submit project plans per building or per phase.

**G. Landscaping, berms, fences, and/or walls must be provided to buffer the site from undesirable views, noises, lighting, or other off-site negative influences and to buffer adjacent properties from negative influences that may be created by the plan.**

The proposed uses are very similar to those of the surrounding property. Therefore, no berms, fences, or other buffers are required. However, the applicant has provided a landscaping plan that focuses landscaping elements along the public roadway frontages rather than extensive internal landscaping elements for the warehouse and distribution buildings.

**H. The design of streets, drives, and parking areas within the project should result in a minimum of area devoted to asphalt or other impervious surfaces consistent with the needs of the project and city code requirements.**

The proposed site plan provides an efficient layout for the proposed uses subject to the approval of the parkway alignment on the City's Major Street Plan.

**I. The plan must identify trees to be removed and trees to be preserved during the development of the subject property with the goal of saving trees that are not required to be removed for the development of the property.**

There are some existing trees on the site. This application was filed prior to the adoption of the Tree Preservation ordinance. Staff will require and exhibit showing trees to be removed and trees to be preserved.

## ATTACHMENTS

1. Conditions Report
2. Applicants Submittal
3. Public Engagement Materials

## PROFESSIONAL STAFF RECOMMENDATION

**Docket Items #5.1** - Staff recommends Approval without conditions.

**Docket Items #5.1** - Staff recommends Approval Subject to the Corrections and Conditions as reflected in the attached Plan Correction Report and Plan Conditions Report.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read 'Olofu Agbaji', written in a cursive style.

Olofu Agbaji  
Planner



## Plan Conditions

Report Date: May 11, 2023

Case Number: CD-CPC-2023-00044

Project: Tiffany Springs Logistic Park

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*Condition(s) by City Planning and Development Department. Contact Olofu Agbaji at (816) 513-8815 / Olofu.Agbaji@kcmo.org with questions.*

1. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that street trees have been installed in accordance with the approved street tree planting plan and are healthy prior to Certificate of Occupancy.
2. The developer shall screen all roof and/or ground mounted mechanical and utility equipment in compliance with 88-425-08.
3. The developer shall submit an affidavit, completed by a landscape architect licensed in the State of Missouri, verifying that all landscaping required of the approved plan has been installed in accordance with the plan and is healthy prior to Certificate of Occupancy.
4. The developer shall submit an affidavit, prepared by an engineer licensed in the State of Missouri, verifying that all outdoor lighting has been installed in accordance with approved plans and that lighting levels do not exceed that shown on the approved lighting plan at the property lines prior to Certificate of Occupancy.
5. That the Major Street Plan be amended to reflect the proposed alignment and establishing an alignment westward from Amity Road. Should the Major Street Plan amendment not pass or pass in such a manner that it conflicts with the development plan, the developer shall file a minor amendment to the approved development plan reflecting the Major Street Plan.
6. That the developer submit a design guideline for the proposed development per staff approval prior to ordinance request. If there is no design guidelines, the developer shall submit a Project Plan to the City Plan Commission for approval, including detailed information on landscaping, signage (including elevations), lighting (including a photometric study showing zero footcandles at the property line and no direct illumination beyond the property line) and building elevations prior to issuance of building permit.
7. That plans, revised as noted below, are submitted and accepted by staff prior to scheduling for ordinance request.
  1. Call out any request for waiver, deviation and modification to the subdivision regulations. (5/03/2023)
  2. Update site data to show total overall number of parking required and parking provided. Revise Plans and Resubmit (5/11/2023)
  3. Update elevations to provide architectural details calling out materials for the proposed buildings. Provide color elevations with material samples including renderings and perspective or provide a design guideline that outlines to help staff review each building prior to building permit. Revise Plans and Resubmit (5/11/2023)
  4. Provide an exhibit showing trees to be removed and trees to be preserved. Revise Plans and Resubmit (5/11/2023)

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

8. The developer must enter into a covenant agreement for the maintenance of any stormwater detention area tracts as required by the Land Development Division, prior to recording the plat.
9. The developer must submit a Macro storm drainage study with the first Plat or Phase, from a Missouri-licensed civil engineer to the Land Development Division showing compliance with current adopted standards in effect at the time of submission, including Water Quality BMP's, to the Land Development Division for review and acceptance for the entire development area, and submit Micro storm drainage study with each subsequent Plat or Phase showing compliance with the approved Macro and adopted standards. The developer shall secure permits to construct any improvements as necessary to mitigate impacts from rate, volume, and quality of runoff from each proposed phase, prior to recording the plat or prior to issuance of a Building Permit, whichever occurs first as required by the Land Development Division.
10. The developer must design and construct all interior public streets to City Standards, as required by Chapter 88 and the Land Development Division, including curb and gutter, storm sewers, street lights, and sidewalks.

*Condition(s) by City Planning and Development Department. Contact Terry Thomas at (816) 513-2510 / Terry.A.Thomas@kcmo.org with questions.*

11. The developer shall submit verification of vertical and horizontal sight distance for the drive connection to public right-of-way to the Land Development Division and make improvements to ensure local jurisdiction and/or minimum AASHTO adequate sight distance standards are met, prior to issuance of any certificate of occupancy.
12. The developer must pay impact fees as required by Chapter 39 of the City's Code of ordinances as required by the Land Development Division.
13. The developer must petition for the vacation of existing Tiffany Springs Pkwy ROW and NW 101st Terr ROW and dedicate new ROW for the planned realignments of Tiffany Springs Pkwy and NW 101st Terr as shown on the development plan and relocate sewers as required by the Departments of Water Services, the Land Development Division, and Development Services prior to recording of the final plat.
14. The developer shall cause the area to be platted and processed in accordance with Chapter 88, Code of Ordinances of the City of Kansas City, Missouri.
15. The developer shall submit plans for grading, siltation, and erosion control to Land Development Division for review and acceptance, and secure a Site Disturbance permit for any proposed disturbance area equal to one acre or more prior to beginning any construction activities.
16. The developer shall obtain the executed and recorded City approved grading, temporary construction, drainage/sewer, or any other necessary easements from the abutting property owner(s) that may be required prior to submitting any public improvements crossing properties not controlled by the developer and include said document(s) within the public improvement applications submitted for permitting
17. The developer shall submit an analysis to verify adequate capacity of the existing sewer system as required by the Land Development Division prior to issuance of a building permit to connect private system to the public sewer main and depending on adequacy of the receiving system, make other improvements as may be required.
18. The developer shall provide acceptable easement and secure permits to relocated sanitary sewers out from under proposed buildings and structures while continuing to ensure individual service is provided to all proposed lots as required by Land Development Division prior to recording the plat or issuance of a building permit, whichever occurs first.

*Condition(s) by Fire Department. Contact Michael Schroeder at (816) 513-4604 / michael.schroeder@kcmo.org with questions.*

19. • The project shall meet the fire flow requirements as set forth in Appendix B of the International Fire Code 2018. (IFC-2018 § 507.1)
20. • Buildings equipped with a fire standpipe system shall have an operable fire hydrant within 100 feet of the Fire Department Connection (FDC). (IFC2018 § 507.5.1.1)
21. • A required fire department access roads shall be an all weather surface. (IFC-2012: § 503.2.3)
  - Fire Department access roads shall be provided prior to construction/demolition projects begin. (IFC-2018 § 501.4 and 3310.1; NFPA 241-2013 § 7.5.5)
  - Required fire department access roads shall designed to support a fire apparatus with gross axle weight of 85,000 pounds. (IFC-2018: § 503.2.3)
22. • New buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. (IFC 2018 510.1) and (NFPA1221)
23. • The turning radius for fire department access roads shall be 30 feet inside and 50 feet outside radius. (IFC-2018: § 503.2.4)
24. • Shall provide fire lane signage on fire access drives to ensure no restricted access around private streets.
25. An emergency access shall be provided off of Amity Ave near lots 6 and 7.

*Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.*

26. The developer shall submit a streetscape plan with street tree planting plan per 88-425-03 for approval and permitting by the Parks & Recreation Department's Forestry Division prior to beginning work in the public right-of-way



*Condition(s) by Parks & Recreation. Contact Justin Peterson at (816) 513-7599 / Justin.Peterson@kcmo.org with questions.*

27. The developer shall submit plans to Parks & Recreation Department and obtain permits prior to beginning construction of streetscape improvements (including but not limited to sidewalks, curbs, gutters, streetscape elements, pedestrian and street lighting) on the Parks jurisdictional streets and construct improvements, ADA compliant ramps at all required locations where new private drives are being added, or where existing sidewalks are modified or repaired. Such improvements shall be installed per Parks & Recreation Department Standards
28. The developer shall fully comply with the parkway and boulevard standards as outlined in 88-323 or seek variance from the Board of Zoning Adjustment prior to building permit.
29. The developer shall coordinate the final layout and street section with the Parks Department and construct per Parks and Recreation standards for parkway construction prior to building permit.

*Condition(s) by Water Services Department. Contact Heather Massey at (816) 513-2111 / heather.massey@kcmo.org with questions.*

30. A full flow fire meter will be required when the fire protection service line serves more than one building, or combination service lines 6 inches and larger, or that have private fire hydrants connected to them.
31. The developer shall have a water flow test done to ensure there is adequate water pressure to serve the development.  
South of River contact – Sean Allen - 816-513-0318  
North of River contact - Pedro Colato – 816-513-4892
32. The developer shall ensure that water and fire service lines should meet current Water Services Department Rules and Regulations. Prior to C of O.  
<https://www.kcwater.us/wp-content/uploads/2022/05/2022-Rules-and-Regulations-for-Water-Service-Lines-Final.pdf>
33. Water/Sewer Service lines shall serve only one lot or tract and shall not cross a separate lot or tract.

*Condition(s) by Water Services Department. Contact Kirk Rome at (816) 513-0368 / kirk.rome@kcmo.org with questions.*

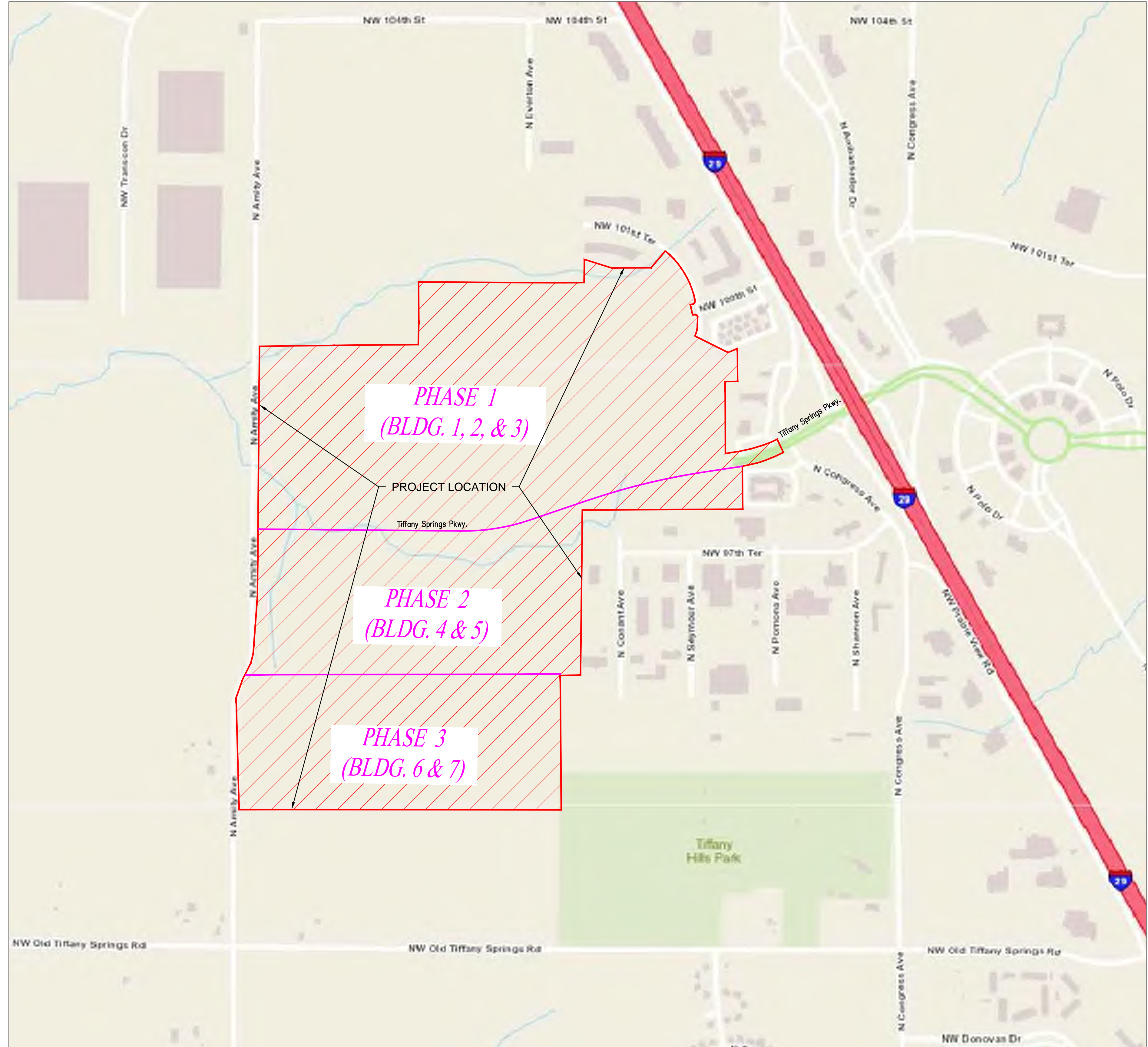
34. Water Main Extensions

*Condition(s) by Water Services Department. Contact Lucas Kaspar at (816) 513-2131 / Lucas.Kaspar@kcmo.org with questions.*

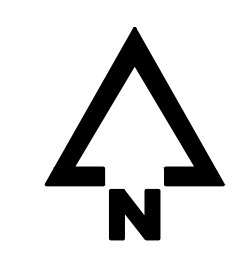
35. The developer must secure permits to extend public sanitary and storm water conveyance systems to serve all proposed lots within the development and determine adequacy of receiving systems as required by the Land Development Division, prior to recording the plat or issuance of a building permit whichever occurs first.
36. The developer provide acceptable easement and secure permits to relocate sanitary sewers out from under proposed buildings and structures, etc. Any existing public lines located under proposed structures must be abandoned in place or removed and easement vacated; as required by Land Development Division prior to recording the plat or issuance of a building permit, whichever occurs first.
37. The developer must grant any BMP and/or Surface Drainage Easements to the City as required by the Land Development Division, prior to recording the plat or issuance of any building permits.
38. The developer must grant on City approved forms, a STREAM BUFFER Easement to the City, as required by Chapter 88 and Land Development Division, prior to issuance of any stream buffer permits.
39. The developer shall submit a final stream buffer plan to the Land Development Division for approval prior to issuance of any building permits and obtain permits for the Stream Buffer prior to removal of any mature riparian species within the buffer zones due to construction activities on the site, in accordance with the Section 88-415 requirements.
40. The developer shall submit a Preliminary Stream Buffer plan prior to approval of the plan in accordance with the Section 88-415 requirements.
41. The developer shall obtain approval and any necessary permits from the United States Army Corps of Engineers for proposed wetland fills or alteration of the vegetated stream buffers prior to issuance of any site disturbance, grading, or stream buffer permits or approval of the final plat whichever occurs first.
42. The developer must show the limits of the 100-year floodplain on the final plat and show the Minimum Low Opening Elevation (MLOE) of any structure on each lot that abuts a 100-year flood prone area (including detention basins and engineered surface drainage conveyances) on any plat and plan, as required by the Land Development Division.
43. Public sewers and conveyances must be located within exclusive easements.

COVER SHEET  
DEVELOPMENT PLAN  
**TIFFANY SPRINGS LOGISTICS CENTRE**  
A Part of section 35 & 36, Township 52 North, Range 34 West  
being in Kansas City, Platte County, Missouri

<u>INDEX OF SHEETS</u>	
SHEET C0.00	COVER SHEET
SHEET C0.01	PRELIMINARY PLAT
SHEET C1.00	SITE PLAN (OVERALL)
SHEET C1.01	SITE PLAN (NORTH)
SHEET C1.02	SITE PLAN (SOUTH)
SHEET C2.00	GRADING PLAN (NORTH)
SHEET C2.01	GRADING PLAN (SOUTH)
SHEET C3.00	UTILITY PLAN (NORTH)
SHEET C3.01	UTILITY PLAN (SOUTH)
SHEET C4.00	TIFFANY SPRINGS PKWY. STREET SECTION DETAIL
SHEET C5.00	SITE TRUCK TURNING TEMPLATE PLAN (NORTH)
SHEET A0.10	SITE TRUCK TURNING TEMPLATE PLAN (SOUTH)
SHEET A4.01	ARCHITECTURAL SITE PLAN
SHEET L-1	OVERALL BUILDING ELEVATIONS
SHEET L-2	LANDSCAPE PLAN
SHEET L-3	LANDSCAPE PLAN
SHEET SB-1	LANDSCAPE PLAN
	STREAM BUFFER ZONE ENCROACHMENT PLAN



PROJECT LOCATION  
VICINITY MAP



**DEVELOPER/OWNER:**  
BLOCK REAL ESTATE SERVICES, LLC  
4522 PENNSYLVANIA AVE., SUITE 700  
KANSAS CITY, MO 64112  
ATTN: BRAD SIMMA  
PHONE: (816)932-5511  
EMAIL: BSIMMA@BLOCKLLC.COM

**ENGINEERS:**  
MCCLURE ENGINEERING  
11031 STRANG LINE ROAD  
LENEXA, KANSAS 66215  
ATTN: TOM SMITH  
PHONE: (913) 888-7800  
EMAIL: TOM.SMITH@MCCLUREVISION.COM

**ARCHITECT:**  
FINKE + WILLIAMS ARCHITECTURE  
8787 REMNER BLVD., SUITE 100  
LENEXA, KANSAS 66219  
ATTN: DAVE WILLIAMS  
PHONE: (913) 498-1550  
EMAIL: DWILLIAMS@FINKEWILLIAMS.COM

**LANDSCAPE:**  
J & H LANDSCAPE  
13601 S. LOVERS LN.  
LONE JACK, MISSOURI 64070  
ATTN: BECKY WILSON  
PHONE: (816) 697-3822  
EMAIL: JHLANDSCAPINGINC@EARTHLINK.NET

**ENVIRONMENTAL ENGINEERING:**  
GEOTECHNOLOGY, LLC  
5055 ANTIOCH ROAD  
OVERLAND PARK, KANSAS 66203  
ATTN: JACK FINLEY  
PHONE: (913) 438-1900  
EMAIL: JFINLEY@GEOTECHNOLOGY.COM

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making lives better.

11031 Strang Line Road  
Lenexa, Kansas 66215  
P 913-888-7800  
F 913-888-7868

**NOTICE:**  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineer's guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-2005022353  
EXPIRES: DECEMBER 31, 2023

TIFFANY SPRINGS  
LOGISTICS CENTRE  
DEVELOPMENT PLAN  
KANSAS CITY, MISSOURI

COVER SHEET

PROJECT NO. 222565-000  
ISSUE DATE: 03-24-2023

**REVISIONS**  
4-28-23 CITY COMMENTS

DESIGNED BY: PLK  
DRAWN BY: GSW  
CHECKED BY: TMS  
FIELD BOOK NO.:

P:\211565-000\Drawings\Civil\211565-000 - PSD TT.dwg  
 Apr 28 2023 11:46am  
 P:\211565-000\Drawings\Civil\211565-000 - PSD TT.dwg  
 P:\211565-000\Drawings\Civil\211565-000 - PSD TT.dwg

# TIFFANY SPRINGS LOGISTICS CENTRE

A Part of section 35 & 36, Township 52 North, Range 34 West  
being in Kansas City, Platte County, Missouri

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making lives better.

11031 Strang Line Road  
Lenexa, Kansas 66215  
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MISSOURI CERTIFICATE OF AUTHORITY NO. E-200522315  
EXPIRES: DECEMBER 31, 2023

**LEGAL DESCRIPTION:**  
The West 53.77 acres of the North Half of the Northeast Quarter of Section 2 in Township 51 of Range 34, Kansas City, Platte County, Missouri, EXCEPT, all that part of said Northeast Quarter being bounded and described as follows: Beginning at the Northeast corner of the Northeast Quarter of Section 2; thence North 89°42'21" East along the North line of said Northeast Quarter, 84.12 feet to its intersection with the centerline of Amity Road, as now established; thence South 25°00'41" West along the centerline of said Amity Road, 23.36 feet; thence Southwesterly along said centerline on a curve to the left tangent to the east described course, having a radius of 754.84 feet, an arc distance of 335.23 feet to its intersection with the West line of said Northeast Quarter; thence North 0°28'04" West along said West line, 347.42 feet to the point of beginning. Also, except one in Amity Road.

**TOGETHER WITH:**  
Tract 1:  
All that part of the Southeast Quarter of Section 35, Township 52, Range 34, Platte County, Missouri, being more particularly described as follows: Beginning at the Southwest Corner of the Southeast Quarter of Section 35; thence North 0°47' East along the West line of said Southeast Quarter, 600.0 feet; thence South 88°49'50" East, 990.0 feet; thence North 0°47' East, 456.0 feet; thence South 88°49'50" East, 1660.88 feet to a point on the East line of the Southeast Quarter of said Section 35; thence South 0°45' West along the East line of said Southeast Quarter, 1056.0 feet to the Southeast Corner of the Southeast Quarter of said Section 35; thence North 88°49'50" East along the South line of the Southeast Quarter of said Section 35; 2651.42 feet to the point of beginning, except that part in public road.

Also except a strip or strips of land in the Southeast Quarter of Section 35, Township 52, Range 34, Platte County, Missouri, described as follows: Beginning at a point on the East line of the Southeast Quarter of Section 35, Township 52, Range 34, Platte County, Missouri, described as follows: Beginning at a point on the East line of said Quarter Section 35, thence West along a line parallel to the North line of said Quarter Section 100 rods; thence North along a line parallel to the East line of said Quarter Section 6 rods, more or less, to a point 90 rods South of measured along a line parallel to the West line of said Quarter Section, the North line of said Quarter Section; thence West along a line parallel to the North line of said Quarter Section 60 rods, more or less, to a point on the West line of said Quarter Section 90 rods South of the Northwest corner of said Quarter Section; thence South along the West line of said Quarter Section to a point 1155 feet North of the Southwest corner of said Quarter Section, thence South 88°49'50" East 990 feet; thence South 0°47' West 99 feet; thence South 88°49'50" East 1660.88 feet, more or less, to a point on the East line of said Quarter Section; thence North along East line of said Quarter Section 15.5 feet more or less, to the point of beginning.

**Tract 2:**  
A strip or strips of land in the Southeast Quarter of Section 35, Township 52, Range 34, Platte County, Missouri, described as follows: Beginning at a point on the East line of the Southeast Quarter of Section 35, Township 52, Range 34, Platte County, Missouri, described as follows: Beginning at a point on the East line of said Quarter Section 35, thence West along a line parallel to the North line of said Quarter Section, the North line of said Quarter Section; thence West along a line parallel to the North line of said Quarter Section 60 rods, more or less, to a point on the West line of said Quarter Section 90 rods South of the Northwest corner of said Quarter Section; thence South along the West line of said Quarter Section to a point 1155 feet North of the Southwest corner of said Quarter Section, thence South 88°49'50" East 990 feet; thence South 0°47' West 99 feet; thence South 88°49'50" East 1660.88 feet, more or less, to a point on the East line of said Quarter Section; thence North along East line of said Quarter Section 15.5 feet more or less, to the point of beginning, except that part in public road.

**TOGETHER WITH:**  
A tract of land in the Southeast Quarter of Section 35, Township 52, Range 34 in Kansas City, Platte County, Missouri, described as follows:  
Beginning 96 rods South of the Northeast corner of the Southeast Quarter of Section 35, Township 52, Range 34; thence North 64 rods to the Southeast corner of the Southeast Quarter of Section 35, Township 52, Range 34; thence North 70 rods along the West line of the Southeast Quarter of Section 35, Township 52, Range 34; thence East 60 rods; thence South 6 rods; thence East 100 rods to the place of beginning, EXCEPT that part thereof described as follows: All that part of the Southeast Quarter of Section 35, Township 52, Range 34, Platte County, Missouri being more particularly described as follows: Beginning at the Southwest corner of the Southeast Quarter of said Section 35; thence North 0°47' East along the West line of said Southeast Quarter 600.0 feet; thence South 88°49'50" East, 990.0 feet; thence South 0°45' West along the East line of said Southeast Quarter, 1056.0 feet to the Southeast corner of said Section 35; thence North 88°49'50" East along the South line of the Southeast Quarter of said Section 35; 2651.42 feet to the point of beginning, except that part in streets or roads.

**ALSO EXCEPT** that part described as follows: A strip or strips of land in the Southeast Quarter of Section 35, Township 52, Range 34, Platte County, Missouri, described as follows: Beginning at a point on the East line of the Southeast Quarter of Section 35, Township 52, Range 34, Platte County, Missouri, described as follows: Beginning at a point on the East line of said Quarter Section 35, thence West along a line parallel to the North line of said Quarter Section 100 rods; thence North along a line parallel to the East line of said Quarter Section 6 rods, more or less, to a point 90 rods South of measured along a line parallel to the West line of said Quarter Section, the North line of said Quarter Section; thence West along a line parallel to the North line of said Quarter Section 60 rods, more or less, to a point on the West line of said Quarter Section 90 rods South of the Northwest corner of said Quarter Section; thence South along the West line of said Quarter Section to a point 1155 feet North of the Southwest corner of said Quarter Section, thence South 88°49'50" East 990 feet; thence South 0°47' West 99 feet; thence South 88°49'50" East 1660.88 feet, more or less, to a point on the East line of said Quarter Section; thence North along East line of said Quarter Section 15.5 feet more or less, to the point of beginning.

**TOGETHER WITH:**  
Tract 1  
All that part of the Southeast Quarter (SE 1/4) of Section 35, Township 52, Range 34, in Kansas City, Platte County, Missouri, described as follows:  
Beginning at the Northeast corner of said quarter section; thence South along the East line of said quarter section 96 rods; thence West along a line parallel to the North line of said quarter section 100 rods; thence North along a line parallel to the East line of said quarter section 6 rods; more or less, to a point 90 rods South of measured along a line parallel to the West line of said quarter section, the North line of said quarter section; thence West along a line parallel to the North line of said quarter section 60 rods, more or less, to a point on the West line of said quarter section 90 rods South of the Northwest corner of said quarter section; thence South along the West line of said quarter section to a point 1155 feet North of the Southwest corner of said quarter section, thence South 88°49'50" East 990 feet; thence South 0°47' West 99 feet; thence South 88°49'50" East 1660.88 feet, more or less, to a point on the East line of said quarter section; thence North along East line of said quarter section 15.5 feet more or less, to the point of beginning.

**Except** that part in road and except that part described as follows:  
A tract of land in the Southeast Quarter of Section 35, Township 52, Range 34, Kansas City, Platte County, Missouri, being bounded and described as follows: Beginning at a point 1273.74 feet South of the Northeast corner of the Southeast Quarter of said Section 35, as measured along the East line of said Southeast Quarter; thence South 0 degrees 30 minutes 21 seconds East along said East line, 325.78 feet; thence South 89 degrees 55 minutes 21 seconds West, 1236.00 feet; thence North 0 degrees 30 minutes 21 seconds East along the West line of said Southeast Quarter 1,326.34 feet to the Northeast corner of said Southeast Quarter, said point being also the Southwest corner of the Northwest Quarter of said Section 36; thence North 0 degrees 30 minutes 59 seconds East along the West line of said Northwest Quarter, 623.47 feet to the Northwest corner of the South One-Half of said Northeast Quarter, said point being also the Northeast corner of Lot 1, Block 1, TIFFANY SPRINGS INDUSTRIAL PARK AND OFFICE CENTER; thence South 89 degrees 38 minutes 07 seconds East along the North line of said Lot 1, 504.11 feet; thence South 0 degrees 21 minutes 41 seconds East along the East line of said Lot 1, 379.79 feet to the Southeast corner of said Lot 1; thence Southwesterly along the Southerly line of Lot 2, TIFFANY SPRINGS INDUSTRIAL PARK AND OFFICE CENTER, on a curve to the right, having an initial tangent bearing of South 54 degrees 06 minutes 39 seconds East, a radius of 858.51 feet, an arc distance of 190.23 feet to the most Westerly corner of Lot 3, Block 1, TIFFANY SPRINGS INDUSTRIAL PARK AND OFFICE CENTER—SECOND PLAT; thence North 49 degrees 18 minutes 51 seconds East along the Northwesterly line of said Lot 3, 253.38 feet to its intersection with the Westerly right-of-way line of Interstate Route 29, as now established; thence South 29 degrees 28 minutes 46 seconds East along said right-of-way line 17.71 feet; thence South 60 degrees 31 minutes 14 seconds West along said right-of-way line, 10.00 feet; thence South 29 degrees 28 minutes 46 seconds East along said right-of-way line, 17.50 feet; thence South 60 degrees 31 minutes 14 seconds West along said right-of-way line, 45.00 feet; thence South 29 degrees 28 minutes 46 seconds East along said right-of-way line 25.00 feet; thence North 60 degrees 31 minutes 14 seconds East along said right-of-way line 45.00 feet; thence South 29 degrees 28 minutes 46 seconds East along said right-of-way line 8.50 feet; thence North 60 degrees 31 minutes 14 seconds West along said right-of-way line 10.00 feet; thence South 29 degrees 28 minutes 46 seconds East along said right-of-way line 87.51 feet; thence South 18 degrees 18 minutes 07 seconds East along said right-of-way line 487.54 feet; thence South 18 degrees 21 minutes 47 seconds West along said right-of-way line 480.88 feet; thence South 12 degrees 07 minutes 35 seconds West along said right-of-way line 184.54 feet; thence South 24 degrees 04 minutes 46 seconds East along said right-of-way line, 173.10 feet; thence South 78 degrees 08 minutes 21 seconds East along said right-of-way line 180.67 feet; thence South 55 degrees 21 minutes 55 seconds East along said right-of-way line 641.35 feet; thence South 42 degrees 47 minutes 36 seconds East along said right-of-way line 33.97 feet to its intersection with the South line of the North One-Half of the Southeast Quarter of said Section 36, said line being also the North line of PLATE INDUSTRIAL PARK, a subdivision of land in Kansas City, Platte County, Missouri, according to the recorded plat thereof; thence South 88 degrees 41 minutes 15 seconds West along the South line of said North One-Half 2,353.03 feet to the Point of Beginning; EXCEPTING any part in streets, roads or highways.

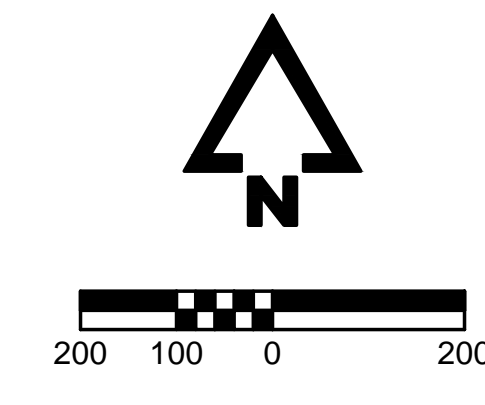
**ALSO EXCEPT** all that part platted as TIFFANY SPRINGS INDUSTRIAL PARK AND OFFICE CENTER;  
**AND EXCEPT** that part platted as TIFFANY SPRINGS INDUSTRIAL PARK AND OFFICE CENTER—SECOND PLAT;  
**AND EXCEPT** that part platted as EXECUTIVE HILLS NORTH 5TH PLAT, a subdivision in Kansas City, Platte County, Missouri;  
**AND EXCEPT** that part platted DRURY INNS, a subdivision in Kansas City, Platte County, Missouri;  
**AND EXCEPT** that part platted TIFFANY SQUARE, 2nd Plat, a subdivision in Kansas City, Platte County, Missouri;

**AND EXCEPT** that part described as follows:  
PART OF THE WEST 1/2 OF SECTION 36, T26N, R34W OF THE 5TH P.M., KANSAS CITY, PLATTE COUNTY, MISSOURI DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF LOT 1, EXECUTIVE HILLS NORTH 5TH PLAT, A SUBDIVISION OF LAND IN KANSAS CITY, PLATTE COUNTY, MISSOURI; THENCE N62°56'53"W (ALL BEARINGS HEREIN ARE REFERENCED TO THE CITY OF KANSAS CITY, MISSOURI INDEPENDENT GRID SYSTEM) ON THE SOUTHWESTERLY LINE OF SAID SUBDIVISION, 80.00 FEET; THENCE SOUTHWESTERLY ON A CURVE TO THE RIGHT (SAID CURVE HAVING AN INITIAL TANGENT BEARING S27°03'07"W, A RADIUS OF 560.00 FEET, CHORD BEARING S38°41'07"W, CHORD DISTANCE 225.85 FEET) AN ARC DISTANCE OF 27.0 FEET TO A POINT OF TANGENCY; THENCE S60°18'07"W, 191.29 FEET TO A POINT OF CURVATURE; THENCE CONTINUING SOUTHWESTERLY ON A CURVE TO THE LEFT (SAID CURVE HAVING A RADIUS OF 640.00 FEET, CHORD BEARING S31°04'07"W, CHORD DISTANCE 422.00 FEET) AN ARC DISTANCE OF 430.05 FEET TO A POINT OF TANGENCY; THENCE S11°49'07"W, 82.79 FEET TO A POINT OF CURVATURE; THENCE CONTINUING SOUTHWESTERLY ON A CURVE TO THE RIGHT (SAID CURVE HAVING A RADIUS OF 25.00 FEET, CHORD BEARING S55°47'33"W, CHORD DISTANCE 34.72 FEET) AN ARC DISTANCE OF 97 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY (SAD POINT BEING FURTHER LOCATED ON THE NORTHERLY RIGHT-OF-WAY LINE OF TIFFANY SPRINGS PARKWAY AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SW 1/4 OF SAID SECTION 36; THENCE S0°29'52"W ON THE WEST LINE OF SAID SW 1/4, 666.52 FEET TO SAID NORTHERLY RIGHT-OF-WAY; THENCE S80°00'00"E, AN ARC DISTANCE OF SAID RIGHT-OF-WAY, 42.29 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ON A 1790.00 FOOT RADIUS CURVE, THE NORTHERLY RIGHT-OF-WAY, AN ARC LENGTH OF 288.97 FEET, TO SAID POINT; THENCE CONTINUING SOUTHWESTERLY ON A CURVE TO THE RIGHT (SAID CURVE HAVING AN INITIAL TANGENT BEARING S80°14'01"E, A RADIUS OF 1790.00 FEET, CHORD BEARING S78°10'53"E, CHORD DISTANCE 128.21 FEET) AN ARC DISTANCE OF 128.24 FEET; THENCE NORTHWESTERLY ON A CURVE TO THE RIGHT (SAID CURVE HAVING AN INITIAL TANGENT BEARING N78°07'45"W, A RADIUS OF 25.00 FEET, CHORD BEARING N32°09'19"W, CHORD DISTANCE 34.72 FEET) AN ARC DISTANCE OF 38.37 FEET TO A POINT OF TANGENCY; THENCE N11°49'07"W, 82.79 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY ON A CURVE TO THE RIGHT (SAID CURVE HAVING A RADIUS OF 560.00 FEET, CHORD BEARING N31°04'07"E, CHORD DISTANCE 369.25 FEET) AN ARC DISTANCE OF 378.29 FEET TO A POINT OF TANGENCY; THENCE N50°19'07"E, 191.29 FEET TO A POINT OF CURVATURE; THENCE CONTINUING NORTHEASTERLY ON A CURVE TO THE LEFT (SAID CURVE HAVING A RADIUS OF 640.00 FEET, CHORD BEARING N38°41'07"E, CHORD DISTANCE 258.11 FEET) AN ARC DISTANCE OF 258.89 FEET TO THE POINT OF BEGINNING.

**TOGETHER WITH:**  
A tract of land in the Southeast Quarter of Section 35, Township 52, Range 34, Kansas City, Platte County, Missouri, being bounded and described as follows: Beginning at a point 1273.74 feet South of the Northeast corner of the Southeast Quarter of said Section 35, as measured along the East line of said Southeast Quarter; thence South 0 degrees 30 minutes 21 seconds West along said East line, 325.78 feet; thence South 89 degrees 55 minutes 21 seconds West, 1236.00 feet; thence North 0 degrees 30 minutes 21 seconds East along the West line of said Southeast Quarter 1,326.34 feet to the Northeast corner of said Southeast Quarter, said point being also the Southwest corner of the Northwest Quarter of said Section 36; thence North 0 degrees 30 minutes 59 seconds East along the West line of said Northwest Quarter, 623.47 feet to the Northwest corner of the South One-Half of said Northeast Quarter; thence South 89 degrees 38 minutes 07 seconds East along the North line of said Lot 1, 504.11 feet; thence South 0 degrees 21 minutes 41 seconds East along the East line of said Lot 1, 379.79 feet to the Southeast corner of said Lot 1; thence Southwesterly along the Southerly line of Lot 2, TIFFANY SPRINGS INDUSTRIAL PARK AND OFFICE CENTER, on a curve to the right, having an initial tangent bearing of South 54 degrees 06 minutes 39 seconds East, a radius of 858.51 feet, an arc distance of 190.23 feet to the most Westerly corner of Lot 3, Block 1, TIFFANY SPRINGS INDUSTRIAL PARK AND OFFICE CENTER—SECOND PLAT; thence North 49 degrees 18 minutes 51 seconds East along the Northwesterly line of said Lot 3, 253.38 feet to its intersection with the Westerly right-of-way line of Interstate Route 29, as now established; thence South 29 degrees 28 minutes 46 seconds East along said right-of-way line 17.71 feet; thence South 60 degrees 31 minutes 14 seconds West along said right-of-way line, 10.00 feet; thence South 29 degrees 28 minutes 46 seconds East along said right-of-way line, 17.50 feet; thence South 60 degrees 31 minutes 14 seconds West along said right-of-way line, 45.00 feet; thence South 29 degrees 28 minutes 46 seconds East along said right-of-way line 25.00 feet; thence North 60 degrees 31 minutes 14 seconds East along said right-of-way line 45.00 feet; thence South 29 degrees 28 minutes 46 seconds East along said right-of-way line 8.50 feet; thence North 60 degrees 31 minutes 14 seconds West along said right-of-way line 10.00 feet; thence South 29 degrees 28 minutes 46 seconds East along said right-of-way line 87.51 feet; thence South 18 degrees 18 minutes 07 seconds East along said right-of-way line 487.54 feet; thence South 18 degrees 21 minutes 47 seconds West along said right-of-way line 480.88 feet; thence South 12 degrees 07 minutes 35 seconds West along said right-of-way line 184.54 feet; thence South 24 degrees 04 minutes 46 seconds East along said right-of-way line, 173.10 feet; thence South 78 degrees 08 minutes 21 seconds East along said right-of-way line 180.67 feet; thence South 55 degrees 21 minutes 55 seconds East along said right-of-way line 641.35 feet; thence South 42 degrees 47 minutes 36 seconds East along said right-of-way line 33.97 feet to its intersection with the South line of the North One-Half of the Southeast Quarter of said Section 36, said line being also the North line of PLATE INDUSTRIAL PARK, a subdivision of land in Kansas City, Platte County, Missouri, according to the recorded plat thereof; thence South 88 degrees 41 minutes 15 seconds West along the South line of said North One-Half 2,353.03 feet to the Point of Beginning; EXCEPTING any part in streets, roads or highways.

### LEGEND

- FH ● FIRE HYDRANT
- P PROPERTY LINE
- W WATER LINE
- SAN SANITARY LINE (PROP)
- SAN SANITARY SEWER (EXIST)
- STR STORM LINE
- UP UNDERGROUND ELEC.
- OHP UNDERGROUND ELEC.
- G GAS
- FO FIBER OPTIC SERVICE LINE
- T UNDERGROUND TELEPHONE
- DWL DOMESTIC WATERLINE
- FPL FIRE PROTECTION WATERLINE
- RDN BUILDING STORM ROOF DRAIN LINE
- WTR-PUB PUBLIC WATERLINE
- WTR-PRV PRIVATE WATERLINE
- STR-PUB PUBLIC STORM SEWER LINE
- STR PRIVATE STORM SEWER LINE



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Apr 28 2023 7:39am  
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PLAUSIBLE PRELIMINARY PLAT

TIFFANY SPRINGS LOGISTICS CENTRE DEVELOPMENT PLAN KANSAS CITY, MISSOURI

### PRELIMINARY PLAT

PROJECT NO. 222565-000  
ISSUE DATE: 03-24-2023  
REVISIONS  
4-28-23 CITY COMMENTS

DESIGNER: PLK  
DRAWN BY: GSW  
CHECKED BY: TMS  
FIELD BOOK NO.

# TIFFANY SPRINGS LOGISTICS CENTRE

A Part of section 35 & 36, Township 52 North, Range 34 West  
being in Kansas City, Platte County, Missouri



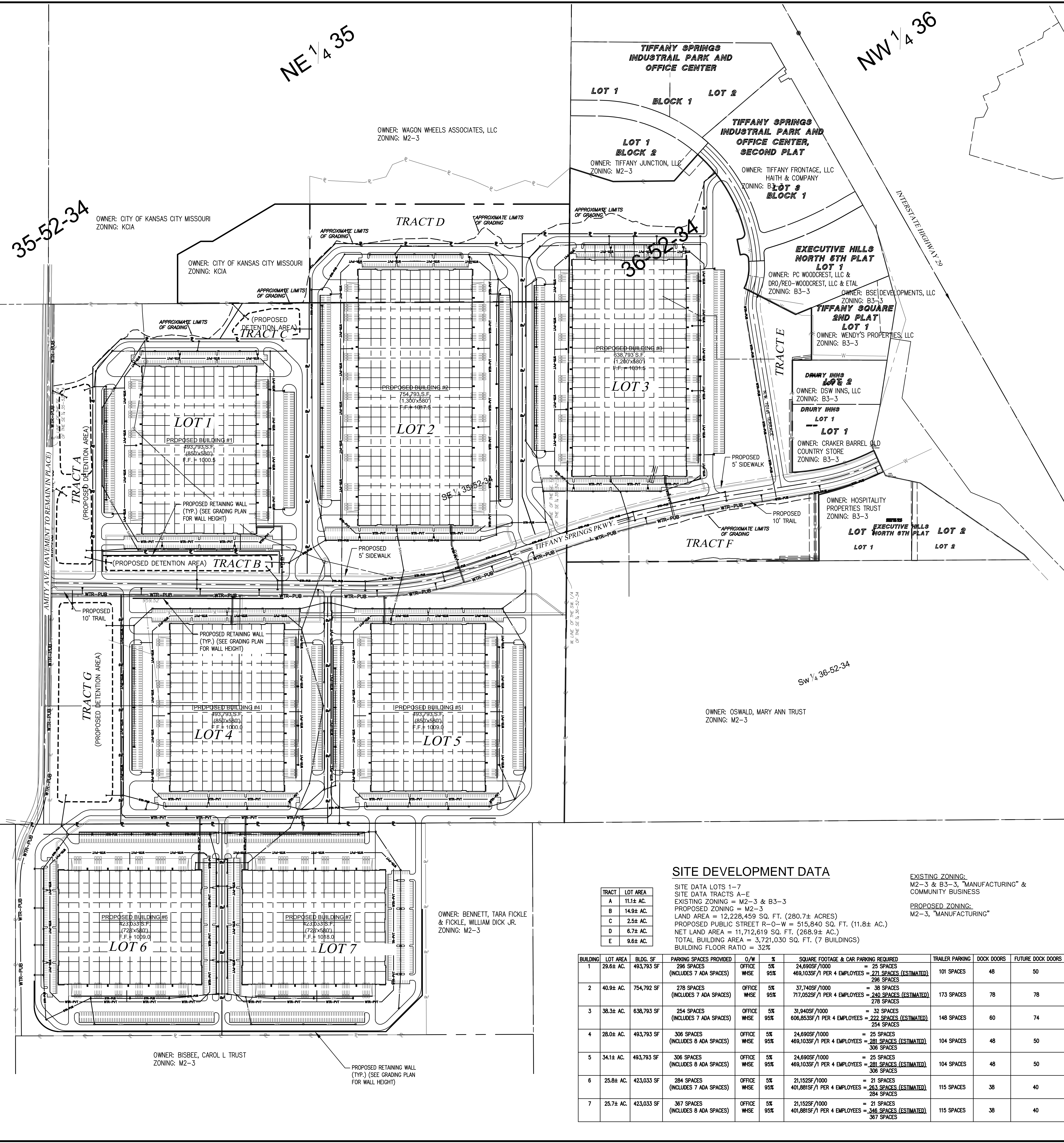
making lives better.

11031 Strang Line Road  
Lenexa, Kansas 66215  
P 913-888-7800  
F 913-888-7868

NOTICE:  
McClure Engineering Company  
warrants any and all responsibility  
and liability for problems which  
arise from failure to follow these  
Plans, Specifications, and the  
engineering intent they convey, or  
for problems which arise from  
failure to obtain and/or follow  
the engineers guidance with  
respect to any errors, omissions,  
inconsistencies, ambiguities, or  
conflicts which are alleged.

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Engineering Company.

MISSOURI CERTIFICATE OF  
AUTHORITY NO. E-20050223  
EXPIRES: DECEMBER 31, 2023



## SITE DEVELOPMENT DATA

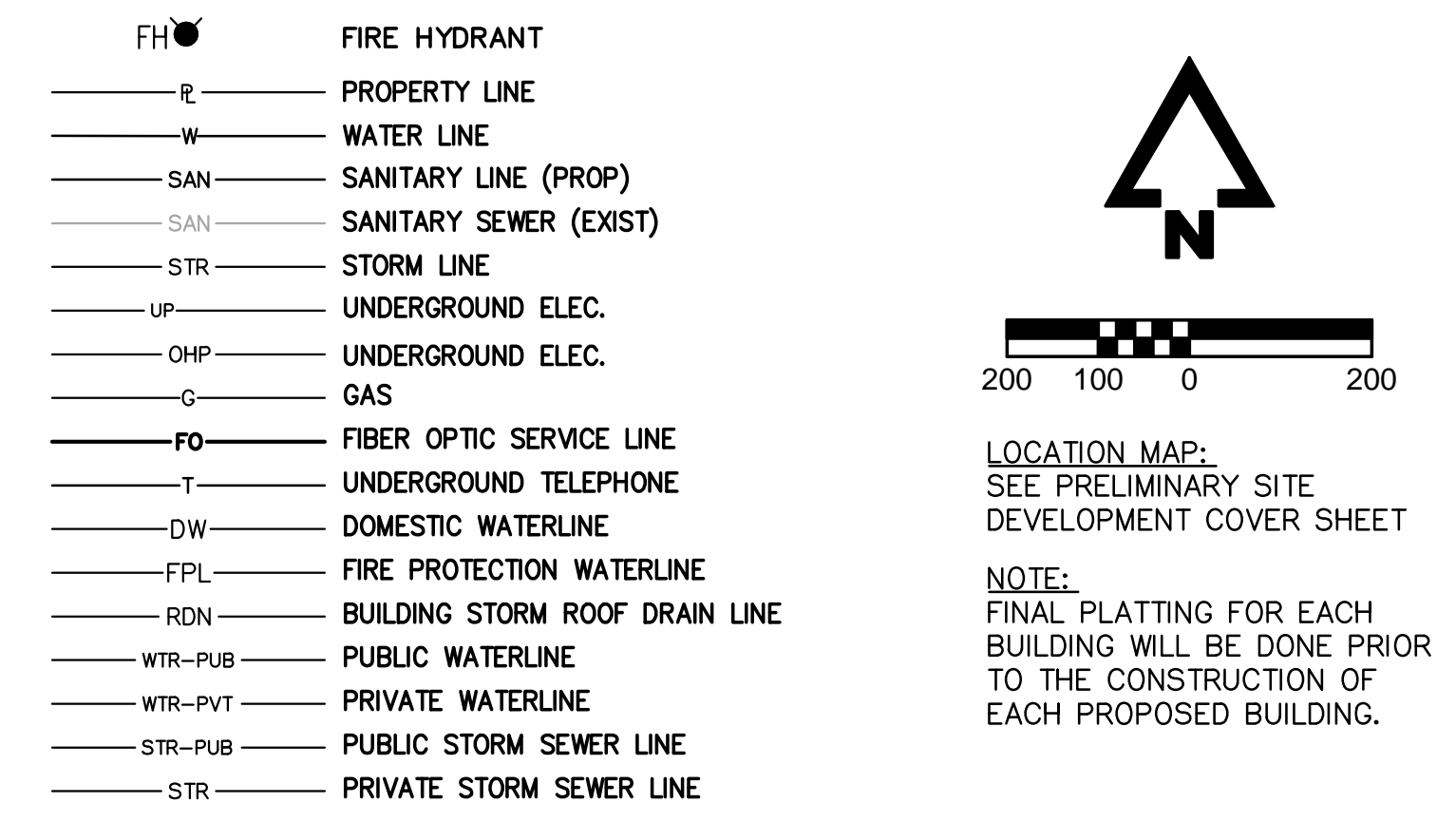
SITE DATA LOTS 1-7  
SITE DATA TRACTS A-E  
EXISTING ZONING = M2-3 & B3-3  
PROPOSED ZONING = M2-3  
LAND AREA = 12,228,459 SQ. FT. (280.7± ACRES)  
PROPOSED PUBLIC STREET R-O-W = 515,840 SQ. FT. (11.8± AC.)  
NET LAND AREA = 11,712,619 SQ. FT. (268.9± AC.)  
TOTAL BUILDING AREA = 3,721,030 SQ. FT. (7 BUILDINGS)  
BUILDING FLOOR RATIO = 32%

TRACT	LOT AREA
A	11.1± AC.
B	14.9± AC.
C	2.5± AC.
D	6.7± AC.
E	9.6± AC.

EXISTING ZONING:  
M2-3 & B3-3, "MANUFACTURING" &  
COMMUNITY BUSINESS  
PROPOSED ZONING:  
M2-3, "MANUFACTURING"

BUILDING	LOT AREA	BLDG. SF	PARKING SPACES PROVIDED	O/W	%	SQUARE FOOTAGE & CAR PARKING REQUIRED	TRAILER PARKING	DOCK DOORS	FUTURE DOCK DOORS
1	29.6± AC.	493,793 SF	296 SPACES (INCLUDES 7 ADA SPACES)	OFFICE WHSE	5% 95%	24,890SF/1000 = 25 SPACES 469,103SF/1 PER 4 EMPLOYEES = 221 SPACES (ESTIMATED) 296 SPACES	101 SPACES	48	50
2	40.8± AC.	754,792 SF	278 SPACES (INCLUDES 7 ADA SPACES)	OFFICE WHSE	5% 95%	37,740SF/1000 = 38 SPACES 717,052SF/1 PER 4 EMPLOYEES = 240 SPACES (ESTIMATED) 278 SPACES	173 SPACES	78	78
3	38.3± AC.	638,793 SF	254 SPACES (INCLUDES 7 ADA SPACES)	OFFICE WHSE	5% 95%	31,940SF/1000 = 32 SPACES 606,853SF/1 PER 4 EMPLOYEES = 254 SPACES (ESTIMATED) 254 SPACES	148 SPACES	60	74
4	28.0± AC.	493,793 SF	306 SPACES (INCLUDES 8 ADA SPACES)	OFFICE WHSE	5% 95%	24,890SF/1000 = 25 SPACES 469,103SF/1 PER 4 EMPLOYEES = 281 SPACES (ESTIMATED) 306 SPACES	104 SPACES	48	50
5	34.1± AC.	493,793 SF	306 SPACES (INCLUDES 8 ADA SPACES)	OFFICE WHSE	5% 95%	24,890SF/1000 = 25 SPACES 469,103SF/1 PER 4 EMPLOYEES = 281 SPACES (ESTIMATED) 306 SPACES	104 SPACES	48	50
6	25.8± AC.	423,033 SF	284 SPACES (INCLUDES 7 ADA SPACES)	OFFICE WHSE	5% 95%	21,152SF/1000 = 21 SPACES 401,881SF/1 PER 4 EMPLOYEES = 263 SPACES (ESTIMATED) 284 SPACES	115 SPACES	38	40
7	25.7± AC.	423,033 SF	367 SPACES (INCLUDES 8 ADA SPACES)	OFFICE WHSE	5% 95%	21,152SF/1000 = 21 SPACES 401,881SF/1 PER 4 EMPLOYEES = 346 SPACES (ESTIMATED) 367 SPACES	115 SPACES	38	40

## LEGEND



LOCATION MAP:  
SEE PRELIMINARY SITE  
DEVELOPMENT COVER SHEET

NOTE:  
FINAL PLATTING FOR EACH  
BUILDING WILL BE DONE PRIOR  
TO THE CONSTRUCTION OF  
EACH PROPOSED BUILDING.

TIFFANY SPRINGS  
LOGISTICS CENTRE  
DEVELOPMENT PLAN  
KANSAS CITY, MISSOURI

PRELIMINARY  
SITE PLAN  
(OVERALL)

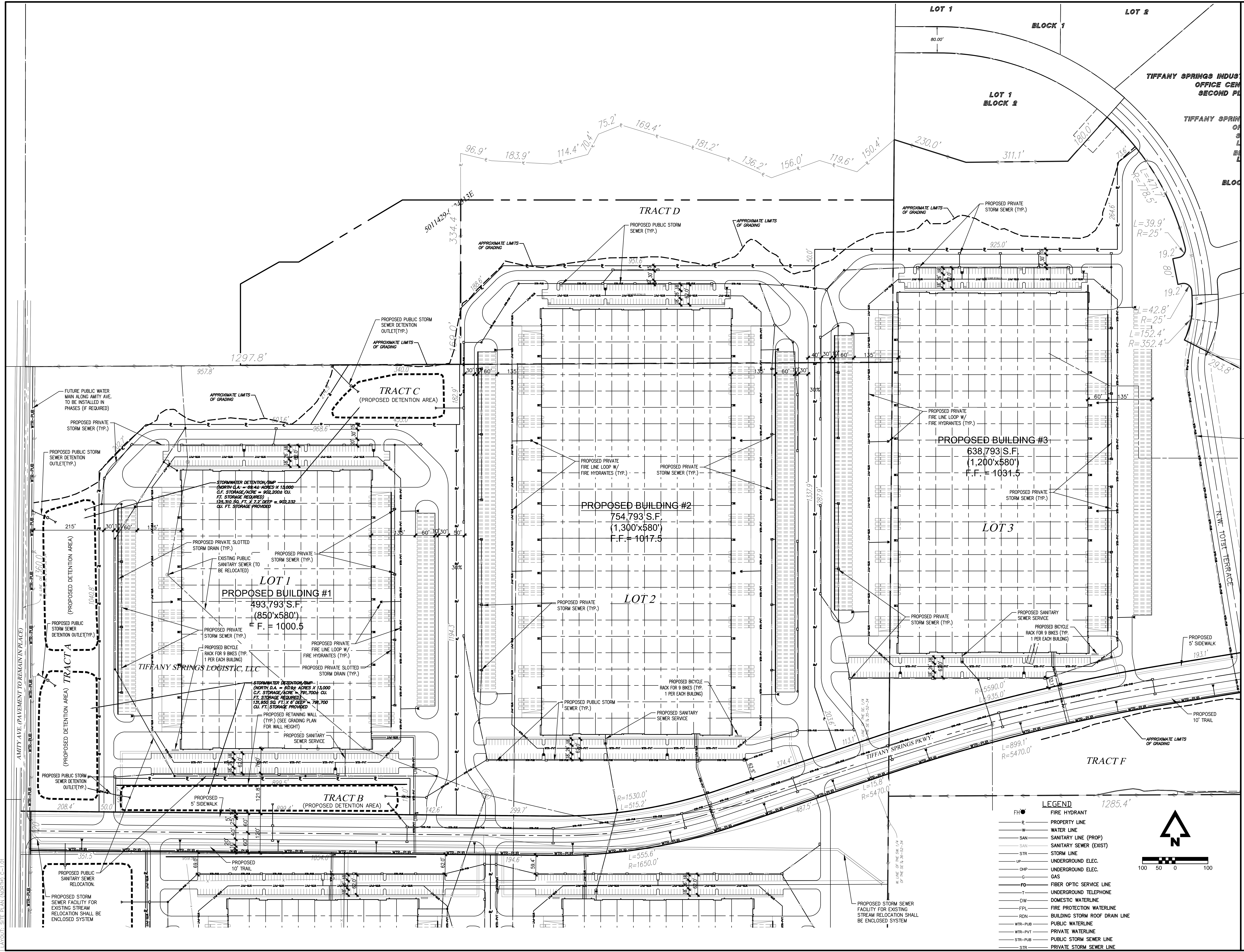
PROJECT NO. 222565-000  
ISSUE DATE: 03-24-2023

4-28-23 CITY COMMENTS

DESIGNED BY  
PLK  
CHECKED BY  
TMS

DRAWN BY  
GSW  
FIELD BOOK NO.

P:\211565-000-00-Drainings\Civil\211565-000 - SITE.DWG  
Apr 28 2023 10:06am  
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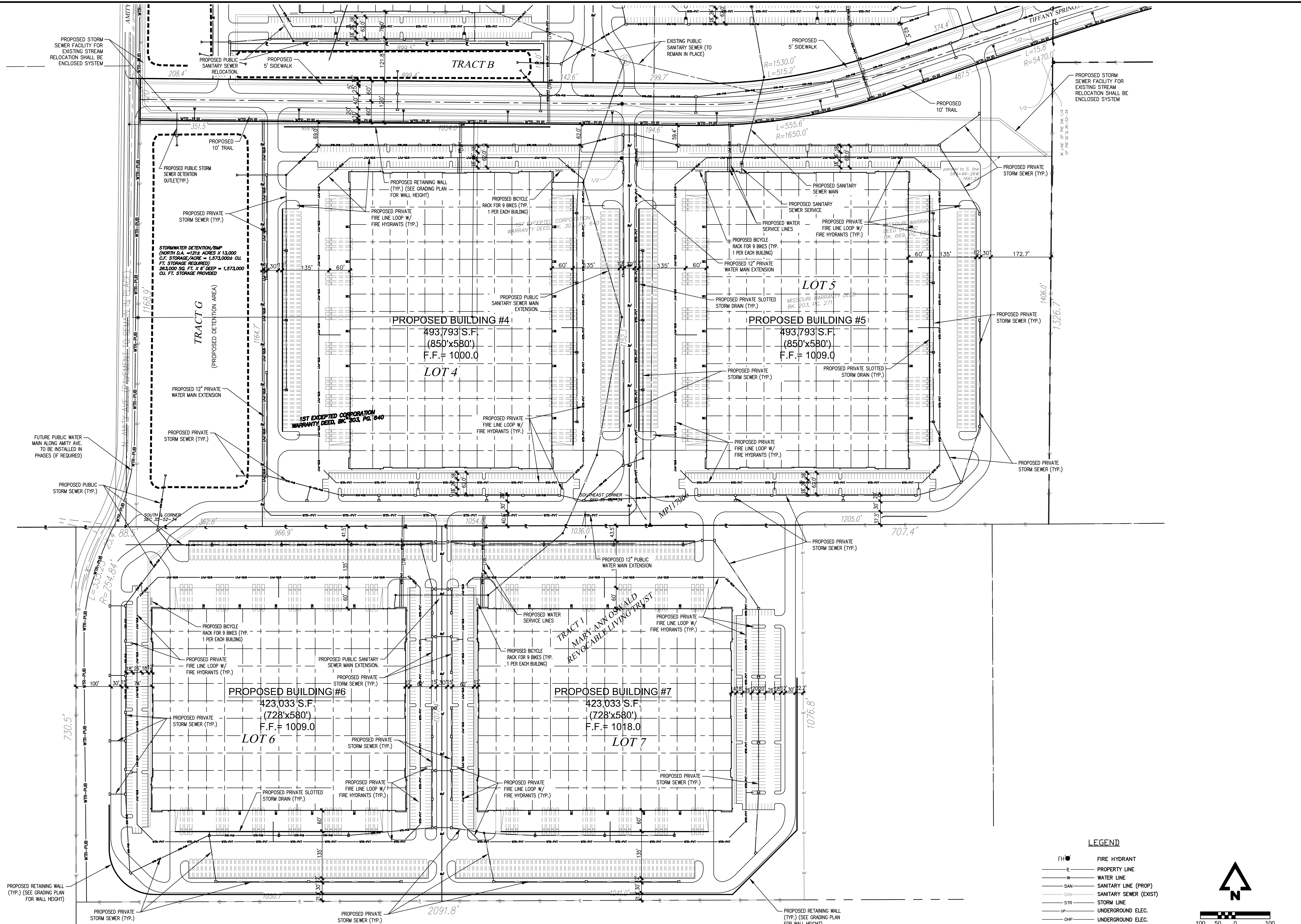
**LEGEND**

- FH ● FIRE HYDRANT
- P- PROPERTY LINE
- W- WATER LINE
- SAN- SANITARY LINE (PROP)
- SAN- SANITARY SEWER (EXIST)
- STR- STORM LINE
- UP- UNDERGROUND ELEC.
- OHP- UNDERGROUND ELEC.
- G- GAS
- FO- FIBER OPTIC SERVICE LINE
- T- UNDERGROUND TELEPHONE
- DW- DOMESTIC WATERLINE
- FPL- FIRE PROTECTION WATERLINE
- RDN- BUILDING STORM ROOF DRAIN LINE
- WTR-PUB- PUBLIC WATERLINE
- WTR-PVT- PRIVATE WATERLINE
- STR-PUB- PUBLIC STORM SEWER LINE
- STR- PRIVATE STORM SEWER LINE

100 50 0 100

1285.4'

P:\21565-000\Drawings\Civil\21565-000 - SITE.DWG  
APP - 03/24/2023 11:07 am  
DRAWN BY: PLK  
CHECKED BY: TMS



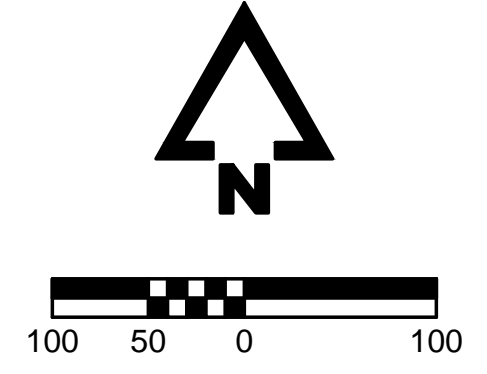
STORMWATER DETENTION/BMP  
(NORTH C.A. - 124 ACRES X 13,000  
C.F. STORAGE/ACRE = 1,573,000 CU  
FT. STORAGE REQUIRED =  
243,000 SQ. FT. X 4' DEEP = 1,573,000  
CU. FT. STORAGE PROVIDED

1ST EXCEPTED CORPORATION  
WARRANTY DEED, BK. 303, PG. 840

TRACT I  
MARY ANN OSWALD  
REVOCABLE LIVING TRUST

**LEGEND**

FH	FIRE HYDRANT
-	PROPERTY LINE
—	WATER LINE
-SAN-	SANITARY LINE (PROP)
-SANE-	SANITARY SEWER (EXIST)
-STR-	STORM LINE
UP	UNDERGROUND ELEC.
DHP	UNDERGROUND ELEC.
G	GAS
FO	FIBER OPTIC SERVICE LINE
T	UNDERGROUND TELEPHONE
DW	DOMESTIC WATERLINE
FPL	FIRE PROTECTION WATERLINE
RDN	BUILDING STORM WATER DRAIN LINE
WTR-PUB	PUBLIC WATERLINE
WTR-PVT	PRIVATE WATERLINE
STR-PUB	PUBLIC STORM SEWER LINE
STR	PRIVATE STORM SEWER LINE



P:\211565-000\05-Drawings\Civil\211565-000 - SITE.dwg  
Apr 26 2023 11:06am  
P:\211565-000\05-DRAWINGS\Civil\211565-000 - SITE.DWG  
DRAWN BY: GSW/TMS

PLK

NOTE:  
CONTRACTOR SHALL PROVIDE EROSION CONTROL AS REQUIRED BY KCMO STANDARDS AND DETAILS.  
CONTRACTOR SHALL PROVIDE TEMPORARY SWALES TO DRAIN LOW POINTS UNTIL FINAL GRADING & STORM SEWER IS COMPLETED.

NOTE:  
ALL EROSION CONTROL DETAILS SHALL CONFORM TO THE CITY STANDARD DETAILS.

NOTE:  
ALL GRADING SHALL NOT EXCEED A 3:1 SLOPE.

NOTE:  
ALL AREAS DISTURBED SHALL BE SEEDED.

NOTE:  
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING EROSION AND SEDIMENT CONTROL FOR THE DURATION OF THE PROJECT. IF THE CITY DETERMINES THAT THE MEASURES IN PLACE DO NOT PROVIDE ADEQUATE EROSION AND SEDIMENT CONTROL AT ANY TIME DURING THE PROJECT, THE CONTRACTOR SHALL INSTALL ADDITIONAL OR ALTERNATIVE MEASURES THAT PROVIDE EFFECTIVE CONTROL.

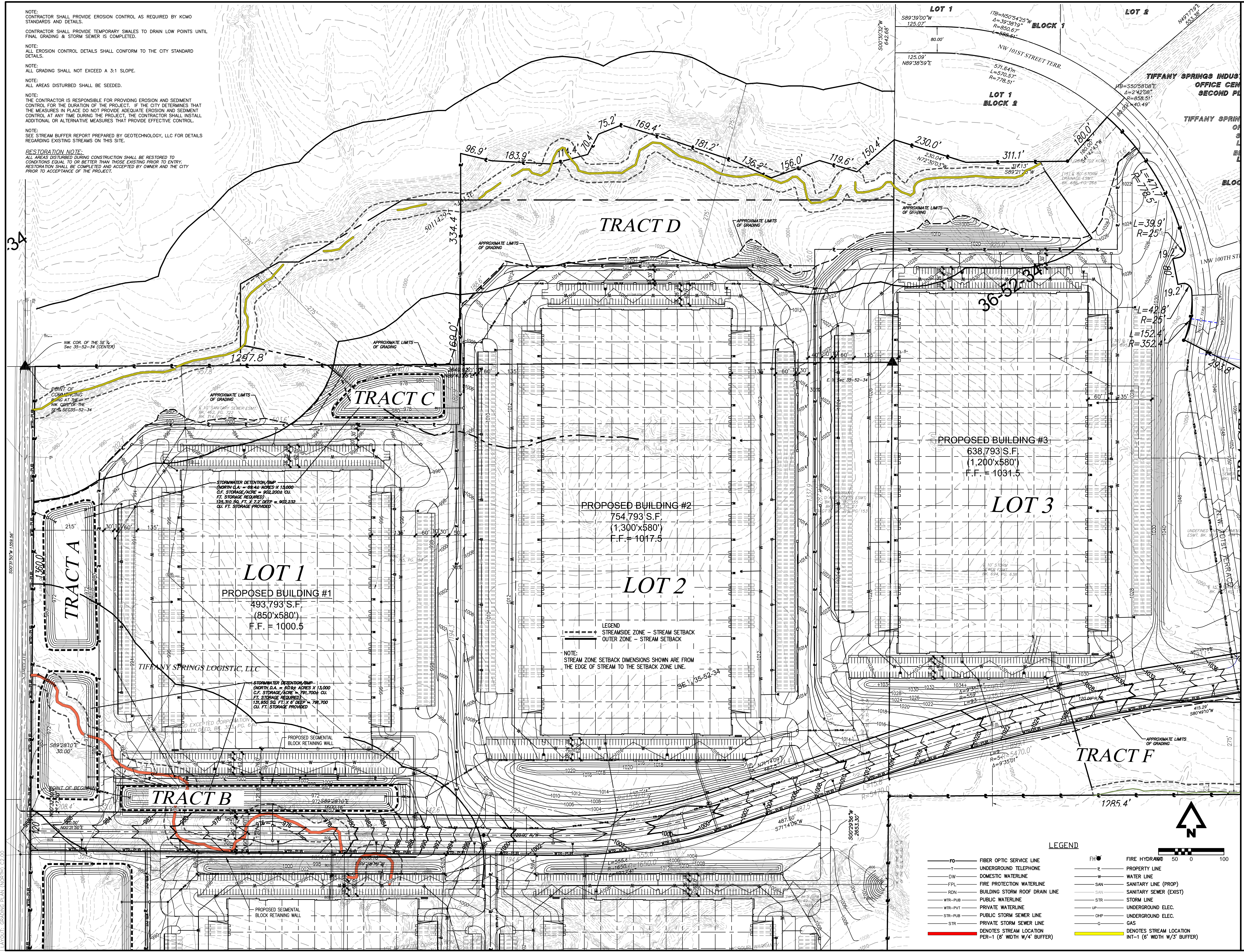
NOTE:  
SEE STREAM BUFFER REPORT PREPARED BY GEOTECHNOLOGY, LLC FOR DETAILS REGARDING EXISTING STREAMS ON THIS SITE.

RESTORATION NOTE:  
ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITIONS OR TO A BETTER STATE THAN THOSE EXISTING PRIOR TO ENTRY. RESTORATION SHALL BE COMPLETED AND ACCEPTED BY OWNER AND THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.

NOTE:  
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MISSOURI CERTIFICATE OF AUTHORITY NO. E-200522353  
EXPIRES: DECEMBER 31, 2023



PROPOSED BUILDING #2  
754,793 S.F.  
(1,300'x580')  
F.F. = 1017.5

PROPOSED BUILDING #3  
638,793 S.F.  
(1,200'x580')  
F.F. = 1031.5

LOT 1  
PROPOSED BUILDING #1  
493,793 S.F.  
(850'x580')  
F.F. = 1000.5

LEGEND  
STREAMSIDE ZONE - STREAM SETBACK  
OUTER ZONE - STREAM SETBACK  
NOTE:  
STREAM ZONE SETBACK DIMENSIONS SHOWN ARE FROM THE EDGE OF STREAM TO THE SETBACK ZONE LINE.

LEGEND

FO	FIBER OPTIC SERVICE LINE	FH	FIRE HYDRANT
T	UNDERGROUND TELEPHONE	P	PROPERTY LINE
DW	DOMESTIC WATERLINE	W	WATER LINE
FPL	FIRE PROTECTION WATERLINE	SAN	SANITARY LINE (PROP)
RDN	BUILDING STORM ROOF DRAIN LINE	SAN	SANITARY SEWER (EXIST)
WTR-PUB	PUBLIC WATERLINE	STR	STORM LINE
WTR-PVT	PRIVATE WATERLINE	UP	UNDERGROUND ELEC.
STR-PUB	PUBLIC STORM SEWER LINE	OHP	UNDERGROUND ELEC.
STR	PRIVATE STORM SEWER LINE	G	GAS
	PER-1 (6' WIDTH W/4' BUFFER)		DENOTES STREAM LOCATION
			INT-1 (6' WIDTH W/3' BUFFER)

TIFFANY SPRINGS LOGISTICS CENTRE DEVELOPMENT PLAN KANSAS CITY, MISSOURI

OVERALL SITE GRADING PLAN (NORTH)

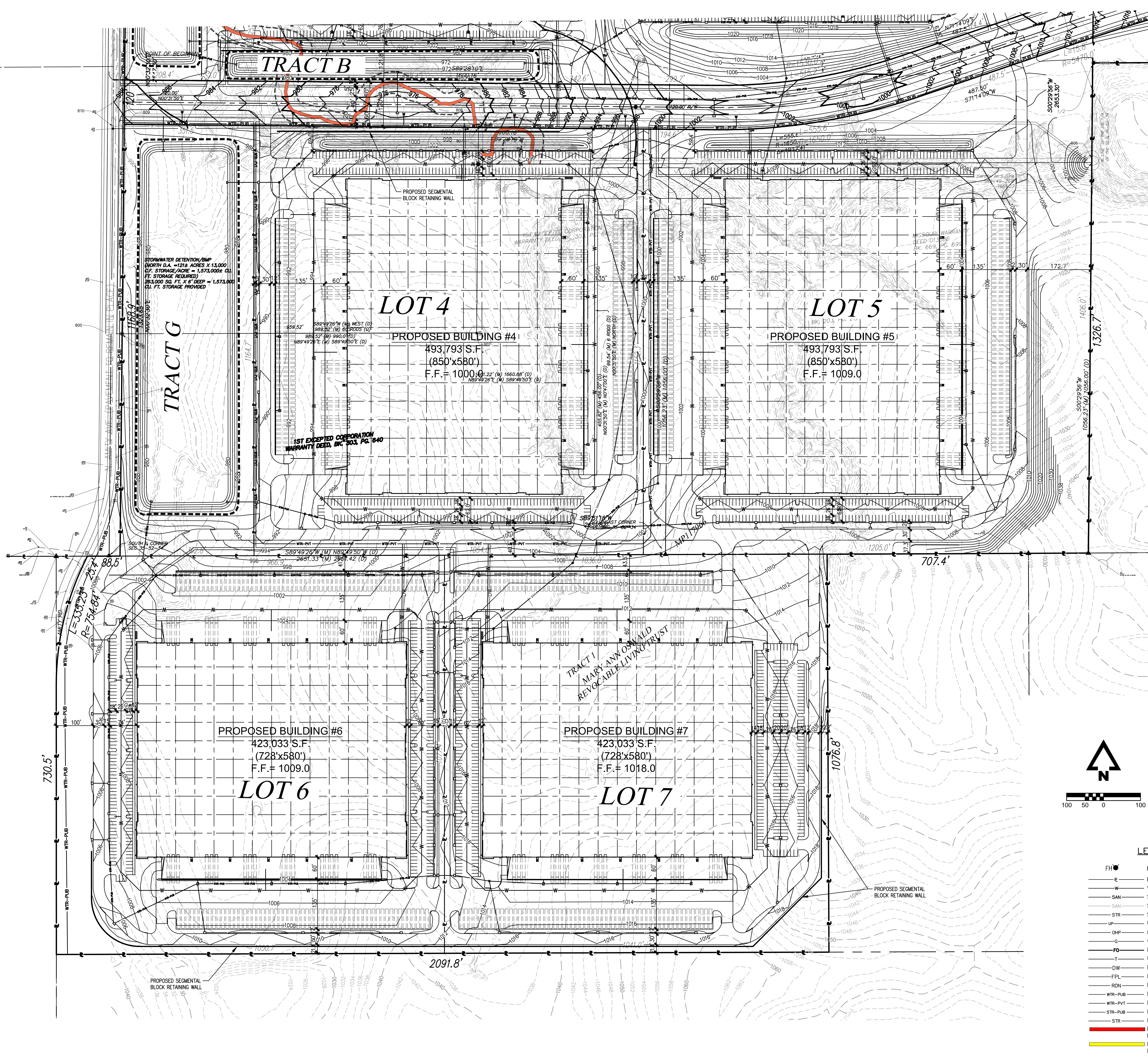
PROJECT NO. 222565-000  
ISSUE DATE: 03-24-2023  
REVISIONS  
4-28-23 CITY COMMENTS

DESIGNED BY: TMS  
DRAWN BY: GSW  
CHECKED BY: TMS  
FIELD BOOK NO.:

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EXPIRES: DECEMBER 31, 2023



**NOTE:**  
CONTRACTOR SHALL PROVIDE EROSION CONTROL AS REQUIRED BY KCMO STANDARDS AND DETAILS.  
CONTRACTOR SHALL PROVIDE TEMPORARY SWALES TO DRAIN LOW POINTS UNTIL FINAL GRADING & STORM SEWER IS COMPLETED.

**NOTE:**  
ALL EROSION CONTROL DETAILS SHALL CONFORM TO THE CITY STANDARD DETAILS.

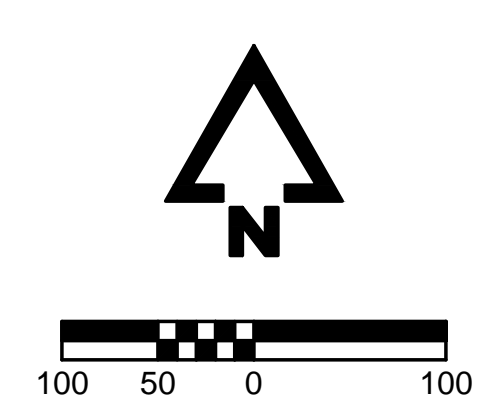
**NOTE:**  
ALL GRADING SHALL NOT EXCEED A 3:1 SLOPE.

**NOTE:**  
ALL AREAS DISTURBED SHALL BE SEED.

**NOTE:**  
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**NOTE:**  
SEE STREAM BUFFER REPORT PREPARED BY GEOTECHNOLOGY, LLC FOR DETAILS REGARDING EXISTING STREAMS ON THIS SITE.

**RESTORATION NOTE:**  
ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO CONDITIONS EQUAL TO OR BETTER THAN THOSE EXISTING PRIOR TO ENTRY. RESTORATION SHALL BE COMPLETED AND ACCEPTED BY OWNER AND THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.



**LEGEND**

- FH ● FIRE HYDRANT
- PROPERTY LINE
- W WATER LINE
- SAN SANITARY LINE (PROP)
- SAN SANITARY SEWER (EXIST)
- STR STORM LINE
- UP UNDERGROUND ELEC.
- CHP UNDERGROUND ELEC.
- G GAS
- FO FIBER OPTIC SERVICE LINE
- T UNDERGROUND TELEPHONE
- DW DOMESTIC WATERLINE
- FPL FIRE PROTECTION WATERLINE
- RDN BUILDING STORM ROOF DRAIN LINE
- WTR-PUB PUBLIC WATERLINE
- WTR-PRV PRIVATE WATERLINE
- STR-PUB PUBLIC STORM SEWER LINE
- STR PRIVATE STORM SEWER LINE
- PER-1 (8' WIDTH W/4' BUFFER) DENOTES STREAM LOCATION
- INT-1 (6' WIDTH W/3' BUFFER) DENOTES STREAM LOCATION

TIFFANY SPRINGS  
LOGISTICS CENTRE  
DEVELOPMENT PLAN  
KANSAS CITY, MISSOURI

OVERALL SITE  
GRADING PLAN  
(SOUTH)

PROJECT NO. 222565-000  
ISSUE DATE: 03-24-2023

REVISIONS  
4-28-23 CITY COMMENTS

DESIGNED BY PLK  
DRAWN BY GSW  
CHECKED BY TMS  
FIELD BOOK NO.

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App: 28/02/2023 9:51am  
PLOT DATE: 03/24/2023 12:22:23

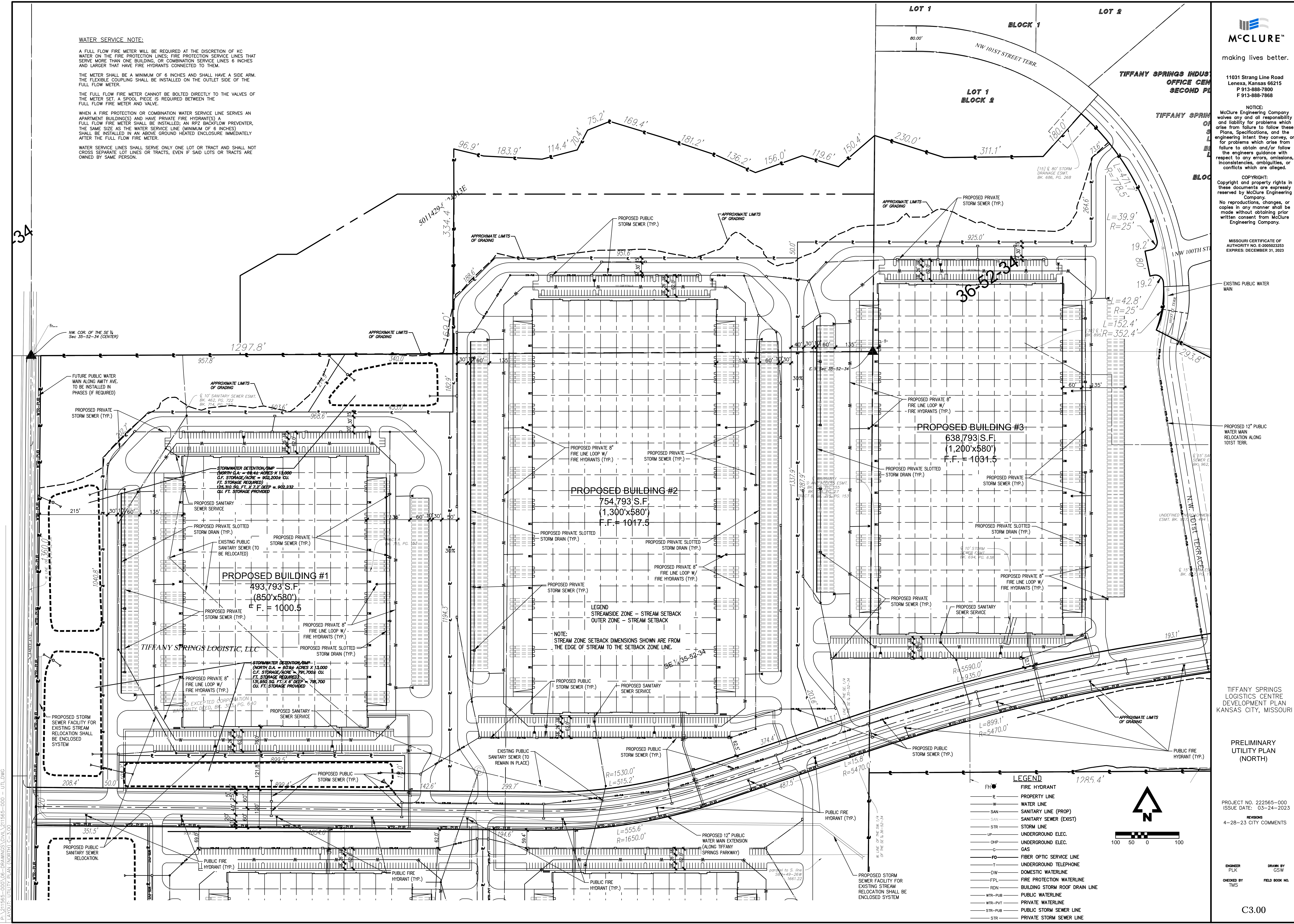


**WATER SERVICE NOTE:**

A FULL FLOW FIRE METER WILL BE REQUIRED AT THE DISCRETION OF KC  
WATER ON THE FIRE PROTECTION LINES; FIRE PROTECTION SERVICE LINES THAT  
SERVE MORE THAN ONE BUILDING, OR COMBINATION SERVICE LINES 6 INCHES  
AND LARGER THAT HAVE FIRE HYDRANTS CONNECTED TO THEM.  
THE METER SHALL BE A MINIMUM OF 6 INCHES AND SHALL HAVE A SIDE ARM.  
THE FLEXIBLE COUPLING SHALL BE INSTALLED ON THE OUTLET SIDE OF THE  
FULL FLOW METER.  
THE FULL FLOW FIRE METER CANNOT BE BOLTED DIRECTLY TO THE VALVES OF  
THE METER SET. A SPOOL PIECE IS REQUIRED BETWEEN THE  
FULL FLOW FIRE METER AND VALVE.

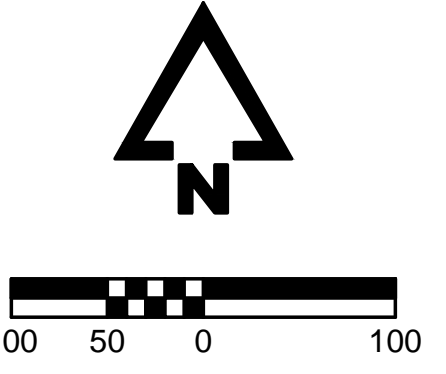
WHEN A FIRE PROTECTION OR COMBINATION WATER SERVICE LINE SERVES AN  
APARTMENT BUILDING(S) AND HAVE PRIVATE FIRE HYDRANTS(S) A  
FULL FLOW FIRE METER SHALL BE INSTALLED, AN RPZ BACKFLOW PREVENTER,  
THE SAME SIZE AS THE WATER SERVICE LINE (MINIMUM OF 6 INCHES)  
SHALL BE INSTALLED IN AN ABOVE GROUND HEATED ENCLOSURE IMMEDIATELY  
AFTER THE FULL FLOW FIRE METER.

WATER SERVICE LINES SHALL SERVE ONLY ONE LOT OR TRACT AND SHALL NOT  
CROSS SEPARATE LOT LINES OR TRACTS, EVEN IF SAID LOTS OR TRACTS ARE  
OWNED BY SAME PERSON.



**LEGEND**

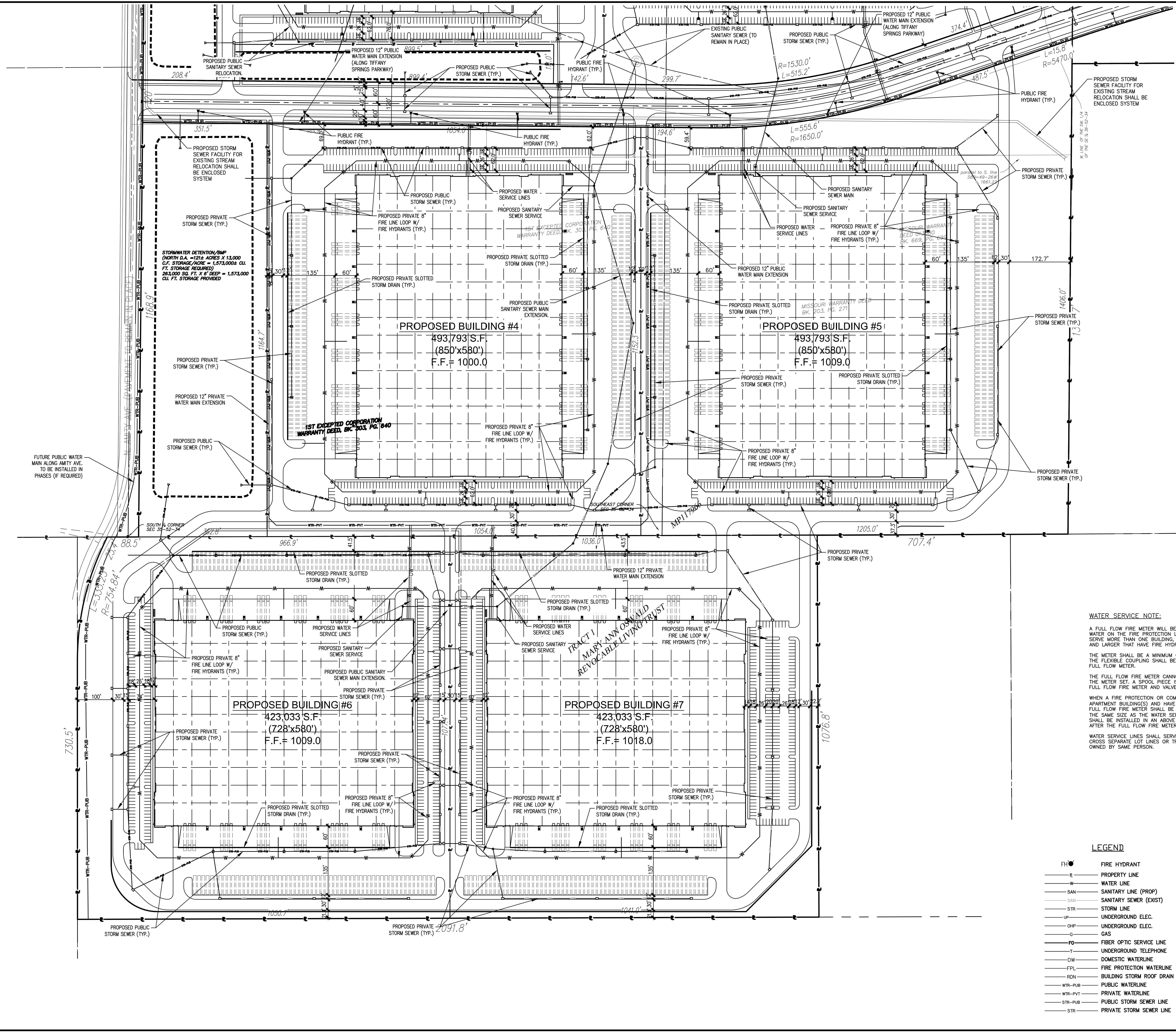
- ⦿ FH FIRE HYDRANT
- P PROPERTY LINE
- W WATER LINE
- SAN SANITARY LINE (PROP)
- SAN SANITARY SEWER (EXIST)
- STR STORM LINE
- UP UNDERGROUND ELEC.
- CHP UNDERGROUND ELEC.
- G GAS
- FO FIBER OPTIC SERVICE LINE
- T UNDERGROUND TELEPHONE
- DW DOMESTIC WATERLINE
- FPL FIRE PROTECTION WATERLINE
- RDN BUILDING STORM ROOF DRAIN LINE
- WTR-PUB PUBLIC WATERLINE
- WTR-PRV PRIVATE WATERLINE
- STR-PUB PUBLIC STORM SEWER LINE
- STR-PRV PRIVATE STORM SEWER LINE



**NOTICE:**  
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MISSOURI CERTIFICATE OF AUTHORITY NO. E-200522353  
EXPIRES: DECEMBER 31, 2023



TIFFANY SPRINGS  
LOGISTICS CENTRE  
DEVELOPMENT PLAN  
KANSAS CITY, MISSOURI

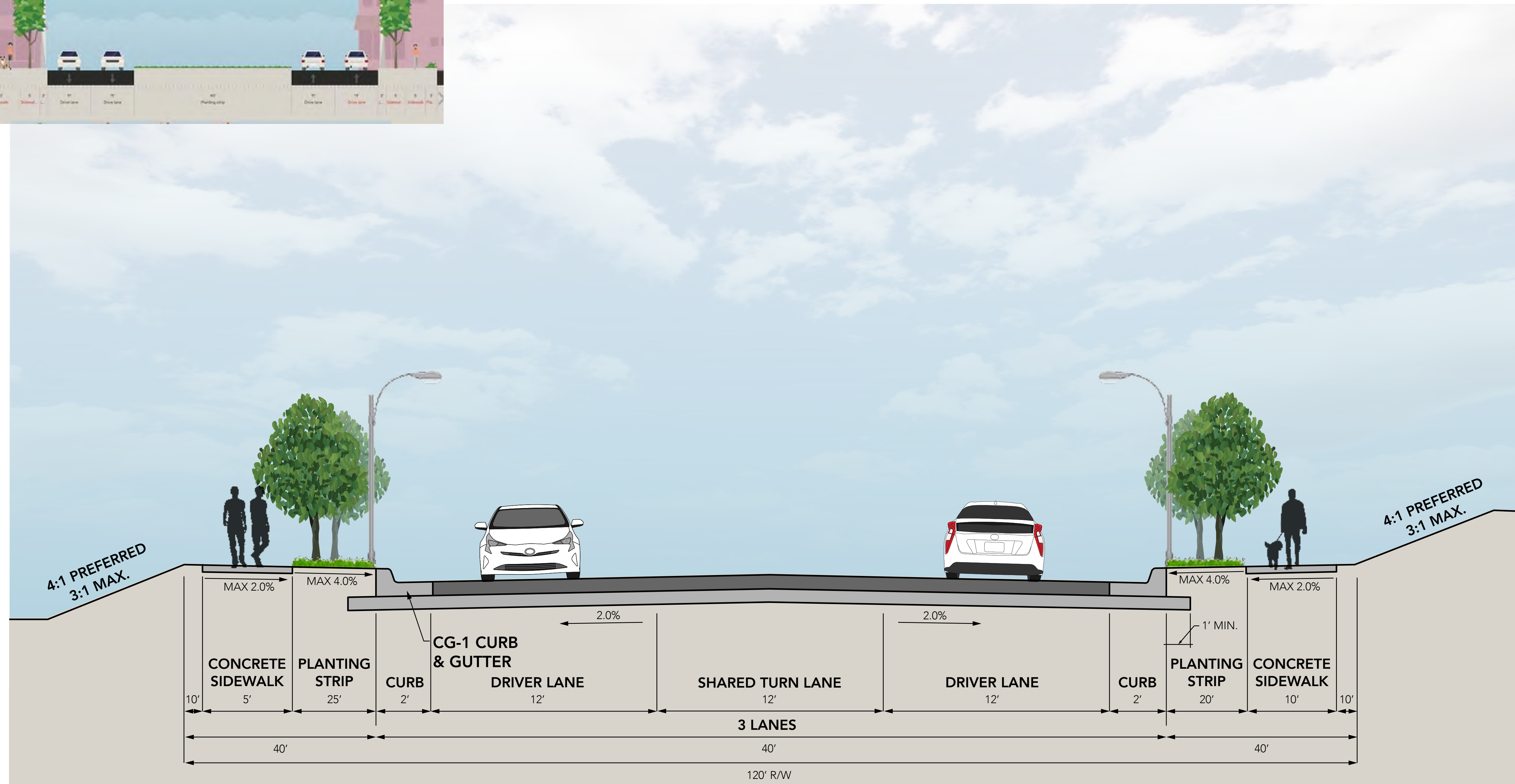
PRELIMINARY  
UTILITY PLAN  
(SOUTH)

PROJECT NO. 222565-000  
ISSUE DATE: 03-24-2023

REVISIONS  
4-28-23 CITY COMMENTS

DESIGNED BY: PLK  
DRAWN BY: GSW  
CHECKED BY: TMS  
FIELD BOOK NO.:

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Apr 28 2023 11:20am  
PLK  
P:\211565-000\Drawings\Civil\211565-000 - UTL.dwg  
PLK



**TYPICAL SECTION  
(INDUSTRIAL)**

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AUTHORITY NO. E2723  
EXPIRES: DECEMBER 31, 2022**

TIFFANY SPRINGS  
LOGISTICS CENTRE  
DEVELOPMENT PLAN  
KANSAS CITY, MISSOURI

TIFFANY SPRINGS  
PKWY. STREET  
SECTION DETAIL

PROJECT NO. 211309-000  
ISSUE DATE: 3-24-2022

REVISIONS

ENGINEER: PLK  
DRAWN BY: BGL  
CHECKED BY: TMS  
FIELD BOOK NO.:

SHEET NO.  
**C4.00**

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MISSOURI CERTIFICATE OF AUTHORITY NO. E-200522353  
EXPIRES: DECEMBER 31, 2023

TIFFANY SPRINGS LOGISTICS CENTRE DEVELOPMENT PLAN KANSAS CITY, MISSOURI

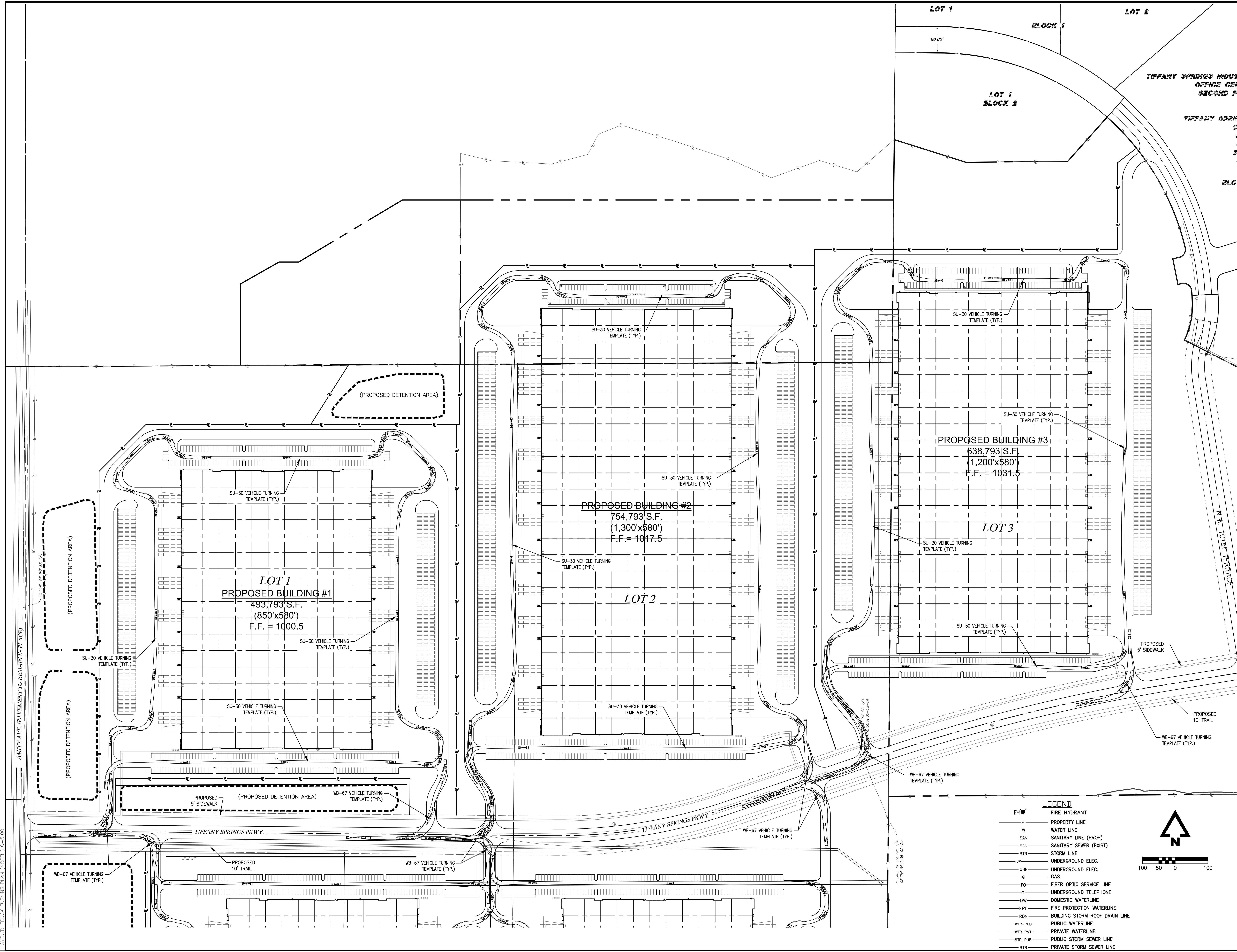
PRELIMINARY SITE TRUCK TURNING TEMPLATE PLAN (NORTH)

PROJECT NO. 222565-000  
ISSUE DATE: 03-24-2023

REVISIONS  
4-28-23 CITY COMMENTS

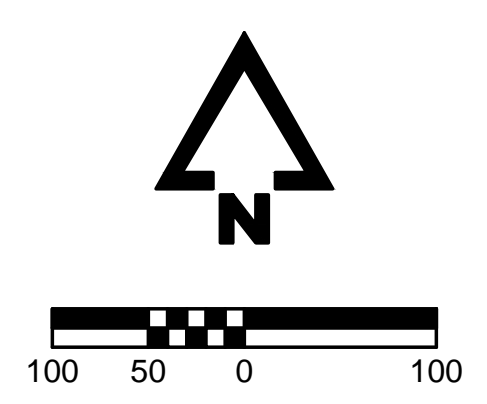
DESIGNED BY: PLK  
DRAWN BY: GSW  
CHECKED BY: TMS  
FIELD BOOK NO.:

C5.00

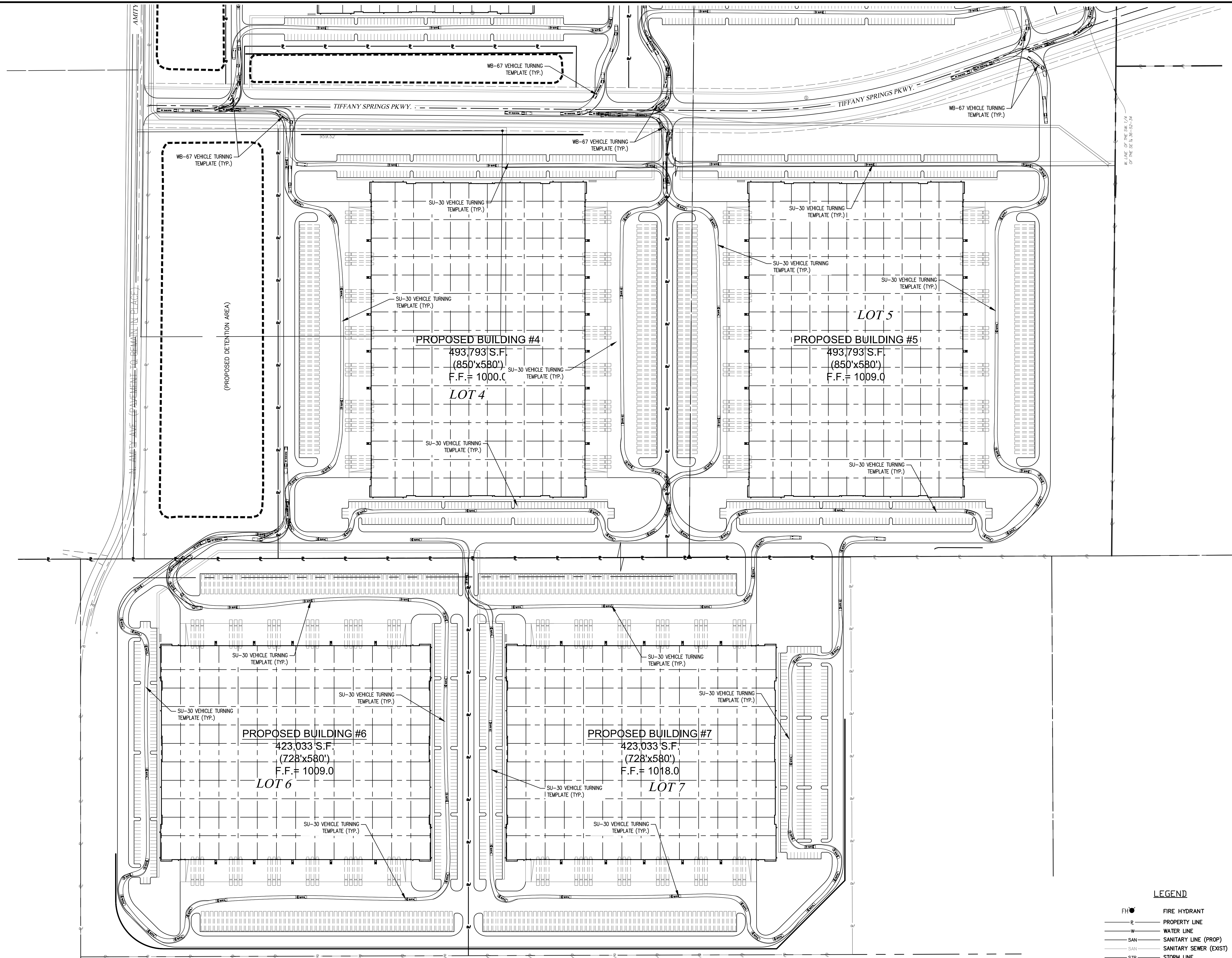


**LEGEND**

FH	FIRE HYDRANT
P	PROPERTY LINE
W	WATER LINE
SAN	SANITARY LINE (PROP)
SAN	SANITARY SEWER (EXIST)
STR	STORM LINE
UP	UNDERGROUND ELEC.
CHP	UNDERGROUND ELEC.
C	GAS
FO	FIBER OPTIC SERVICE LINE
T	UNDERGROUND TELEPHONE
DW	DOMESTIC WATERLINE
FPL	FIRE PROTECTION WATERLINE
RDN	BUILDING STORM ROOF DRAIN LINE
WTR-PUB	PUBLIC WATERLINE
WTR-PVT	PRIVATE WATERLINE
STR-PUB	PUBLIC STORM SEWER LINE
STR	PRIVATE STORM SEWER LINE

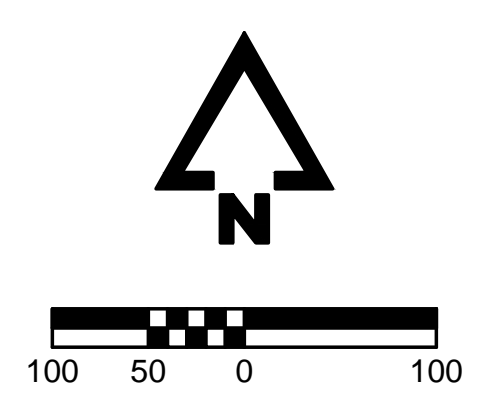


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Apr 28 2023 7:44 am  
PLOT DATE: 03/24/2023 7:44 am  
PLOT SCALE: 1/8" = 1'-0"



**LEGEND**

FH	FIRE HYDRANT
—	PROPERTY LINE
—	WATER LINE
—	SANITARY LINE (PROP)
—	SANITARY SEWER (EXIST)
—	STORM LINE
—	UNDERGROUND ELEC.
—	UNDERGROUND ELEC.
—	GAS
—	FIBER OPTIC SERVICE LINE
—	UNDERGROUND TELEPHONE
—	DOMESTIC WATERLINE
—	FIRE PROTECTION WATERLINE
—	BUILDING STORM ROOF DRAIN LINE
—	PUBLIC WATERLINE
—	PRIVATE WATERLINE
—	PUBLIC STORM SEWER LINE
—	PRIVATE STORM SEWER LINE



TIFFANY SPRINGS  
LOGISTICS CENTRE  
DEVELOPMENT PLAN  
KANSAS CITY, MISSOURI

PRELIMINARY  
SITE TRUCK  
TURNING TEMPLATE  
PLAN (SOUTH)

PROJECT NO. 222565-000  
ISSUE DATE: 03-24-2023

REVISIONS  
4-28-23 CITY COMMENTS

DESIGNED BY: PLK  
DRAWN BY: GSW  
CHECKED BY: TMS  
FIELD BOOK NO.:

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Apr 20 2023 7:43am  
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PLK:GWS:TMS

4/27/2023 10:37:33 AM | Building 2 Tiffany Springs Logistics Centre



Building 2 Tiffany Springs Logistics Centre

10901 MILL CREEK RD., LENEKA, KANSAS 66219



Project No.: 21053  
Date: 03/24/2023  
Issued For: PRELIMINARY PLANS

REVISIONS		
No.	Date	Description

REGISTRATION

NOT FOR CONSTRUCTION



PROJECT TEAM

ARCHITECT	FINKLE+WILLIAMS ARCHITECTURE
CIVIL	MCCLURE ENGINEERING
LANDSCAPE	J&H LANDSCAPING
STRUCTURAL	KRUDWIG ENGINEERING
PLUMBING	BC ENGINEERS
MECHANICAL	TEMP-CON
ELECTRICAL	HERITAGE ELECTRIC
FIRE PROTECTION	ALLIANCE FIRE PROTECTION
CONTRACTOR	ARCO NATIONAL CONSTRUCTION



8787 RENNER BLVD., SUITE 100 LENEKA, KANSAS 66219  
913.498.1550  
www.finklewilliams.com

SHEET TITLE  
ARCHITECTURAL SITE PLAN

SHEET NUMBER  
A0.10

REVISIONS		
No.	Date	Description

REGISTRATION

PROJECT TEAM

ARCHITECT FINKLE + WILLIAMS  
ARCHITECTURE

CIVIL MCCLURE ENGINEERING

LANDSCAPE J&H LANDSCAPING

STRUCTURAL

PLUMBING

MECHANICAL

ELECTRICAL

FIRE PROTECTION

CONTRACTOR



FINKLE + WILLIAMS  
ARCHITECTURE

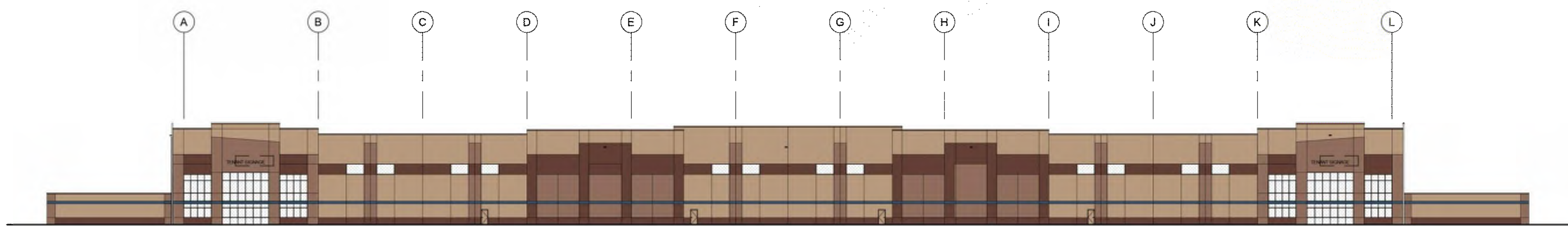
8787 RENNER BLVD., SUITE 100  
LENEXA, KANSAS 66219  
913.498.1550  
www.finklewilliams.com

SHEET TITLE

OVERALL  
ELEVATIONS

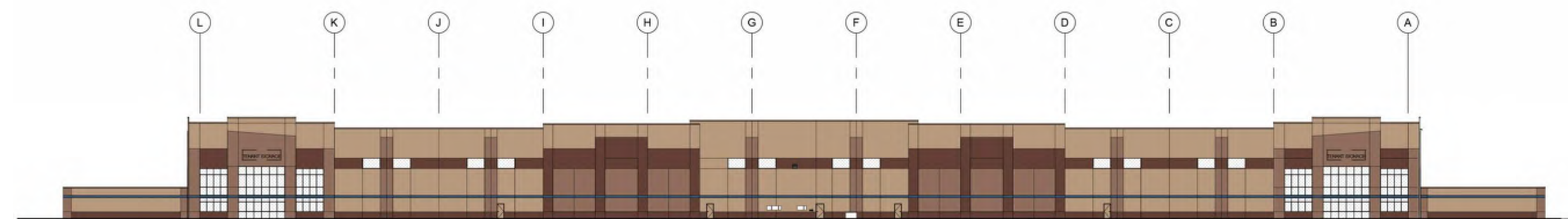
SHEET NUMBER

**A4.01**



**4 EAST ELEVATION**

A4.01 SCALE: 1" = 40'-0"



**3 WEST ELEVATION**

A4.01 SCALE: 1" = 40'-0"



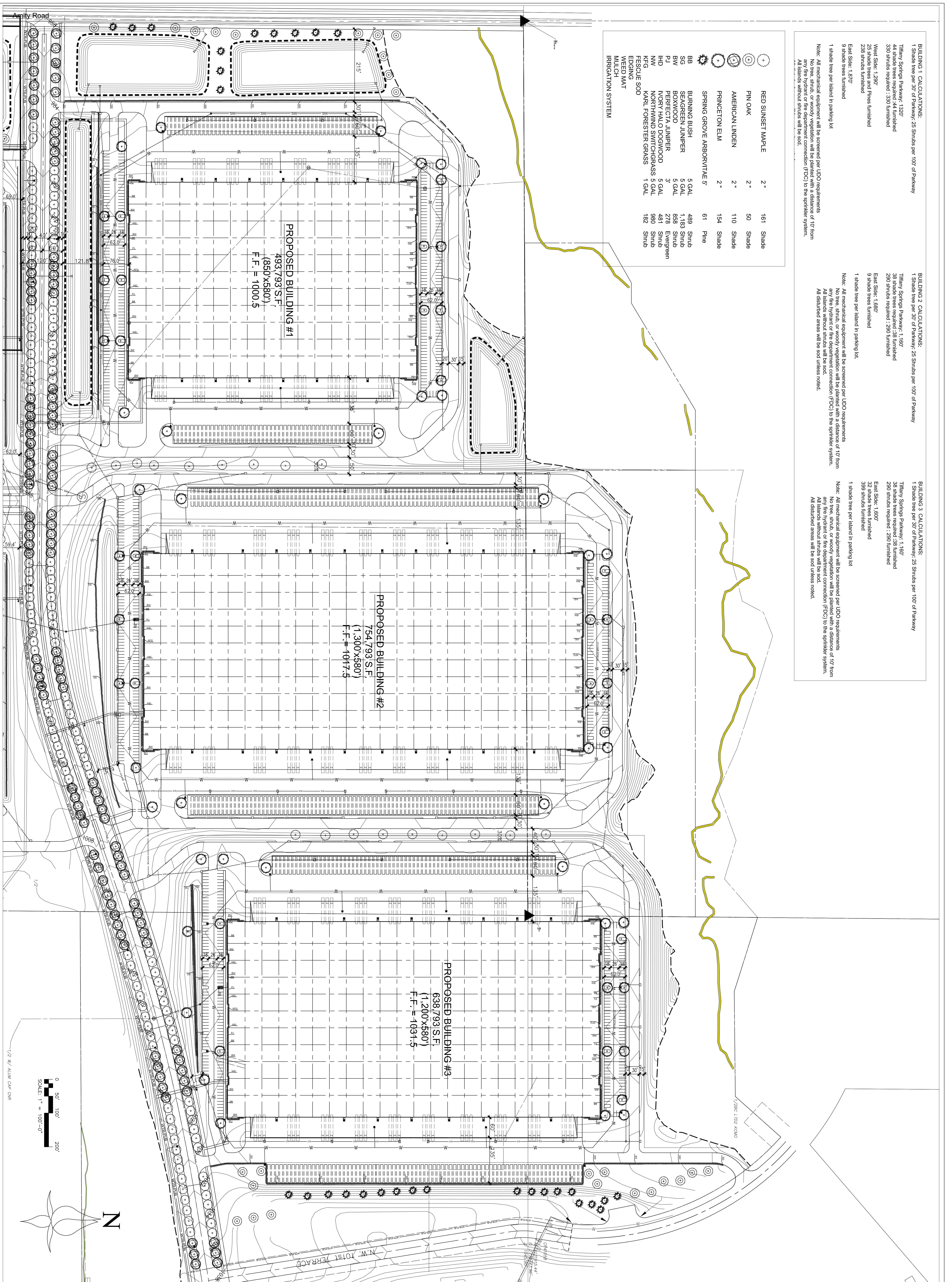
**2 SOUTH ELEVATION**

A4.01 SCALE: 1" = 40'-0"



**1 NORTH ELEVATION**

A4.01 SCALE: 1" = 40'-0"



+	RED SUNSET MAPLE	2"	161	Shade
○	PIN OAK	2"	50	Shade
○	AMERICAN LINDEN	2"	110	Shade
○	PRINCETON ELM	2"	154	Shade
+	SPRING GROVE ARBORVITAE 5'		61	Pine
+	BURNING BUSH	5 GAL	489	Shrub
+	SEAGREEN JUNIPER	5 GAL	1,183	Shrub
+	BOXWOOD	5 GAL	858	Shrub
+	PERFECTA JUNIPER	3'	278	Evergreen
+	IVORY HALO DOGWOOD	5 GAL	481	Shrub
+	NORTHWIND SWITCHGRASS	5 GAL	980	Shrub
+	KARL FORESTER GRASS	1 GAL	182	Shrub
+	FESCUE SOD			
+	EDGING SOD			
+	WEED MAT			
+	MULCH			
+	IRRIGATION SYSTEM			

**BUILDING 1 CALCULATIONS:**  
 1 Shade tree per 30' of Parkway: 25 Shrubs per 100' of Parkway  
 Tiffany Springs Parkway: 1,320'  
 44 shade trees required: 44 furnished  
 330 shrubs required: 330 furnished  
 West Side: 1,280'  
 25 shade trees and Pines furnished  
 250 shrubs furnished  
 East Side: 1,870'  
 9 shade trees furnished  
 1 shade tree per island in parking lot

Note: All mechanical equipment will be screened per UDO requirements  
 No tree, shrub, or woody vegetation will be planted within a distance of 10' from any fire hydrant or fire department connection (FDC) to the sprinkler system.  
 All islands without shrubs will be sod.

**BUILDING 2 CALCULATIONS:**  
 1 Shade tree per 30' of Parkway: 25 Shrubs per 100' of Parkway  
 Tiffany Springs Parkway: 1,180'  
 38 shade trees required: 38 furnished  
 290 shrubs required: 290 furnished  
 East Side: 1,680'  
 9 shade trees furnished  
 1 shade tree per island in parking lot

Note: All mechanical equipment will be screened per UDO requirements  
 No tree, shrub, or woody vegetation will be planted within a distance of 10' from any fire hydrant or fire department connection (FDC) to the sprinkler system.  
 All disturbed areas will be sod unless noted.

**BUILDING 3 CALCULATIONS:**  
 1 Shade tree per 30' of Parkway: 25 Shrubs per 100' of Parkway  
 Tiffany Springs Parkway: 1,160'  
 38 shade trees required: 38 furnished  
 280 shrubs required: 280 furnished  
 East Side: 1,600'  
 22 shade trees furnished  
 350 shrubs furnished  
 1 shade tree per island in parking lot

Note: All mechanical equipment will be screened per UDO requirements  
 No tree, shrub, or woody vegetation will be planted within a distance of 10' from any fire hydrant or fire department connection (FDC) to the sprinkler system.  
 All islands without shrubs will be sod unless noted.

PROPOSED BUILDING #1  
 493,793 S.F.  
 (850'x580')  
 F.F. = 1000.5

PROPOSED BUILDING #2  
 754,793 S.F.  
 (1,300'x580')  
 F.F. = 1047.5

PROPOSED BUILDING #3  
 638,793 S.F.  
 (1,200'x580')  
 F.F. = 1031.5

0 50' 100' 200'  
 SCALE: 1" = 100'-0"

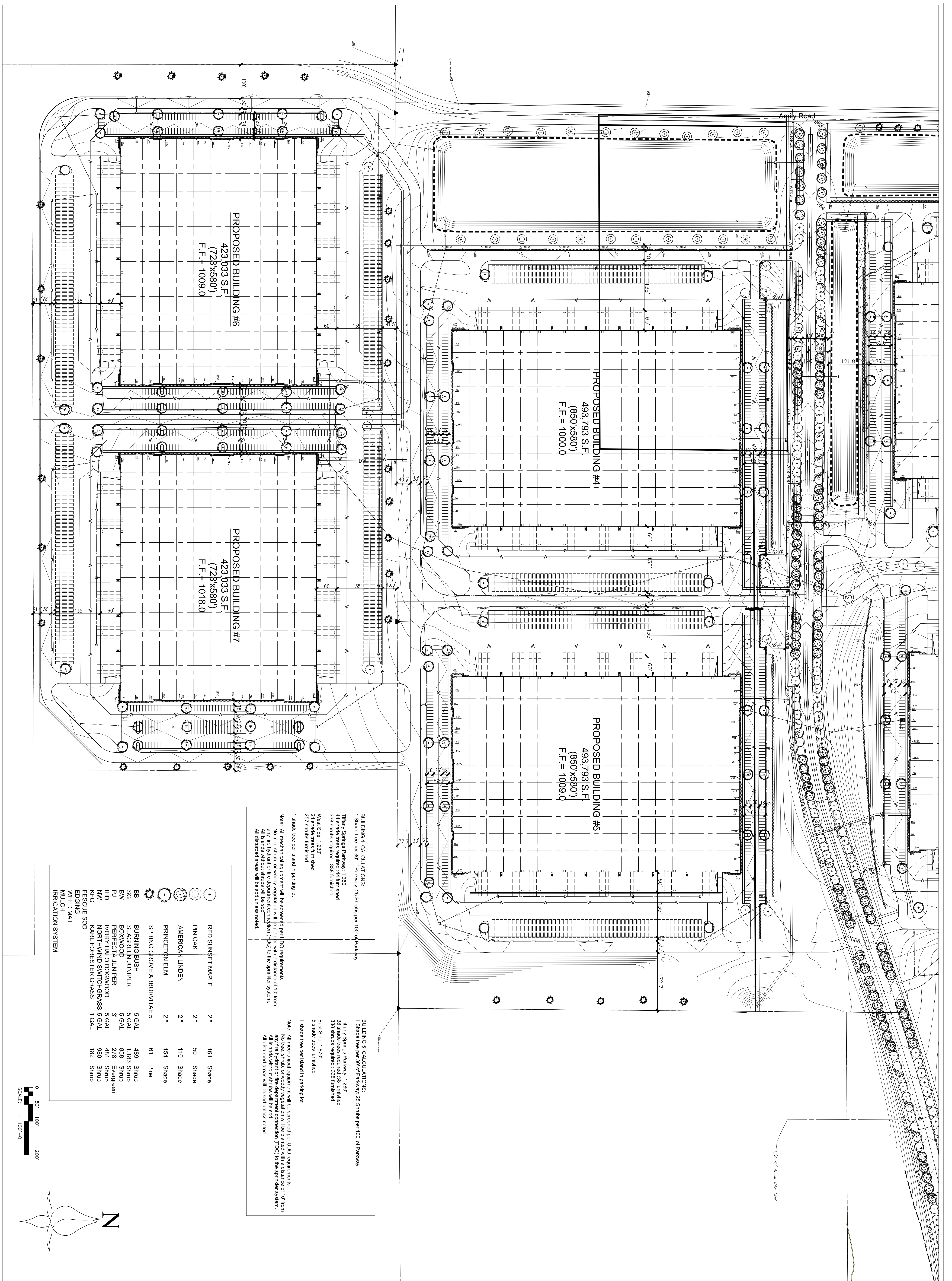
DATE:  
 03-24-2023  
 05-01-2023

Tiffany Springs Logistics  
 Centre  
 Kansas City, MO



J&H LANDSCAPING CO., INC.  
 LONE JACK, MO  
 816-697-3822





**PROPOSED BUILDING #6**  
 423,033 S.F.  
 (728x580)  
 F.F. = 1009.0

**PROPOSED BUILDING #7**  
 423,033 S.F.  
 (728x580)  
 F.F. = 1018.0

**PROPOSED BUILDING #4**  
 493,793 S.F.  
 (850x580)  
 F.F. = 1000.0

**PROPOSED BUILDING #5**  
 493,793 S.F.  
 (850x580)  
 F.F. = 1009.0

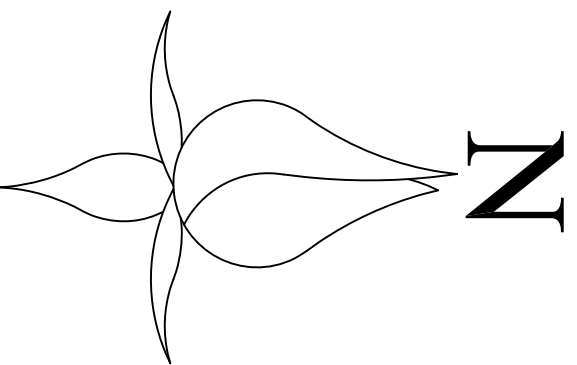
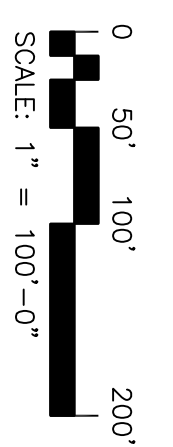
**BUILDING 4 CALCULATIONS:**  
 1 Shade tree per 30' of Parkway; 25 Shrubs per 100' of Parkway  
 Tiffany Springs Parkway: 1,350'  
 44 shade trees required: 44 furnished  
 338 shrubs required: 338 furnished  
 West Side: 1,230'  
 24 shade trees furnished  
 257 shrubs furnished  
 1 shade tree per island in parking lot

Note: All mechanical equipment will be screened per LDO requirements  
 No tree, shrub, or woody vegetation will be planted within a distance of 10' from any fire hydrant or fire department connection (FDC) to the sprinkler system.  
 All islands without shrubs will be sod.  
 All disturbed areas will be sod unless noted.

**BUILDING 5 CALCULATIONS:**  
 1 Shade tree per 30' of Parkway; 25 Shrubs per 100' of Parkway  
 Tiffany Springs Parkway: 1,280'  
 38 shade trees required: 38 furnished  
 338 shrubs required: 338 furnished  
 East Side: 1,870'  
 5 shade trees furnished  
 1 shade tree per island in parking lot

Note: All mechanical equipment will be screened per LDO requirements  
 No tree, shrub, or woody vegetation will be planted within a distance of 10' from any fire hydrant or fire department connection (FDC) to the sprinkler system.  
 All islands without shrubs will be sod.  
 All disturbed areas will be sod unless noted.

	RED SUNSET MAPLE	2"	161	Shade
	PIN OAK	2"	50	Shade
	AMERICAN LINDEN	2"	110	Shade
	PRINCETON ELM	2"	154	Shade
	SPRING GROVE ARBOVITAE	5"	61	Pine
	BURNING BUSH	5 GAL	489	Shrub
	SEAGREEN JUNIPER	5 GAL	1,183	Shrub
	BOXWOOD	5 GAL	858	Shrub
	PERFECTA JUNIPER	3"	278	Evergreen
	NORY HALO DOGWOOD	5 GAL	481	Shrub
	NORTHWIND SWITCHGRASS	5 GAL	980	Shrub
	KARL FORESTER GRASS	1 GAL	182	Shrub
	FESCUE SOD			
	EDGING			
	WEED MAT			
	MULCH			
	IRRIGATION SYSTEM			

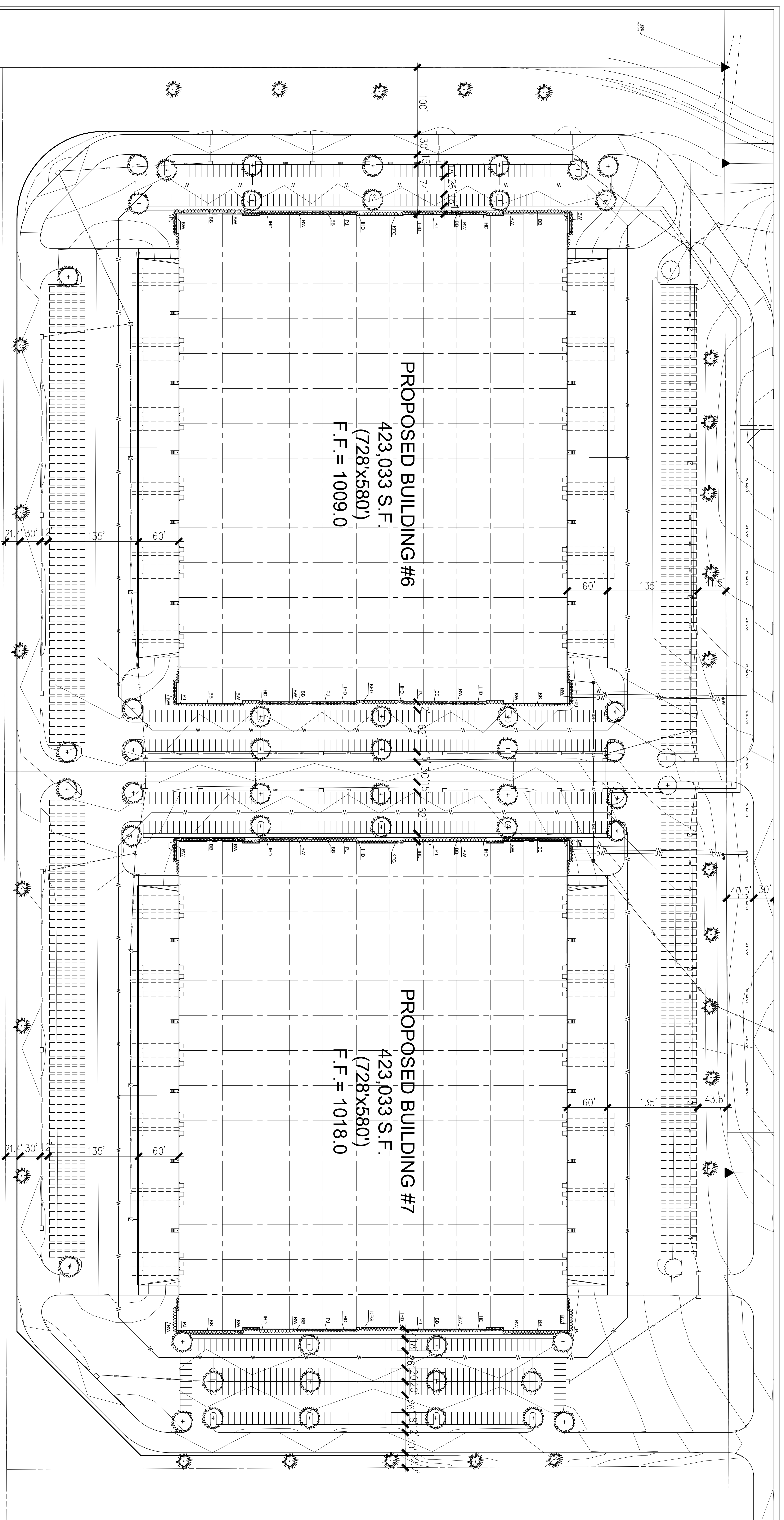


Tiffany Springs Logistics  
 Centre  
 Kansas City, MO



J&H LANDSCAPING CO., INC.  
 LONE JACK, MO  
 816-697-3822

DATE: 03-24-2023  
 05-01-2023

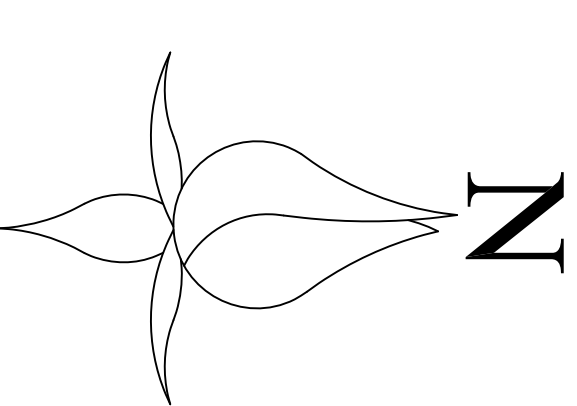
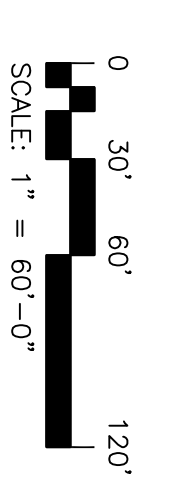


**BUILDING 6 CALCULATIONS:**  
 West Side: 1,080'  
 5 pines furnished  
 South Side: 1,020'  
 3 pines furnished  
 1 shade tree per island in parking lot

**BUILDING 7 CALCULATIONS:**  
 South Side: 1,050'  
 3 pines furnished  
 East Side: 1,070'  
 5 pines furnished  
 1 shade tree per island in parking lot

Note: All mechanical equipment will be screened per UDO requirements. No trees, shrubs, or woody vegetation will be planted within a distance of 10' from any fire hydrant or fire department connection (FDC) to the sprinkler system. All islands without shrubs will be sod. All disturbed areas will be sod unless noted.

+	RED SUNSET MAPLE	2"	161	Shade
○	PIN OAK	2"	50	Shade
○	AMERICAN LINDEN	2"	110	Shade
○	PRINCETON ELM	2"	154	Shade
○	SPRING GROVE ARBORVITAE	5"	61	Pine
○	BURNING BUSH	5 GAL	489	Shrub
○	SCARLEEN JUNIPER	5 GAL	1,583	Shrub
○	PERFECTA JUNIPER	5 GAL	628	Shrub
○	IVORY PALM DOGWOOD	3 GAL	278	Shrub
○	NORTHWIND SWITCHGRASS	5 GAL	481	Shrub
○	KARL FORESTER GRASS	1 GAL	980	Shrub
○	FESCUE SOD		182	Shrub
○	EDGING			
○	WEED MAT			
○	MULCH			
○	IRRIGATION SYSTEM			



Tiffany Springs Logistics  
 Centre  
 Kansas City, MO



J&H LANDSCAPING CO., INC.  
 LONE JACK, MO  
 816-697-3822

# Public Meeting Notice

Please join Block Real Estate Services

for a meeting about Tiffany Spring Logistics Park

case number CD-CPC-2023-00044 & CD-CPC-2023-00045

proposed for the following address: 8201 NW Tiffany Springs Pkwy

Kansas City, MO

**Meeting Date:** May 8th, 2023

**Meeting Time:** 5:30 pm

**Meeting Location:** Via Zoom - See attached for login information

Project Description:

A rezoning and development plan to construct seven logistics buildings as well as the construction of Tiffany Springs Parkway and 101st Terr.

If you have any questions, please contact:

Name: **Will Block**

**James A. McClure**

Phone: **816-412-5805**

**816-360-4340**

Email: **wblock@blockllc.com**

**jmcclure@polsinelli.com**

You are receiving this notice in accordance with city code that requires a public meeting with neighborhoods for certain types of development projects. You can read more about the process requirements at [kcmo.gov/publicengagement](http://kcmo.gov/publicengagement)



If you would like further information on this proposed project, please visit the city's planning and permitting system, Compass KC, at [Compasskc.kcmo.org](http://Compasskc.kcmo.org). You may search by project type and address/case number to find project details.

Sincerely,

A handwritten signature in black ink, appearing to be "J. McClure", written over a horizontal line.

Topic: Tiffany Springs Logistics Centre - Public Engagement Meeting  
Time: May 8, 2023 05:30 PM Central Time (US and Canada)

Join Zoom Meeting

<https://bres.zoom.us/j/81567951642?pwd=cURlUzZidXpiMzVqSmtBVUdGOE4xZz09>

Meeting ID: 815 6795 1642

Passcode: 968586

One tap mobile

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Dial by your location

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+1 305 224 1968 US

+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

+1 646 931 3860 US

+1 929 205 6099 US (New York)

+1 719 359 4580 US

+1 253 205 0468 US

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 360 209 5623 US

+1 386 347 5053 US

+1 507 473 4847 US

+1 564 217 2000 US

+1 669 444 9171 US

+1 669 900 6833 US (San Jose)

+1 689 278 1000 US

Meeting ID: 815 6795 1642

<u>PIN</u>	<u>APN</u>	<u>NAME</u>	<u>ADDRESS</u>	<u>CITY</u>	<u>STATE</u>	<u>ZIP</u>
167506	PL201002000000001000	Bennett, Tara Fickle & Fickle, William Dick Jr	5740 Spinnaker Pointe	Parkville	MO	64152
167507	PL20100200000000050000	Bisbee, Carol L Trust	4740 Roanoke Pkwy #602	Kansas City	MO	64151
167508	PL20100200000000040000	Jantz, Keith M & Pamela A Trust	9000 NW Old Tiffany Springs Rd	Kansas City	MO	64153
167509	PL20100200000000030000	KKS Properties LLC	6313 NW 79th	Kansas City	MO	64151
167510	PL20100200000000020000	KKS Properties LLC	6313 NW 79th	Kansas City	MO	64151
167511	PL20100200000000070000	Hey, Marilyn L Trustee	9500 NW Amity	Kansas City	MO	64153
167512	PL20100200000000060000	Southwestern Bell Telephone Co	100 Tuck - Room 645	St Louis	MO	63101
167518	PL20100200000000080000	Klein, Jared M & Abby L	7335 NW Forest Lakes Dr	Parkville	MO	64152
171910	PL17703500000000090000	City of Kansas City		Kansas City	MO	64153
171911	PL17703500000000160000	City of Kansas City	Kci Airport, Aviation Dept-comm Dev	Kansas City	MO	64153
171912	PL17703500000000070000	City of Kansas City		Kansas City	MO	64153
171913	PL17703500000000080000	City of Kansas City	414 E 12th St - 16th Floor	Kansas City	MO	64106
171914	PL17703500000000060000	Tiffany Springs Logistics LLC	4622 Pennsylvania Ave Ste 700	Kansas City	MO	64112
171915	PL17703500000000110000	City of Kansas City	601 Brasilia Ave	Kansas City	MO	64153
171916	PL17703500000000050000	Wagon Wheels Associates LLC	7284 W Palmetto Park Rd, Ste 208	Boca Raton	FL	33433
171917	PL17703500000000100000	City of Kansas City	601 Brasilia Ave	Kansas City	MO	64153
171920	PL17703500000000190000	RKP Properties LLC	4614 S 40th St	Saint Joseph	MO	64503
171921	PL17703500000000210000	Tiffany Springs Logistics LLC	4622 Pennsylvania Ave Ste 700	Kansas City	MO	64112
171922	PL17703500000000220000	Oswald, Mary Ann Trust	4545 Wornall Rd Apt 107	Kansas City	MO	64111
171923	PL17703500000000200000	Kessinger/Hunter	2600 Grand 7th Floor	Kansas City	MO	64108
171924	PL1770350000000021001	Adams, William M Trust & Cosgrove, Harold N & Barbara Trust	12044 Ballentine St	Overland Park	KS	66213
171958	PL17703600000000020000	Tiffany Square Inc	7500 W 95th St	Overland Park	KS	66212
171959	PL17703600000070030000	Tiffany Junction LLC	11415 W 87th Ter	Overland Park	KS	66214
171960	PL17703600000070040000	Raven Holdings LLC	2600 Grand Ave Ste 700	Kansas City	MO	64108
171961	PL17703600000080010000	Tiffany Junction LLC	11415 W 87th Ter	Overland Park	KS	66214
171962	PL17703600000070050000	Tiffany Frontage LLC	11415 W 87th Ter	Overland Park	KS	66214
171963	PL17703600000090010000	PC Woodcrest LLC & Dro/Reo-Woodcrest LLC & Etal	4956 N 300 W Ste 300	Provo	UT	84604
171971	PL1770360000100040000	Hospitality Properties Trust	PO Box 460389	Houston	TX	77056
171973	PL177036000009002002	DSW Inns LLC	101 S Farrar	Cape Girardeau	MO	63701
171974	PL177036000009002001	Cracker Barrel Old Country Store	307 Hartman Dr	Lebanon	TN	37087
171976	PL1770360000100070000	Tiffany Square Inc	7500 W 95th St	Overland Park	KS	66212
171977	PL1770360000100060000	Concorp Inc	8100 NW 97th Ter	Kansas City	MO	64153
171978	PL1770360000100080000	Wenger & Associates LLC	12920 Oakmont Dr	Platte City	MO	64079
171979	PL1770360000100090000	Airport Industry Associates	7284 W Palmetto Park Rd Ste 208	Boca Raton	FL	33433
171985	PL1770360000100100000	Airport Industry Associates	7284 W Palmetto Park Rd Ste 208	Boca Raton	FL	33433
171992	PL1770360000100110000	Limit Out LLC	9744 N Conant Ave	Kansas City	MO	64153
171993	PL1770360000100120000	A2.14 9700 Conant LLC	2202 W 166th St	Markham	IL	60428
171994	PL1770360000100130000	A2.14 9700 Conant LLC	2202 W 166th St	Markham	IL	60428
171995	PL1770360000100140000	A2.14 9700 Conant LLC	2202 W 166th St	Markham	IL	60428
171996	PL1770360000100150000	A2.14 9700 Conant LLC	2202 W 166th St	Markham	IL	60428
171999	PL1770360000100050000	Concorp Inc	8100 NW 97th Ter	Kansas City	MO	64153
217046	PL1770360000090020000	Tiffany Square Inc	7500 W 95th St	Overland Park	KS	66212
219484	PL1770360000070050001	Tiffany Junction LLC	11415 W 87th Ter	Overland Park	KS	66214
229806	PL17703500000000180000	City of Kansas City	414 E 12th St - 16th Floor	Kansas City	MO	64106
252628	PL1770360000090020004	Bse Developments LLC	PO Box 1815	Platte City	MO	64079
252629	PL1770360000090020003	Wendy's Properties LLC	1 Dave Thomas Blvd	Dublin	OH	43017
255022	PL20100200000000060001	Southwestern Bell Telephone Co	100 Tuck-room 645	St Louis	MO	63101
287722	PL20100100000000080000	Park Hill School District	7703 NW Barry Rd	Kansas City	MO	64153

# Meeting Sign-In Sheet

## Project Name and Address

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Name	Address	Phone	Email
Jim McClure	900 W 48th Place, KCMO		
Roxsen Koch	900 W 48th Place, KCMO		
William Block	4622 Pennsylvania Ave, KCMO, 64112		
Arron Mesmer	4622 Pennsylvania Ave, KCMO, 64112		
Tom Smith	1031 Strang Line Rd, Lenexa, KS		
Becky Wilson	13601 S. Lovers Ln Lone Jack, MO 64070		
Dave Williams	8787 Renner Blvd, Ste 100 Lenexa, KS		
Jack Finely	5055 Antioch Rd, Overland Park, KS		
Walt Lovell	4622 Pennsylvania Ave, KCMO, 64112		
Vetter	8100 NW 97th Terr KCMO, 64153		
Hal Rubin			





CITY OF  
KANSAS CITY,  
MISSOURI

# CITY PLANNING & DEVELOPMENT

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## Public Meeting Summary Form

Project Case #

Meeting Date:

Meeting Location:

Meeting Time (include start and end time):

Additional Comments (optional):



Topic: Tiffany Springs Logistics Centre - Public Engagement Meeting  
Time: May 8, 2023 05:30 PM Central Time (US and Canada)

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+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

+1 646 931 3860 US

+1 929 205 6099 US (New York)

+1 719 359 4580 US

+1 253 205 0468 US

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 360 209 5623 US

+1 386 347 5053 US

+1 507 473 4847 US

+1 564 217 2000 US

+1 669 444 9171 US

+1 669 900 6833 US (San Jose)

+1 689 278 1000 US

Meeting ID: 815 6795 1642